

6. Details of Property Owner/s and Occupier/s: Name and Address of the Owner/Occupiers of the land to which this application relates (where there are multiple owners or occupiers please list on a separate sheet if required)

Name/s: Nordic Holdings Limited

Property Address/
Location: Manawaora Road, Parekura Bay

7. Application Site Details:

Location and/or Property Street Address of the proposed activity:

Site Address/
Location: _____

Manawaora Road, Parekura Bay

Legal Description: Lot 2 DP 479155 Val Number: _____

Certificate of Title: RT 667273

Please remember to attach a copy of your Certificate of Title to the application, along with relevant consent notices and/or easements and encumbrances (search copy must be less than 6 months old)

Site Visit Requirements:

Is there a locked gate or security system restricting access by Council staff? Yes / **No**

Is there a dog on the property? Yes / **No**

Please provide details of any other entry restrictions that Council staff should be aware of, e.g. health and safety, caretaker's details. **This is important to avoid a wasted trip and having to re-arrange a second visit.**

8. Description of the Proposal:

Please enter a brief description of the proposal here. Attach a detailed description of the proposed activity and drawings (to a recognized scale, e.g. 1:100) to illustrate your proposal. Please refer to Chapter 4 of the District Plan, and Guidance Notes, for further details of information requirements.

Construct a shed and two cabins, and to legalise six existing buildings at Manawaora Road, Parekura Bay.

If this is an application for an Extension of Time (s.125); Change of Consent Conditions (s.127) or Change or Cancellation of Consent Notice conditions (s.221(3)), please quote relevant existing Resource Consents and Consent Notice identifiers and provide details of the change(s) or extension being sought, with reasons for requesting them.

9. Would you like to request Public Notification

Yes/**No**

10. Other Consent required/being applied for under different legislation (more than one circle can be ticked):

- Building Consent (BC ref # if known) Regional Council Consent (ref # if known)
- National Environmental Standard consent Other (please specify)

11. National Environmental Standard for Assessing and Managing Contaminants in Soil to Protect Human Health:

The site and proposal may be subject to the above NES. In order to determine whether regard needs to be had to the NES please answer the following (further information in regard to this NES is available on the Council's planning web pages):

Is the piece of land currently being used or has it historically ever been used for an activity or industry on the Hazardous Industries and Activities List (HAIL) yes no don't know

Is the proposed activity an activity covered by the NES? (If the activity is any of the activities listed below, then you need to tick the 'yes' circle). yes no don't know

- Subdividing land Changing the use of a piece of land
- Disturbing, removing or sampling soil Removing or replacing a fuel storage system

12. Assessment of Environmental Effects:

Every application for resource consent must be accompanied by an Assessment of Environmental Effects (AEE). This is a requirement of Schedule 4 of the Resource Management Act 1991 and an application can be rejected if an adequate AEE is not provided. The information in an AEE must be specified in sufficient detail to satisfy the purpose for which it is required. Your AEE may include additional information such as Written Approvals from adjoining property owners, or affected parties.

Please attach your AEE to this application.

13. Billing Details:

This identifies the person or entity that will be responsible for paying any invoices or receiving any refunds associated with processing this resource consent. Please also refer to Council's Fees and Charges Schedule.

Name/s: (please write all names in full)

Traverse Limited

Email:

Postal Address:

Phone Numbers:

Fees Information: An instalment fee for processing this application is payable at the time of lodgement and must accompany your application in order for it to be lodged. Please note that if the instalment fee is insufficient to cover the actual and reasonable costs of work undertaken to process the application you will be required to pay any additional costs. Invoiced amounts are payable by the 20th of the month following invoice date. You may also be required to make additional payments if your application requires notification.

Declaration concerning Payment of Fees: I/we understand that the Council may charge me/us for all costs actually and reasonably incurred in processing this application. Subject to my/our rights under Sections 357B and 358 of the RMA, to object to any costs, I/we undertake to pay all and future processing costs incurred by the Council. Without limiting the Far North District Council's legal rights if any steps (including the use of debt collection agencies) are necessary to recover unpaid processing costs I/we agree to pay all costs of recovering those processing costs. If this application is made on behalf of a trust (private or family), a society (incorporated or unincorporated) or a company in signing this application I/we are binding the trust, society or company to pay all the above costs and guaranteeing to pay all the above costs in my/our personal capacity.

Name: **Kent Fearon** (please print)

Signature:  (signature of bill payer – **mandatory**)

Date: **11/10/2024**

14. Important Information:

Note to applicant

You must include all information required by this form. The information must be specified in sufficient detail to satisfy the purpose for which it is required.

You may apply for 2 or more resource consents that are needed for the same activity on the same form.

You must pay the charge payable to the consent authority for the resource consent application under the Resource Management Act 1991.

Fast-track application

Under the fast-track resource consent process, notice of the decision must be given within 10 working days after the date the application was first lodged with the authority, unless the applicant opts out of that process at the time of lodgement. A fast-track application may cease to be a fast-track application under section 87AAC(2) of the RMA.

Privacy Information:

Once this application is lodged with the Council it becomes public information. Please advise Council if there is sensitive information in the proposal. The information you have provided on this form is required so that your application for consent pursuant to the Resource Management Act 1991 can be processed under that Act. The information will be stored on a public register and held by the Far North District Council. The details of your application may also be made available to the public on the Council's website, www.fndc.govt.nz. These details are collected to inform the general public and community groups about all consents which have been issued through the Far North District Council.

Declaration: The information I have supplied with this application is true and complete to the best of my knowledge.

Name: David Johnson _____ (please print)



Signature: _____ (signature)

Date: 23/12/2024

(A signature is not required if the application is made by electronic means)

Checklist (please tick if information is provided)

- Payment (cheques payable to Far North District Council)
- A current Certificate of Title (Search Copy not more than 6 months old)
- Copies of any listed encumbrances, easements and/or consent notices relevant to the application
- Applicant / Agent / Property Owner / Bill Payer details provided
- Location of property and description of proposal
- Assessment of Environmental Effects
- Written Approvals / correspondence from consulted parties
- Reports from technical experts (if required)
- Copies of other relevant consents associated with this application
- Location and Site plans (land use) AND/OR
- Location and Scheme Plan (subdivision)
- Elevations / Floor plans
- Topographical / contour plans

Please refer to Chapter 4 of the District Plan for details of the information that must be provided with an application. Please also refer to the RC Checklist available on the Council's website. This contains more helpful hints as to what information needs to be shown on plans.

Only one copy of an application is required, but please note for copying and scanning purposes, documentation should be:

UNBOUND

SINGLE SIDED

NO LARGER THAN A3 in SIZE

Land Use Consent Application

NORDIC HOLDINGS LIMITED

Manawaora Road, Parekura Bay

A topographic map with contour lines and a grid, rendered in white and light gray on a dark background, serving as a background for the bottom section of the page.

**reyburn
& bryant**

PLANNERS • SURVEYORS

Land Use Consent Application

NORDIC HOLDINGS LIMITED

Manawaora Road, Parekura Bay

Report prepared for:	Nordic Holdings Limited
Author	David Johnson, <i>Planner</i>
Reviewed by:	Thomas Keogh, <i>Associate</i>
Consent Authority:	Far North District Council
Report reference:	16978
Report Status:	Final
Date:	December 2024

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Reyburn and Bryant
P.O. Box 191
Whangarei 0140
Telephone: (09) 438 3563

FORM 9

APPLICATION FOR RESOURCE CONSENT UNDER SECTION 88 OF THE RESOURCE MANAGEMENT ACT 1991

To: Far North District Council

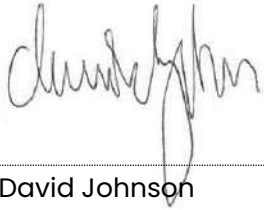
Memorial Avenue

Private Bag 752

Kaikohe 0440

1. **Nordic Holdings Ltd** applies for land use consent to construct a shed and two cabins, and to legalise six existing buildings on the site.
2. The location of the proposed activity is Manawaora Road, Parekura Bay.
3. The legal description and title reference of the subject site is Lot 2 DP 479155, RT 667273.
4. The applicant is the owner of the site.
5. There are no other activities to which this application relates.
6. Approval is also sought pursuant to Section 221(3) of the RMA to vary conditions 1(i) and 2(a) of consent notice 10807169.7.
7. No additional resource consents are needed for the activity to which this application relates that have not yet been applied for.
8. We attach an assessment of effects on the environment that:
 - (a) includes the information required by clause 6 of Schedule 4 of the Resource Management Act 1991; and
 - (b) addresses the matters specified in clause 7 of Schedule 4 of the Resource Management Act 1991; and
 - (c) includes such detail as corresponds with the scale and significance of the effects that the activity may have on the environment.

-
9. We attach an assessment of the proposed activity against the matters set out in Part 2 of the Resource Management Act 1991.
 10. We attach an assessment of the proposed activity against any relevant provisions of a document referred to in section 104(1)(b) of the Resource Management Act 1991, including information required by clause 2(2) of Schedule 4 of that Act.
 11. No other information is required to be included in the district or regional plan(s) or regulations.



David Johnson

23 December 2024

Date

Address for service:

Reyburn and Bryant 1999 Ltd
PO Box 191, Whangarei

Telephone:

(09) 438 3563

Email:

david@reyburnandbryant.co.nz

Contact person:

David Johnson

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ABBREVIATIONS

AEE	Assessment of Environmental Effects
CE	Coastal Environment

CLZ	Coastal Living Zone
FNDC	Far North District Council
FNDP	Far North District Plan
GCZ	General Coastal Zone
HAIL	Hazardous Activities and Industries List
HNCA	High Natural Character Area
NES-CS	National Environmental Standard – Contaminated Soils
NPS-HPL	National Policy Statement for Highly Productive Land
OFNDP	Operative Far North District Plan
ONL	Outstanding Natural Landscape
PFNDP	Proposed Far North District Plan
RMA	Resource Management Act, 1991
RPZ	Rural Production Zone
SCLA	Simon Cocker Landscape Architecture

1. INTRODUCTION

1.1 Report basis

This report has been prepared for Nordic Holdings Ltd (the applicant) in support of an application to construct a shed and two new cabins, and to legalise six existing buildings at Manawaora Road, Parekura Bay.

The application has been prepared in accordance with Section 88 and the Fourth Schedule of the Resource Management Act, 1991 (RMA). Section 88 of the RMA requires that resource consent applications be accompanied by an Assessment of Environmental Effects (AEE) in accordance with the Fourth Schedule.

The report also includes an analysis of the relevant provisions of the district, regional and national planning documents that are pertinent to the assessment and decision required under s104 of the RMA.

1.2 Proposal summary

The applicant owns a 22.0150ha title located on Manawaora Road in Parekura Bay, east of Russell. It is legally described as Lot 2 DP 479155. The underlying subdivision approved a 'Building Development Zone' in the centre of the property, shown as 'I' on DP 479155. This restrictive building area is recorded on the title by a consent notice (10807169.7, condition i).

Lot 2 DP 479155 has a split zoning of 'General Coastal' (GCZ), 'Coastal Living' (CLZ) and 'Rural Production' (RPZ) under the Operative Far North District Plan (OFNDP). The majority of the site is within an Outstanding Landscape.

Lot 2 DP 479155 is zoned RPZ under the Proposed Far North District Plan (PFNDP). It is entirely within the Coastal Environment (CE). Portions of the site are within an Outstanding Natural Landscape (ONL) and a High Natural Character Area (HNCA).

The applicant proposes to construct a shed within the Building Development Zone. At the same time, they propose to legalise six existing buildings, and

construct two additional cabins. Some of the existing buildings and one of the new cabins are outside of the Building Development Zone. All of the buildings will be within the GCZ and Outstanding Landscape in the OFNDP.

A site plan has been prepared showing the location of all of the existing and proposed buildings on the site, which is attached in **Appendix 1**. Sheds4U have prepared plans of the new shed, which are attached in **Appendix 2**. The applicant has prepared elevations of the new cabins, which are attached in **Appendix 3**.

A **restricted discretionary activity** resource consent is required from the Far North District Council (FNDC) under the OFNDP to construct buildings in an Outstanding Landscape with a GFA in excess of 25m². The proposal would be a **discretionary activity** under the PFNDP if the rules had legal effect.

1.3 Property details

Applicant	Nordic Holdings Ltd
Landowner	Same as applicant
Site location	Manawaora Road, Parekura Bay
Legal description	Lot 2 DP 479155
Record of title	RT 667273
Site area	22.0150ha
District Plan	Far North District Plan (FNDP)
Operative District Plan Zone	General Coastal Zone Coastal Living Zone Rural Production Zone
Proposed District Plan Zone	Rural Production Zone
Operative District Plan Notations	Outstanding Landscape (partial)
Proposed District Plan Notations	Coastal Environment Outstanding Natural Landscape (partial) High Natural Character Area (partial)

Table 1. Property Details.

1.4 Relevant title memorials

RT 667273 is subject to Section 168A of the Coal Mines Act 1925, Section 19 of the Public Works Act 1928, and Section 8 of the Coal Mines Amendment Act 1950. There are a number of memorials recorded on the title, which are as follows:

- **512068** – This transfer provides parts of the site with appurtenant rights of way. It is unaffected by this application.
- **638899.1** – This Deed of Grant provides part of the site with rights of way over a parcel formerly described as Part Rawhiti No.2 Block. It is unaffected by this application.
- **10807169.7** – This consent notice has various conditions imposed by a previous subdivision. They are as follows:
 - Conditions 1(a) and (b) require adherence to the recommendations of an engineering report. This will be confirmed as part of the building consent process.
 - Condition 1(c) and 2(d) require the majority of the indigenous vegetation on the property (within areas 'D' and 'E' on DP 479155) to be preserved. Condition 1(d) requires adherence to a Bush Protection Plan. No indigenous vegetation will be removed as part of this application.
 - Condition 1(e) requires adherence to the recommendations of a landscape and visual impact assessment, including restricting development to a building platform, Area 'I' on DP 479155 (see **Figure 1** below). DP 479155 is attached in **Appendix 4**. A landscape assessment has been prepared for this recommendation.

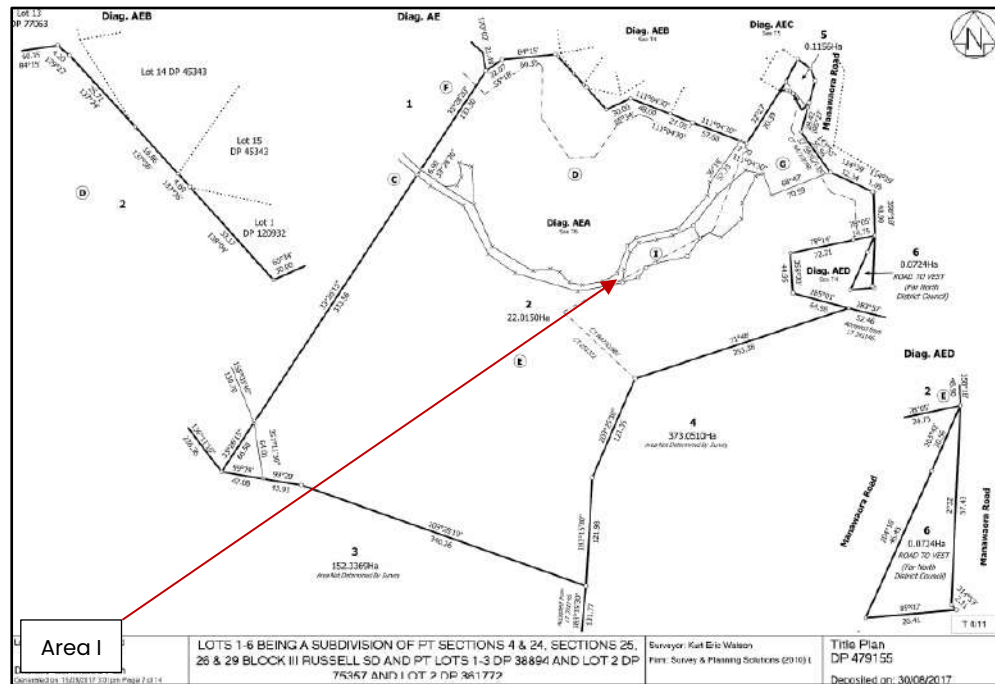


Figure 1. DP 479155.

- Condition 1(f) lists requirements for constructing accessways and driveways. No new accessways are proposed.
- Condition 1(g) relates to retaining walls, internal boundary lines, power and phone connections, and water tanks. None of these are proposed.
- Condition 1(h) requires the maintenance of any planting required for mitigation. No indigenous vegetation will be removed as part of this application, and any vegetation that is proposed will be maintained.
- Condition 1(i) specifies that buildings are to be constructed in the 'Building Development Zone' ('I' on DP 479155). Some of the existing buildings and one of the future cabins are outside of this area. It is therefore proposed to amend this condition as outlined in section 1.5 of this report.
- Conditions 2(a) and (b) require a Chartered Professional Engineer to design a wastewater treatment or disposal system and foundations. This was addressed as part of the building consent process.
- Condition 2(c) records that there is potential for there to be unrecorded archaeological sites, human remains or other taonga on the property, and

advises owners of what to do should they be discovered during development or construction. This advice is noted.

- Condition 2(e) bans livestock from grazing within the areas of indigenous vegetation. There is no livestock on the property.
- **10807169.8** – This easement instrument provides an adjoining title with rights to convey electricity, computer media and telecommunications over part of the site. It is unaffected by this application.
- **12525699.1** – This is a private land covenant. It has no relevance to this application.
- **12563376.1** – This is a fencing covenant. It has no relevance to this application.

The title and associated memorials attached in **Appendix 5**.

1.5 Over approvals required

Consent notice variation (s221(3))

It is proposed to vary condition 1(i) of consent notice 10807169.7 to legalise the existing buildings constructed outside of the Building Development Zone and allow the construction of the new cabins. The amended wording is below, with deletions shown as ~~strikethrough~~ and additions shown as **bold** and underlined.

- (i) (Proposed house sites) No buildings shall be constructed on Lots 1 ~~or 2~~ outside of the 'building development zones' which ~~have~~**has** been identified on the survey plan. **No buildings shall be constructed on Lot 2 outside of the "Proposed Covenant Boundary" identified on the site plan prepared by Reyburn and Bryant, titled "Site Plan of Lot 2 DP 479155", reference number "SP16978", dated May 2024, Revision B.**

It is also proposed to vary condition 2(a) of consent notice 10807169.7 to allow an approved TP58 writer to design a wastewater treatment or disposal system. The amended wording is below, with deletions shown as ~~strikethrough~~ and additions shown as **bold** and underlined.

- (a) (Wastewater treatment) Any dwellings will require a wastewater treatment or disposal system designed by a Chartered Professional Engineer **or one of the Far North District Council's approved list of TP58 Writers** in accordance with the Auckland District Council's Technical

Publication No. 58. The design and details of such are to be submitted to council in conjunction with a building consent application.

Building consent

A building consent has been lodged for the proposed shed. FNDC's reference is EBC-2024-391/0. This building consent is on hold pending resource consent approval.

No other approvals are required to give effect to this proposal.

1.6 Processing requests

Prior to the issue of any decision for this consent, please forward the draft conditions for our review and comment.

1.7 Statutory context

Section 104C of the RMA is associated with determining applications for restricted discretionary activities.

Section 104(1) of the RMA sets out the matters that a consent authority must, subject to Part 2, have regard to when considering all applications for resource consent.

This report focuses on the relevant matters in s104(1), and specifically:

- The actual and potential environmental effects (s104(1)(a)).
- The relevant provisions of the National Environmental Standard for Assessing and Managing Contaminants in Soil to Protect Human Health Regulations 2011 (NES-CS) (s104(1)(b)(i)).
- The relevant provisions of the National Policy Statement for Highly Productive Land (NPS-HPL) (s104(1)(b)(iii)).
- The relevant provisions of the OFNDP and the PFNDP (s104(1)(b)(vi)).

2. THE SITE AND SURROUNDING ENVIRONMENT

2.1 The site

Location

The site is located on the southern side of Manawaora Road on the southern edge of Parekura Bay, a small coastal settlement 10km east of Russell. The site is shown in red in **Figure 2** below.



Figure 2 Location map (Source: Quickmap).

Built development

There are six existing buildings on the site, a skyline garage, a pole lean to, and four cabins. The pole lean to and one of the cabins are within the Building Development Zone. The other buildings are outside of it.

The site plan (attached in **Appendix 1**) shows the location of the existing buildings. Each of them are labelled in **Figure 3** below.

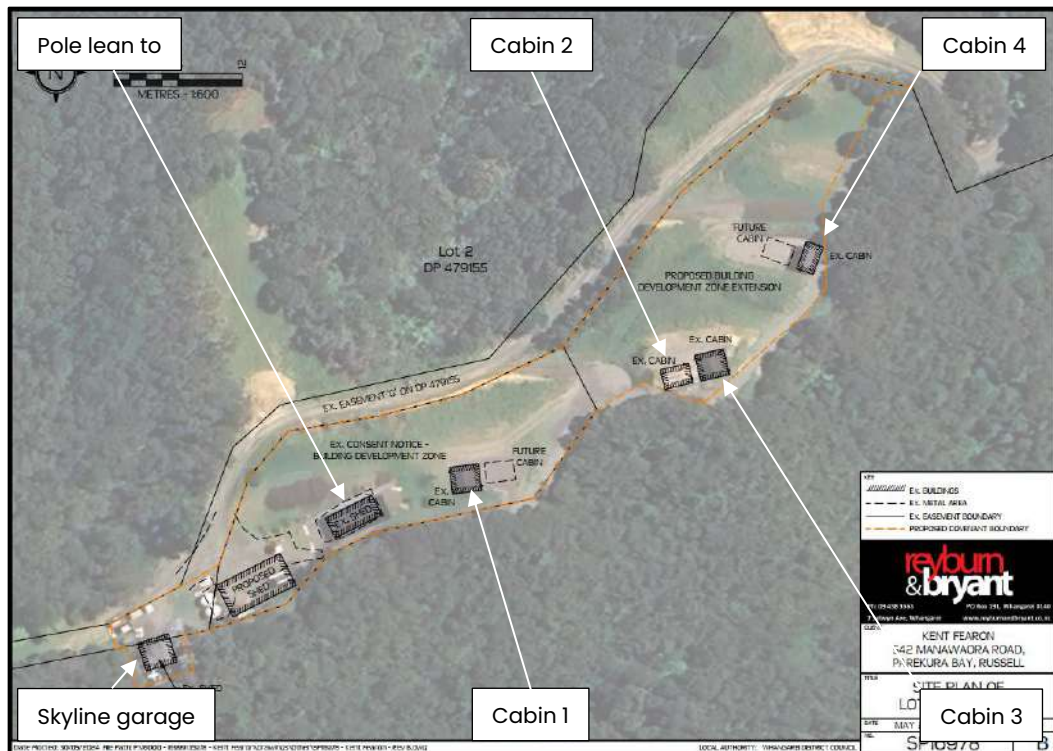


Figure 3. The existing buildings.

Access

The site is accessed from Manawaora Road via a concrete vehicle crossing shared with an adjacent property to the north. The vehicle crossing is shown in **Figure 4** below. There is a metalled access from the vehicle crossing to the approved building platform.



Figure 4. Existing vehicle crossing (Source: Google Streetview).

Topography

A ridgeline runs through the centre of the site on a northwest-southeast axis. The subject land slopes down to the Manawaora Road and the southern boundary.

A spur of the ridgeline runs north-east towards Manawaora Road. The approved building platform is located on this spur.

Ground cover and vegetation

The subject land is almost entirely covered in indigenous vegetation protected by Consent Notice 10807169.7. The only area of grass is in the centre of the site on part of the ridgeline. The Building Development Zone is in this area.

The majority of the indigenous vegetation is within the Outstanding Landscape identified in the OFNDP (see **Figure 5** below).

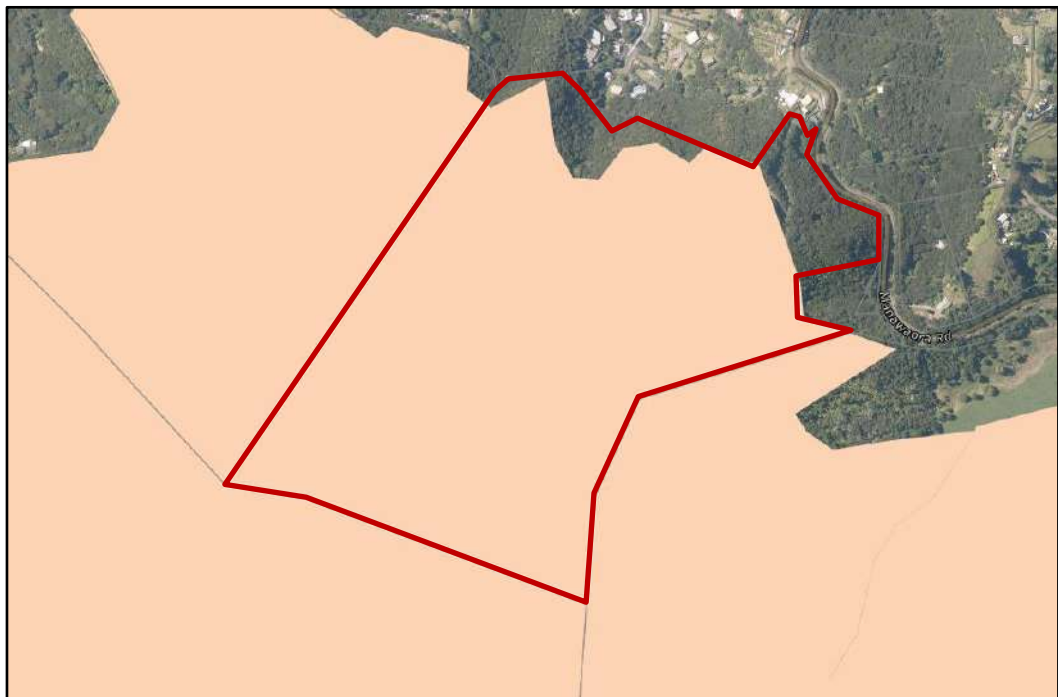


Figure 5. Extent of the Outstanding Landscape in the OFNDP (Source: FNDC GIS).

The PFNDP covers the indigenous vegetation with a HNCA overlay (see **Figure 6** below). An ONL overlay covers the southern part of the indigenous vegetation (see **Figure 7** below). Both of these overlays align with the HNCA and ONL overlays in the RPS. The Building Development Zone is not in either of these overlays.



Figure 6. Extent of the HNCA overlay in the PFNDP (Source: FNDC GIS).

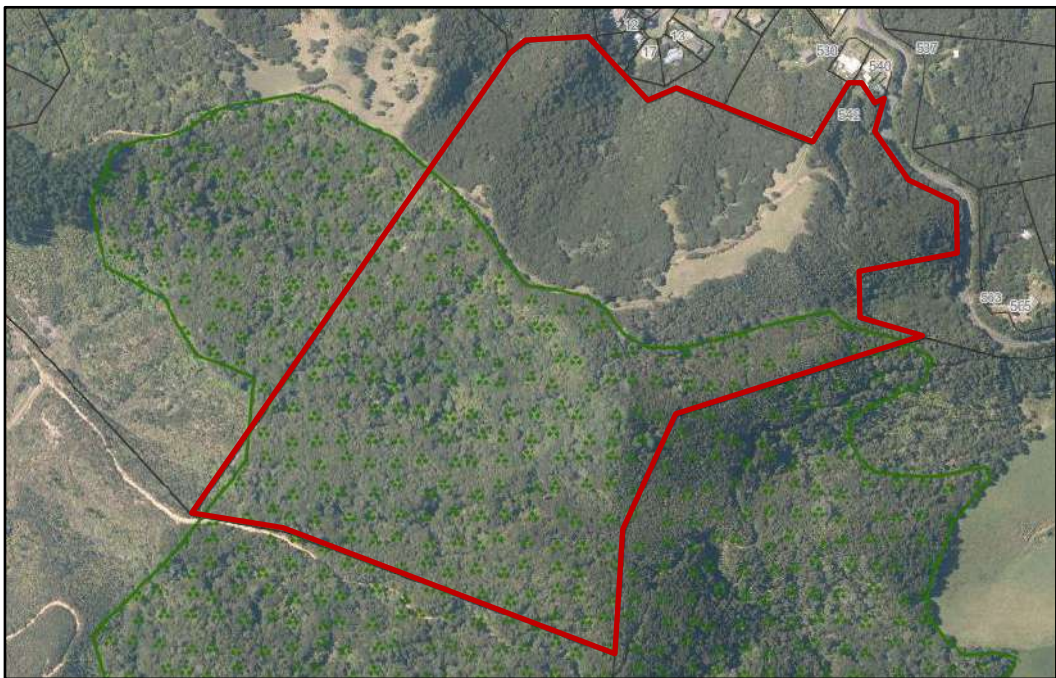


Figure 7. Extent of ONL overlay in the PFNDP (Source: FNDC GIS).

Soil composition

The soils on the site are shown as Class 6 in the Land Use Capability (LUC) system. Class 6 soils are not considered highly productive land under the NPS-HPL.¹

¹ Manaaki Whenua Landcare Research

2.2 Surrounding environment

The site is located on the southern edge of Parekura Bay. Parekura Bay is a small coastal settlement in the Bay of Islands, located 10km east of Russell. There is a small area zoned 'Coastal Residential', surrounded by the CLZ. There is a higher density of residential built form along this part of the coastline

Elsewhere, the surrounding environment is rural in nature. It typically consists of larger allotments that are utilised for a range of rural purposes. There are large stands of indigenous and exotic vegetation along this part of the coastline. Rural production activities are limited, generally confined to the open areas of pasture scattered amongst the vegetation. There is a low density of residential built form. The rural environment is zoned a mix of GCZ and RPZ under the OFDNP.

Overall, the surrounding land use is mixed. There is a higher density of residential activities on this part of the coastline than other areas to the east and west.

3. THE PROPOSAL

3.1 General

The proposal is to construct a shed and two new cabins on the site, and to legalise six existing buildings.

The location of all of the existing and proposed buildings is shown on the site plan attached in **Appendix 1**. All of them will be within the GCZ. Sheds4U have prepared plans of the new shed, which are attached in **Appendix 2**. The applicant has prepared elevations of the new cabins, which are attached in **Appendix 3**.

3.2 The proposed shed

The proposed shed will be constructed within the existing Building Development Zone. It will have four 8m long and 4m wide bays, with a total GFA of 128m².

The easternmost bay will be open to the front and the side, but enclosed to the rear and internally to the rest of the shed.

The two middle bays will form an open plan area in the middle of the shed. They will be enclosed to the sides and rear, with two rollers and an access door at the front, and an access door to the easternmost bay. There will be a shower, two toilets, a laundry, a basin and a washtub at the back of one of these bays.

The westernmost bay will have three storage rooms. Two of these will be accessed from the shed. The third storage room will only have an external door, it will not be possible to access it internally.

The external elevations of the shed are shown on Sheet 1 of the Sheds4U plans and in **Figure 8** below.

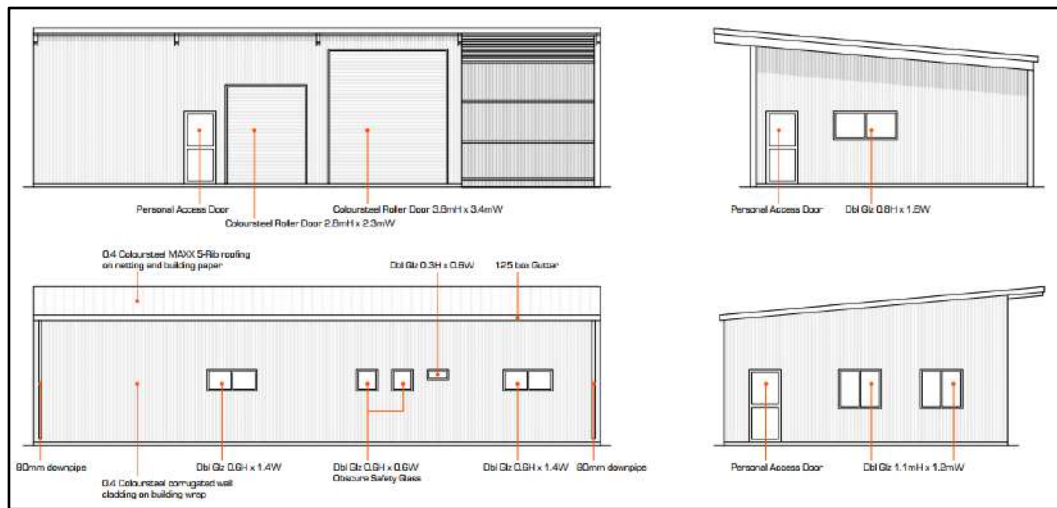


Figure 8. External elevations of the proposed shed (Source: Sheds4U).

3.3 The proposed cabins

The proposed cabins will be constructed in the grassed area, one in the Building Development Zone and the other outside of it as shown on the site plan. They will have a width of 4.5m and a length of 6.5m, with a total GFA of 29.25m². The maximum height will be 2.8m. They will be clad in corrugated iron with colours designed to match the existing buildings. They will be in the BS5252 standard colour palette range with a reflectance value of 30% or less.

The external elevations of the proposed cabins are attached in **Appendix 3**.

3.4 The existing buildings

The six existing buildings are in the grassed area of the site. The pole lean to and Cabin 1 are within the Building Development Zone. The other buildings are outside of it. The use and GFA of each building is as follows:

- The skyline garage is used to store equipment and typical household items. It has a GFA of 47m². It will be repainted a colour in the BS5252 standard colour palette range with a reflectance value of 30% or less.
- The pole lean to is used as a cooking facility. It has a GFA of 58m².
- The cabins are used for sleeping or for storing typical household items. They have GFAs of 40m² (Cabins 1 and 3), 29.25m² (Cabin 2) and 25m² (Cabin 4).

The external appearance of the existing buildings is shown in **Figures 9 – 12** below.



Figure 9. The skyline garage (Source: SCLA).

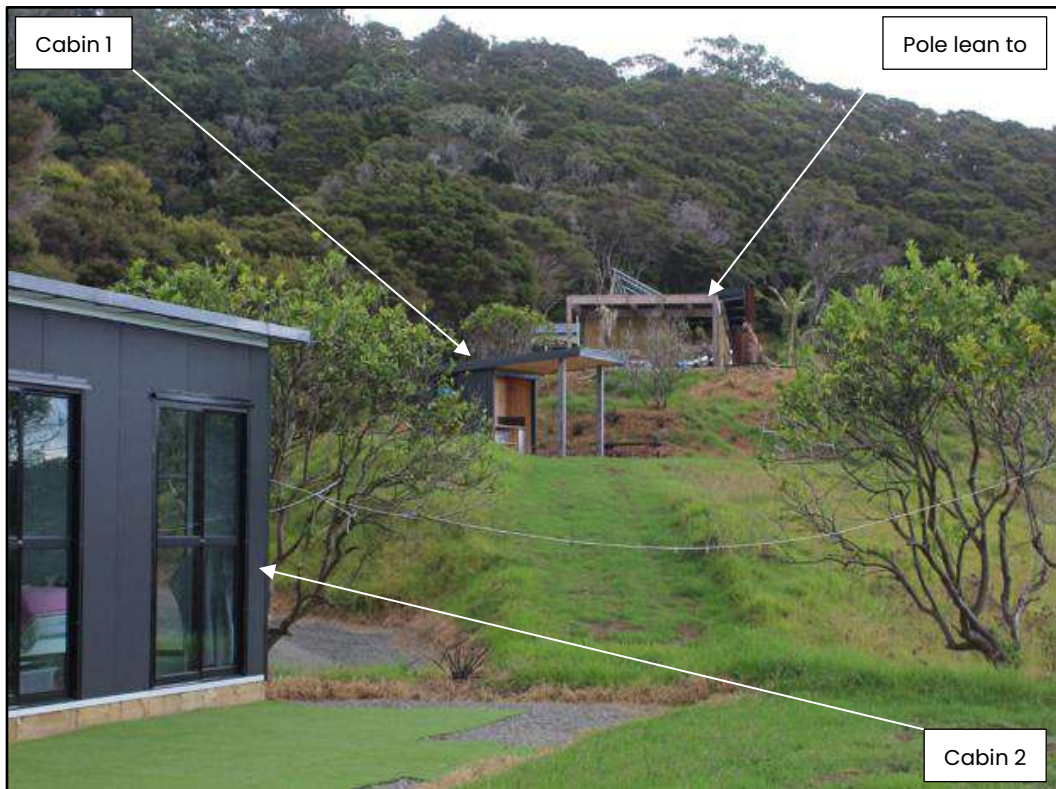


Figure 10. The pole shed and Cabins 1 and 2 (Source: SCLA).



Figure 11. Cabins 1 – 3 (Source: SCLA).



Figure 12. Cabins 2 – 4 (Source: SCLA).

3.5 Access and parking

The existing vehicle crossing and metalled driveway will provide access to the buildings. There will be no increase in the number of users, and therefore no upgrades are required. There is sufficient parking in the shed for any visitors.

3.6 Proposed consent notice variation

It is proposed to vary condition 1(i) of consent notice 10807169.7 to legalise the existing buildings constructed outside of the Building Development Zone and

allow the construction of the new cabins. The amended wording is below, with deletions shown as ~~strikethrough~~ and additions shown as **bold** and underlined.

- (i) (Proposed house sites) No buildings shall be constructed on Lots 1 ~~or~~ 2 outside of the 'building development zones' which have ~~has~~ been identified on the survey plan. **No buildings shall be constructed on Lot 2 outside of the "Proposed Covenant Boundary" identified on the site plan prepared by Reyburn and Bryant, titled "Site Plan of Lot 2 DP 479155", reference number "SP16978", dated May 2024, Revision B.**

It is also proposed to vary condition 2(a) of consent notice 10807169.7 to allow an approved TP58 writer to design a wastewater treatment or disposal system. The amended wording is below, with deletions shown as ~~strikethrough~~ and additions shown as **bold** and underlined.

- (a) (Wastewater treatment) Any dwellings will require a wastewater treatment or disposal system designed by a Chartered Professional Engineer **or one of the Far North District Council's approved list of TP58 Writers** in accordance with the Auckland District Council's Technical Publication No. 58. The design and details of such are to be submitted to council in conjunction with a building consent application.

3.7 Landscape and design controls

Simon Cocker Landscape Architecture (SCLA) has prepared a landscape assessment in support of this application. A copy of this report is attached in **Appendix 6**. It recommends mitigation planting across the site consisting of a tall mix (2.5m – 6m) and a low mix (1.5m to 2.5m) interspersed with native specimen trees. The planting is detailed in Figure 2b of the SCLA report and is summarised below:

- Low mix with some specimen trees between the pole shed/Cabin 1 and the northern edge of the grassed area, in several separate pockets;
- Tall mix between Cabin 1 and the southern edge of the grassed area;
- Low mix between Cabins 2/3 and the driveway;
- Low mix between Cabins 2/3 and the southern edge of the grassed area in two pockets;

- Low mix and tall mix between Cabin 4 and the northern edge of the grassed area in separate pockets on either side of the driveway;
- Tall mix with specimen trees between the existing shed and the proposed shed;
- Low mix with specimen trees between the proposed shed and the pole shed;
and

4. RULE ASSESSMENT

4.1 Relevant planning notations

The site a split zoning of GCZ, CLZ and RPZ under the OFNDP. The majority of the site is within an Outstanding Landscape.

The FNDC notified a suite of plan changes on 27 July 2022. The site is zoned RPZ under the PFNDP. It is entirely within the CE. Portions of the site are within an ONL and a HNCA.

The relevant planning maps are attached in **Appendix 7**.

4.2 Operative Far North District Plan rule assessment

Resource consent is required in accordance with the following rules of the OFNDP:

- Rule 10.6.5.2.2 – The proposal does not comply with Rule 10.6.5.1.1 as the proposed shed and the pole lean to will have GFAs in excess of 50m². However, the proposal complies with Rule 10.6.5.2.2 as the proposed shed and the pole lean to are located entirely within a building platform approved under a resource consent (the Building Development Zone). Therefore, the proposal is a **controlled activity** under Rule 10.6.5.2.2.

Matters over which control is reserved:

- i. the size, bulk, and height of the building in relation to ridgelines and natural features;*
- ii. the colour and reflectivity of the building;*
- iii. the extent to which planting can mitigate visual effects;*
- iv. any earthworks and/or vegetation clearance associated with the building;*
- v. the location and design of associated vehicle access, manoeuvring and parking areas;*
- vi. the extent to which the building and any associated overhead utility lines will be visually obtrusive;*
- vii. the cumulative visual effects of all the buildings on the site;*
- viii. the degree to which the landscape will retain the qualities that give it its naturalness, visual and amenity values;*
- ix. the extent to which private open space can be provided for future uses;*

- x. the extent to which the siting, setback and design of building(s) avoid visual dominance on landscapes, adjacent sites and the surrounding environment;*
 - xi. the extent to which non-compliance affects the privacy, outlook and enjoyment of private open spaces on adjacent sites.*
- Rule 12.1.6.2.1 – The existing and proposed buildings are within an Outstanding Landscape. The proposal does not comply with Rule 12.1.6.1.5 as the sheds, pole lean to, Cabins 1 – 3 and the two future cabins will have GFAs in excess of 25m². Therefore, the proposal is a **restricted discretionary activity** under Rule 12.1.6.2.1. Council have restricted their discretion under this rule to the following matters:
 - i. the location of the building; and*
 - ii. the size, bulk and height of the building in relation to ridgelines, areas of indigenous vegetation and habitats of indigenous fauna, existing trees and other natural features; and*
 - iii. the degree to which the landscape will retain the qualities that make it outstanding, including naturalness, and visual and amenity values; and*
 - iv. the design of the building; and*
 - v. the location and design of associated vehicle access, manoeuvring and parking areas; and*
 - vi. the extent to which planting can mitigate visual effects; and*
 - vii. the means by which permanent screening of the building from public viewing points on a public road, public reserve, or the foreshore may be achieved, and*
 - viii. the cumulative visual effects of all buildings on the site.*

It is noted that no earthworks or indigenous vegetation clearance is proposed.

A full assessment of the OFNDP rules is attached in **Appendix 8**.

4.3 Proposed Far North District Plan rule assessment

The PFNDP was publically notified on 27 July 2022. The submission period closed on 21 October 2022, and the further submission period closed on 4 September 2023. Given the early stages of the process and pursuant to s86B of the RMA, the rules of the Plan Change do not have legal effect (except for those specifically identified).

For completeness, an assessment has been made with respect to the rules of the PFNDP, and this is attached in **Appendix 8**. None of the identified rules have immediate legal effect under s86F of the RMA. However, if these rules were to have legal effect, the proposal would be a **discretionary activity** as it is proposed to construct a building outside of an urban zone larger than 25m² in the CE outside an ONCA.

5. ASSESSMENT OF ENVIRONMENTAL EFFECTS

5.1 Existing environment

Section 104(1)(a) of the RMA requires a consideration of any actual and potential effects on the environment of allowing an activity. The existing environment has been described in Section 2 of this report.

For clarity, this includes:

- The Building Development Zone on the site, Area I on DP 479155.
- The surrounding pattern of development, which includes the coastal settlement of Parekura Bay immediately north of the site.

There are no unimplemented consents in the vicinity of the site that would influence the following assessment of environmental effects.

5.2 Permitted baseline

Section 104(2) of the RMA allows a consent authority to disregard an adverse effect of an activity on the environment if a plan permits an activity with that effect. This is commonly referred to as the permitted baseline.

The applicant can construct any number of non-habitable buildings in the Building Development Zone provided they have a GFA of 25m² or less and comply with (1) and (2) below:

- (1) A maximum impervious surface coverage (10% of the area of the site or 2.2015ha).
- (2) Any buildings that are visible from a public road, public reserve, the Coastal Marine Area or the foreshore are coloured with the BS5252 standard colour palette range with a reflectance value of 30% or less.

Any number of 25m² buildings could be constructed in the Building Development Zone without a resource consent. The effects associated with this should be considered as part of the permitted baseline and disregarded from the effects assessment.

5.3 Matters of discretion

The SCLA report, attached in **Appendix 6**, considers any adverse effects of the buildings on the landscape and amenity values as well as any visual effects. However, FNDC have restricted their discretion under Rule 12.1.6.2.1 to eight matters. These are identified and assessed below. The matters over which control has been reserved under Rule 10.6.5.2.2 are generally encapsulated in these matters of discretion.

i. the location of the building; and

Assessment – The buildings are located in a grassed area of the site. They do not require the removal of any indigenous vegetation or modification of the existing landform.

ii. the size, bulk and height of the building in relation to ridgelines, areas of indigenous vegetation and habitats of indigenous fauna, existing trees and other natural features; and

Assessment – The SCLA report notes that the grassed area is only visible from locations in excess of 800m away. Due to their dark colours, the cabins recede into the landscape. The existing shed is currently prominent, but it will be repainted a recessive colour to integrate it with the surrounding landscape (see Section 3.4 of this report). The new shed will also be painted a recessive colour so that it recedes into the indigenous vegetation. The planting will reduce the area of grass, reducing the contrast between the grass and the buildings and therefore reducing the visibility of the buildings.

iii. the degree to which the landscape will retain the qualities that make it outstanding, including naturalness, and visual and amenity values; and

Assessment – The SCLA report describes the characteristics of the Outstanding Landscape. It has been modified by development, particularly earthworks and dwellings, to the extent that it is not a rare landscape. The buildings will be in a part of the landscape where the landform and vegetation has been modified. The prominence and visibility of the buildings will be reduced by repainting them in a recessive colour and replanting the grassed area of the site. In accordance

with the conclusions of the SCLA assessment, any adverse effects of the buildings on the landscape will be less than minor.

iv. the design of the building; and

Assessment – The existing and proposed buildings are already painted in a dark recessive colour or are proposed to be (see Section 3.4 of this report). This will reduce their prominence and visibility against the indigenous vegetation, integrating them with the landscape.

v. the location and design of associated vehicle access, manoeuvring and parking areas; and

Assessment – The vehicle access, manoeuvring and parking areas are existing. No changes are proposed.

vi. the extent to which planting can mitigate visual effects; and

Assessment – SCLA has proposed planting across the site to mitigate visual effects. These areas are shown in Figure 2b of their report and are summarised in Section 3.7 of this report. The planting will reduce the grassed areas of the site, reducing the prominence of the buildings on the ridgeline.

vii. the means by which permanent screening of the building from public viewing points on a public road, public reserve, or the foreshore may be achieved, and

Assessment – SCLA has assessed the visual effects of the buildings on individuals in public viewing points. The groups are the land based views from the western edge of Te Uenga Bay, the views from within Te Uenga Bay to the north, the views from Te Uenga Bay to the north east, and the views from Rawhiti Road and coastal properties to the north east. SCLA concludes that the effects are either low or very low in the short term diminishing to very low in the long term. This equates to less than minor. It is anticipated that the conditions of this consent will require the maintenance of the proposed landscaping, which will ensure that this outcome is guaranteed long-term.

viii. the cumulative visual effects of all buildings on the site.

Assessment – Cumulative visual effects will be avoided through the mitigation planting proposed in the SCLA report and summarised in Section 3.7 of this report.

5.4 Adverse effects conclusion

Overall, the adverse effects associated with this proposal in the context of the matters to which Council has restricted its discretion and control will be less than minor relative to the existing environment and permitted baseline.

6. PLANNING ASSESSMENT

6.1 Operative Far North District Plan objectives and policies assessment

The objectives and policies of the OFNDP are relevant to the extent that they can assist in clarifying any ambiguity in the restricted discretionary matters. There is no ambiguity in the restricted discretionary matters, so no specific consideration of the objectives and policies is required. Nonetheless, the following assessment has been undertaken for completeness.

Context

The objectives and policies of the OFNDP are zone specific. There are also other provisions that relate to district wide matters. Given the nature of this application, the objectives and policies in the General Coastal Zone (Chapter 10.6) and the Landscapes and Natural Features Chapter (Chapter 12.1) are of most relevance and are assessed in the context of the proposal below.

Assessment

The key objectives and policies from Chapters 10.6 and 12.1 are grouped and assessed below.

Objective 10.6.3.1 To provide for appropriate subdivision, use and development consistent with the need to preserve its natural character.

Objective 10.6.3.2 To preserve the natural character of the coastal environment and protect it from inappropriate subdivision, use and development.

Policy 10.6.4.1 That a wide range of activities be permitted in the General Coastal Zone, where their effects are compatible with the preservation of the natural character of the coastal environment.

Policy 10.6.4.2 That the visual and landscape qualities of the coastal environment in be protected from inappropriate subdivision, use and development.

These provisions provide for development in the General Coastal Zone where it is consistent and compatible with the natural character of the coastal environment.

The buildings have been designed cognisant of the natural character of the coastal environment. The buildings are already painted a recessive colour or will be as part of the proposal. The grassed area will be replanted, ensuring the buildings integrate with the natural character of the surrounding environment.

The proposal aligns with these provisions.

Objective 12.1.3.1 To protect outstanding landscapes and natural features from inappropriate, subdivision use and development.

Objective 12.1.3.3 To recognise and provide for the distinctiveness, natural diversity and complexity of landscapes as far as practicable including the complexity found locally within landscapes and the diversity of landscapes across the District.

Policy 12.1.4.1 That both positive and adverse effects of development on outstanding natural features and landscapes be taken into account when assessing applications for resource consent.

Policy 12.1.4.7 That the diversity of outstanding landscapes at a District-wide and local level be maintained and enhanced where practicable.

Policy 12.1.4.8 That the trend is towards the enhancement rather than the deterioration of landscape values, including the encouragement of the restoration of degraded landscapes.

Policy 12.1.4.9 That the high value of indigenous vegetation to Outstanding Landscapes be taken into account when assessing applications for resource consents.

Policy 12.1.4.10 That landscape values be protected by encouraging development that takes in account:

- (a) the rarity or value of the landscape and/or landscape features;
- (b) the visibility of the development;
- (c) important views as seen from public vantage points on a public road, public reserve, the foreshore and the coastal marine area;
- (d) the desirability of avoiding adverse effects on the elements that contribute to the distinctive character of the coastal landscapes, especially outstanding landscapes and natural features, ridges and headlands or those features that have significant amenity value;
- (e) the contribution of natural patterns, composition and extensive cover of indigenous vegetation to landscape values;
- (f) Maori cultural values associated with landscapes;
- (g) the importance of the activity in enabling people and communities to provide for their social, economic and cultural well-being.

These provisions require the protection of Outstanding Landscapes from inappropriate subdivision, use and development. They are to be enhanced where possible.

The SCLA report describes the characteristics of the Outstanding Landscape. The buildings are within a part of it where the landform and vegetation has been modified. To ensure the buildings do not dominant the Outstanding Landscape they will be painted a recessive colour to integrate with the indigenous vegetation. Replanting the grassed area will further reduce their prominence against the surrounding Outstanding Landscape.

The proposal aligns with these provisions.

Policy 10.6.4.3 Subdivision, use and development shall preserve and where possible enhance, restore and rehabilitate the character of the zone in regards to s6 matters, and shall avoid adverse effects as far as practicable by using techniques including:

- (a) clustering or grouping development within areas where there is the least impact on natural character and its elements such as indigenous vegetation, landforms, rivers, streams and wetlands, and coherent natural patterns;
- (b) minimising the visual impact of buildings, development, and associated vegetation clearance and earthworks, particularly as seen from public land and the coastal marine area;
- (c) providing for, through siting of buildings and development and design of subdivisions, legal public right of access to and use of the foreshore and any esplanade areas;
- (d) through siting of buildings and development, design of subdivisions and provision of access, that recognise and provide for the relationship of Maori with their culture, traditions and taonga including concepts of mauri, tapu, mana, wehi and karakia and the important contribution Maori culture makes to the character of the District. (Refer Chapter 2 and in particular Section 2.5 and Council's "Tangata Whenua Values and Perspectives (2004)");
- (e) providing planting of indigenous vegetation in a way that links existing habitats of indigenous fauna and provides the opportunity for the extension, enhancement or creation of habitats for indigenous fauna, including mechanisms to exclude pests;
- (f) protecting historic heritage through the siting of buildings and development and design of subdivisions.

Policy 10.6.4.3 requires subdivision, use and development to preserve, and if possible enhance, restore and rehabilitate the character of the coastal environment. It sets six criteria for achieving this.

The proposal preserves and partially enhances the character of the coastal environment. It achieves this by clustering the buildings in a part of the site that has been previously modified, and replanting the grassed area to minimise the

visual impact of buildings. No earthworks or indigenous vegetation clearance is proposed.

The proposal aligns with this policy.

Objective 12.1.3.4 To avoid adverse effects and to encourage positive effects resulting from land use, subdivision or development in outstanding landscapes and natural features and Maori cultural values associated with landscapes.

Policy 10.6.4.4 That controls be imposed to ensure that the potentially adverse effects of activities are avoided, remedied or mitigated as far as practicable.

Policy 12.1.4.2 That activities avoid, remedy or mitigate significant adverse effects on both the natural and the cultural values and elements which make up the distinctive character of outstanding natural features and landscapes.

Policy 12.1.4.3 That the cumulative effect of changes to the character of Outstanding Landscapes be taken into account in assessing applications for resource consent.

Objective 12.1.3.4, Policy 10.6.4.4 and Policy 12.1.4.2 direct adverse effects to be avoided, remedied or mitigated. Section 5 of this report confirms that the adverse effects associated with the proposal will be less than minor.

Policy 12.1.4.3 requires cumulative effects of changes to the Outstanding Landscape to be taken into account. Cumulative effects have been taken into account, and will be avoided through the mitigation planting proposed in the SCLA report and summarised in Section 3.7 of this report.

The proposal aligns with these provisions.

Policy 12.1.4.4 That the visibility of Outstanding Landscape Features, when viewed from public places, be taken into account in assessing applications for resource consent.

Policy 12.1.4.4 requires the visibility of Outstanding Landscapes from public places to be assessed as part of resource consent applications. The SCLA report assesses the visibility of the buildings from public places. It concludes that the effects are low or very low in the short term diminishing to very low in the long term, and are therefore less than minor.

The proposal aligns with Policy 12.1.4.4.

Policy 12.1.4.5 That the adverse visual effect of built development on outstanding landscapes and ridgelines be avoided, remedied or mitigated.

Policy 12.1.4.5 requires visual effects on Outstanding Landscapes and ridgelines to be avoided, remedied or mitigated. The buildings have designed cognisant of the Outstanding Landscape and ridgeline. They will be painted a dark recessive colour to integrate with the indigenous vegetation. The grass will also be replanted with indigenous vegetation, reducing the prominence and visibility of the buildings and integrating them with the Outstanding Landscape and the ridgeline.

The proposal aligns with Policy 12.1.4.5.

Conclusion

The assessment provided above confirms that the proposal is consistent with the policy direction of the OFNDP.

6.2 Proposed Far North District Plan objectives and policies assessment

Context

The PFNDP was publically notified on 27 July 2022. The submission period closed on 21 October 2022, and the further submission period closed on 4 September 2023. Given the stage of the process and pursuant to s86B(1)(c) of the RMA, the rules of the Plan Changes do not have legal effect (except for those specifically identified). Nevertheless, an assessment to determine the activity status that this proposal would have under the PFNDP provisions has been made in Section 4.3 of this report. While the majority of the rules do not have legal effect, the objectives and policies are a relevant consideration under s104(1)(b)(vi) of the RMA.

Weighting

With regards to weighting, the plan changes are in the early stages, with submissions and further submissions having closed (on 21 October 2022 and 4 September 2023 respectively). Little weight should therefore be applied to the PFNDP when considering the application. Nonetheless, an assessment of the objectives and policies is provided below for completeness.

Assessment

The objectives and policies of the PFNDP are zone specific. There are also other provisions that relate to district wide matters. This assessment considers the relevant objectives and policies in the district wide CE Chapter. The proposal is a permitted activity with respect to the Rural Production Zone, so is therefore inherently consistent with the objectives and policies for that chapter.

The relevant objectives and policies of the CE Chapter are listed below.

CE-O1 The natural character of the coastal environment is identified and managed to ensure its long-term preservation and protection for current and future generations.

CE-O2 Land use and subdivision in the coastal environment:

- a. preserves the characteristics and qualities of the natural character of the coastal environment;
- b. is consistent with the surrounding land use;
- c. does not result in urban sprawl occurring outside of urban zones;
- d. promotes restoration and enhancement of the natural character of the coastal environment; and
- e. recognises tangata whenua needs for ancestral use of whenua Māori.

CE-P2 Avoid adverse effects of land use and subdivision on the characteristics and qualities of the coastal environment identified as:

- a. outstanding natural character;
- b. ONL;
- c. ONF.

CE-P3 Avoid significant adverse effects and avoid, remedy or mitigate other adverse effects of land use and subdivision on the characteristics and qualities of the coastal environment not identified as:

- a. outstanding natural character;
- b. ONL;
- c. ONF.

CE-P4 Preserve the visual qualities, character and integrity of the coastal environment by:

- a. consolidating land use and subdivision around existing urban centres and rural settlements; and
- b. avoiding sprawl or sporadic patterns of development.

CE-P10 Manage land use and subdivision to preserve and protect the natural character of the coastal environment, and to address the effects of the activity requiring resource consent, including (but not limited to) consideration of the following matters where relevant to the application:

- a. the presence or absence of buildings, structures or infrastructure;

- b. the temporary or permanent nature of any adverse effects;
- c. the location, scale and design of any proposed development;
- d. any means of integrating the building, structure or activity;
- e. the ability of the environment to absorb change;
- f. the need for and location of earthworks or vegetation clearance;
- g. the operational or functional need of any regionally significant infrastructure to be sited in the particular location;
- h. any viable alternative locations for the activity or development;
- i. any historical, spiritual or cultural association held by tangata whenua, with regard to the matters set out in Policy TW-P6;
- j. the likelihood of the activity exacerbating natural hazards;
- k. the opportunity to enhance public access and recreation;
- l. the ability to improve the overall quality of coastal waters; and
- m. any positive contribution the development has on the characteristics and qualities.

These objectives and policies from the CE Chapter are focused on ensuring that development is consistent and compatible with the natural character of the coastal environment. ONLs are to be preserved and adverse effects are to be avoided, remedied or mitigated.

The proposal aligns with the objectives and policies of the CE Chapter because:

- The natural character of the coastal environment is identified in the SCLA report. The buildings are already painted a recessive colour or will be as part of the proposal. The grassed area will be replanted with indigenous vegetation, ensuring the prominence and visibility of the buildings is reduced and that they are integrated with the natural character of the surrounding environment.
- The buildings are clustered in a part of the site that has been modified previously. No earthworks or indigenous vegetation clearance is proposed.
- Section 5 of this report confirms that the adverse effects associated with the proposal will be less than minor.
- The SCLA report assesses the visibility of the buildings from public places including the coastal environment, concluding that the effects are low or very low in the short term diminishing to very low in the long term, and are therefore less than minor.

Conclusion

The assessment provided above confirms the proposal is consistent with the policy direction of the PFNDP.

6.3 National Environmental Standard for Assessing and Managing Contaminants in Soil to Protect Human Health Regulations 2011

All applications that involve subdivision, an activity that changes the use of a piece of land, or earthworks are subject to the provisions of the NES-CS. The regulation sets out the requirements for considering the potential for soil contamination, based on the HAIL (Hazardous Activities and Industries List) and the risk that this may pose to human health as a result of the proposed land use.

A review of aerial photographs and the Northland Regional Council 'selected land-use sites' database was undertaken, which confirmed that no HAIL activities are present or have ever taken place on the subject 'piece of land' (see the NRC Selected Land-use Register attached in **Appendix 9**). The NES-CS therefore has no relevance to this application.

6.4 National Policy Statement for Highly Productive Land

As per Section 2.1 of this report, the subject land has Class 6 soils. These are not considered highly productive land under the NPS-HPL. Therefore the NPS-HPL is not applicable to this application.

6.5 Part 2 assessment

An assessment of Part 2 matters is not required unless there are issues of invalidity, incomplete coverage, or uncertainty in the planning provisions.² None of these apply to the relevant FNDP provisions and an assessment under Part 2 of the RMA is not required. However, for completeness, the proposal accords with the purpose of the RMA for the following reasons:

² *R J Davidson Family Trust the Marlborough District Council* [2018] NZCA 316

1. The proposal facilitates the efficient use of resources by allowing the subject site to be developed in general accordance with the relevant intentions of the OFNDP and the PFNDP.
2. Any adverse effects will be less than minor.
3. The proposal will not increase the risk associated with natural hazards.
4. There are no adverse effects on human health associated with the proposal.

The proposal does not offend any matters of national importance in Section 6, or any of the other matters set out in Section 7 and 8 of the RMA.

7. NOTIFICATION

Pursuant to sections 95A and 95B of the RMA, Section 5 of this report concludes that any adverse effects associated with the proposal will be less than minor. Furthermore, there are no special circumstances associated with the application, the applicant has not requested notification, and there is no rule or national environmental standard that requires notification of this application. Consequentially, public notification is not necessary.

The assessment of environmental effects in Section 5 of this report confirms that no parties are considered to be adversely affected by the proposal. Consequentially, limited notification is not necessary.

Having considered the above, the proposal can proceed on a **non-notified** basis.

8. CONCLUSION

The proposal is to construct a shed and two new cabins, and to legalise six existing buildings at Manawaora Road, Parekura Bay.

The buildings are located in a grassed area of the site where the landform has been modified. All of the buildings will be painted a dark recessive colour to integrate them with the indigenous vegetation. The prominence and visibility of the buildings will also be reduced by replanting the majority of the grassed area of the site in accordance with the recommendations of the SCLA assessment.

SCLA have assessed the visual effects of the buildings from individuals in public viewing points in their report. They conclude that the effects will be low or very low in the short term, diminishing to very low over the long term.

The environmental effects associated with the proposal have been assessed in Section 5 of this report and have been determined to be less than minor. Consequently, appropriate regard has been given to s104(1)(a) of the RMA.

Section 6.1 of this report considers the proposal in the context of the objectives and policies of the OFNDP. Overall, the proposal is consistent with the objectives and policies of Chapters 10.6 and 12.1. Section 6.2 of this report confirms that the proposal is consistent with the CE Chapter of the PFNDP. Sections 6.3 and 6.4 of this report confirm that the NES-CS regulations and the NPS-HPL have no relevance to this application. Accordingly, appropriate regard has been given to s104(1)(b)(i), s104(1)(b)(iii) and s104(1)(b)(vi) of the RMA.

Having regard to the relevant matters in s104(1) and s104C of the RMA, the proposal can be approved subject to appropriate conditions of consent.

APPENDIX 1

REYBURN AND BRYANT SITE PLAN



Lot 13
DP 77063

SmithGrey
Cres.

Accessway

Lot 2
DP 120932

Lot 1
DP 479155

MANAWAORA ROAD

Lot 2
DP 479155

Lot 2
DP 479155

Lot 3
DP 479155

KEY	
	Ex. BUILDINGS
	Ex. EASEMENT BOUNDARY
	PROPOSED COVENANT BOUNDARY

**reyburn
&bryant**

Ph: 09 438 3563 PO Box 191, Whangarei 0140
7 Selwyn Ave, Whangarei www.reyburnandbryant.co.nz

CLIENT
KENT FEARON
542 MANAWAORA ROAD,
PAREKURA BAY, RUSSELL

TITLE
SITE PLAN OF
LOT 2 DP 479155

DATE MAY 2024 SCALE 1:2500 @A3

NO. SP16978 Rev. B



Lot 2
DP 479155

EX. EASEMENT 'G' ON DP 479155

EX. CONSENT NOTICE -
BUILDING DEVELOPMENT ZONE

FUTURE CABIN
EX. CABIN
PROPOSED BUILDING
DEVELOPMENT ZONE EXTENSION

EX. CABIN
EX. CABIN

EX. CABIN
FUTURE CABIN

EX. SHED

PROPOSED SHED

EX. SHED

KEY	
	Ex. BUILDINGS
	Ex. METAL AREA
	EX. EASEMENT BOUNDARY
	PROPOSED COVENANT BOUNDARY



Ph: 09 438 3563 PO Box 191, Whangarei 0140
7 Selwyn Ave, Whangarei www.reyburnandbryant.co.nz

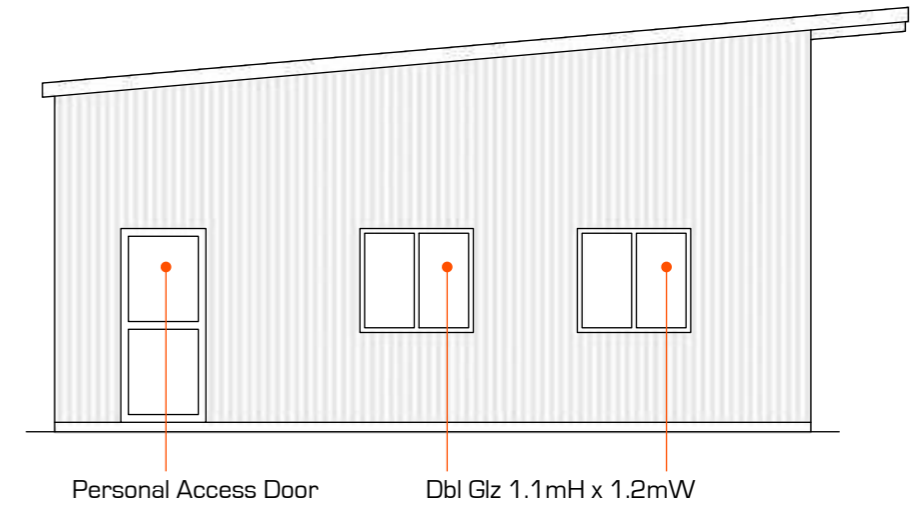
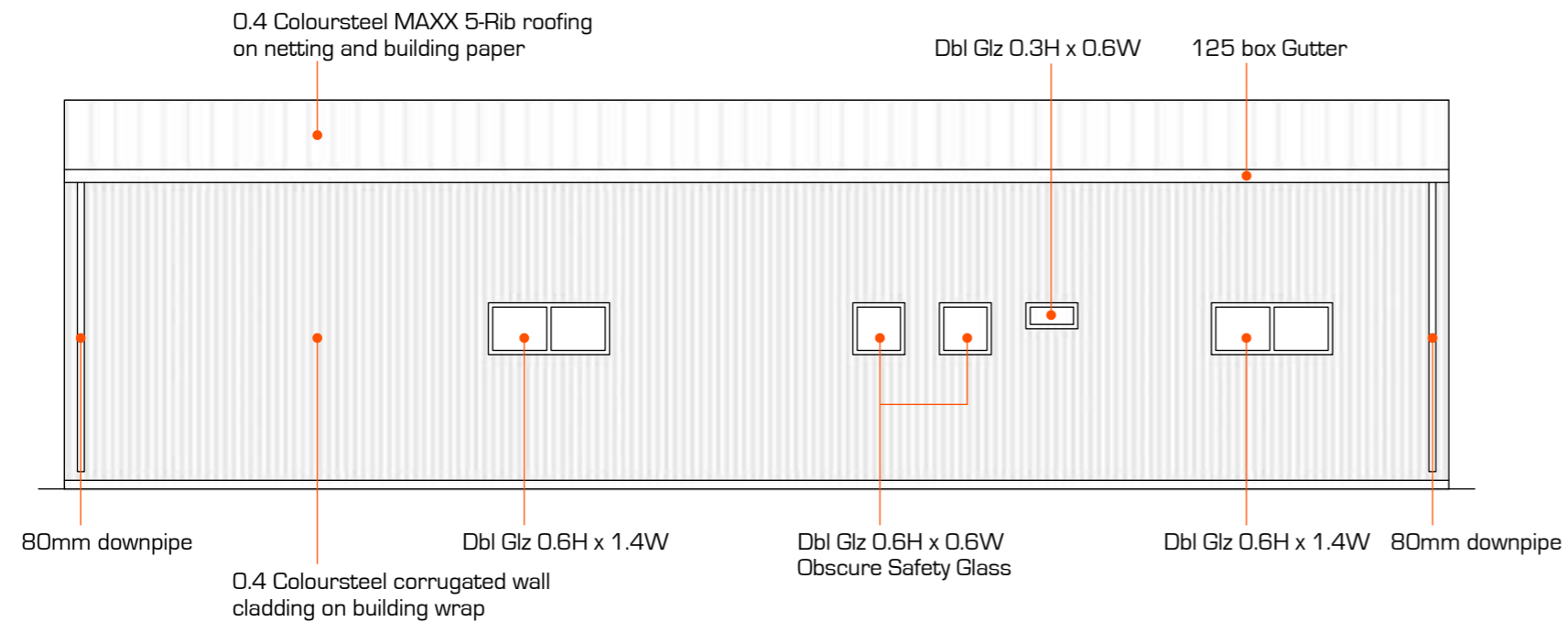
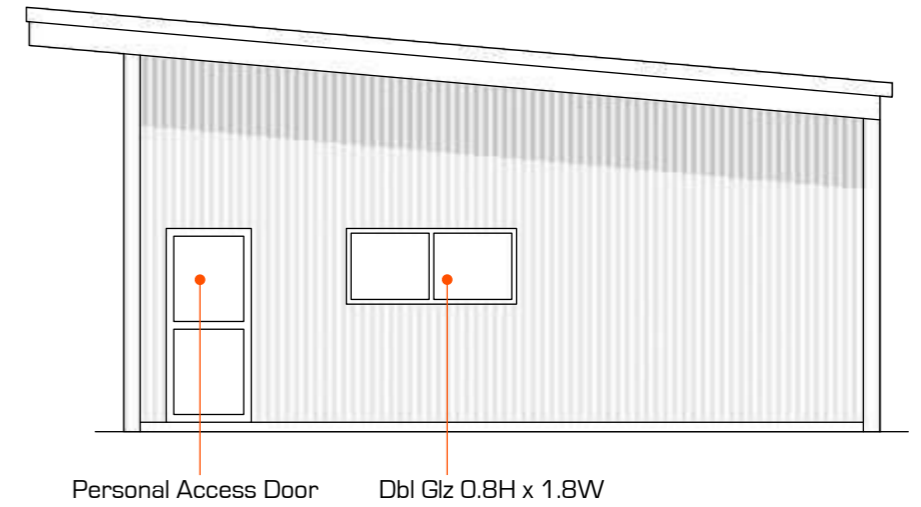
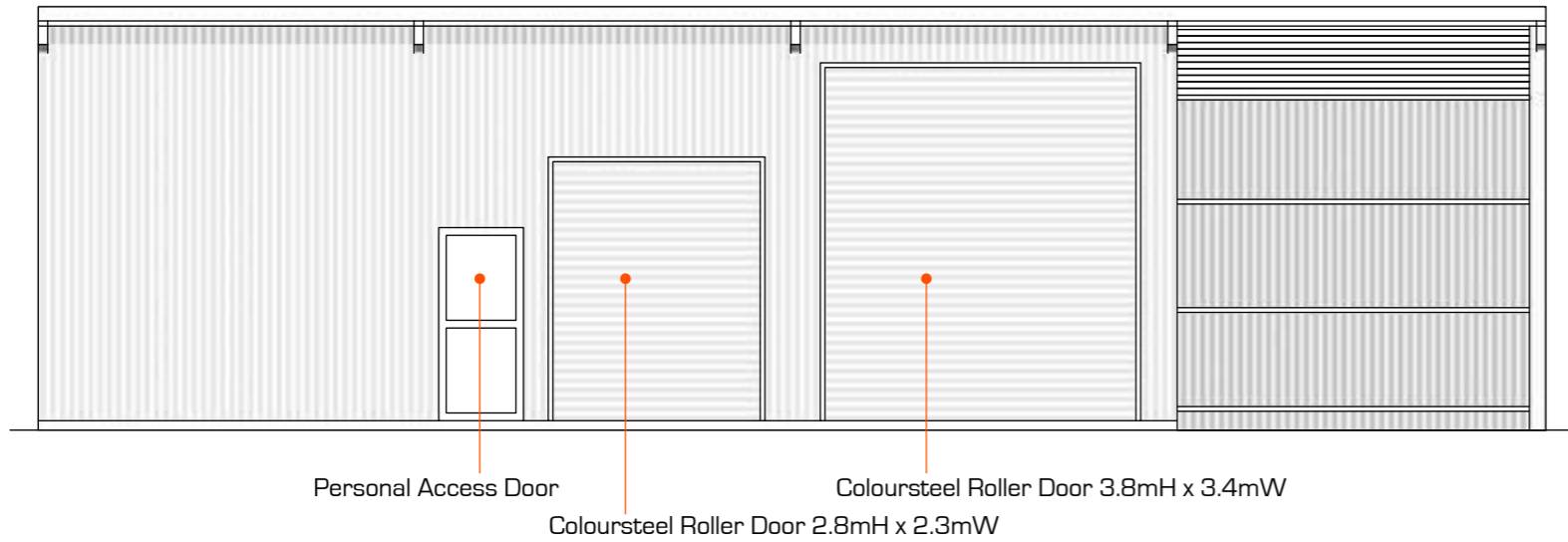
CLIENT
KENT FEARON
542 MANAWAORA ROAD,
PAREKURA BAY, RUSSELL

TITLE
SITE PLAN OF
LOT 2 DP 479155

DATE	MAY 2024	SCALE	1:600 @A3
NO.	SP16978	REV.	B

APPENDIX 2

SHEDS4U PLANS



Site Address	542 Manawaora Road, Parekura bay
Legal Description	Lot 2 DP 479155
Climate Zone	Zone 1
Earthquake	Zone 1
Exposure	Zone D
Rainfall Range	90 - 100
Wind Region	A
Wind Zone	Extra High
Rafter240	2/240x45
RafterMSS	2/MSS 300/18 Nested Galvanized
EndRafter	240x45
Purlin	190x45 at max 800mm crs
StudFrame140	140x45 [Nogs @ 800/Studs @ 600/Double Lintel & Trim Studs]
StudFrame190	190x45 [Nogs @ 800/Studs @ 600/Double Lintel & Trim Studs]
InternalFraming	90x45 [Nog2 @ 800/Studs @ 600/Double Lintel & Trim Studs]
Girt190	190x45 at max 1.1m crs
TrimT3	3/190x45
Pole	175 SED Embedment 1.2m x 600 dia H5 HIGH Grade
StripBracing	0.55mm x 27mm G550 Z275 Galvanised Steel

These plans accurately represent the requirements of the attached dated and signed calculations.

James

For I.L. Watson Consulting Engineer Ltd.

All dimensions/specifications etc found within this plan set to be checked on site before commencing any work.

All glazing to comply with NZ4223

All work to comply with Health & Safety Act 2015 and NZBC F5

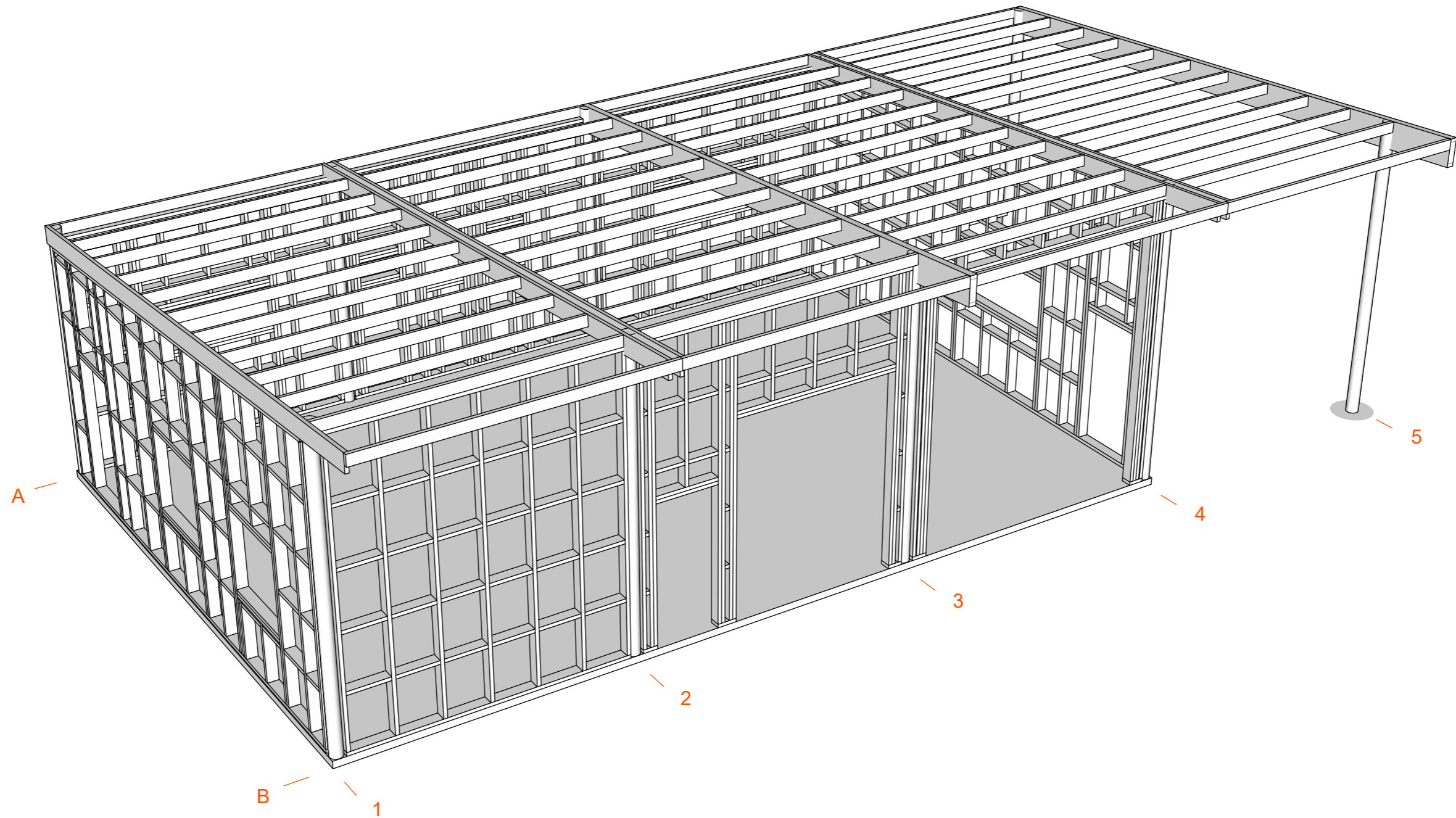
Proposed Habitable for Kent FEARON

Job: 117984
 Ver: 28.09.23

S1

Elevations





Rafter240	2/240x45
RafterMSS	2/MSS 300/18 Nested Galvanized
EndRafter	240x45
Purlin	190x45 at max 800mm crs
StudFrame140	140x45 [Nogs @ 800/Studs @ 600/Double Lintel & Trim Studs]
StudFrame190	190x45 [Nogs @ 800/Studs @ 600/Double Lintel & Trim Studs]
InternalFraming	90x45 [Nog2 @ 800/Studs @ 600/Double Lintel & Trim Studs]
Girt190	190x45 at max 1.1m crs
TrimT3	3/190x45
Pole	175 SED Embedment 1.2m x 600 dia H5 HIGH Grade
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of the attached dated and signed calculations.

For I.L. Watson Consulting Engineer Ltd.

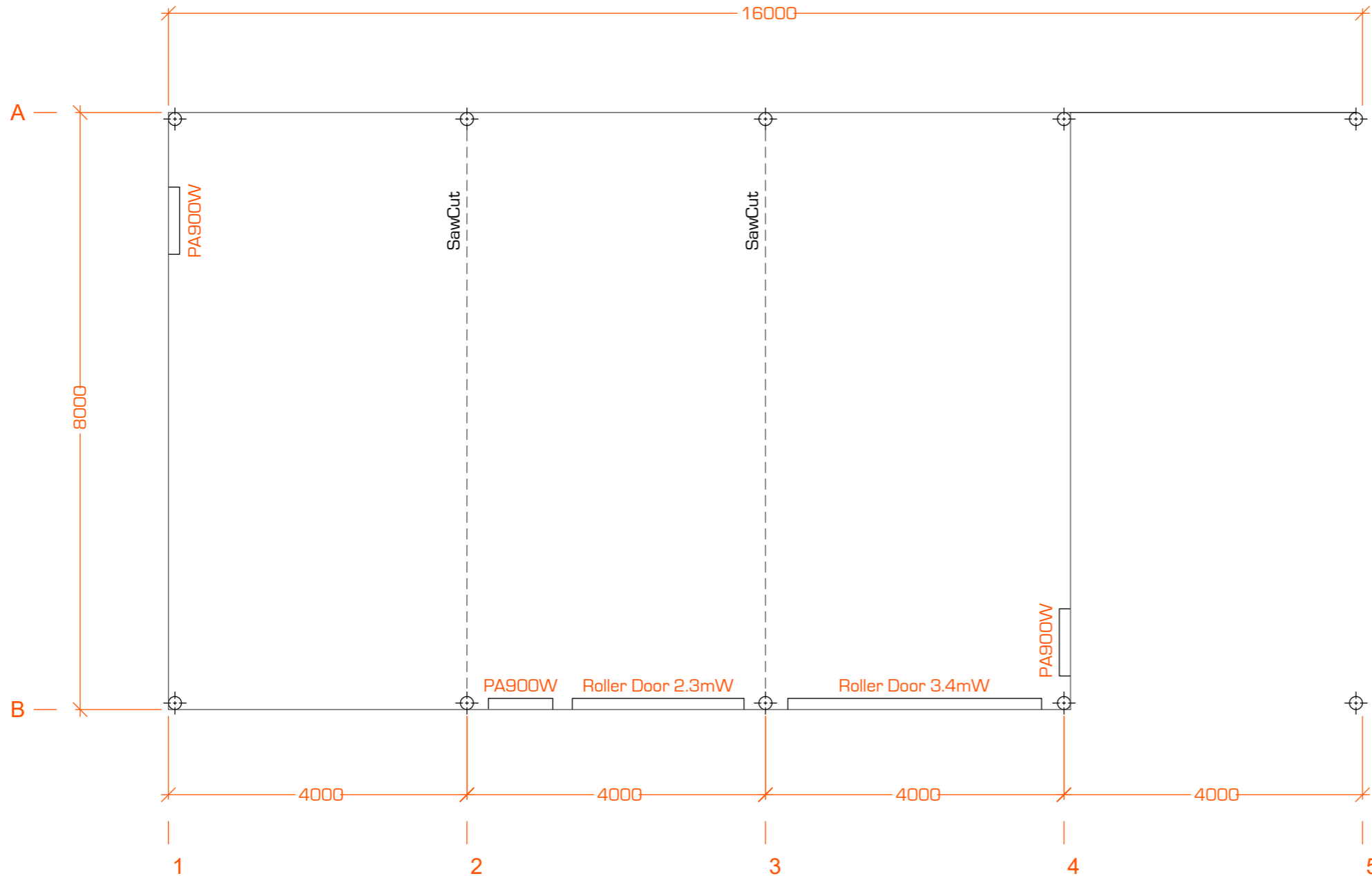
Proposed Habitable for Kent FEARON

Job: 117984
Ver: 28.09.23

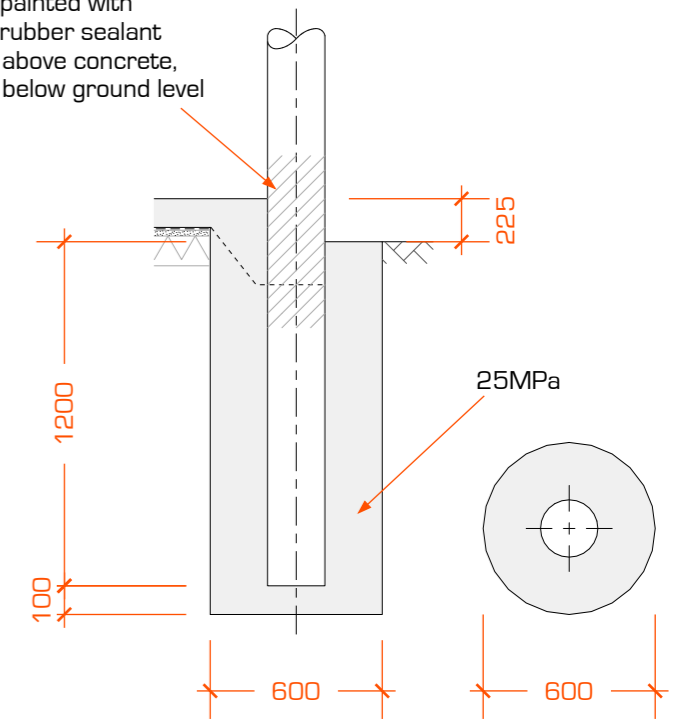
S2

Isometric

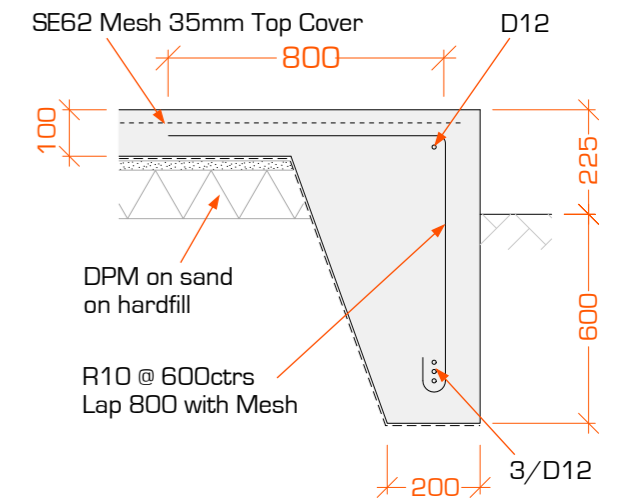




If shed is to be lined, poles must be painted with bitumen rubber sealant 150mm above concrete, 300mm below ground level



Pole Footing



Perimeter Edge Thickening

Rafter240	2/240x45
RafterMSS	2/MSS 300/18 Nested Galvanized
EndRafter	240x45
Purlin	190x45 at max 800mm crs
StudFrame140	140x45 [Nogs @ 800/Studs @ 600/Double Lintel & Trim Studs]
StudFrame190	190x45 [Nogs @ 800/Studs @ 600/Double Lintel & Trim Studs]
InternalFraming	90x45 [Nog2 @ 800/Studs @ 600/Double Lintel & Trim Studs]
Girt190	190x45 at max 1.1m crs
TrimT3	3/190x45
Pole	175 SED Embedment 1.2m x 600 dia H5 HIGH Grade
StripBracing	0.55mm x 27mm G550 Z275 Galvanised Steel

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James

For I.L. Watson Consulting Engineer Ltd.

Notes

Firm stable soil to NZS3604 has been adopted for design purposes. DPC must be installed under all surfaces in contact with concrete.

Proposed Habitable for Kent FEARON

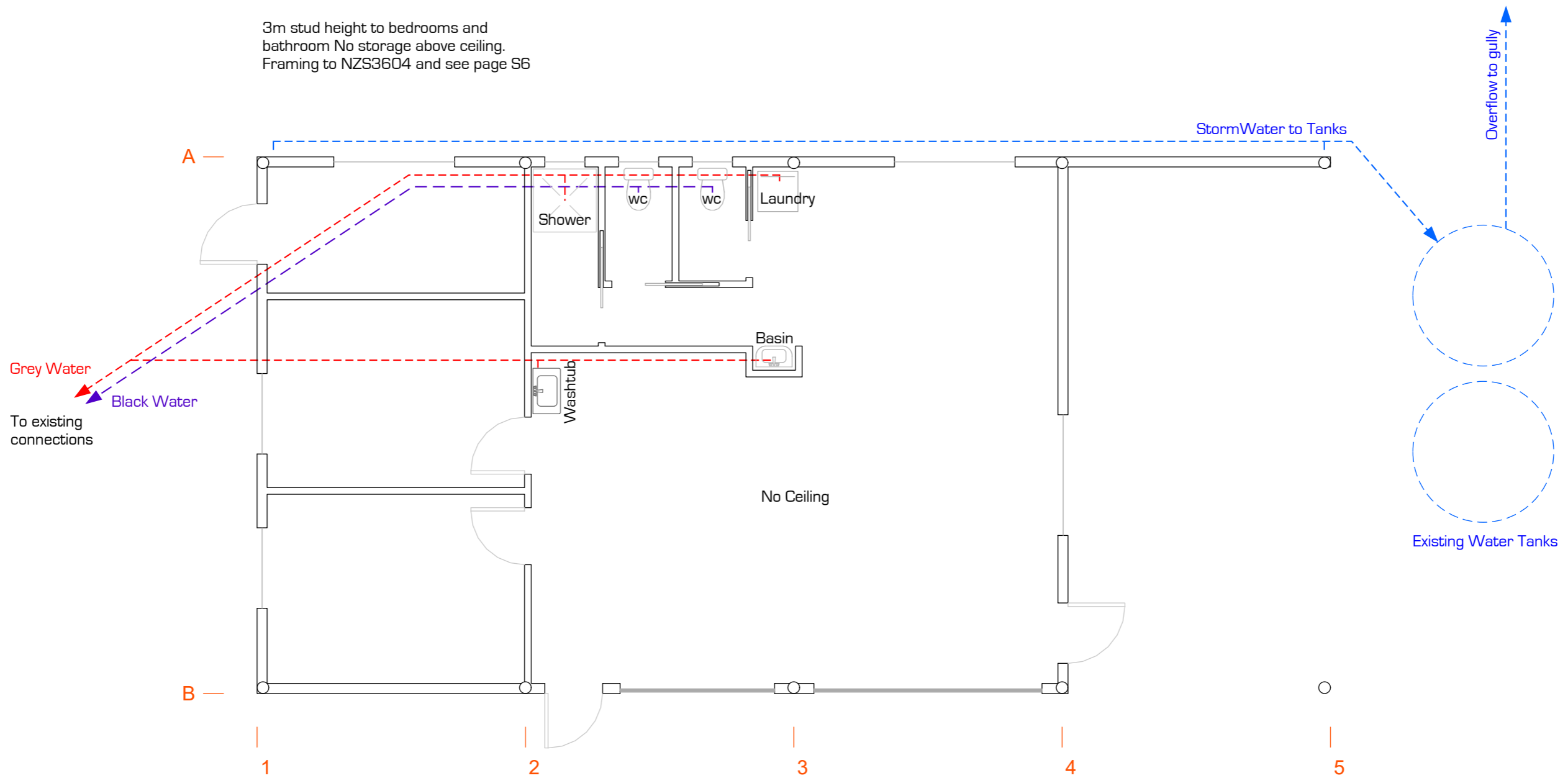
Job: 117984
Ver: 28.09.23

S3

Pole Setout



3m stud height to bedrooms and bathroom
No storage above ceiling.
Framing to NZS3604 and see page S6



Rafter240	2/240x45
RafterMSS	2/MSS 300/18 Nested Galvanized
EndRafter	240x45
Purlin	190x45 at max 800mm crs
StudFrame140	140x45 [Nogs @ 800/Studs @ 600/Double Lintel & Trim Studs]
StudFrame190	190x45 [Nogs @ 800/Studs @ 600/Double Lintel & Trim Studs]
InternalFraming	90x45 [Nog2 @ 800/Studs @ 600/Double Lintel & Trim Studs]
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TrimT3	3/190x45
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StripBracing	0.55mm x 27mm G550 Z275 Galvanised Steel

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J. J. J.

For I.L. Watson Consulting Engineer Ltd.

Proposed Habitable for Kent FEARON

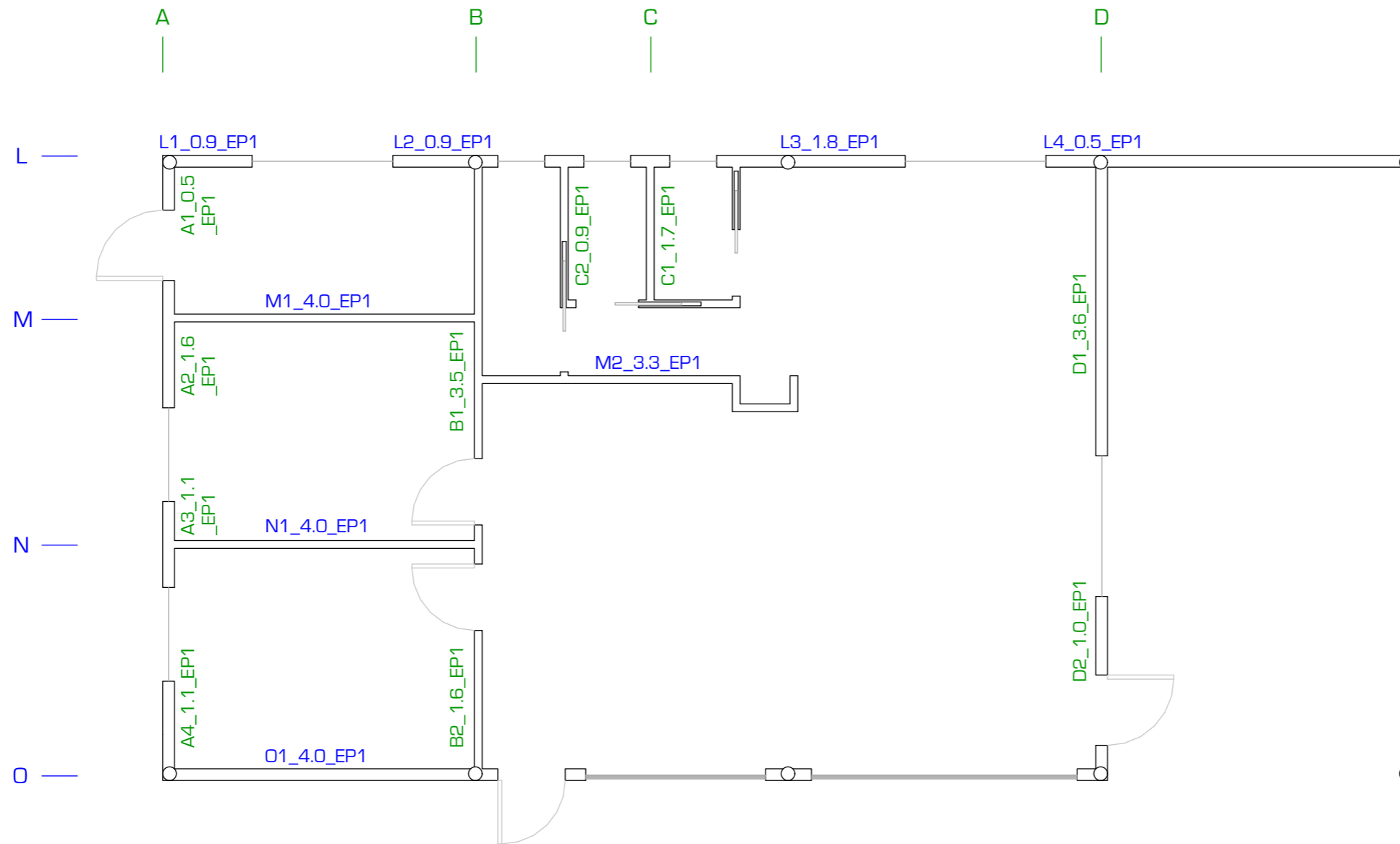
Job: 117984
Ver: 28.09.23

Scale 1:70 on A3

Floor Plan/Plumbing

S4





Rafter240	2/240x45
RafterMSS	2/MSS 300/18 Nested Galvanized
EndRafter	240x45
Purlin	190x45 at max 800mm crs
StudFrame140	140x45 [Nogs @ 800/Studs @ 600/Double Lintel & Trim Studs]
StudFrame190	190x45 [Nogs @ 800/Studs @ 600/Double Lintel & Trim Studs]
InternalFraming	90x45 [Nog2 @ 800/Studs @ 600/Double Lintel & Trim Studs]
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TrimT3	3/190x45
Pole	175 SED Embedment 1.2m x 600 dia H5 HIGH Grade
StripBracing	0.55mm x 27mm G550 Z275 Galvanised Steel

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James

For I.L. Watson Consulting Engineer Ltd.

Proposed Habitable for Kent FEARON

Job: 117984
Ver: 28.09.23

Scale 1:70 on A3

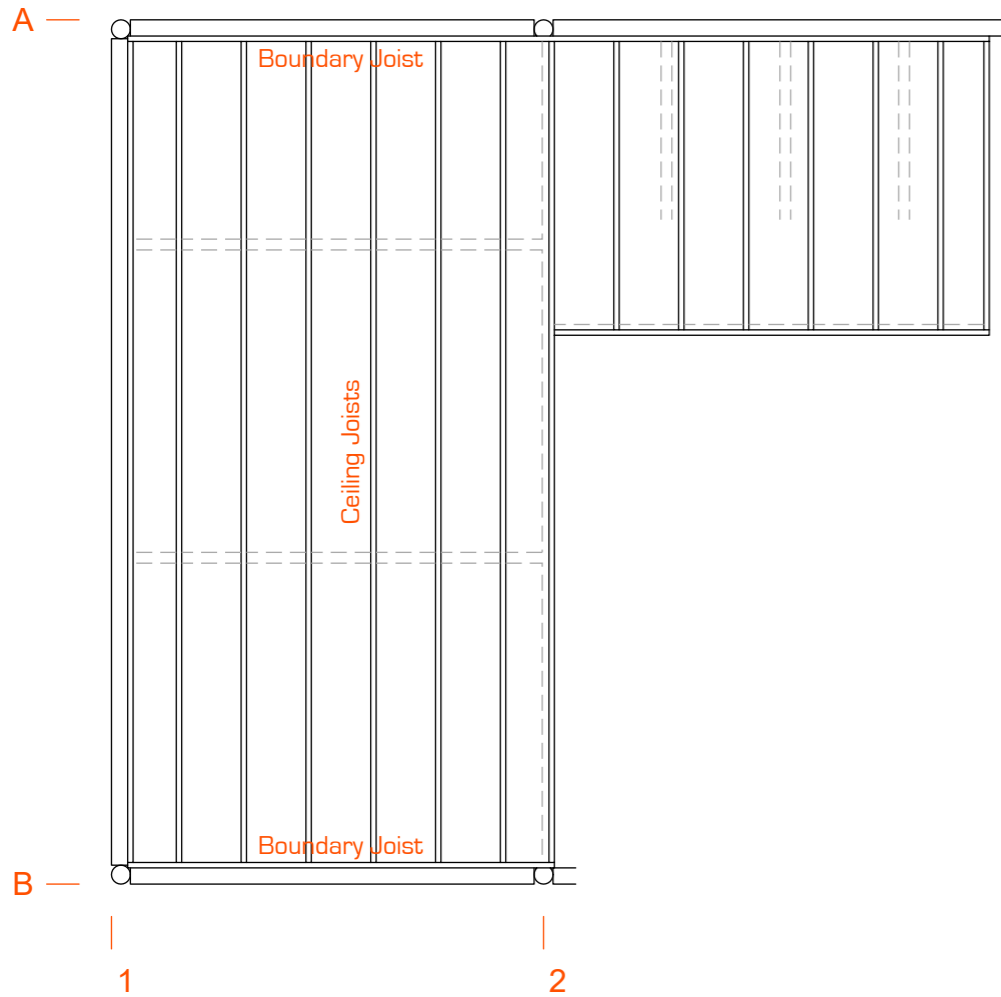
S5

Wall Bracing

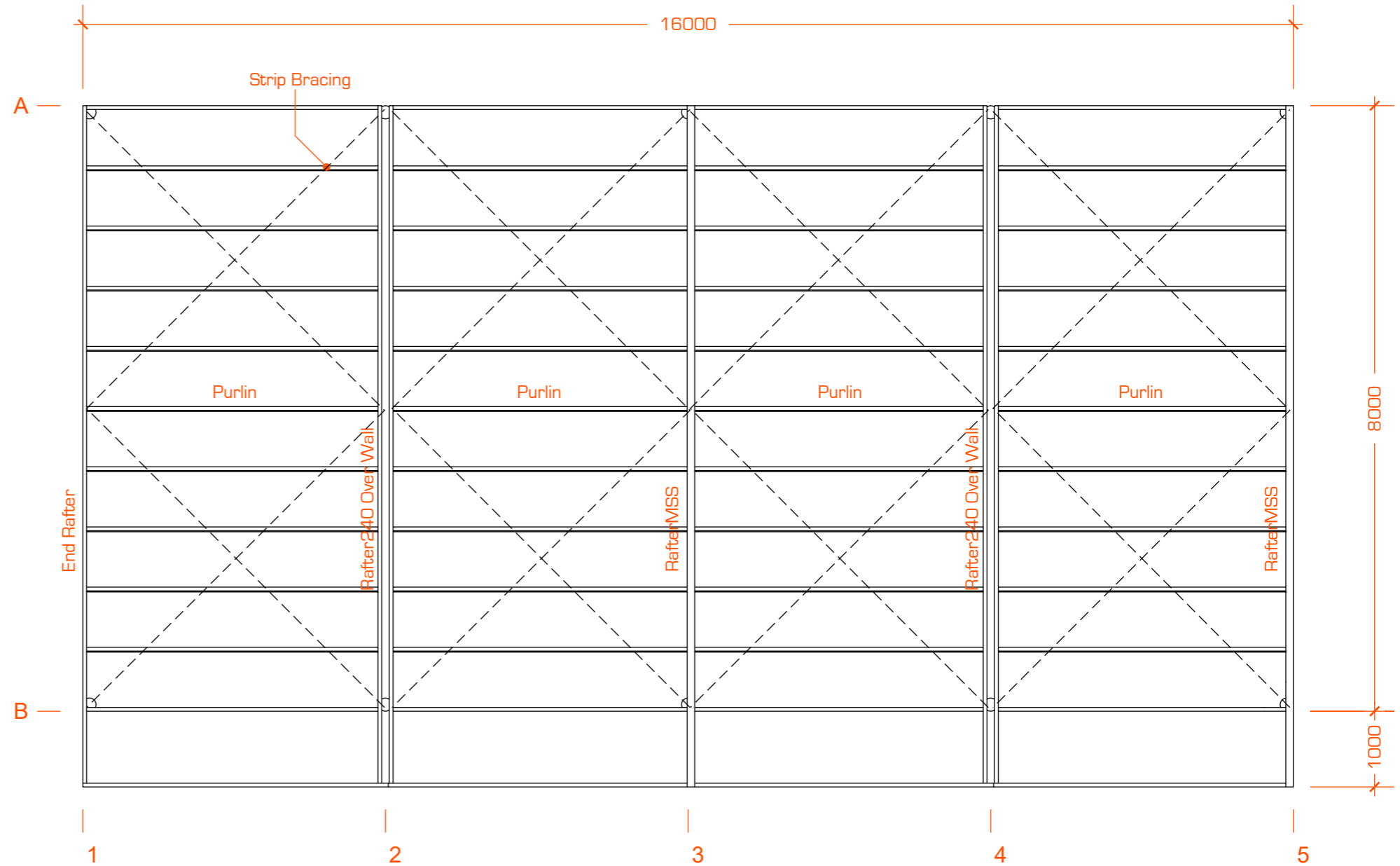


3m stud height to bedrooms and bathroom
no storage above ceiling. Framing to NZS3604

Ceiling Joists Continuous over 2 spans
140x45 at 600 crs or 90x45 at 480 crs



Ceiling



Plan

Rafter240	2/240x45
RafterMSS	2/MSS 300/18 Nested Galvanized
EndRafter	240x45
Purlin	190x45 at max 800mm crs
StudFrame140	140x45 [Nogs @ 800/Studs @ 600/Double Lintel & Trim Studs]
StudFrame190	190x45 [Nogs @ 800/Studs @ 600/Double Lintel & Trim Studs]
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TrimT3	3/190x45
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James

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Proposed Habitable for Kent FEARON

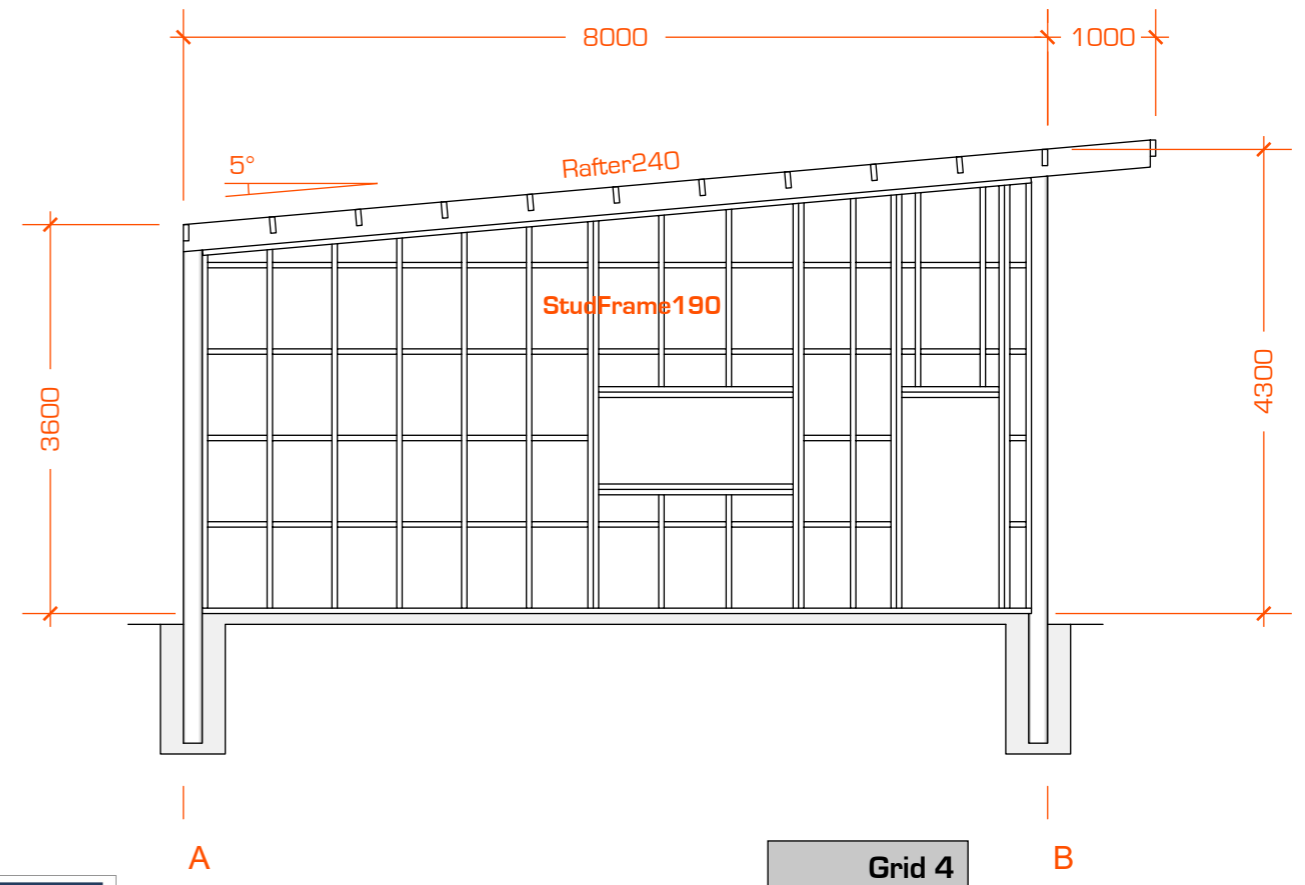
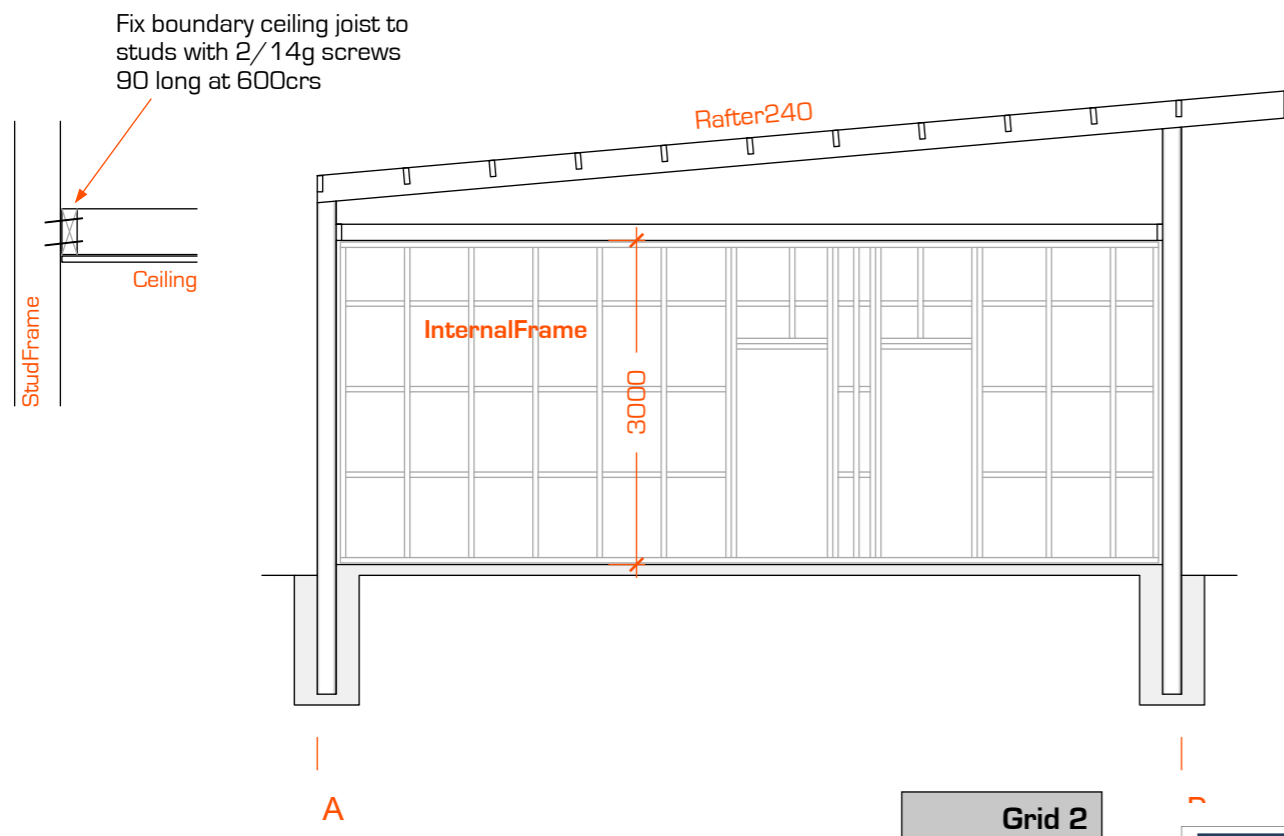
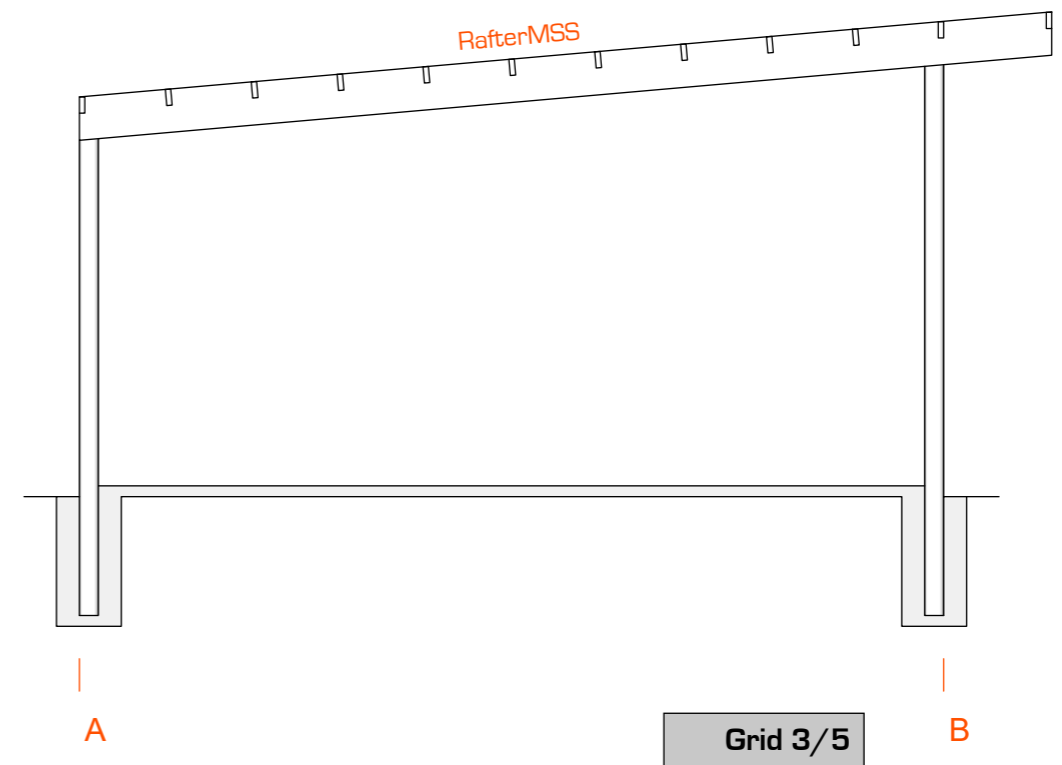
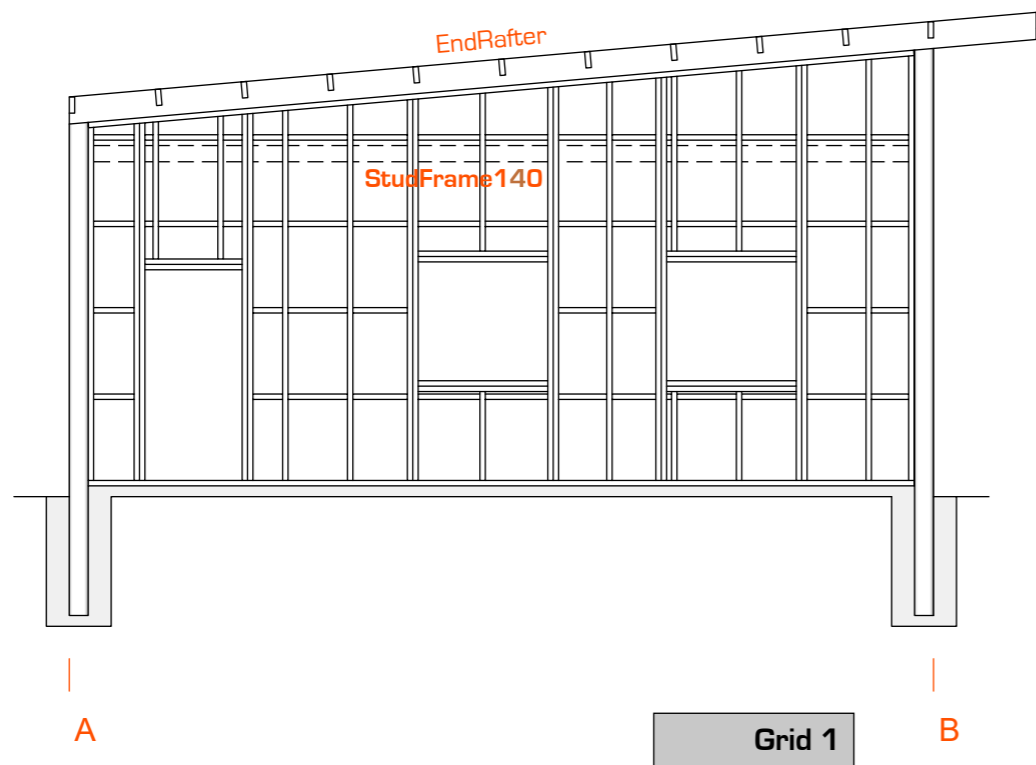
Job: 117984
Ver: 28.09.23

Scale 1:70 on A3

S6

Roof Structure





Rafter240	2/240x45
RafterMSS	2/MSS 300/18 Nested Galvanized
EndRafter	240x45
Purlin	190x45 at max 800mm crs
StudFrame140	140x45 [Nogs @ 800/Studs @ 600/Double Lintel & Trim Studs]
StudFrame190	190x45 [Nogs @ 800/Studs @ 600/Double Lintel & Trim Studs]
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Proposed Habitable for Kent FEARON

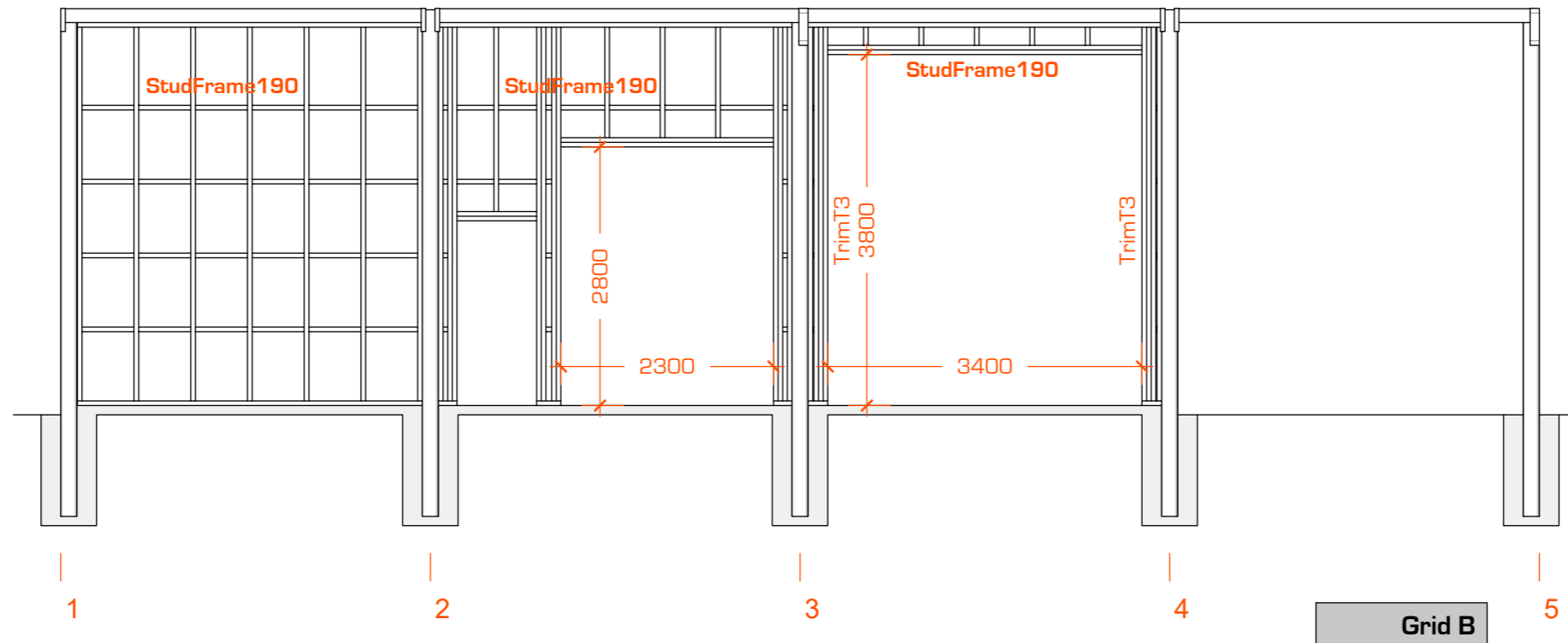
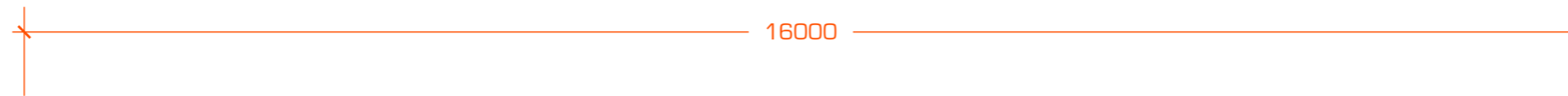
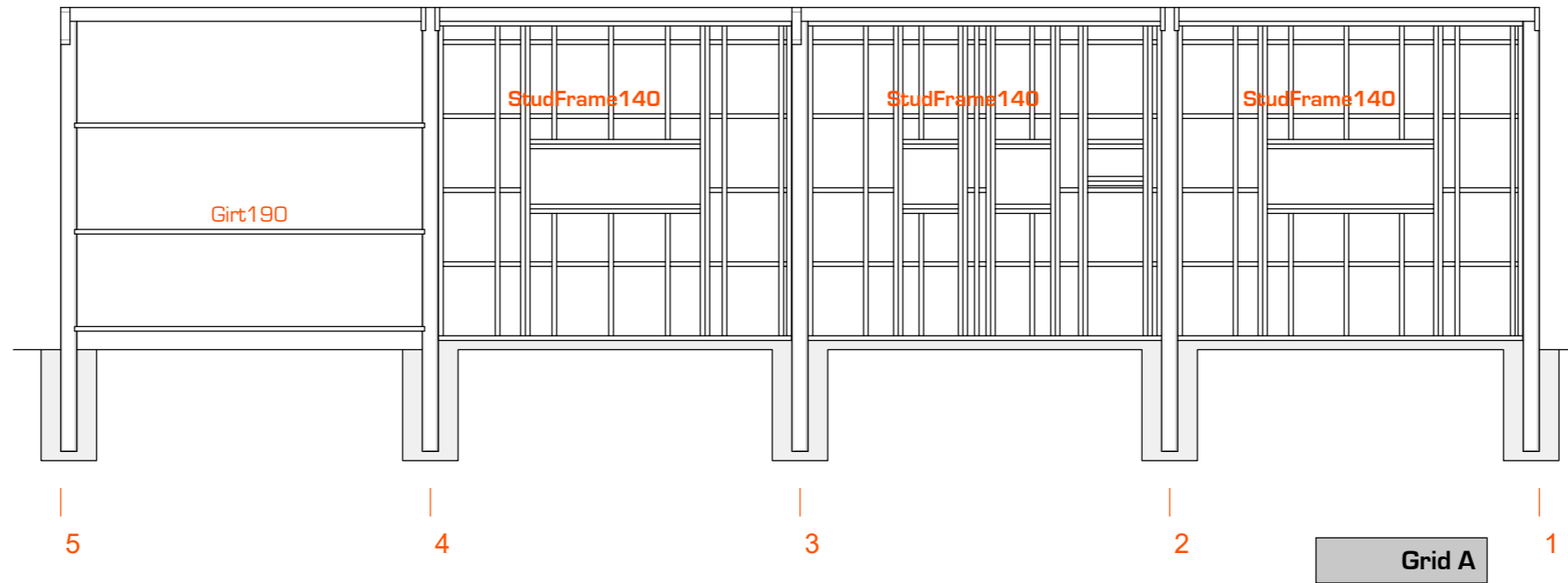
Job: 117984
Ver: 28.09.23

Scale 1:70 on A3

Gridline Sections

S7





Rafter240	2/240x45
RafterMSS	2/MSS 300/18 Nested Galvanized
EndRafter	240x45
Purlin	190x45 at max 800mm crs
StudFrame140	140x45 [Nogs @ 800/Studs @ 600/Double Lintel & Trim Studs]
StudFrame190	190x45 [Nogs @ 800/Studs @ 600/Double Lintel & Trim Studs]
InternalFraming	90x45 [Nog2 @ 800/Studs @ 600/Double Lintel & Trim Studs]
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J. I. L. Watson

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Proposed Habitable for Kent FEARON

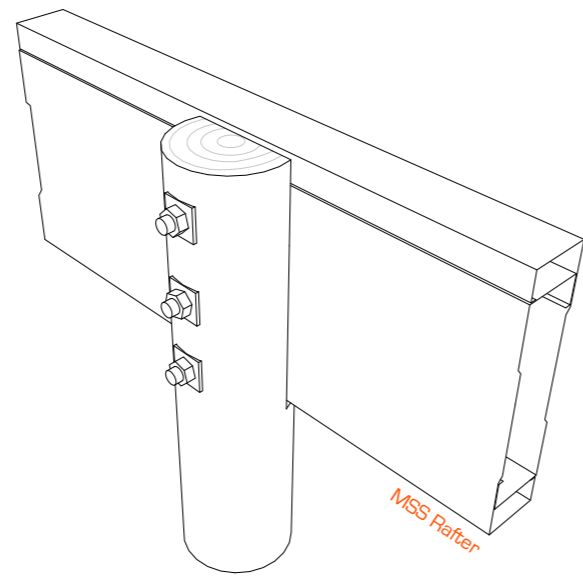
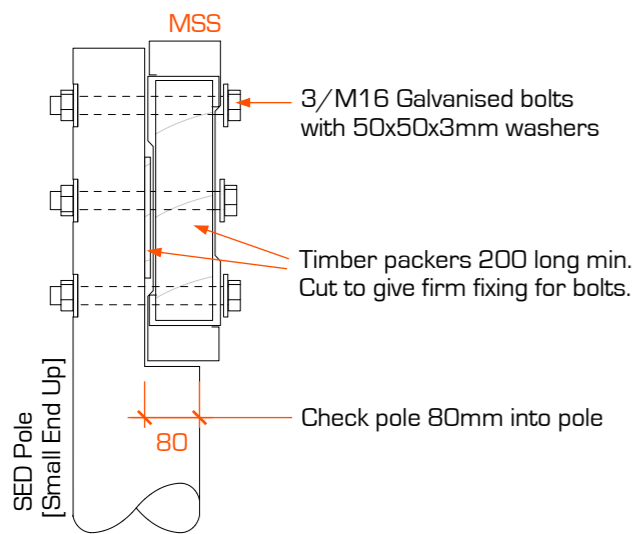
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Ver: 28.09.23

Scale 1:70 on A3

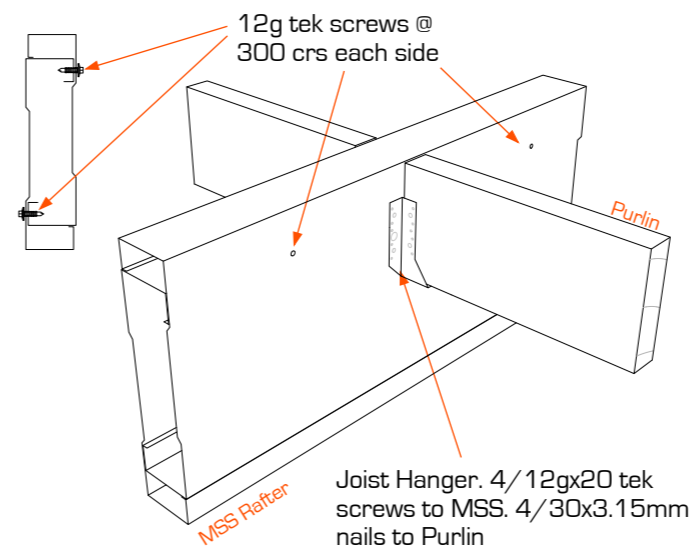
Gridline Sections

S8

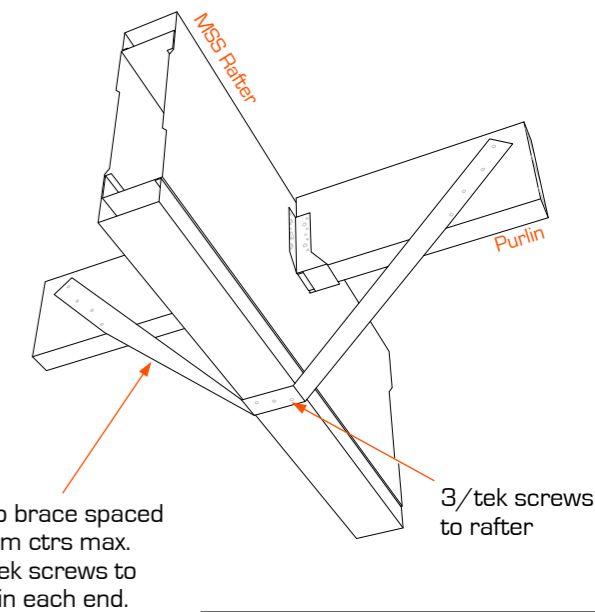




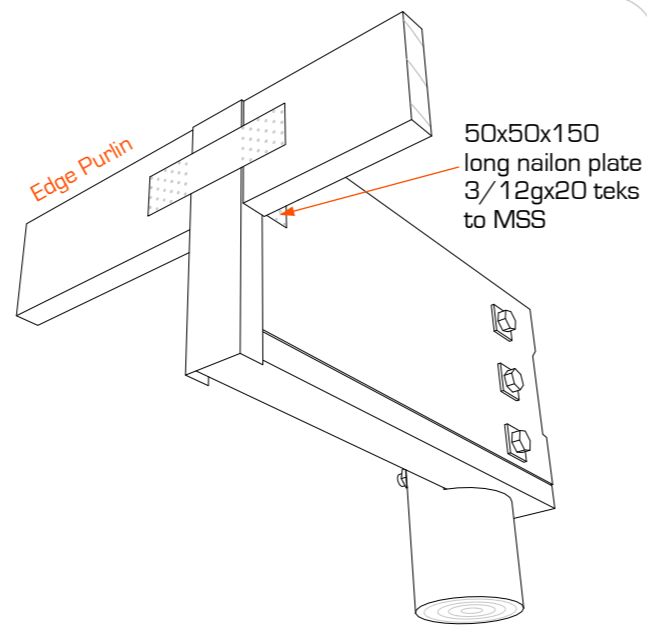
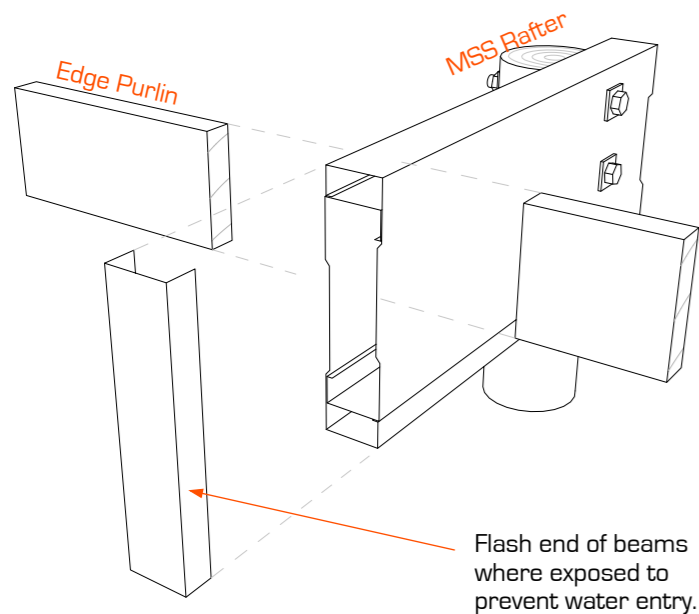
Nested MSS Rafter to Pole



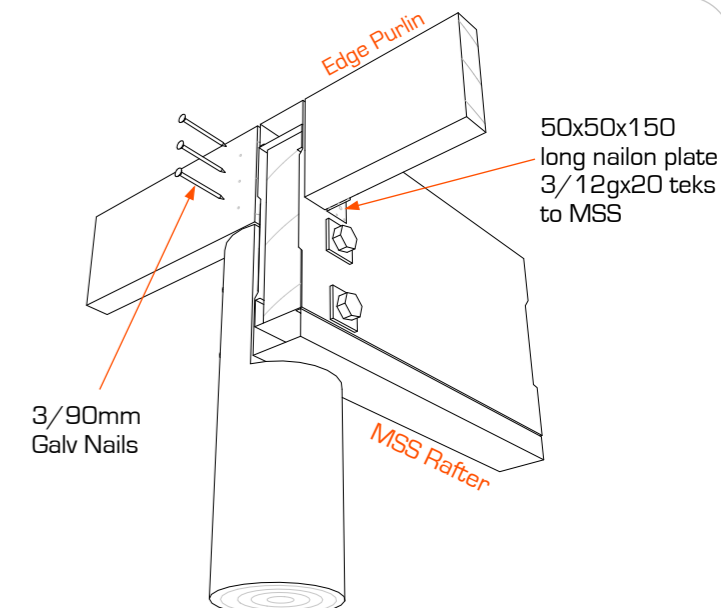
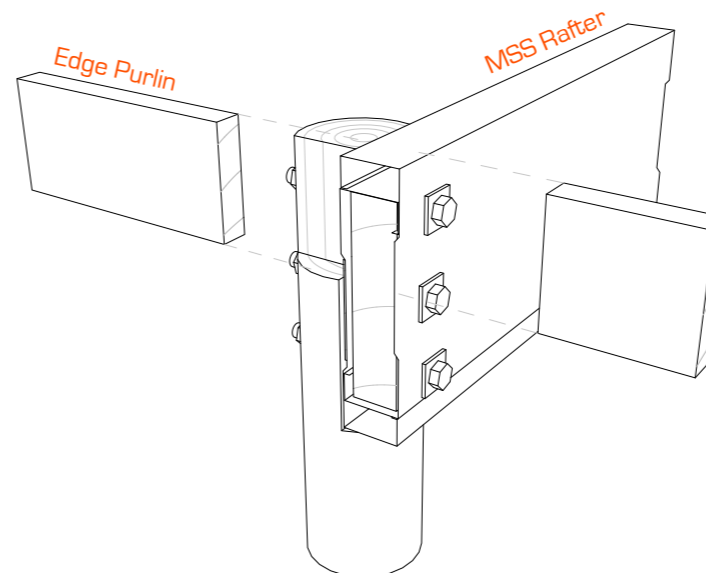
Purlin to MSS Rafter



Purlin Flybrace



MSS Rafter to Edge Purlins



MSS Rafter to Edge Purlins

Rafter240	2/240x45
RafterMSS	2/MSS 300/18 Nested Galvanized
EndRafter	240x45
Purlin	190x45 at max 800mm crs
StudFrame140	140x45 [Nogs @ 800/Studs @ 600/Double Lintel & Trim Studs]
StudFrame190	190x45 [Nogs @ 800/Studs @ 600/Double Lintel & Trim Studs]
InternalFraming	90x45 [Nog2 @ 800/Studs @ 600/Double Lintel & Trim Studs]
Girt190	190x45 at max 1.1m crs
TrimT3	3/190x45
Pole	175 SED Embedment 1.2m x 600 dia H5 HIGH Grade
StripBracing	0.55mm x 27mm G550 Z275 Galvanised Steel

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For I.L. Watson Consulting Engineer Ltd.

Notes

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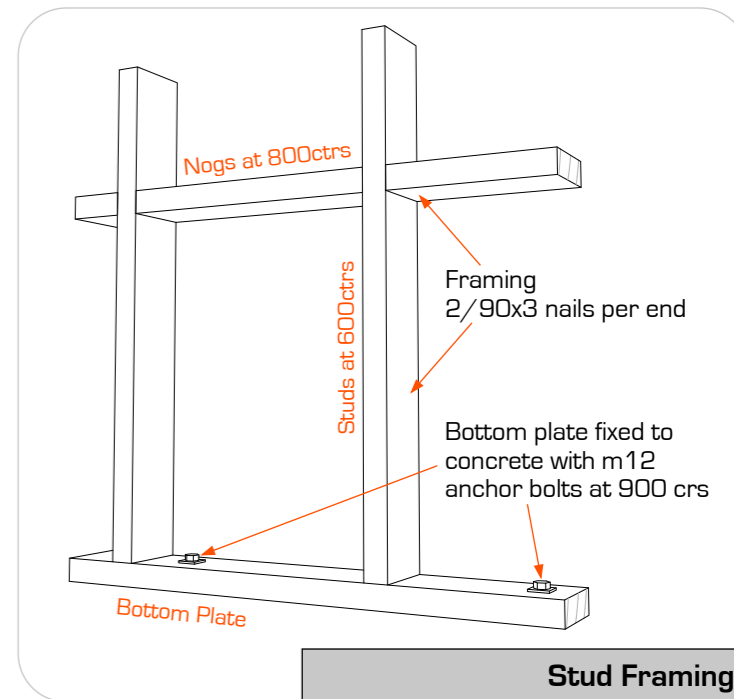
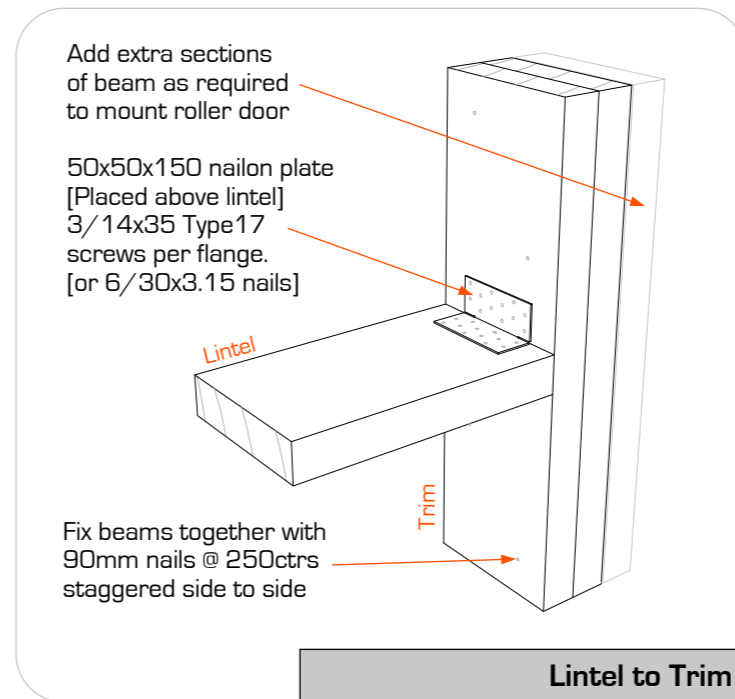
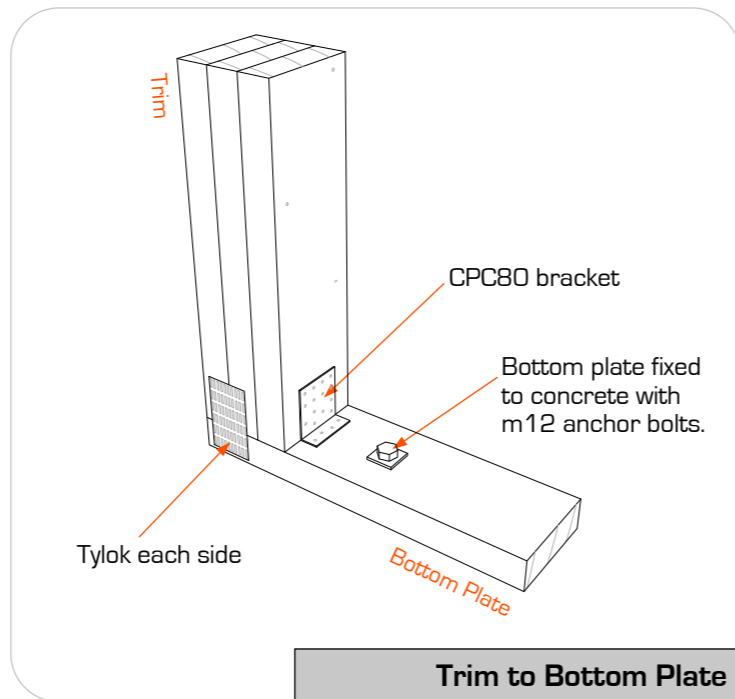
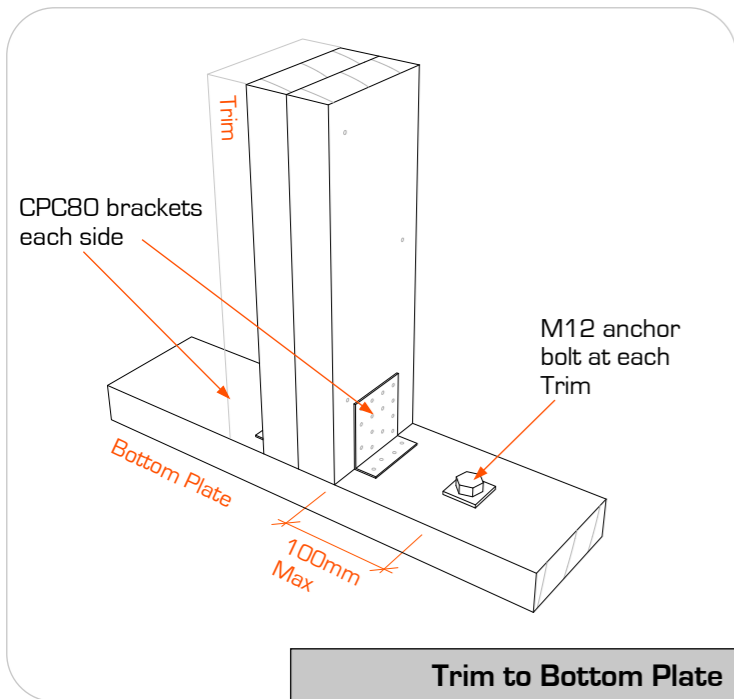
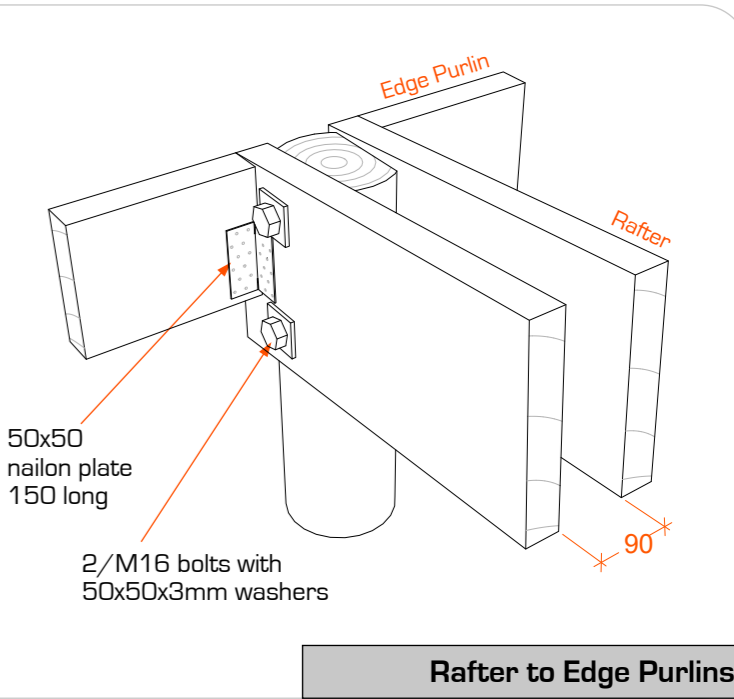
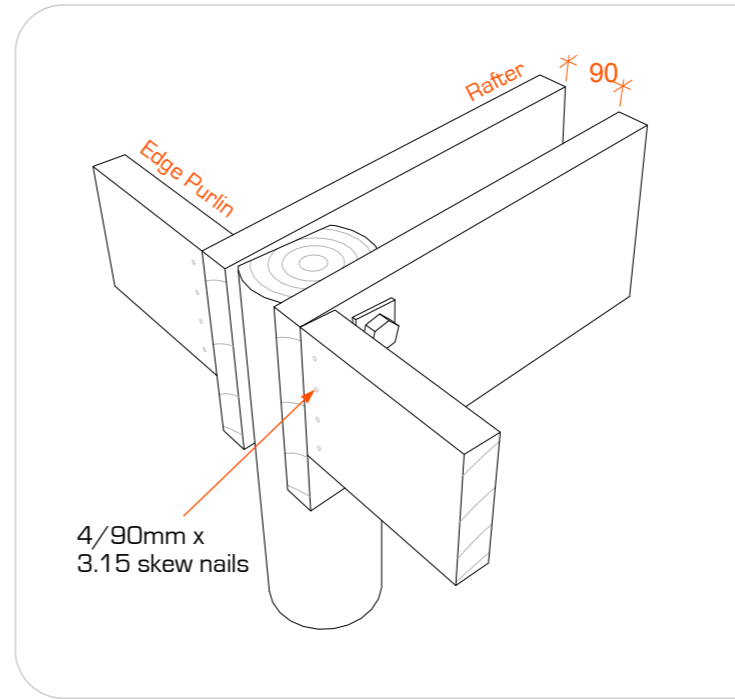
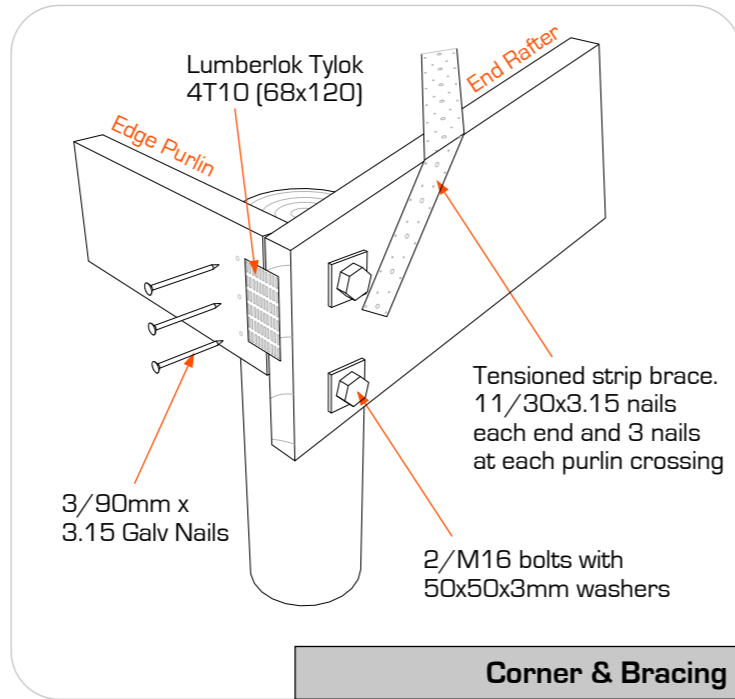
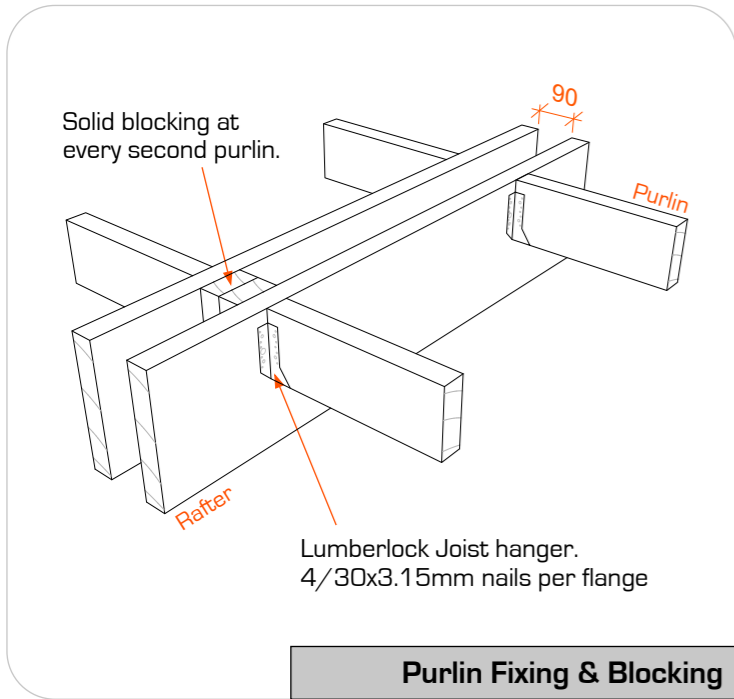
Proposed Habitable for Kent FEARON

Job: 117984
Ver: 28.09.23

S9

Detail





Rafter240	2/240x45
RafterMSS	2/MSS 300/18 Nested Galvanized
EndRafter	240x45
Purlin	190x45 at max 800mm crs
StudFrame140	140x45 [Nogs @ 800/Studs @ 600/Double Lintel & Trim Studs]
StudFrame190	190x45 [Nogs @ 800/Studs @ 600/Double Lintel & Trim Studs]
InternalFraming	90x45 [Nog2 @ 800/Studs @ 600/Double Lintel & Trim Studs]
Girt190	190x45 at max 1.1m crs
TrimT3	3/190x45
Pole	175 SED Embedment 1.2m x 600 dia H5 HIGH Grade
StripBracing	0.55mm x 27mm G550 Z275 Galvanised Steel

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J. I. L. Watson

For I.L. Watson Consulting Engineer Ltd.

Notes

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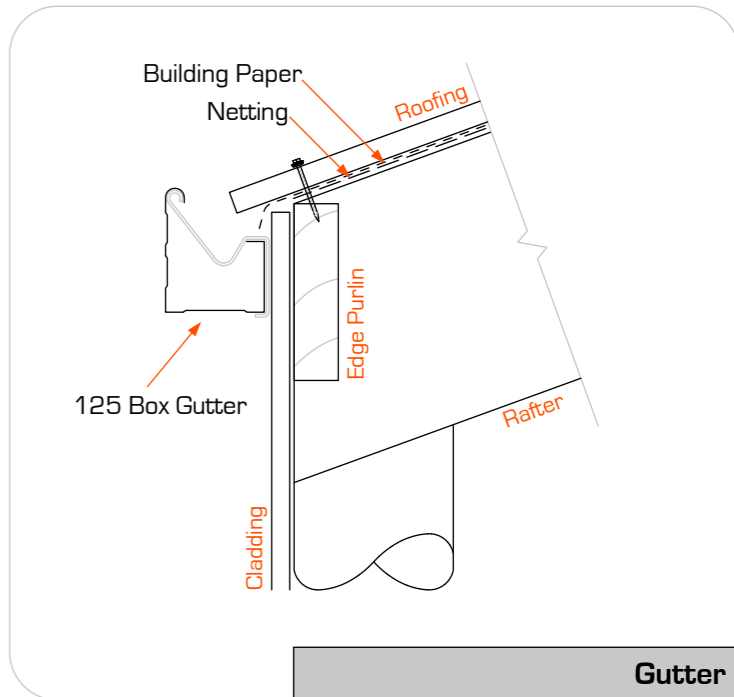
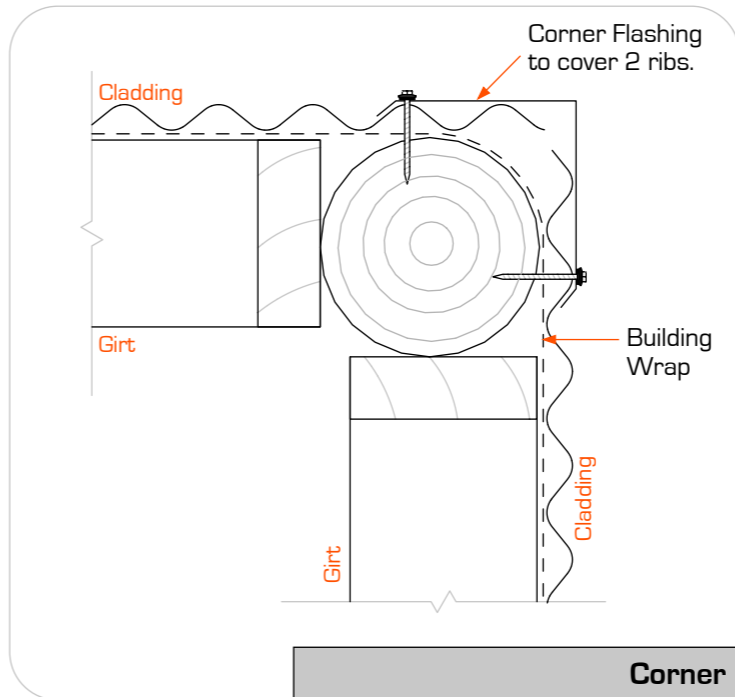
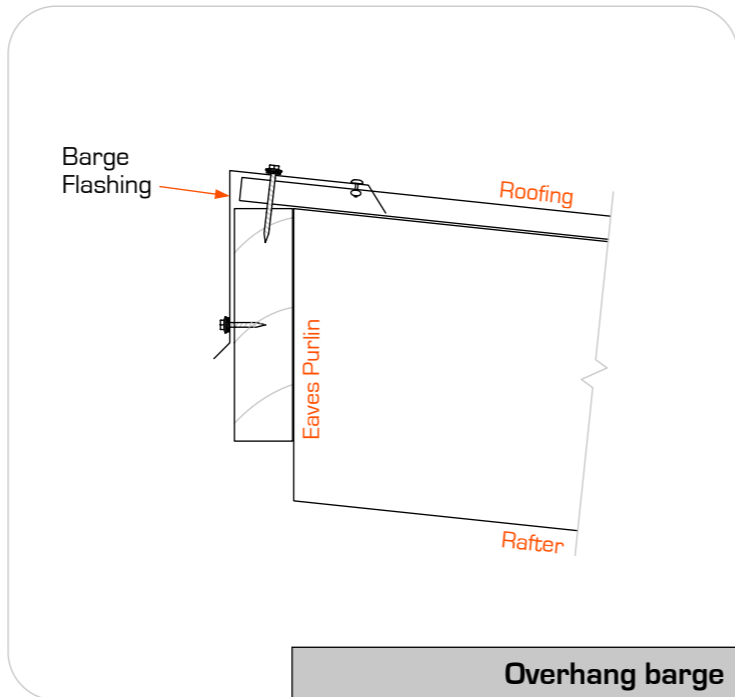
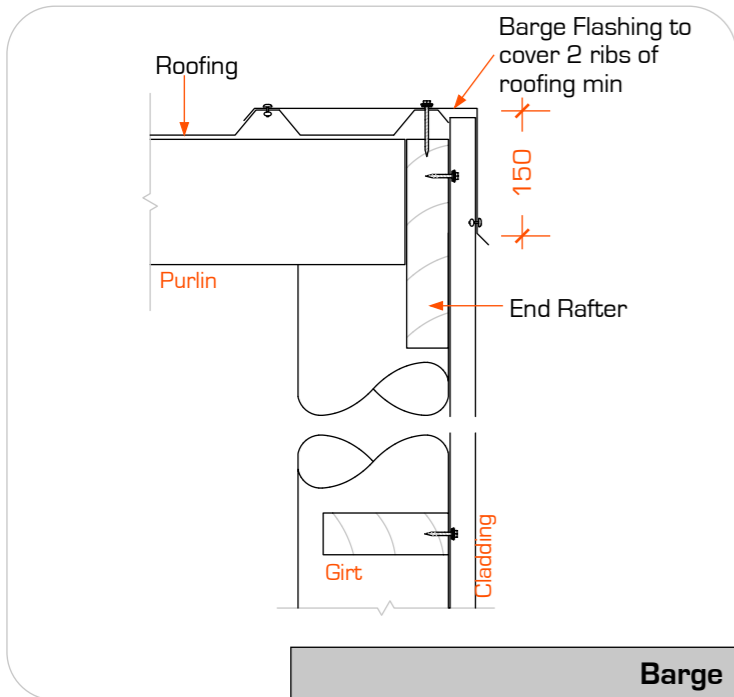
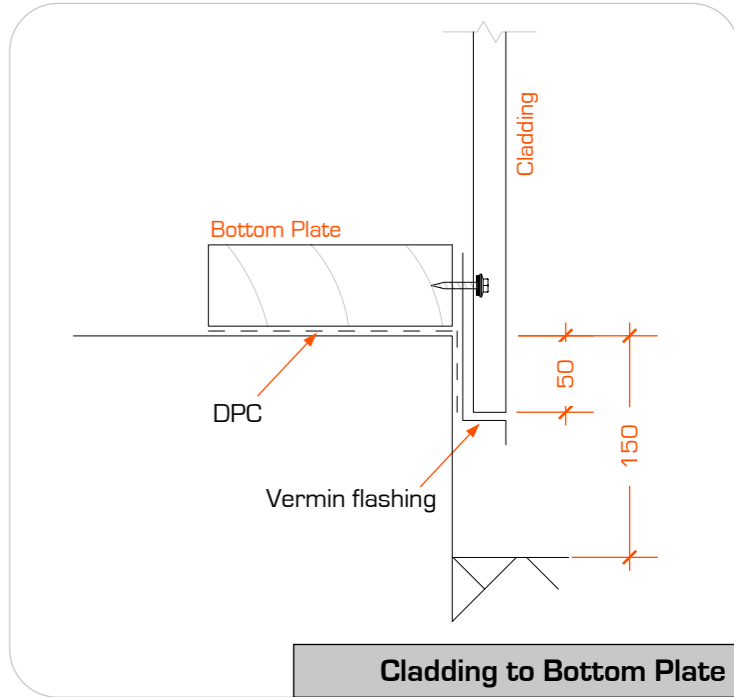
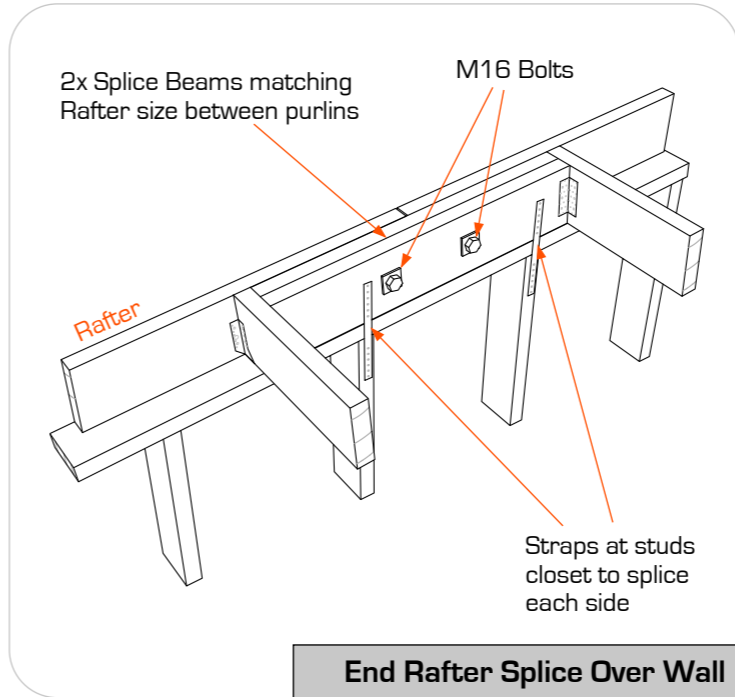
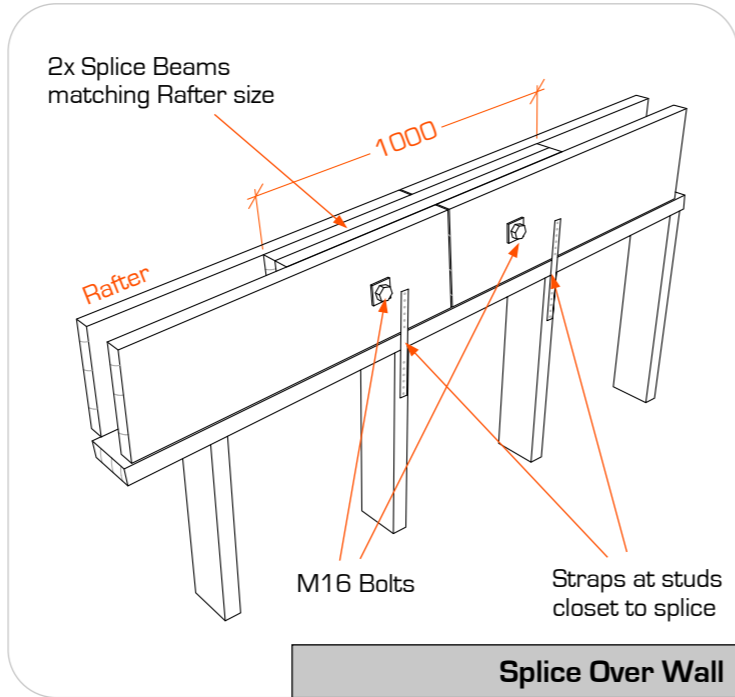
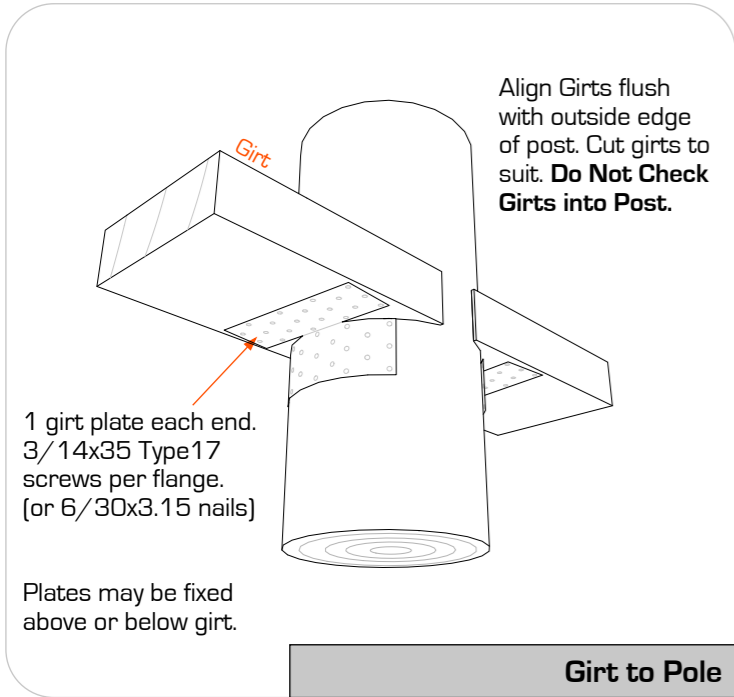
Proposed Habitable for Kent FEARON

Job: 117984
Ver: 28.09.23

S10

Detail

Sheds4U nz



Rafter240	2/240x45
RafterMSS	2/MSS 300/18 Nested Galvanized
EndRafter	240x45
Purlin	190x45 at max 800mm crs
StudFrame140	140x45 [Nogs @ 800/Studs @ 600/Double Lintel & Trim Studs]
StudFrame190	190x45 [Nogs @ 800/Studs @ 600/Double Lintel & Trim Studs]
InternalFraming	90x45 [Nog2 @ 800/Studs @ 600/Double Lintel & Trim Studs]
Girt190	190x45 at max 1.1m crs
TrimT3	3/190x45
Pole	175 SED Embedment 1.2m x 600 dia H5 HIGH Grade
StripBracing	0.55mm x 27mm G550 Z275 Galvanised Steel

These plans accurately represent the requirements of the attached dated and signed calculations.

Jarred

For I.L. Watson Consulting Engineer Ltd.

Notes

Paint all cut ends of tanalised timber with Metalex.

Firm stable soil to NZS3604 has been adopted for design purposes.

DPC must be installed under all surfaces in contact with a concrete substrate.

Some flashings/gutter may not be included in kitset. See your quote for info.

Maintain steel beams as per manufacturers instructions.

Proposed Habitable for Kent FEARON

Job: 117984
Ver: 28.09.23

S11

Detail



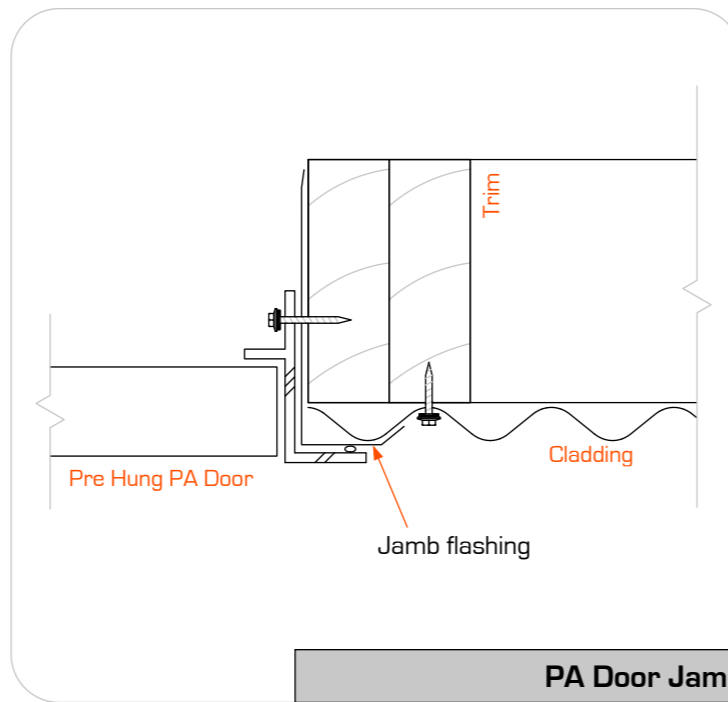
Durability

The timber treatment specification is to be in accordance with NZS 3602:2003 and any specific requirements of the relevant Building Consent Authority (BCA)

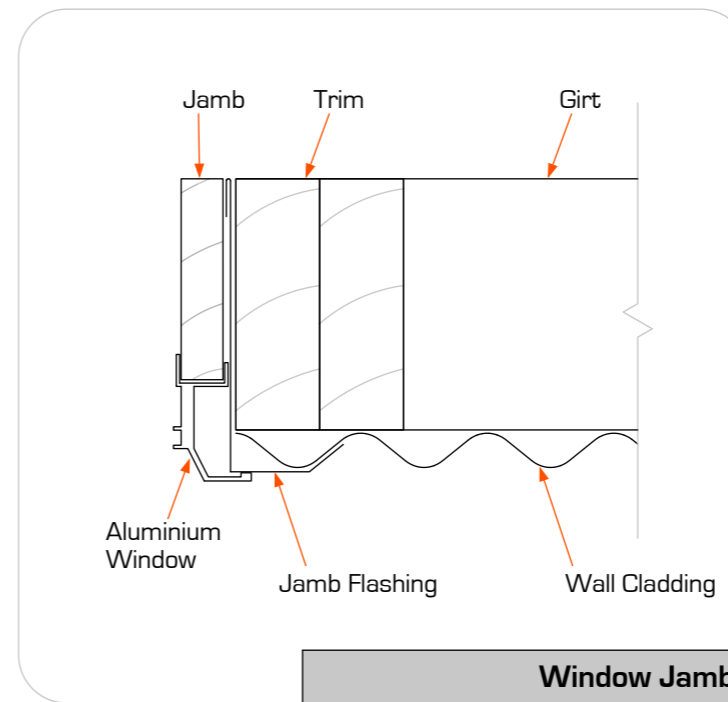
In a sea spray zones defined in NZS3604:2011 it is recommended to seek clarification from the relevant BCA regarding any additional protection where fixings are exposed to the presence of windblown salts.

All Roofing/Cladding is 0.40mm Colorsteel.
Flashings are the equivalent or 0.55mm.
The Gutter is 125mm x 125mm with 80mm Downpipes.

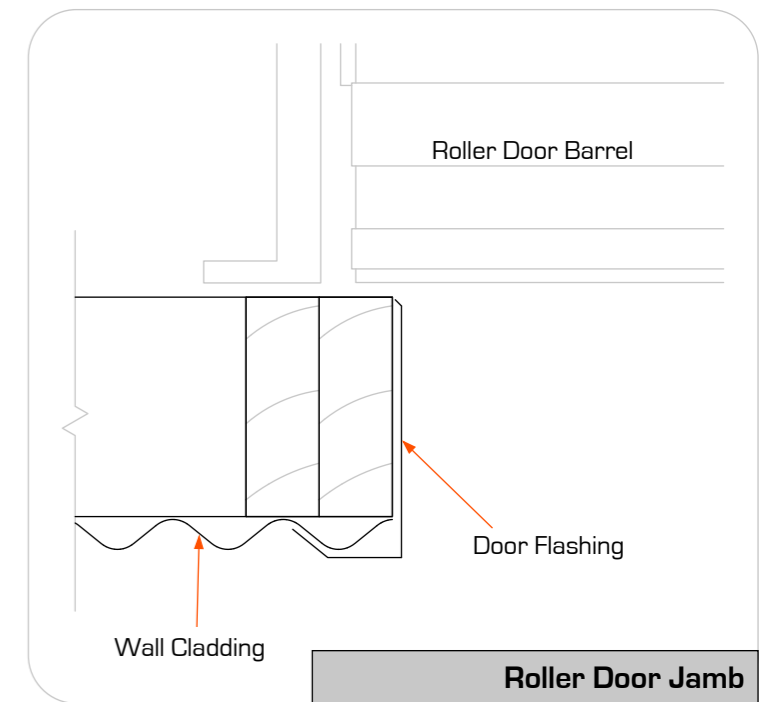
Fixings/Brackets are Galvanised steel
Timber Framing is Radiata Pine SGB H1.2
Steel Framing is Galvanised steel



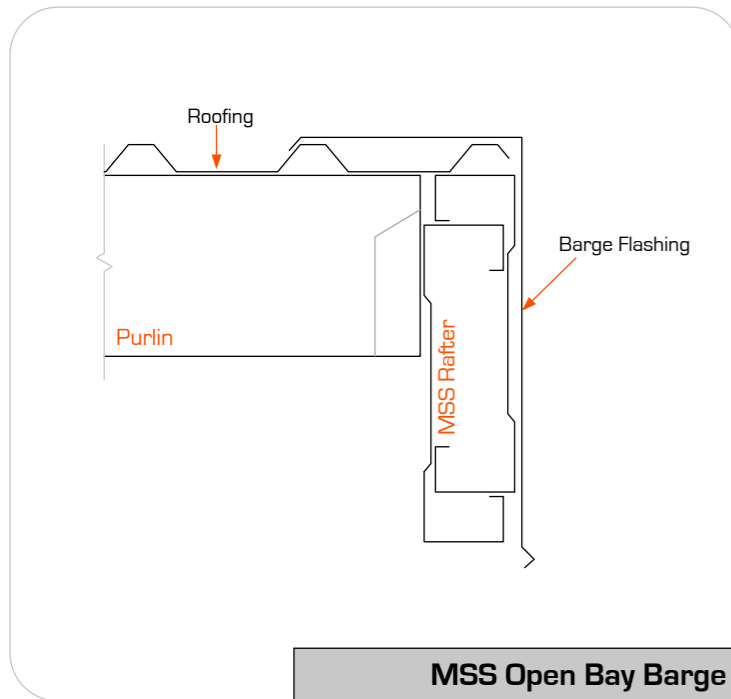
PA Door Jam



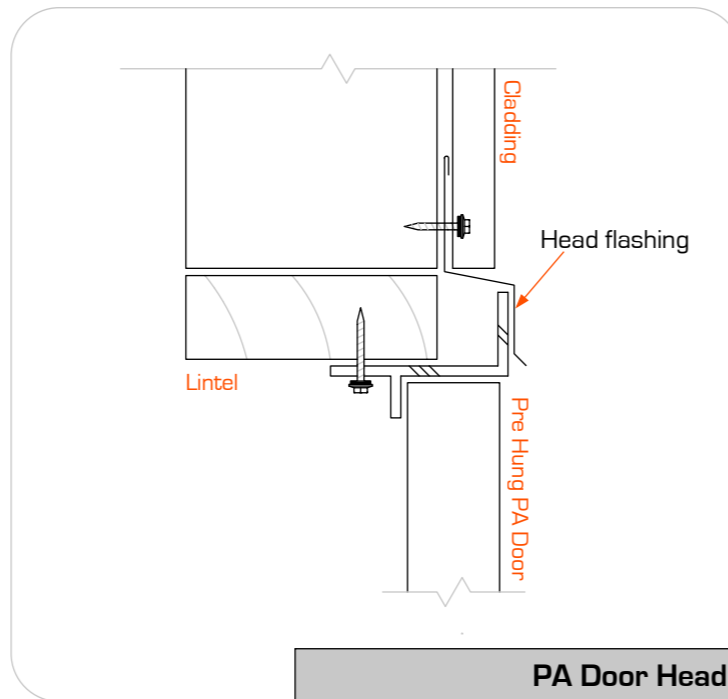
Window Jamb



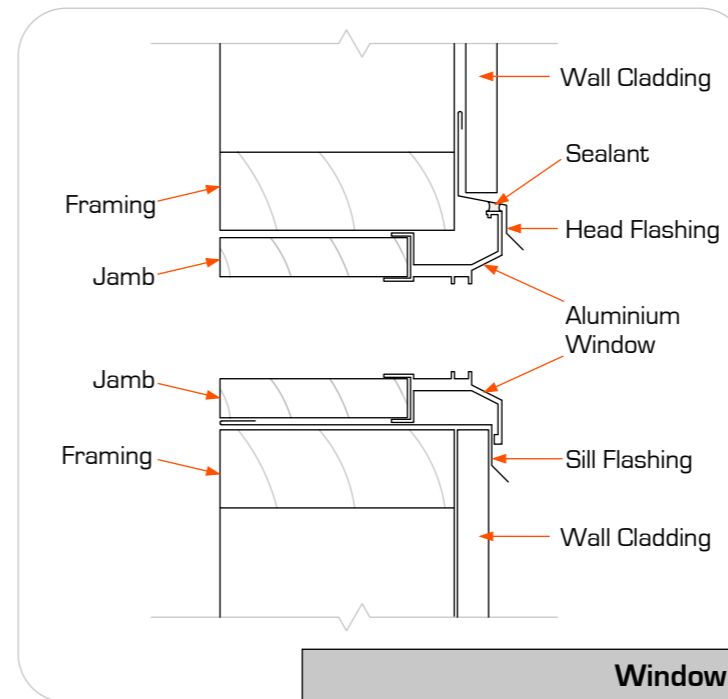
Roller Door Jamb



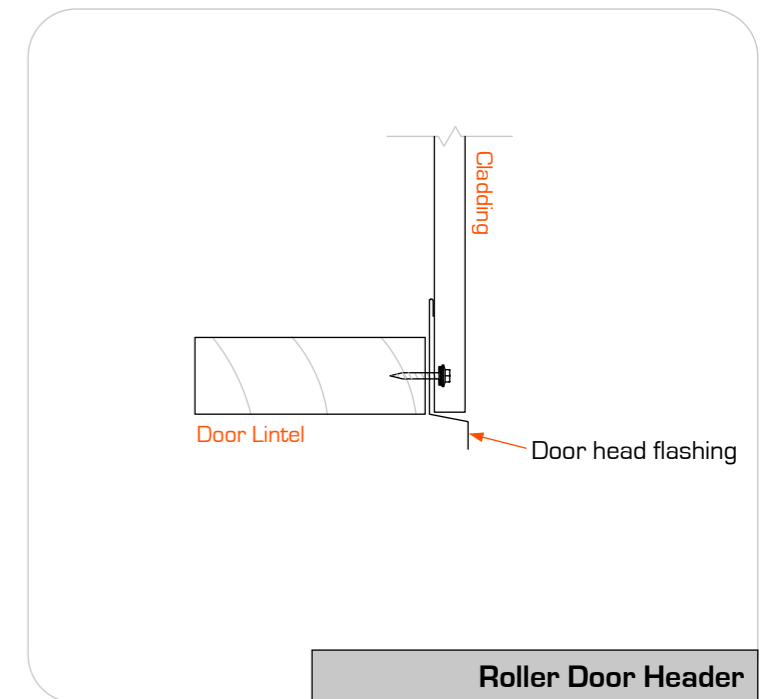
MSS Open Bay Barge



PA Door Head



Window



Roller Door Header

Rafter240	2/240x45
RafterMSS	2/MSS 300/18 Nested Galvanized
EndRafter	240x45
Purlin	190x45 at max 800mm crs
StudFrame140	140x45 [Nogs @ 800/Studs @ 600/Double Lintel & Trim Studs]
StudFrame190	190x45 [Nogs @ 800/Studs @ 600/Double Lintel & Trim Studs]
InternalFraming	90x45 [Nog2 @ 800/Studs @ 600/Double Lintel & Trim Studs]
Girt190	190x45 at max 1.1m crs
TrimT3	3/190x45
Pole	175 SED Embedment 1.2m x 600 dia H5 HIGH Grade
StripBracing	0.55mm x 27mm G550 Z275 Galvanised Steel

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Proposed Habitable for Kent FEARON

Job: 117984
Ver: 28.09.23

S12

Detail

Sheds4U.co.nz

Demand Calculation Sheet

Job Details

Name:	Fearon kent
Street and Number:	542 Manowaora Rd Parekura
Lot and DP Number:	
City/Town/District:	Bay of Islands
Designer:	ILW
Company:	I L Watson CE Ltd
Date:	5 July 23

Building Specification

Number of Storeys	1
Floor Loading	2 kPa
Foundation Type	Slab
	Single
Cladding Weight	Light
Roof Weight	Light
Room in Roof Space	No
Roof Pitch (degrees)	5
Roof Height above Eaves (m)	0
Building Height to Apex (m)	4.4
Ground to Lower Floor (m)	0.2
Average Stud Height (m)	3.8
Building Length (m)	16
Building Width (m)	8
Building Plan Area (m ²)	128

Building Location

Wind Zone = Extra High	Earthquake Zone 1
	Soil Type D & E (Deep to Very Soft)
	Annual Prob. of Exceedance: 1 in 500 (Default)

Bracing Units required for Wind

	Along	Across
Single Level	577	1153


Bracing Units required for Earthquake

	Along & Across
Single Level	345

Custom Wall Elements

Supplier	System	Min. Length m	Wind BUs/m	EQ BUs/m
Ecoply	EP1	.4	80	95
Ecoply	EP1	.6	95	105
Ecoply	EP1	1.2	120	135
Ecoply	EPG	.4	100	115
Ecoply	EPG	1.2	150	150
pole	pole	1	18	18
Gib®	Gib1a	1.8	55	50
Gib®	Gib1b	2.4	75	50
Gib®	Gib3	1.2	65	60

These plans accurately represent the requirements of the attached dated and signed calculations.



For I.L. Watson Consulting Engineer Ltd.

Single Level Along Resistance Sheet

Job Name: Fearon kent

Wind	EQ
Demand	
577	345
Achieved	

Line	Element	Length (m)	Angle (degrees)	Stud Ht. (m)	Type	Supplier	Wind (BUs)	EQ (BUs)	1435 249%	1602 464%
L	L1	0.90		3.8	EP1	Ecoply				
	2	0.90		3.8	EP1	Ecoply				
	3	1.80		3.8	EP1	Ecoply	136	153		
	4	0.50		3.8	EP1	Ecoply	25	30		
	5	5.00		3.8	pole	pole	57	57		
									219 OK	240 OK
M	M1	4.00		3.8	EP1	Ecoply	303	341		
	2	3.30		3.8	EP1	Ecoply	250	281		
									553 OK	622 OK
N	N1	4.00		3.8	EP1	Ecoply	303	341		
									303 OK	341 OK
O	O1	4.00		3.8	EP1	Ecoply	303	341		
	2	5.00		3.8	pole	pole	57	57		
									360 OK	398 OK

Single Level Across Resistance Sheet

Job Name: Fearon kent

Wind	EQ
Demand	
1153	345
Achieved	

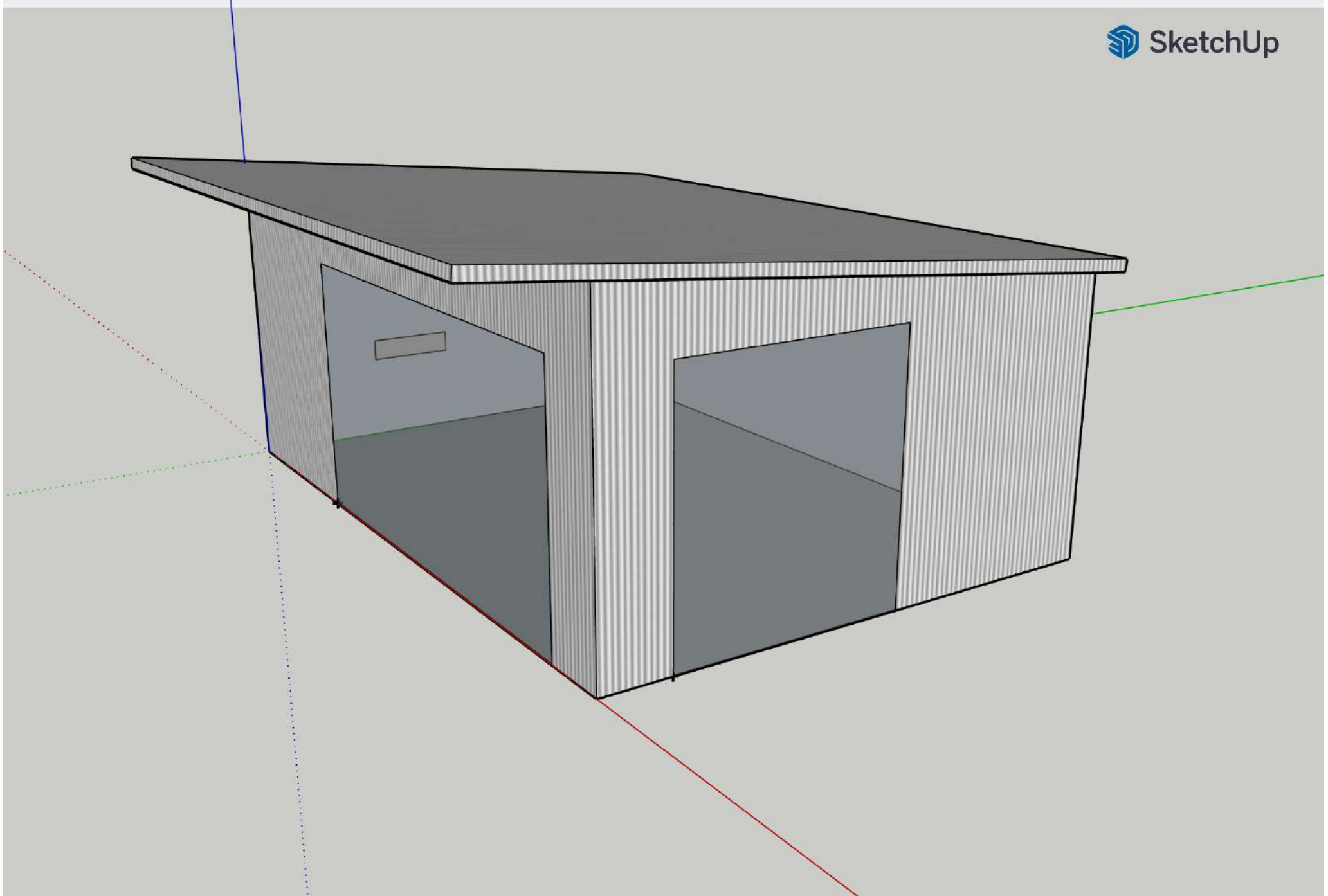
Line	Element	Length (m)	Angle (degrees)	Stud Ht. (m)	Type	Supplier	Wind (BUs)	EQ (BUs)	1178 102%	1320 383%
A	A1	0.50		3.8	EP1	Ecoply	25	30		
	A2	1.60		3.8	EP1	Ecoply	96	106		
	3	1.10		3.8	EP1	Ecoply	56	66		
	4	1.10		3.8	EP1	Ecoply	56	66		
	5	2.00		3.8	pole	pole	23	23		
									255 OK	291 OK
B	B1	3.50		3.8	EP1	Ecoply	265	298		
	2	1.60		3.8	EP1	Ecoply	96	106		
	3	2.00		3.8	pole	pole	23	23		
									384 OK	427 OK
C	C1	1.70		3.8	EP1	Ecoply	102	113		
	2	0.90		3.8	EP1	Ecoply	45	54		
	3	2.00		3.8	pole	pole	23	23		
									170 OK	189 OK
D	D1	3.60		3.8	EP1	Ecoply	273	307		
	2	1.00		3.8	EP1	Ecoply	51	60		
	3	4.00		3.8	pole	pole	45	45		
									369 OK	412 OK

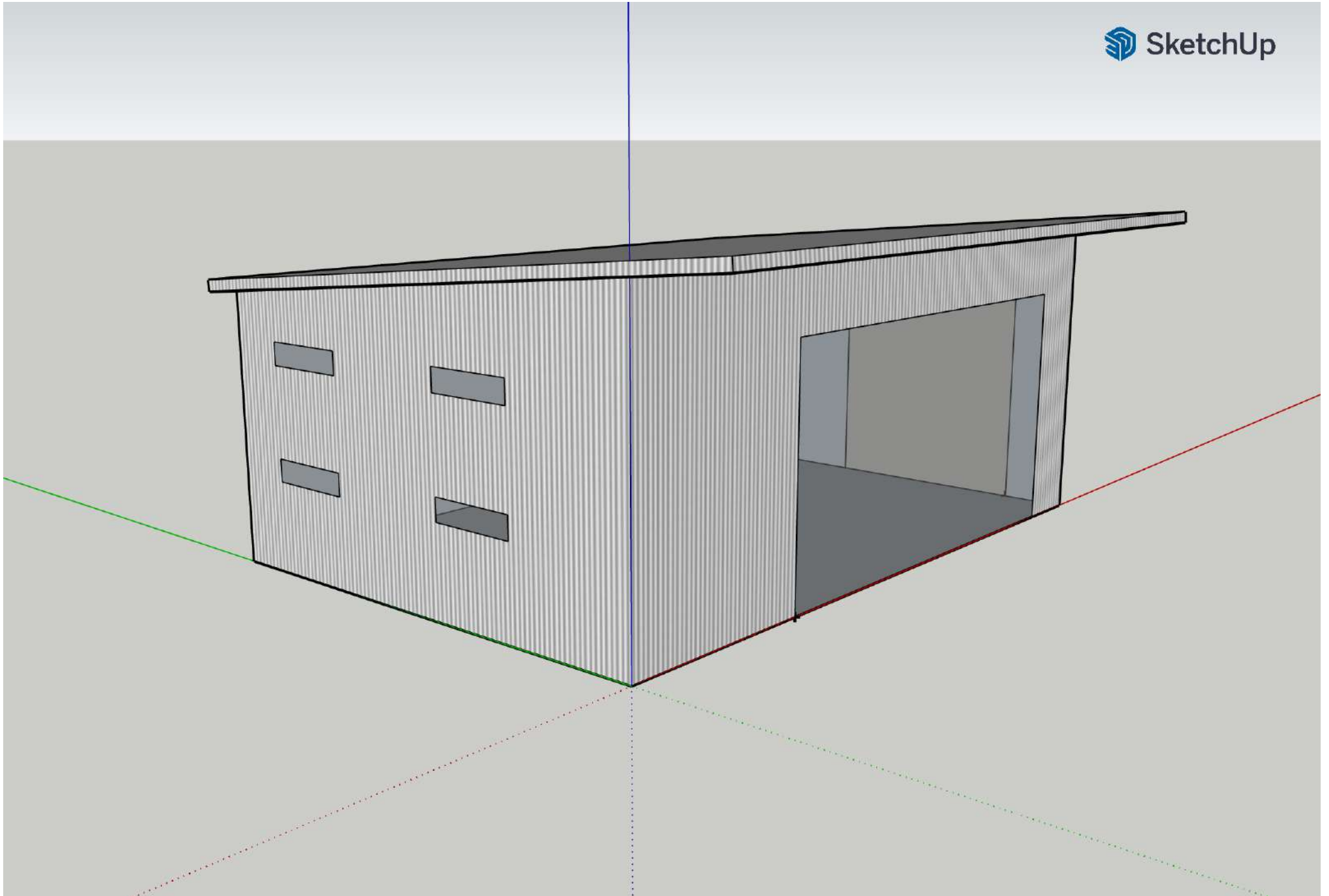
These plans accurately represent the requirements of the attached dated and signed calculations.

For I.L. Watson Consulting Engineer Ltd.

APPENDIX 3

ELEVATIONS OF THE PROPOSED CABINS





APPENDIX 4

DP 479155



Title Plan - DP 479155

Survey Number DP 479155
Surveyor Reference 21336 Bentzen - RC 2080520
Surveyor Kurt Eric Watson
Survey Firm Survey & Planning Solutions (2010) Limited
Surveyor Declaration I Kurt Eric Watson, being a licensed cadastral surveyor, certify that:
(a) this dataset provided by me and its related survey are accurate, correct and in accordance with the Cadastral Survey Act 2002 and the Rules for Cadastral Survey 2010, and
(b) the survey was undertaken by me or under my personal direction.
Declared on 28 Mar 2017 02:55 PM

Survey Details

Dataset Description LOTS 1-6 BEING A SUBDIVISION OF PT SECTIONS 4 & 24, SECTIONS 25, 26 & 29 BLOCK III RUSSELL SD AND PT LOTS 1-3 DP 38894 AND LOT 2 DP 75357 AND LOT 2 DP 361772

Status Deposited

Land District North Auckland **Survey Class** Class A

Submitted Date 28/03/2017 **Survey Approval Date** 03/04/2017

Deposit Date 30/08/2017

Territorial Authorities

Far North District

Comprised In

CT 251322
CT NA24C/146
CT NA71D/981
CT NA32A/187
CT NA26C/1380

Created Parcels

Parcels	Parcel Intent	Area	CT Reference
Lot 2 Deposited Plan 479155	Fee Simple Title	22.0150 Ha	667273
Lot 1 Deposited Plan 479155	Fee Simple Title	20.6390 Ha	667272
Lot 4 Deposited Plan 479155	Fee Simple Title	373.0510 Ha	667275
Lot 5 Deposited Plan 479155	Fee Simple Title	0.1156 Ha	667276
	Road	0.0724 Ha	
Area A Deposited Plan 479155	Easement		
Area B Deposited Plan 479155	Land Covenant		
Area C Deposited Plan 479155	Land Covenant		
Area D Deposited Plan 479155	Land Covenant		
Area E Deposited Plan 479155	Land Covenant		
Area F Deposited Plan 479155	Land Covenant		
Area G Deposited Plan 479155	Easement		
Area H Deposited Plan 479155	Land Covenant		
Area I Deposited Plan 479155	Land Covenant		
Area M Deposited Plan 479155	Land Covenant		



Title Plan - DP 479155

Created Parcels

Parcels	Parcel Intent	Area	CT Reference
Area X Deposited Plan 479155	Land Covenant		
Area Y Deposited Plan 479155	Land Covenant		
Lot 3 Deposited Plan 479155	Fee Simple Title Road	152.3369 Ha	667274
Total Area		<hr/> 568.2299 Ha	

Schedule / Memorandum

Territorial Authority

Far North District

RC 2080520

Memorandum of Easements (Pursuant to s 243 Resource Management Act 1991)			
Purpose	Shown	Servient Tenement	Dominant Tenement
Right of Way Right to convey electricity Right to convey computer media, and telecommunications	A	Lot 3 DP 479115	Lot 1 DP 479115
Right to convey electricity Right to convey computer media, and telecommunications	G	Lot 2 DP 479115	Lot 1 DP 479115

Schedule of Land to Vest as Road in Far North District Council (Pursuant to s 238 Resource Management Act 1991)	
Shown	Area
Lot 6 DP 479115	0.0724Ha

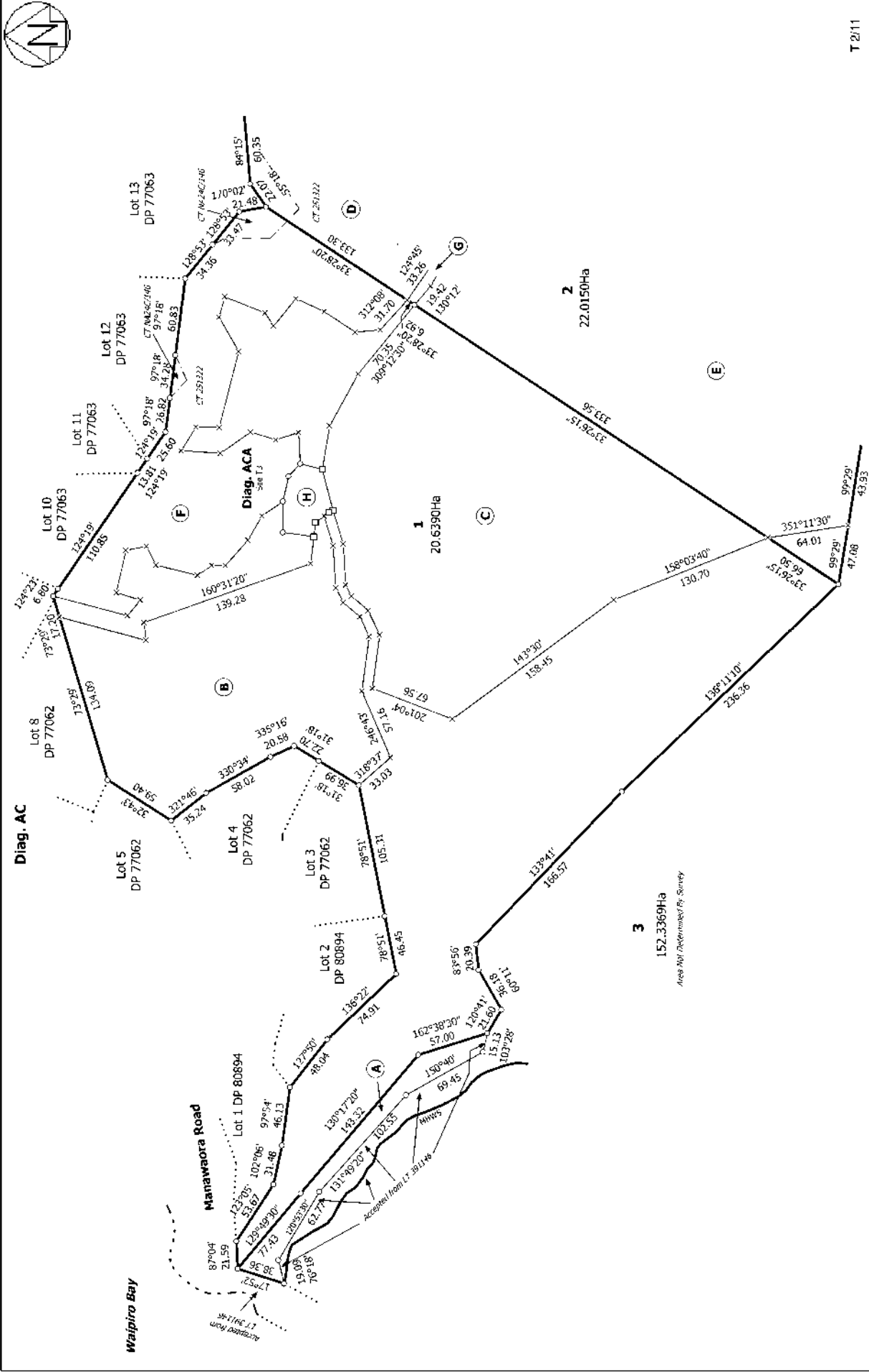
Areas marked B, C, D, E & F are to be subject to a Land Covenant (Bush Protection)
[Required by RC2080520 via a Consent Notice]

Areas marked H & I are to be subject to a Land Covenant (Building Development Zones)
[Required by RC2080520 via a Consent Notice]

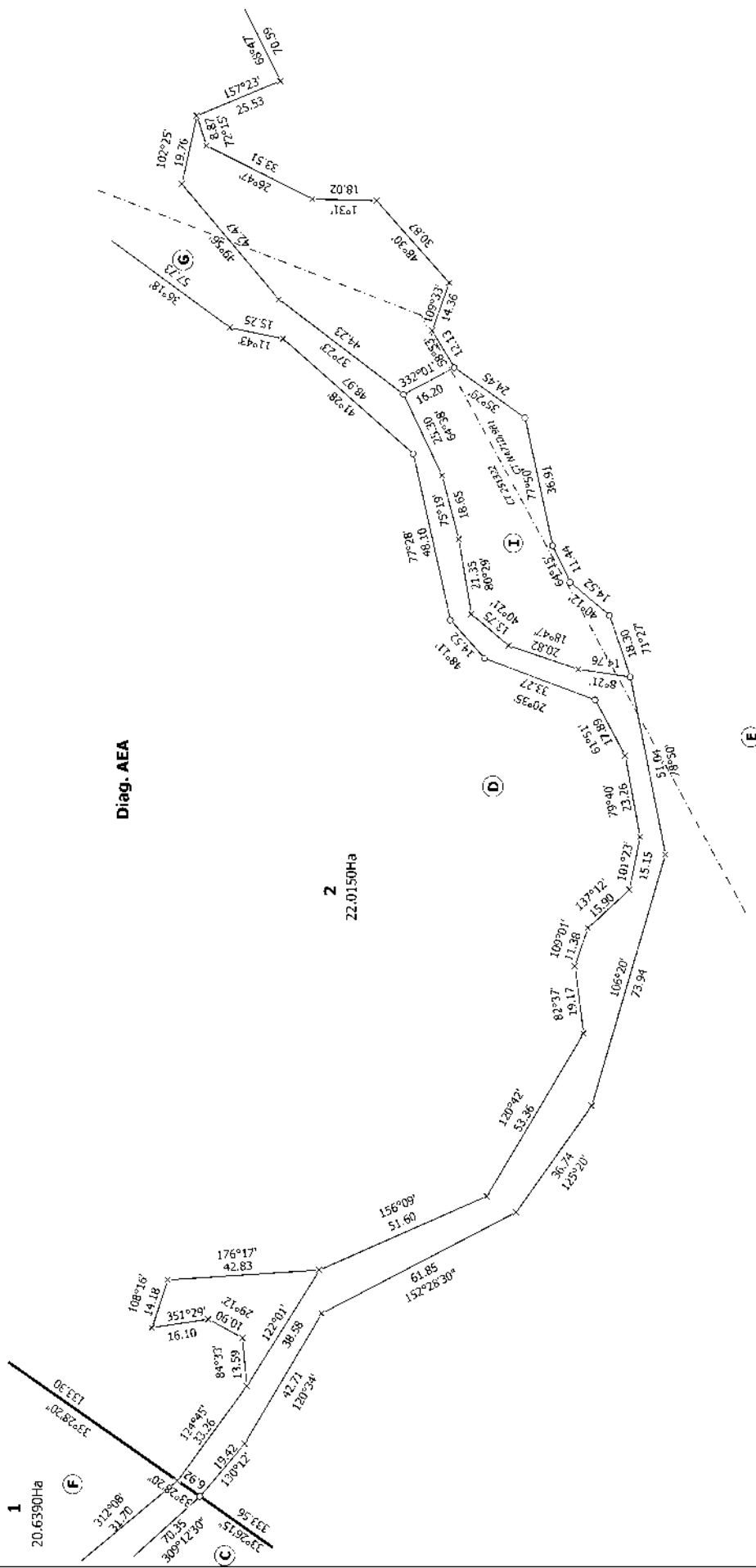
Lots 1, 2, 3 & 4 are to be subject to a various covenants [Required by RC2080520 via a Consent Notice]

Area marked M is subject to various existing covenants via Consent Notice CONO 6488894.2 (Includes Bush Protection)

Areas marked X & Y are subject to an existing Open Space Covenant pursuant to Section 22 Queen Elizabeth The Second National Trust Act 1977 (9976672.1).



Land District: North Auckland	Surveyor: Kurt Eric Watson	Title Plan DP 479155	T 2/11
Digitally Generated Plan	Firm: Survey & Planning Solutions (2010) L	LOTS 1-6 BEING A SUBDIVISION OF PT SECTIONS 4 & 24, SECTIONS 25, 26 & 29 BLOCK III RUSSELL SD AND PT LOTS 1-3 DP 38894 AND LOT 2 DP 75357 AND LOT 2 DP 36172	Deposited on: 30/08/2017
Generated on: 15/09/2017 2:01pm Page 5 of 14			



T 6/11

Land District: North Auckland

Digitally Generated Plan

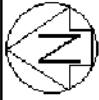
Generated on: 15/09/2017 2:01pm Page 9 of 14

LOTS 1-6 BEING A SUBDIVISION OF PT SECTIONS 4 & 24, SECTIONS 25, 26 & 29 BLOCK III RUSSELL SD AND PT LOTS 1-3 DP 38894 AND LOT 2 DP 75357 AND LOT 2 DP 361772

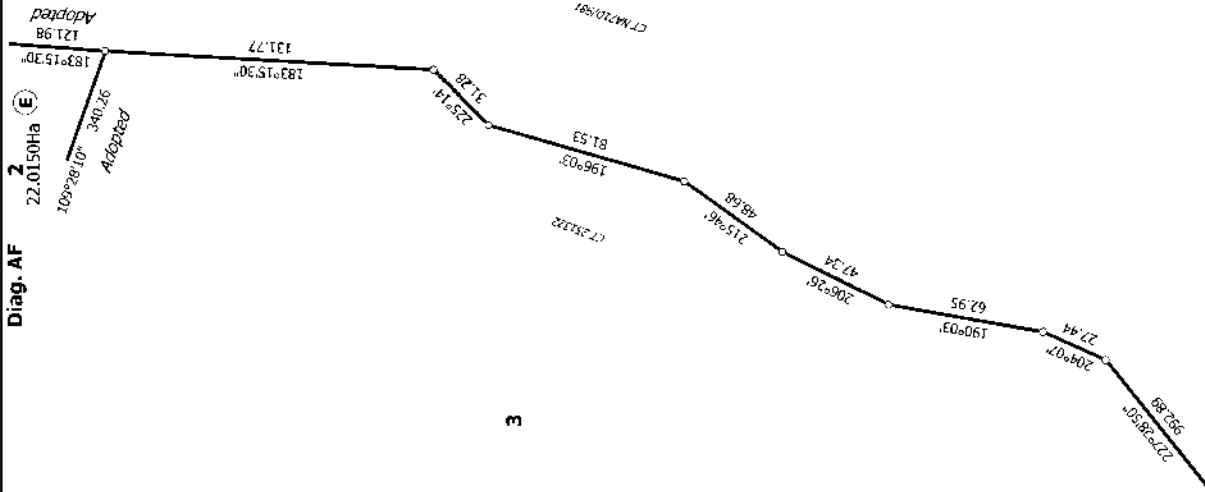
Surveyor: Kurt Eric Watson
Firm: Survey & Planning Solutions (2010) L

Title Plan
DP 479155

Deposited on: 30/08/2017

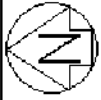


Unless shown otherwise, all boundaries on this page have been Accepted from L.T. 391146.



T 7/11

Land District: North Auckland	Surveyor: Kurt Eric Watson Firm: Survey & Planning Solutions (2010) L	Title Plan DP 479155	Deposited on: 30/08/2017
<p>LOTS 1-6 BEING A SUBDIVISION OF PT SECTIONS 4 & 24, SECTIONS 25, 26 & 29 BLOCK III RUSSELL SD AND PT LOTS 1-3 DP 38894 AND LOT 2 DP 75357 AND LOT 2 DP 361772</p>		<p>Digitally Generated Plan Generated on: 15/09/2017 2:01pm Page 10 of 14</p>	



Waipiro Bay
Manawera Road

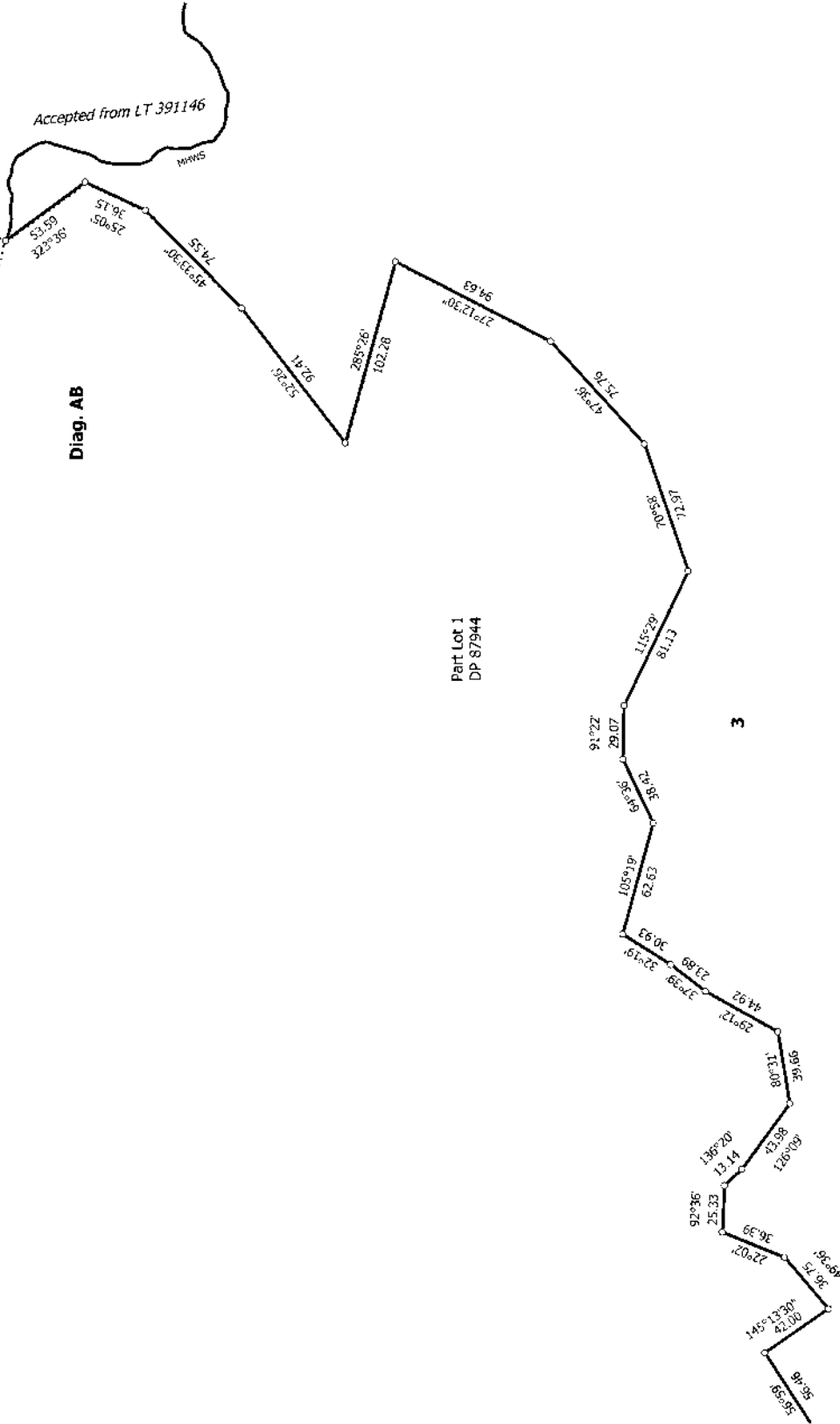
Accepted from LT 391146

Diag. AB

Part Lot 1
DP 87944

3

Unless shown otherwise, all boundaries on this page have been
Accepted from LT 391146.



T 8/11

Land District: North Auckland

Digitally Generated Plan

Generated on: 15/09/2017 2:01pm Page 11 of 14

LOTS 1-6 BEING A SUBDIVISION OF PT SECTIONS 4 & 24, SECTIONS 25,
26 & 29 BLOCK III RUSSELL SD AND PT LOTS 1-3 DP 38894 AND LOT 2 DP
75357 AND LOT 2 DP 36172

Surveyor: Kurt Eric Watson
Firm: Survey & Planning Solutions (2010) L

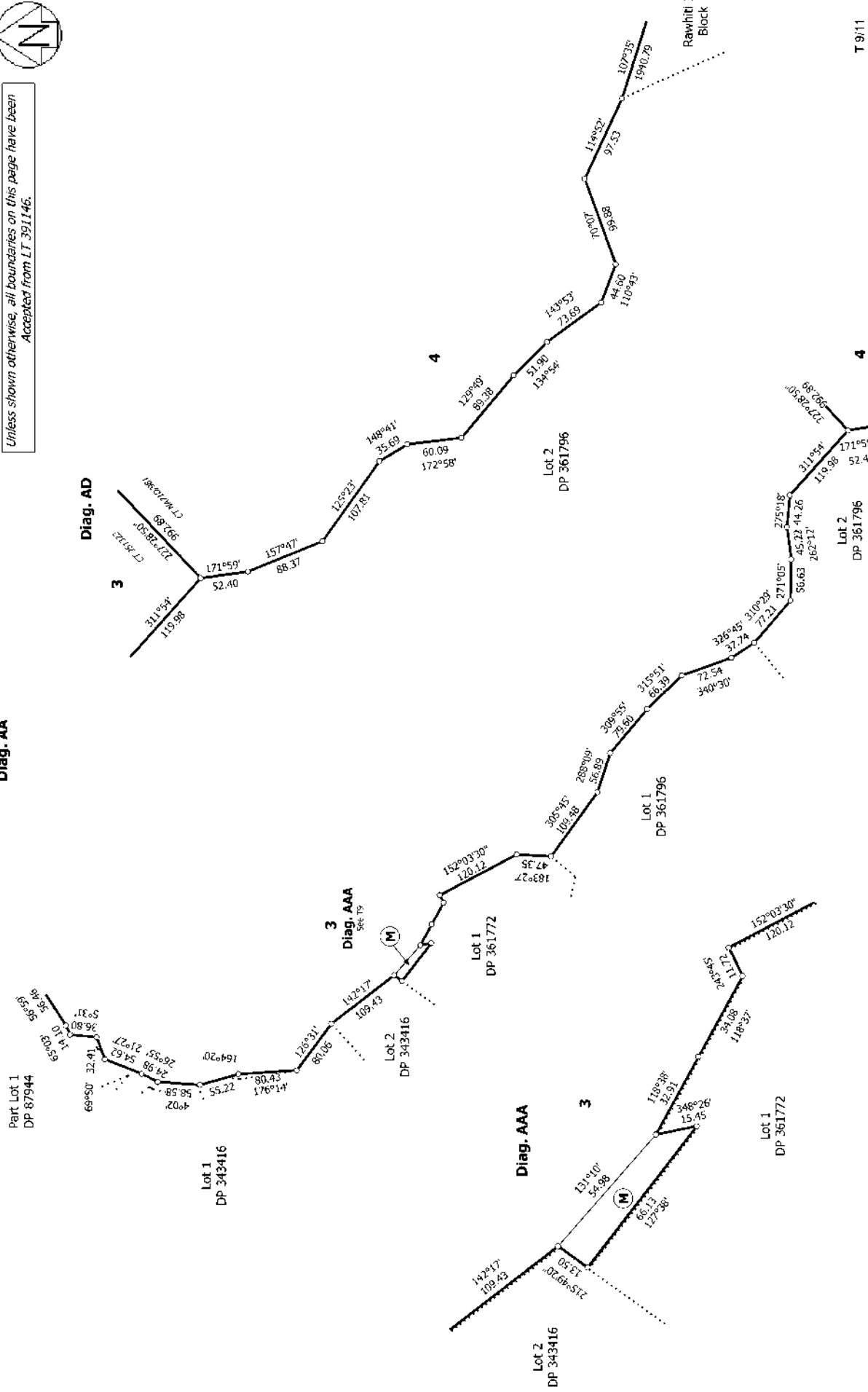
Title Plan
DP 479155

Deposited on: 30/08/2017



Unless shown otherwise, all boundaries on this page have been Accepted from LT 391146.

Diag. AA



Land District: North Auckland

LOTS 1-6 BEING A SUBDIVISION OF PT SECTIONS 4 & 24, SECTIONS 25, 26 & 29 BLOCK III RUSSELL SD AND PT LOTS 1-3 DP 38894 AND LOT 2 DP 75357 AND LOT 2 DP 361772

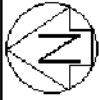
Title Plan
DP 479155

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Digitally Generated Plan
Generated on: 15/09/2017 2:01pm Page 12 of 14

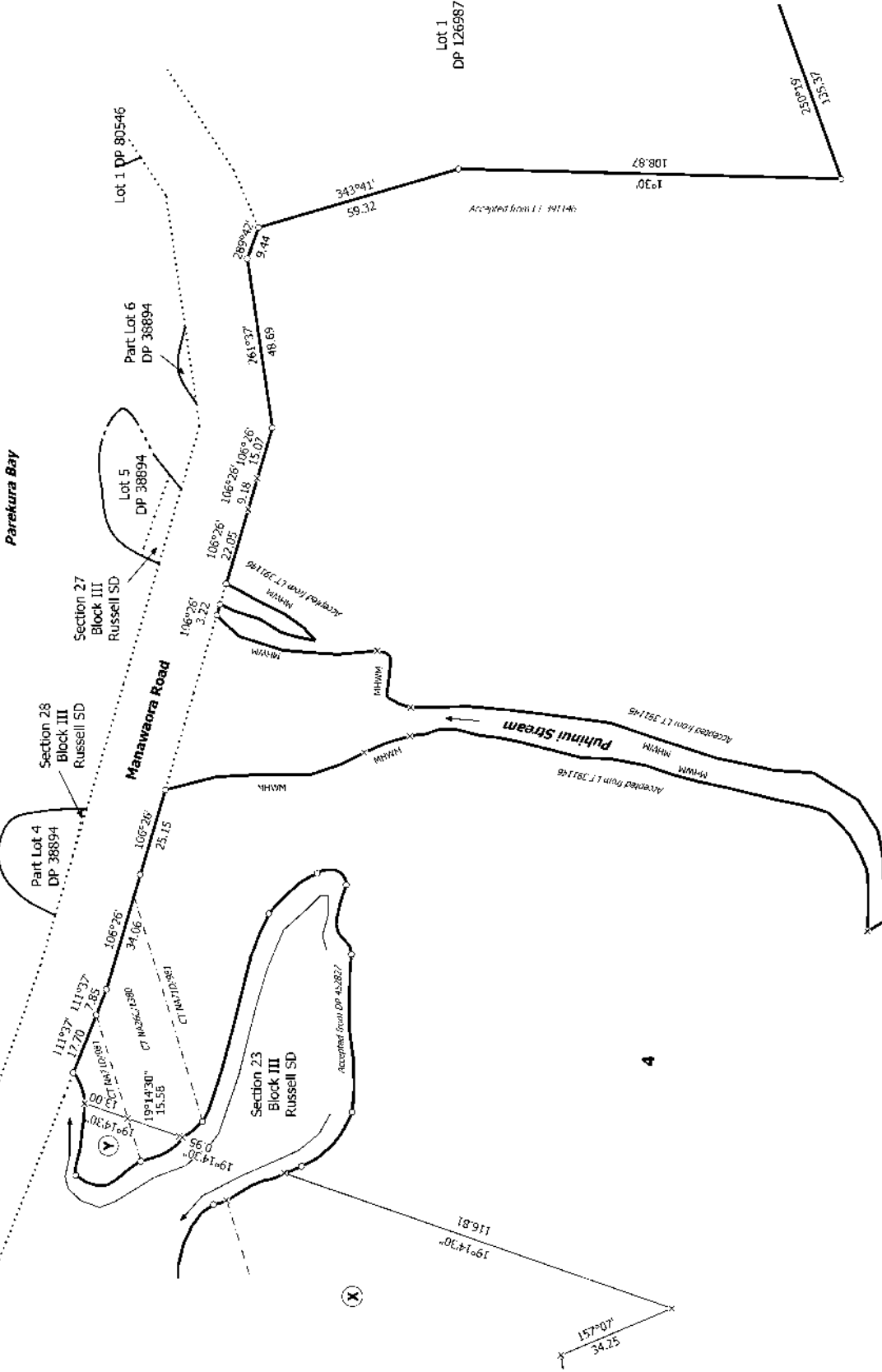
Surveyor: Kurt Eric Watson
Firm: Survey & Planning Solutions (2010) L

Deposited on: 30/08/2017



Unless shown otherwise, all boundaries on this page have been Accepted from LT 391146.

Diag. AH



T 11/11

Land District: North Auckland	Title Plan DP 479155	Surveyor: Kurt Eric Watson	Deposited on: 30/08/2017
Digitally Generated Plan	Firm: Survey & Planning Solutions (2010) L	Sections 25, 26 & 29 Block III Russell SD and PT Lots 1-3 DP 38894 and Lot 2 DP 75357 and Lot 2 DP 38172	
Generated on: 15/09/2017 2:01pm Page 14 of 14			

APPENDIX 5

RECORD OF TITLE AND ASSOCIATED MEMORIALS



RECORD OF TITLE
UNDER LAND TRANSFER ACT 2017
FREEHOLD
Search Copy




R.W. Muir
Registrar-General
of Land

Identifier **667273**
Land Registration District **North Auckland**
Date Issued 30 August 2017

Prior References

251322	NA24C/146	NA26C/1380
NA32A/187	NA71D/981	

Estate Fee Simple
Area 22.0150 hectares more or less
Legal Description Lot 2 Deposited Plan 479155

Registered Owners

Nordic Holdings Limited

Interests

Subject to Section 8 Coal Mines Amendment Act 1950 (affects part formerly Part Section 4, 19 and 24 Block III Russell Survey District)

Appurtenant to the part formerly Part Lot 1 and 2 DP 38894 herein is a right of way created by Transfer 512068 - 29.7.1952 at 11:35 am

Subject to Section 168A Coal Mines Act 1925 (affects part formerly Section 24 Block III Russell Survey District)

Excepting thereout pursuant to Section 19 Public Works Act 1928 any mines of coal or other minerals not taken by Proclamation 4787 (affects part formerly Section 24 Block III Russell Survey District)

Appurtenant to the part formerly Part Lot 1 and 2 DP 38894 and to the part formerly Part Rawhiti No.2 Block is a right of way embodied in Deed of Grant NA35A/756 (see 638899.1) - 2.3.1977 at 2:20 pm

10807169.7 Consent Notice pursuant to Section 221 Resource Management Act 1991 - 30.8.2017 at 4:08 pm

Subject to a right to convey electricity, computer media and telecommunications over part marked G on DP 479155 created by Easement Instrument 10807169.8 - 30.8.2017 at 4:08 pm

The easements created by Easement Instrument 10807169.8 are subject to Section 243 (a) Resource Management Act 1991 Land Covenant in Covenant Instrument 12525699.1 - 9.8.2022 at 8:18 am

Fencing Covenant in Transfer 12563376.1 - 30.9.2022 at 3:04 pm

12994952.3 Mortgage to Albert Guy Matches and JT Trustee Co Limited - 7.5.2024 at 12:46 pm

12994952.4 Mortgage to Janice Mavis Turley and DH Trust Limited - 7.5.2024 at 12:46 pm

12994952.5 Mortgage Priority Instrument making Mortgage 12994952.3 first priority and Mortgage 12994952.4 second priority - 7.5.2024 at 12:46 pm

13195629.1 Variation of Mortgage 12994952.3 - 20.12.2024 at 12:02 pm



View Instrument Details

Instrument Type Transfer
Instrument No 12563376.1
Status Registered
Date & Time Lodged 30 September 2022 15:04
Lodged By Whalen, Diane

Affected Records of Title 667273
Land District North Auckland

Transferors

Bentzen Farm Limited

Transferees

Traverse Limited

Clauses, Conditions or Intent

The transferee shall be bound by a fencing covenant as defined in Section 2 of the Fencing Act 1978 in favour of the transferor

Transferor Certifications

I certify that I have the authority to act for the Transferor and that the party has the legal capacity to authorise me to lodge this instrument

I certify that I have taken reasonable steps to confirm the identity of the person who gave me authority to lodge this instrument

I certify that any statutory provisions specified by the Registrar for this class of instrument have been complied with or do not apply

I certify that I hold evidence showing the truth of the certifications I have given and will retain that evidence for the prescribed period

Signature

Signed by Graeme John Mathias as Transferor Representative on 29/09/2022 03:23 PM

Transferee Certifications

I certify that I have the authority to act for the Transferee and that the party has the legal capacity to authorise me to lodge this instrument

I certify that I have taken reasonable steps to confirm the identity of the person who gave me authority to lodge this instrument

I certify that any statutory provisions specified by the Registrar for this class of instrument have been complied with or do not apply

I certify that I hold evidence showing the truth of the certifications I have given and will retain that evidence for the prescribed period

Signature

Signed by David Robert Pasley as Transferee Representative on 29/09/2022 02:17 PM

*** End of Report ***

View Instrument Details



Instrument No 12525699.1
Status Registered
Date & Time Lodged 09 August 2022 08:18
Lodged By Yearbury, Donna
Instrument Type Land Covenant under s116(1)(a) or (b) Land Transfer Act 2017



Affected Records of Title	Land District
667273	North Auckland
667274	North Auckland

Annexure Schedule Contains 6 Pages.

Covenantor Certifications

I certify that I have the authority to act for the Covenantor and that the party has the legal capacity to authorise me to lodge this instrument

I certify that I have taken reasonable steps to confirm the identity of the person who gave me authority to lodge this instrument

I certify that any statutory provisions specified by the Registrar for this class of instrument have been complied with or do not apply

I certify that I hold evidence showing the truth of the certifications I have given and will retain that evidence for the prescribed period

Statutory Land Charge 9013921.1 does not prevent registration of this transaction

Signature

Signed by Graeme John Mathias as Covenantor Representative on 08/08/2022 02:43 PM

Covantee Certifications

I certify that I have the authority to act for the Covantee and that the party has the legal capacity to authorise me to lodge this instrument

I certify that I have taken reasonable steps to confirm the identity of the person who gave me authority to lodge this instrument

I certify that any statutory provisions specified by the Registrar for this class of instrument have been complied with or do not apply

I certify that I hold evidence showing the truth of the certifications I have given and will retain that evidence for the prescribed period

Signature

Signed by Graeme John Mathias as Covantee Representative on 08/08/2022 02:43 PM

*** End of Report ***

This approved format may be used for lodgement as an electronic instrument under the Land Transfer Act 2017

Form 26

Covenant Instrument to note land covenant

{Section 116(1)(a) & (b) Land Transfer Act 2017}

Covenantor

BENTZEN FARM LIMITED

Covenantee

BENTZEN FARM LIMITED

Grant of Covenant

The Covenantor, being the registered owner of the burdened land(s) set out in Schedule A, **grants to the Covenantee** the covenant(s) set out in Schedule A, with the rights and powers or provisions set out in the Annexure Schedule(s).

Schedule A
required

Continue in additional Annexure Schedule, if

Purpose of covenant	Shown (plan reference)	Burdened Land (Record of Title)	Benefited Land (Record of Title) or in gross
Land Covenant		667273 (Lot 2 Deposited Plan 479155)	667274 (Lot 3 Deposited Plan 479155)

This approved format may be used for lodgement as an electronic instrument under the Land Transfer Act 2017

Covenant rights and powers (including terms, covenants and conditions)

Delete phrases in [] and insert memorandum number as required.

Continue in additional Annexure Schedule if required.

The provisions applying to the specified covenants are those set out in:

~~{Memorandum number _____, registered under section 209 of the Land Transfer Act 2017}.~~

Annexure Schedule B

Form L

Annexure Schedule B

Page of Pages

Insert instrument type

[Empty rectangular box for instrument type]

Continue in additional Annexure Schedule, if required

Covenant Provisions

BACKGROUND

- A. The Covenantor intends that the Burdened Land be subject to a land covenant applicable to and for the benefit of the Benefited Land.
- B. The Covenantor intends this Instrument shall be and remain registered against the record of title to the Burdened Land to give effect to the Covenant so that:
 - (i) Owners or occupiers for the time being of the Burdened Land shall be bound by the provisions of this Instrument; and
 - (ii) Owners or occupiers for the time being of the Benefited Land can enforce the observance of the provisions of this Instrument by the owners or occupiers for the time being of the Burdened Land.

1. DEFINITIONS AND INTERPRETATION

Definitions

1.1 In this Instrument, unless the context requires otherwise:

"Benefited Land" means the land described in Schedule A as Lot 3 Deposited 479155 (Record of Title 667274);

"Burdened Land" means the land described in Schedule A as Lot 2 Deposited 479155 (Record of Title 667273);

"Covenant" means the covenants contained in this Instrument;

"Covenantee" means, in relation to the Covenant, the registered proprietor of the Benefited Land from time to time and includes, where applicable:

- (a) The person executing this Instrument as Covenantee;
- (b) All respective executors, administrators, successors, assigns and successors in title of the Covenantee, and if more than one jointly and severally;

"Covenantor" means, in relation to the Covenant, the registered proprietor of the Burdened Land from time to time and includes, where applicable:

- (a) The person executing this Instrument as Covenantor; and
- (b) All respective executors, administrators, successors, assigns and successors in title of the Covenantor, and if more than one jointly and severally;

"Instrument" means this Instrument and includes all the annexure schedules incorporated within this Instrument;

"Marina Development" means development of a boat harbour including all ancillary uses applicable to a marina including but not limited to fuel and waste distribution and collection facilities, vehicle parking, boat maintenance and servicing, provision of associated infrastructure, buildings, chandlery, marine provisioning, boat maintenance services, toilets and all services related to a modern marina providing for sea going vessels.

"Working Day" means any day of the week other than:

- (a) Saturday, Sunday, Waitangi Day, Good Friday, Easter Monday, Anzac Day, the Sovereign's Birthday, Matariki and Labour Day; and
- (b) A day in the period commencing on the 24th of December in any year and ending on the 5th of January the following year, both days inclusive; and
- (c) Northland Anniversary Day.

INTERPRETATION

1.2 In this Instrument, unless the context indicates otherwise:

- (a) All monetary amounts are stated and are payable in New Zealand dollars;
- (b) Singular words include the plural and vice versa and words importing one gender include the other gender;
- (c) References to any **"party"** mean a party to this Instrument and include the successors, executors, administrators and permitted assigns (as the case may be) of that party;
- (d) References to clauses are to clauses in this Instrument (unless stated otherwise);
- (e) References to a **"person"** include an individual, firm, company, corporation or unincorporated body of persons, any public, local authority, any government, and any agency of any government or of any such authority;
- (f) Headings appear as a matter of convenience and do not affect the construction of this Instrument;
- (g) A reference to an enactment or any regulations is a reference to that enactment or those regulations as amended, or to any enactment or regulations substituted for them;

- (h) Any obligation on the Covenantor not to do anything shall be deemed also to be an obligation not to suffer, permit and or cause that thing to be done;
- (j) An obligation by two or more persons binds those persons jointly and severally.

2. GENERAL COVENANT

2.1 The Covenantor covenants and agrees:

- (a) To observe and perform the Covenant at all times; and
- (b) The Covenant shall run and bind the Burdened Land for the benefit of the Benefited Land to the intent that the Covenant will be forever appurtenant to the Benefited Land.

2.2. The Covenantor covenants and agrees:

- (a) To pay the Covenantee's legal costs (as between solicitor and client) of and incidental to the enforcement or attempted enforcement of the Covenantee's rights, remedies and powers under this Instrument;
- (b) To indemnify the Covenantee against all claims and proceedings arising out of a breach by the Covenantor of any of its obligations set out in this Instrument.

3. COVENANT

3.1 The Covenantor, (including any lessee, licensee or other occupier of the Burdened Land), covenants that it shall not at any time:

- (i) Make or lodge, or
- (ii) Be party to or otherwise support in any way; or
- (iii) Finance or contribute to the cost of

any submission, objection, application, complaint, proceeding or appeal pursuant to the Resource Management Act 1991, or any statutory amendment or replacement of such enactment, opposing or seeking to prevent, regulate or impose conditions upon the Covenantee from undertaking, or permitting the undertaking of, a Marina Development on the Benefited Land.

4. BREACH OF COVENANT

4.1 The Covenantor and Covenantee covenant and agree that if the Covenantor breaches or fails to observe part of the Covenant, then without prejudice to any other liability which the Covenantor may have to the Covenantee or any person or persons having the benefit of the Covenant, the Covenantor, upon written demand being made by the Covenantee or any person or persons having the benefit of the Covenant will:

- (a) Pay to the Covenantee as liquidated damages the actual costs incurred by the Covenantee arising out of or in connection to the breach plus all costs associated with enforcement; and/or;

- (b) Upon receiving notice from the Covenantor remedy any breach if capable of remedy within 20 Working Days on terms and conditions imposed by the Covenantor which may involve being required to remove any structure or building material which breaches the terms of the Covenants

provided however that the Covenantor will only be liable for breaches of the Covenant which occur while the Covenantor is the registered proprietor of the Burdened Land in respect of which a breach or non-observance occurs.

5. GENERAL

Waiver

- 5.1 No exercise or failure to exercise or delay in exercising any right or remedy by a party shall constitute a waiver by that party of that or any other right or remedy available to it.

Partial Invalidity

- 5.2 If any provision of this Instrument or its application to any party or circumstance is or becomes invalid or unenforceable to any extent, the remainder of this Instrument and its application shall not be affected and shall remain enforceable to the greatest extent permitted by law.

Notices

- 5.3 Any notice required to be served on any party under this Instrument shall be served in the manner prescribed in Part 7 of the Property Law Act 2007 for the type of notice being served.

Governing Law

- 5.4 This Instrument shall be governed by New Zealand law, and the parties submit to the non-exclusive jurisdiction of the courts of New Zealand.

View Instrument Details



Instrument No 10807169.8
Status Registered
Date & Time Lodged 30 August 2017 16:08
Lodged By Dodds, Sharlene Janet
Instrument Type Easement Instrument



Affected Computer Registers	Land District
667272	North Auckland
667273	North Auckland
667274	North Auckland

Annexure Schedule: Contains 2 Pages.

Grantor Certifications

- I certify that I have the authority to act for the Grantor and that the party has the legal capacity to authorise me to lodge this instrument
- I certify that I have taken reasonable steps to confirm the identity of the person who gave me authority to lodge this instrument
- I certify that any statutory provisions specified by the Registrar for this class of instrument have been complied with or do not apply
- I certify that I hold evidence showing the truth of the certifications I have given and will retain that evidence for the prescribed period
- I certify that the Charge Holder under Statutory Land Charge 9013921.1 has consented to this transaction and I hold that consent, or the Statutory Land Charge does not prevent registration

Signature

Signed by Maree Christine Stenberg as Grantor Representative on 30/08/2017 03:34 PM

Grantee Certifications

- I certify that I have the authority to act for the Grantee and that the party has the legal capacity to authorise me to lodge this instrument
- I certify that I have taken reasonable steps to confirm the identity of the person who gave me authority to lodge this instrument
- I certify that any statutory provisions specified by the Registrar for this class of instrument have been complied with or do not apply
- I certify that I hold evidence showing the truth of the certifications I have given and will retain that evidence for the prescribed period

Signature

Signed by Maree Christine Stenberg as Grantee Representative on 30/08/2017 03:34 PM

*** End of Report ***

Easement instrument to grant easement or ~~profit à prendre~~, or create land covenant

(Sections 90A and 90F Land Transfer Act 1952)

Grantor

BENTZEN FARM LIMITED

Grantee

BENTZEN FARM LIMITED

Grant of Easement or ~~Profit à prendre~~ or Creation of Covenant

The Grantor being the registered proprietor of the servient tenement(s) set out in Schedule A grants to the Grantee (and, if so stated, in gross) the easement(s) ~~or profit(s) à prendre~~ set out in Schedule A, ~~or creates the covenant(s) set out in Schedule A~~, with the rights and powers or provisions set out in the Annexure Schedule(s)

Schedule A

Continue in additional Annexure Schedule, if required

Purpose (Nature and extent) of easement; <i>profit</i> or covenant	Shown (plan reference)	Servient Tenement (Computer Register)	Dominant Tenement (Computer Register) or in gross
Right of Way, Right to Convey Electricity, Right to Convey Computer Media and Telecommunications	Marked "A" on DP 479155	667274	667272
Right to Convey Electricity, Right to Convey Computer Media and Telecommunications	Marked "G" on DP 479155	667273	667272

Annexure Schedule

Page 2 of 2 Pages

Insert instrument type

Easement

Continue in additional Annexure Schedule, if required

Easements or profits à prendre rights and powers (including terms, covenants and conditions)

Delete phrases in [] and insert memorandum number as required; continue in additional Annexure Schedule, if required

Unless otherwise provided below, the rights and powers implied in specified classes of easement are those prescribed by the Land Transfer Regulations 2002 and/or Schedule Five of the Property Law Act 2007.

Where there is a conflict between the provisions of Schedule 4 to the Land Transfer Regulations 2002 and Schedule 5 of the Property Law Act 2007, the provisions of Schedule 5 of the Property Law Act 2007 must prevail.

Covenant provisions

Delete phrases in [] and insert Memorandum number as required; continue in additional Annexure Schedule, if required

The provisions applying to the specified covenants are those set out in:

[Memorandum number _____, registered under section 155A of the Land Transfer Act 1952]

[Annexure Schedule]

View Instrument Details



Instrument No 10807169.7
Status Registered
Date & Time Lodged 30 August 2017 16:08
Lodged By Dodds, Sharlene Janet
Instrument Type Consent Notice under s221(4)(a) Resource Management Act 1991



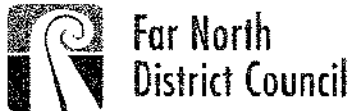
Affected Computer Registers	Land District
667272	North Auckland
667273	North Auckland
667274	North Auckland
667275	North Auckland

Annexure Schedule: Contains 4 Pages.

Signature

Signed by Maree Christine Stenberg as Territorial Authority Representative on 30/08/2017 03:34 PM

***** End of Report *****



Private, 152, Hereward
Road, 5041, New Zealand
Phone: 09 421 9911
Fax: 09 421 5200
E-mail: na@fncc.govt.nz
Website: www.fncc.govt.nz

Te Kōwhiri o Tai Tokerau Ki Te Rōki

THE RESOURCE MANAGEMENT ACT 1991

SECTION 221: CONSENT NOTICE

REGARDING RC 2080520

Being the Subdivision of Titles
Referenced NA24C/146, NA71D/981, 251322, NA32A/187
North Auckland Registry

PURSUANT to Section 221 and for the purpose of Section 224 (c) (ii) of the Resource Management Act 1991, this Consent Notice is issued by the **FAR NORTH DISTRICT COUNCIL** to the effect that conditions described in the schedule below are to be complied with on a continuing basis by the subdividing owner and the subsequent owners after the deposit of the survey plan, and these are to be registered on the titles of the allotments specified below.

SCHEDULE

Lots 1 & 2 DP479155

- (a) (engineered retaining) In accordance with the recommendations of the Fraser Thomas Engineering Limited report dated 28 March 2006, any retaining of cuts over 1 metre should be designed by a suitably qualified person.
- (b) (Foundation design) Specific foundation investigations and designs shall be undertaken for any building being erected on Lots 1 or 2 and the location and design shall be in accordance with the recommendations of the Fraser Thomas Engineering Limited report dated 28 March 2006.
- (c) (bush protection) The owner(s) of Lots 1 and 2 shall preserve the indigenous trees and bush now on the areas identified as 'B', 'C', 'D', 'E' and 'F' and shall not without the prior written consent of the Council and then only in strict compliance with any conditions imposed by the Council, cut down, damage or destroy any of such trees or bush or suffer or permit the cutting down damaging or destruction of any such trees or bush. The owner shall be deemed to be not in breach of this prohibition if any of such trees or bush shall die from natural causes.

- attributable to any act or default by or on behalf of the owner or for which the owner is responsible. Any work to be undertaken on any natural vegetation (trees, in particular) contained within the protected area is to be carried out under the guidance of a qualified arborist, with the Council to be advised in writing of the proposed work prior to commencement, and notified of the completion of the work.
- (d) (Bush Protection Plan) The owner(s) of Lots 1 and 2 shall adhere to the recommendations outlined in the 'Bush Protection Plan' Appendix 9 of the Landscape and Visual Impact Assessment completed by Hawthorn Landscape Architects dated May 2006.
- (e) (Building Design and Landscaping) All buildings on Lots 1 and 2 shall be so designed to satisfy the criteria specified in the Christine Hawthorn Landscape Architect report dated May 2006. An application for Building Consent (or resource consent if required) shall include, for Council's approval, a report from a suitably qualified experienced landscape architect to demonstrate that the proposed building satisfies the design criteria. A re-vegetation and mitigation planting plan as per Section 6.0 of the Christine Hawthorn Landscape Architect report dated May 2006 is also required to be submitted for Council's approval. Such re-vegetation shall occur within the first 12 months of completion of the exterior of the building. The owner shall advise Council when the re-vegetation has occurred and an inspection shall be undertaken. The costs of the inspection shall be met by the owner.
- (f) (Accessways and driveways) Accessways and driveways shall be constructed so that they meet the following to Council's satisfaction:
- (i) Follow the alignment of the existing track as much as possible to minimise the amount of cut and fill required;
 - (ii) Constructed with the extreme minimum amount of vegetation removed. The goal is to retain as much canopy closure over the new driveways as possible to minimise edge effects. Where necessary to minimise excessive cuttings, retaining walls should be constructed;
 - (iii) Road surfaces, kerb and channel shall be visually recessive so not to draw attention to the roading route. The addition of black oxide to concrete will minimise visibility; and
 - (iv) The implementation of indigenous revegetation of the cut and fill batters and retaining walls shall occur upon completion, or where practical within the first planting season after commencement of construction to mitigate edge effects and prevent weed invasion.
- (g) (Minimising visual impact) In order to minimise the visual impact of residential development on Lots 1 and 2 the following shall be adhered to:
- (i) Retaining walls shall be screened or softened by shrubs and or ground cover;

- (ii) Internal lot boundary lines shall not be demarked in any manner that is visible (large timber fences, or tree removal, or lineal planting);
 - (iii) Power and phone connections and any other cables shall be installed underground along the road alignments to avoid visual disturbance; and
 - (iv) Water tanks shall be located where they will not be visible from the coastal marine area, the streetscape or neighbouring properties. If the tanks are not buried they shall be screened by vegetation.
- (h) (Maintenance landscaping) The planting referred to in condition 3(f) above shall be maintained on a continuing basis and any plants that are removed or damaged are to be replaced as soon as possible, at least within the next planting season (May to September inclusive).
- (i) (Proposed house sites) No buildings shall be constructed on Lots 1 or 2 outside of the 'building development zones' which have been identified on the survey plan.

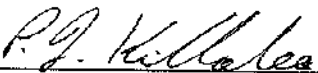
Lots 1, 2, 3 & 4 DP 479155

- (a) (Wastewater treatment) Any dwellings will require a wastewater treatment or disposal system designed by a Chartered Professional Engineer in accordance with the Auckland District Council's Technical Publication No. 58. The design and details of such are to be submitted to council in conjunction with a building consent application.
- (b) (Foundations) The foundations of any buildings are to be designed by a suitably qualified Chartered Professional Engineer. The details of such shall be submitted in conjunction with the building consent application.
- (c) (Archaeological values) The site and Te Huruhi (Dicks) Bay has high cultural, historical and archaeological values. There is potential for uncovering unrecorded archaeological sites, human remains or other taonga. If any archaeological remains, and/or sites of interest to Maori identified during any onsite development or construction, no further modification of those sites shall occur until the Rawhiti Maori Committee and the New Zealand Historic Places Trust have been notified, and an appropriate response advised including site visit by Kaumatua.
- (d) (Indigenous vegetation) The owners shall preserve the living indigenous vegetation within the areas shown on the survey plan as subject to land covenant (bush protection) and shall not without prior written consent of the Council and then only in strict compliance with any conditions imposed by the council, cut down, damage or destroy any of such vegetation or suffer or permit the cutting down, damaging or destruction of any such trees or bush. The owner shall be deemed to be not in breach of this

prohibition if any such trees or bush shall die from natural causes not attributable to any act or default by or on behalf of the owner of for which the owner is responsible.

- (e) (Grazing stock) There shall be no intrusion of grazing stock (including horses, cows, sheep, goats and pigs) into any areas of indigenous vegetation on this site.

SIGNED:


Mr Patrick John Killalea
By the FAR NORTH DISTRICT COUNCIL
Under delegated authority:
PRINCIPAL PLANNER – RESOURCE MANAGEMENT

DATED at KERIKERI this 2nd day of May 2017

512068 TE 01011870

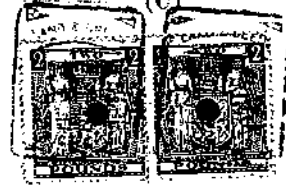
(Approved by the District Land Registrar, Auckland, No. 2716)

L-31-D



Under the Land Transfer Act, 1915

Memorandum of Transfer



WHEREAS LEONARD HARRY KIMBER of Russell, Farmer, and IRENE ANNA JACOBINE

KIMBER his wife (hereinafter called "the Transferors")
being registered as proprietor
of an estate in fee simple

subject however to such encumbrances, liens and interests as are notified by
memoranda underwritten or endorsed hereon in all those pieces of land situated

in the Land District of Auckland containing together One thousand ..
Nine hundred and Eighteen acres Two roods and Thirty five perches ..
(1918a.2r.35p.) situated in Block III of the Russell Survey District
being parts of the Rawhiti No.2. Block and being all of the land ..
comprised in Certificate of Title Volume 798 Folio 175 AND WHEREAS
~~most of the land being~~

1075/285

by an Agreement in writing bearing date the 21st day of November ..
1950 made between the Transferors of the one part and HUMPHREY JOHN
CHRISTIAN HARE formerly of Rata near Marton, but now of Russell, ..
Farmer, (hereinafter called "the Transferee") of the other part the
Transferors agreed to sell and the Transferee agreed to purchase ..
part of the said land being all that piece of land containing Nine
hundred and Eighty nine acres Three roods Sixteen perches and Nine
Tenths of a perch (989a.3r.16.9p.) more or less being Lots 1, 2, 3, 4,
and 5 on Deposited Plan No. 38894 being parts of the said Rawhiti ..
No.2. Block and being part of the said land comprised in Certificate
of Title Volume 798 Folio 175 AND WHEREAS the Transferors have
agreed to give and grant to the Transferee a right of way over part
of the said land first above described AND WHEREAS the Transferee ..
has agreed that the Transferors shall reserve to themselves a right
of way over that part of the said land secondly above described ...
coloured yellow on the said Deposited Plan No. 38894 NOW THIS

1918-2-35
989 3 16.9
925-3-18.1

MEMORANDUM OF TRANSFER WITNESSETH that in consideration of the
premises and in consideration of the sum of Nine thousand Five
hundred pounds (£9500) paid to the Transferors by the Transferee ..
(the receipt whereof is hereby acknowledged) the Transferors do ...
hereby transfer to the Transferee all the estate and interest of the
Transferors in the land secondly above described RESERVING nevertheless
to the Transferors and their assigns full and free right and liberty
to and for them and other the registered proprietor or proprietors
for the time being of all that the residue of the said land firstly
above described being the balance of the land in the said Certificate
of Title or any part thereof and their tenants servants agents
workmen and visitors and all persons having business with them from
time to time and at all times hereafter at their will and pleasure
to go pass and reposs on foot and with or without vehicles implements
and animals of all descriptions loaded or unloaded by night as well
as by day through over and along that portion of the said land
secondly above described coloured yellow on the said Deposited Plan
to the intent that the right of way hereby reserved shall be forever
hereafter appurtenant to the residue to the said land firstly above
described being the balance of the land in the said Certificate of
Title for all purposes connected with the use occupation and

enjoyment thereof AND FOR THE CONSIDERATION AFORESAID the Transferors
do hereby transfer and grant to the Transferee his executors

Fowell

208

Plan of
Bentley
AT
11/11/52

L.H.A.
S.O.S.H.

P. H. K.
Y. A. Y. K.

In consideration of _____

(the receipt of which sum is hereby acknowledged)

Do hereby Transfer to the said

_____ all _____ estate and interest in the
said piece _____ of land above described

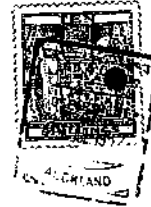
upon the part of the said land first above described being the .
part of Lot 6 on the said Deposited Plan No. 38894 coloured yellow
on the said plan to the intent that such easement of right of way
hereby created shall be forever appurtenant to the land secondly
above described and any part thereof for all purposes connected
with the use occupation and enjoyment thereof.

In witness whereof they have hereunto subscribed their names this 21st
day of July one thousand nine hundred and Fifty two.

Signed by the above named
LEONARD HARRY KIMBER and
IRENE ANNA JACOBINE KIMBER
as Transferors
in the presence of

P. H. Kimber.
Irene Kimber

W. S. Reston
Director
W. Langens



MEMORANDUM OF PARTIAL RELEASE.

THE PUBLIC TRUSTEE FOR THE DOMINION OF NEW ZEALAND being registered as the proprietor of an estate as mortgagee under Memorandum of Mortgage Registered Number 351433 in inter alia all that piece of land containing 989 acres 3 roods 16.9 perches more or less being Lots 1, 2, 3, 4 and 5 on Deposited Plan Number 38894 being parts of Rawhiti Number 2 Block and being part of the land comprised in Certificate of Title Volume 798 Folio 175 Auckland Registry IN CONSIDERATION of the sum of Two thousand three hundred pounds (£2,300) paid to him by Leonard Harry Kimber and Irene Anna Jacobine Kimber both of Russell, Farmers, (the receipt whereof is hereby acknowledged) DOTH HEREBY but without prejudice to his rights and powers as such mortgagee as aforesaid in respect of the residue of the land comprised in the said mortgage and without releasing such other lands from the said mortgage DOTH HEREBY DISCHARGE the land above described from the provisions of the said mortgage Number 351433 and from all liability for payment of the moneys secured thereby.

IN WITNESS WHEREOF these presents have been executed this 21st day of *July* 1952.

SIGNED by the Public Trustee by the District Public Trustee for Whangarei and sealed with the latter's seal of office in the presence of

THE PUBLIC TRUSTEE
by *J. Mardon*
District Public Trustee for Whangarei.

B. P. Hopkins
Solicitor
Whangarei

Correct for the Purposes of the Land Transfer Act.

W. S. P. Sworth
Solicitor for the Mortgagees.

A 276372 Transfer surrendering the Easement created by the within Transfer over parts Lots 1 and 2 Plan 38894 (CT 2105/12) with respect to Lot 6 Plan 49854 C.T. 33/1445. *Symon* ALK

A 283376 Transfer surrendering the Easement created by the within Transfer over parts Lots 1 and 2 Plan 38894 (CT 2105/12) with respect to Lot 8 Plan 49854 CT 93/798. *Symon* ALK

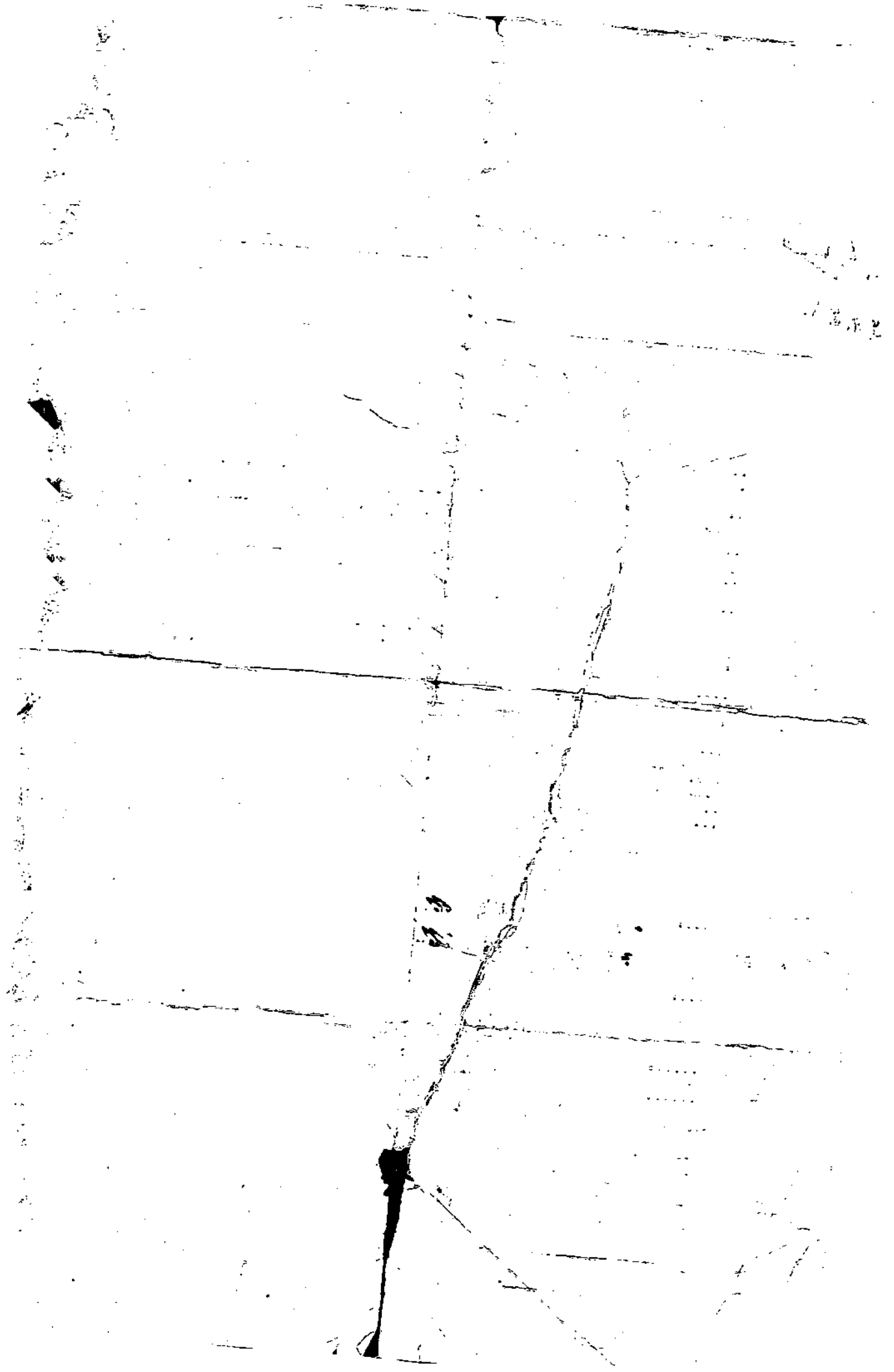
A 283371 Transfer, surrendering the Easement created by the within Transfer over parts Lots 1 and 2 Plan 38894 (CT 2105/12) with respect to Lot 9 Plan 45343 CT 1682/94. *Symon* ALK

Schedule

Transfer Surrendering.	Dominant Land.	ALK
A 295415	1961/24	<i>S. Gilliat</i>
A 295418	1643/93	<i>S. Gilliat</i>
A 302821	1664/64	<i>S. Gilliat</i>
A 302820	100/107	<i>S. Gilliat</i>
A 324390	201/107/27	<i>S. Gilliat</i>
A 311190	1684/28	<i>S. Gilliat</i>
A 341590	13A/190	<i>S. Gilliat</i>
A 378938	14/1531.7	<i>S. Gilliat</i>
A 41616	150/1187 Lot 9 plan 49854 CT 8A/509	<i>S. Gilliat</i>
A 311189	13A/188	<i>S. Gilliat</i>

N.B. This easement is still ~~all~~ alive in favour of our least C's. T. 60/2214 + 2 1661/89.

151



No. 512068

Correct for the purposes of the Land Transfer Act.

TRANSFER OF
land in the Russell Survey District.

LEONARD HARRY KIMBER and
IRENE ANNA JACOBINE KIMBER Transferor

HUMPHREY JOHN CHRISTIAN HARE Transferee

B.S. Rishworth
Solicitor for the Transferee

Particulars entered in the Register-Book 498/175

the 29th day of July 1952
at 11:35 o'clock.

A. Benjamin
Assistant District Registrar
of Auckland.

A 274471 Transfer surrendering the easement created by within Transfer over parts lots 1 and 2 Plan 38894 (CT 2105/12) 28.2.1968 at 10.50 00. W. H. Hare with respect to Lot 14 Plan 45343 A.R. (CT. 26/120).

A 279566 Transfer surrendering the easement created by the within Transfer over parts lots 1 and 2, Plan 28894 (CT 2105/12) with respect to Lot 2, Plan 45343 (CT 1650/35)

A 279567 Transfer surrendering the easement created by the within Transfer over parts Lot 1 and 2, Plan 38894 (CT 2105/12) with respect to Lot 8, Plan 45343, C.T. 1667/48

A 276370 Transfer surrendering the easement created by the within Transfer over parts Lots 1 and 2 Plan 38894 (CT 2105/12) with respect to Lot 7 Plan 49854 C.T. 498/78

A 276371 Transfer surrendering the easement created by the within Transfer over parts Lots 1 and 2 Plan 38894 (CT 2105/12) with respect to Lot 3 Plan 46012 C.T. 1670/26

Part 798 175 see over page
Plan 489-3-16-9
Russell S.D. being lots 1, 2, 3, 4 & 5 on D.P. 38894 & being parts of Rawhiti No 2 Block.

A 302820 Transfer surrendering the easement created by the within Transfer over parts lots 1 and 2 Plan 38894 (CT 2105/12) with respect to lot 3 Plan 49854 (198/107)

RISHWORTH AND HARRISON
Solicitors for the Transferee
WHANGAREI.

THE LAW SOCIETY OF THE DISTRICT OF AUCKLAND

APPENDIX 6

SIMON COCKER LANDSCAPE

ARCHITECTURE LANDSCAPE

ASSESSMENT

NORDIC HOLDINGS LTD. 542 Manawaroa Road.

Landscape assessment

17 October 2024

24011_01

FINAL

Document Quality Assurance



<p>Bibliographic reference for citation:</p> <p>Simon Cocker Landscape Architecture Limited. 2024. Nordic Holdings Ltd., 542 Manawaroa Road - <i>Landscape assessment</i>.</p>		
Prepared by	Simon Cocker Landscape Architect Principal SCLA	
Reviewed by	Simon Cocker Landscape Architect Principal SCLA	
Ref.	24011_01	
Status. [FINAL]	Revision / version -	Issue Date: 17 October 2024
<p>Use and Reliance</p> <p>This report has been prepared by Simon Cocker Landscape Architecture Limited (SCLA) on the specific instructions of our Client. It is solely for our Client's use for the purpose for which it is intended in accordance with the agreed scope of work. SCLA does not accept any liability or responsibility in relation to the use of this report contrary to the above, or to any person other than the Client. Any use or reliance by a third party is at that party's own risk. Where information has been supplied by the Client or obtained from other external sources, it has been assumed that it is accurate, without independent verification, unless otherwise indicated. No liability or responsibility is accepted by SCLA for any errors or omissions to the extent that they arise from inaccurate information provided by the Client or any external source.</p>		

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1.0 INTRODUCTION

Nordic Holdings Ltd (“the applicant”) is applying for a resource consent to land use consent to construct a shed within the Building Development Zone¹. At the same time, they propose to legalise six existing buildings, and construct two additional cabins. Some of the existing buildings and one of the new cabins are outside of the Building Development Zone. on the site at 542 Manawarora Road, Russell (refer to Figures 1a and 1b). The proposed buildings areas are shown in photos 1, 2 and 3.

The subject (22ha) property is identified as Lot 2 DP 479155. In the Operative District Plan the property is zoned General Coastal Zone and Rural Production with the works being undertaken in the General Coastal Zone. The property is also overlain by an Outstanding Landscape (ONL). All of the buildings will be within the GCZ and ONL in the OFNDP

The site is zoned Rural Production Zone under the Proposed Far North District Plan (PFNDP), and is entirely within the Coastal Environment (CE). Portions of the site are within an Outstanding Natural Landscape (ONL) and a High Natural Character Area (HNCA).

Although consent is primarily sought for the proposed shed, retrospective consent is also required for a number of existing structures, including four cabins, an existing shed (which serves as holiday accommodation). The proposal is illustrated in Figure 2a, and is described in detail in section 2 of this report.

Consent is required under Rule 10.6.5.3.1 as some of the existing cabins and the existing garage will be partially outside of the existing building envelope.

The shed and the cabins are larger than 25m², so consent is required under Rule 12.1.6.2.1, and the proposal is therefore the proposal is a **restricted discretionary activity** under Rule 12.1.6.2.1. Council have restricted their discretion under these rules to the following matters:

- i. the location of the building; and*
- ii. the size, bulk and height of the building in relation to ridgelines, areas of indigenous vegetation and habitats of indigenous fauna, existing trees and other natural features; and*
- iii. the degree to which the landscape will retain the qualities that make it outstanding, including naturalness, and visual and amenity values; and*
- iv. the design of the building; and*
- v. the location and design of associated vehicle access, manoeuvring and parking areas; and*
- vi. the extent to which planting can mitigate visual effects; and*
- vii. the means by which permanent screening of the building from public viewing points on a public road, public reserve, or the foreshore may be achieved, and*
- viii. the cumulative visual effects of all buildings on the site.*

The proposal would be a **discretionary activity** under the PFNDP if the rules had legal effect.

There are a number of memorials recorded on the title. Those of relevance relate to the retention / preservation of indigenous vegetation, the restricting of development to an identified building, platform, requirements for constructing accessways and driveways, the maintenance of any planting required for mitigation, the flagging of the potential presence of unrecorded archaeological sites, human remains or other taonga on the property, the banning of livestock from grazing within the areas of indigenous vegetation. The details of these memorials are included in the application prepared by Reyburn and Bryant (section 1.4).

¹ The underlying subdivision approved a ‘Building Development Zone’ in the centre of the property, shown as ‘I’ on DP 479155. It is recorded on the title by a Consent Notice (10807169.7, condition i).

Assessment methodology

This assessment has been undertaken by professional landscape consultants with reference to Te Tangi a Te Manu (Aotearoa New Zealand Landscape Assessment Guidelines²).

A Method Statement outlining the approach to this assessment and the effects ratings and definitions used is provided in [Appendix 2](#). In summary, the significance of effects identified in this assessment are based on a seven-point scale which includes very low; low; low-moderate; moderate; moderate-high; high and very high ratings. For the purpose of this assessment, low-moderate equates to minor in RMA terminology.

Desktop study and site visits

In conducting this assessment, a desktop study was completed which included a review of the relevant information relating to the landscape and visual aspects of the project. This information included:

- The Operative Far North District Plan;
- Site plan prepared by Reyburn and Bryant (SP16978 Rev B);
- Planset prepared by Shed 4U, dated 2 February 2024;
- Booth, Andrea Marie. *Natural areas of Whangaruru Ecological District : reconnaissance survey report for the Protected Natural Areas Programme*. Dept. of Conservation, Northland Conservancy, 2005;
- LA4 Landscape Architects. Far North District Landscape Assessment. 1995;
- Northland Regional Policy Statement. Landscape Worksheet for Parekura headland and Orokawa Peninsula unit;
- GNS Science Geology Web Map Client;
- Aerial photography, Far North District Council GIS mapping, and Google Earth.

The author visited the Site on 12 March 2024, and a visit was undertaken to take photos from the CMA on 23 August 2024. Photographs from the CMA were supplied by the applicant and were taken around 16 April 2024.

2.0 THE PROPOSAL

Consent notice variation (s221(3))

It is proposed to vary condition 1(i) of consent notice 10807169.7 to legalise the existing buildings constructed outside of the Building Development Zone and allow the construction of the new cabins. The amended wording is below, with deletions shown as ~~strike through~~ and additions shown as **bold and underlined**

- (i) ~~(Proposed house sites) No buildings shall be constructed on Lots 1 or 2 outside of the 'building development zones' which have been identified on the survey plan. No buildings shall be constructed on Lot 2 outside of the "Proposed Covenant Boundary" identified on the site plan prepared by Reyburn and Bryant, titled "Site Plan of Lot 2 DP 479155", reference number "SP16978", dated May 2024, Revision B.~~

The proposal is described in the AEE and illustrated on [Figures 2a – 2c](#). There are six existing buildings on the site, a skyline garage, a pole lean to, and four cabins. The pole lean to and one of the cabins are within the Building Development Zone (refer to [Plate 1](#) below). The other buildings are outside of it.

² https://nzila.co.nz/media/uploads/2022_09/Te_Tangi_a_te_Manu_Version_01_2022_.pdf

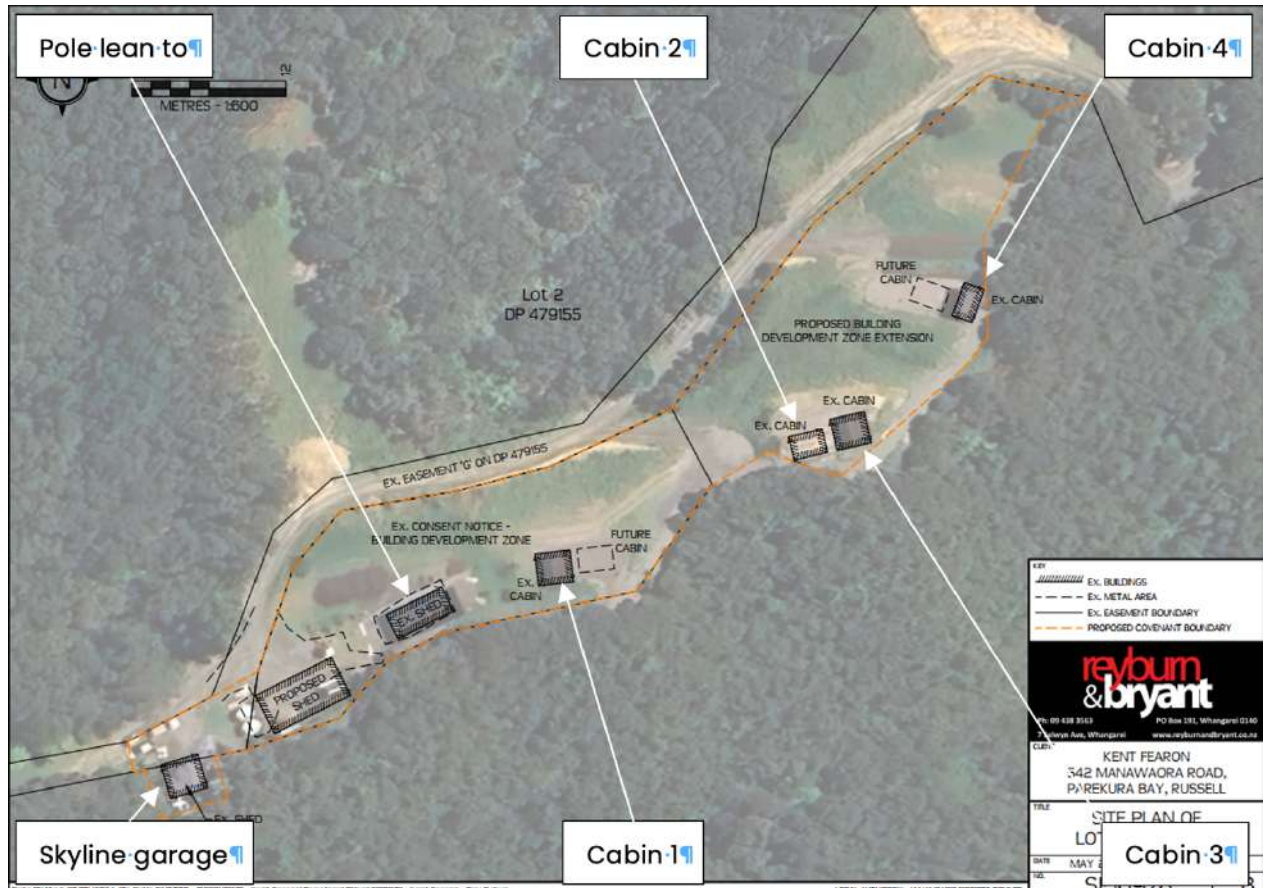


Plate 1. Extent of Building Development Zone

Proposed Shed

The proposed shed will be located at the upper (south western) end of a rising grassed ridge which is contained by native forest vegetation on its north western, western, south western and southern sides. The proposed building platform is visible in [photos 1, 2, and 3](#), and has already been formed. The shed (shown in [Plate 2](#) below), will have a floor area of 128m², and will measure 16m x 8m. It will have a height (at the high point of the single shallow pitch (5°) roof) of 4.3m, and will be finished with a dark and recessive colour such (BS5252 standard colour palette range, reflectance value of 30% or less)



Plate 2. Proposed shed

Existing shed, proposed and existing cabins

Illustrated in photos 4, 5 and 6 (and referred to as 3, 4, 5, and 6 on Figure 2b), the existing cabin structures are identified on Plate 1 and have a footprint of:

- Cabin 1 – 40m²
- Cabin 2 – 25.29m²
- Cabin 3 – 40m²
- Cabin 4 - 25m²

These existing structures have a monopitch roof which is 2.8m high at the front and 2.4m at the rear, and are finished in matt black (which complies with BS5252 standard colour palette range, reflectance value of 30% or less).

The proposed new cabins will be constructed in the grassed area, one in the Building Development Zone and the other outside of it as shown on the site plan. They will have a width of 4.5m and a length of 6.5m, with a total GFA of 29.25m². The maximum height will be 2.8m. They will be clad in corrugated iron with colours designed to match the existing buildings. They will be in the BS5252 standard colour palette range with a reflectance value of 30% or less

Shed 1 (skyline garage) is illustrated in photo 1 and is located at the most elevated point on the grassed ridge. It is contained by vegetation on all sides but the northern side, and has a floor area of 47m² and is between some 3 – 4m in height.

The façades of the building are currently finished with a pale yellow colour, whilst the roof is clad with black Colorsteel. It is proposed that the façades of the building will be a colour in the BS5252 standard colour palette range with a reflectance value of 30% or less.

Shed 2, ('pole lean-to') is visible in photo 6 serves as a communal eating and cooking area. With a shallow pitched roof, and open to the north, this structure has a floor areas of 58m², and is between some 3 – 4m in height with concrete floors that spill out to seating areas shaded by pergola structures to the west and east.

Proposed landscape mitigation planting

Recognising the potential visibility of built form on the ridge crest, mitigation revegetation planting is proposed on the northern side of the pastured crest of the ridge, and between the existing and proposed building sites for the purpose of softening the appearance of the existing cabins and other buildings. The location of these plantings is shown on Figure 2d, and the proposed species mixes are detailed below.

Botanical Name	Common Name	Grade	Spacing	Full height	Specimen tree (%)	% Mix (Low)	% Mix (Tall)	Flammability
<i>Coprosma macrocarpa</i>	karamu	1L	1.4m	5m			20	L
<i>Griselinia littoralis</i>	apuka	1L	1.4m	6m			-	L-M
<i>Hebe stricta</i>	koromiko	1L	1.4m	3m		30	20*	L-M
<i>Metrosideros excelsa</i>	pohutukawa	Pb40	As shown	8m	100			M
<i>Myoporum laetum</i>	ngaio	1L	1.4m	4m			10	L-M
<i>Pittosporum crassifolium</i>	karo	1L	1.4m	6m			10	L-M
<i>Phormium tenax</i>	harakeke	1L	1.4m	1.5m		70	30*	M
<i>Pseudopanax lessonii</i>	houpara	1L	1.4m	5m			10	L-M

*Species to be planted on upper part of slope to maintain views from residential buildings.

Table 1. Recommended plant species

Rule 12.4.6.1.2 requires consideration of potential fire risk, so it is proposed that, where existing native vegetation occurs within 10m of the footprint of the proposed shed, vegetation management shall be undertaken to selectively remove

species which have a high flammability (an area of some 300m²), and replace these with locally sourced native species which have a low or moderate to low flammability. The replacement / infill planting will be undertaken such that the final density of planting / existing vegetation is 1.4m spacings. The infill species shall be selected from the low and low – moderate flammability list above.

Two planting mixes are proposed. The 'Tall mix' will create a robust framework of native vegetation, but it is proposed that, where planting is proposed to the north of the proposed / existing buildings, smaller growing species will be planted on the upper flanks of the slope, with the taller species on the mid and lower flanks. This will ensure that views are maintained to the CMA.

The 'Low mix' is proposed in close proximity to buildings where shading is to be avoided, or in locations where views are to be maintained. In places, the low mix is to be planted in conjunction with clear stem specimen trees for the purpose of creating a larger scale of vegetation whilst maintaining views below the canopy of these trees.

The total area of planting will be some 2,270m².

3.0 EXISTING ENVIRONMENT

3.1 The site context

As is illustrated in [Figure 1](#), the subject property is located on the southern side of Parekura Bay and rises from Manawarora Road – which meanders along the southern edge of the Bay.



Plate 3: The subject property

The property is bisected by a north westerly trending sub-catchment boundary ridge, and the property rises up to this sub-catchment boundary ridge and over ridge crest into the adjoining catchment to the south west. As is evidenced by [Plate 3](#) above, the majority of the property is vegetated with native forest with the northern flanks of the sub-catchment

boundary ridge primarily vegetated with regenerating kanuka and manuka dominated shrubland and forest, and the southern flanks vegetated with a more diverse forest type. The forest types include pohutukawa coastal forest with pockets of taraire–kohekohe–puriri forest.

The steep dissected coastal hills - underlain with of Waipapa Terrane greywacke and chert, with some Kerikeri Volcanics basalt flow remnants and associated boulder colluvium – rise to a height of some 200 - 300m and form a powerful backdrop to the coast. Within the wider forest, the landform rises to a maximum height of 430 m with a complex and dissected terrain over much of its area with little modification with the body of the forest.

Development has occurred on the forest margins, and in places this has extended up valleys, particularly where roads provide access. Here, on the valley bottoms and gentle slopes pasture has been established, although regenerating vegetation evidences previous clearance of vegetation which has since been left to regenerate naturally.

The Russell Forest encompasses an extensive and little accessed area covering an area of some 22,737 ha. It is contiguous with forested areas on Cape Brett and to the south west, the unit also extends to the ocean coast south of Taupiri Bay, and to the sheltered estuarine coastal edges on the Waikare Inlet. These northern edges are frequently contiguous with adjoining units which provide additional links to the coast including Dicks Bay, Te Rawhiti Inlet and Cape Brett. To the south it links with a succession of forested hills – identified as the North east bush clad hills unit and the Eastern bush clad hills unit – forming a discontinuous link through to the Whangarei Harbour.

The majority of the unit falls into a number of large catchments – flowing west to the Waikare Inlet, north to Parekura Bay or east to the Whangaruru Harbour and ocean.

The Far North District Landscape Assessment lists the key elements that contribute to the character of this landscape as being

- A rich and diverse composition of indigenous forest;
- A high degree of continuity and coherence;
- The role of most of the units as a sub-regional backdrop and landmark;
- The extreme sensitivity of exposed flanks and ridgelines; a strong atmosphere of naturalness

The upper slopes of the subject property are clearly associated with the forested hills, but the lower part – at an elevation of some 100m – is more readily associated with the coastal margins of Parekura Bay. [Photos 7 and 8](#) illustrate a view to the southern edge of the Bay, and demonstrate how these vegetated slopes have been colonised by scattered residences. Three main clusters of settlement have established; one at the western end, with views to the north and north west across Waipiro Bay, a second, separated from the former by a small headland, and located on the crest of and flanks of the north easterly trending associated with the Site, and a third on the crest of a spur to the east, and accessed via Bentzen Drive. These clusters are linked by dwellings and other buildings at lower elevations close to the shoreline.

For the most part, the buildings are set within vegetation and this vegetation, which is contiguous with the largely unbroken swathe that clothes the seaward flanks of the coastal hills, reaching to the coastal edge. This vegetation provides an integrating theme for the built form. Pockets of pasture are visible at higher elevations on the hill sides, and this includes the grassed ridge crest of the subject Site. Although the ridge associated with the Site is backdropped by more elevated terrain when viewed from more distant locations to the north, from within the Bay, it forms the skyline.

The applicant has recently constructed a number of buildings along the grassed ridge crest. These step up the ridge crest on a series of terraces. At the lower end of the crest, the buildings comprise a number of small accommodation units (refer to [photos 3 and 4](#)). Towards the upper end, a larger accommodation unit (Shed 2) has been constructed (refer to [photos 2, 5 and 6](#)), and to the south of this two terraces accommodate a small shed and water tanks, and (at the southern-most extreme), a skyline garage which is visible in [photo 1](#).

A number of small spurs, diverging from the ridge crest to the north, are maintained in grass.

The balance of the property is vegetated with shrubland or forest.

The Far North Landscape Assessment (FNDLA) identifies the coastal margin of Parekura Bay as being contained within the Rawhiti Point to Tapeka Point Unit (C3), and within the Rocky coast interspersed with beaches, category and describes the unit as being characterised by a series of small to moderate sized beaches defined by stretches of rocky coastline. It notes that low, rocky clifflines or steep coastal banks are a feature, and that the coast tends to have a convoluted shape when viewed from the air.

In its south eastern corner, and to the east of the Site, Parekura Bay is imbued with a character that is more reminiscent of the Estuarine inlets and harbours category, as described in the FNDLA. Here, the bay displays a sense of detachment from the open coastline with a greater degree of enclosure, dominated by saline wetlands and mangroves.

The rocky coastline has provided strategic bastions in earlier times, with many of these displaying the remains of pā formations, including a site identified as Rangihoua Pā, situated on the ridge crest to the south of the proposed building site. The area displays signs of a rich cultural history. It is understood that Maori occupied the Bay of Islands from as early as the 10th century although the first visitors stayed for only relatively short periods. Garden sites have been documented by archaeologists at Urimatao, on Moturua Island, and are evidence of their occupation.

The area is also rich in European history. In 1772, Marion du Fresne visited Manawaroa Bay and was killed along with a number of his crew. James Cook also visited the bay in 1769.

Beyond the visual and physical manifestations of the Bay of Islands landscape, the Parekura Bay, Paroa Bay, Jacks Bay coast has long been regarded as a place that Northlanders, Aucklanders and their families can escape to on weekends and at holidays.

This coast is a place of many moods. It can be bright and suffused with colours that are deeply saturated on a hot summer's day, whilst other times, it can be bleak, rain lashed and turbulent – with surf that is grey and wind-whipped amid a wider landscape that is largely bleached of its colour. However, it is not a place that is imbued with feelings of remoteness, given the easy access and nearby areas of settlement.

The following attributes contribute to the character of the landscape:

- A varied and interesting coastal alignment, imparting a strong sense of drama;
- Strong vegetation patterns, dominated by pohutukawa and frequently reinforced by coastal shrubland associations;
- The variety provided by rocky coast and sandy bays;
- The extreme sensitivity of the headlands, cliffs and coastal ridgelines;
- The visible remains of cultural sites, often on the prominent coastal headlands;
- Social and associative connections to this frequently visited and valued, publicly accessible part of the Northland coast, and;
- Strong cultural associations and remaining archaeological features.

3.2 Statutory Matters

The Site is located within the coastal environment. The **New Zealand Coastal Policy Statement (2010)** includes several objectives and policies of relevance to landscape and visual considerations. These cover a number of principle themes, being the preservation and enhancement of the natural character of the coastal environment, and the preservation of natural features and landscapes. Objective 1 and policy 13 are concerned with the preservation and avoidance of

adverse effects in areas with outstanding natural character, and the avoidance, remedying or mitigation of all effects on natural character in all other areas.

Objective 2

To preserve the natural character of the coastal environment and protect natural features and landscape values through:

- *recognising the characteristics and qualities that contribute to natural character, natural features and landscape values and their location and distribution;*
- *identifying those areas where various forms of subdivision, use, and development would be inappropriate and protecting them from such activities; and*
- *encouraging restoration of the coastal environment.*

Objective 4

To maintain and enhance the public open space qualities and recreation opportunities of the coastal environment by:

- *recognising that the coastal marine area is an extensive area of public space for the public to use and enjoy;*
- *maintaining and enhancing public walking access to and along the coastal marine area without charge, and where there are exceptional reasons that mean this is not*
- *.....;*

Policy 6

Activities in the coastal environment

(1) In relation to the coastal environment:

- (f) consider where development that maintains the character of the existing built environment should be encouraged, and where development resulting in a change in character would be acceptable;*
- (h) consider how adverse visual impacts of development can be avoided in areas sensitive to such effects, such as headlands and prominent ridgelines, and as far as practicable and reasonable apply controls or conditions to avoid those effects;*
- (i) set back development from the coastal marine area and other water bodies, where practicable and reasonable, to protect the natural character, open space, public access and amenity values of the coastal environment*

Policy 13

Preservation of natural character

(1) To preserve the natural character of the coastal environment and to protect it from inappropriate subdivision, use, and development:

- (a) avoid adverse effects of activities on natural character in areas of the coastal environment with outstanding natural character; and*
- (b) avoid significant adverse effects and avoid, remedy or mitigate other adverse effects of activities on natural character in all other areas of the coastal environment;*

including by:

- i.; and*
- ii.*

(2) Recognise that natural character is not the same as natural features and landscapes or amenity values and may include matters such as:

- (a) natural elements, processes and patterns;
- (b) biophysical, ecological, geological and geomorphological aspects;
- (c) natural landforms such as headlands, peninsulas, cliffs, dunes, wetlands, reefs, freshwater springs and surf breaks;
- (d) the natural movement of water and sediment;
- (e) the natural darkness of the night sky;
- (f) places or areas that are wild or scenic;
- (g) a range of natural character from pristine to modified; and
- (h) experiential attributes, including the sounds and smell of the sea; and their context or setting.

Policy 15

Natural features and natural landscapes

To protect the natural features and natural landscapes (including seascapes) of the coastal environment from inappropriate subdivision, use, and development:

- (a) avoid adverse effects of activities on outstanding natural features and outstanding natural landscapes in the coastal environment; and
- (b) avoid significant adverse effects and avoid, remedy, or mitigate other adverse effects of activities on other natural features and natural landscapes in the coastal environment;

Northland Regional Policy Statement (2016)

The RPS identifies the coastal environment and a number of High and Outstanding Natural Character Areas within the vicinity of the Site. The Site is within the Coastal Environment, but is not overlain by an Outstanding or High Natural Character Area and there are no Outstanding Natural Landscapes or Features overlaying the Site. As is evidenced by Plate 2 below, the ONL overlays the forested hills to the south of the Site, but not the Site itself.

The most relevant Objective for this application is Objective 3.14.

Identify and protect from inappropriate subdivision, use and development;

- (a) *The qualities and characteristics that make up the natural character of the coastal environment, and the natural character of freshwater bodies and their margins;*
- (b) *.....;*
- (c) *.....*

The RPS also introduces a number of policies which aim to bring the RPS in line with the NZCPS under Part 4 of the RPS. Section 4.6.1 outlines the policy relevant to managing effects on natural character, features / landscapes and heritage.

Whilst noting that the site is not within an area overlain by either an Outstanding Natural Landscape, or an Outstanding Natural Feature, the following provisions are of relevance:

(1) In the coastal environment:

- (d) *Avoid adverse effects of subdivision use, and development on the characteristic and qualities which make up the outstanding natural features and outstanding natural landscapes.*

- (e) Where (a) does not apply, avoid significant adverse effects and avoid, remedy or mitigate other adverse effects of subdivision, use and development on natural character, natural features and natural landscapes. Methods which may achieve this include:
- (i) Ensuring the location, intensity, scape and form of subdivision and built development in appropriate having regard to natural elements, landforms and processes, including vegetation patterns, ridgelines, headlands, peninsulas, dune systems, reefs and freshwater bodies and their margins; and
 - (ii) In areas of high natural character, minimising to the extent practicable indigenous vegetation clearance and modification (including earthworks / disturbance, structures, discharges and extraction of water) to natural wetlands, the beds of lakes, rivers and the coastal marine area and their margins; and
 - (iii) Encouraging any new subdivision and built development to consolidate within and around existing settlements or where natural character and landscape has already been compromised.



Plate 2: Extract from RPS map showing ONL (horizontal hatch), and High Natural Character Areas (green wash)

When considering whether there are any adverse effects on the characteristics and qualities of the natural character, natural features and landscape values in terms of (1)(a), whether there are any significant adverse effects and the scale of any adverse effects in terms of (1)(b) and (2), and in determining the character, intensity and scale of the adverse effects:

- a) Recognise that a minor or transitory effect may not be an adverse effect;
- b) Recognise that many areas contain ongoing use and development that:

- (i) *Were present when the area was identified as high or outstanding or have subsequently been lawfully established*
- (ii) *May be dynamic, diverse or seasonal;*
- c) *Recognise that there may be more than minor cumulative adverse effects from minor or transitory adverse effects; and*

Have regard to any restoration and enhancement on the characteristics and qualities of that area of natural character, natural features and/or natural landscape.

Far North District Plan

The subject site is currently zoned General Coastal Zone and within the Coastal Environment.

Resource consent is required in accordance with the following rules of the OFNDP:

- Rule 10.6.5.2.2 – The proposal does not comply with Rule 10.6.5.1.1 as the proposed shed and the pole lean to will have GFAs in excess of 50m². However, the proposal complies with Rule 10.6.5.2.2 as the proposed shed and the pole lean to are located entirely within a building platform approved under a resource consent (the Building Development Zone). Therefore, the proposal is a controlled activity under Rule 10.6.5.2.2.

Matters over which control is reserved:

- i. the size, bulk, and height of the building in relation to ridgelines and natural features;*
- ii. the colour and reflectivity of the building;*
- iii. the extent to which planting can mitigate visual effects;*
- iv. any earthworks and/or vegetation clearance associated with the building;*
- v. the location and design of associated vehicle access, manoeuvring and parking areas;*
- vi. the extent to which the building and any associated overhead utility lines will be visually obtrusive;*
- vii. the cumulative visual effects of all the buildings on the site;*
- viii. the degree to which the landscape will retain the qualities that give it its naturalness, visual and amenity values;*
- ix. the extent to which private open space can be provided for future uses;*
- x. the extent to which the siting, setback and design of building(s) avoid visual dominance on landscapes, adjacent sites and the surrounding environment*
- xi. the extent to which non-compliance affects the privacy, outlook and enjoyment of private open spaces on adjacent sites*

Rule 12.1.6.2.1 – The existing and proposed buildings are within an Outstanding Landscape. It does not comply with Rule 12.1.6.1.5 as the sheds, pole lean Cabins 1 – 3 and the two future cabins will have GFAs in excess of 25m². Therefore, the proposal is a restricted discretionary activity under Rule 12.1.6.2.1. Council have restricted their discretion under this rule to the following matters:

- i. the location of the building; and*
- ii. the size, bulk and height of the building in relation to ridgelines, areas of indigenous vegetation and habitats of indigenous fauna, existing trees and other natural features; and*
- iii. the degree to which the landscape will retain the qualities that make it outstanding, including naturalness, and visual and amenity values; and*
- iv. the design of the building; and*
- v. the location and design of associated vehicle access, manoeuvring and parking areas; and*
- vi. the extent to which planting can mitigate visual effects; and*

- vii. the means by which permanent screening of the building from public viewing points on a public road, public reserve, or the foreshore may be achieved, and*
- viii. the cumulative visual effects of all buildings on the site*

Relevant policies and objectives are 10.3.1, 10.3.2, 10.3.3, 10.4.1, 10.4.3, 10.4.6, 10.4.12. The main themes that arise in these objectives and policies are the potential adverse effect on natural character, on heritage features, outstanding landscapes, cultural values, significant indigenous vegetation and significant habitats of indigenous fauna.

Objectives and policies of relevance relating to the General Coastal Zone are as follows, 10.6.3.1, 10.6.3.2, 10.6.4.2, 10.6.4.3, 10.6.4.5, 10.6.4.6. In addition to the above matters, themes arising from these provisions include minimizing visual impacts of development with particular reference to public places and the CMA.

Chapter 12 is of relevance due to the Outstanding Landscape overlay (refer to Plate 2 below). The following objectives and policies are of relevance, 12.1.3.1, 12.1.3.3, 12.1.3.4, 12.1.4.1, 12.1.4.2, 12.1.4.3, 12.1.4.5, 12.1.4.6, 12.1.4.7, 12.1.4.8, 12.1.4.9, and 12.1.4.10. The themes highlighted in these provisions are the protection of ONL, and cultural values of ONL from inappropriate subdivision use and development, encouraging positive effects in ONL, the avoidance, remedying or mitigation of visual impacts on ONL, and on ridgelines, and the need to take into account cumulative effects on ONL.



Plate 3: Extract from Operative District Plan Resource Map showing ONL

Policy 12.1.4.10 seeks that:

That landscape values be protected by encouraging development that takes in account:

- (a) the rarity or value of the landscape and/or landscape features;*
- (b) the visibility of the development;*
- (c) important views as seen from public vantage points on a public road, public reserve, the foreshore and the coastal marine area;*
- (d) the desirability of avoiding adverse effects on the elements that contribute to the distinctive character of the coastal landscapes, especially outstanding landscapes and natural features, ridges and headlands or those features that have significant amenity value;*
- (e) the contribution of natural patterns, composition and extensive cover of indigenous vegetation to landscape values;*
- (f) Maori cultural values associated with landscapes;*

the importance of the activity in enabling people and communities to provide for their social, economic and cultural well-being.

10.6.5.1.1 Visual Amenity

The following are permitted activities in the General Coastal Zone:

- (g) any new building(s) not for human habitation provided that the gross floor area of any new building permitted under this rule, does not exceed 50m² or for human habitation provided that the gross floor area does not exceed 25m²; and
- (h) the exterior is coloured within the BS5252 standard colour palette range with a reflectance value of 30% or less or are constructed of natural materials which fall within this range; or
- (i) any alteration/addition to an existing building which does not exceed 50m², provided that any alteration/ addition does not exceed the height of the existing building and that any alteration/addition is to a building that existed at 28 April 2000; or
- (j) renovation or maintenance of any building.

Note: The effect of this rule is that a resource consent is needed for any new building(s) not for human habitation with a gross floor area of greater than 50m² or any building(s) for human habitation with a gross floor area of greater than 25m²

The following assessment criteria are of relevance.

11.5 Visual Amenity In The General Coastal, South Kerikeri Inlet And Coastal Living Zones

- (a) The size, bulk, height and siting of the building or addition relative to skyline, ridges, areas of indigenous vegetation and habitat of indigenous fauna, or outstanding landscapes and natural features.
- (b) The extent to which landscaping of the site, and in particular the planting of indigenous trees, can mitigate adverse visual effects.
- (c) The location and design of vehicle access, manoeuvring and parking areas.
- (d) The means by which permanent screening of the building from public viewing points on a public road, public reserve, or the foreshore may be achieved.
- (e) The degree to which the landscape will retain the qualities that give it naturalness and visual value as seen from the coastal marine area.
- (f) Where a building is in the coastal environment and it is proposed to be located on a ridgeline, whether other more suitable sites should be used and if not, whether landscaping, planting or other forms of mitigation can be used to ensure no more than minor adverse visual effects on the coastal environment.
- (g) The extent to which the activity may cause or exacerbate natural hazards or may be adversely affected by natural hazards, and therefore increase the risk to life, property and the environment.
- (h) the extent to which private open space can be provided for future uses ;
- (i) the extent to which the siting, setback and design of building(s) avoid visual dominance on landscapes, adjacent sites and the surrounding environment;
- (j) the extent to which non-compliance affects the privacy, outlook and enjoyment of private open spaces on adjacent sites.

12.1.7 Assessment Criteria

The matters set out in s104 and s105, and in Part II of the Act, apply to the consideration of all resource consents for land use activities.

In addition to these matters, the Council shall also apply the relevant assessment matters set out below, and will also have regard to the Landscape Assessment report, which was prepared for the Council in 1995 and which contains details of the Outstanding Landscapes, Outstanding Landscape Features and Outstanding Natural Features in the Far North District together with any site specific landscape assessment:

- (a) the rarity of the landscape, landscape features or natural features;
- (b) the visibility of outstanding landscapes, outstanding landscape features or outstanding natural features;
- (c) the aesthetic, heritage, cultural and natural values of the outstanding landscapes and natural features;
- (d) the elements which make up the distinctive character of the outstanding landscape or outstanding landscape features;
- (e) the extent of visible change to the landscape which may result from an activity;
- (f) the extent to which adverse effects may be mitigated through screening or other means;
- (g) the degree of visual intrusion in the landscape;
- (h) the siting of the activity in relation to ridgelines or natural landscape features;
- (i) the design of any building, structure, landform or any development;
- (j) the location and design of vehicle access, maneuvering and parking spaces;
- (k) the potential for more than minor adverse effects on the outstanding natural feature as a result of the proposed activity;
- (l) the extent to which the activity will protect and/or enhance the outstanding natural feature or landscape;
- (m) the extent to which the activity may adversely affect ecological values of indigenous flora and fauna;
- (n) provisions for the permanent legal protection of the Outstanding Landscape, Outstanding Landscape Feature or Outstanding Natural Feature;
- (o) the environmental effect of the increase in residential intensity and/or the extra lots in relation to the benefits of achieving permanent legal protection of an Outstanding Landscape, Outstanding Landscape Feature or Outstanding Natural Feature;
- (p) the extent to which an application proposes revegetation and/or enhancement of the Outstanding Landscape, Outstanding Landscape Feature, or Outstanding Natural Feature, and the measures to secure the long term sustainability of the revegetation and/or enhancement;
- (q) the characteristics of the application site, including its size, shape and topography;
- (r) the effectiveness of any proposed pest control programme;
- (s) the relationship of people and communities with outstanding landscapes, outstanding landscape features and outstanding natural features.

Proposed Far North District Plan

The objectives and policies of the PFNDP are zone specific. There are also other provisions that relate to district wide matters. The relevant objectives and policies from the Coastal Environment Chapter are CE-01, CE-02, CE-P1, CE-P2, CE-P3, CE-P4, and CE-P10. These have a focus on the protection of the natural character of the coastal environment, and the avoidance of significant landscape effects on landscape and natural character values (where land is not identified as ONL or ONF).

CE-P4 seeks to

Preserve the visual qualities, character and integrity of the coastal environment by:

- a. consolidating land use and subdivision around existing urban centres and rural settlements; and*
- b. avoiding sprawl or sporadic patterns of development*

The proposal is a permitted activity with respect to the Rural Production Zone, so is therefore inherently consistent with the objectives and policies for that chapter.

Permitted baseline

It is understood that the applicant can construct any number of non-habitable buildings in the Building Development Zone provided they have a GFA of 25m² or less subject to compliance with (1) and (2) below:

- (1) A maximum impervious surface coverage (10% of the area of the site or 2.2015ha).
- (2) Any buildings that are visible from a public road, public reserve, the Coastal Marine Area or the foreshore are coloured with the BS5252 standard colour palette range with a reflectance value of 30% or less.

Any number of 25m² buildings could be constructed in the Building Development Zone without a resource consent. The effects associated with this should be considered as part of the permitted baseline and disregarded from the effects assessment.

3.3 Visual catchment

The visual catchment of the site is contained by the rising coastal hills landform to the south, west and south east. The northern quadrant encompasses the entirety of Parekura Bay, although views from the waters close to the southern foreshore are screened by vegetation. As is evidenced by [photos 8 and 9](#), the existing built form on the ridge crest of the Site glimpsed through vegetation, when the viewer is situated on the shoreline at the north western end of Te Uenga Bay, but the proposed building site is not visible.

Views from the inshore waters of the Bay are possible to the south west up a vegetated gully to the Site (refer to [photos 10 and 11](#)), and from the wider Bay views of the Site are possible with a foreground context of the Parekura Bay settlement (refer to [photos 12 – 15](#))

The wider catchment is defined by the Rawhiti coast to the north east, with views possible from occasional locations along Rawhiti Road, and from Kokinga Point and from the Hikuwai Road headland (refer to [photos 16 – 18](#)).

Distant views are possible from the islands of Poroporo and Urupukapuka separated by some 3km.

4.0 IDENTIFIED LANDSCAPE VALUES

The Operative Far North District Plan identifies an ONL overlaying the portion of the Site that will be affected by this proposal. The ONL also encompasses the forested hills to the south (refer to [Plate 3](#) above).

The Northland Regional Policy Statement, which became operative on 9 May 2016, identifies ONLs at the regional scale and areas of High and Outstanding Natural Character. This study excluded the Site from the ONL, shifting the northern boundary of the overlay (just) to the south of the subject Site so that it encompasses only the contiguous area of forest. As such, the grassed ridge within the subject property has been excluded from this new ONL overlay in the RPS, and in the Proposed District Plan.

The RPS identifies this adjoining ONL as being the Parekura Headland and Orokawa Peninsula unit, and the worksheet for this unit describes the unit thus:

A defining aspect of this unit is the repeated series of minor peninsulas, all projecting from a broader underlying landform that separates Parekura Bay from Manawaraoa Bay to the west. Most of those strategic points were occupied by an equally regular sequence of pa sites.

This broader landform also acts as a southern shore to the Bay of Islands and echoes the common headland form that is found on the islands themselves. It also has pronounced reef platforms associated with each headland and a more modest rocky shoreline around much of the hard coast.

Just as the headlands establish a coastal pattern, so too do the regular sequence of small beaches that lie between those projections. A fringe of pohutukawa runs along much of the coastal flank, emerging from a more consistent cover of indigenous shrubland that is a strong unifying theme. Built development is a component of this coastline. Most of that housing tends to be focused in embayments, leaving the headlands and peninsulas almost entirely free of development.

The 'modified Pigeon Bay' factors, that emerged in the findings of the Environment Court in the Pigeon Bay Aquaculture Limited v Canterbury Regional Council case and subsequent Wakatipu Environmental Society Inc (WESI) v Queenstown Lakes District Council cases, are now largely accepted as a starting point for the identification of such landscapes:

- a) natural science factors: the geological, topographical, ecological and dynamic components of the*
- (a) landscape;*
- (b) aesthetic values including memorability and naturalness;*
- (c) expressiveness (legibility): how obviously the landscape demonstrates the formative processes leading to it;*
- (d) transient values: occasional presence of wildlife; or its values at certain times of the day or of the year;*
- (e) whether values are shared and recognised;*
- (f) the landscape's value to tangata whenua;*
- (g) its historical associations.*

With respect to some of the key 'Pigeon Bay criteria', the worksheet reveals the following:

Coherence

Repetition of landform, both in terms of topography and in alignment, are reinforced by indigenous vegetation patterns and the prevalent siting of the houses that exist.

Diversity and Complexity

Topographically diverse, with added layers of complexity created by the interaction with the sea and vegetation associations.

Vividness

Distinctive and very memorable as a result of its clear structure. Experienced as part of the containing landform that defines this coast of the Bay of Islands

Naturalness

A settled landscape, albeit sporadically, in which the overriding landscape form and patterns prevail and unify over that level of development. Landform largely intact, with only minor modification associated with dwellings and access. More substantial landform changes in the recent subdivision have been comprehensively addressed through detailing and planting. Connections with the sea are integral to this ONL and bring a strong component of natural character..

Intactness

Very legible as a result of its bold underlying structure. Natural weathering and erosion of the reefs at the apexes of the peninsulas is clearly demonstrated and vegetation patterns are also influential

Expressiveness

Has a strong sense of local character and relatedness to the wider Bay of Islands

Sensory Qualities

Has a strong sense of local character and relatedness to the wider Bay of Islands.

Transient values

Influenced primarily by the water conditions that prevail across the Te Rawhiti Inlet, which are not particularly dramatic due to the sheltered nature of that waterbody. Flowering pohutukawa herald summer proper.

Remoteness

Moderately settled, but set some distance off of mainland public access and primary boating corridors.

Shared and recognized values

Whilst likely not to be extensively known for its own qualities, this area is closely related to the wider identity and character of the Bay of Islands. The popularity of protected anchorages to either side mean that many cruising boats retreat to this area in bad weather.

Comment: Although the subject Site is not overlain by the ONL, it does display some of the values described in the worksheet above, and the vegetated ridge landform which accommodates the proposed built development shares a commonality with the elevated forested landform that is overlain by the ONL. As is evidenced by [photos 7, 10 and 12](#), the pastured areas on the ridge crest form a recognizable discontinuity amongst the dark hues of the vegetation, and detract from the naturalness, intactness and coherence of the landscape.

Natural character values

The Northland Regional Policy Statement identified the vegetated hills on the eastern edge of the property and the coastal landscape to the east as being overlain by a High Natural Character Area (12/43 Parekura Bay – refer to [Plate 2](#)). The overlay covers the forest within the property, but not the grassed ridge crest.

This HNCA is described as:

Hillslopes with kanuka dominant shrubland & forest, gullies with mixed broadleaved forest with some native conifers, small areas introduced grasses with shrubs. Mixed broadleaved forest with pohutukawa & totara on headland between Te Uenga & Waipiro Bays with several houses. Part of larger area of indigenous vegetation, with some relatively mature. A few obvious human structures but minimal human-mediated hydrological or landform changes. Adjoins a community pest control area.

5.0 ASSESSMENT OF LANDSCAPE EFFECTS

Landscape effects are described in the methodology, contained in [Appendix 2](#). In summary, landscape effects derive from changes in the physical landscape, which may give rise to changes in its character and how this is experienced. This may in turn affect the perceived value ascribed to the landscape and includes visual amenity effects under the ambit of ‘experiential attributes’.

Change in a landscape does not, of itself, necessarily constitute an adverse landscape or natural character effect. Landscape is dynamic and is constantly changing over time in both subtle and more dramatic transformational ways, these changes are both natural and human induced. What is important in managing landscape change is that adverse effects are avoided or sufficiently mitigated to ameliorate the effects of the change in land use. The aim is to provide a high amenity environment through appropriate design outcomes, including planting that can provide an adequate substitution for the currently experienced amenity.

5.1 Biophysical abiotic attributes

Abiotic attributes include the landform, its geology, and hydrology. The crest of the ridge has been modified in the past area as a result of earthworks. This has created a series of terraces that encompass the majority of the pastured strip and which are linked by a metalled track (refer to [photos 9 and 10](#)). The proposed shed will be located on an existing cut platform. Additional earthworks for the construction of the shed will be minimal, and limited to the drilling of post holes.

The works will be limited to the area that has been previously modified as a result of construction and track works and it is considered that these works will not affect the abiotic attributes of the Site.

The ridge crest has – in the past – been benched to form a series of terraces, but these terraces form a part of the existing environment and no additional earthworks will be required for construction of the proposed shed.

As such, it is considered that the change in the abiotic attributes of the Site will be very slight.

5.2 Biophysical biotic attributes

Biotic attributes are the living organisms which shape an ecosystem. The works facilitated by the consent will be primarily confined to existing grass or metalled areas.

Management of the bush for fire protection will involve the selective removal of species with a high flammability (primarily mānuka and kānuka) over an area of some 300m², and their replacement with locally appropriate and locally sourced native species. and will only affect a limited area of native vegetation that was planted some 5 – 6 years ago.

Conversely, the proposal includes the planting of an area in excess of some 2,270m² in native tree and shrub species above and below the existing access track. This planting will reduce the area currently maintained in pasture on the grassed ridge crest.

The change in the biotic attributes of the Site will as a result be slightly positive.

5.3 Experiential attributes

Experiential attributes comprise the interpretation of human experience of the landscape. This includes visible changes in the character of the landscape – its naturalness as well as its sense of wildness and remoteness including effects on natural darkness of the night sky.

As is evidenced by [photos 4 – 7](#) the grassed ridge within the property is visible from an expansive visual catchment to the north west, north, north east and east. Within this catchment, the various built elements are – from locations in the middle distance (in excess of 800m), the majority of the grassed ridge, and built development within the grassed area is perceptible. The cabins, being of a small size and dark finish, and existing Shed 2 tend to recede into the landscape, and it is only the contrast between the paler colours of the grass that draw the observer's attention to these structures. Shed 1 is more prominent being of a lighter and more reflective exterior finish. It is proposed that the exterior of this structure be painted a recessive colour in future.

Construction of the proposed shed will result in an additional building forming a part of the linear cluster on the ridge crest. The shed will have a floor area of 128m², and will measure 16m x 8m. It will have a height (at the high point of the single shallow pitch (5°) roof) of 4.3m, the building will be the largest structure of the cluster, but will be finished with a colour that is consistent with BS5252 standard colour palette range, reflectance value of 30% or less. As such, it will tend to recede into the dark hued bush setting.

Further, the proposed revegetation planting will reduce the area of exposed pasture grass, and will result in the existing and proposed buildings being better contained within a darker context of vegetation. This will serve to reduce the prominence and visibility of the structures.

With the exception of locations to the east and east north east, the existing development is viewed within the context of settlement within the Parekura Bay settlement. The cluster of built form within the Site is elevated above, and separated from the settlement by native forest, however, the prominence of the existing built development within the Site is moderated by its relationship to, and the presence of the settlement.

From more proximate locations, built form within the Site is either screened by vegetation, or partially screened (refer to [photos 11 and 12](#)).

Viewed from proximate locations on the bay (refer to [photos 10 and 11](#)) to the east and east north east, the main body of the settlement is not visible, but the ridge is foregrounded by scattered dwellings on the coastal edge albeit with a vegetated context. The ridge – when viewed from this angle – is fragmented by a finger of vegetation which is contained within a gully and where existing structures are visible, these are backdropped by existing vegetation.

Further to the east and east north east, where the observer is traveling along Rawhiti Road, although separated by some 2km, is offered views ‘up’ the grassed ridge, and the individual elements on the ridge are visible (refer to [photos 13 – 15](#)). From these locations, the majority of built form within the Parekura Bay settlement is screened from view and the Site is seen in isolation.

As can be seen from [photos 4 – 7](#), viewed from locations on the CMA to the north, the proposed shed will either be on the skyline, but will be backdropped by vegetation growing on the upper southern flank of the ridge or will be backdropped by the rising landform. Once again, the existing built form tends to be visible due to its contrast with the pale colouring of the pasture grass.

The proposed revegetation mitigation planting will, as it becomes established, form a dark vegetated context for the built form of the ridge crest. This vegetation, and a reduced area of grass, will result in the visibility and prominence of the existing accommodation units being reduced so that the overall influence of built form on the ridge is diminished.

Turning to the potential adverse visual amenity effect of the proposal, the visual catchment has been described above.

The potentially affected individuals within the catchment is limited to occupants of boats on the CMA, users of Rawhiti Road, and occupants of distant dwellings on the Rawhiti shoreline. The table below quantifies the level of potential adverse visual amenity effect that will result from the proposal for each of the identified receptor groups. These groups are based on a commonality of view-type, and view orientation.

It is noted that transitory viewers (occupants of cars, and other users of the road, and occupants of boats) are considered to have a lower sensitivity to change compared with residential viewers.

Viewer group	Distance from Site	Short term effect	Medium / long term effect	Comments
Land based view from western edge of Te Uenga Bay	550 – 700m	Low	Very low	Built form foregrounded by existing vegetation such that visibility of buildings is limited. Visibility further restricted by mitigation planting
View from Bay to the north	800m – 2.0km	Very low	Very low	Site viewed with a context of the settlement ‘below’ and the separation distance moderates the prominence of built form. Visibility further restricted by mitigation planting

Proximate views from Te Uenga bay to the north east	450m – 600m	Low	Very low	Ridge crest fragmented by vegetation, and restricts visibility so that only a part of the two lower terraces are visible. Visibility further restricted by mitigation planting
Views from Rawhiti Road and coastal properties to the north east	1.8km – 2.5km	Very low	Very low	Views along the ridge crest, but visibility moderated by separation distance. Existing Shed 1 will be painted a dark colour, and visibility will be further restricted by mitigation planting

5.4 Landscape effects – Social, cultural and associative attributes

Social, cultural and associative values are linked with individual’s relationship with the landscape, their memories, the way they interact with and use the landscape and the historical evidence of that relationship.

It is understood that the proposed Site does not affect any specific archaeological sites or to have any social or associative links.

5.5 Summary of landscape effects

In summary, any landscape effects would be limited to an existing area that has been previously modified and these changes have resulted in a lowering of the sensitivity of the Site in terms of its abiotic, and biotic attributes. The proposal will result a very small negative change in the abiotic and a slight positive change in the biotic attributes.

The existing structures are currently perceptible, but their relative prominence is a consequence of the pasture setting associated with the grassed ridge crest, and the pale exterior colour of Shed 2. The proposal will result in the modification of Shed 2 such that it will be finished with a dark and recessive colour, the reduction in the area of pasture grass, and the construction of a new shed.

The new shed will be located such that it will be fully backdropped by existing vegetation, and it will not form a skyline element.

It is considered that the change in the perceptual attributes of the Site will be small, and the proposal will not detract from the visual amenity of receptors in the immediate or wider visual catchment to any more than a low degree

Overall it is the opinion of the author that the potential adverse landscape effects will be low.

6.0 ASSESSMENT OF NATURAL CHARACTER EFFECTS

Appendix 1 of the Northland Regional Policy Statement lists natural character attributes as follows:

- a) Natural elements, processes and patterns;
- b) Biophysical, ecological and geomorphological aspects;
- c) Natural landforms such as headlands, peninsulas, cliffs, dunes, wetlands, reefs, freshwater springs and surf breaks;
- d) The natural movement of water and sediment;
- e) The natural darkness of the night sky;
- f) Places or areas that are wild or scenic; and
- g) Experiential attributes, including the sounds and smell of the sea; and their context or setting.

Of the above, natural elements, processes and patterns, biophysical, ecological and geomorphological aspects, natural landforms such as headlands, peninsulas, cliffs, dunes, wetlands, reefs, freshwater springs and surf breaks and the natural movement of water and sediment fall into the previously discussed biophysical (biotic and abiotic) categories.

The natural darkness of the night sky, places or areas that are wild or scenic and experiential attributes, including the sounds and smell of the sea; and their context or setting have been previously addressed under experiential attributes.

The RPS and Proposed District Plan maps acknowledge that the ridge crest – having been cleared of native vegetation – does not display a high or outstanding natural character value.

The proposal will result a very small change in the abiotic and a positive change in the biotic attributes, and will (once the revegetation planting has become established), be relatively well integrated with its landscape setting. No proximate or neighbouring individual will be affected, and the proposed structures, with their vegetated setting will only represent a small change in the character of the wider property.

Overall it is considered that the adverse natural character effects of the proposal will be low.

7.0 ASSESSMENT AGAINST THE ON THE STATUTORY PROVISIONS

The objectives and policies of the Regional Policy Statement focus on the protection and enhancement of landscape and natural character values. These cascade down to the District Plan, General Coastal Zone and Chapter 12 objectives and policies.

FNDC have restricted their discretion under Rule 12.1.6.2.1 to eight matters. These are identified and assessed below. The matters over which control has been reserved under Rule 10.6.5.2.2 are generally encapsulated in these matters of discretion.

i. the location of the building; and

Assessment – The buildings are located in a grassed area of the site. They do not require the removal of any indigenous vegetation or modification of the existing landform. From the majority of viewpoints, they will either be foregrounded and partially screened by existing vegetation, or backdropped by existing vegetation.

ii. the size, bulk and height of the building in relation to ridgelines, areas of indigenous vegetation and habitats of indigenous fauna, existing trees and other natural features; and

Assessment – The grassed area that is / will be subject to built development is visible from locations in excess of 800m away. Due to their dark colours and relatively small scale however, the cabins recede into the landscape (being backdropped and / or foregrounded by existing vegetation). The existing shed is currently prominent, but it will be repainted a recessive colour to integrate it with the surrounding landscape. The proposed new shed will also be painted a recessive colour so that it recedes into the surrounding landscape.

The proposed mitigation planting will reduce the perceived area of grass, reducing the contrast between the grass and the buildings and thereby reducing the prominence of existing and proposed built form, and assisting with its further integration into the landscape.

iii. the degree to which the landscape will retain the qualities that make it outstanding, including naturalness, and visual and amenity values; and

Assessment – The characteristics of the Outstanding Landscape have been described above. On the lower slopes and foothills it has been modified by development. The existing and proposed buildings are situated such that they ‘read’ as being connected with the modified lower slopes and foothills. As described above, the prominence and visibility of the

buildings will be reduced by repainting them in a recessive colour and replanting the grassed area of the site. Any adverse effects of the buildings on the landscape will be less than minor.

iv the design of the building; and

Assessment – The existing and proposed buildings are of a small scale and are / will be painted in a dark recessive colour. This will reduce their prominence and visibility and assist with their integration into the landscape.

v. the location and design of associated vehicle access, manoeuvring and parking areas; and

Assessment – The vehicle access, manoeuvring and parking areas are existing. No changes are proposed.

vi. the extent to which planting can mitigate visual effects; and

Assessment – A significant area of mitigation planting is proposed to reduce the unvegetated area within the Site, and integrate the existing and proposed built form into the landscape. This is illustrated in [Figure 2b](#).

vii. the means by which permanent screening of the building from public viewing points on a public road, public reserve, or the foreshore may be achieved, and

Assessment – The visual effects of the existing and proposed buildings have been assessed. Potentially affected groups include land based individuals on the western edge of Te Uenga Bay, views from the CMA within Te Uenga Bay to the north, the views from the CMA within Te Uenga Bay to the north east, and the views from Rawhiti Road and coastal properties to the north east. The assessment concludes that the effects are either low or very low in the short term diminishing to very low in the long term. This equates to less than minor.

viii. the cumulative visual effects of all buildings on the site.

Assessment – Cumulative visual effects will be avoided through the mitigation planting proposed.

Objectives and policies of relevance.

The subject Site is not identified in the Regional Policy Statement or Proposed District Plan as an Outstanding Natural Landscape however it is overlain by an Outstanding Landscape in the Operative District Plan. The landscape values of the Site have been degraded as a result of earthworks and the construction of dwellings. The 'Outstanding Landscape' is therefore not 'rare' and has modified landscape values, in contrast to the forested hills to the south where the forest cover is intact. The proposed location for the proposed is in an elevated and prominent location, but the building will be backdropped by existing vegetation.

The extended building will be constructed in a location where landform and vegetation modification has previously occurred. The presence of the existing building has resulted in a reduction in visual sensitivity, and as a consequence, the proposal will result in a limited change from the existing situation.

It is the opinion of the author that the level of adverse effect on the landscape and natural character values of the Site and its contextual setting will be low. The visual amenity effects generated by the proposed extended building will be (at most) low. The proposed structure is visually separated from neighbouring properties will not affect the privacy, outlook and enjoyment of private open spaces on adjacent sites.

As discussed in section 7 above, the proposal has the potential to generate a cumulative effect, but this will be avoided through the proposed revegetation mitigation planting.

Turning to 12.4.6.1.2 Fire Risk to residential units, the proposal includes measures to mitigate the potential flammability of vegetation within the vicinity of the proposed shed.

Overall it is considered that the proposal is consistent with the provisions of the relevant documents, where these relate to landscape and visual matters.

8.0 CONCLUSION

The applicant is applying for a resource consent to land use consent to construct a shed within the Building Development Zone. At the same time, they propose to legalise six existing buildings, and construct two additional cabins. Some of the existing buildings and one of the new cabins are outside of the Building Development Zone. on the site at 542 Manawarora Road, Russell.

The subject (22ha) property is identified as Lot 2 DP 479155. In the Operative District Plan the property is zoned General Coastal Zone and Rural Production with the works being undertaken in the General Coastal Zone. The property is also overlain by an Outstanding Landscape (ONL). All of the buildings will be within the GCZ and ONL in the OFNDP

The site is zoned Rural Production Zone under the Proposed Far North District Plan (PFNDP), and is entirely within the Coastal Environment (CE). Portions of the site are within an Outstanding Natural Landscape (ONL) and a High Natural Character Area (HNCA).

Although consent is primarily sought for the proposed shed, retrospective consent is also required for a number of existing structures, including four cabins, an existing shed (which serves as holiday accommodation).

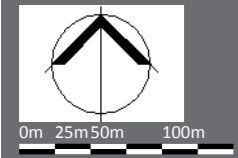
It is the opinion of the author that the resulting landscape and natural character effect of the proposal will be low. The proposal will not adversely affect the landscape values of the ONL. The potential adverse visual amenity effect will be (at most) low for all individuals.

The proposal will be consistent with the provisions of the statutory instruments where they apply to the scope of this report, and the proposal is considered to be appropriate from a landscape and visual perspective.

Simon Cocker

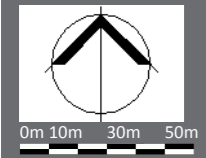


APPENDIX 1: Figures



NORDIC HOLDINGS LTD.
Manawarora Road, Parakura Bay
 Landscape Assessment
 FIGURE 1a: The proposal in context





NORDIC HOLDINGS LTD.
Manawaora Road, Parakura Bay
 Landscape Assessment
 FIGURE 1b: The Site in context



Section 23 Bloc



50 0 50
METRES - 1:2500

Lot 13
DP 77063

SmithGrey
Cres.

Accessway

Lot 2
DP 120932

Lot 1
DP 479155

MANAWAORA ROAD

Lot 2
DP 479155

Lot 2
DP 479155

Lot 3
DP 479155

KEY	
	EX. BUILDINGS
	EX. EASEMENT BOUNDARY
	PROPOSED COVENANT BOUNDARY

**reyburn
& bryant**

Ph: 09 438 3563 PO Box 191, Whangarei 0140
7 Selwyn Ave, Whangarei www.reyburnandbryant.co.nz

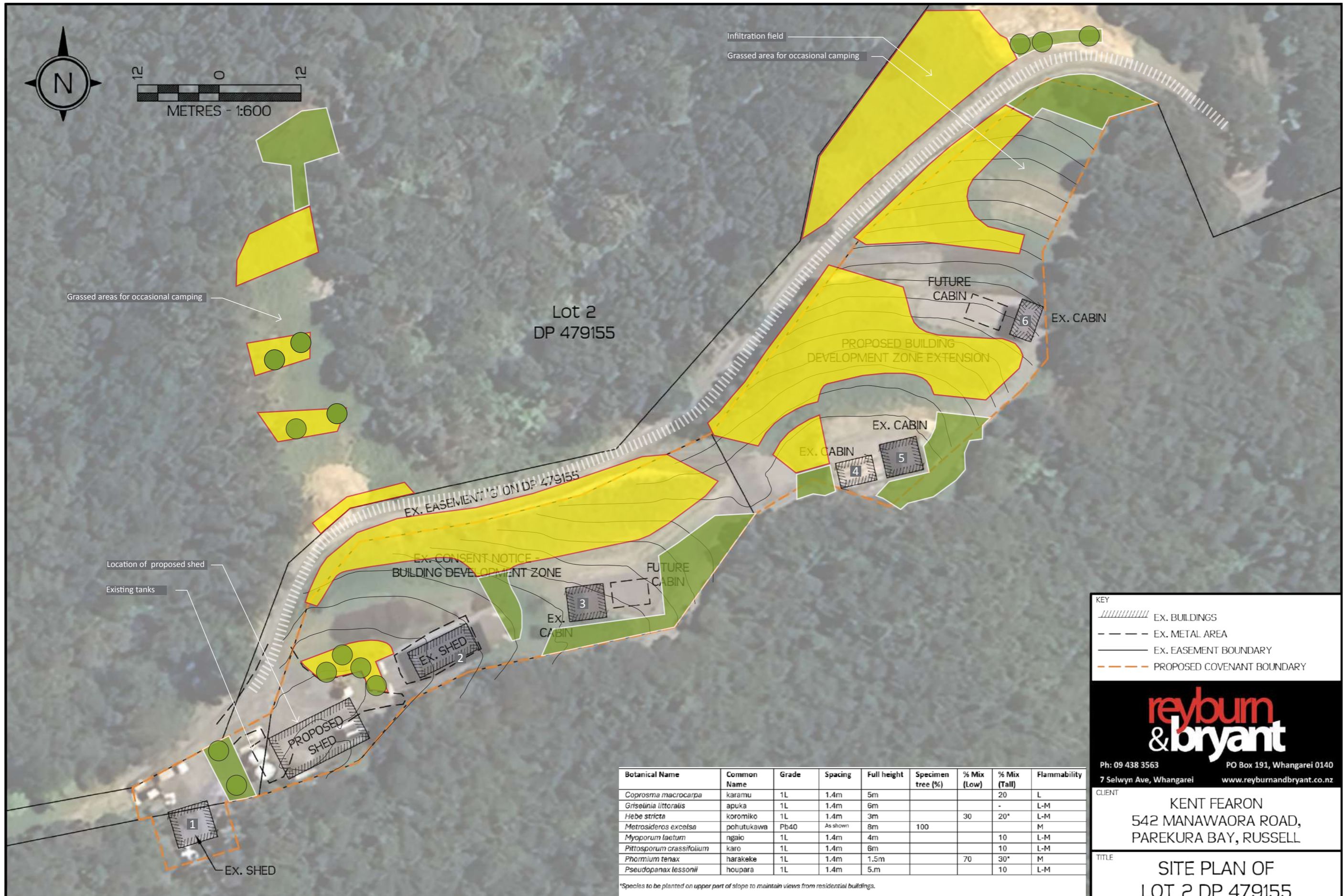
CLIENT
KENT FEARON
542 MANAWAORA ROAD,
PAREKURA BAY, RUSSELL

TITLE
**SITE PLAN OF
LOT 2 DP 479155**

DATE MAY 2024 SCALE 1:2500 @A3

NO. **SP16978** Rev. **B**

NORDIC HOLDINGS LTD.
Manawarora Road, Parakura Bay
Landscape Assessment
FIGURE 2a: The proposal



Botanical Name	Common Name	Grade	Spacing	Full height	Specimen tree (%)	% Mix (Low)	% Mix (Tall)	Flammability
<i>Coprosma macrocarpa</i>	karamu	1L	1.4m	5m			20	L
<i>Griselinia littoralis</i>	apuka	1L	1.4m	6m			-	L-M
<i>Hebe stricta</i>	koromiko	1L	1.4m	3m		30	20*	L-M
<i>Metrosideros excelsa</i>	pohutukawa	Pb40	As shown	8m	100			M
<i>Myoporum laetum</i>	ngaio	1L	1.4m	4m			10	L-M
<i>Pittosporum crassifolium</i>	karo	1L	1.4m	6m			10	L-M
<i>Phormium tenax</i>	harakeke	1L	1.4m	1.5m		70	30*	M
<i>Pseudopanax lessonii</i>	houpara	1L	1.4m	5m			10	L-M

*Species to be planted on upper part of slope to maintain views from residential buildings.

KEY

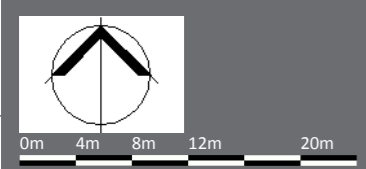
- ////// EX. BUILDINGS
- EX. METAL AREA
- EX. EASEMENT BOUNDARY
- - - - PROPOSED COVENANT BOUNDARY

reyburn & bryant
 Ph: 09 438 3563 PO Box 191, Whangarei 0140
 7 Selwyn Ave, Whangarei www.reyburnandbryant.co.nz

CLIENT
 KENT FEARON
 542 MANAWAORA ROAD,
 PAREKURA BAY, RUSSELL

TITLE
 SITE PLAN OF
 LOT 2 DP 479155

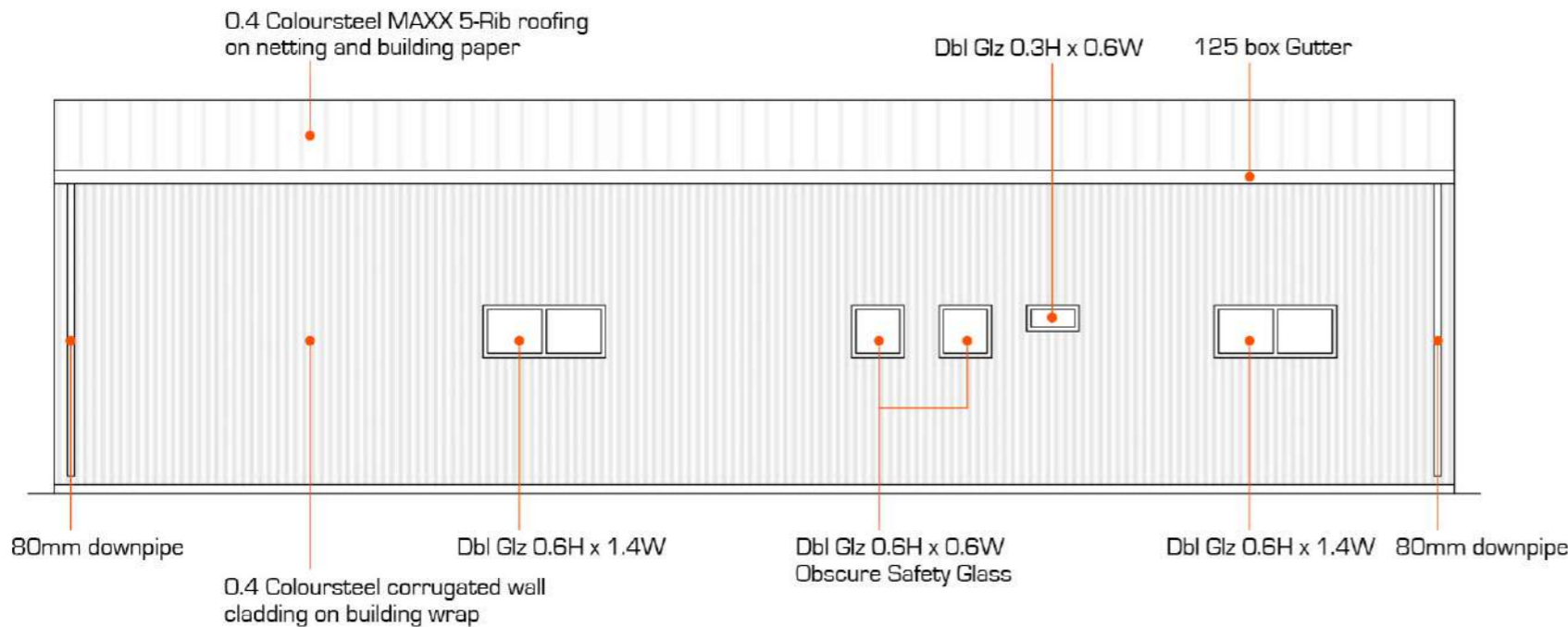
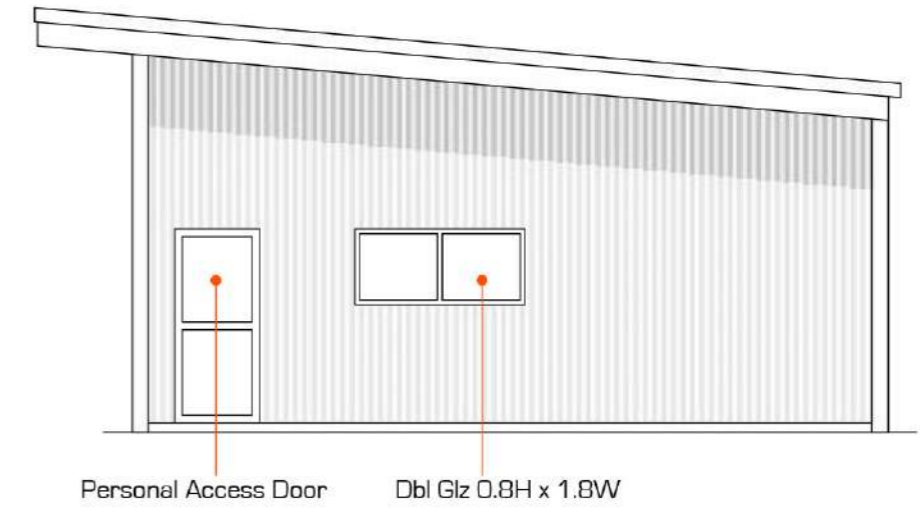
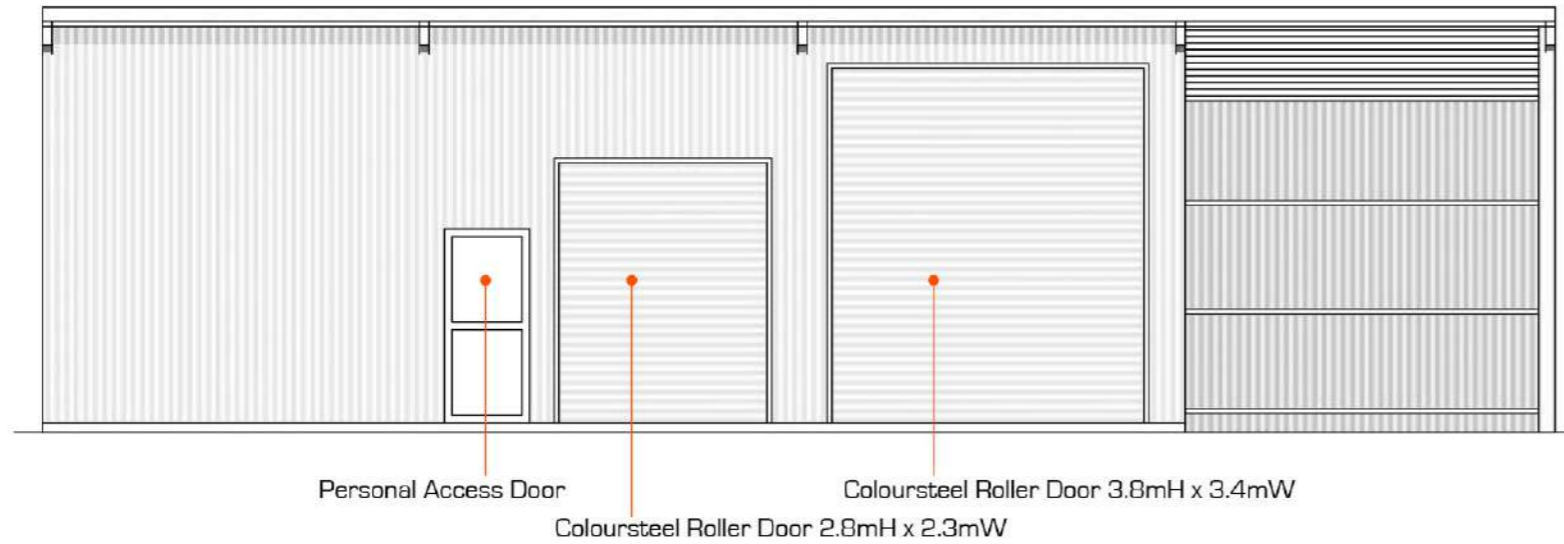
DATE MAY 2024 SCALE 1:600 @A3
 NO. SP16978 Rev. B



- Tall native revegetation mitigation planting (2.5 - 6m)
- Low native revegetation mitigation planting (1.5 - 2.5m)
- Native specimen tree (pb40)
- ||||| Existing access

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 Manawarora Road, Parakura Bay
 Landscape Assessment
 FIGURE 2b: Landscape proposal





Site Address	542 Manawaora Road, Parekura bay
Legal Description	Lot 2 DP 479155
Climate Zone	Zone 1
Earthquake Exposure	Zone 1
Rainfall Range	Zone D
Wind Region	90 - 100
Wind Zone	A
Rafter	Extra High
Rafter240	2/240x45
RafterMSS	2/MSS 300/18 Nested Galvanized
EndRafter	240x45
Purlin	190x45 at max 800mm crs
StudFrame140	140x45 [Nogs @ 800/Studs @ 600/Double Lintel & Trim Studs]
StudFrame190	190x45 [Nogs @ 800/Studs @ 600/Double Lintel & Trim Studs]
InternalFraming	90x45 [Nog2 @ 800/Studs @ 600/Double Lintel & Trim Studs]
Girt190	190x45 at max 1.1m crs
TrimT3	3/190x45
Pole	150 SED Embedment 1.2m x 600 dia H5 HIGH Grade
StripBracing	0.55mm x 27mm G550 Z275 Galvanised Steel

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Manawarora Road, Parakura Bay
 Landscape Assessment
 FIGURE 2c: The proposal

All dimensions/specifications etc found within this planset to be checked on site before commencing any work.

All glazing to comply with NZ4223

All work to comply with Health & Safety Act 2015 and NZBC F5

Proposed Building for Kent FEARON

Job: 117984
 Ver: 02.02.24

S1
 Elevations



Proposed shed location

Photo 1: View south west to proposed building site and existing sheds

Photo date - 12 March 2024

NORDIC HOLDINGS LTD.
Manawarora Road, Parakura Bay
Photos

(Photographs taken with digital equivalent of 50mm focal length unless otherwise specified)





Photo 2: View east across proposed building site to existing shed / accommodation

Photo date - 12 March 2024

NORDIC HOLDINGS LTD.
Manawarora Road, Parakura Bay
Photos

(Photographs taken with digital equivalent of 50mm focal length unless otherwise specified)





Photo 3: View north east along ridge crest to existing cabins

Photo date - 12 March 2024

NORDIC HOLDINGS LTD.
Manawarora Road, Parakura Bay
Photos

(Photographs taken with digital equivalent of 50mm focal length unless otherwise specified)





Lot 1 DP 184523

Photo 4: Existing cabins

Photo date - 12 March 2024

NORDIC HOLDINGS LTD.
Manawarora Road, Parakura Bay
Photos

(Photographs taken with digital equivalent of 50mm focal length unless otherwise specified)



Simon Cocker
Landscape Architecture



Photo 5: View south west up ridge crest to existing shed / accommodation

Photo date - 12 March 2024

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Manawarora Road, Parakura Bay
Photos

(Photographs taken with digital equivalent of 50mm focal length unless otherwise specified)





Photo 6: Existing shed / accommodation

Photo date - 12 March 2024

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Manawarora Road, Parakura Bay
Photos

(Photographs taken with digital equivalent of 50mm focal length unless otherwise specified)





Existing built development within Site

Photo 7: View from Te Uenga Bay

Photo date - 15 August 2024

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Manawarora Road, Parakura Bay
Photos

(Photographs taken with digital equivalent of 50mm focal length unless otherwise specified)





Existing accomodation units within Site. Proposed shed site not visible

Photo 8: View from western edge of Te Uenga Bay to Site

Photo date - 12 March 2024

NORDIC HOLDINGS LTD.
Manawarora Road, Parakura Bay
Photos

(Photographs taken with digital equivalent of 50mm focal length unless otherwise specified)





Existing accomodation units within Site Proposed shed site not visible

Photo 9: View from western edge of Te Uenga Bay to Site

Photo date - 12 March 2024

NORDIC HOLDINGS LTD.
Manawarora Road, Parakura Bay
Photos

(Photographs taken with digital equivalent of 50mm focal length unless otherwise specified)





Existing built development within Site

Photo 10: View from Parekura Bay

Photo date - 15 August 2024

NORDIC HOLDINGS LTD.
Manawarora Road, Parakura Bay
Photos

(Photographs taken with digital equivalent of 50mm focal length unless otherwise specified)





Photo 11: View from Parekura Bay

Photo date - 15 August 2024

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Manawarora Road, Parakura Bay
Photos

(Photographs taken with digital equivalent of 50mm focal length unless otherwise specified)





Existing built development within Site

Photo 12: View south to Site from CMA

Photo date - 15 April 2024

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Manawarora Road, Parakura Bay
Photos

Photo supplied by applicant





Existing built development within Site

Photo 13: View south to Site from CMA

Photo date - 15 April 2024

NORDIC HOLDINGS LTD.
Manawarora Road, Parakura Bay
Photos
Photo supplied by applicant





Existing built development within Site

Photo 14: View south to Site from CMA

Photo date - 15 April 2024

NORDIC HOLDINGS LTD.
Manawarora Road, Parakura Bay
Photos

Photo supplied by applicant





Existing built development within Site

Photo 15: View south to Site from Bay

Photo date - 15 April 2024

NORDIC HOLDINGS LTD.
Manawarora Road, Parakura Bay
Photos

Photo supplied by applicant





Existing accomodation unit and shed. Proposed shed site indicated by right arrow

Photo 16: View west to Site from Rawhiti Road

Photo date - 12 March 2024

NORDIC HOLDINGS LTD.
Manawarora Road, Parakura Bay
Photos

(Photographs taken with digital equivalent of 50mm focal length unless otherwise specified)





Existing accomodation unit and shed. Proposed shed site indicated by right arrow

Photo 17: View west to Site from Rawhiti Road

Photo date - 12 March 2024

NORDIC HOLDINGS LTD.
Manawarora Road, Parakura Bay
Photos

(Photographs taken with digital equivalent of 50mm focal length unless otherwise specified)





Proposed shed site

Photo 18: View south west to Site from Hikuwai Road

Photo date - 12 March 2024

NORDIC HOLDINGS LTD.
Manawarora Road, Parakura Bay
Photos

(Photographs taken with digital equivalent of 50mm focal length unless otherwise specified)



APPENDIX 2: Landscape and Visual Effects Assessment Methodology

Landscape and Visual Effects Assessment Methodology

Introduction

The landscape and visual effects assessment process provides a framework for assessing and identifying the nature and level of likely effects that may result from a proposed development. Such effects can occur in relation to changes to physical elements, the existing character of the landscape and the experience of it. In addition, the landscape assessment method may include an iterative design development processes which includes stakeholder involvement. The outcome of any assessment approach should seek to avoid, remedy or mitigate adverse effects. A separate assessment is required to assess changes in natural character in coastal areas and other waterbodies.

When undertaking landscape and visual effects assessments, it is important that a structured and consistent approach is used to ensure that findings are clear and objective. Judgement should always be based on skills and experience, and be supported by explicit evidence and reasoned argument.

While landscape and visual effects assessments are closely related, they form separate procedures. The assessment of the potential effect on the landscape forms the first step in this process and is carried out as an effect on an environmental resource (i.e. landscape elements, features and character). The assessment of visual effects considers how changes to the physical landscape affect the viewing audience. The types of effects can be summarised as follows:

Landscape effects:

Change in the physical landscape, which may change its characteristics or qualities.

Visual effects:

Change to views which may change the visual amenity experienced by people.

The policy context, existing landscape resource and locations from which a development or change is visible all inform the 'baseline' for landscape and visual effects assessments. To assess effects, the landscape must first be described, including an understanding of the key landscape characteristics and qualities. This process, known as landscape characterisation, is the basic tool for understanding landscape character and may involve subdividing the landscape into character areas or types. The condition of the landscape (i.e. the state of an individual area of landscape or landscape feature) should also be described alongside a judgement made on the value or importance of the potentially affected landscape.

This outline of the landscape and visual effects assessment methodology has been undertaken with reference to the Quality Planning Landscape Guidance Note¹ and its signposts to examples of best practice which include the UK guidelines for landscape and visual impact assessment² and Te Tangi a te Manu³.

Assessing landscape effects requires an understanding of the nature of the landscape resource and the magnitude of change which results from a proposed development to determine the overall level of landscape effects.

Nature of the landscape resource

Assessing the nature of the landscape resource considers both the susceptibility of an area of landscape to change and the value of the landscape. This will vary upon the following factors:

- Physical elements such as topography / hydrology / soils / vegetation;
- Existing land use;
- The pattern and scale of the landscape;
- Visual enclosure / openness of views and distribution of the viewing audience;

¹ <http://www.qualityplanning.org.nz/index.php/planning-tools/land/landscape>

² Landscape Institute and Institute of Environmental Management and Assessment (2013) Guidelines for Landscape and Visual Impact Assessment, 3rd Edition (GLVIA3)

³ Te Tangi a te Manu (Aotearoa New Zealand Landscape Guidelines), NZILA July 2022.

- The zoning of the land and its associated anticipated level of development;
- The value or importance placed on the landscape, particularly those confirmed in statutory documents; and
- The scope for mitigation, appropriate to the existing landscape.

The susceptibility to change takes account of both the attributes of the receiving environment and the characteristics of the proposed development. It considers the ability of a specific type of change occurring without generating adverse effects and/or achievement of landscape planning policies and strategies.

Landscape value derives from the importance that people and communities, including tangata whenua, attach to particular landscapes and landscape attributes. This may include the classification of Outstanding Natural Landscape (RMA s.6(b)) based on important biophysical, sensory/ aesthetic and associative landscape attributes, which have potential to be affected by a proposed development.

Magnitude of Landscape Change

The magnitude of landscape change judges the amount of change that is likely to occur to existing areas of landscape, landscape features, or key landscape attributes. In undertaking this assessment, it is important that the size or scale of the change is considered within the geographical extent of the area influenced and the duration of change, including whether the change is reversible. In some situations, the loss /change or enhancement to existing landscape elements such as vegetation or earthworks should also be quantified.

When assessing the level of landscape effects, it is important to be clear about what factors have been considered when making professional judgements. This can include consideration of any benefits which result from a proposed development. Table 1 below helps to explain this process. The tabulating of effects is only intended to inform overall judgements.

Contributing factors		Higher	Lower
Nature of Landscape Resource	Susceptibility to change	The landscape context has limited existing landscape detractors which make it highly vulnerable to the type of change which would result from the proposed development.	The landscape context has many detractors and can easily accommodate the proposed development without undue consequences to landscape character.
	The value of the landscape	The landscape includes important biophysical, sensory and associative attributes. The landscape requires protection as a matter of national importance (ONF/L).	The landscape lacks any important biophysical, sensory or associative attributes. The landscape is of low or local importance.
Magnitude of Change	Size or scale	Total loss or addition of key features or elements. Major changes in the key characteristics of the landscape, including significant aesthetic or perceptual elements.	The majority of key features or elements are retained. Key characteristics of the landscape remain intact with limited aesthetic or perceptual change apparent.
	Geographical extent	Wider landscape scale.	Site scale, immediate setting.
	Duration and reversibility	Permanent. Long term (over 10 years).	Reversible. Short Term (0-5 years).

Table 1: Determining the level of landscape effects

Visual Effects

To assess the visual effects of a proposed development on a landscape, a visual baseline must first be defined. The visual 'baseline' forms a technical exercise which identifies the area where the development may be visible, the potential viewing audience, and the key representative public viewpoints from which visual effects are assessed.

The viewing audience comprises the individuals or groups of people occupying or using the properties, roads, footpaths and public open spaces that lie within the visual envelope or 'zone of visual influence' of the site and proposal. Where

possible, computer modelling can assist to determine the theoretical extent of visibility together with field work undertaken to confirm this. Where appropriate, key representative viewpoints should be agreed with the relevant local authority.

Nature of the viewing audience

The nature of the viewing audience is assessed in terms of the susceptibility of the viewing audience to change and the value attached to views. The susceptibility of the viewing audience is determined by assessing the occupation or activity of people experiencing the view at particular locations and the extent to which their interest or activity may be focused on views of the surrounding landscape. This relies on a landscape architect's judgement in respect of visual amenity and reaction of people who may be affected by a proposal. This should also recognise that people more susceptible to change generally include: residents at home, people engaged in outdoor recreation whose attention or interest is likely to be focused on the landscape and on particular views; visitors to heritage assets or other important visitor attractions; and communities where views contribute to the landscape setting.

The value or importance attached to particular views may be determined with respect to its popularity or numbers of people affected or reference to planning instruments such as viewshafts or view corridors.

Important viewpoints are also likely to appear in guide books or tourist maps and may include facilities provided for its enjoyment. There may also be references to this in literature or art, which also acknowledge a level of recognition and importance.

Magnitude of Visual Change

The assessment of visual effects also considers the potential magnitude of change which will result from views of a proposed development. This takes account of the size or scale of the effect, the geographical extent of views and the duration of visual change which may distinguish between temporary (often associated with construction) and permanent effects where relevant. Preparation of any simulations of visual change to assist this process should be guided by best practice as identified by the NZILA⁴.

When determining the overall level of visual effect, the nature of the viewing audience is considered together with the magnitude of change resulting from the proposed development. Table 2 has been prepared to help guide this process:

Contributing factors		Higher	Lower
Nature of Landscape Resource	Susceptibility to change	Views from dwellings and recreation areas where attention is typically focussed on the landscape..	Views from places of employment and other places where the focus is typically incidental to its landscape context. Views from transport corridors.
	The value of the landscape	Viewpoint is recognised by the community such as an important view shaft, identification on tourist maps or in art and literature. High visitor numbers.	Viewpoint is not typically recognised or valued by the community. Infrequent visitor numbers..
Magnitude of Change	Size or scale	Loss or addition of key features in the view. High degree of contrast with existing landscape elements (i.e. in terms of form scale, mass, line, height, colour and texture). Full view of the proposed development	Most key features of view retained. Low degree of contrast with existing landscape elements (i.e. in terms of form scale, mass, line, height, colour and texture). Glimpse / no view of the proposed development.
	Geographical extent	Front on views. Near distance views; Change visible across a wide area.	Oblique views. Long distance views. Small portion of change visible.
	Duration and reversibility	Permanent. Long term (over 15 years).	Transient / temporary. Short Term (0-5 years).

Nature of Effects

⁴ Best Practice Guide: Visual Simulations BPG 10.2, NZILA

In combination with assessing the level of effects, the landscape and visual effects assessment also considers the nature of effects in terms of whether this will be positive (beneficial) or negative (adverse) in the context within which it occurs. Neutral effects can also occur where landscape or visual change is benign.

It should also be noted that a change in a landscape does not, of itself, necessarily constitute an adverse landscape or visual effect. Landscape is dynamic and is constantly changing over time in both subtle and more dramatic transformational ways, these changes are both natural and human induced. What is important in managing landscape change is that adverse effects are avoided or sufficiently mitigated to ameliorate the effects of the change in land use. The aim is to provide a high amenity environment through appropriate design outcomes.

This assessment of the nature effects can be further guided by Table 3 set out below:

Nature of effect	Use and definition
Adverse (negative):	The proposed development would be out of scale with the landscape or at odds with the local pattern and landform which results in a reduction in landscape and / or visual amenity values
Neutral (benign):	The proposed development would complement (or blend in with) the scale, landform and pattern of the landscape maintaining existing landscape and / or visual amenity values
Beneficial (positive):	The proposed development would enhance the landscape and / or visual amenity through removal of restoration of existing degraded landscapes uses and / or addition of positive elements or features

Table 3: Determining the Nature of Effects

Cumulative Effects

During the scoping of an assessment, where appropriate, agreement should be reached with the relevant local authority as to the nature of cumulative effects to be assessed. This can include effects of the same type of development (e.g. wind farms) or the combined effect of all past, present and approved future development⁵ of varying types, taking account of both the permitted baseline and receiving environment. Cumulative effects can also be positive, negative or benign.

Cumulative Landscape Effects

Cumulative landscape effects can include additional or combined changes in components of the landscape and changes in the overall landscape character. The extent within which cumulative landscape effects are assessed can cover the entire landscape character area within which the proposal is located, or alternatively, the zone of visual influence from which the proposal can be observed.

Cumulative Visual Effects

Cumulative visual effects can occur in combination (seen together in the same view), in succession (where the observer needs to turn their head) or sequentially (with a time lapse between instances where proposals are visible when moving through a landscape). Further visualisations may be required to indicate the change in view compared with the appearance of the project on its own.

Determining the nature and level of cumulative landscape and visual effects should adopt the same approach as the project assessment in describing both the nature of the viewing audience and magnitude of change leading to a final judgement. Mitigation may require broader consideration which may extend beyond the geographical extent of the project being assessed.

Determining the Overall Level of Effects

The landscape and visual effects assessment concludes with an overall assessment of the likely level of landscape and visual effects. This step also takes account of the nature of effects and the effectiveness of any proposed mitigation.

⁵ The life of the statutory planning document or unimplemented resource consents

This step informs an overall judgement identifying what level of effects are likely to be generated as indicated in Table 4 below. This table which can be used to guide the level of landscape and visual effects uses an adapted seven-point scale derived from Te Tangi a te Manu (Aotearoa New Zealand Landscape Guidelines)

	Effect rating	Use and definition
More than minor	Very high	Total loss of key elements / features / characteristics, i.e. amounts to a complete change of landscape character
	High	Major modification or loss of most key elements / features / characteristics, i.e. little of the pre-development landscape character remains. Concise Oxford English Dictionary Definition High: adjective- Great in amount, value, size, or intensity
	Moderate to high	Modifications of several key elements / features / characteristics of the baseline, i.e. the pre-development landscape character remains evident but materially changed.
	Moderate	Partial loss of or modification to key elements / features / characteristics of the baseline, i.e. new elements may be prominent but not necessarily uncharacteristic within the receiving landscape. Concise Oxford English Dictionary Definition Moderate: adjective- average in amount, intensity, quality or degree
Minor	Moderate to low	Minor loss of or modification to one or more key elements / features / characteristics, i.e. new elements are not prominent or uncharacteristic within the receiving landscape.
	Low	No material loss of or modification to key elements / features / characteristics. i.e. modification or change is not uncharacteristic and absorbed within the receiving landscape. Concise Oxford English Dictionary Definition Low: adjective- 1. Below average in amount, extent, or intensity
Less than minor	Very low	Little or no loss of or modification to key elements/ features/ characteristics of the baseline, i.e. approximating a 'no change' situation.

Table 4: Determining the overall level of landscape and visual effects

Determination of “minor”

Decision makers determining whether a resource consent application should be notified must also assess whether the effect on a person is less than minor⁶ or an adverse effect on the environment is no more than minor⁷. Likewise, when assessing a non-complying activity, consent can only be granted if the s104D ‘gateway test’ is satisfied. This test requires the decision maker to be assured that the adverse effects of the activity on the environment will be ‘minor’ or not be contrary to the objectives and policies of the relevant planning documents.

These assessments will generally involve a broader consideration of the effects of the activity, beyond the landscape and visual effects. Through this broader consideration, guidance may be sought on whether the likely effects on the landscape resource or effects on a person are considered in relation to ‘minor’. It must also be stressed that more than minor effects on individual elements or viewpoints does not necessarily equate to more than minor effects on the wider landscape resource. In relation to this assessment, moderate-low level effects would generally equate to ‘minor’.

⁶ RMA, Section 95E

⁷ RMA Section 95D

APPENDIX 3: Flammability of native species

Appendix C: Flammability of native plant species

The following flammability classes are based on a series of surveys conducted by staff from Forest Research's rural fire research programme.

Experienced fire managers throughout New Zealand were asked to rank a list of native species in terms of flammability in the light of their observations at wildfires and prescribed burns under different fire danger conditions.

The final list of 42 species in five flammability classes is intended as a guide only. Genetic and environmental factors will affect the flammability of particular species, eg older plants carrying more dead material, drought conditions, or where a plant is situated.

Flammability class: Low

Suitable for green breaks or defensible space, but when in the immediate vicinity of structures, leave at least a 3 to 4 metre break between the crowns to reduce fuel continuity.

Low flammability species

<i>Fuchsia excorticata</i>	Kotukutuku
<i>Pseudopanax crassifolius</i>	Horoekea/Lancewood
<i>Pseudopanax arboreus</i>	Five finger
<i>Coprosma robusta</i>	Karamu
<i>Coprosma grandifolia</i>	Raurekau/Kanono
<i>Geniostoma ligustrifolium</i>	Hangehange
<i>Coprosma australis</i>	Raurekau
<i>Coprosma repens</i>	Taupata
<i>Carpodetus serratus</i>	Putaputaweta
<i>Corynocarpus laevigatus</i>	Karaka
<i>Griselinia littoralis</i>	Papauma/Broadleaf
<i>Griselinia lucida</i>	Puka
<i>Macropiper excelsum</i>	Kawakawa/Peppertree
<i>Solanum aviculare</i>	Poroporo

Flammability class: Low/moderate

Not recommended for planting in green breaks. If planted in defensible space, remove elevated dead material and litter regularly, leave greater than 4 metres between tree crowns, and don't plant trees or shrubs in this category within 10 metres of structures.

Low/moderate flammability species

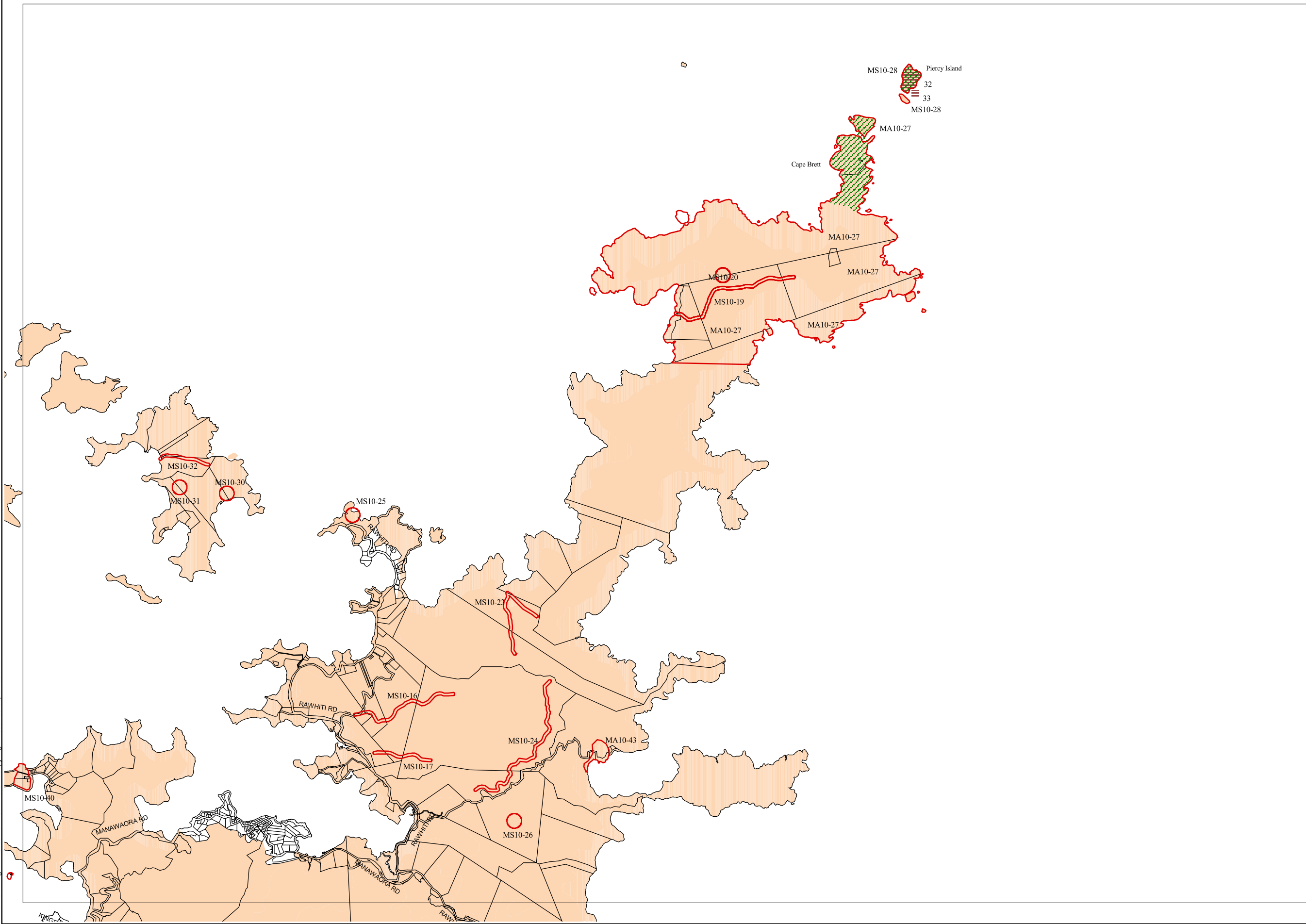
<i>Hebe salicifolia</i> and <i>H. stricta</i>	Koromiko
<i>Melicytus lanceolatus</i>	Mahoe wao
<i>Melicytus ramiflorus</i>	Mahoe/Whiteywood
<i>Aristotelia serrata</i>	Mako-mako/Wineberry
<i>Coriaria arborea</i>	Tutu
<i>Myoporum laetum</i>	Ngaio
<i>Pittosporum crassifolium</i>	Karo
<i>Pittosporum eugenioides</i>	Tarata/Lemonwood
<i>Hoheria</i> spp.	Hoheria/Lacebark
<i>Knightia excelsa</i>	Rewarewa
<i>Nothofagus menziesii</i>	Tawhai/Silver beech
<i>Phyllocladus glaucus</i>	Toatoa
<i>Plagianthus regius</i>	Manatu/Ribbonwood
<i>Weinmannia racemosa</i>	Kamahi

Flammability class: Moderate	
Most of these species produce heavy accumulations of flammable litter and elevated dead material, and/or have flammable green foliage. Not recommended for green breaks or for planting in defensible space.	
Moderate flammability species	
<i>Beilschmiedia tawa</i>	Tawa
<i>Cordyline australis</i>	Ti kouka/Cabbage tree
<i>Pittosporum tenuifolium</i>	Kohuhu
<i>Dacrydium cupressinum</i>	Rimu
<i>Metrosideros umbellata</i>	Southern rata
<i>Agathis australis</i>	Kauri
<i>Phormium</i> spp.	Flax
<i>Podocarpus dacrydioides</i>	Kahikatea/White pine
<i>Weinmannia silvicola</i>	Tawhero/Towhai
Flammability class: Moderate/high	
Species may have flammable green foliage and/or produce high levels of litter and elevated fuel. Not recommended for green breaks or defensible space.	
Moderate/high flammability species	
<i>Podocarpus totara</i>	Totara
<i>Dodonaea viscosa</i>	Ake-ake
<i>Cyathea</i> and <i>Dicksonia</i> spp.	Tree ferns
<i>Cyathodes fasciculata</i>	Mingimingi
Flammability class: High	
Species burn readily at low/moderate forest fire danger conditions.	
High flammability species	
<i>Kunzea ericoides</i>	Kanuka
<i>Leptospermum scoparium</i>	Manuka

APPENDIX 7

PLANNING MAPS

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- Resource**
- Outstanding Landscape
 - Outstanding Landscape Feature
 - Outstanding Natural Feature
 - Site of Cultural Significance to Maori

22	23	
28	29	30
35	36	37

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Map 30



Far North District Plan - Resource Maps



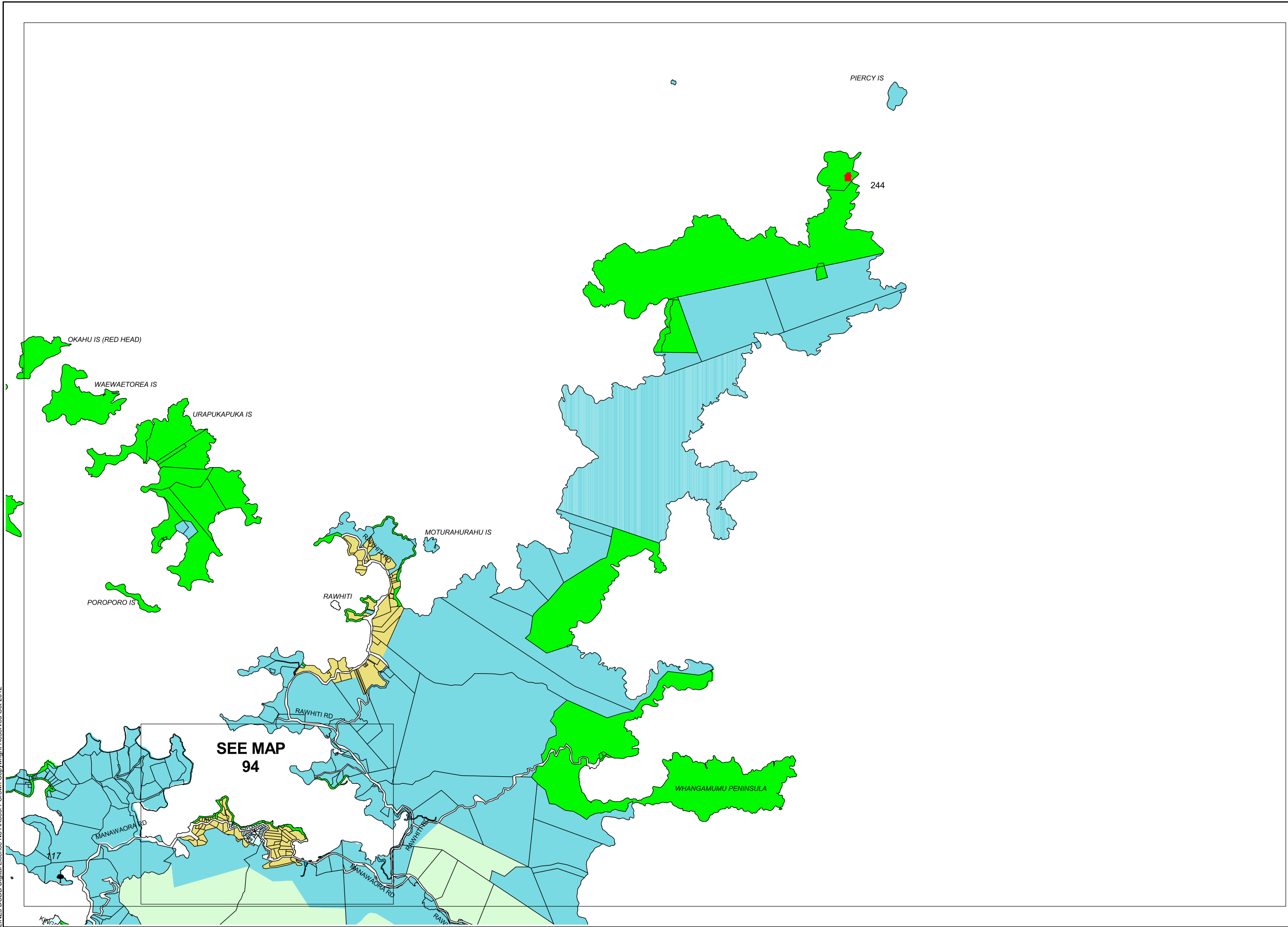
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Scale 1:50,000

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- Zone**
- Conservation
 - Coastal Living
 - Coastal Residential
 - General Coastal
 - Lakes and Rivers
 - Recreational Activities
 - Rural Production
 - Road
 - Coastal Marine
 - Notable Tree

Note :-
Roads carry the same zoning as the adjoining land. If a boundary between zones follows a road, the zone boundary is located on the centreline of the formed road, or where unformed, the centreline of the legal road

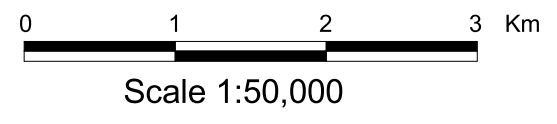
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Map 30

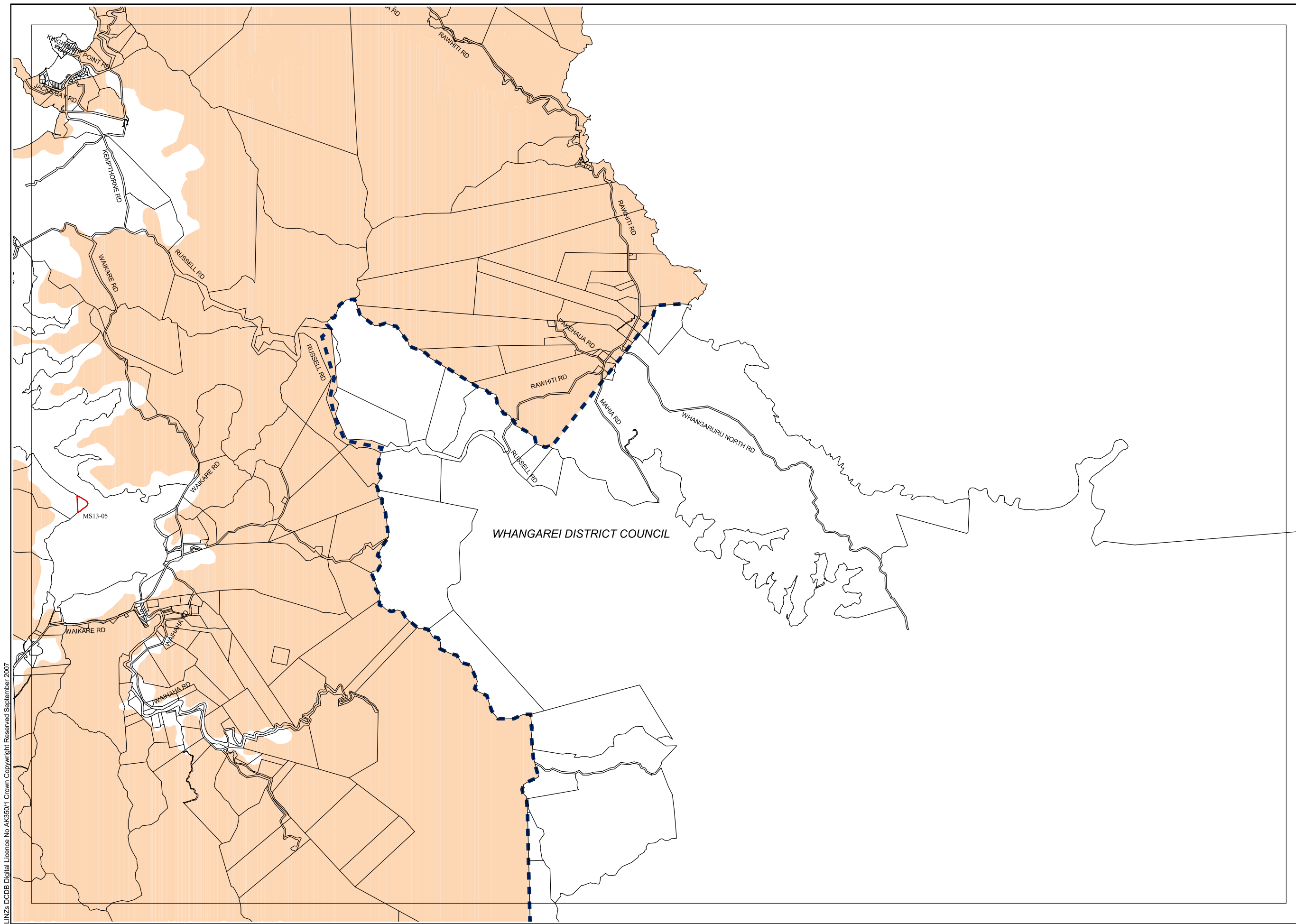


Far North District Plan - Zone Maps



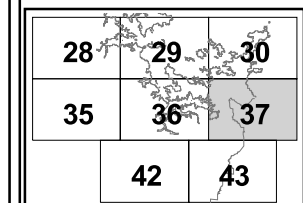
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Resource

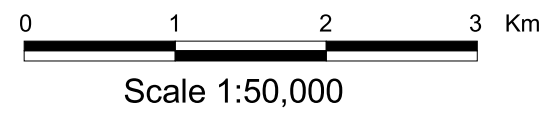
- Outstanding Landscape
- Site of Cultural Significance to Maori
- District Boundary



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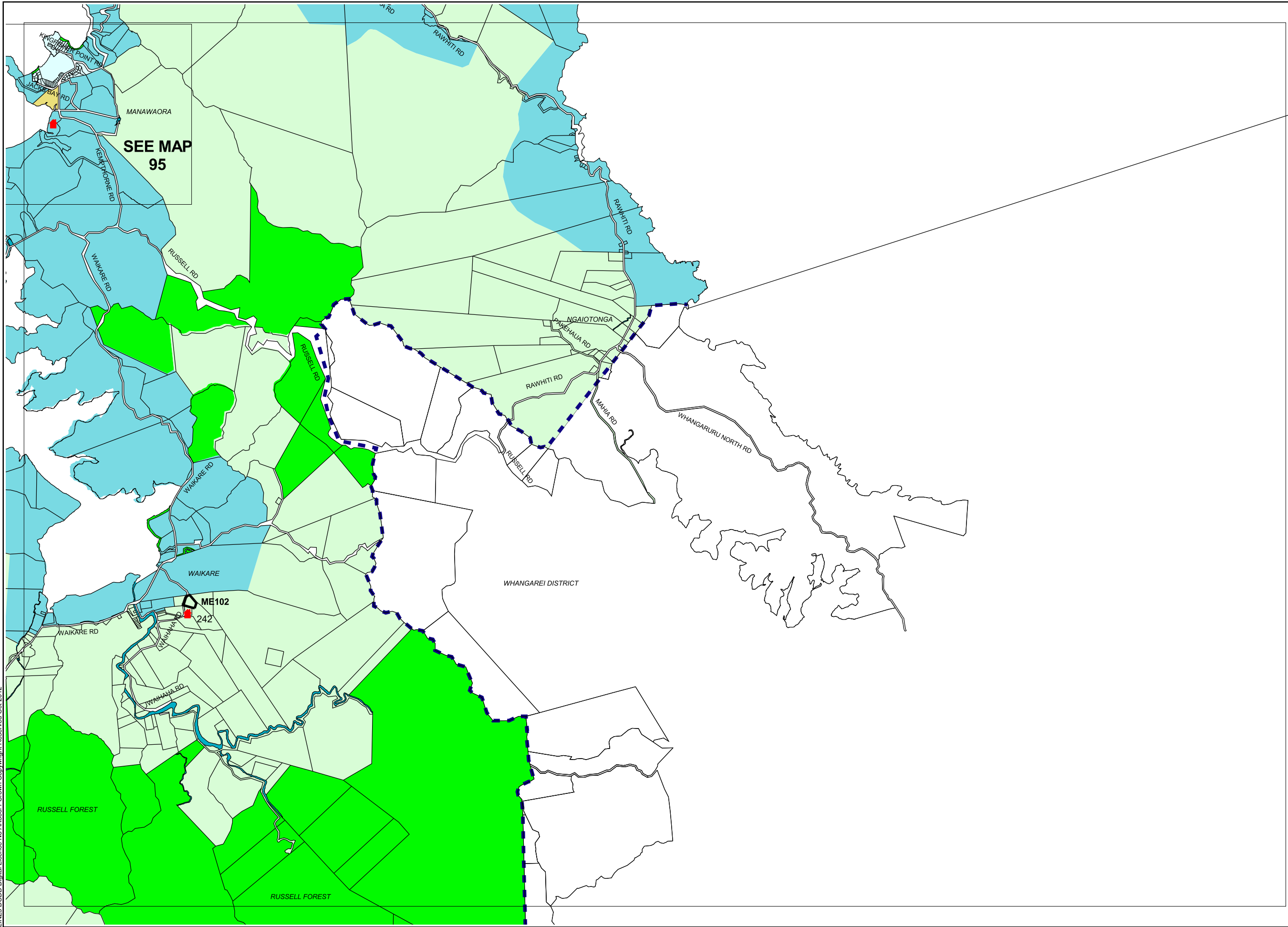
Map 37

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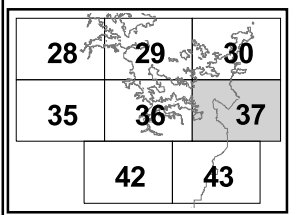
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- Zone**
- Conservation
 - Coastal Living
 - Coastal Residential
 - General Coastal
 - Lakes and Rivers
 - Rural Production
 - Road
 - Coastal Marine
 - Designations
 - Historic Site
 - District Boundary

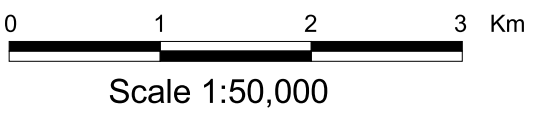
Note :-
Roads carry the same zoning as the adjoining land. If a boundary between zones follows a road, the zone boundary is located on the centreline of the formed road, or where unformed, the centreline of the legal road



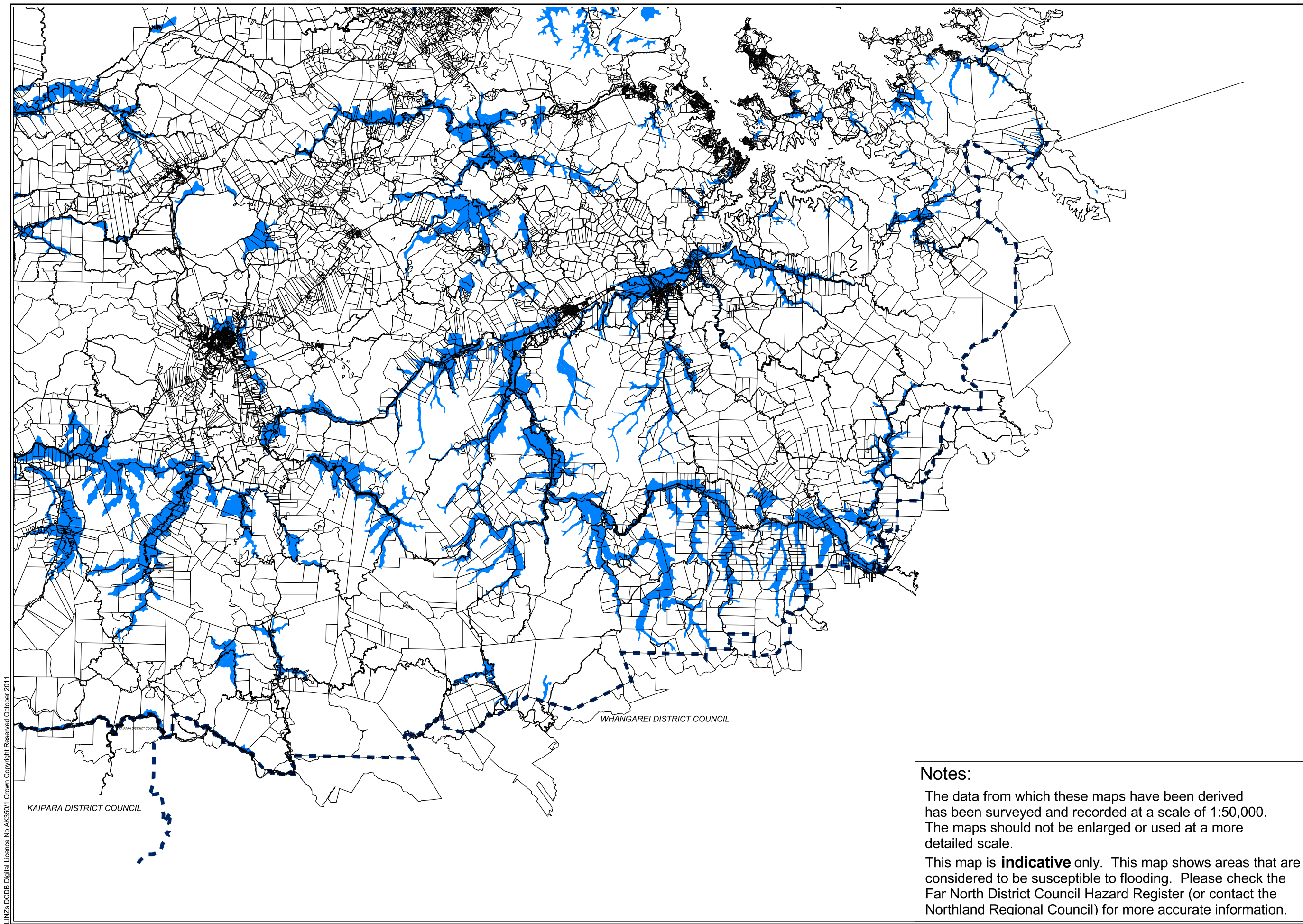
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Map 37

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Flooding

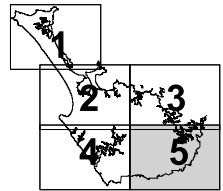
- Areas Susceptible to Flooding
- - - District Boundary

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Notes:

The data from which these maps have been derived has been surveyed and recorded at a scale of 1:50,000. The maps should not be enlarged or used at a more detailed scale.

This map is **indicative** only. This map shows areas that are considered to be susceptible to flooding. Please check the Far North District Council Hazard Register (or contact the Northland Regional Council) for more accurate information.



Map Index

Map FL5



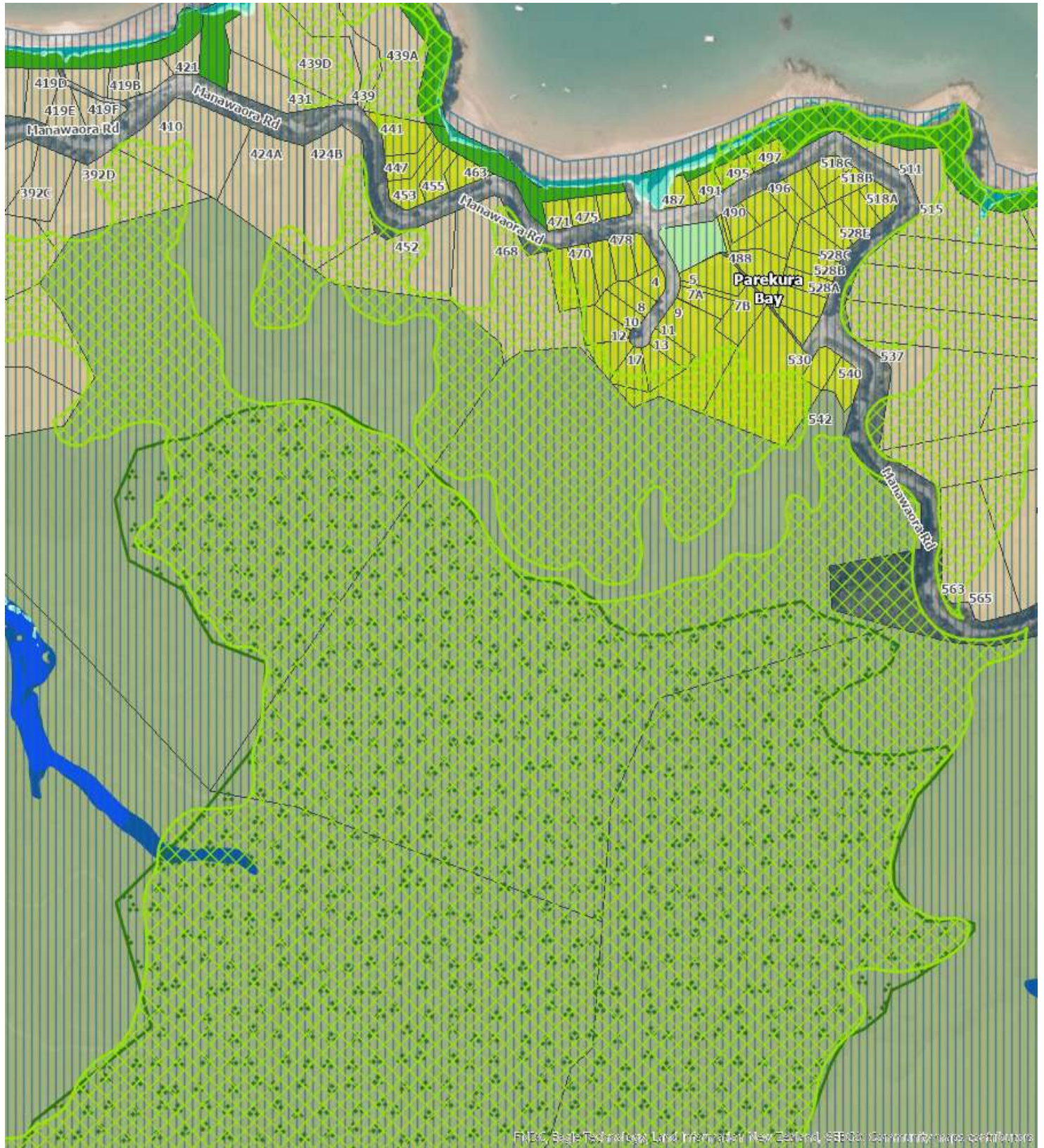
Far North District Plan - NRC Potential Flooding Maps



Scale 1:200,000

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






Property boundaries









































Zones

-  Airport
-  Carrington Estate
-  General Residential
-  Heavy Industrial
-  Horticulture
-  Horticulture Processing Facilities
-  Hospital
-  Kauri Cliffs
-  Kororāreka Russell Township
-  Light Industrial
-  Mixed Use
-  Moturoa Island
-  Māori Purpose - Rural
-  Māori Purpose - Urban
-  Natural Open Space
-  Ngawha Innovation And Enterprise Park
-  Open Space
-  Orongo Bay
-  Quail Ridge
-  Rural Lifestyle
-  Rural Production
-  Rural Residential
-  Settlement
-  Sport And Active Recreation


Zones


-  Airport
-  Carrington Estate
-  General Residential
-  Heavy Industrial
-  Horticulture Processing Facilities
-  Hospital
-  Kauri Cliffs
-  Kororāreka Russell Township
-  Light Industrial
-  Mixed Use
-  Moturoa Island
-  Māori Purpose - Rural
-  Natural Open Space
-  Ngawha Innovation And Enterprise Park
-  Open Space
-  Orongo Bay
-  Quail Ridge
-  Rural Lifestyle




- Rural Lifestyle 
- Rural Production 
- Rural Residential 
- Settlement 
- Sport And Active Recreation 
- Horticulture 
- Māori Purpose - Urban 
- Kauri Cliffs Special Areas**
 -  Golf Living Environment
 -  Golf Playing Environment
 -  Lodge Environment
 -  Natural Heritage Environment
- Treaty Settlement Land** 
- Pedestrian Frontage** 
- Mineral Extraction** 
- Air Noise Boundary (65 db Ldn)** 
- Coastal Environment** 
- Outer Control Boundary (55 dB Ldn)** 
- Building Height Control**
 -  Area A
 -  Area B
- Precincts**
 -  Innovation and Enterprise Precinct
- Outstanding Natural Landscape** 
- Outstanding Natural Feature** 
- High Natural Character** 
- Outstanding Natural Character** 
- National Grid Line**
 -  National Grid Line
 -  Critical Electricity Line
- Airport Protection Surfaces** 
- Designations** 
- Te Oneroa-a-Tōhē Beach Management Area**
 -  Te Oneroa-a-Tōhē
- Sites & Areas of Significance to Māori** 
- Heritage Area** 
- Heritage Item** 
- Notable Tree** 
- River Flood Hazard Zone (100 Year ARI Event)** 
- River Flood Hazard Zone (10 Year ARI Event)** 
- Coastal Flood (Zone 3: 100 Year + Rapid Sea Level Rise Scenario)** 
- Coastal Flood (Zone 2: 100 Year Scenario)** 
- Coastal Flood (Zone 1: 50 Year Scenario)** 



 Coastal Erosion (Zone 3: 100 Year + Rapid Sea Level Rise Scenario)

 Coastal Erosion (Zone 2: 100 Year Scenario)

 Coastal Erosion (Zone 1: 50 Year Scenario)



APPENDIX 8

RULE ASSESSMENT

Operative District Plan Provisions

Chapter 10.6 General Coastal Zone		
Rule	Status	Comment
10.6.5.1 Permitted Activities		
10.6.5.1.1 – Visual Amenity	Controlled	The proposed shed and the pole lean to will have GFAs in excess of 50m ² .
10.6.5.1.2 – Residential Intensity	N/A	Not proposed.
10.6.5.1.3 – Scale of Activities	N/A	The proposal is to establish accessory buildings.
10.6.5.1.4 – Building Height	Permitted	The maximum height of the buildings will not exceed 8m.
10.6.5.1.5 – Sunlight	Permitted	The buildings will not exceed the 45° degree recession plane measured from a height of 2m from the external boundaries.
10.6.5.1.6 – Stormwater Management	Permitted	The total impermeable surfaces will be less than 10% of the gross site area.
10.6.5.1.7 – Setback from Boundaries	Permitted	The buildings will comply with all the setbacks.
10.6.5.1.8 – Transportation	N/A	No new traffic, parking or access arrangements are proposed.
10.6.5.1.9 – Keeping of Animals	N/A	The buildings will not be used to keep animals.
10.6.5.1.10 – Noise	Permitted	The buildings will not create noise that exceeds the permitted standards.
10.6.5.1.11 – Helicopter Landing Area	N/A	The proposal does not involve the need for a helicopter landing area.
10.6.5.2 Controlled Activities		
10.6.5.2.1 – Papakainga Housing	N/A	Not proposed
10.6.5.2.2 – Visual Amenity	Controlled	The proposed shed and the pole lean to are located entirely within a building platform approved under a resource consent (the Building Development Zone).
10.6.5.2.3 – Stormwater Management	Permitted	The total impermeable surfaces will be less than 10% of the gross site area.
Overall Status	Controlled	

Chapter 12.1 Landscapes and Natural Features		
Rule	Status	Comment
12.1.6.1 Permitted Activities		
12.1.6.1.1 – Protection of Outstanding Landscape Features	N/A	The site does not contain an Outstanding Landscape Feature.
12.1.6.1.2 – Indigenous vegetation clearance in Outstanding Landscapes	N/A	No indigenous vegetation clearance is proposed.
12.1.6.1.3 – Tree planting in Outstanding Landscapes	N/A	No tree planting is proposed.
12.1.6.1.4 – Excavation and/or filling within and Outstanding Landscape	N/A	No earthworks are proposed
12.1.6.1.5 – Buildings within Outstanding Landscapes	Restricted Discretionary	<p>a. The sheds, pole lean to, three of the existing cabins and the future cabins have GFAs in excess of 25m².</p> <p>b. The buildings will be visible from a public place, but will be coloured with the BS5252 standard colour palette range with a reflectance value of 30% or less.</p> <p>c. Not proposed.</p> <p>d. Not proposed.</p> <p>e. The buildings are located in the General Coastal Zone.</p>
12.1.6.1.6 – Utility Services in Outstanding Landscapes	Permitted	Any utility services will be underground.
12.1.6.2 Restricted Discretionary Activities		
12.1.6.2.1 – Buildings within Outstanding Landscapes	Restricted discretionary	<p>a. The sheds, pole lean to, three of the existing cabins and the two future cabins have GFAs in excess of excess of 25m².</p> <p>b. No alterations are proposed to existing buildings.</p>
12.1.6.2.2 – Excavation and/or filling within and Outstanding Landscape	N/A	No earthworks are proposed.
12.1.6.3 Discretionary Activities		
12.1.6.3.1 – Development Bonus	N/A	Not proposed.
12.1.6.3.2 – Buildings within Outstanding Landscape Features	N/A	Not proposed.

12.1.6.3.3 – Development on an Outstanding Natural Feature	N/A	Not proposed.
Overall Status	Restricted discretionary	

Proposed District Plan Provisions

Rural Production Zone (RPROZ)		
Rule	Status	Comment
RPROZ-R1 – New buildings or structures, and extensions or alterations to existing buildings or structures	Permitted	The buildings will accommodate a permitted activity and comply with RPROZ-S1 – S7 as detailed below.
RPROZ-R2 – Impermeable surface coverage	Permitted	The total impermeable surfaces will be less than 15% of the site.
RPROZ-R3 – R37	N/A	Not proposed
RPROZ-S1 – Maximum height	Permitted	The maximum height of the buildings will not exceed 12m.
RPROZ-S2 – Height in relation to boundary	Permitted	The buildings will not exceed the recession planes measured from a height of 2m from the external site boundaries.
RPROZ-S3 – Setback (excluding from MHWS or wetland, lake and river margins)	Permitted	The buildings will comply with all the required setbacks from external boundaries.
RPROZ-S4 – Setback from MHWS	Permitted	The buildings are more than 30m from the MHWS.
RPROZ-S5 – Building or structure coverage	Permitted	The total building and structure coverage on the site will be less than 12.5%.
RPROZ-S6 – Buildings or structures used to house, milk or feed stock (excluding buildings or structures used for an intensive indoor primary production activity)	N/A	The buildings will not be used as a stock holding and feeding area, a milking shed or an area to feed stock.
RPROZ-S7 – Sensitive activities setback from boundaries of a Mineral Extraction overlay	N/A	The buildings are not a sensitive activity.
Overall Status	Permitted	

Coastal Environment (CE)		
CE-R1 – New buildings or structures, and extensions or alterations to existing buildings or structures	Discretionary	<ol style="list-style-type: none"> 1. The site is not located in an urban zone. 2. The sheds, three of the existing cabins and the two future cabins have GFAs in excess of excess of 25m² and are outside of an Outstanding Natural Character Area. 3. Not proposed. 4. Not proposed.

CE-R2 – R9	N/A	Not proposed.
CE-S1 – Maximum height	Permitted	The maximum height of the buildings will not exceed 5m.
CE-S2 – Colours and materials	Permitted	The buildings will have reflectance values of less than 30% and exterior finishes within groups A, B or C of the BS5252 standard colour palette range.
CE-S3 – Earthworks or indigenous vegetation clearance	N/A	No earthworks or indigenous vegetation clearance is proposed.
CE-R10 – R19	N/A	Not proposed.
Overall Status	Discretionary	

APPENDIX 9

NRC 'SELECTED LAND-USE SITES'

DATABASE MAP



Legend

- SLU Points
- SLU Polygons