

Application for resource consent or fast-track resource consent

(Or Associated Consent Pursuant to the Resource Management Act 1991 (RMA)) (If applying for a Resource Consent pursuant to Section 87AAC or 88 of the RMA, this form can be used to satisfy the requirements of Schedule 4). Prior to, and during, completion of this application form, please refer to Resource Consent Guidance Notes and Schedule of Fees and Charges — [both available on the Council's web page](#).

1. Pre-Lodgement Meeting

Have you met with a council Resource Consent representative to discuss this application prior to lodgement? Yes No

2. Type of Consent being applied for

(more than one circle can be ticked):

- Land Use
- Fast Track Land Use*
- Subdivision
- Consent under National Environmental Standard
(e.g. Assessing and Managing Contaminants in Soil)
- Other (please specify) _____
- Discharge
- Change of Consent Notice (s.221(3))
- Extension of time (s.125)

* *The fast track is for simple land use consents and is restricted to consents with a controlled activity status.*

3. Would you like to opt out of the Fast Track Process?

Yes No

4. Consultation

Have you consulted with Iwi/Hapū? Yes No

If yes, which groups have you consulted with?

Who else have you consulted with?

For any questions or information regarding iwi/hapū consultation, please contact Te Hono at Far North District Council tehonosupport@fndc.govt.nz

5. Applicant Details

Name/s:

Ngawhitu Limited c/o Alexander Jack

Email:

Phone number:

Postal address:

(or alternative method of service under section 352 of the act)

6. Address for Correspondence

Name and address for service and correspondence (if using an Agent write their details here)

Name/s:

Steven Sanson - Bay of Islands Planning Limited

Email:

Phone number:

Postal address:

(or alternative method of service under section 352 of the act)

** All correspondence will be sent by email in the first instance. Please advise us if you would prefer an alternative means of communication.*

7. Details of Property Owner/s and Occupier/s

Name and Address of the Owner/Occupiers of the land to which this application relates (where there are multiple owners or occupiers please list on a separate sheet if required)

Name/s:

Refer Section 5 above

**Property Address/
Location:**

Ludbrook Road, Pakaraka

Postcode

8. Application Site Details

Location and/or property street address of the proposed activity:

Name/s:

**Site Address/
Location:**

Postcode

Legal Description:

Val Number:

Certificate of title:

Please remember to attach a copy of your Certificate of Title to the application, along with relevant consent notices and/or easements and encumbrances (search copy must be less than 6 months old)

Site visit requirements:

Is there a locked gate or security system restricting access by Council staff? Yes No

Is there a dog on the property? Yes No

Please provide details of any other entry restrictions that Council staff should be aware of, e.g. health and safety, caretaker's details. This is important to avoid a wasted trip and having to re-arrange a second visit.

9. Description of the Proposal:

Please enter a brief description of the proposal here. Please refer to Chapter 4 of the District Plan, and Guidance Notes, for further details of information requirements.

If this is an application for a Change or Cancellation of Consent Notice conditions (s.221(3)), please quote relevant existing Resource Consents and Consent Notice identifiers and provide details of the change(s), with reasons for requesting them.

10. Would you like to request Public Notification?

Yes No

11. Other Consent required/being applied for under different legislation

(more than one circle can be ticked):

- Building Consent
- Regional Council Consent (ref # if known)
- National Environmental Standard consent
- Other (please specify)

12. National Environmental Standard for Assessing and Managing Contaminants in Soil to Protect Human Health:

The site and proposal may be subject to the above NES. In order to determine whether regard needs to be had to the NES please answer the following:

Is the piece of land currently being used or has it historically ever been used for an activity or industry on the Hazardous Industries and Activities List (HAIL) Yes No Don't know

Is the proposed activity an activity covered by the NES? Please tick if any of the following apply to your proposal, as the NESCS may apply as a result. Yes No Don't know

- Subdividing land
- Changing the use of a piece of land
- Disturbing, removing or sampling soil
- Removing or replacing a fuel storage system

13. Assessment of Environmental Effects:

Every application for resource consent must be accompanied by an Assessment of Environmental Effects (AEE). This is a requirement of Schedule 4 of the Resource Management Act 1991 and an application can be rejected if an adequate AEE is not provided. The information in an AEE must be specified in sufficient detail to satisfy the purpose for which it is required. Your AEE may include additional information such as Written Approvals from adjoining property owners, or affected parties.

Your AEE is attached to this application Yes

13. Draft Conditions:

Do you wish to see the draft conditions prior to the release of the resource consent decision? Yes No

If yes, do you agree to extend the processing timeframe pursuant to Section 37 of the Resource Management Act by 5 working days? Yes No

14. Billing Details:

This identifies the person or entity that will be responsible for paying any invoices or receiving any refunds associated with processing this resource consent. Please also refer to Council's Fees and Charges Schedule.

Name/s: (please write in full)

Ngawhitu Limited

Email:

Phone number:

Postal address:

(or alternative method of service under section 352 of the act)

Fees Information

An instalment fee for processing this application is payable at the time of lodgement and must accompany your application in order for it to be lodged. Please note that if the instalment fee is insufficient to cover the actual and reasonable costs of work undertaken to process the application you will be required to pay any additional costs. Invoiced amounts are payable by the 20th of the month following invoice date. You may also be required to make additional payments if your application requires notification.

Declaration concerning Payment of Fees

I/we understand that the Council may charge me/us for all costs actually and reasonably incurred in processing this application. Subject to my/our rights under Sections 357B and 358 of the RMA, to object to any costs, I/we undertake to pay all and future processing costs incurred by the Council. Without limiting the Far North District Council's legal rights if any steps (including the use of debt collection agencies) are necessary to recover unpaid processing costs I/we agree to pay all costs of recovering those processing costs. If this application is made on behalf of a trust (private or family), a society (incorporated or unincorporated) or a company in signing this application I/we are binding the trust, society or company to pay all the above costs and guaranteeing to pay all the above costs in my/our personal capacity.

Name: (please write in full)

Signature:

(signature of bill payer)

Date

MANDATORY

15. Important Information:

Note to applicant

You must include all information required by this form. The information must be specified in sufficient detail to satisfy the purpose for which it is required.

You may apply for 2 or more resource consents that are needed for the same activity on the same form. You must pay the charge payable to the consent authority for the resource consent application under the Resource Management Act 1991.

Fast-track application

Under the fast-track resource consent process, notice of the decision must be given within 10 working days after the date the application was first lodged with the authority, unless the applicant opts out of that process at the time of lodgement. A fast-track application may cease to be a fast-track application under section 87AAC(2) of the RMA.

Privacy Information:

Once this application is lodged with the Council it becomes public information. Please advise Council if there is sensitive information in the proposal. The information you have provided on this form is required so that your application for consent pursuant to the Resource Management Act 1991 can be processed under that Act. The information will be stored on a public register and held by the Far North District Council. The details of your application may also be made available to the public on the Council's website, www.fndc.govt.nz. These details are collected to inform the general public and community groups about all consents which have been issued through the Far North District Council.

15. Important information continued...

Declaration

The information I have supplied with this application is true and complete to the best of my knowledge.

Name: (please write in full)

Steven Sanson

Signature:

[Redacted Signature]

Date 03-Sep-2024

A signature is not required if the application is made by electronic means

Checklist (please tick if information is provided)

- Payment (cheques payable to Far North District Council)
- A current Certificate of Title (Search Copy not more than 6 months old)
- Details of your consultation with Iwi and hapū
- Copies of any listed encumbrances, easements and/or consent notices relevant to the application
- Applicant / Agent / Property Owner / Bill Payer details provided
- Location of property and description of proposal
- Assessment of Environmental Effects
- Written Approvals / correspondence from consulted parties
- Reports from technical experts (if required)
- Copies of other relevant consents associated with this application
- Location and Site plans (land use) AND/OR
- Location and Scheme Plan (subdivision)
- Elevations / Floor plans
- Topographical / contour plans

Please refer to Chapter 4 of the District Plan for details of the information that must be provided with an application. Please also refer to the RC Checklist available on the Council's website. This contains more helpful hints as to what information needs to be shown on plans.

14. Billing Details:

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Name/s: (please write in full)		
Email:		
Phone number:	Work	Home
Postal address: (or alternative method of service under section 352 of the act)		
	Postcode	

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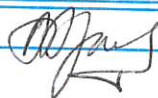
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Name: (please write in full)

ALEXANDER DONALD JACK (NGAWHITU LTD)

Signature:

(signature of bill payer)



Date 27-8-24

MANDATORY

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BAY OF ISLANDS PLANNING (2022) LIMITED

Kerikeri House

Suite 3, 88 Kerikeri Road

Kerikeri

.....
Email – office@bayplan.co.nz Website - www.bayplan.co.nz
.....

10 September 2024

Far North District Council
John Butler Centre
Kerikeri

Dear Team Leaders,

Re: Proposed Staff Accommodation – 320 Ludbrook Road, Pakaraka

Our client, Ngawhitu Limited seeks a resource consent for a 60m² house to be used for staff accommodation at 320 Ludbrook Road, Pakaraka. Please note that the house is already in-situ but on blocks.

The site is zoned ‘**Rural Production**’ within the Far North District Council Operative District Plan (**ODP**), and Rural ‘**Rural Production**’ under the Proposed District Plan (**PDP**). The site is subject to various features and overlays under both the ODP and PDP.

Consents are required under both the ODP and the PDP in relation to the development which is located on an Outstanding Natural Feature.

Overall, the application is a **Discretionary Activity**.

Report Prepared By:

Reviewed by:



J V Kemp
Principal Consultant



Steven Sanson
Director | Consultant Planner

INTRODUCTION

The applicant proposes to relocate a 59.4m² house for staff accommodation on their farm property at 320 Ludbrook Road, legally described as Lot 1 DP 196184, with the RoT of 570882. The RoT is provided in **Appendix A**.

Whilst there are various interests, none of these are considered to be of concern in relation to the proposed resource consent.

The house will be supported by a 25m² carport, a 23.1m² deck, and there will be a 250m² of access and paths to service the dwelling. All on site services will be supplied and this is partially shown through a 30,000l water tank and wastewater system. Stormwater will overflow to a dispersal trench.

Excavations proposed are minor. The maximum depth will be less than 1.2m and the total volume will be less than 3m³.

The application is supported by Architectural Plans prepared by Cadplanz. These are found in **Appendix B**. An outline of the proposed development is found in **Figure 1**.

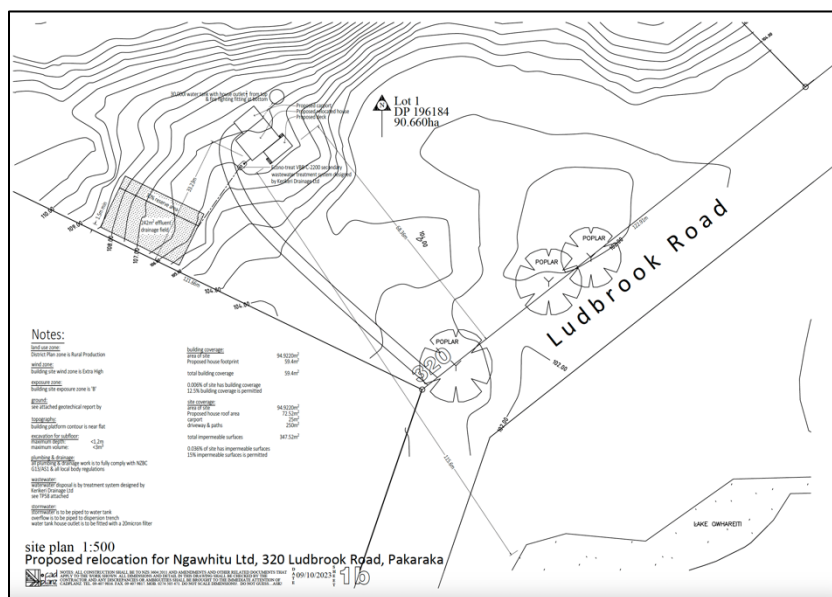


Figure 1: Proposed Development (Source: CadPlanz)

Given the location of the development, a Landscape and Visual Assessment prepared by Hawthorn Landscape Architecture has also been prepared. This is found in **Appendix C**. Similarly, an Archaeological Assessment has been undertaken. This is found in **Appendix D**.

The applicant has also consulted with surrounding neighbours and Iwi. The record of this consultation are provided in **Appendix E**. Full hard copy consultation packs can be provided on request.

The applicant has tried to discuss the application with Ngati Hine and Ngapuhi but to date no formal correspondence has been received.

Site Description & Surrounding Environment

The site is a large at 90.66ha in size. The property is largely pastoral with some trees scattered throughout (See [Figure 2](#)).

Under the ODP and PDP the site is considered to be zoned Rural Production.

Under the ODP the site is located within the Pouerua Heritage Precinct. The site includes part of the Outstanding Landscape Feature Pouerua [ID 25].

The site is also largely contained within the Outstanding Natural Feature Pouerua [Pakaraka Mountain] Scoria Cone and Lava Fields [ID 47].

Within that feature [ID 47] is the Site of Cultural Significance to Maori – Pouerua, Maunga Tapu, Waahi Tapu, Pa [MS09-08]. This is also a Heritage Site ID 611, Category 1 [Pouerua]¹.

The PDP differs slightly from the ODP in that it characterises ID47 as an Outstanding Natural Landscape – Ohaeawai Area Volcanic Filed [ID 56].

The PDP contains the Outstanding Natural Feature – Pouerua [Pakaraka Mountain], Scoria Cone, Lava Field and Lava-Dammed Lakes [ID 91].

Under the PDP MS-09-08 is retained. The site also remains within the Pouerua Heritage Area.

Part of the eastern extent of the site is subject to being considered as Kiwi Present. The site does not contain any Highly Productive Land.

In terms of Regional Council maps, the site is within a 100m buffer of a natural wetland. The site is not implicated by any natural hazards such as flooding. There are no activities on the Selected Land Use Register on the site or in the surrounds. The site is not located within the Coastal Environment.

The Northland Regional Policy Statement also shows the Outstanding Natural Landscape and Outstanding Natural Feature.

These features are outlined in the [Figures](#) below. While many of these features implicate the wider site, only few of these affect the proposed development area off Ludbrook Road.

The surrounds are of a similar character to the site. All being rural in nature with the underlying features and resources being present. The site is well described by C

¹ Note that the Archaeological Report attached notes 26 registered archaeological sites within the application site [refer Page 7 and Figure 7 of that Report].

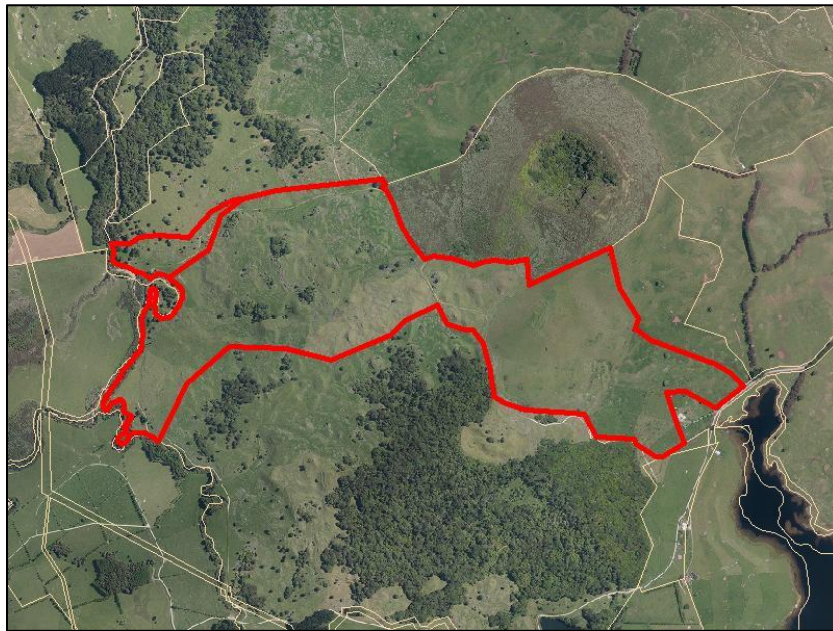


Figure 2: Subject Site (Source: Prover)

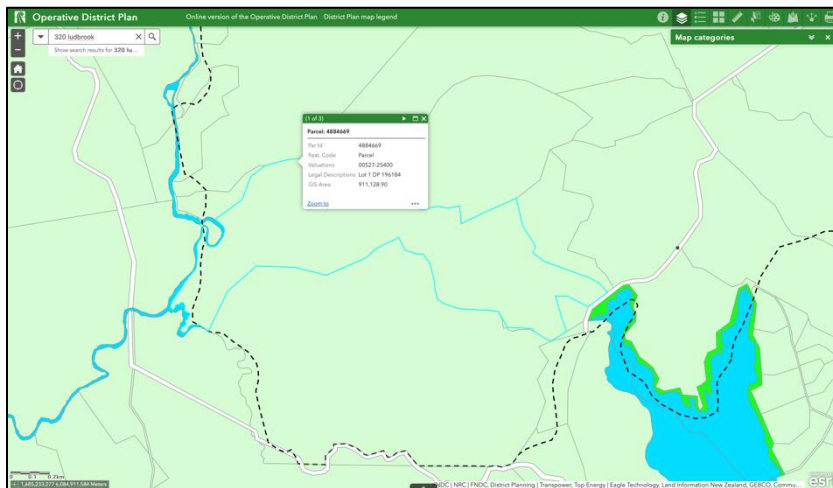


Figure 3: ODP Zoning (Source: Far North Maps)

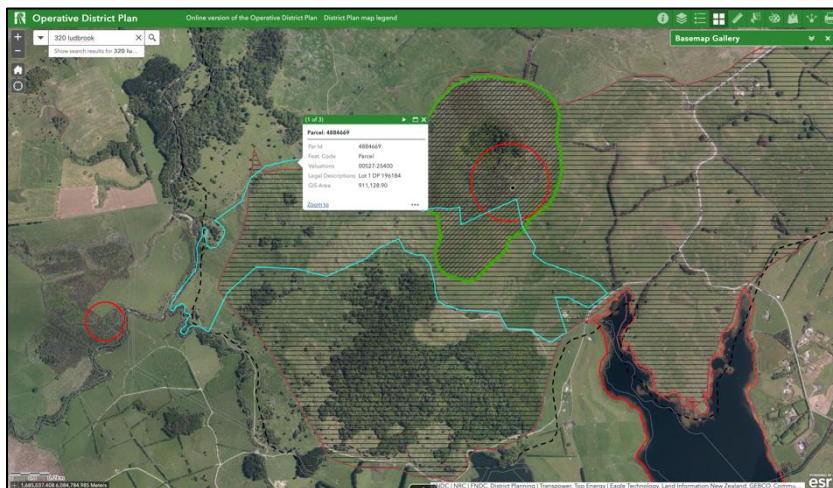


Figure 4: ODP Resource Features (Source: Far North Maps)

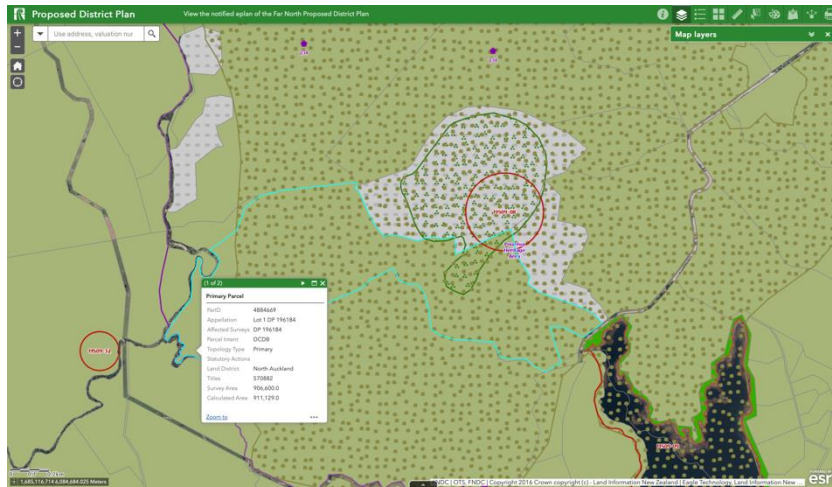


Figure 5: PDP Features (Source: Far North Maps)

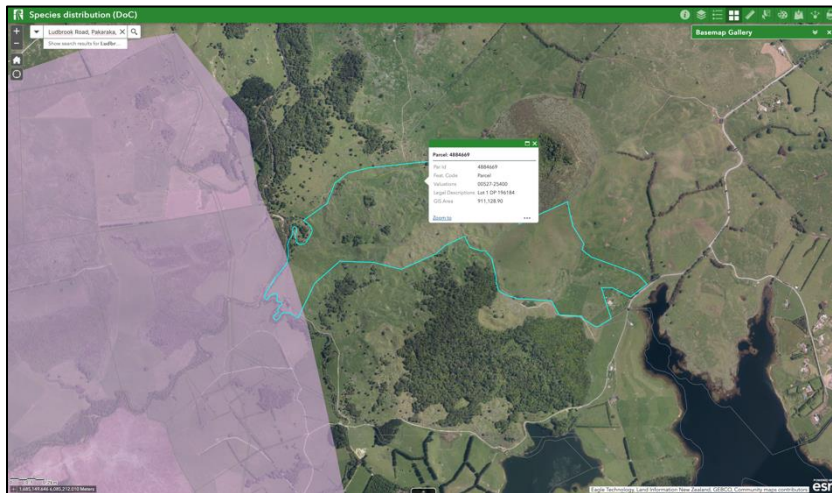


Figure 6: Species Distribution (Source: Far North Maps)

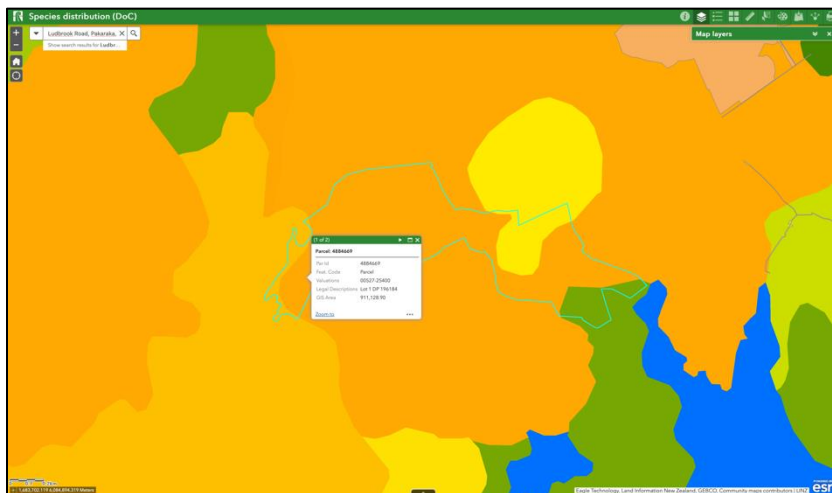


Figure 7: Land Cover Database (Source: Far North Maps)

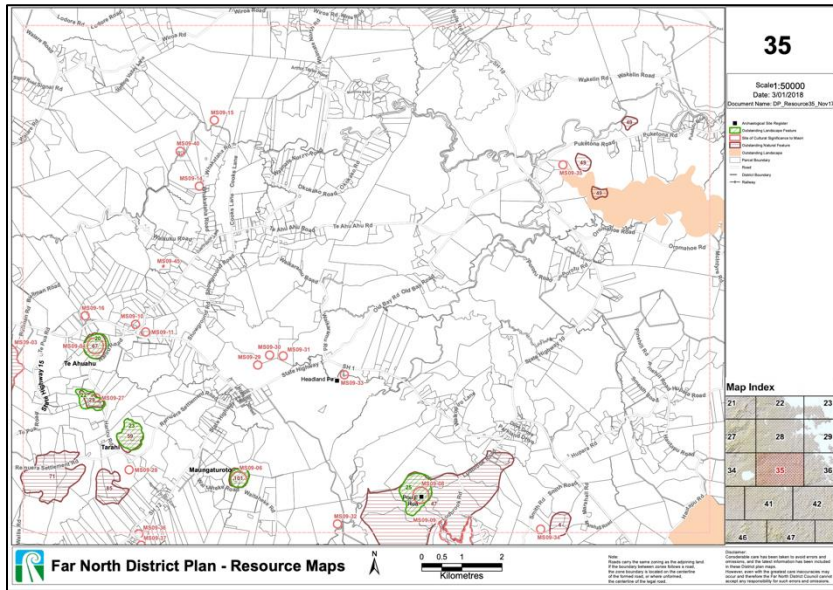


Figure 8: Resource Features (Source: Far North Maps)

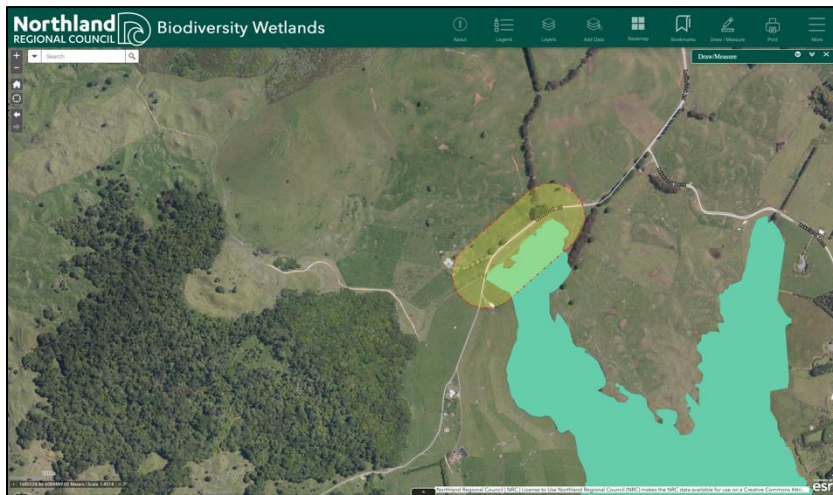


Figure 9: Biodiversity Wetland with 100m Buffer (Source: NRC Local Maps)

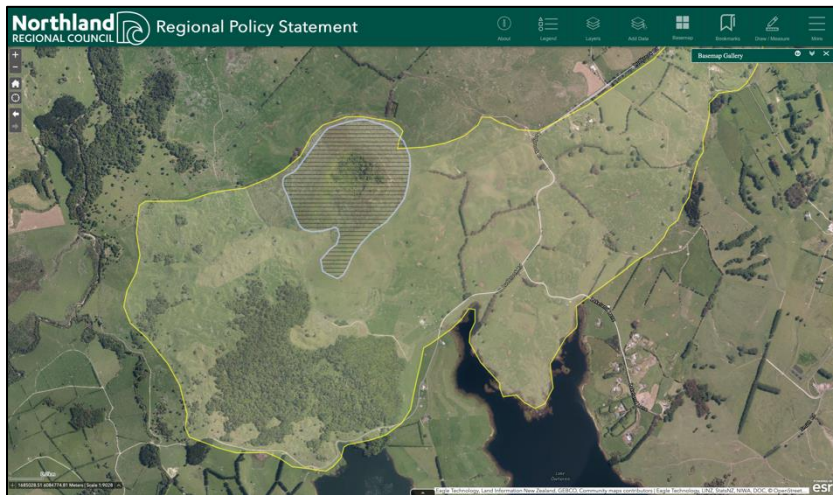


Figure 10: NRC Regional Policy Statement (Source: NRC Local Maps)

Reasons for Consent

Table 1: Rural Production Zone – Performance Standards

Rule	Standards	Performance/Comments
Residential Intensity	<p>Permitted – One unit per 12ha of land</p> <p>Restricted Discretionary - One unit per 4ha of land</p> <p>Discretionary – One unit per 2ha of land</p> <ul style="list-style-type: none"> In all cases the land shall be developed in such a way that each unit shall have at least 2,000m² for its exclusive use surrounding the unit plus a minimum of 1.8ha elsewhere on the property. 	<p>One dwelling is proposed.</p> <p>Complies</p>
Sunlight	<p>Permitted - No part of any building shall project beyond a 45 degree recession plane as measured inwards from any point 2m vertically above ground level on any site boundary</p> <p>Restricted Discretionary – if permitted standard breached</p>	<p>The proposed development is setback 33.23m and 68.36m to the nearest boundaries. Sunlight angles are not of concern</p> <p>Complies</p>
Stormwater Management	<p>Permitted - The maximum proportion of the gross site area covered by buildings and other impermeable surfaces shall be 15%.</p> <p>Controlled - The maximum proportion of the gross site area covered by buildings and other impermeable surfaces shall be 20%.</p>	<p>Total impervious surfaces are 347.52m² [0.036%]</p> <p>Complies</p>
Setback from Boundaries	<p>Permitted - No building shall be erected within 10m of any site boundary;</p> <p>Restricted Discretionary – if permitted standard breached</p>	<p>The proposed development is setback 33.23m and 68.36m to the nearest boundaries.</p> <p>Complies</p>
Keeping of Animals		Complies
Noise		<p>Residential use is expected to comply.</p> <p>Complies</p>
Building Height	<p>Permitted - The maximum height of any building shall be 12m.</p>	<p>The building is less than 5m in height</p>

	Restricted Discretionary - The maximum height of any building shall be 15m.	Complies
Helicopter Landing Area		Complies
Building Coverage	<p>Permitted - Any new building or alteration/addition to an existing building is a permitted activity if the total Building Coverage of a site does not exceed 12.5% of the gross site area.</p> <p>Controlled - Any new building or alteration/addition to an existing building is a controlled activity if the total Building Coverage of a site does not exceed 15% of the gross site area.</p>	<p>Refer total impervious surfaces above.</p> <p>Complies</p>
Scale of Activities	<p>Permitted – People who reside in the household exempt.</p> <p>4 persons per site</p>	Complies
Temporary Events		Complies

Table 2: Assessment of the Operative Far North District Plan District Wide Rules

Rule	Standard	Performance/Comments
12.1 Landscape & Natural Features	12.1.6.1.1 Protection of Outstanding Landscape Features	<p>No activities are proposed within the Outstanding Landscape Feature.</p> <p>Complies</p>
	12.1.6.1.2 Indigenous Vegetation Clearance in Outstanding landscapes	<p>No vegetation clearance is required.</p> <p>Complies</p>
	12.1.6.1.3 Tree Planting in Outstanding Landscapes	<p>Not relevant.</p> <p>Complies</p>
	12.1.6.1.4 Excavation and/or filling within an outstanding landscape	<p>Not relevant.</p> <p>Complies</p>

Rule	Standard	Performance/Comments
	12.1.6.1.5 Buildings within outstanding landscapes	Not relevant. Complies
	12.1.6.1.6 Utility Services in Outstanding Landscapes	Not relevant. Complies
12.2 Indigenous Flora and Fauna	12.2.6.1.1 Indigenous Vegetation Clearance Permitted Throughout the District 12.2.6.1.2 Indigenous Vegetation Clearance in the rural Production and Minerals Zones 12.2.6.1.3 Indigenous Vegetation Clearance in the General Coastal Zone 12.2.6.1.4 Indigenous Vegetation Clearance in Other Zones	No vegetation clearance is required. Complies
12.3 Earthworks	12.3.6.1.1 Excavation and/or filling, excluding mining and quarrying, in the Rural Production Zone or Kauri Cliffs Zone	Excavations proposed are minor. The maximum depth will be less than 1.2m and the total volume will be less than 3m ³ . Complies
12.4 Natural Hazards	12.4.6.1.1 Coastal Hazard 2 Area 12.4.6.1.2 Fire Risk to Residential Units	There are no applicable features and the dwelling is not within 20m of vegetation. Complies
12.5 Heritage	12.5.6.1.1 Notable Trees	Not relevant. Complies
	12.5.6.1.2 Alterations to/and maintenance of historic sites, buildings and objects.	In relation to the development area this is not relevant. Complies

Rule	Standard	Performance/Comments
	12.5.6.1.3 Registered Archaeological Sites	There are no such registered archaeological sites at the development area that are affected. Complies
12.5A Heritage Precincts	12.5A.6.1.1 Maintenance of Buildings	Not proposed Complies
	12.5A.6.1.2 Signs in the Strand and Kerikeri Basin Heritage Precincts	Not relevant Complies
	12.5A.6.1.3 Parking and Access in the Strand	Not relevant Complies
	12.5A.6.1.4 Alterations to Land in the Strand, Pouerua, and Kerikeri Basin Heritage Precincts.	All soil disturbance proposed is exempt as per the definition of 'excavation' as per the ODP. Complies
	12.5A.6.1.4 Planting of Trees in the Kerikeri Basin Heritage Precinct	Not relevant Complies
	12.5A.6.3.2 New Buildings within Heritage Precinct	The proposal can be seen from the roadside. Discretionary Activity
12.6 Air	Not applicable	N/A
12.7 Lakes, Rivers, Wetlands and the Coastline	12.7.6.1.1 Setback from lakes, rivers and the coastal marine area 12.7.6.1.2 Setback from smaller lakes, rivers and wetlands 12.7.6.1.4 Land Use Activities involving the Discharges of Human Sewage Effluent 12.7.6.1.5 Motorised Craft 12.7.6.1.6 Noise	All relevant setbacks are adhered to. Complies

Rule	Standard	Performance/Comments
12.8 Hazardous Substances		Not relevant Complies
12.9 Renewable Energy and Energy Efficiency		Not relevant Complies
13 Subdivision		Not proposed Complies
14 Financial Contributions		Not proposed Complies
15 Transportation		The proposal is for the 1 st house on the site. Parking is proposed within the carport. Access is considered appropriate from Ludbrook Road to the house site. Complies
16 Signs and Lighting		Not proposed Complies
17 Designations & Utility Services		Not relevant Complies
18 Special Areas		Not relevant Complies
19 GMOs		Not relevant Complies

Proposed District Plan

The proposal is also subject to the Proposed District Plan provisions which have legal effect. These are considered in Table

Table 3: Assessment of the Proposed Far North District Plan Rules with Legal Effect

Matter	Rule/Std Ref	Relevance	Compliance	Evidence
<p>Hazardous Substances</p> <p>Majority of rules relates to development within a site that has heritage or cultural items scheduled and mapped however Rule HS-R6 applies to any development within an SNA – which is not mapped</p>	<p>Rule HS-R2 has immediate legal effect but only for a new significant hazardous facility located within a scheduled site and area of significance to Māori, significant natural area or a scheduled heritage resource</p> <p>HS-R5, HS-R6, HS-R9</p>	N/A	Yes	Not relevant as no such substances proposed.
<p>Heritage Area Overlays (Property specific)</p> <p>This chapter applies only to properties within identified heritage area overlays.</p>	<p>All rules have immediate legal effect (HA-R1 to HA-R14)</p> <p>All standards have immediate legal effect (HA-S1 to HA-S3)</p>	Yes	No	<p>Refer below.</p> <p>Consent required.</p>
<p><u>HA-R1</u></p> <p>This rule is not relevant. Maintenance and repair of buildings is not proposed.</p> <p>Complies</p> <p><u>HA-R2</u></p> <p>Additions / alterations are not proposed.</p>				

Complies

HA-R3

Strengthening / fire protection is not proposed.

Complies

HA-R4

The site does not contain a Scheduled Heritage Resource.

Complies

HA-R5

The proposal can comply with EW-R12 and EW-R13. The works are not near [within 20m] of a Scheduled Heritage Resource.

Complies

HA-R6

No such infrastructure is proposed.

Complies

HA-R7

Not relevant as rule relates to Alderton Park

Complies

HA-R8

Not relevant as relates to Kororareka and Te Waimate

Complies

HA-R9

Not relevant as does not relate to Pouerua

Complies

HA-R10

No such infrastructure is proposed.

Complies

HA-R11

A new building within the Pouerua Heritage Area is not a listed activity. Therefore, the activity is Discretionary.

Discretionary Activity

HA-R12-~~HA-R14~~

Not relevant.				
Complies				
<p>Historic Heritage (Property specific and applies to adjoining sites (if the boundary is within 20m of an identified heritage item)).</p> <p>Rule HH-R5 Earthworks within 20m of a scheduled heritage resource. Heritage resources are shown as a historic item on the maps)</p> <p>This chapter applies to scheduled heritage resources – which are called heritage items in the map legend</p>	<p>All rules have immediate legal effect (HH-R1 to HH-R10)</p> <p>Schedule 2 has immediate legal effect</p>	Yes	Yes	There are no Scheduled Heritage Resources on the site.
<p>Notable Trees (Property specific)</p> <p>Applied when a property is showing a scheduled notable tree in the map</p>	<p>All rules have immediate legal effect (NT-R1 to NT-R9)</p> <p>All standards have legal effect (NT-S1 to NT-S2)</p> <p>Schedule 1 has immediate legal effect</p>	N/A	Yes	Not indicated on Far North Proposed District Plan
<p>Sites and Areas of Significance to Māori (Property specific)</p> <p>Applied when a property is showing a site / area of significance to Maori in the map or</p>	<p>All rules have immediate legal effect (SASM-R1 to SASM-R7)</p> <p>Schedule 3 has immediate legal effect</p>	Yes	Yes	No activities are proposed within the mapped area of the SASM within the application site.

within the Te Oneroa-a Tohe Beach Management Area (in the operative plan they are called site of cultural significance to Maori)				
Ecosystems and Indigenous Biodiversity	All rules have immediate legal effect (IB-R1 to IB-R5)	N/A	Yes	No vegetation clearance proposed.
Activities on the Surface of Water	All rules have immediate legal effect (ASW-R1 to ASW-R4)	N/A	Yes	Not relevant.
Earthworks all earthworks (refer to new definition) need to comply with this	The following rules have immediate legal effect: EW-R12, EW-R13 The following standards have immediate legal effect: EW-S3, EW-S5	Yes	Yes	Proposed earthworks will be in accordance with the relevant standards including GD-05 and will have an ADP applied.
Signs (Property specific) as rules only relate to situations where a sign is on a scheduled heritage resource (heritage item), or within the Kororareka Russell or Kerikeri Heritage Areas	The following rules have immediate legal effect: SIGN-R9, SIGN-R10 All standards have immediate legal effect but only for signs on or attached to a scheduled heritage resource or heritage area	Yes	Yes	Not proposed
Orongo Bay Zone	Rule OBZ-R14 has partial immediate legal	N/A	Yes	Not indicated on Far North

(Property specific as rule relates to a zone only)	effect because RD-1(5) relates to water			Proposed District Plan
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Overall, the application is a **Discretionary Activity** under both the Operative and the Proposed District Plans.

Environmental Effects Assessment

Receiving Environment

The receiving environment is made up of:

- the existing environment and associated effects from lawfully established activities;
- effects from any consents on the subject site (not impacted by proposal) that are likely to be implemented;
- the existing environment as modified by any resource consents granted and likely to be implemented; and
- the environment as likely to be modified by activities permitted in the plan.
- This is the reasonably foreseeable environment within which the adverse effects of the proposal are considered.
- In this case the subject site contains no existing buildings.

The surrounding environment is rural in nature. The rural production zone allows for reasonably low development to occur in a controlled manner as to ensure it does not have detrimental effects to the overall rural character. Separation distances also ensure that the rural environment is maintained. This is the context of the proposal which will shape the following notification assessment.

Therefore, the adverse effects within the receiving environment must be assessed within the context of the operative zoning for the site and the surrounding environment as well as the PDP rules with legal effect.

Accordingly, the following assessment will compare the effects of the proposal against those expected by reasonably anticipated development whilst regarding relevant special features of the site that specifically require review by the Council.

When considering the application Council has the ability to assess all aspects of the proposal with limits on the exercise of its discretion. However, some assistance on such matters can be found within the rules breached by the proposal. The assessment is undertaken in Table 4 below below.

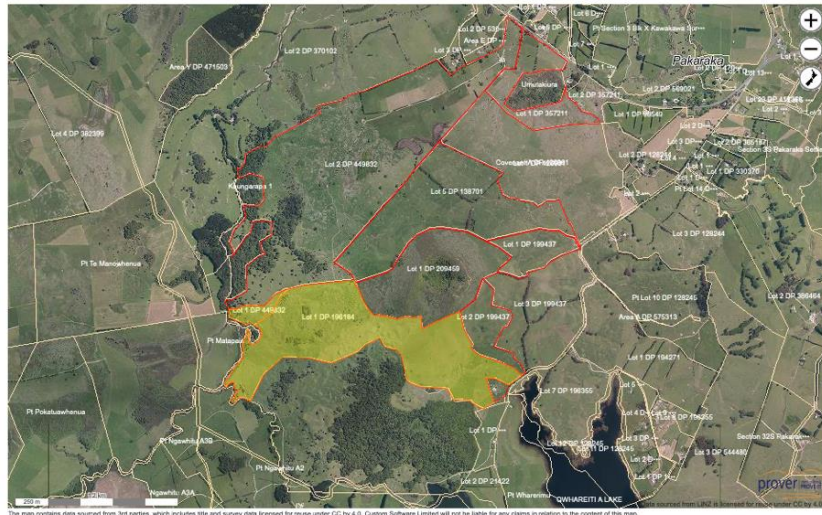
Table 4: Assessment of Effects of the Proposal

Matter	Assessment
Positive Effects	<p>The proposal includes positive benefits to the applicant that allows him to accommodate workers on his site. There is flow on benefits to those workers who are carrying out rural production activities on the landholding. These activities support the intent of the zone.</p> <p>There will be economic benefits from the activity in terms of goods</p>

	<p>and services procured as well as construction activity from the proposal.</p> <p>The supplementary reports in terms of archaeological and landscape and visual matters offer recommendations to the proposal which are of a positive nature and assist with the management of the development in its unique location.</p>
<p>Landscape and Visual Effects</p>	<p>The proposal is supported by a Landscape and Visual Effects assessment prepared by Hawthorn Landscape Architects.</p> <p>That assessment considers the proposal in light of the various landscape features present on and near the site.</p> <p>It concludes that due to the location of the development [close to Ludbrook Road where other development is consolidated, on the lower flanks of Pouerua, and near the fringe of the Heritage Precinct], the developments modest scale, adherence to colours, and proposed integration planting that effects will be less than minor. I concur with this assessment.</p>
<p>Archaeological Effects</p>	<p>The proposal has been considered by Time Depth Enterprises. The Archaeological Report considers the development in relation to the archaeological features pertaining to the site and surrounds.</p> <p>The site and proposed development area sits within a mosaic of historic activities and recorded features that give rise to a prominent number of recorded archaeological sites.</p> <p>The report notes the difficulty in exposing further sites without the removal of topsoil and therefore, the report writer proposes a precautionary approach to the proposed development whereby a General Authority is pursued from Heritage New Zealand prior to any works commencing.</p> <p>Following that approach, the report writer also recommends that:</p> <ul style="list-style-type: none"> • All topsoil removal be monitored by an archaeologist; • Notification processes be followed if archaeological features / evidence is found and if found, are recorded, investigated and sampled; • All plant locations be tested prior to planting to determine whether archaeological features exist • No deep rooting plants be used; • If human remains are exposed during development, again works must cease and the local tangata whenua and HNZPT be contacted; • That tangata whenua should also be consulted.

	<p>Therefore, the approach recommended is considered to provide a pathway where at the least effects will be mitigate if not avoided. As such the effects are considered to be less than minor.</p>
<p>Effects to Tangata Whenua</p>	<p>The proposed development is located between Pouerua, Lake Owhareiti, Manowhenua and Ngahuhu Pa. All of these are mapped Sites of Cultural Significance to Maori.</p> <p>These sites are not located on the application site, rather they are in the surrounds. The primary sites of concern are Pouerua and Lake Owhareiti.</p> <p>Pouerua is of great cultural significance, so much so that the Te Taitokerau Maori Trust Board purchased and subdivided the site off and set is aside as a Maori Reservation under s241[2] of the RMA.</p> <p>The title specifically notes:</p> <p><i>“Set apart for the purpose of preserving the spiritual and cultural significance of the maunga to Ngapuhi-nui-tonu being of great significance to the cultural and customary ways of Ngapuhi in life, to be known as Pouerua for the common use and benefit of the iwi of Tai Tokerau”</i></p> <p>The applicant has received the written approval of the landowner - the Te Taitokerau Maori Trust Board. Given their approval and noting the importance they place on the adjacent site, I consider that the effects of the modest proposal have been appropriate considered.</p> <p>In terms of potential effects to Lake Owhareiti and the relevant tangata wheua, these could revolve around impacts associated with stormwater, wastewater, earthworks, and amenity.</p> <p>Stormwater is proposed to be controlled with a water tank catching all associated roof water. When / if this overflows this will be in a controlled manner to a formalized dispersal trench.</p> <p>In terms of wastewater, the effluent field is located more than 60m away from Ludbrook Road. It is not expected that a new modern system would or could leach down this 60m extent, cross Ludbrook Road and then enter the Lake.</p> <p>In terms of earthworks, as above this will all be monitored by an archaeologist to ensure that any cultural artefacts or human remains found will be appropriately considered and all parties notified.</p>

	<p>From an amenity perspective, the proposal is of a modest size, aligns with the housing unit at the adjacent site and will not be inappropriate in its proposed location.</p> <p>In relation to the proposal the applicant has made contact with both Ngati Hine and Ngapuhi runanga but there has been no response received to date.</p> <p>There are no known effects to cultural or spiritual effects and presumably these are limited at the development area or this site would also be mapped as a Site of Cultural Significance, which it is not.</p> <p>As the site is not formally impacting the mapped sites of significance, written approval has been received, and effects can be appropriately mitigated or avoided, effects to tangata whenua are considered to be less than minor.</p>
<p>Effects of the Building within the Pouerua Heritage Precinct</p>	<p>The development is proposed to be located near Ludbrook Road where other development is located.</p> <p>The nearest dwelling is located at 324 Ludbrook Road which is ~110m from the proposal development. The Landscape & Visual Effects Assessment comments that the location of the development is in keeping with the surrounds, being located at the lower flanks of Pouerua and on the fringe of the Heritage Precinct.</p> <p>The dwelling is already recessively coloured according to the Visual Assessment. These colours are considered appropriate by the landscape architect.</p> <p>The dwelling itself has a steel roof and weatherboard cladding. It has aluminum joinery for windows and entranceways. These features are not uncommon in the environment and on completion will represent a typical dwelling.</p> <p>The proposed dwelling has no heritage value in itself. The heritage value of Pouerua is recognized through the various overlays applicable to the site which have in turned been assessed in relation to the proposal above. For those reasons, the proposal is not considered to affect the Heritage Precinct in a minor or more than minor manner.</p>
<p>Effects to Persons</p>	<p>The application contains the written approvals from the parcels highlighted in red below. The site is shown in yellow.</p> <p>Effects to these parties do not need to be considered.</p>

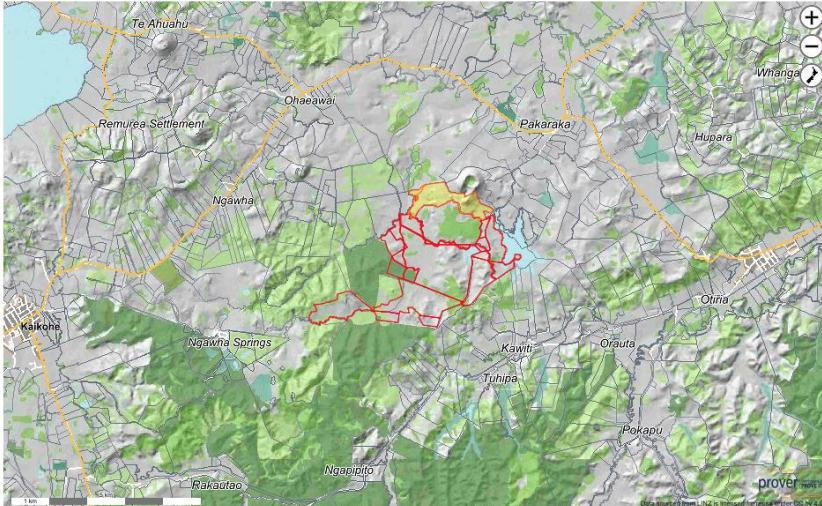


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The effects to tangata whenua have been considered above, these effects are considered to be less than minor.

Sites to the south and surrounds are largely owned by Ngawhitu Limited. The image below details the ownership stake of Ngawhitu Limited in relation to the wider environment.

As the applicant, approval is implied from these landholdings.



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On this basis, the proposal either has written approval from all relevant parties and where this is not received, there are considered to be no adversely affected persons.

Notification Assessment
Public Notification Assessment (Sections 95A, 95C-95D)

Section 95A specifies the steps to follow to determine whether an application is to be publicly notified. These steps are addressed in the statutory order below.

Step 1: Mandatory public notification in certain circumstances

No mandatory notification is required as:

- We are not requesting the application be publicly notified (s95A(3)(a))
- There are no outstanding or refused requests for further information (s95C and s95A(3)(b)), and
- The application does not involve any exchange of recreation reserved land under s15A of the Reserves Act 1977 (s95A(3)(c)).

Step 2: if not required by step 1, public notification precluded in certain circumstances

Public notification of a resource consent application for an activity which:

- 95A(5)(a) the resource consent activity is subject to a rule or national standard which precludes public notification
- 95A(5)(b) - the application is for a resource consent for 1 or more of the following, but no other, activities:
 - A controlled activity
 - a restricted discretionary, discretionary, or non-complying activity, but only if the activity is a boundary activity:

In this case public notification is not precluded.

Step 3: if not precluded by step 2, public notification required in certain circumstances

Step 3 describes that where public notification is not precluded by step 2, it is required if a rule or NES requires public notification, or if the activity is likely to have adverse effects on the environment that are more than minor (ss95A(7) and s95A(8)).

- No rule or NES requires public notification in relation to this application.
- The adverse effects on the environment has been assessed in detail above and it is concluded that these will be less than minor. Therefore, public notification is not required.

Step 4: public notification in special circumstances

If an application has not been publicly notified as a result of any of the previous steps, then the council is required to determine whether special circumstances exist that warrant it being publicly notified (s95A(9)).

Special circumstances are those that are:

- exceptional or unusual, but something less than extraordinary
- outside of the common run of applications of this nature, or
- circumstances which make notification desirable, notwithstanding the conclusion that the adverse effects will be less than minor.

There is nothing special, unusual or out of the ordinary with this activity being a development that is complementary and anticipated by the ODP and PDP within the Rural Production Zone and common place across the district. As such, it is considered there are no reasons to warrant public notification of the application.

Limited Notification Assessment (Sections 95B, 95E)

As with the amendments to Section 95A, Section 95B also entails a number of steps that must be followed to determine whether an application should be subject to limited notification.

Step 1 relates to the consideration of certain affected groups and affected persons.

There are no such groups or persons who would be affected by the proposal.

Step 2 details situations where limited notification is precluded (if not required under step 1).

The application is not for a controlled activity (but no other activities) that requires a resource consent under a district plan (other than a subdivision of land).

Step 3 outlines situations where affected persons must be notified if such notification is not precluded under step 2.

Determine whether, in accordance with section 95E the following persons are affected persons:

- in the case of a boundary activity, an owner of an allotment with an infringed boundary; and
- in the case of any activity prescribed under section 360H(1)(b) a prescribed person in respect of the proposed activity.
- In the case of any other activity, determine whether a person is an affected person in accordance with section 95E.
- Notify each affected person identified above of the application.

This assessment has been undertaken above.

Step 4 is the last step and relates to the consideration of special circumstances and whether these would warrant notification to persons not already determined to be eligible for limited notification.

It is not considered that there are any special circumstances that would warrant limited notification.

Notification Conclusion

Overall, it is considered that this application satisfies the relevant provisions of S95A, 95D, 95B and 95E and can lawfully be assessed without notification or the requirement for written approvals from any persons.

Relevant Statutory Documents

National Policy Statements & National Environmental Standards

The site is not considered to be implicated by the following relevant policy statements:

- New Zealand Coastal Policy Statement – the site is not within the Coastal Environment as mapped by the Northland Regional Council.
- National Policy Statement for Highly Productive Land – the site does not contain any Class 1-3 soils.

- National Policy Statement for Urban Development – the site is not urban.
- National Policy Statement for Indigenous Biodiversity – no vegetation clearance is required / proposed.
- National Policy Statement for Freshwater Management – these relate to regional and local authority requirements.

The site is not considered to be implicated by the following relevant environmental standards:

- National Environmental Standard for Assessing and Managing Contaminants in Soil to Protect Human Health – there is no evidence to suggest that the site has been undertaken for activities on the HAIL.
- National Environmental Standard for Freshwater – This is not considered relevant. Refer to [Table 5](#) below.

Table 5: Assessment of NES Freshwater

NES Freshwater	
Rule	Assessment
Part 2 Standards for Farming Activities	Not applicable Complies
Part 3 Scientific Research	Not applicable Complies
Part 3 Construction of Wetland Utility Structures	Not applicable Complies
Part 3 Maintenance of Wetland Utility Structure	Not applicable Complies
Part 3 Construction of Specified Infrastructure	Not applicable Complies
Part 3 Quarrying Activities	Not applicable Complies
Part 3 Landfills and Cleanfill Areas	Not applicable Complies
Part 3 Urban Development	Not applicable Complies
Part 3 Extraction of Minerals and Ancillary Activities	Not applicable Complies
Part 3 Maintenance and Operation of Specified	Not applicable Complies

Infrastructure & Other Infrastructure	
Part 3 Sphagnum Moss Harvesting	Not applicable Complies
Part 3 Natural Hazard Works	Not applicable Complies
Part 3 Drainage of Natural Wetlands	Not applicable Complies
Part 3 Other Activities	There is no vegetation clearance proposed within 10m of the wetland. There are no earthworks proposed within 10m of the wetland. There is no taking, damming or diversion of water within 100m of the wetland. There is no discharge proposed to water. Discharge is proposed to land. Complies

Regional Policy Statements & Plans

The subject site is within the Northland region and is subject to the governing objectives and policies of the RPS. The following table assesses the relevant provisions in the RPS.

Table 6: Assessment of Regional Policy Statements & Plans

Northland Regional Policy Statement	
Objective / Policy	Comment
Integrated Catchment Management	Not relevant
Region Wide Water Quality	Not relevant
Ecological Flows and Water Quality	Not relevant
Indigenous Ecosystems & Biodiversity	There are no SNAs on the site.
Enabling Economic Wellbeing	The proposal itself will generate economic wellbeing and employment and will assist with rural production activities within the region.
Economic Activities – Reverse	The activity proposed does not sterilize surrounding

Sensitivity and Sterilization	activities.
Regionally Significant Infrastructure	The proposal does not impact any regionally significant infrastructure.
Efficient and Effective Infrastructure	The proposal seeks to use existing FNDC infrastructure where appropriate or is otherwise serviced appropriately.
Security of Energy Supply	Power is already provided to the boundary of the site.
Use and Allocation of Common Resources	Not relevant.
Regional Form	The proposal is not considered to result in any reverse sensitivity effects, or a change in character or sense of place.
Tangata Whenua Role in Decision Making	FNDC may send this application to relevant hapū or iwi, noting that the applicant has sought appropriate approvals and undertaken consultation.
Natural Hazard Risk	Natural hazards are not associated with the proposal.
Natural Character, Outstanding Natural Features, Outstanding Natural Landscapes and Historic Heritage	These features have all been assessed within this report and in supplementary reports. The effects of the proposal are not inconsistent with this approach.

In terms of the Proposed Regional Plan, this is not considered to be a relevant plan as there are no rules breached from this document.

Operative and Proposed District Plans

An assessment of the proposal against the relevant objectives, policies and assessment criteria of the ODP and PDP are assessed in the tables below.

With respect to the objectives and policies of 12.1 Landscapes and Natural Features and 12.5A Heritage Precincts of the ODP I rely on and concur with the assessment undertaken within the Landscape and Visual Effects Assessment.

Where that assessment relies on the Archaeological Report for a conclusion I too rely on that report to address the objectives and policies, on a conclusionary basis [i.e the Archaeological Report does not specifically address each objective and policy but through assessment, reaches a conclusion which positively address the objectives and policies as a whole.

Table 7: Assessment of Relevant ODP Objectives and Policies

ODP Rural Environment Objectives & Policies	Assessment
8.3.1 To promote the sustainable management of natural and physical resources of the rural environment.	This is achieved through the proposal.
8.3.2 To ensure that the life supporting capacity of soils is not compromised by inappropriate subdivision, use or development.	Soils are not considered to be compromised by the activity.
8.3.3 To avoid, remedy or mitigate the adverse and cumulative effects of activities on the rural environment.	There are no known cumulative effects.
8.3.4 To protect areas of significant indigenous vegetation and significant habitats of indigenous fauna.	These are not present.
8.3.5 To protect outstanding natural features and landscapes.	This aspect has been assessed above.
8.3.6 To avoid actual and potential conflicts between land use activities in the rural environment.	These conflicts are not present.
8.3.7 To promote the maintenance and enhancement of amenity values of the rural environment to a level that is consistent with the productive intent of the zone.	The amenity values of the environment where the development is proposed is maintained.
8.3.8 To facilitate the sustainable management of natural and physical resources in an integrated way to achieve superior outcomes to more traditional forms of subdivision, use and development through management plans and integrated development.	Subdivision is not proposed.
8.3.9 To enable rural production activities to be undertaken in the rural environment.	The proposal seeks this outcome.
8.3.10 To enable the activities compatible with the amenity values of rural areas and rural production activities to establish in the rural environment.	The proposal seeks this outcome.
8.4.1 That activities which will contribute to the sustainable management of the natural and physical resources of the rural environment are enabled to locate in that environment.	The proposal seeks this outcome.

<p>8.4.2 That activities be allowed to establish within the rural environment to the extent that any adverse effects of these activities are able to be avoided, remedied or mitigated and as a result the life supporting capacity of soils and ecosystems is safeguarded and rural productive activities are able to continue</p>	<p>The proposal is considered to align with this action.</p>
<p>8.4.3 That any new infrastructure for development in rural areas be designed and operated in a way that safeguards the life supporting capacity of air, water, soil and ecosystems while protecting areas of significant indigenous vegetation and significant habitats of indigenous fauna, outstanding natural features and landscapes.</p>	<p>Infrastructure on site is proposed for the development.</p>
<p>8.4.4 That development which will maintain or enhance the amenity value of the rural environment and outstanding natural features and outstanding landscapes be enabled to locate in the rural environment.</p>	<p>The proposal promotes landscaping to support the development.</p>
<p>8.4.5 That plan provisions encourage the avoidance of adverse effects from incompatible land uses, particularly new developments adversely affecting existing land-uses (including by constraining the existing land-uses on account of sensitivity by the new use to adverse affects from the existing use – i.e. reverse sensitivity).</p>	<p>Noted.</p>
<p>8.4.6 That areas of significant indigenous vegetation and significant habitats of indigenous fauna habitat be protected as an integral part of managing the use, development and protection of the natural and physical resources of the rural environment.</p>	<p>These are not present.</p>
<p>8.4.7 That Plan provisions encourage the efficient use and development of natural and physical resources, including consideration of demands upon infrastructure.</p>	<p>Noted.</p>
<p>8.4.8 That, when considering subdivision, use and development in the rural environment, the Council will have particular regard to ensuring that its intensity, scale and type is controlled to ensure that adverse effects on habitats (including freshwater habitats), outstanding natural features and landscapes on the amenity value of the rural environment, and</p>	<p>Noted.</p>

<p>where appropriate on natural character of the coastal environment, are avoided, remedied or mitigated.</p> <p>Consideration will further be given to the functional need for the activity to be within rural environment and the potential cumulative effects of non-farming activities.</p>	
ODP Rural Production Zone Objectives	Assessment
8.6.3.1 To promote the sustainable management of natural and physical resources in the Rural Production Zone.	This is achieved through the proposal.
8.6.3.2 To enable the efficient use and development of the Rural Production Zone in a way that enables people and communities to provide for their social, economic, and cultural well-being and for their health and safety.	This is achieved through the proposal.
8.6.3.3 To promote the maintenance and enhancement of the amenity values of the Rural Production Zone to a level that is consistent with the productive intent of the zone.	The amenity values of the environment where the development is proposed is maintained.
8.6.3.4 To promote the protection of significant natural values of the Rural Production Zone.	These are protected.
8.6.3.5 To protect and enhance the special amenity values of the frontage to Kerikeri Road between its intersection with SH10 and the urban edge of Kerikeri.	Not relevant.
8.6.3.6 To avoid, remedy or mitigate the actual and potential conflicts between new land use activities and existing lawfully established activities (reverse sensitivity) within the Rural Production Zone and on land use activities in neighbouring zones.	This is not an issue.
8.6.3.7 To avoid remedy or mitigate the adverse effects of incompatible use or development on natural and physical resources.	This is not an issue.
8.6.3.8 To enable the efficient establishment and operation of activities and services that have a functional need to be located in rural environments.	Staff accommodation has a functional need to be located in the Rural Environment.

<p>8.6.3.9 To enable rural production activities to be undertaken in the zone.</p>	<p>The proposal is ancillary to rural production.</p>
<p>8.6.4.1 That the Rural Production Zone enables farming and rural production activities, as well as a wide range of activities, subject to the need to ensure that any adverse effects on the environment, including any reverse sensitivity effects, resulting from these activities are avoided, remedied or mitigated and are not to the detriment of rural productivity.</p>	<p>This is considered to be achieved by the proposal.</p>
<p>8.6.4.2 That standards be imposed to ensure that the off-site effects of activities in the Rural Production Zone are avoided, remedied or mitigated.</p>	<p>Noted.</p>
<p>8.6.4.3 That land management practices that avoid, remedy or mitigate adverse effects on natural and physical resources be encouraged.</p>	<p>Noted.</p>
<p>8.6.4.4 That the type, scale and intensity of development allowed shall have regard to the maintenance and enhancement of the amenity values of the Rural Production Zone to a level that is consistent with the productive intent of the zone.</p>	<p>The proposal is modest in scale.</p>
<p>8.6.4.5 That the efficient use and development of physical and natural resources be taken into account in the implementation of the Plan.</p>	<p>Noted.</p>
<p>8.6.4.6 That the built form of development allowed on sites with frontage to Kerikeri Road between its intersection with SH10 and Cannon Drive be maintained as small in scale, set back from the road, relatively inconspicuous and in harmony with landscape plantings and shelter belts.</p>	<p>Not relevant.</p>
<p>8.6.4.7 That although a wide range of activities that promote rural productivity are appropriate in the Rural Production Zone, an underlying goal is to avoid the actual and potential adverse effects of conflicting land use activities.</p>	<p>There are no such conflicting uses.</p>
<p>8.6.4.8 That activities whose adverse effects, including reverse sensitivity effects, cannot be avoided remedied or mitigated are given</p>	<p>There are no reverse sensitivity effects.</p>

separation from other activities	
8.6.4.9 That activities be discouraged from locating where they are sensitive to the effects of or may compromise the continued operation of lawfully established existing activities in the Rural Production zone and in neighbouring zones.	No such issue exists.

Table 7: Assessment of Relevant PDP Objectives and Policies

PDP Rural Production Objectives & Policies	Assessment
RPROZ-R1 The Rural Production zone is managed to ensure its availability for primary production activities and its long-term protection for current and future generations.	This is achieved through the proposal.
RPOZ-R2 The Rural Production zone is used for primary production activities, ancillary activities that support primary production and other compatible activities that have a functional need to be in a rural environment.	This will remain through the proposal.
RPROZ-R3 Land use and subdivision in the Rural Production zone: <ul style="list-style-type: none"> a. protects highly productive land from sterilisation and enables it to be used for more productive forms of primary production; b. protects primary production activities from reverse sensitivity effects that may constrain their effective and efficient operation; c. does not compromise the use of land for farming activities, particularly on highly productive land; d. does not exacerbate any natural hazards; and e. is able to be serviced by on-site infrastructure. 	There is no classified HPL on the site. The activity corresponds to the surrounds being for residential use to support the underlying rural activities. Farming will remain the predominant use. There are no natural hazards of concern and the proposal can be serviced entirely on site.
RPROZ-R4 The rural character and amenity associated with a rural working environment is maintained.	This is achieved.

<p>RPROZ-P1 Enable primary production activities, provided they internalise adverse effects onsite where practicable, while recognising that typical adverse effects associated with primary production should be anticipated and accepted within the Rural Production zone.</p>	<p>This is achieved.</p>
<p>RPROZ-P2 Ensure the Rural Production zone provides for activities that require a rural location by:</p> <ol style="list-style-type: none"> enabling primary production activities as the predominant land use; enabling a range of compatible activities that support primary production activities, including ancillary activities, rural produce manufacturing, rural produce retail, visitor accommodation and home businesses. 	<p>Noted.</p>
<p>RPROZ-P3 Manage the establishment, design and location of new sensitive activities and other non-productive activities in the Rural Production zone to avoid where possible, or otherwise mitigate, reverse sensitivity effects on primary production activities.</p>	<p>The design of the proposal has considered these matters.</p>
<p>RPROZ-P4 Land use and subdivision activities are undertaken in a manner that maintains or enhances the rural character and amenity of the Rural Production zone, which includes:</p> <ol style="list-style-type: none"> a predominance of primary production activities; low density development with generally low site coverage of buildings or structures; typical adverse effects such as odour, noise and dust associated with a rural working environment; and a diverse range of rural environments, rural character and amenity values throughout the district. 	<p>These matters are achieved.</p>

<p>RPROZ-P5 Avoid land use that:</p> <ul style="list-style-type: none"> a. is incompatible with the purpose, character and amenity of the Rural Production zone; b. does not have a functional need to locate in the Rural Production zone and is more appropriately located in another zone; c. would result in the loss of productive capacity of highly productive land; d. would exacerbate natural hazards; and e. cannot provide appropriate on-site infrastructure 	<p>The policy avoids such matters.</p>
<p>RPROZ-P6 Avoid subdivision that:</p> <ul style="list-style-type: none"> a. results in the loss of highly productive land for use by farming activities; b. fragments land into parcel sizes that are no longer able to support farming activities, taking into account: <ul style="list-style-type: none"> i. the type of farming proposed; and ii. whether smaller land parcels can support more productive forms of farming due to the presence of highly productive land. c. provides for rural lifestyle living unless there is an environmental benefit. 	<p>Not relevant.</p>
<p>RPROZ-P7 Manage land use and subdivision to address the effects of the activity requiring resource consent, including (but not limited to) consideration of the following matters where relevant to the application:</p> <ul style="list-style-type: none"> a. whether the proposal will increase production potential in the zone; b. whether the activity relies on the productive nature of the soil; c. consistency with the scale and character of the rural environment; 	<p>The proposal enhances the production potential of the zone as human interaction is required. The accommodation proposed enhances this potential.</p> <p>The activity does not rely on the productive nature of the soil.</p> <p>A single dwelling [the first for the site] with associated structures are considered to be consistent with the scale and character of the surrounds.</p>

<ul style="list-style-type: none"> d. location, scale and design of buildings or structures; e. for subdivision or non-primary production activities: <ul style="list-style-type: none"> i. scale and compatibility with rural activities; ii. potential reverse sensitivity effects on primary production activities and existing infrastructure; iii. the potential for loss of highly productive land, land sterilisation or fragmentation f. at zone interfaces: <ul style="list-style-type: none"> i. any setbacks, fencing, screening or landscaping required to address potential conflicts; ii. the extent to which adverse effects on adjoining or surrounding sites are mitigated and internalised within the site as far as practicable; g. the capacity of the site to cater for on-site infrastructure associated with the proposed activity, including whether the site has access to a water source such as an irrigation network supply, dam or aquifer; h. the adequacy of roading infrastructure to service the proposed activity; i. Any adverse effects on historic heritage and cultural values, natural features and landscapes or indigenous biodiversity; j. Any historical, spiritual, or cultural association held by tangata whenua, with regard to the matters set out in Policy TW-P6. 	<p>The site is adjoined on all sides by Rural Production zoning. There are no interface issues.</p> <p>The proposal can be serviced on site by infrastructure.</p> <p>Roading infrastructure to the site is considered sufficient.</p> <p>Historic heritage effects have been considered above. So too have cultural values, and outstanding landscapes and features.</p>
---	---

PDP Heritage Area Objectives & Policies	Assessment
<p>HA-O1 The heritage values of Heritage Area Overlays, as derived from the sites, buildings and objects of historic significance, archaeological sites and landform, are identified and protected.</p>	<p>These are considered to already be protected through the PDP.</p>
<p>HA-P1 To protect the unique heritage values of each Heritage Area overlay by:</p> <ol style="list-style-type: none"> identifying and protecting the heritage buildings, objects and sites, and archaeological sites within the Heritage area overlay; maintaining the architectural and historical integrity of scheduled Heritage Resources; acknowledging the surrounds or setting of the Heritage area overlay which has an important relationship with the values of the Heritage Resources; providing for construction and alteration of buildings or structures when they contribute to the cultural values, character and heritage values of the Heritage area overlay; and providing for the demolition of non-heritage buildings or structures when they do not contribute to the cultural values, character and heritage values of the Heritage area overlay. 	<p>There are no heritage buildings, objects or sites at the development area.</p> <p>There may be archaeological sites at the development area, but as per the Archaeological Report, these can't be identified unless topsoil is removed. Otherwise, the proposal does not affect those resources already recognised on the site.</p>
<p>HA-P12 To maintain the integrity of the Pouerua Heritage area overlay and protect the heritage values by:</p> <ol style="list-style-type: none"> recognising that Pouerua sits within a rural farming landscape with numerous Māori stone field systems, and historical drywall boundaries which reflect early rural subdivisions; and protecting the Sites and Areas of Significance to Māori, the pa sites and other landscape features which share a strong contextual and visual connection with the central Pouerua Pa. 	<p>The proposal is considered to recognise and protect these matters.</p>
<p>HA-P13 To enable subdivision and land use which recognises and protects the cultural</p>	<p>As above.</p>

<p>and heritage values of Pouerua, and the strong connection and context of Pouerua scoria cone, Ohaewai volcanic field and Ngahuha scoria cone.</p>	
--	--

Section 88A(2) provides that "any plan or proposed plan which exists when the application is considered must be had regard to in accordance with section 104(1)(b)." This requires applications to be assessed under both the operative and proposed objective and policy frameworks from the date of notification of the proposed district plan.

In the event of differing directives between objective and policy frameworks, it is well established by case law that the weight to be given to a proposed district plan depends on what stage the relevant provisions have reached, the weight generally being greater as a proposed plan moves through the notification and hearing process.

In *Keystone Ridge Ltd v Auckland City Council*, the High Court held that the extent to which the provisions of a proposed plan are relevant should be considered on a case by case basis and might include:

- The extent (if any) to which the proposed measure might have been exposed to testing and independent decision making;
- Circumstances of injustice; and
- The extent to which a new measure, or the absence of one, might implement a coherent pattern of objectives and policies in a plan.

The Proposed District Plan (PDP) was notified in July 2022.

It is considered that the PDP has not gone through sufficient process to allow a considered view of the objectives and policies for the relevant zones and overlays. However for completeness an assessment is provided and the objectives and policies in the operative district plan are assessed accordingly.

In summary however It is considered that the application is consistent with the relevant objectives and policies in the PDP.

Consideration Of Part 2 Matters

Purpose

Section 5 identifies the purpose of the RMA as the sustainable management of natural and physical resources. This means managing the use of natural and physical resources in a way that enables people and communities to provide for their social, cultural and economic well-being while sustaining those resources for future generations, protecting the life supporting capacity of ecosystems, and avoiding, remedying or mitigating adverse effects on the environment.

Principles

Section 6 sets out a number of matters of national importance which need to be recognised and provided for. These include the protection of outstanding natural features and landscapes, the protection of areas of significant indigenous vegetation and significant habitats of indigenous fauna, and the protection of historic heritage.

Section 7 identifies a number of “other matters” to be given particular regard by the council in considering an application for resource consent. These include the efficient use of natural and physical resources, and the maintenance and enhancement of amenity values.

Section 8 requires the council to take into account the principles of the Treaty of Waitangi.

It is considered that all of these relevant matters have been appropriately addressed through this application and associated reports.

CONCLUSION

This assessment concludes that adverse effects on the environment arising from the proposal will be less than minor and, on this basis, pursuant to Section 95 of the Resource Management Act, this proposal should be processed without the requirement for public or limited notification and without the requirement for the written approval of any specific persons.

Overall, the actual and potential effects of the proposal in relation to s104(1)(a) will be acceptable in nature noting that the proposal will not have adverse effects on the environment. The assessment also concludes that the proposal will be consistent with the relevant provisions of the Far North District Plan and will achieve the purpose of the RMA. Therefore, as a discretionary activity it is considered that the proposal is not at odds with the objectives and policies of the FNDP and will have less than minor effects on the environment. This similarly applies to the Proposed District Plan.

Accordingly, it is considered that the statutory requirements of Section 104, 104B, and Part 2 of the Resource Management Act, 1991 are satisfied.

On this basis land use consent can be granted to the proposal.

Report Prepared By:



J V Kemp
Principal Consultant

Reviewed by:



Steven Sanson
Director | Consultant Planner



**RECORD OF TITLE
UNDER LAND TRANSFER ACT 2017
FREEHOLD**

**Guaranteed Search Copy issued under Section 60 of the Land
Transfer Act 2017**




R.W. Muir
Registrar-General
of Land

Identifier **570882**
Land Registration District **North Auckland**
Date Issued 24 September 2012

Prior References

338129 NA125A/844

Estate Fee Simple
Area 94.9220 hectares more or less
Legal Description Lot 1 Deposited Plan 196184 and Lot 1
Deposited Plan 449832

Registered Owners

Ngawhitu Limited

Interests

Appurtenant to Lot 1 DP 449832 is a right to convey water created by Transfer B422794.2

Appurtenant Lot 1 DP 196184 is a water supply right created by Transfer C007043.2

Subject to a water supply right over part Lot 1 DP 196184 marked A on DP 138701 created by Transfer C007043.2

Appurtenant Lot 1 DP 196184 is a water supply right specified in Easement Certificate C082265.6 - 15.12.1989 at 2.55 pm

Appurtenant Lot 1 DP 449832 is a right to convey water created by Transfer C955471.3 - 16.2.1996 at 12.51 pm

Appurtenant Lot 1 DP 449832 are rights to convey electricity and water created by Easement Instrument 6733525.3 - 31.1.2006 at 9:00 am

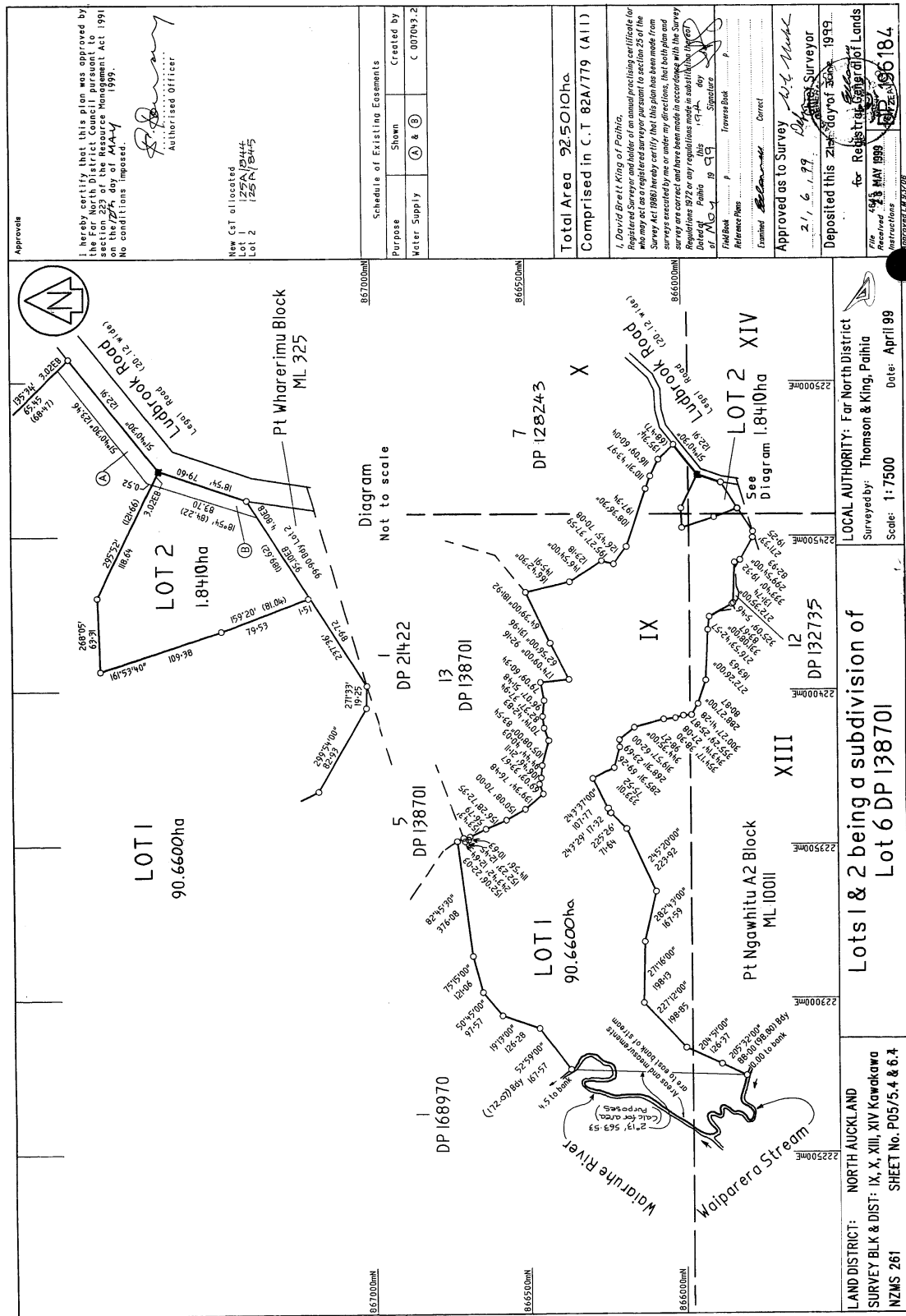
The easements created by Easement Instrument 6733525.3 are subject to Section 243 (a) Resource Management Act 1991

Appurtenant to Lot 1 DP 449832 is a right of way created by Easement Instrument 7584112.3 - 19.10.2007 at 9:00 am

The easements created by Easement Instrument 7584112.3 are subject to Section 243 (a) Resource Management Act 1991

Subject to Section 241(2) Resource Management Act 1991 (affects DP 449832)

9150035.8 Mortgage to ANZ National Bank Limited - 24.9.2012 at 10:52 am



Approve

I hereby certify that this plan was approved by the Far North District Council pursuant to the Resource Management Act 1991 on the 27th day of MAY 1999. No conditions imposed.

[Signature]
Authorised Officer

New GST allocated.
Lot 1 125A/12444
Lot 2 125B/12445

Schedule of Existing Easements		
Purpose	Shown	Created by
Water Supply	(A) & (B)	C 007093.2

Total Area 92.5010ha.
Comprised in C.T. 82A/779 (A11)

I, David Brett King of Pahiā, Registered Surveyor and holder of an annual practising certificate for the Survey Act 1988 hereby certify that this plan has been made from surveys executed by me or under my directions, that both the Survey bearings and distances are true and that the boundaries shown on the plan are correct. My signature is subscribed in accordance with the Survey Act 1988.

Witnessed by
of M.O. p. 99
Reference No. p. 99
Exhibited
Approved as to Survey

21/6/99
Deposited this plan for registration on the 27th day of May 1999

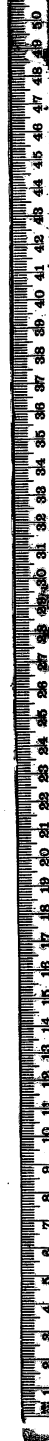
for Registration of Land
1999 MAY 28
INSTRUCTIONS
1999

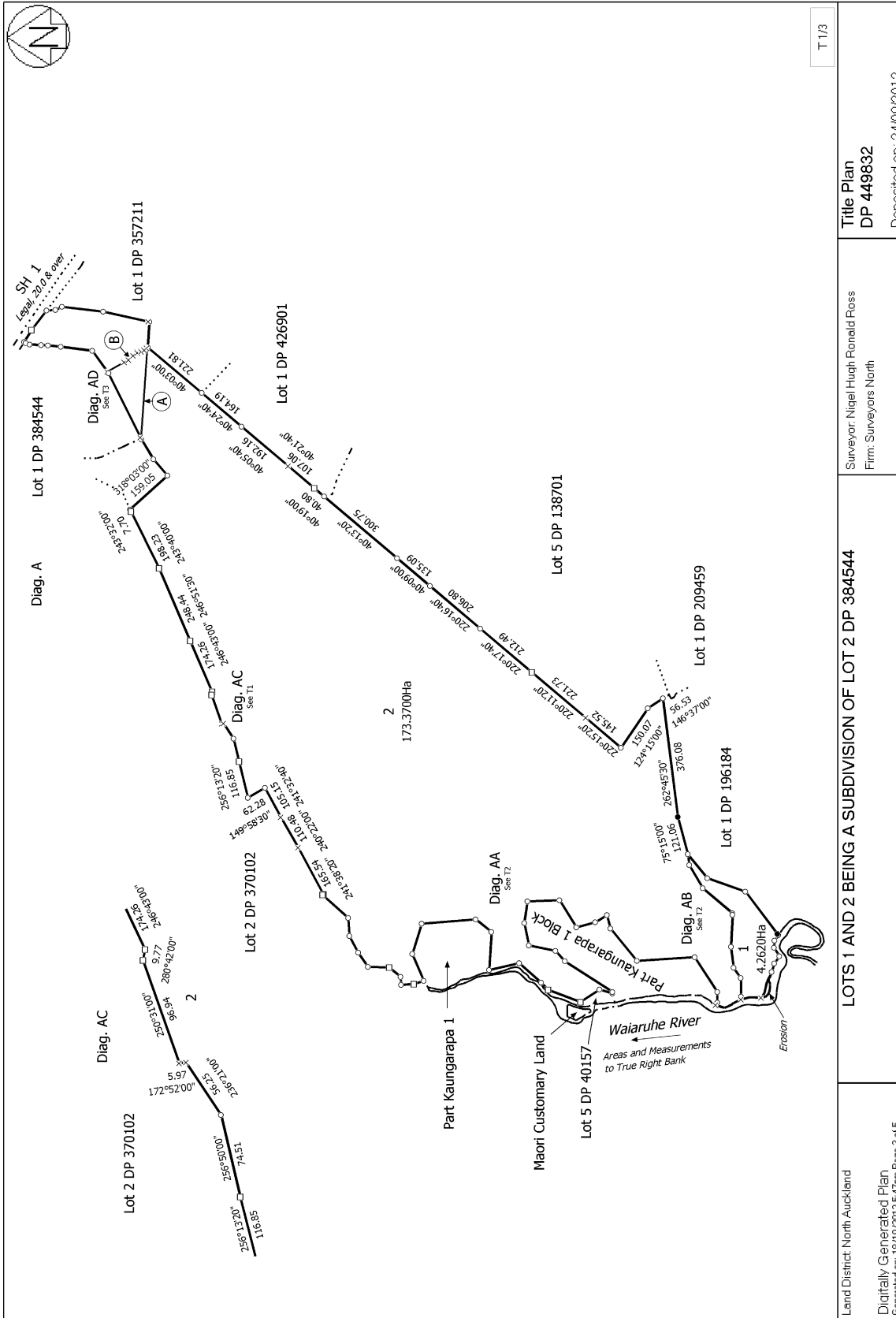
LAND DISTRICT: NORTH AUCKLAND
 SURVEY BLK & DIST: IX, X, XIII, XIV Kawakawa
 NZMS 261 SHEET No. P05/5.4 & 6.4

LOCAL AUTHORITY: Far North District
 Surveyed by: Thomson & King, Pahiā
 Scale: 1:7500 Date: April 99

Lots 1 & 2 being a subdivision of Lot 6 DP 13870

22 JUN 1999





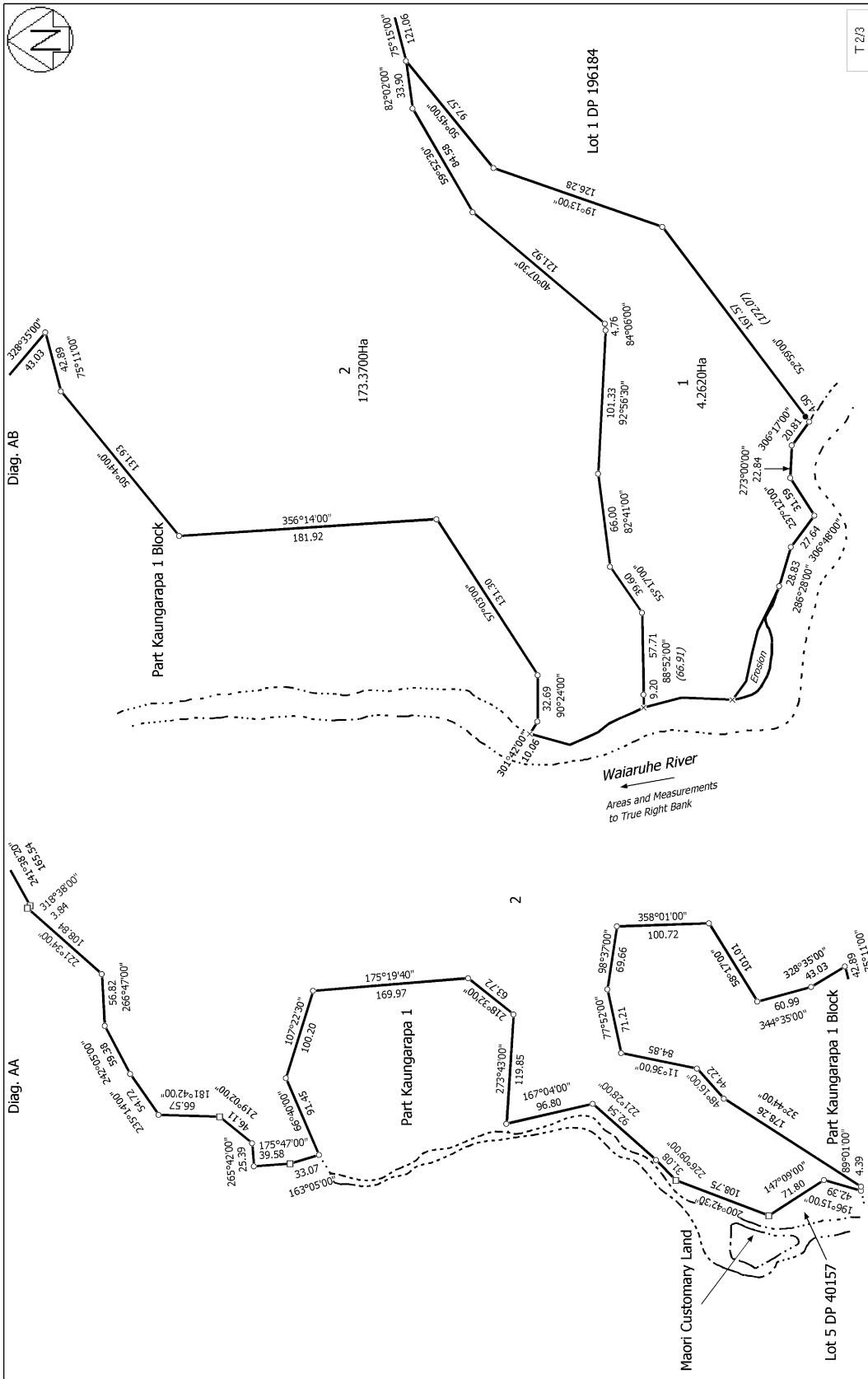
LOTS 1 AND 2 BEING A SUBDIVISION OF LOT 2 DP 384544

Land District: North Auckland
Digitally Generated Plan
Generated on: 18/10/2012 5:47pm Page 3 of 5

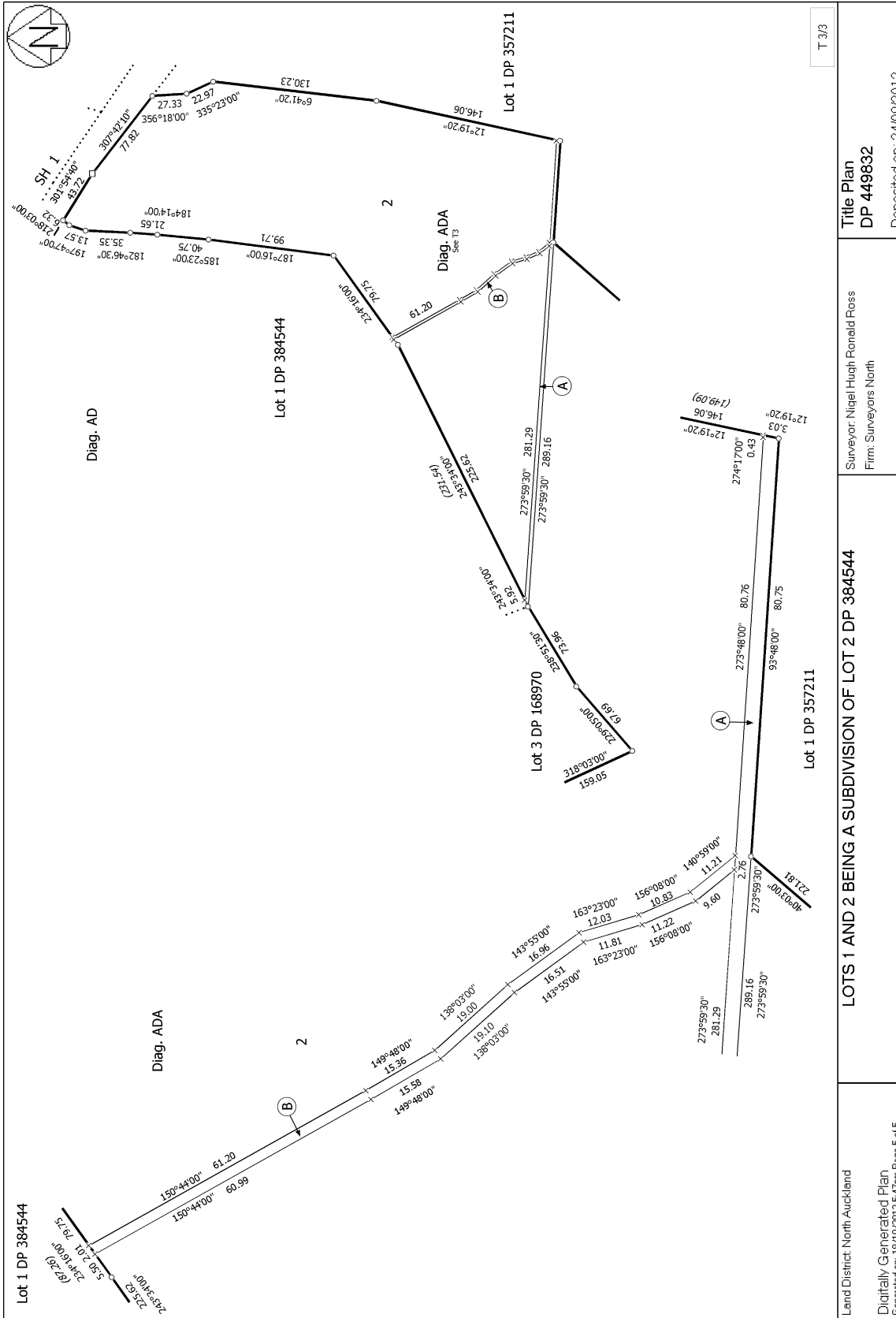
Title Plan
DP 449832

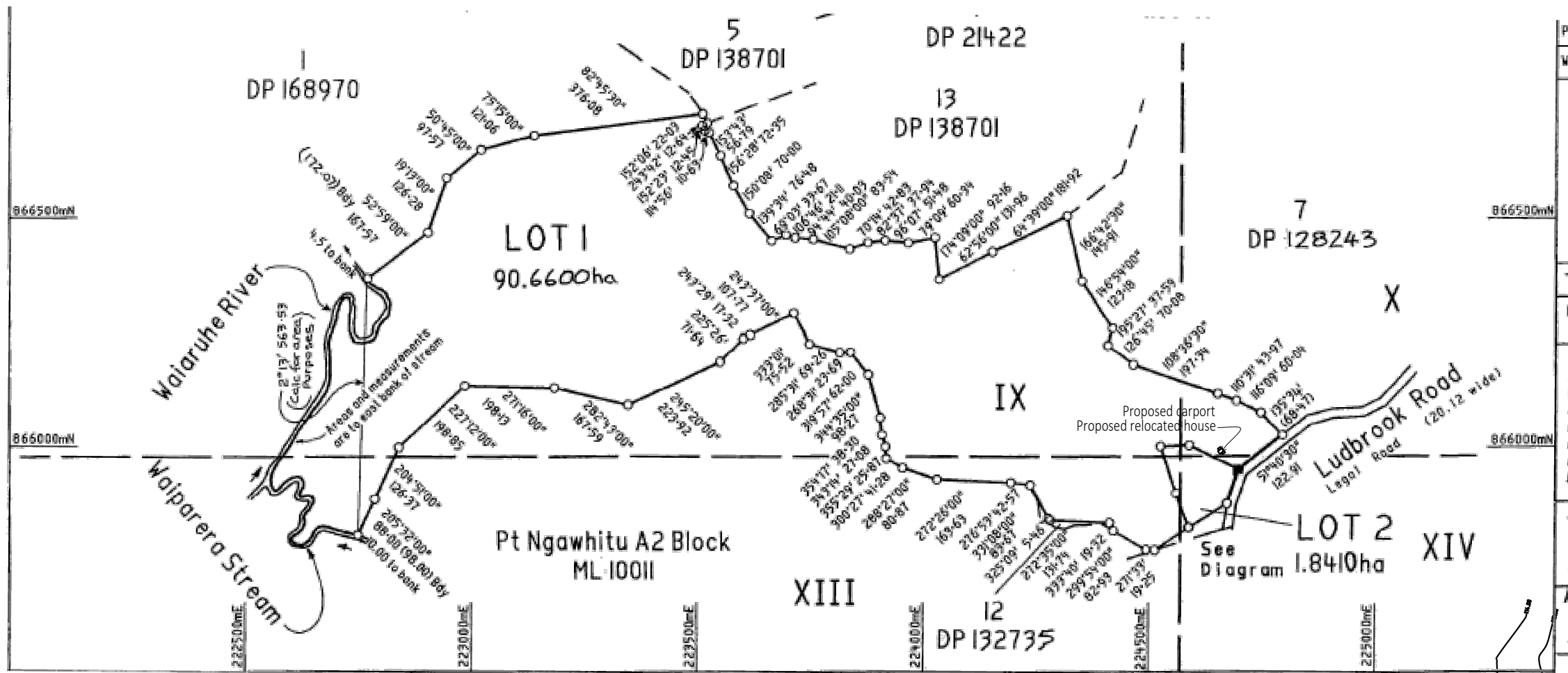
Surveyor: Nigel Hugh Ronald Ross
Firm: Surveyors North

Deposited on: 24/09/2012



<p>Land District: North Auckland</p> <p>Digitally Generated Plan</p> <p>Generated on: 18/10/2012 5:47pm Page 4 of 5</p>	<p>LOTS 1 AND 2 BEING A SUBDIVISION OF LOT 2 DP 384544</p> <p>Surveyor: Nigel Hugh Ronald Ross Firm: Surveyors North</p>	<p>Title Plan DP 449832</p> <p>Deposited on: 24/09/2012</p>
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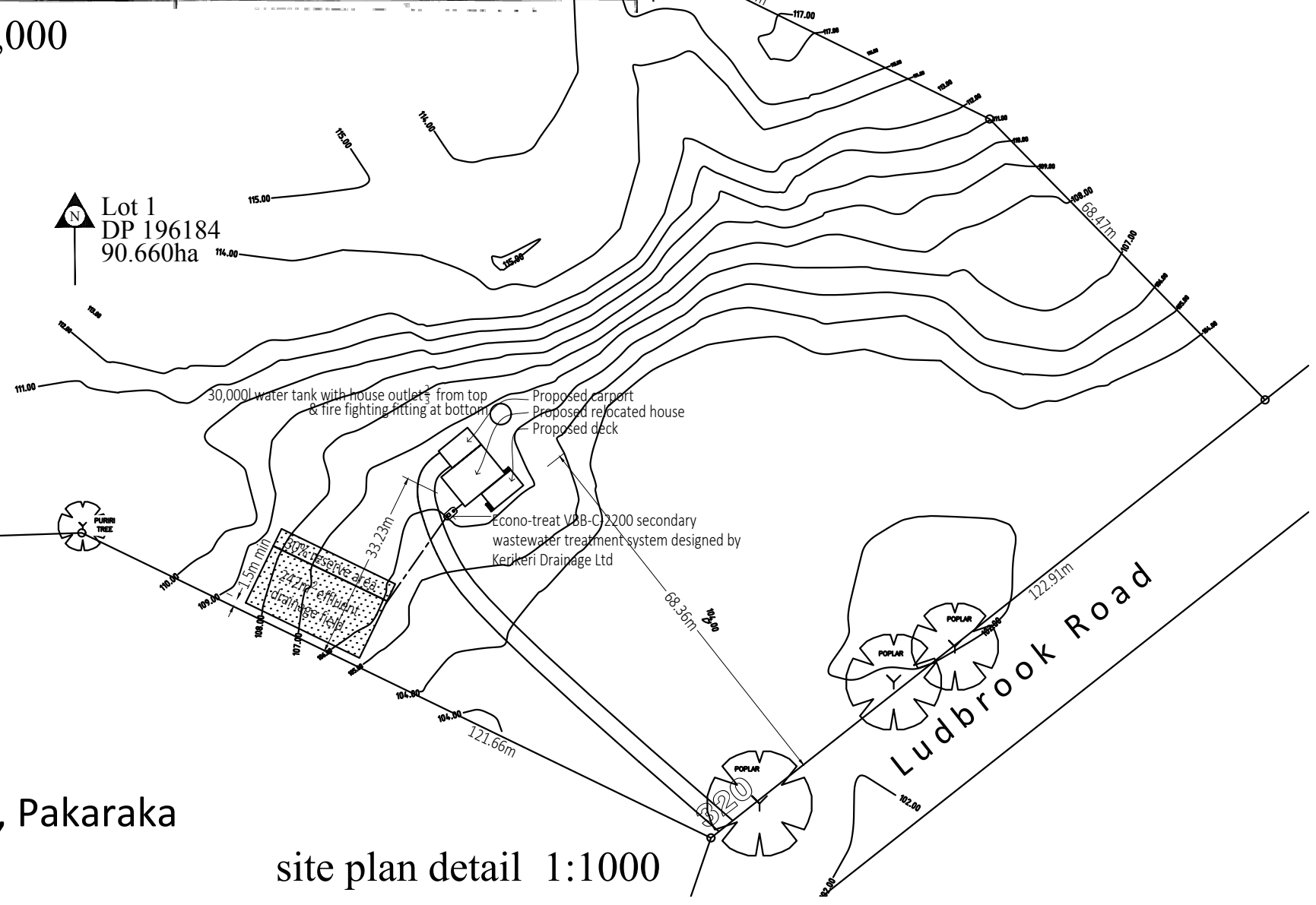


site location 1:10,000

Notes:

- land use zone:**
District Plan zone is Rural Production
- wind zone:**
building site wind zone is Extra High
- exposure zone:**
building site exposure zone is 'B'
- ground:**
see attached geotechnical report by
- topography:**
building platform contour is near flat
- excavation for subfloor:**
maximum depth: <1.2m
maximum volume: <3m³
- plumbing & drainage:**
all plumbing & drainage work is to fully comply with NZBC G13/AS1 & all local body regulations
- wastewater:**
see attached wastewater report by
- stormwater:**
stormwater is to be piped to water tank
overflow is to be piped to dispersion trench
water tank house outlet is to be fitted with a 20micron filter

building coverage:	
area of site	94.9220m ²
Proposed house footprint	59.4m ²
total building coverage	59.4m ²
0.006% of site has building coverage	
12.5% building coverage is permitted	
site coverage:	
area of site	94.9220m ²
Proposed house roof area	72.52m ²
carport	25m ²
driveway & paths	250m ²
total impermeable surfaces	347.52m ²
0.036% of site has impermeable surfaces	
15% impermeable surfaces is permitted	



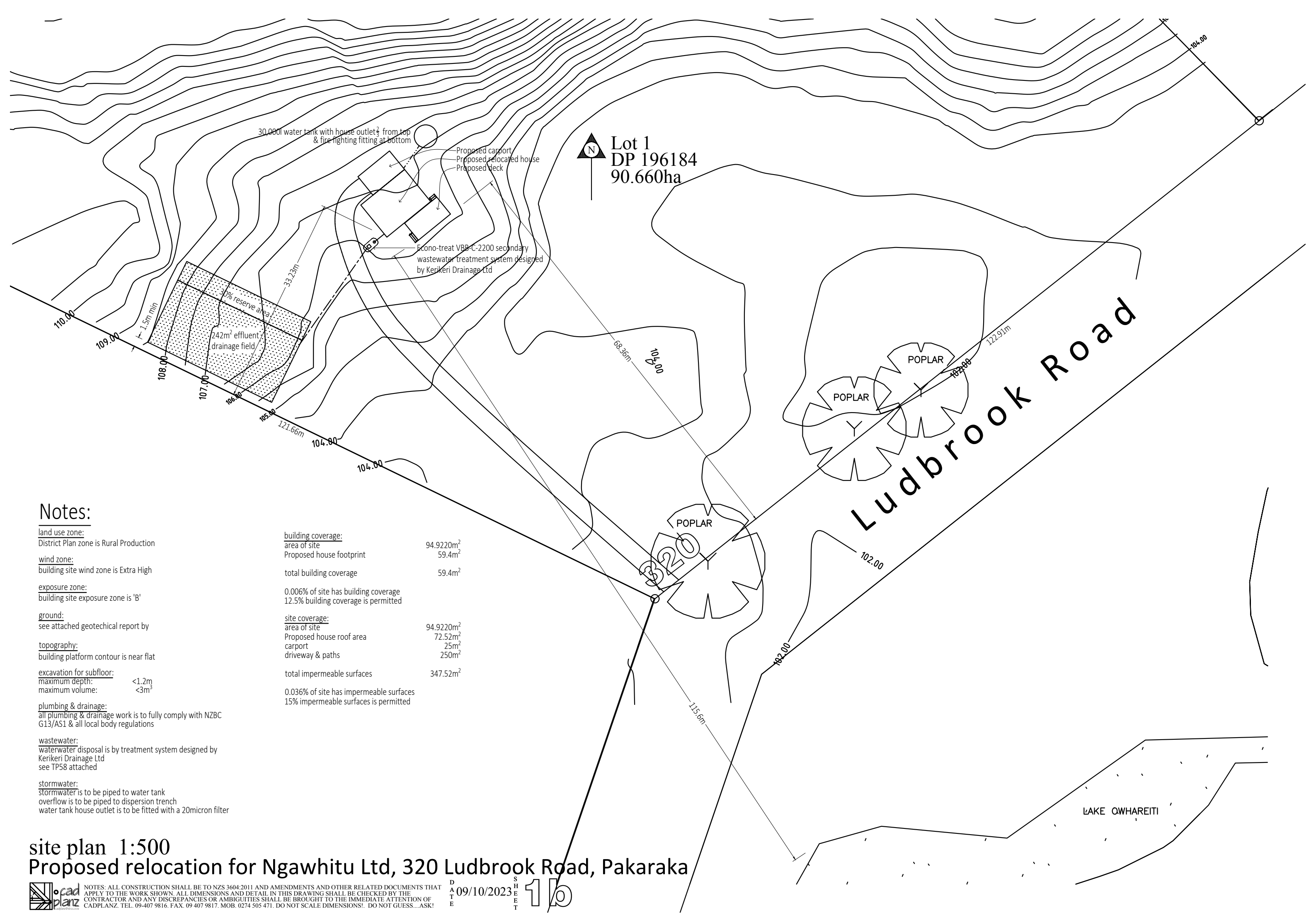
site plan detail 1:1000

site location 1:10,000 & site plan detail 1:1,000
Proposed relocation for Ngawhitu Ltd, 320 Ludbrook Road, Pakaraka

NOTES: ALL CONSTRUCTION SHALL BE TO NZS 3604:2011 AND AMENDMENTS AND OTHER RELATED DOCUMENTS THAT APPLY TO THE WORK SHOWN. ALL DIMENSIONS AND DETAIL IN THIS DRAWING SHALL BE CHECKED BY THE CONTRACTOR AND ANY DISCREPANCIES OR AMBIGUITIES SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF CADPLANZ. TEL. 09-407 9816. FAX. 09 407 9817. MOB. 0274 505 471. DO NOT SCALE DIMENSIONS! DO NOT GUESS...ASK!

DATE 09/10/2023
SHEET 1a





N
Lot 1
DP 196184
90.660ha

Notes:

land use zone:
District Plan zone is Rural Production

wind zone:
building site wind zone is Extra High

exposure zone:
building site exposure zone is 'B'

ground:
see attached geotechnical report by

topography:
building platform contour is near flat

excavation for subfloor:
maximum depth: <1.2m
maximum volume: <3m³

plumbing & drainage:
all plumbing & drainage work is to fully comply with NZBC G13/AS1 & all local body regulations

wastewater:
wastewater disposal is by treatment system designed by Kerikeri Drainage Ltd see TP58 attached

stormwater:
stormwater is to be piped to water tank
overflow is to be piped to dispersion trench
water tank house outlet is to be fitted with a 20micron filter

building coverage:	
area of site	94.9220m ²
Proposed house footprint	59.4m ²
total building coverage	59.4m²
0.006% of site has building coverage	
12.5% building coverage is permitted	
site coverage:	
area of site	94.9220m ²
Proposed house roof area	72.52m ²
carport	25m ²
driveway & paths	250m ²
total impermeable surfaces	347.52m²
0.036% of site has impermeable surfaces	
15% impermeable surfaces is permitted	

site plan 1:500
Proposed relocation for Ngawhitu Ltd, 320 Ludbrook Road, Pakaraka

NOTES: ALL CONSTRUCTION SHALL BE TO NZS 3604:2011 AND AMENDMENTS AND OTHER RELATED DOCUMENTS THAT APPLY TO THE WORK SHOWN. ALL DIMENSIONS AND DETAIL IN THIS DRAWING SHALL BE CHECKED BY THE CONTRACTOR AND ANY DISCREPANCIES OR AMBIGUITIES SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF CADPLANZ. TEL. 09-407 9816. FAX. 09 407 9817. MOB. 0274 505 471. DO NOT SCALE DIMENSIONS!. DO NOT GUESS...ASK!

DATE 09/10/2023
 SHEET 1/1

LAKE OWHAREITI

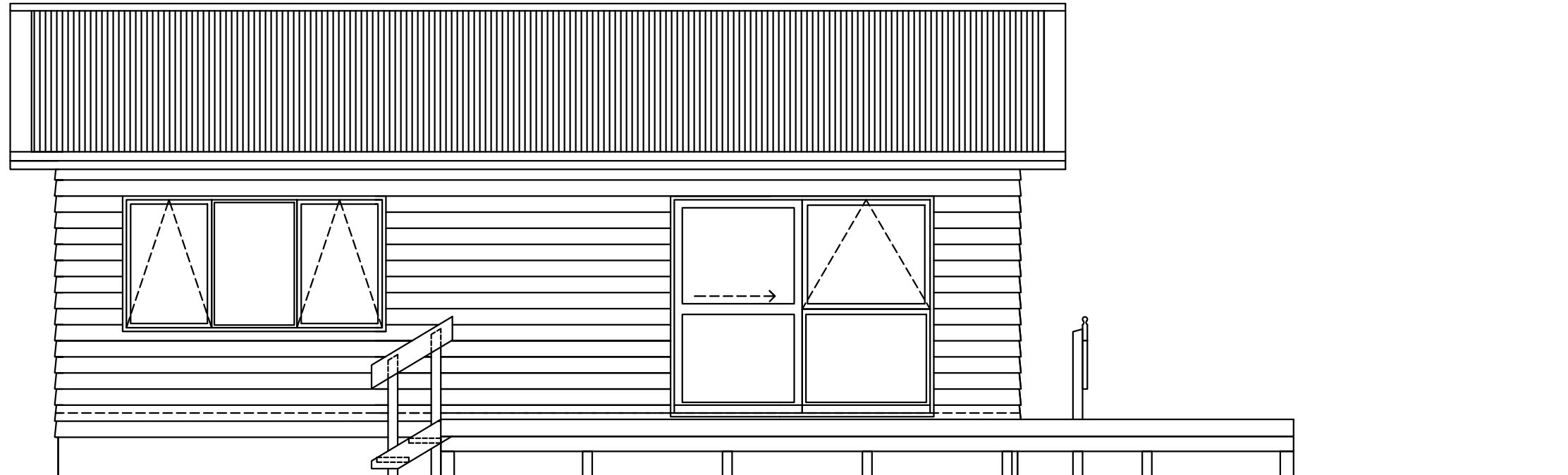
existing house roof & flashings

new 0.55g Colorsteel barge flashings
ex25mm H3.2 fascia
2-190x45 SG8 H3.2 verandah beams

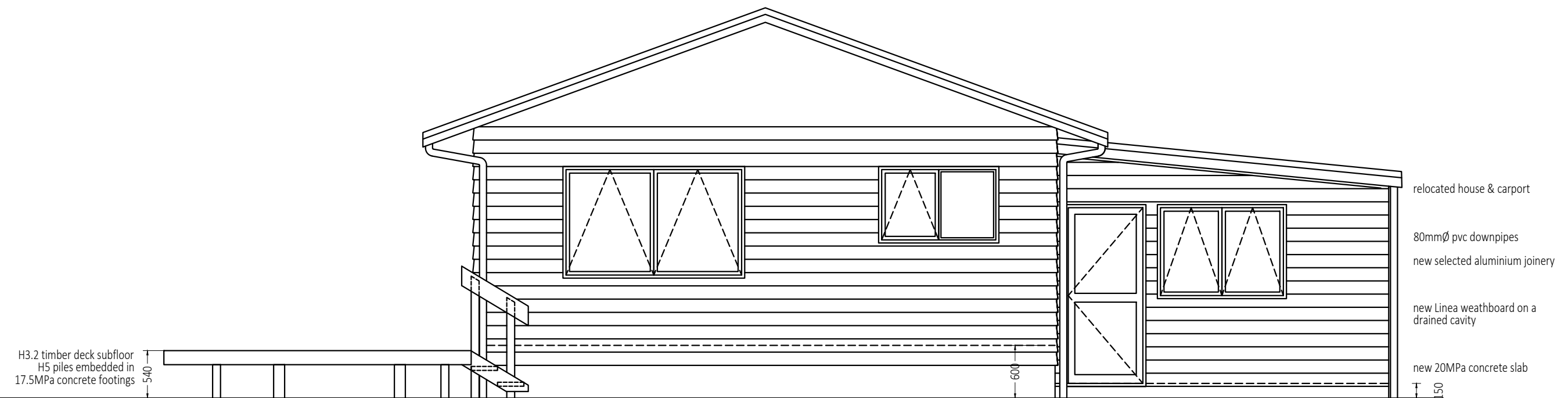
125mm² H5 verandah posts
relocated house

steps with handrail on one side
max rise= 180mm min tread=280mm

H3.2 timber deck subfloor
H5 piles embedded in
17.5MPa concrete footings



south-eastern elevation



H3.2 timber deck subfloor
H5 piles embedded in
17.5MPa concrete footings

steps with handrail on one side
max rise= 180mm min tread=280mm

relocated house & carport

80mmØ pvc downpipes

new selected aluminium joinery

new Linea weathboard on a
drained cavity

new 20MPa concrete slab

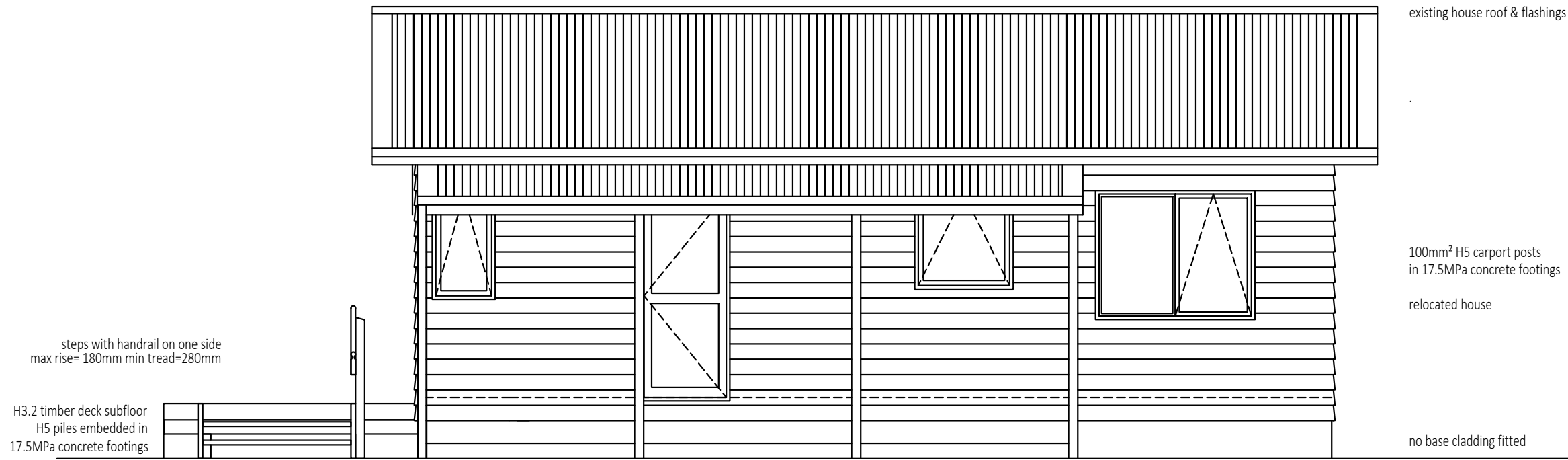
north-eastern elevation

Proposed elevations #1 1:50
Proposed relocation for Ngawhitu Ltd, 320 Ludbrook Road, Pakaraka

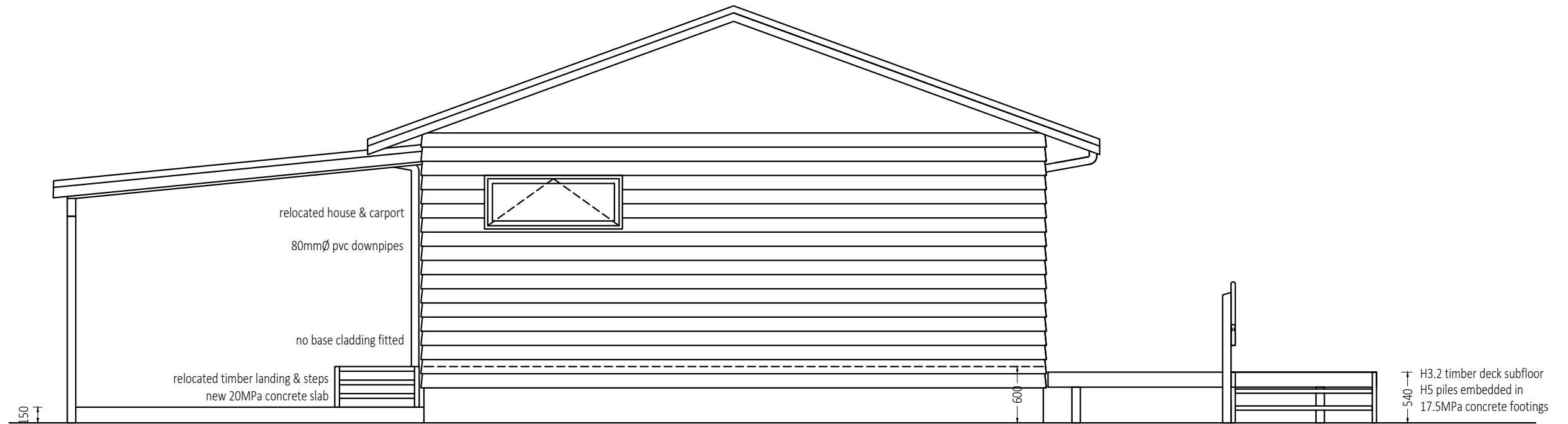


NOTES: ALL CONSTRUCTION SHALL BE TO NZS 3604:2011 AND AMENDMENTS AND OTHER RELATED DOCUMENTS THAT APPLY TO THE WORK SHOWN. ALL DIMENSIONS AND DETAIL IN THIS DRAWING SHALL BE CHECKED BY THE CONTRACTOR AND ANY DISCREPANCIES OR AMBIGUITIES SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF CADPLANZ. TEL. 09-407 9816. FAX. 09 407 9817. MOB. 0274 505 471. DO NOT SCALE DIMENSIONS! DO NOT GUESS...ASK!

DATE 09/10/2023
SHEET 2a



north-western elevation



south-western elevation

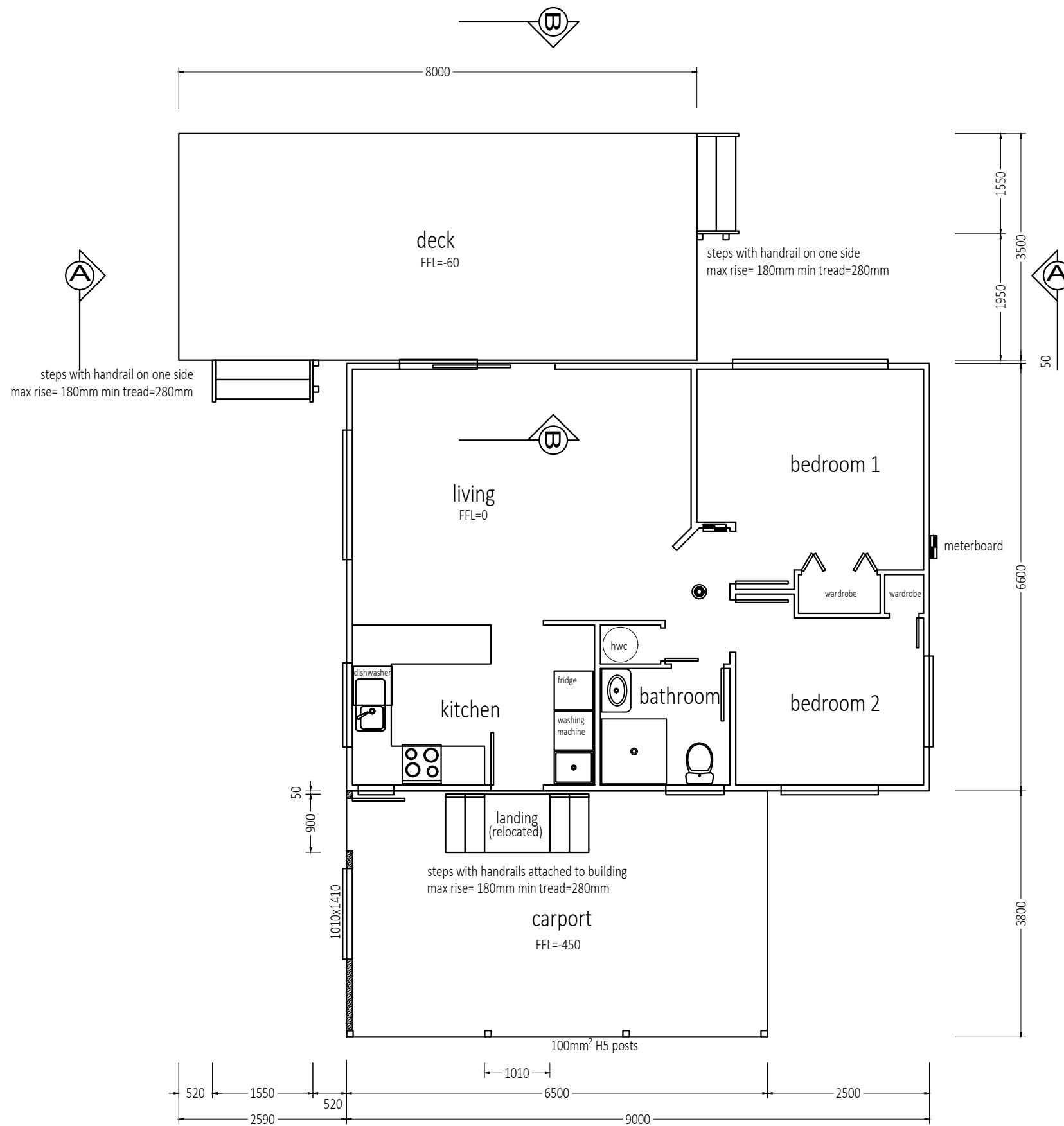
Proposed elevations #2 1:50
 Proposed relocation for Ngawhitu Ltd, 320 Ludbrook Road, Pakaraka



NOTES: ALL CONSTRUCTION SHALL BE TO NZS 3604:2011 AND AMENDMENTS AND OTHER RELATED DOCUMENTS THAT APPLY TO THE WORK SHOWN. ALL DIMENSIONS AND DETAIL IN THIS DRAWING SHALL BE CHECKED BY THE CONTRACTOR AND ANY DISCREPANCIES OR AMBIGUITIES SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF CADPLANZ. TEL. 09-407 9816. FAX. 09 407 9817. MOB. 0274 505 471. DO NOT SCALE DIMENSIONS! DO NOT GUESS...ASK!

DATE 09/10/2023

2b



Notes:

areas:
 House GFA= 59.4m²
 carport= 24.7m²
 new deck= 23.1m²

● denotes smoke alarm

splashbacks:
 all vanities, benches and laundry tubs have splashbacks fitted

wet areas:
 kitchen, laundry & bathroom floors are vinyl
 shower walls are Hardieglaze

safety glass:
 bathroom windows are to be glazed with laminated safety glass

insulation:
 install R1.4 EPS under floor insulation
 walls are insulated with R2.2 batts
 ceiling is insulated with R3.6 batts

ventilation:
 kitchen & bathroom have mechanical ventilation venting to exterior

exterior joinery:
 all exterior joinery is single glazed
 jambs are H3.1 treated

■ denotes distribution board

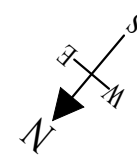
NZBC:
 all work is to comply with relevant clauses of the building code

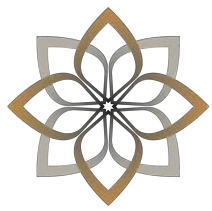
Proposed floor plan 1:75
Proposed relocation for Ngawhitu Ltd, 320 Ludbrook Road, Pakaraka



NOTES: ALL CONSTRUCTION SHALL BE TO NZS 3604:2011 AND AMENDMENTS AND OTHER RELATED DOCUMENTS THAT APPLY TO THE WORK SHOWN. ALL DIMENSIONS AND DETAIL IN THIS DRAWING SHALL BE CHECKED BY THE CONTRACTOR AND ANY DISCREPANCIES OR AMBIGUITIES SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF CADPLANZ. TEL. 09-407 9816. FAX. 09 407 9817. MOB. 0274 505 471. DO NOT SCALE DIMENSIONS!. DO NOT GUESS...ASK!

DATE 09/10/2023
 SHEET 3





HAWTHORN
Landscape Architects

Landscape and Visual Effects Assessment

Proposed Dwelling

320 Ludbrook Road, Pakaraka



Prepared For: Ngawhitu Limited
Prepared By: Christine Hawthorn BLA (Hons)
Date: 4th June 2024

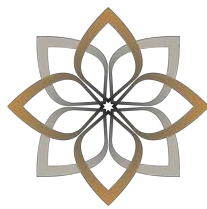


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APPENDICES:

Supplement A: Landscape and Visual Effects Assessment Methodology

Appendix 1 – Location & Photo Location Map

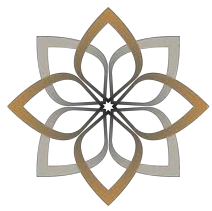
Appendix 2 – Development Plans

Appendix 3 – On Site Photographs

Appendix 4 – Off Site Viewpoints

Appendix 5 – Landscape Plan

Appendix 6 – Landscape Overlay Maps



1. INTRODUCTION

Hawthorn Landscape Architects Ltd (HLA) have been engaged by the Alec Jack from Ngawhitu Limited (the applicant) to assess the potential landscape, natural character and visual amenity effects anticipated from relocation of a small residential dwelling onto the property at 320 Ludbrook Road, Pakaraka.

The property is zoned Rural Production in the FNDC Operative Plan with Outstanding Natural Feature and Outstanding Landscape Feature overlays over part of the property. The property is located within a Heritage Precinct HP 1 – Pouerua.

The area where the proposed dwelling will be located (I will refer to this as the site) is covered by the Outstanding Natural Feature overlay and is within HP 1.

This report will determine any potential impact the proposed development may have upon the landscape, visual amenity and heritage character values of the site and surrounding environment.

This report provides a full assessment of the landscape and visual effects associated with the proposal, in the context of the existing environment, Outstanding Natural Landscape, Outstanding Natural Feature and the relevant statutory planning framework.

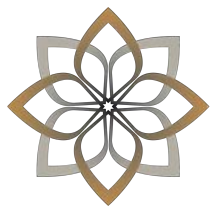
In undertaking this assessment, the author has visited the property to understand the nature of the site, its physical and visual relationship to the ONF, adjacent properties as well as the context, character, visual catchment and viewing audiences from within the wider area.

2. METHODOLOGY

The following methodology was used in the preparation of this landscape and visual effects assessment.

- Desktop review of the relevant statutory documents (Regional and District Plan text and mapping);
- Site visits, and filed survey of the local area;
- Identification of the visual catchment and viewing audiences;
- Description of the site and existing landscape character, visual/aesthetic quality and amenity values of the surrounding environment;
- Identification and description of the nature of the proposed development;
- Assessment of anticipated character, landscape and visual effects;
- Ranking of landscape and visual effects;
- Review of the relevant planning documentation and reports;
- Identification of the proposed landscape and visual mitigation approach, options considered and recommendations.

To determine the overall nature and significance of the landscape and visual effects, an understanding of the sensitivity of the landscape and viewing audience has been combined with an assessment of the magnitude of the change resulting from the proposal to determine the overall significance of effects.



An outline of the effects ratings and definitions used in this assessment is provided in Supplement A. In summary, the significance of effects identified in this assessment are based on a seven-point scale which includes very low; low; low-moderate; moderate; moderate-high; high and very high ratings.

This assessment has been prepared by a qualified Landscape Architect and in accordance with the NZILA (New Zealand Institute of Landscape Architects) Code of Conduct and with reference to the Quality Planning Guidelines Note¹.

3.0 THE SITE AND ITS LANDSCAPE CONTEXT

3.1 Site Location

The property is located at 320 Ludbrook Road, Pakaraka and is legally described as Lot 1 DP 196184. Refer to Appendix 1 – Location Map.

The property is a large irregular shaped lot extending west for approximately 2.5km from Ludbrook Road as shown in Figure 1.

The proposed building site for the dwelling is situated approximately 68m to the northwest of Ludbrook Road. An existing gateway and farm track allow access to the building site.

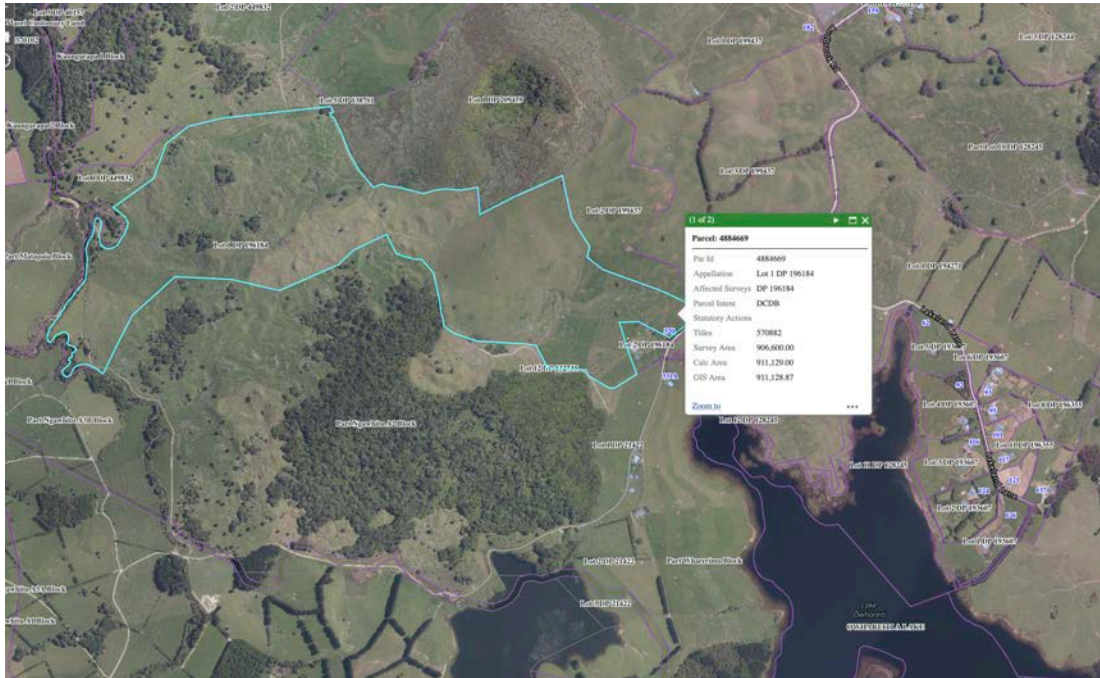
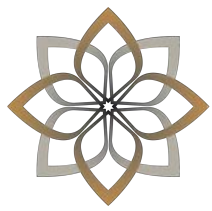


Figure 1: Site Location

¹ <http://qualityplanning.org.nz/index.php/planning-tools/land/landscape>



3.2 Application Site

The applicant's property lies on the outer southern edge of the Pouerua Heritage Precinct, with Pouerua cone approximately 500m to the north of the proposed building site.

An Archaeological Survey and Assessment of Effects of the proposed development has been prepared by Don Prince, dated November 2023.

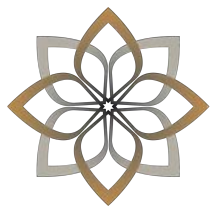
The applicant's property is a very large parcel of land, approximately 95ha. For the purposes of this assessment when I refer to the site, I will be referring to the proposed building site for the relocated dwelling.

The proposed building site is located approximately 68m to the north of the access point off Ludbrook Road.

The relocatable dwelling has been moved onto site and is currently sitting upon temporary stilts. The aerial image shown in Figure 2 illustrates its location in relation to Ludbrook Road, and a neighbouring dwelling to the west and south. Lake Owhareiti is located just to the south of Ludbrook Road.



Figure 2: Location of proposed dwelling off Ludbrook Road.



The proposed dwelling will be located within farmland that is characterised by undulating topography of a rocky nature due to the presence of the underlying volcanic larva flow. The archeological report states that the house site is located on the “lower southern slopes of Pouerua volcanic cone”.

The building site has a land backdrop so that it is not viewed in an elevated position or on the skyline, refer to Figure 3.

The area surrounding the building site is free of any existing vegetation, just in pasture. There are a few large Poplar trees located along the southern boundary adjoining Ludbrook Road. Refer to the On Site Photographs contained in Appendix 3.



Figure 3: View of the dwelling with Pouerua cone in the background.

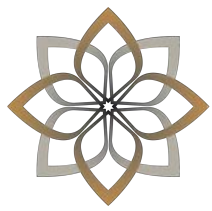
3.3 Neighbourhood Context & Character

The site is located within an area that is characterised by rolling farmland, interspersed with areas of indigenous forest and inland lakes. Pouerua volcanic cone is the dominant landscape feature and provides the land backdrop to the north of the site.

Lake Owhareiti, a shallow lake that was formed through the damming of the valley by a lava flow is located to the south of the site and is another dominant feature of this landscape setting, as shown in Figure 4.

To the east of the lake an area was subdivided and accommodates a cluster of lifestyle lots, these are access off Ludbrook Road, via Lakeland Lane. The development within this area is visible from Pouerua cone and the Heritage Precinct as shown in Figure 5.

Built development located close to the proposed building site consists of several dwellings and farm buildings. The view of these from Pouerua cone is depicted in Figure 4. The proposed dwelling is just visible in the bottom left of the image. Its



HAWTHORN

Landscape Architects

recessive colouring makes it difficult to see compared to the white buildings in the image.

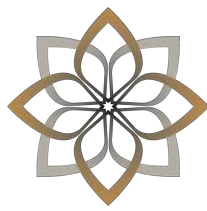
Pouerua volcanic cone and its associated archaeological sites form a dominant feature within this landscape. The peak of the cone is visible from within an extensive area due to its elevation.



Figure 4: View from halfway up Pouerua cone showing the cluster of existing buildings.



Figure 5: Development off the Lakeland Lane area, viewed from the flanks of Pouerua cone.



3.4 Background Landscape Assessments

Far North Landscape Assessment

The 1995 Far North Landscape Assessment was undertaken to assess the landscape values of the district in order to inform objectives, policies and management strategies to enable the District Council to meet its obligations under Part V of the RMA.

The assessment delineated the district into 112 landscape units which each display homogeneous and consistent landscape character, derived from topography, vegetation and landscape character and the relationship with the sea.

The units were separated into coastal and terrestrial and grouped into 19 landscape categories which display a reasonable consistency of landscape character.

The site is located within the following terrestrial landscape unit:

- Unit T6 – South-East Hill Country which is identified as “Pastoral Hill Country with pockets of Scrub/Bush”. Refer to Figures 6 and 7.

This unit has a sensitivity rating of 3 out of 7, which is considered low sensitivity.

In relation the unit ‘Pastoral Hill Country with pockets of Scrub/Bush’ the assessment report states:

“These units cover the majority of the steepest portion of the District that is utilised for grazing, including the extensive “Inland Hills” unit which encompasses much of the terrain in the centre of the Far North. Encompassed within the hill country that is the focus of this category, are many small valleys and basins which have a much more fertile image attached to them.

Many of the units convey an impression that pastoral farming is an extremely difficult use for the land. Extensive evidence of erosion, recolonisation with manuka shrubland, and infestation with weed species all contribute to a rather untamed yet fragile landscape.

The steepness of the terrain has precluded clearance of some areas, or dictated the retirement of land – allowing native shrubland to regain a foothold. These remnants and recolonised portions of the units bring an indigenous theme, as well as creating elements of interest and variety in the landscape. Frequently vegetation patterns relate to the form of the land, echoing a valley or emphasising a ridgeline. As such it increases the legibility and coherence of the landscape.

Most of the built development in these units is relatively inconspicuous, for it is usually located on the more stable lower slopes and frequently well screened by vegetation. The scarring that accompanies farm tracks in step country has a far more disruptive visual effect, reaffirming the impact of more extensive soil creep and slipping that is frequently seen in nearby pasture”.

I note that Pouteria has been identified on the plans, as shown in Figure 6, however it has not been mentioned in the text of the Far North Landscape Assessment or reflected in the sensitivity rating of this landscape unit.

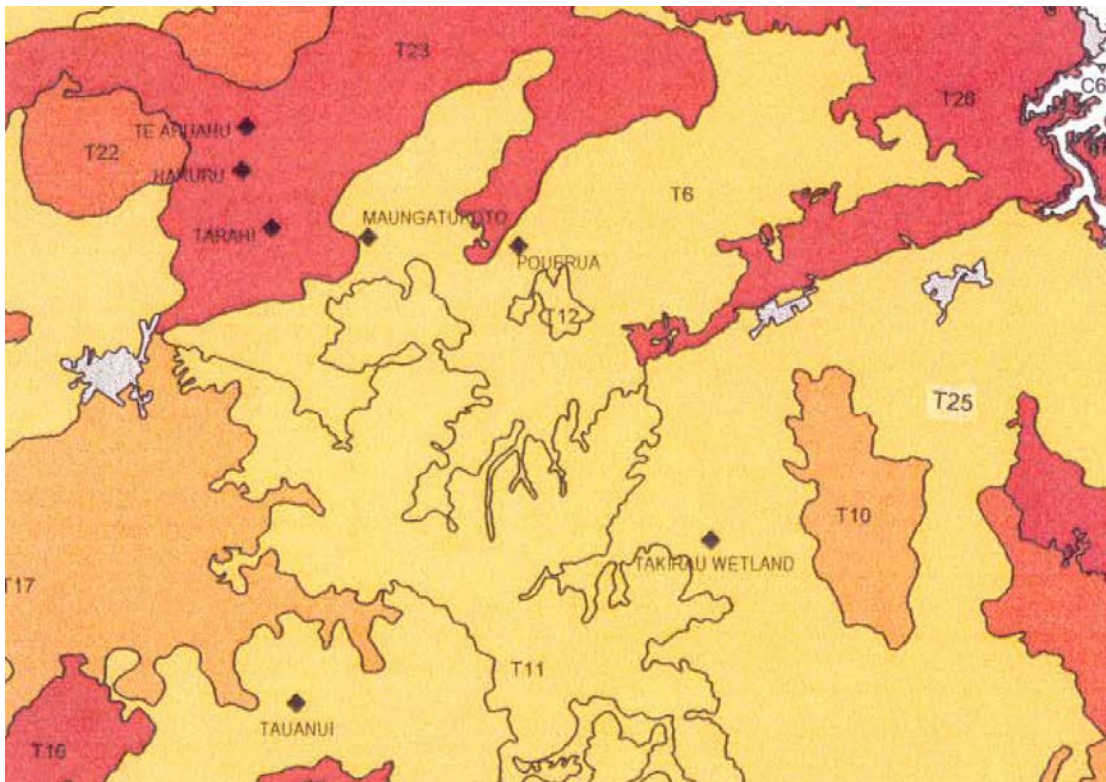
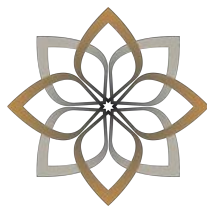


Figure 6: Far North Landscape Assessment Map, showing the site in Unit T6 - South-East Hill Country, with a sensitivity rating of 3 out of 7.

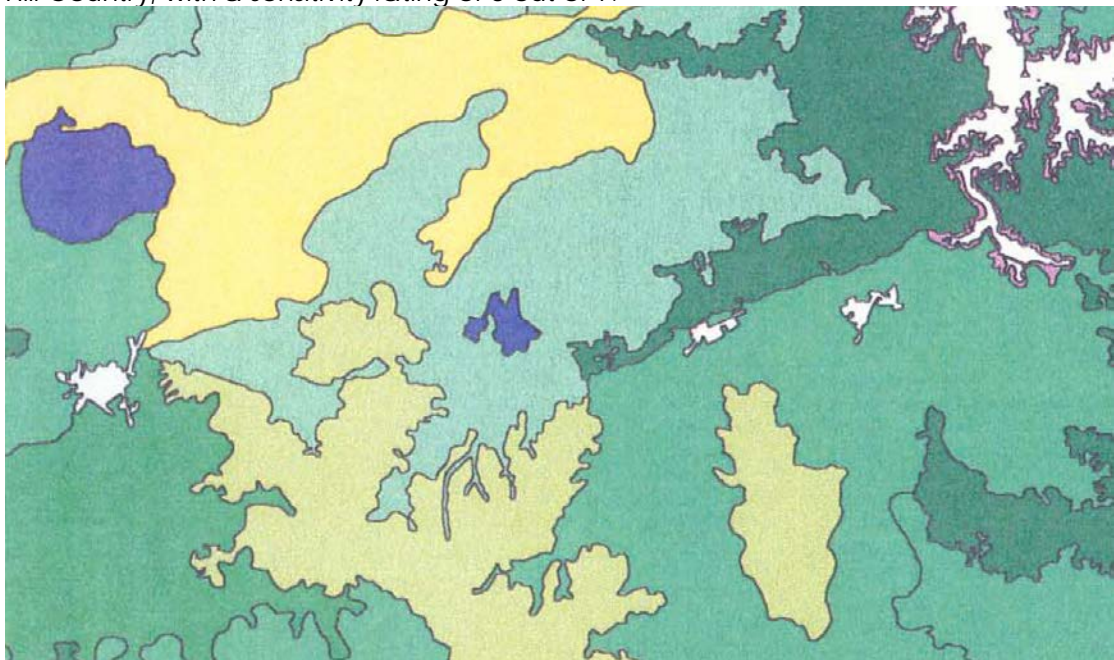
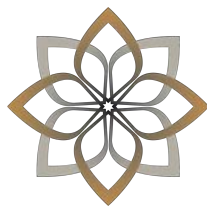


Figure 7: Far North Landscape Assessment Map, showing the site in the Pastoral Hill County with pockets of Scrub/Bush category



4.0 THE PROPOSAL

4.1 Proposed Dwelling

The proposal is set out in the drawing package prepared by Cad Planz which includes a range of illustrative material to demonstrate the proposal's response to statutory criteria, proposed building form, the elevational treatment and materiality, which together with proposed landscaping will ensure that the development is sensitively integrated into the Heritage Precinct. Refer to the plans contained in Appendix 2, and the Site Plan in Figure 8.

The proposal is for the relocation of a 60m² 2-bedroom dwelling set on timber piles. Decks and a carport will be added to the dwelling. Access will be off Ludbrook Road via an existing farm track that will be upgraded.

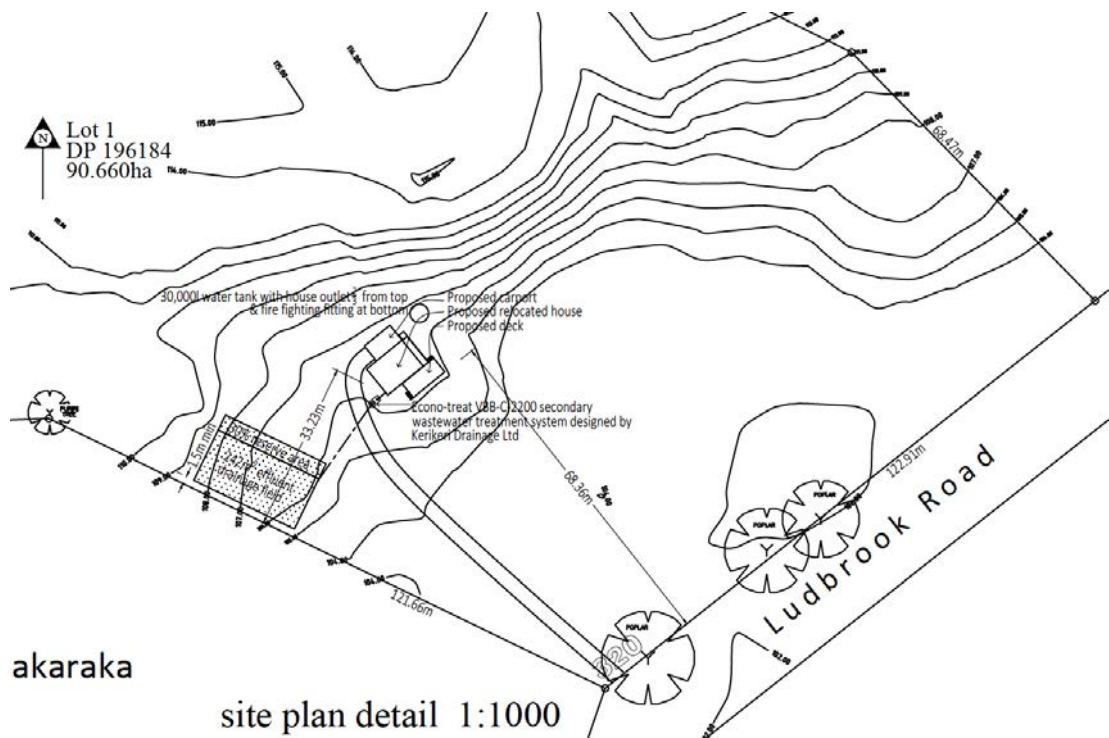
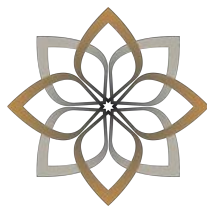


Figure 8: Site Plan showing the location of the proposed dwelling, carport, water tank and driveway.

4.2 Landscape Plan

A Landscape Plan has been prepared that identifies the location of the existing Poplar trees along the Ludbrook Road boundary, and the proposed planting that will integrate the building into the landscape and mitigate any potential adverse visual effects. refer to Appendix 5 and Figure 9. More detail on the Landscape Plan is provided in Section 7 of this report.



5. VISUAL, LANDSCAPE & NATURAL CHARACTER EFFECTS

5.1 Visual Effects

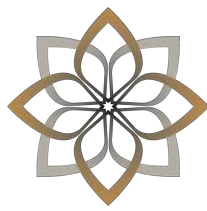
Potential visual effects can be generated through visual changes to the landscape because of a development. The significance of effects is measured by the visual sensitivity of the landscape and the response of a particular viewing audience.

Visual sensitivity is influenced by several factors including visibility, the nature and extent of the viewing audience, whether the proposal is the focal point or part of a wider view, whether the view is transient or permanent and the degree of contrast with the surrounding environment. It is also influenced by the visual qualities of the proposal and the ability to integrate any change within the landscape setting.

The degree of adverse visual effects generated by a proposal also depends upon the character of the surrounding landscape (the context), existing levels of development on the application site, the contour of the land, the presence or absence of screening and/or backdrop vegetation, and the characteristics of the future activities facilitated by the application.

This assessment will establish the potential visibility of the application site and future placement of the dwelling on this lot. It will also determine who the potentially effected viewing audience is, the degree of change brought about by the proposed development, and if there will be any potential adverse visual effects associated with this.

The photographs contained in Appendix 4 Off Site Viewpoints depict representative



viewing positions that illustrate the potential view of the relocated dwelling. The location of the viewpoints are shown in Appendix 1 – Location Map.

It is noted that the dwelling has already been moved onto the building site, and currently sits on temporary stands. Once it is lowered onto its permanent piles it will sit a lot lower than shown in the photos and will settle into the landscape nicely.

Viewpoint 1

This area along Ludbrook Road affords the first view towards the proposed dwelling. It is a glimpse view, and not particularly visible due to the presence of roadside vegetation. The other neighbouring dwellings are more obvious in this view. There will be no adverse effects generated from this area.

Viewpoint 2

This view of the dwelling is afforded from the side of Ludbrook Road, in the general area where visitors to Puerua cone often park and leave their car while walking to the top of the cone. This view is oriented towards the west and south west.

Four other buildings are visible in this viewshaft from this location. The presence of the proposed dwelling in this location result in it being in context with the other built forms, and consolidates built development within an area that is already modified. The dwelling does not alter the recognisable character of the landscape from this position as dwelling sites are part of the existing character of this area.

The proposed dwelling is set below the skyline and has a backdrop of pasture and clusters of trees. The large Poplar trees along the shared boundary with Ludbrook Road dwarf the house which is of a modest scale, at 60m².

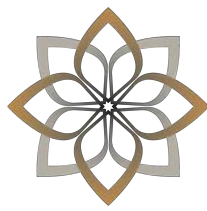
To break up the view of the dwelling from this location 3 Kohekohe trees are proposed to be planted in the midground view. These will form a contiguous cluster of vegetation and will screen the view of the dwelling from this location. The proposed backdrop and foreground plantings will also blend the dwelling into the landscape.

The potential adverse visual and landscape effects of the development from this general area will be less than minor once the landscape plantings have been implemented.

Viewpoint 3

The location of this viewing position is the same as for Viewpoint 2, however the view is oriented towards the northwest from Ludbrook Road, with Puerua cone as the backdrop. Viewers will also take in the view of the proposed dwelling and neighbouring house just beyond it. Again, the proposed dwelling will be viewed with a land backdrop. The proposed landscaping around the dwelling will result in a vegetated backdrop and foreground when viewed from this location. The cluster of Kohekohe trees will also help to screen the dwelling from visitors view from this roadside parking area.

The intention of the proposed landscaping is to tie the house into the landform, so that it becomes visually unobtrusive. This will then enable the view of Puerua cone to remain as the dominant feature from this location.



The potential adverse visual and landscape effects of the development from this general area will be less than minor once the landscape plantings have been implemented.

Viewpoint 4

This view is afforded to passers-by and residents at this end of Ludbrook Road. The proposed dwelling is visible as one of the foreground built forms (includes the neighbours house to the west). Pouerua cone is the dominant landscape feature visible in the background and on the skyline.

The area around the dwelling will be planted out with fast growing native species to quickly establish structure plantings around the building site. These will ground the dwelling and associated activities and reduce its visibility and prominence.

With the implementation of the landscape mitigation and integration plantings the potential adverse visual effects of the dwelling and its location on the edge of the Heritage Precinct will be minimised. This will enable the transient viewers to view Pouerua cone as the dominant feature, whilst the dwelling will be subordinate and nestled into the lower contours through the use of the landscape plantings.

Viewpoint 5

This view is obtainable by visitors to Pouerua cone to the north of the site. Lake Owhareiti and other dwellings sites are visible in the background.

The roof of the dwelling is just visible over the brow of the hill slope. The proposed landscape plantings along this slope will screen the dwelling from view. This will enable visitors to Pouerua cone to continue to experience the current amenity and heritage values associated with this site. Their appreciation levels will not be altered and no adverse visual effects will be generated.

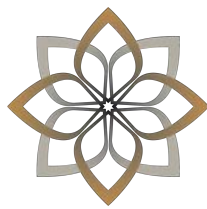
Viewpoint 6

This view is from further up Pouerua cone to the north of the site. From this location a little more of the dwelling is visible, however it is now also smaller in scale. The colours of the dwelling assist with blending it into the surrounding colours of the landscape. It is not readily visible.

The proposed landscape mitigation plantings will screen the dwelling from view, and will protect the current landscape values associated with Pouerua cone and the heritage precinct.

Viewpoint 7

This is the view from close to the top of Pouerua cone to the north of the site. The dwelling forms a very small element within a large expansive landscape panorama.



Its recessive colours and small-scale result in the dwelling not being very visible. Its location close to other dwelling sites consolidates the dwelling activities into one area. It generates less than minor potential adverse visual effects as it is, even before the proposed landscaping is implemented.

Once the proposed landscaping around the dwelling is implemented it will screen the house from view, so that it is not visible from the top of Pouerua cone.

Lake Owhareiti and other dwelling sites are visible in the backdrop. The Lakeland Lane area is visible to the south.

Viewpoint 8

This view represents the distant view from the Lakeland Lane area, looking towards the site. The proposed dwelling is hardly visible due to its recessive colouring. The neighbouring white house is more visible. There will be no adverse visual effects generated by the proposal for the residents of this area.

5.2 Landscape Effects

Landscape effects arise from the change in the physical landscape, which can result in changes to the character of a landscape and how this landscape is experienced, and the perceived value given to the landscape.

The potential landscape effects of the development will be generated by either landform or land-cover modification or may be more subtle such as influencing the overall pattern of the landscape.

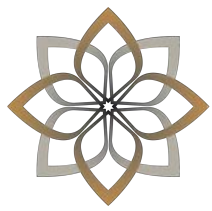
As the building site is located on the fringe of the Heritage Precinct and the flanks of Pouerua cone the landscape has a high perceived value. Any modification to the physical landform, or addition to the landscape which changes the current character has the potential to generate adverse landscape effects.

The proposal is for the dwelling to be set on the existing landform, rather than cutting into and modifying it, as recommended by the archaeologist, Don Prince. Thus, this will minimise the actual physical modification to the landform.

The location of the building site close to Ludbrook Road, and the other dwellings sites nearby consolidates built form within one settlement node near the end of Ludbrook Road. The existing character of this area includes residential built form and associated farm buildings and activities. The proposed development will be in keeping with this character and pattern of development.

The built form of the dwelling itself, although in keeping with the present built settlement character, does have the potential to generate adverse landscape effects due to its proximity to Pouerua cone.

The dwelling is located approximately 500m away from the cone and will be viewed as a foreground element in the views from Ludbrook Road and surrounds. The small size of the dwelling and the recessive building colours both assist with minimising potential landscape effects. In addition, the proposed landscape plantings will soften



and screen the built form from Pouerua cone so that any potential landscape character effects of the building are minimised to a less than minor level.

There is no vegetation removal associated with this development.

6. STATUTORY CONTEXT

6.1 Operative Far North District Plan (OFNDP)

The property is located within the Rural Production Zone. Resource Map 35 identifies that most of the property and the proposed building site is located within an Outstanding Natural Feature (ONF).

Part of the property is also covered by an Outstanding Landscape Feature (OLF) as shown in Figure 10 below and on the map contained in Appendix 6 - Landscape Overlay Map.

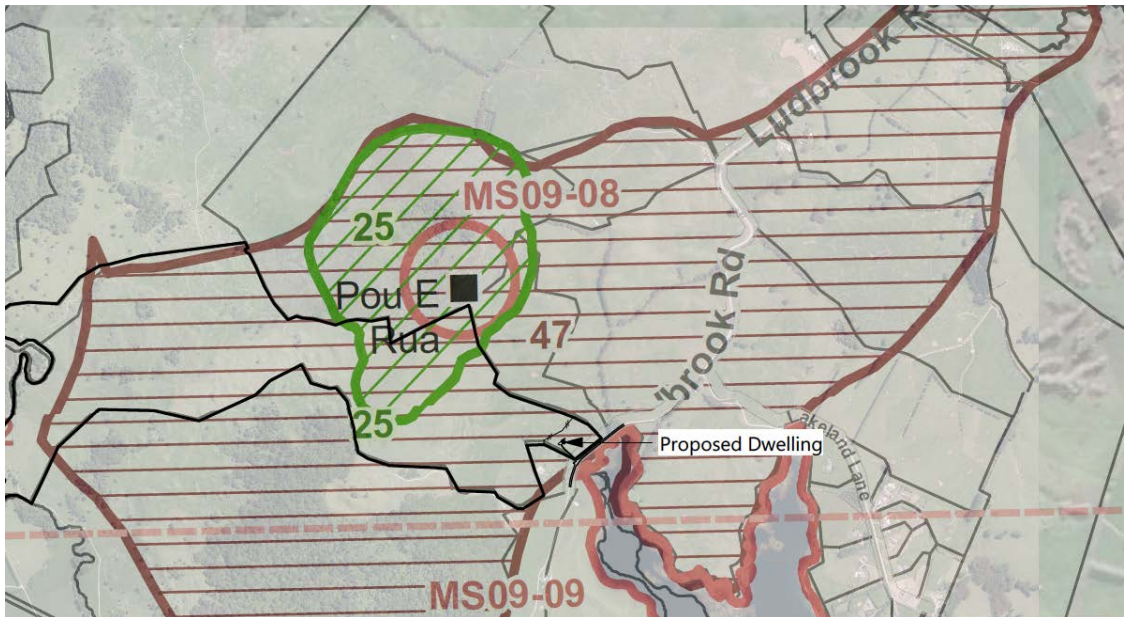


Figure 10: ONF and ONL areas in relation to the building site.

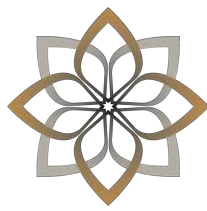
Within Appendix 1A – Natural and Physical Resources, the Outstanding Natural Feature is identified as:

Site 47 – Pouerua (Pakaraka Mountain) scoria cone and lava fields.

This is a scoria cone, 750m in diameter, 135m high (275ASL) with associated flows – distinctive volcanic centre with well preserved crater and volcanic form, surrounded by the best preserved lava flow field in Northland. Rating B2.

Within Appendix 1B the Outstanding Landscape Feature is identified as Pouerua, Prominent pa/archaeological site on volcanic cone at Pakaraka.

The proposed building site is only covered by the Outstanding Natural Feature (ONF).



In addition, it is not in an Outstanding Landscape, or the Outstanding Landscape Feature. The property and building site has not been identified as having any high or outstanding Natural Character values.

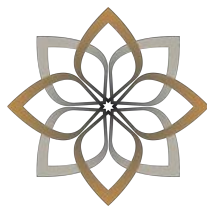
12.1 LANDSCAPE AND NATURAL FEATURES

12.1.3 OBJECTIVES

- 12.1.3.1 *To protect outstanding landscapes and natural features from inappropriate, subdivision use and development.*
- 12.1.3.2 *To protect the scientific and amenity values of outstanding natural features.*
- 12.1.3.3 *To recognise and provide for the distinctiveness, natural diversity and complexity of landscapes as far as practicable including the complexity found locally within landscapes and the diversity of landscapes across the District.*
- 12.1.3.4 *To avoid adverse effects and to encourage positive effects resulting from land use, subdivision or development in outstanding landscapes and natural features and Maori cultural values associated with landscapes.*

12.1.4 POLICIES

- 12.1.4.1 *That both positive and adverse effects of development on outstanding natural features and landscapes be taken into account when assessing applications for resource consent.*
- 12.1.4.2 *That activities avoid, remedy or mitigate significant adverse effects on both the natural and the cultural values and elements which make up the distinctive character of outstanding natural features and landscapes.*
- 12.1.4.3 *That the cumulative effect of changes to the character of Outstanding Landscapes be taken into account in assessing applications for resource consent.*
- 12.1.4.4 *That the visibility of Outstanding Landscape Features, when viewed from public places, be taken into account in assessing applications for resource consent.*
- 12.1.4.5 *That the adverse visual effect of built development on outstanding landscapes and ridgelines be avoided, remedied or mitigated.*
- 12.1.4.6 *That activities avoid or mitigate adverse effects on the scientific and amenity values associated with outstanding natural features.*
- 12.1.4.7 *That the diversity of outstanding landscapes at a District-wide and local level be maintained and enhanced where practicable.*
- 12.1.4.8 *That the trend is towards the enhancement rather than the deterioration of landscape values, including the encouragement of the restoration of degraded landscapes.*
- 12.1.4.9 *That the high value of indigenous vegetation to Outstanding Landscapes be taken into account when assessing applications for resource consents.*
- 12.1.4.10 *That landscape values be protected by encouraging development that takes in account:*



- (a) the rarity or value of the landscape and/or landscape features;
- (b) the visibility of the development;
- (c) important views as seen from public vantage points on a public road, public reserve, the foreshore and the coastal marine area;
- (d) the desirability of avoiding adverse effects on the elements that contribute to the distinctive character of the coastal landscapes, especially outstanding landscapes and natural features, ridges and headlands or those features that have significant amenity value;
- (e) the contribution of natural patterns, composition and extensive cover of indigenous vegetation to landscape values;
- (f) Maori cultural values associated with landscapes;
- (g) the importance of the activity in enabling people and communities to provide for their social, economic and cultural well-being.

12.1.6.3.3 DEVELOPMENT ON AN OUTSTANDING NATURAL FEATURE

Any new building, relocated building, extension or alteration to an existing building, excavating, filling, planting of trees or clearance of vegetation on an Outstanding Natural Feature, as listed in Appendix 1A and shown on the Resource Maps is a discretionary activity.

12.1.7 ASSESSMENT CRITERIA

In considering this application the Council shall apply the relevant assessment matters set out below and will also have regard to the Far North District Landscape Assessment (FNDLA) report (refer to section 3.4 of my report), which was prepared for the Council in 1995.

It contains details of the Outstanding Landscapes, Outstanding Landscape Features and Outstanding Natural Features in the Far North District together with any site-specific landscape assessment.

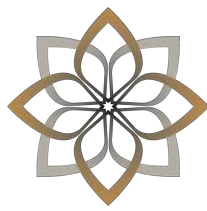
Pouerua has been identified on the FNDLA plans, as shown in Figure 4, however it has not been mentioned in the text of the Assessment or reflected in the sensitivity rating of this landscape unit.

Within the FNDLA the property is identified as Unit T6 – South-East Hill Country which is identified as “Pastoral Hill Country with pockets of Scrub/Bush”. Its overall sensitivity rating is 3 out of 7, which is considered low sensitivity.

- (a) the rarity of the landscape, landscape features or natural features;

The FNDLA does not identify the property as being rare, the FNDLA is not a statutory document.

The Operative Far North District Plan has identified the property as being within a Heritage Precinct. It is covered by an Outstanding Natural Feature and the backdrop to the building site is Pouerua cone, an identified Outstanding Natural Landscape.



- (b) *the visibility of outstanding landscapes, outstanding landscape features or outstanding natural features;*

The building site is located on the fringe of the Outstanding Natural Feature, on the lower contours adjacent to Ludbrook Road. The Outstanding Landscape Feature (Pouerua cone) is located approximately 500m to the north of the building site.

- (c) *the aesthetic, heritage, cultural and natural values of the outstanding landscapes and natural features;*

The proposed dwelling is small and is recessively coloured. It will be set within landscaped grounds to screen it from view from Pouerua cone and the Heritage Precinct. The proposal will not adversely affect the aesthetic, heritage, cultural or natural values of the ONF.

- (d) *the elements which make up the distinctive character of the outstanding landscape or outstanding landscape features;*

The characteristics that contribute to the distinctive character of the OLF includes the farmed landscape which keeps the topography (and heritage features) visible so that the distinctive landform of Pouerua cone can be easily distinguished. The proposed development will not adversely affect this.

- (e) *the extent of visible change to the landscape which may result from an activity;*

The extent of visible change will be small, as the dwelling is located right of the edge of the Heritage Precinct, and on the lower contours of the cone, adjacent to Ludbrook Road and other built form. The dwelling will be well integrated with landscaping so that it is not visible from the elevated parts of Pouerua cone.

- (f) *the extent to which adverse effects may be mitigated through screening or other means;*

The proposal includes landscape plantings to screen the dwelling and mitigate any potential adverse visual effects to a less than minor level.

- (g) *the degree of visual intrusion in the landscape;*

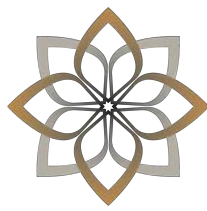
The proposed dwelling is located on the lower contours, it is not visible on a skyline and will be surrounded by landscape plantings so that it is visually unobtrusive.

- (h) *the siting of the activity in relation to ridgelines or natural landscape features;*

The dwelling is not located on a ridgeline. It is located 500m to the south of the top of Pouerua cone which is an OLF.

- (i) *the design of any building, structure, landform or any development;*

This has been detailed within the body of this assessment.



- (i) the location and design of vehicle access, manoeuvring and parking spaces;

This has been detailed within the body of this assessment.

- (j) the potential for more than minor adverse effects on the outstanding natural feature as a result of the proposed activity;

This has been detailed within the body of this assessment. There will be less than minor adverse effects generated.

- (l) the extent to which the activity will protect and/or enhance the outstanding natural feature or landscape;

The dwelling will be located on the fringe of the ONF and has been assessed to have a less than minor affect upon the ONF.

- (m) the extent to which the activity may adversely affect ecological values of indigenous flora and fauna;

The proposal will result in no vegetation removal. The dwelling will be located in a grazed paddock, and will be landscaped with native species that will enhance ecological values.

- (n) provisions for the permanent legal protection of the Outstanding Landscape, Outstanding Landscape Feature or Outstanding Natural Feature;

The applicant already has such provisions in place.

- (o) the environmental effect of the increase in residential intensity and/or the extra lots in relation to the benefits of achieving permanent legal protection of an Outstanding Landscape, Outstanding Landscape Feature or Outstanding Natural Feature;

No subdivision is proposed. The proposed dwelling will be located on a 95ha parcel of land that currently accommodates no dwelling. It will occupy 0.006% of the site. This is minuscule and will have result in no adverse environmental effects.

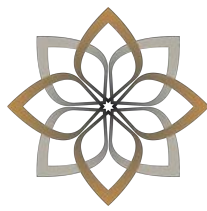
- (p) the extent to which an application proposes revegetation and/or enhancement of the Outstanding Landscape, Outstanding Landscape Feature, or Outstanding Natural Feature, and the measures to secure the long term sustainability of the revegetation and/or enhancement;

The proposed landscaping around the dwelling will protect the steep area of erosion prone ground, and will provide a food source for local fauna.

- (q) the characteristics of the application site, including its size, shape and topography;

These details are described in Section 3 of this assessment.

- (r) the effectiveness of any proposed pest control programme:



The applicants undertake ongoing possum control.

- (s) the relationship of people and communities with outstanding landscapes, outstanding landscape features and outstanding natural features.

The proposed development will not affect the ONF or OLF. People and the local community will be able to continue to appreciate the existing values of the ONF and OLF.

12.5A Heritage Precincts

Nine Heritage Precincts have been identified in the Far North District as having clusters of historic buildings that, in association with the immediate environment, have special amenity and character in addition to their heritage values.

The Pouerua Heritage Precinct is described as follows:

Pouerua (Pakaraka): (refer to Map HP1 in Part 5)

The Pouerua Heritage Precinct is distinguished from other New Zealand historic landscapes and waahi tapu by the number and diversity of heritage values that are attached to it, by its size and by the degree of its integrity. It embodies the mana of Ngapuhi, the historic engagements of Maori and Pakeha in war and peace, and has been preserved to date by the separate and collective effects of iwi and others. There are major Maori fortifications on the rim of the Pouerua volcanic cone, hundreds of terraces on the flanks, and intensive evidence of pre-European and 19th century gardens and settlements on the lava field. The Pouerua Precinct is considered to contain the best remaining example of a large group of field systems, settlements and fortifications surviving as an integrated whole. All archaeological evidence within the Pouerua volcanic system, therefore, gains significance through association with the total complex, and merits recognition.

12.5A.3 OBJECTIVES

These objectives supplement those set out in Section 12.5.3.

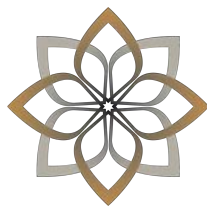
12.5A.3.1 To recognise and protect retain the heritage values of the various heritage precincts derived from the sites, buildings and objects of historic significance, and to protect such sites, buildings and objects from inappropriate subdivision, use and development.

12.5A.3.2 To recognise and protect the heritage values of the various heritage precincts derived from the archaeological sites of the precincts and to retrieve and record archaeological evidence where appropriate.

12.5A.3.3 To recognise and protect the special character of the various heritage precincts that derives from the built form in combination with the landforms.

12.5A.3.4 To retain The Strand Heritage Precinct as predominantly a pedestrian area.

12.5A.4 POLICIES



These policies supplement those set out in Section 12.5.4.

- 12.5A.4.1 That the type, scale and nature of alterations to existing buildings be limited so as to ensure the retention of the heritage character of the various heritage precincts and of buildings of historic significance within those heritage precincts.
- 12.5A.4.2 That the removal or demolition of buildings be restricted to those of little or no historic significance which do not contribute significantly to the streetscape values of the various heritage precincts.
- 12.5A.4.3 That the location, scale and nature of new buildings and structures be controlled so as to not adversely affect the historic character, streetscape or landscape values of the various heritage precincts and of buildings of historic significance within those heritage precincts.
- 12.5A.4.4 That archaeological sites are protected from damage or destruction, and that archaeological information is retrieved whenever appropriate.
- 12.5A.4.5 That the heritage values of The Strand and Kerikeri Basin Heritage Precincts are not adversely affected by inappropriate outdoor advertising.
- 12.5A.4.6 That activities which conflict with pedestrian use of The Strand be restricted.
- 12.5A.4.7 That further subdivision in the Pouerua Heritage Precinct does not result in adverse effects on historic heritage values from the construction of buildings and development (refer to Chapter 13).
- 12.5A.4.8 That normal farm practices do not adversely affect the historic heritage and Maori heritage values of the Pouerua Heritage Precinct.

Comment:

An archaeologist has been engaged by the applicant to assist with any archaeological sites on or surrounding the building site.

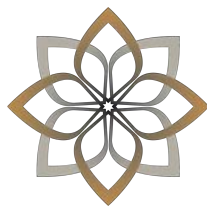
The applicant is not proposing any subdivision of their land that is located within the Pouerua Heritage Precinct. Since purchasing the land in 1949 the family have amalgamated smaller titles into a larger contiguous farm. The property is an intergenerational family farm, and there is no intention to subdivide it.

The applicants are proposing a small inconspicuously placed dwelling for a farm manager, which would enable them to better run and manage their farm. The proposal includes measure which will ensure that the development will not adversely affect the historic heritage and Māori heritage values of Pouerua Heritage Precinct.

12.5A.7 ASSESSMENT CRITERIA

The matters set out in s104 and s105, and in Part II of the Act, apply to the consideration of all resource consents for land use activities.

In addition to these matters, the Council shall also apply the relevant assessment matters set out below:



- (a) the extent to which any work adversely affects the existing character of the various Heritage Precincts as a whole;
- (b) the extent to which any proposed work uses similar materials and is of similar design to the existing building or buildings on the same site;
- (c) the extent to which any demolition or removal of a major building on a site adversely affects the existing streetscape or destroys a building of historical or architectural significance;
- (d) the extent to which landscaping is appropriate to the character of the buildings on site;
- (e) the extent to which work or an activity adversely affects or destroys any archaeological site;
- (f) effects on landforms, including effects on stone walls and archaeological sites;
- (g) in the case of The Strand Heritage Precinct, the extent to which Heritage colours are used for all external surfaces;
- (h) in the case The Strand Heritage Precinct, the effects of any use or development on pedestrian access to and along The Strand;
- (i) in the case of the Kerikeri Basin Heritage Precinct, the extent to which the planting of trees affects the heritage values of sites, either visually or because of disturbance of archaeological sites.

Comment:

The proposed dwelling is very small and is coloured recessively. It is located upon the lower contours of the landform, so that it is not very visible within the wider landscape. The proposed landscape planting will visually soften and screen it from important viewing positions on Pouerua cone and the Heritage Precinct.

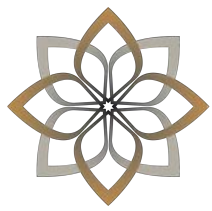
There are no historic buildings close to the application site that would need to be considered in relation to blending in with a similar style or colours. The proposal will not affect the streetscape and the landscaping is considered appropriate for the character of this area.

An archaeologist has been engaged by the applicant to assist with any archaeological sites.

6.2 Regional Policy Statement for Northland (RPS)

In 2012, the Northland Regional Mapping Project ("Mapping Project") was undertaken by the Northland Mapping Group (on behalf of the NRC). The purpose of the Mapping Project was to determine the delineation of the Coastal Environment, and the natural heritage areas within the region comprising Outstanding Natural Landscapes ("ONL") and High Natural Character (HNC) areas.

These are now included within the Regional Policy Statement (operative 2016) for Northland, thereby meeting the requirements under the New Zealand Coastal Policy Statement 2010 in ("NZCPS") in the Resource Management Act 1991.



Based on these studies the NRC has identified that the property and proposed building site is located within an Outstanding Natural Feature as shown in Figure 11.

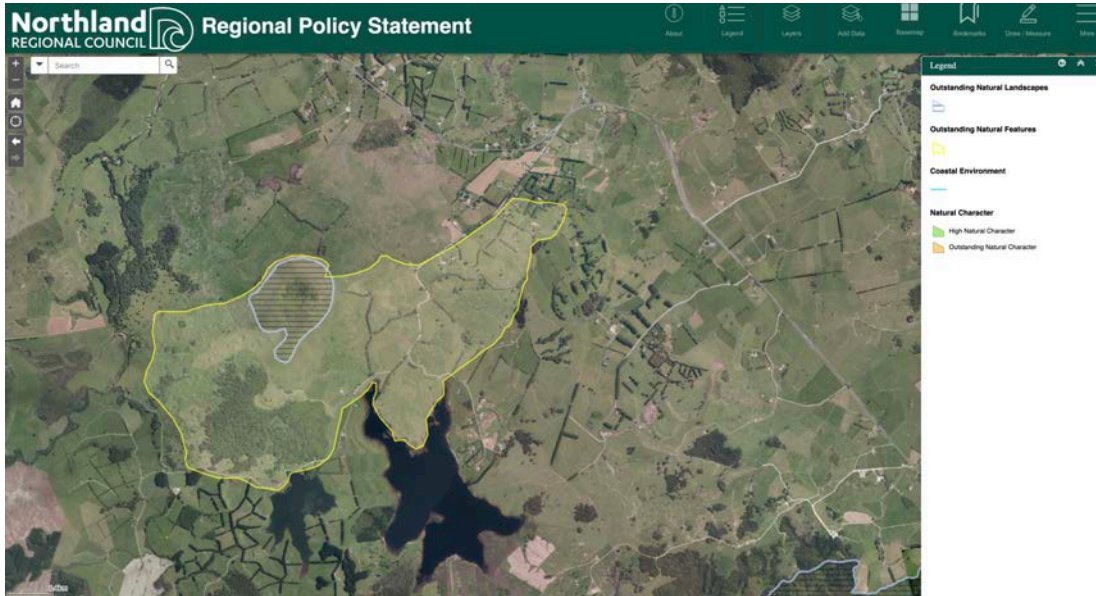


Figure 11: RPS Map overlay showing the ONF covering the site and nearby ONL, being Pouerua cone.

A description, characterisation, and evaluation of the ONF is outlined in the Outstanding Natural Features - Mapping Methodology Report. It is described as follows:

Feature Name: Pouerua (Pakaraka Mountain) scoria cone and lava fields

Significance statement: A distinctive volcanic centre with well preserved crater and volcanic form, clearly visible from SH1. Surrounded by the best preserved lava flow field in Northland.

Brief Description: A scoria cone, 750 m in diameter, which stands 135 m high, 275 m ASL and has a 10 m deep summit crater breached to the SW. Rafting of part of the cone has resulted in debris mounds below the SW side of the cone P05/948467. Stoney rises, 1-10 m high, are distributed over much of the field and W of the cone sub-circular mounds 0.5 to 1.5 m high and 2 m in diameter, called tumuli, are abundant. Explosion mounds to the E of the centre reach 18 m high. The longest flow, 4 km long flowed to the NE. The lava field covers an area of 13.5 square km. The largest pa and stone fields prehistoric site remaining in New Zealand.

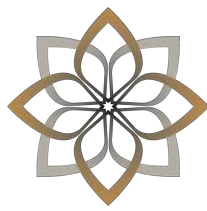
Location: 2 km SW of Pakaraka, just past the intersection of SH1 to Kaikohe and SH10 to Kerikeri.

Importance: B (of National significance)

Vulnerability: 2 (moderately vulnerable to modification by humans)

7. LANDSCAPE PLAN

A landscape plan has been prepared for the areas around the dwelling building site to integrate the built form into the landscape, refer to Appendix 5.



The landscaping will visually soften and screen the built form from specific views, especially from Pouerua cone. This will maintain the heritage values, visual amenity values and landscape character values associated with the Heritage Precinct.

The key elements of the landscaping include:

- Specimen Kohekohe trees planted so to screen the view of the dwelling from the area where visitors park on the Ludbrook roadside whilst visiting Pouerua cone.
- Foreground plantings to soften the foreground view of the house from Ludbrook Road,
- Backdrop planting consisting of specimen trees and fast growing natives to provide a visual screen of the dwelling when viewed from Pouerua cone.

8. CONCLUSION

This assessment has provided an understanding of the existing character and quality of the site and surrounding landscape and the visual and physical components of the development proposal.

The building site is located within a valued landscape that has been identified as being part of a Heritage Precinct and an Outstanding Natural Feature. Pouerua cone is located approximately 500m to the north of the building site and has been identified as an Outstanding Landscape Feature.

The proposed building site is located on the fringe of the Heritage Precinct, and on the lower contours of the flanks of Pouerua cone, close to Ludbrook Road. The dwelling will be the only building located on the 95ha property. The location of the dwelling close to Ludbrook Road and near other buildings present consolidates development within an already modified part of the landscape, and in an area where buildings are part of the present landscape character.

The dwelling is small in scale and recessively coloured, blending into the landscape setting. The proposed landscape integration plantings will screen the view of the development from sensitive parts of the surrounding landscape, particularly from the elevated viewing positions on Pouerua cone. This will mitigate any potential adverse effects upon landscape, visual and heritage character values to a less than minor level.

The development is sensitive to the ONF and OLF and is consistent with the relevant assessment criteria, objectives and policies found within the ODP and RPS.

Yours sincerely

Christine Hawthorn
BLA (Hons.)

Hawthorn Landscape Architects Ltd.



31/01/2024

Location Map

Ngawhitu Ltd
320 Ludbrook Road, Pakaraka

Scale	Drawn By
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Drawing #	Rev #
1.0	A

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5. All construction work based on these plans is to comply with relevant local authority regulations and all NZ building codes and standards.



KEY

③  Viewpoints
1 - 8



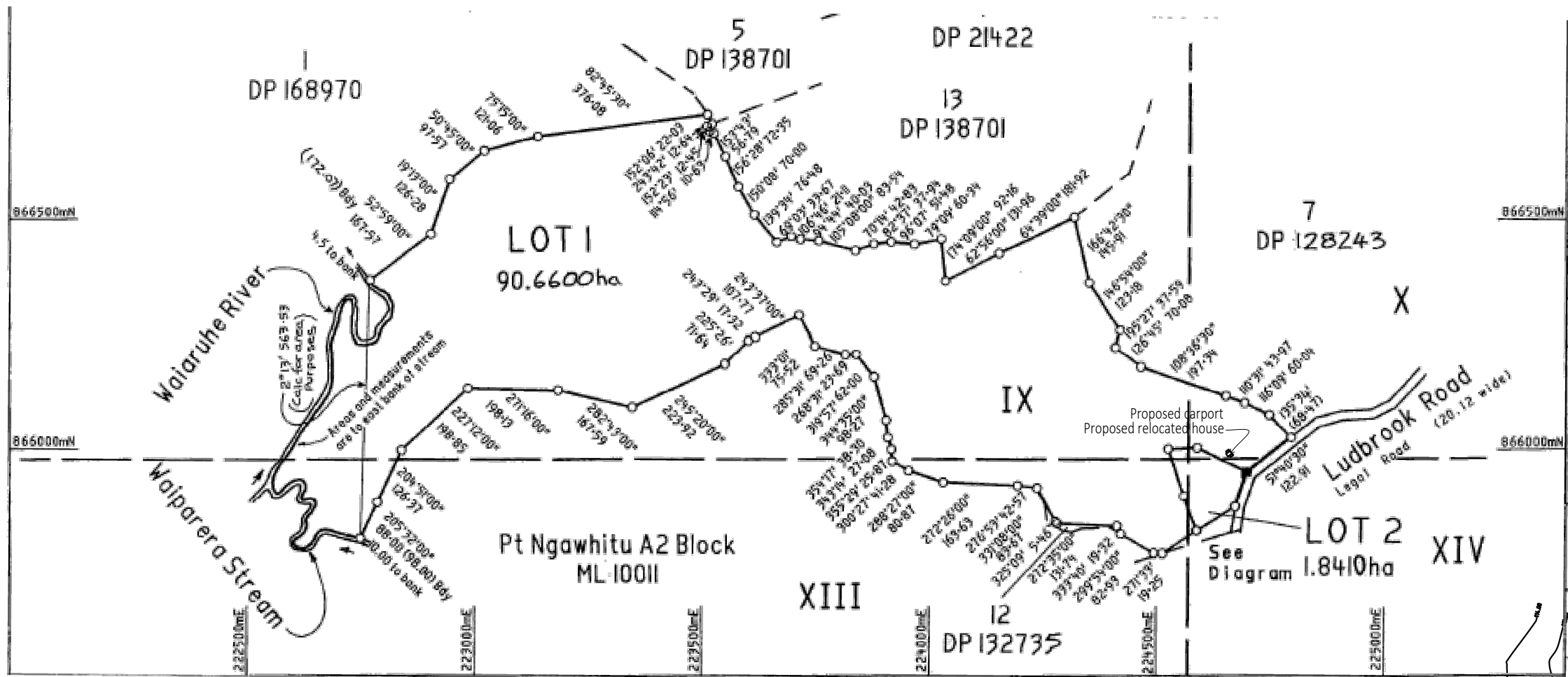
31/01/2024

Appendix 1
Photo Location Map

Ngawhitu Ltd
320 Ludbrook Road, Pakaraka

Scale	Drawn By
1:8000 @ A3	Cad Design
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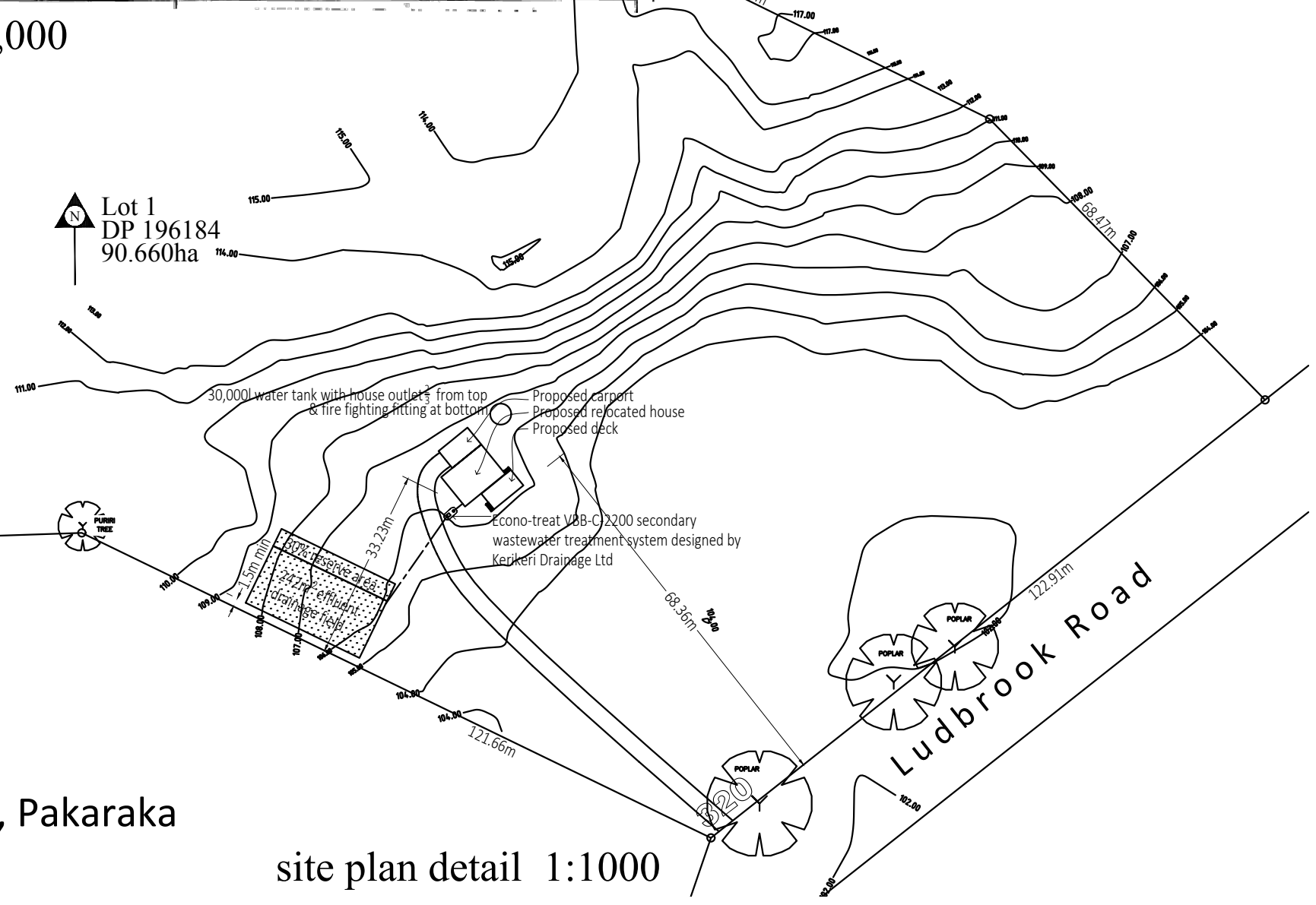


site location 1:10,000

Notes:

- land use zone:**
District Plan zone is Rural Production
- wind zone:**
building site wind zone is Extra High
- exposure zone:**
building site exposure zone is 'B'
- ground:**
see attached geotechnical report by
- topography:**
building platform contour is near flat
- excavation for subfloor:**
maximum depth: <1.2m
maximum volume: <3m³
- plumbing & drainage:**
all plumbing & drainage work is to fully comply with NZBC G13/AS1 & all local body regulations
- wastewater:**
see attached wastewater report by
- stormwater:**
stormwater is to be piped to water tank
overflow is to be piped to dispersion trench
water tank house outlet is to be fitted with a 20micron filter

building coverage:	
area of site	94.9220m ²
Proposed house footprint	59.4m ²
total building coverage	59.4m ²
0.006% of site has building coverage	
12.5% building coverage is permitted	
site coverage:	
area of site	94.9220m ²
Proposed house roof area	72.52m ²
carport	25m ²
driveway & paths	250m ²
total impermeable surfaces	347.52m ²
0.036% of site has impermeable surfaces	
15% impermeable surfaces is permitted	

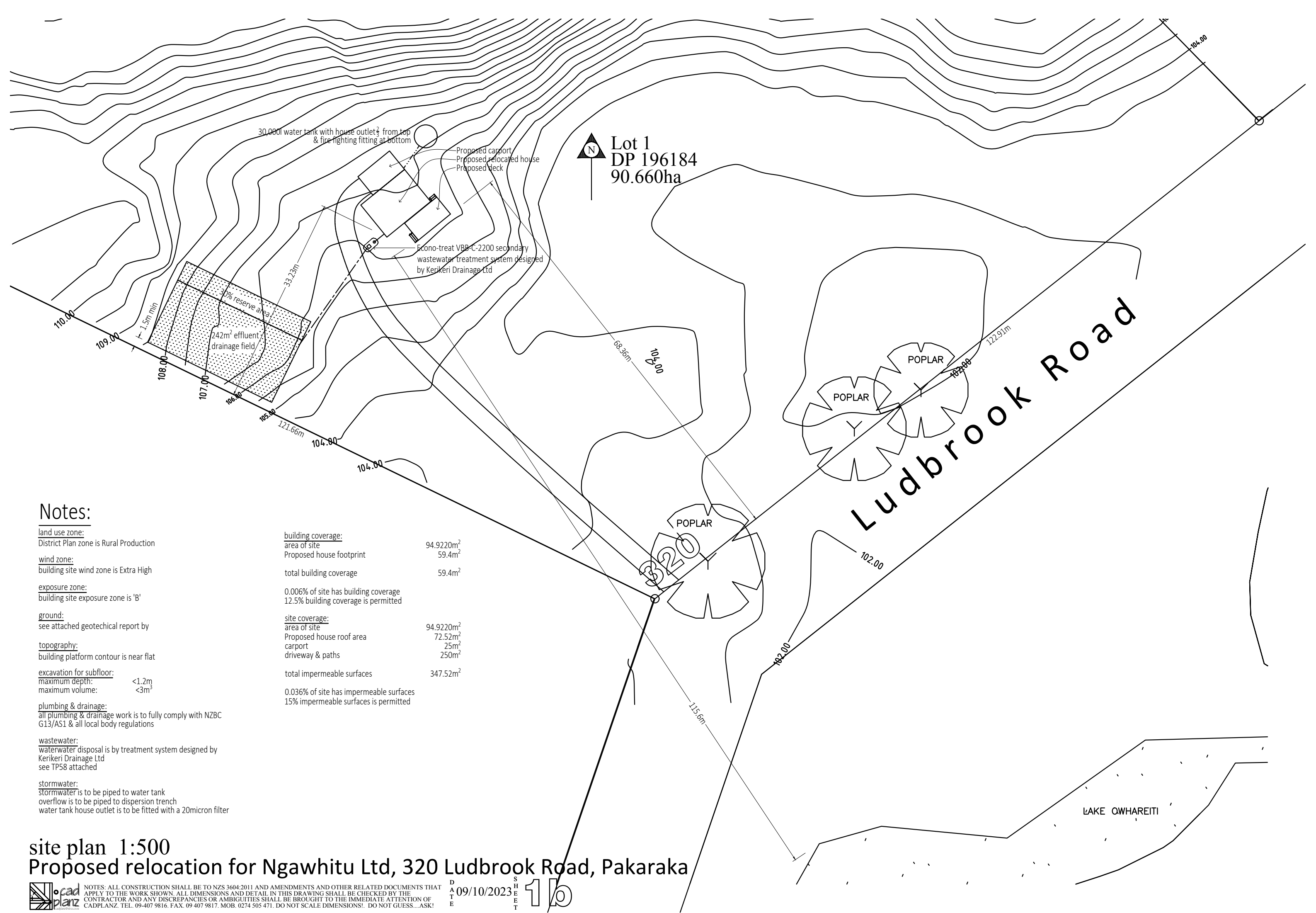


site plan detail 1:1000

site location 1:10,000 & site plan detail 1:1,000
Proposed relocation for Ngawhitu Ltd, 320 Ludbrook Road, Pakaraka

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DATE 09/10/2023
SHEET 1a



N
Lot 1
DP 196184
90.660ha

Notes:

land use zone:
District Plan zone is Rural Production

wind zone:
building site wind zone is Extra High

exposure zone:
building site exposure zone is 'B'

ground:
see attached geotechnical report by

topography:
building platform contour is near flat

excavation for subfloor:
maximum depth: <1.2m
maximum volume: <3m³

plumbing & drainage:
all plumbing & drainage work is to fully comply with NZBC G13/AS1 & all local body regulations

wastewater:
wastewater disposal is by treatment system designed by Kerikeri Drainage Ltd see TP58 attached

stormwater:
stormwater is to be piped to water tank
overflow is to be piped to dispersion trench
water tank house outlet is to be fitted with a 20micron filter

building coverage:	
area of site	94.9220m ²
Proposed house footprint	59.4m ²
total building coverage	59.4m²
0.006% of site has building coverage	
12.5% building coverage is permitted	
site coverage:	
area of site	94.9220m ²
Proposed house roof area	72.52m ²
carport	25m ²
driveway & paths	250m ²
total impermeable surfaces	347.52m²
0.036% of site has impermeable surfaces	
15% impermeable surfaces is permitted	

site plan 1:500
Proposed relocation for Ngawhitu Ltd, 320 Ludbrook Road, Pakaraka

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DATE 09/10/2023
 SHEET 1/1

LAKE OWHAREITI

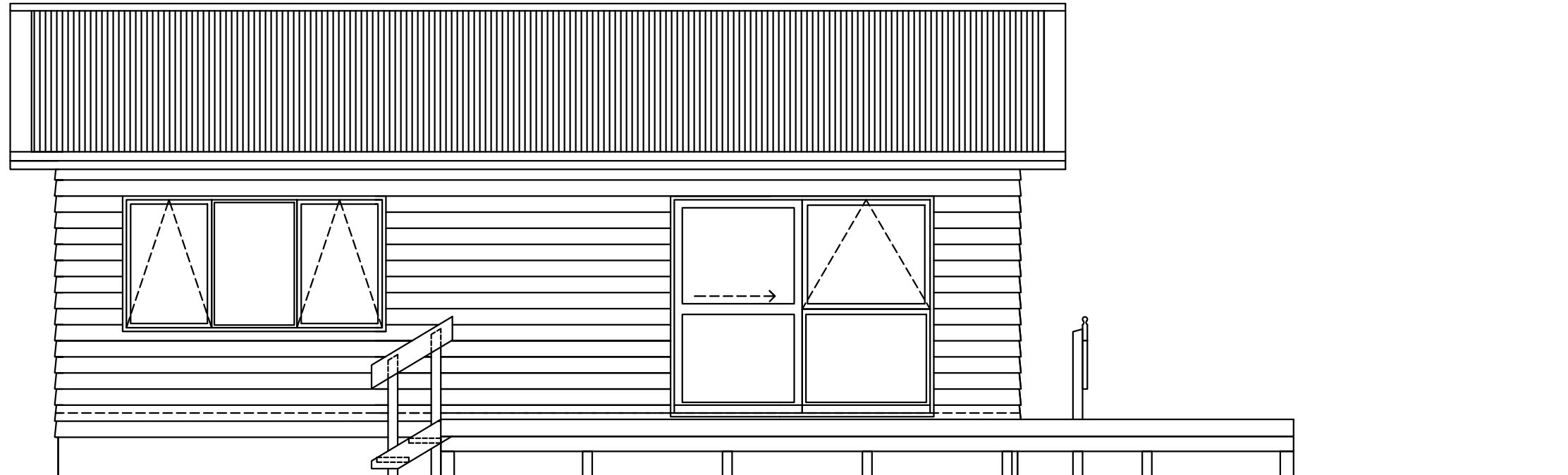
existing house roof & flashings

new 0.55g Colorsteel barge flashings
ex25mm H3.2 fascia
2-190x45 SG8 H3.2 verandah beams

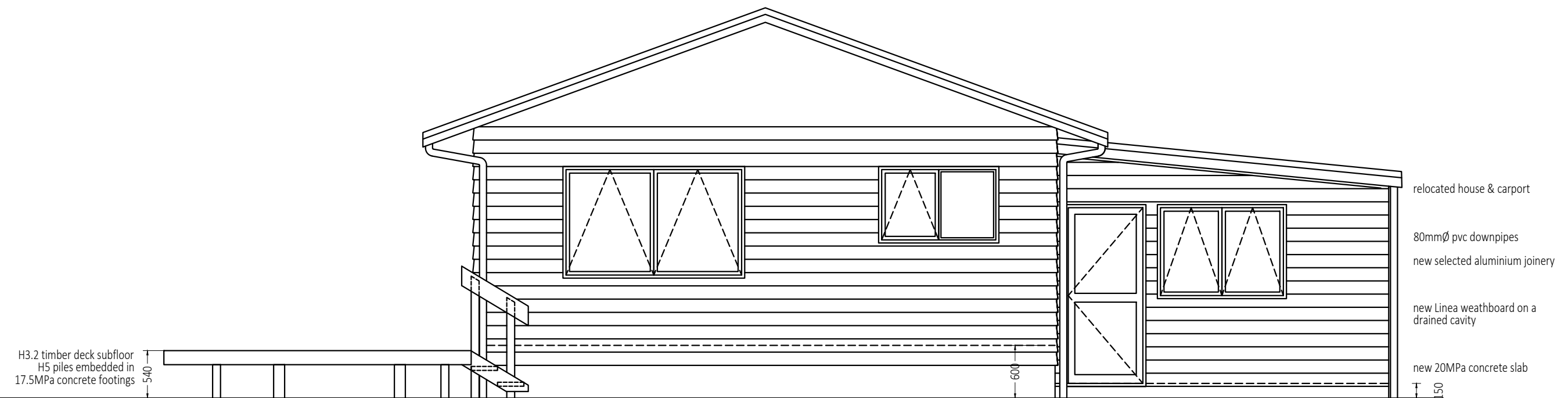
125mm² H5 verandah posts
relocated house

steps with handrail on one side
max rise= 180mm min tread=280mm

H3.2 timber deck subfloor
H5 piles embedded in
17.5MPa concrete footings



south-eastern elevation



H3.2 timber deck subfloor
H5 piles embedded in
17.5MPa concrete footings

steps with handrail on one side
max rise= 180mm min tread=280mm

relocated house & carport

80mmØ pvc downpipes
new selected aluminium joinery

new Linea weathboard on a
drained cavity

new 20MPa concrete slab

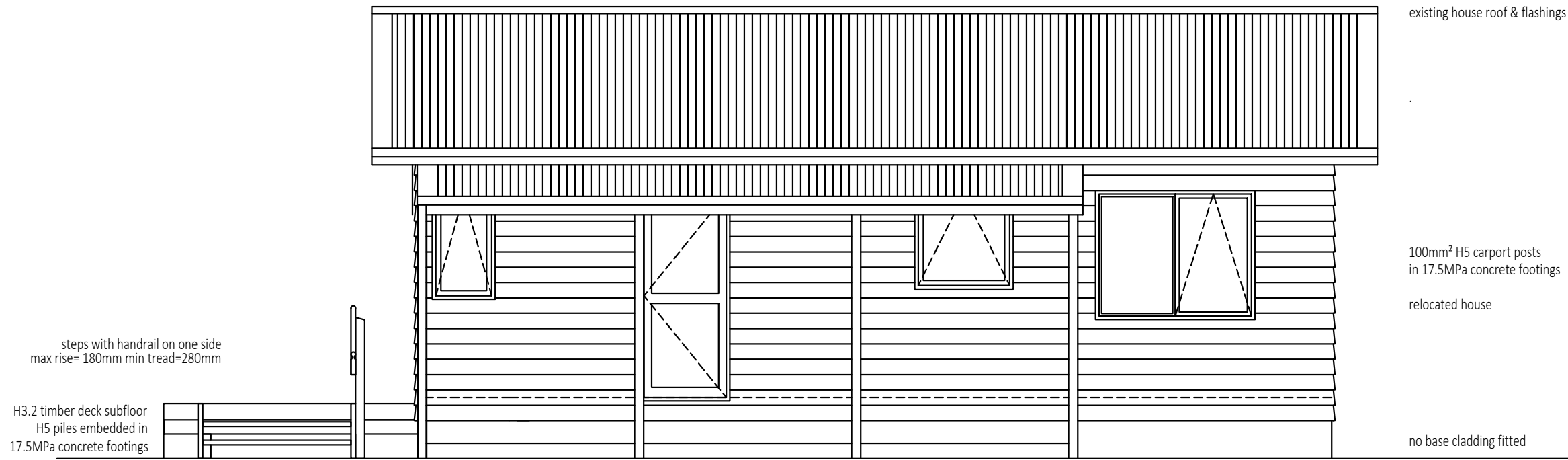
north-eastern elevation

Proposed elevations #1 1:50
Proposed relocation for Ngawhitu Ltd, 320 Ludbrook Road, Pakaraka

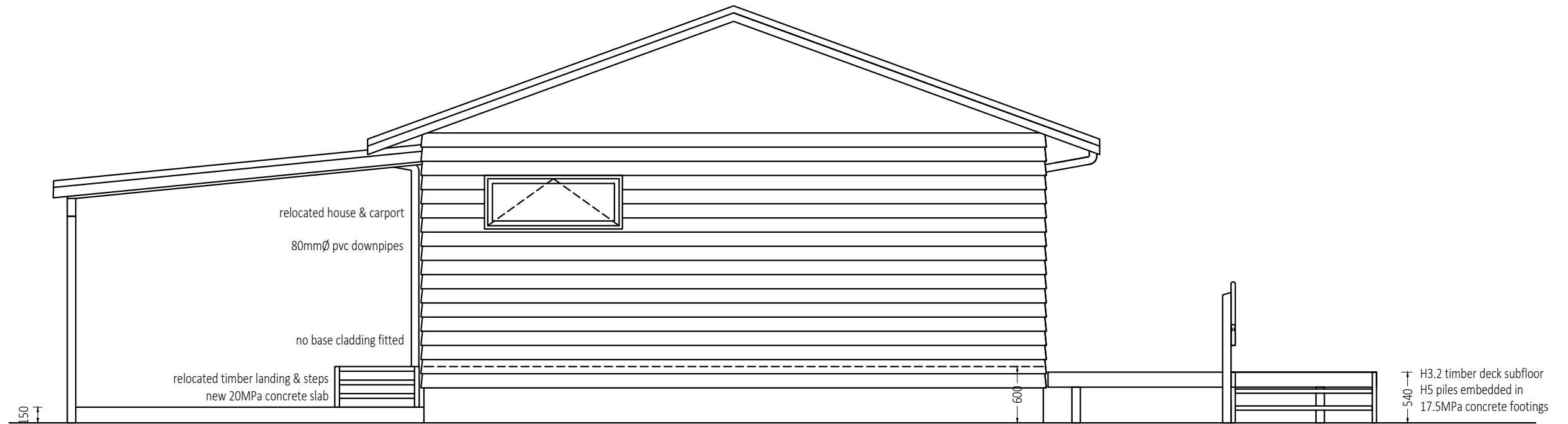


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DATE 09/10/2023
SHEET 2a



north-western elevation



south-western elevation

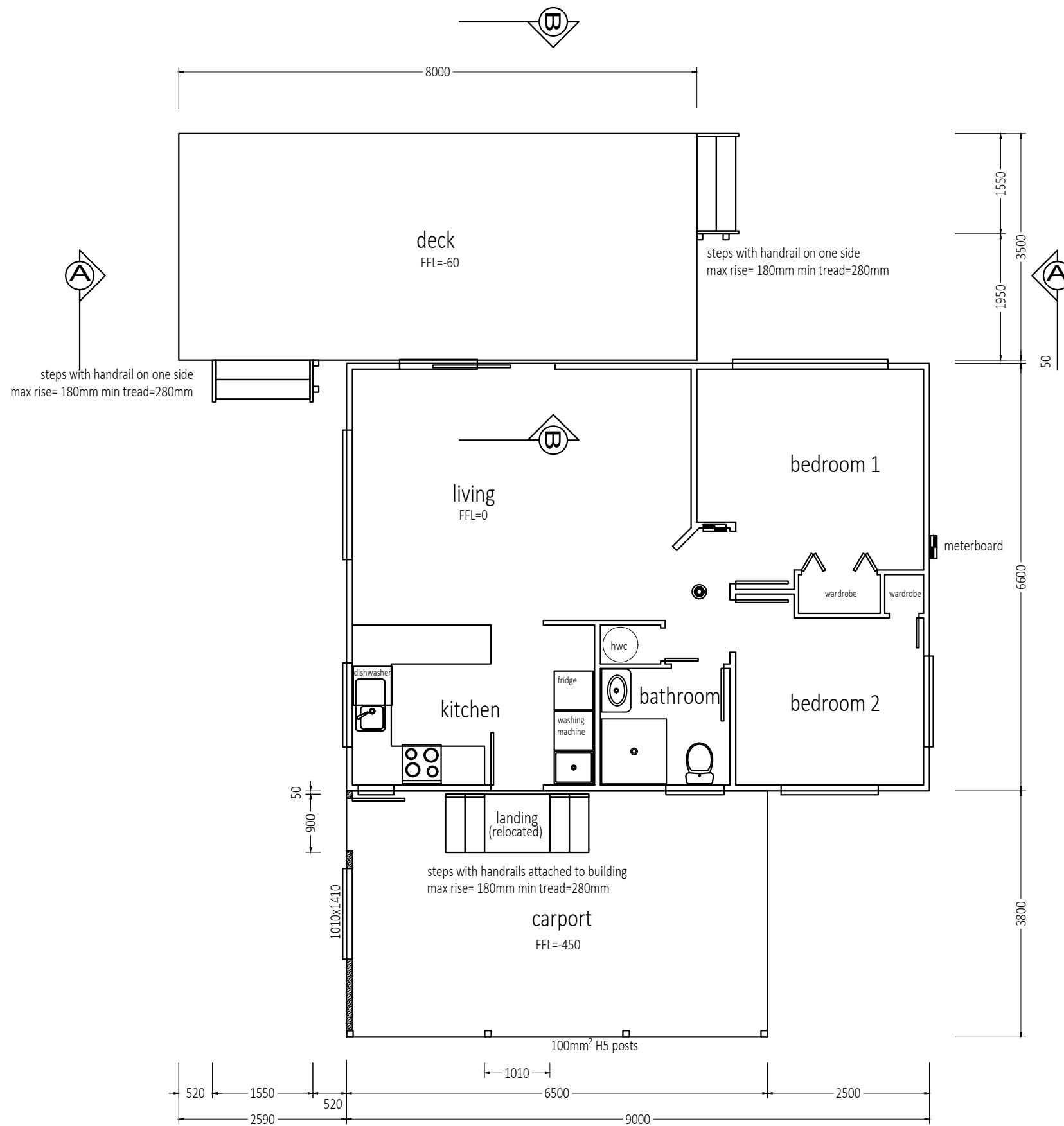
Proposed elevations #2 1:50
 Proposed relocation for Ngawhitu Ltd, 320 Ludbrook Road, Pakaraka



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DATE 09/10/2023

2b



Notes:

areas:
 House GFA= 59.4m²
 carport= 24.7m²
 new deck= 23.1m²

● denotes smoke alarm

splashbacks:
 all vanities, benches and laundry tubs have splashbacks fitted

wet areas:
 kitchen, laundry & bathroom floors are vinyl
 shower walls are Hardieglaze

safety glass:
 bathroom windows are to be glazed with laminated safety glass

insulation:
 install R1.4 EPS under floor insulation
 walls are insulated with R2.2 batts
 ceiling is insulated with R3.6 batts

ventilation:
 kitchen & bathroom have mechanical ventilation venting to exterior

exterior joinery:
 all exterior joinery is single glazed
 jambs are H3.1 treated

■ denotes distribution board

NZBC:
 all work is to comply with relevant clauses of the building code

Proposed floor plan 1:75
Proposed relocation for Ngawhitu Ltd, 320 Ludbrook Road, Pakaraka



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DATE 09/10/2023
 SHEET 3

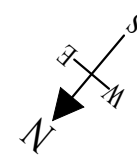




Photo 1 - View from driveway leading to house site



Photo 2 - View from the northwestern side of the house site





Photo 3 - View from the northern side of the building site



Photo 4 - View from the northeastern side of the building site

Proposed dwelling



Viewpoint 1 – First position along Ludbrook Road that allows views of the proposed dwelling. Other dwellings and farm buildings are visible beyond Lake Owhareiti.

Proposed dwelling



Viewpoint 2 – View of the dwelling from the side of Ludbrook Road, in the area where visitors to Pouerua cone park. Four other buildings are visible in this view from this location.



Proposed dwelling



Viewpoint 3 – View of the dwelling from the side of Ludbrook Road, in the area where visitors to Pouerua cone park. This angle of the view is directed more towards Pouerua cone.

Proposed dwelling



Viewpoint 4 – View from Ludbrook Road, just to the south of the house site. One other dwelling is visible to the west, and Pouerua cone forms the dominant land backdrop to this view.



Proposed dwelling



Viewpoint 5 – View from Pouerua cone to the north of the site. Lake Owhareiti and other dwelling sites are visible in the backdrop.

Proposed dwelling



Viewpoint 6 – View from further up Pouerua cone to the north of the site. Lake Owhareiti and other dwelling sites are visible in the backdrop.





Viewpoint 7 – View from close to the top of Pouerua cone to the north of the site. Lake Owhareiti and other dwelling sites are visible in the backdrop. The Lakeland Lane area is visible to the south.



Viewpoint 8 – View from Lakeland Lane area, looking towards the site.





Backdrop planting will provide a vegetated backdrop when viewed from Ludbrook Road. The planting & specimen trees will also screen the view of the dwelling when viewed from the elevated Pouerua Cone

Specimen trees & foreground plantings will soften the view of the dwelling when viewed from Ludbrook Road

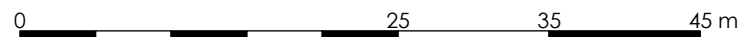
Specimen trees will screen house from access point to Pouerua

Specimen trees planted in this location will screen the view of the dwelling from Ludbrook Road where visitors to Pouerua come park



31/01/2024	
Landscape Plan	
Ngawhitu Ltd 320 Ludbrook Road, Pakaraka	
Scale	Drawn By
1:500 @ A3	Cad Design
Drawing #	Rev #
1.1	A

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Lota
Lomandra longifolia 'Tanika'



Phco
Phormium cookianum

Plant Schedule Foreground Planting

Code	Botanical Name	Common Name	Schedule Size	Spacing (m)
Lota	Lomandra longifolia 'Tanika'	Lomandra Grass	PB5	2
Phco	Phormium cookianum	Mountain Flax	PB5	2

Plant Schedule Backdrop Planting

Code	Botanical Name	Common Name	Schedule Size	Spacing (m)
Lesc	Leptospermum scoparium	Manuka	PB5	1.5
Mesp	Metrosideros 'Springfire'	Pohutukawa var.	PB12	5
Myau	Myrsine australis	Mapou	PB5	1.2
Picr	Pittosporum crassifolium	Karo	PB5	3
Psle	Pseudopanax lessonii	Five finger	PB5	3

Note:
Leptospermum scoparium
(planted to the rear)



Lesc
Leptospermum scoparium



Mesp
Metrosideros 'Springfire'



Myau
Myrsine australis



Picr
Pittosporum crassifolium



Psle
Pseudopanax lessonii



Vilu
Vitex lucens



Knex
Knightia excelsa



Dysp
Dysoxylum spectabile

Plant Schedule Specimen Trees

Code	Botanical Name	Common Name	Schedule Size
Dysp	Dysoxylum spectabile	Kohekohe	PB18
Knex	Knightia excelsa	Rewarewa	PB18
Vilu	Vitex lucens	Puriri Tree	PB18



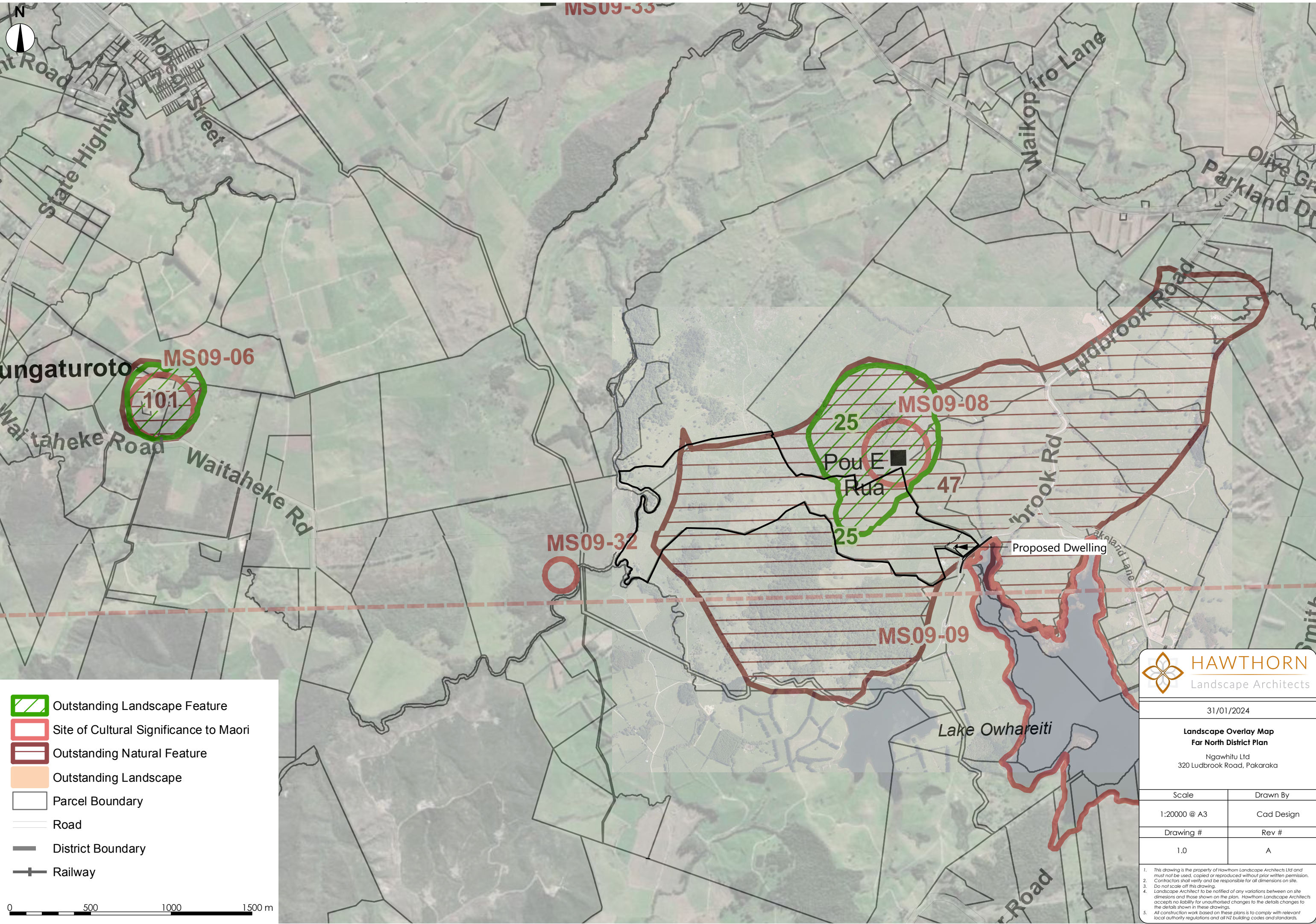
31/01/2024









Plant Palette

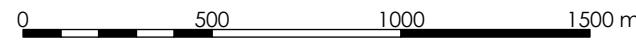
Ngawhitu Ltd
320 Ludbrook Road, Pakaraka

Scale	Drawn By
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-  Outstanding Landscape Feature
-  Site of Cultural Significance to Maori
-  Outstanding Natural Feature
-  Outstanding Landscape
-  Parcel Boundary
-  Road
-  District Boundary
-  Railway



 **HAWTHORN**
Landscape Architects

31/01/2024	
Landscape Overlay Map Far North District Plan	
Ngawhitu Ltd 320 Ludbrook Road, Pakaraka	
Scale	Drawn By
1:20000 @ A3	Cad Design
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SUPPLEMENT A:

Natural Character and Landscape Effects Assessment Method

Updated 2 November 2022

Introduction

The Natural Character, Landscape and Visual Effects Assessment (NCLVEA) process provides a framework for assessing and identifying the nature and level of likely effects that may result from a proposed development. Such effects can occur in relation to changes to physical elements, changes in the existing character or condition of the landscape and the associated experiences of such change. In addition, the landscape assessment method may include (where appropriate) an iterative design development processes, which seeks to avoid, remedy or mitigate adverse effects (see **Figure 1**).

This outline of the landscape and visual effects assessment methodology has been undertaken with reference to the **Te Tangi A Te Manu: Aotearoa New Zealand Landscape Assessment Guidelines** and its signposts to examples of best practice, which include the **Quality Planning Landscape Guidance Note**¹ and the **UK guidelines for landscape and visual impact assessment**².

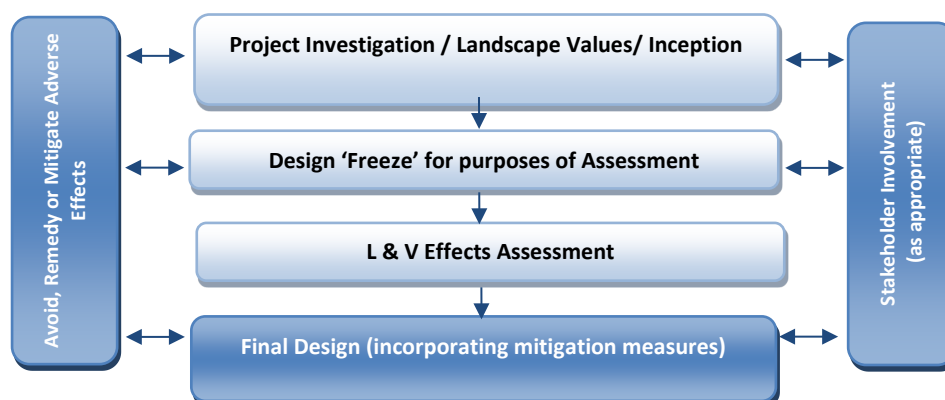


Figure 1: Design feedback loop

When undertaking any landscape assessment, it is important that a **structured and consistent approach** is used to ensure that **findings are clear and objective**. Judgement should be based on skills and experience and be supported by explicit evidence and reasoned argument.

While natural character, landscape and visual effects assessments are closely related, they form separate procedures. Natural character effects consider the characteristics and qualities and associated degree of modification relating specifically to waterbodies and their margins, including the coastal environment. The assessment of the potential effects on landscape considers effects on landscape character and values. The assessment of visual effects considers how changes to the physical landscape affect the viewing audience. The types of effects can be summarised as follows:

Natural Character effects: *Change in the characteristics or qualities including the level of naturalness.*

Landscape effects: *Change in the physical landscape, which may affect its characteristics or values*

Visual effects: *Change to views which may affect the visual amenity experienced by people*

¹ <http://www.qualityplanning.org.nz/index.php/planning-tools/land/landscape>

² Landscape Institute and Institute of Environmental Management and Assessment (2013) Guidelines for Landscape and Visual Impact Assessment, 3rd Edition (GLVIA3)

The policy context, existing landscape resource and locations from which a development or change is visible, all inform the 'baseline' for landscape and visual effects assessments. To assess effects, the first step requires identification of the landscape's **character** and **values** including the **attributes** on which such values depend. This requires that the landscape is first **described**, including an understanding of relevant physical, sensory and associative landscape dimensions. This process, known as landscape characterisation, is the basic tool for understanding landscape character and may involve subdividing the landscape into character areas or types. The condition of the landscape (i.e. the state of an individual area of landscape or landscape feature) should also be described together with, a judgement made on the value or importance of the potentially affected landscape.

Natural Character Effects

In terms of the RMA, natural character specifically relates to the coastal environment as well as freshwater bodies and their margins. The RMA provides no definition of natural character. RMA, section 6(a) considers natural character as a matter of national importance:

...the preservation of the natural character of the coastal environment (including the coastal marine area), wetlands, and lakes and rivers and their margins, and the protection of them from inappropriate subdivision, use, and development.

Natural character comprises the natural elements, patterns and processes of the coastal environment, waterbodies and their margins, and how they are perceived and experienced. This assessment interprets natural character as being the degree of naturalness consistent with the following definition:

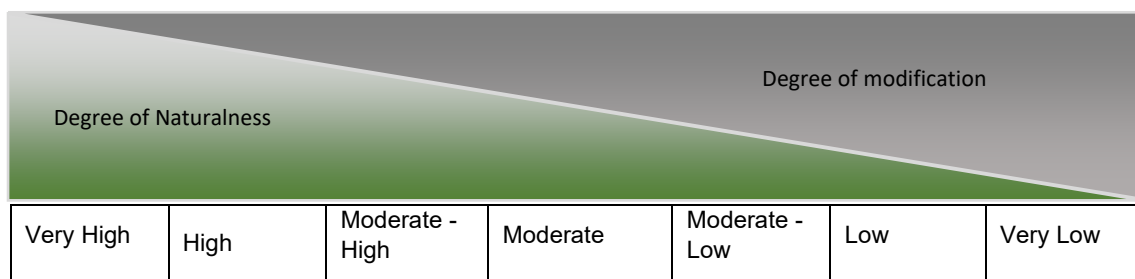
Natural character is a term used to describe the naturalness of waterbodies and their margins. The degree or level of natural character depends on:

- *The extent to which natural elements, patterns and processes occur;*
- *The nature and extent of modifications to the ecosystems and landscape/seascape;*
- *The highest degree of natural character (greatest naturalness) occurs where there is least modification; and*
- *The effect of different types of modification upon the natural character of an area varies with the context and may be perceived differently by different parts of the community.*

The process to assess natural character involves an understanding of the many systems and attributes that contribute to waterbodies and their margins, including biophysical and experiential factors. This can be supported through the input of technical disciplines such as marine, aquatic and terrestrial ecology, and landscape architecture.

Defining the Level of Natural Character

The level of natural character is assessed in relation to a seven-point scale. The diagram below illustrates the relationship between the degree of naturalness and degree of modification. A high level of natural character means the waterbody is less modified and vice versa.

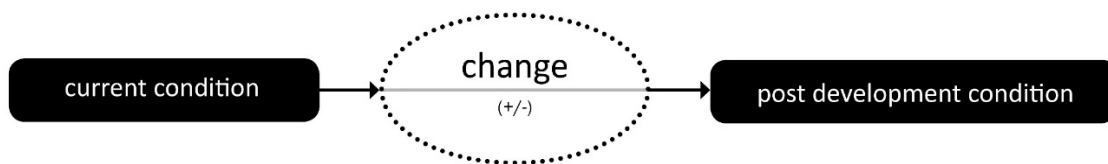


Scale of Assessment

When defining levels of natural character, it is important to clearly identify the spatial scale considered. The scale at which natural character is assessed will typically depend on the study area or likely impacts and nature of a proposed development. Within a district or region-wide study, assessment scales may be divided into broader areas which consider an overall section of coastline or river with similar characteristics, and finer more detailed 'component' scales considering separate more local parts, such as specific bays, reaches or escarpments. The assessment of natural character effects has therefore considered the change to attributes which indicate levels of natural character at a defined scale.

Effects on Natural Character

An assessment of the effects on natural character of an activity involves consideration of the proposed changes to the current condition compared to the existing. This can be negative or positive.



The natural character effects assessment involves the following steps;

- assessing the existing level of natural character;
- assessing the level of natural character anticipated (post construction); and
- considering the significance of the change

Landscape Effects

Assessing landscape effects requires an understanding of the landscape resource and the magnitude of change which results from a proposed activity to determine the overall level of landscape effects.

Landscape Resource

Assessing the sensitivity of the landscape resource considers the key characteristics and qualities. This involves an understanding of both the ability of an area of landscape to absorb change and the value of the landscape.

Ability of an area to absorb change

This will vary upon the following factors:

- Physical elements such as topography / hydrology / soils / vegetation;
- Existing land use;
- The pattern and scale of the landscape;
- Visual enclosure / openness of views and distribution of the viewing audience;
- The zoning of the land and its associated anticipated level of development;
- The scope for mitigation, appropriate to the existing landscape.

The ability of an area of landscape to absorb change takes account of both the attributes of the receiving environment and the characteristics of the proposed development. It considers the ability of a specific type of change occurring without generating adverse effects and/or achievement of landscape planning policies and strategies.

The value of the Landscape

Landscape value derives from the importance that people and communities, including tangata whenua, attach to particular landscapes and landscape attributes. This may include the classification of Outstanding Natural Feature or Landscape (ONFL) (RMA s.6(b)) based on important physical, sensory and associative landscape attributes, which have potential to be affected by a proposed development. A landscape can have value even if it is not recognised as being an ONFL.

Magnitude of Landscape Change

The magnitude of landscape change judges the amount of change that is likely to occur to areas of landscape, landscape features, or key landscape attributes. In undertaking this assessment, it is important that the size or scale of the change is considered within the geographical extent of the area influenced and the duration of

change, including whether the change is reversible. In some situations, the loss /change or enhancement to existing landscape elements such as vegetation or earthworks should also be quantified.

When assessing the level of landscape effects, it is important to be clear about what factors have been considered when making professional judgements. This can include consideration of any benefits which result from a proposed development. **Table 1** below helps to explain this process. The tabulating of effects is only intended to inform overall judgements.

Contributing Factors		Higher	Lower
Landscape (sensitivity)	Ability to absorb change	The landscape context has limited existing landscape detractors which make it highly vulnerable to the type of change resulting from the proposed development.	The landscape context has many detractors and can easily accommodate the proposed development without undue consequences to landscape character.
	The value of the landscape	The landscape includes important biophysical, sensory and shared and recognised attributes. The landscape requires protection as a matter of national importance (ONF/L).	The landscape lacks any important biophysical, sensory or shared and recognised attributes. The landscape is of low or local importance.
Magnitude of Change	Size or scale	Total loss or addition of key features or elements. Major changes in the key characteristics of the landscape, including significant aesthetic or perceptual elements.	The majority of key features or elements are retained. Key characteristics of the landscape remain intact with limited aesthetic or perceptual change apparent.
	Geographical extent	Wider landscape scale.	Site scale, immediate setting.
	Duration and reversibility	Permanent. Long term (over 10 years).	Reversible. Short Term (0-5 years).

Table 1: Determining the level of landscape effects

Visual Effects

Visual effects are a subset of landscape effects. They are consequences of change on landscape values as experienced in views. To assess the visual effects of a proposed development on a landscape, a visual baseline must first be defined. The visual 'baseline' forms a technical exercise which identifies the area where the development may be visible, the potential viewing audience, and the key representative public viewpoints from which visual effects are assessed.

Field work is used to determine the actual extent of visibility of the site, including the selection of representative viewpoints from public areas. This stage is also used to identify the potential 'viewing audience' e.g. residential, visitors, recreation users, and other groups of viewers who can see the site. During fieldwork, photographs are taken to represent views from available viewing audiences.

The viewing audience comprises the individuals or groups of people occupying or using the properties, roads, footpaths and public open spaces that lie within the visual envelope or 'zone of theoretical visibility (ZTV)' of the site and proposal. Where possible, computer modelling can assist to determine the theoretical extent of visibility together with field work to confirm this. Where appropriate, key representative viewpoints should be agreed with the relevant local authority.

The Sensitivity of the Viewing Audience

The sensitivity of the viewing audience is assessed in terms of assessing the likely response of the viewing audience to change and understanding the value attached to views.

Likely response of the viewing audience to change

Appraising the likely response of the viewing audience to change is determined by assessing the occupation or activity of people experiencing the view at particular locations and the extent to which their interest or activity may be focussed on views of the surrounding landscape. This relies on a landscape architect's judgement in respect of visual amenity and the reaction of people who may be affected by a proposal. This should also recognise that people more susceptible to change generally include: residents at home, people engaged in outdoor recreation whose attention or interest is likely to be focussed on the landscape and on particular views; visitors to heritage assets or other important visitor attractions; and communities where views contribute to the wider landscape setting.

Value attached to views

The value or importance attached to particular views may be determined with respect to its popularity or numbers of people affected or reference to planning instruments such as viewshafts or view corridors. Important

viewpoints are also likely to appear in guide books or tourist maps and may include facilities provided for its enjoyment. There may also be references to this in literature or art, which also acknowledge a level of recognition and importance.

Magnitude of Visual Change

The assessment of visual effects also considers the potential magnitude of change which will result from views of a proposed development. This takes account of the size or scale of the effect, the geographical extent of views and the duration of visual change, which may distinguish between temporary (often associated with construction) and permanent effects where relevant. Preparation of any simulations of visual change to assist this process should be guided by best practice as identified by the NZILA³.

When determining the overall level of visual effect, the nature of the viewing audience is considered together with the magnitude of change resulting from the proposed development. **Table 4** has been prepared to help guide this process:

Contributing Factors		Higher	Lower	Examples
The Viewing Audience (sensitivity)	Ability to absorb change	Views from dwellings and recreation areas where attention is typically focussed on the landscape.	Views from places of employment and other places where the focus is typically incidental to its landscape context. Views from transport corridors.	Dwellings, places of work, transport corridors, public tracks
	Value attached to views	Viewpoint is recognised by the community such as an important view shaft, identification on tourist maps or in art and literature. High visitor numbers.	Viewpoint is not typically recognised or valued by the community. Infrequent visitor numbers.	Acknowledged viewshafts, Lookouts
Magnitude of Change	Size or scale	Loss or addition of key features in the view. High degree of contrast with existing landscape elements (i.e. in terms of form scale, mass, line, height, colour and texture). Full view of the proposed development.	Most key features of views retained. Low degree of contrast with existing landscape elements (i.e. in terms of form scale, mass, line, height, colour and texture). Glimpse / no view of the proposed development.	- Higher contrast/ Lower contrast. - Open views, Partial views, Glimpse views (or filtered); No views (or obscured)
	Geographical extent	Front on views. Near distance views; Change visible across a wide area.	Oblique views. Long distance views. Small portion of change visible.	- Front or Oblique views. - Near distant, Middle distant and Long distant views
	Duration and reversibility	Permanent. Long term (over 15 years).	Transient / temporary. Short Term (0-5 years).	- Permanent (fixed), Transitory (moving)

Table 2: Determining the level of visual effects

Nature of Effects

In combination with assessing the level of effects, the landscape and visual effects assessment also considers the nature of effects in terms of whether this will be positive (beneficial) or negative (adverse) in the context within which it occurs. Neutral effects can also occur where landscape or visual change is benign.

It should also be noted that a change in a landscape does not, of itself, necessarily constitute an adverse landscape or visual effect. Landscape is dynamic and is constantly changing over time in both subtle and more dramatic transformational ways; these changes are both natural and human induced. What is important in managing landscape change is that adverse effects are avoided or sufficiently mitigated to ameliorate the effects of the change in land use. The aim is to provide a high amenity environment through appropriate design outcomes.

³ Best Practice Guide: Visual Simulations BPG 10.2, NZILA

This assessment of the nature of effects can be further guided by **Table 2** set out below:

Nature of effect	Use and Definition
Adverse (negative):	The activity would be out of scale with the landscape or at odds with the local pattern and landform which results in a reduction in landscape and / or visual amenity values
Neutral (benign):	The activity would be consistent with (or blend in with) the scale, landform and pattern of the landscape maintaining existing landscape and / or visual amenity values
Beneficial (positive):	The activity would enhance the landscape and / or visual amenity through removal or restoration of existing degraded landscape activities and / or addition of positive elements or features

Table 1: Determining the Nature of Effects

Cumulative Effects

This can include effects of the same type of development (e.g. bridges) or the combined effect of all past, present and approved future development⁴ of varying types, taking account of both the permitted baseline and receiving environment. Cumulative effects can also be positive, negative or benign.

Cumulative Landscape Effects

Cumulative landscape effects can include additional or combined changes in components of the landscape and changes in the overall landscape character. The extent within which cumulative landscape effects are assessed can cover the entire landscape character area within which the proposal is located, or alternatively, the zone of visual influence from which the proposal can be observed.

Cumulative Visual Effects

Cumulative visual effects can occur in combination (seen together in the same view), in succession (where the observer needs to turn their head) or sequentially (with a time lapse between instances where proposals are visible when moving through a landscape). Further visualisations may be required to indicate the change in view compared with the appearance of the project on its own.

Determining the nature and level of cumulative landscape and visual effects should adopt the same approach as the project assessment in describing both the nature of the viewing audience and magnitude of change leading to a final judgement. Mitigation may require broader consideration which may extend beyond the geographical extent of the project being assessed.

Determining the Overall Level of Effects

The landscape and visual effects assessment conclude with an overall assessment of the likely level of landscape and visual effects. This step also takes account of the nature of effects and the effectiveness of any proposed mitigation. The process can be illustrated in Figure 2:



Figure 2: Assessment process

This step informs an overall judgement identifying what level of effects are likely to be generated as indicated in **Table 3** below. This table which can be used to guide the level of natural character, landscape and visual effects uses an adapted seven-point scale derived from Te Tangi A Te Manu.

⁴ The life of the statutory planning document or unimplemented resource consents.

Effect Rating	Use and Definition
Very High:	Total loss of key elements / features / characteristics, i.e. amounts to a complete change of landscape character and in views.
High:	Major modification or loss of most key elements / features / characteristics, i.e. little of the pre-development landscape character remains and a major change in views. <u>Concise Oxford English Dictionary Definition</u> <i>High: adjective- Great in amount, value, size, or intensity.</i>
Moderate- High:	Modifications of several key elements / features / characteristics of the baseline, i.e. the pre-development landscape character remains evident but materially changed and prominent in views.
Moderate:	Partial loss of or modification to key elements / features / characteristics of the baseline, i.e. new elements may be prominent in views but not necessarily uncharacteristic within the receiving landscape. <u>Concise Oxford English Dictionary Definition</u> <i>Moderate: adjective- average in amount, intensity, quality or degree</i>
Low-Moderate:	Minor loss of or modification to one or more key elements / features / characteristics, i.e. new elements are not prominent within views or uncharacteristic within the receiving landscape.
Low:	Little material loss of or modification to key elements / features / characteristics. i.e. modification or change is not uncharacteristic or prominent in views and absorbed within the receiving landscape. <u>Concise Oxford English Dictionary Definition</u> <i>Low: adjective- 1. Below average in amount, extent, or intensity.</i>
Very Low:	Negligible loss of or modification to key elements/ features/ characteristics of the baseline, i.e. approximating a 'no change' situation and a negligible change in views.

Table 3: Determining the overall level of landscape and visual effects

Determination of “minor”

Decision makers determining whether a resource consent application should be notified must also assess whether the effect on a person is less than minor⁵ or an adverse effect on the environment is no more than minor⁶. Likewise, when assessing a non-complying activity, consent can only be granted if the s104D 'gateway test' is satisfied. This test requires the decision maker to be assured that the adverse effects of the activity on the environment will be 'minor' or not be contrary to the objectives and policies of the relevant planning documents.

These assessments will generally involve a broader consideration of the effects of the activity, beyond the landscape and visual effects. Through this broader consideration, guidance may be sought on whether the likely effects on the landscape or effects on a person are considered in relation to 'minor'. It must also be stressed that more than minor effects on individual elements or viewpoints does not necessarily equate to more than minor landscape effects. In relation to this assessment, moderate-low level effects would generally equate to 'minor' (see **Table 4**).

The third row highlights the word 'significant'. The term 'significant adverse effects' applies to particular RMA situations, namely as a threshold for the requirement to consider alternative sites, routes, and methods for Notices of Requirement under RMA s171(1)(b), the requirements to consider alternatives in AEEs under s6(1)(a) of the 4th Schedule. It may also be relevant to tests under other statutory documents such as for considering effects on natural character of the coastal environment under the NZ Coastal Policy Statement (NZCPS) Policy 13 (1)(b) and 15(b).

<u>Less than Minor</u>		<u>Minor</u>	<u>More than Minor</u>			
Very Low	Low	Low-Moderate	Moderate	Moderate-High	High	Very High
					Significant	

Table 4: Determining adverse effects for notification determination, non-complying activities and significance

⁵ RMA, Section 95E

⁶ RMA Section 95D

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**PROPOSED BUILDING PLATFORM 320
LUDBROOK ROAD, PAKARAKA:**

**ARCHAEOLOGICAL
SURVEY AND ASSESSMENT OF EFFECTS**



*Prepared for
Cadplanz & Ngawhitu Ltd*

*by
Don Prince*

November 2023

PROPOSED RESIDENTIAL DEVELOPMENT 320 LUDBROOK ROAD, PAKARAKA: ARCHAEOLOGICAL SURVEY AND ASSESSMENT OF EFFECTS

Introduction

This archaeological survey was carried out at the request of Paul Hayman of Cadplanz and Planners on behalf of the owners, Ngawhitu Ltd, in order to determine if archaeological sites are affected by the proposed building platform for a relocated house at 320 Ludbrook Rd, Pakaraka (Figure 1). The proposed building site is part of Ngawhitu Ltd's farm west of Ludbrook Rd between Pouerua cone and Lake Owhareiti in the south of the Pouerua Heritage Precinct (Figure 1). The Pouerua Heritage Precinct has high significance due to the type, density, extent and preservation of its archaeological features. The 95-hectare property is legally described as Lot 8 DP 465552 and is generally referred to as "the property" within this report.

The Pouerua Heritage Precinct landscape has been extensively studied archaeologically including formal excavations of tihi, terraces, cone rim and defensive features around the volcanic cone and gardening features within the surrounding volcanic field as documented in Sutton et al 2003. This work has revealed a model of human activity for the Precinct built and supported by the evidence (reliable radiocarbon dates) commencing with extensive forest clearance as early as c.500 BP through to the early post-contact period (Sutton et al 2003:192-199). Aside of the visually spectacular features of the cone there is considerable evidence of cultivation on the surrounding volcanic soils. Sutton et al concluded that the collective evidence "suggests that there was intense and widespread occupation of the volcanic landscape around Pouerua prior to 1650 AD" (Sutton et al 2003:199) that appears to have continued into the early post-contact.

This report is part of the required assessment of effects to accompany an application to Heritage NZ Pouhere Taonga to carry out an invasive investigation of areas of ground disturbance associated with the project. This includes foundation pile post holes for the dwelling and deck, re-vegetation of the dwelling surrounds, septic system and

installation of utilities. The 24.7m² (6.5m x 3.6m) carport slab will be constructed on a cap of imported material requiring no topsoil removal while the vehicle access has been provided by way of imported material laid directly on the existing ground. It is also noted that a natural scarp to the north is susceptible to erosion and will be included in the re-vegetation program in order to improve stability.

The results of the current research and inspection found that impact to known archaeological features is minor appearing to be confined to a lateral drain to the rear do the building platform. However, the sites location within such a significance archaeological landscape mean it is not possible to give an absolute assurance that undetected subsurface archaeological feature will not be encountered during earthworks related to the proposal. Therefore, it is recommended that a General Authority should be sought and obtained from Heritage NZ Pouhere Taonga (HNZPT). The exploratory investigation will be confined to the landscape affected by the current proposal.

It is understood that ^{TMB-} ~~an~~ consultation is being carried out separate to this report.

Statutory Requirements

The statutory requirements relating to the archaeological and other heritage values of the project area are outlined below.

Two major Acts govern the management of heritage sites in NZ:

- The Resource Management Act 1991 (RMA)
- The Heritage NZ Pouhere Taonga Act 2014 (HNZPTA)

Under the RMA archaeological and other historic heritage sites are resources that should be sustainably managed by “avoiding, remedying or mitigating any adverse effects of activities on the environment” (Section 5 (2) (c)).

Under Section 6 of the RMA 1991 it is recognised as a matter of national importance that “all persons exercising functions and powers under it, in relation to managing the use, development, and protection of natural and physical resources, shall recognise and provide for the following matters of national importance: (e) relationship of Maori and their culture and traditions with their ancestral lands, water, wahi tapu and other taonga

[and] (f) the protection of historic heritage from inappropriate subdivision, use and development”.

The RMA defines historic heritage as “those natural and physical resources that contribute to an understanding and appreciation of New Zealand’s history and cultures, deriving from any of the following qualities: (i) archaeological; (ii) architectural; (iii) cultural; (iv) historic; (v) scientific; (vi) technological” (RMA Section S2).

Historic heritage includes: (i) historic sites, structures, places and areas; (ii) archaeological sites; (iii) sites of significance to Maori, including wahi tapu; (iv) surroundings associated with the natural and physical resources”.

The archaeological remains within the study area constitute historic heritage as defined under the RMA, and their protection should be recognised and provided for when managing the proposed project.

In addition to the requirements of the RMA (1991), the Heritage NZ Pouhere Taonga Act 2014 (HNZPTA) protects all archaeological sites whether recorded or not, and they may not be damaged or destroyed unless an Authority to modify an archaeological site has been issued by the Heritage NZ Pouhere Taonga (HNZPT).

An archaeological site, as defined by the HNZPTA (2014) is, a place associated with pre-1900 human activity, where there may be evidence relating to the history of New Zealand. A place associated with post-1900 human activity may be declared by gazettal as an archaeological site under the Act. Archaeological sites may not be destroyed damaged or modified except pursuant to an authority granted under the HNZPTA (2014).

Authorities to modify archaeological sites can be applied for under a general authority, in respect to a particular site or sites, or for all sites that may be present within a specific area. Applications made under a general authority may require approval by the Maori Heritage Council of the HNZPT. The tangata whenua should be consulted regarding applications to modify or destroy archaeological sites which have Maori cultural associations.

Note that 20 or 40 working days should be allowed for the processing of authorities, which include a statutory stand down period of 15 working days before an authority may be exercised.

All archaeological remains and historic places within the project area are protected under the provisions of the HNZPTA and may not be damaged, modified or destroyed without an Authority from HNZPT.

There are no registered wahi tapu within the project area.

Implementation of the RMA in relation to Ludbrook Rd is undertaken by:

- The Far North District Council.

Other Legislation:

- Coroners Act 2006 requires that “a person who finds a body in NZ must report that finding to a member of the police as soon as practicable”.
- Burial and Cremation Act 1964 controls the burial, cremation, and exhumation of bodies as well as the management of burial grounds and cemeteries. Conditions of the Act make it an offence to “remove any body or the remains of any body buried in a cemetery, Maori burial ground or other burial ground or place of burial without licence under the hand of the Minister [Health]”.
- The Protected Objects Act 1975 is administered by the Ministry for Culture and Heritage and regulates:
 1. Export of protected NZ objects
 2. Illegal export and import of protected NZ and Foreign objects
 3. Sale, trade and ownership of taonga tuturu.

Any taonga tuturu (Maori artefacts) discovered must be notified to the Ministry which will determine their custody in consultation with tangata whenua. The Act also covers goods or samples associated with burials.



Figure 1: Aerial showing the approximate location of the proposed dwelling at 320 Ludbrook Rd arrowed in red (Google maps 2023).



Figure 2: Pouerua Heritage Area outlined in black with indicative survey location circled in red (Base plan from Bell 2012:9).

Summary

Currently the owners' seek to place a 60m² relocated 2-bedroom dwelling in pasture to the north of Ludbrook Rd with an upgrade of the existing vehicle access and installation of utilities (Figure 3). Ground disturbance associated with the proposal consists of post holes for foundation piles (125mm x 125mm H5 posts) for dwelling and deck, a 24.7m² x 400mm deep excavation for carport slab and trenching for utilities and septic system. It is also proposed to amenity plant the eroding scarp immediately to the north and land between the dwelling and Ludbrook Rd with low impact and shallow rooting species (Alec Jack October 2023).

The property is located within the Pouerua Heritage Precinct (see below) and was registered in June 1994 as a Category 1 Historic Place under the Historic Places Act 1993 number 6711. Pouerua is considered to be an archaeological site of special and

outstanding historical and cultural heritage significance and value as well as a traditional site to Ngapuhi who consider Pouerua the origin and watershed or pou of the two traditional areas of Ngapuhi, Hokianga to the west and Taumarere in the east.

The proposed house site was specifically chosen by the owners due to its proximity to Ludbrook Rd but far enough away to minimise road dust effects, natural landform providing shelter and good foundation for shallow rooting amenity plants that will reduce dwellings visibility from Ludbrook Rd.

Twenty-six previously recorded archaeological sites are located within the property's legal boundary all associated with the Pouerua volcanic cone and its per-contact occupation with defensive and open settlement sites with related gardening and storage features (Figure 6). The nearest previously identified site, P05/385 comprised of terraces, pits and platform, was identified in 1980 on the property's northern boundary up slope from Ludbrook Rd and northwest of the survey area while two terraces and a stone heap were recorded c.50m to the southwest (Figure 9). Examination of aerial photographs (Figures 9 & 10) and an archaeological map produced by Leatherby and Morgan (Figure 9) suggests the building platform is located within a system of drains and trenches related to gardening with a lateral drain immediately to its rear. It is noted that the majority of these drain features have not been recorded nor archaeologically investigated and are therefore, generally poorly understood.

It is not possible to give an absolute assurance that undected subsurface archaeological feature will not be encountered during proposed earthworks.

Therefore, it is recommended that prior to the commencement of works a General Authority is sought and obtained from Heritage NZ Pouhere Taonga under conditions contained in the Heritage NZ Pouhere Taonga Act (2014).

Pouerua Heritage Precinct

The survey property lies within the Pouerua Heritage Precinct scheduled within the Far North District Plan that includes the nearby Pouerua Cone scheduled as a site of cultural significance to Maori.

The Far North District Plan states that:

“ The Pouerua Heritage Precinct is distinguished from other NZ historic landscapes and wahi tapu by the number and diversity of heritage values that are attached to it, by

its size and by the degree of its integrity. It embodies the mana of Ngapuhi, the historic engagements of Maori and Pakeha in war and peace and has been preserved to date by the separate and collective effects of iwi and others. There are major Maori fortifications on the rim of the volcanic cone, hundreds of terraces on the flanks and intensive evidence of pre-European and 19th century gardens and settlements on the lava field. The Pouerua Precinct is considered to contain the best remaining example of a large group of field systems settlements and fortifications surviving as an integrated whole. All archaeological evidence within the Pouerua volcanic system therefore, gains significance through association with the total complex and merits recognition.”

The construction of new structures within heritage precincts such as Pouerua is a controlled activity if not visible from a public place or a discretionary activity if the building is visible under the Far North District Plan (Rules 12.5A.6.2.3 & 12.5A.6.3.2). Controls or discretion is restricted to:

“(a) the location of buildings or structures in relation to buildings on adjacent sites, particularly so as to maintain a consistent relationship between buildings and the street;

(b) the exterior design and appearance of the building;

(c) the colours of all exterior surfaces, so as to ensure the appropriate use of colours;

(d) the materials used;

(e) the heritage value of the building and the effect of the activity on the heritage value of the Precinct;

(f) the effect of the activity on the heritage and archaeological values of the precinct;

(g) the location of the buildings in respect of the landscape and archaeological sites.”

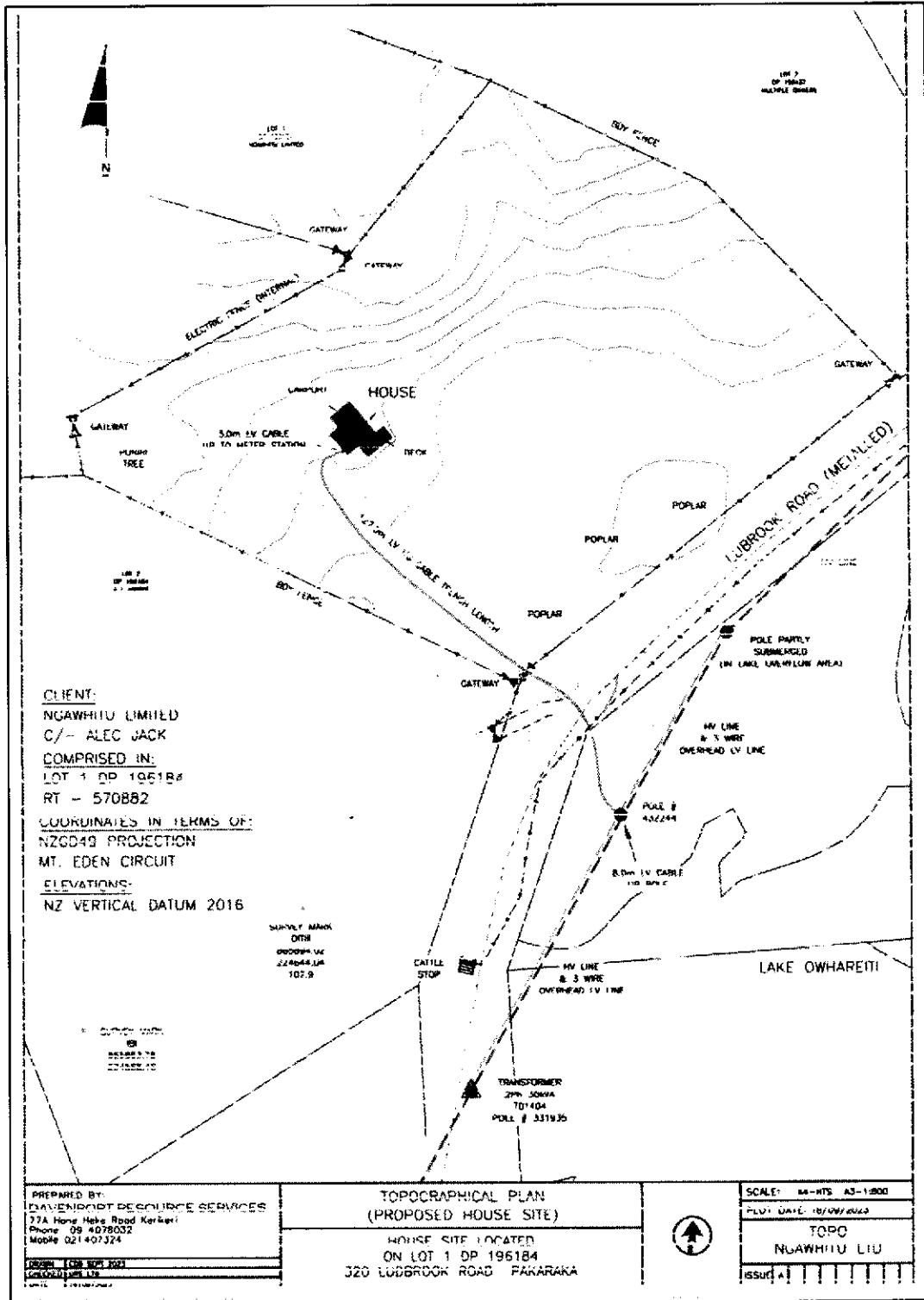


Figure 3: Proposed dwelling development with topography (Davenport Resource Services 2023).

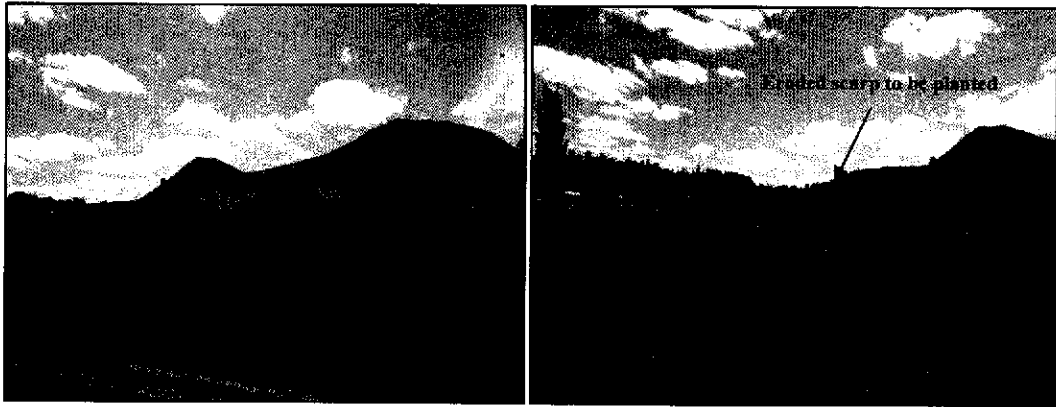


Figure 4: To left dwelling viewed from the southeast with Pouterua cones in background and at right viewed from east.

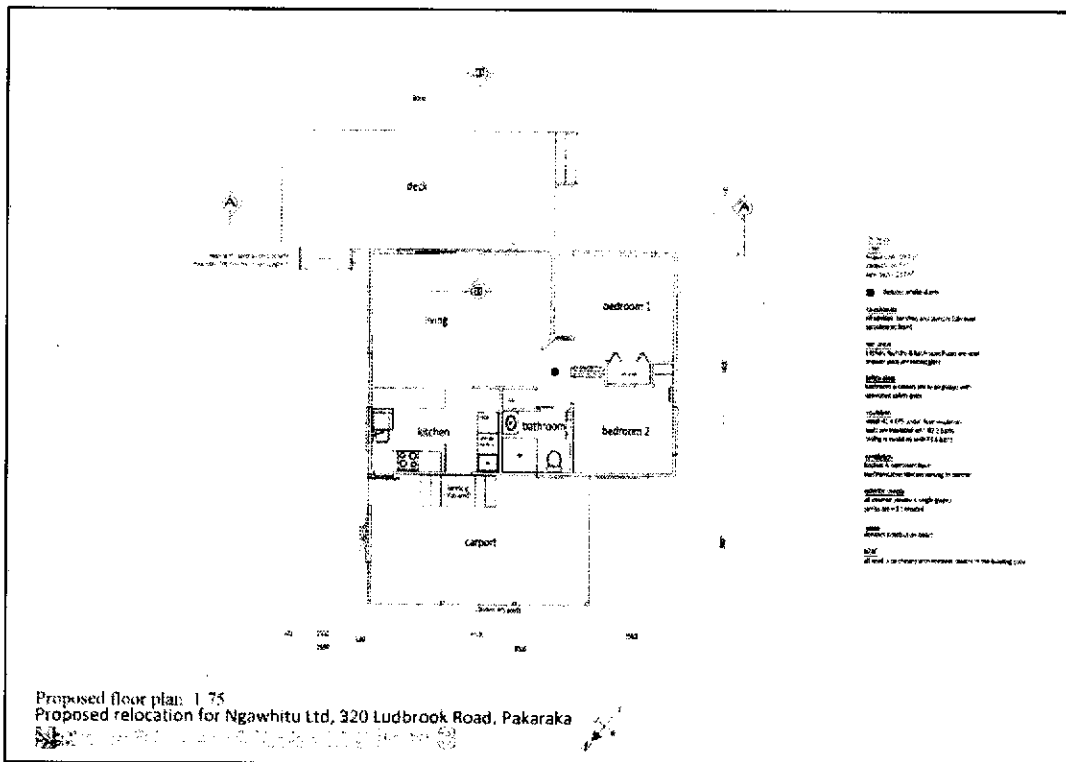


Figure 5: Proposed residential dwelling proposed for 320 Ludbrook Rd (Cadplanz 2023).

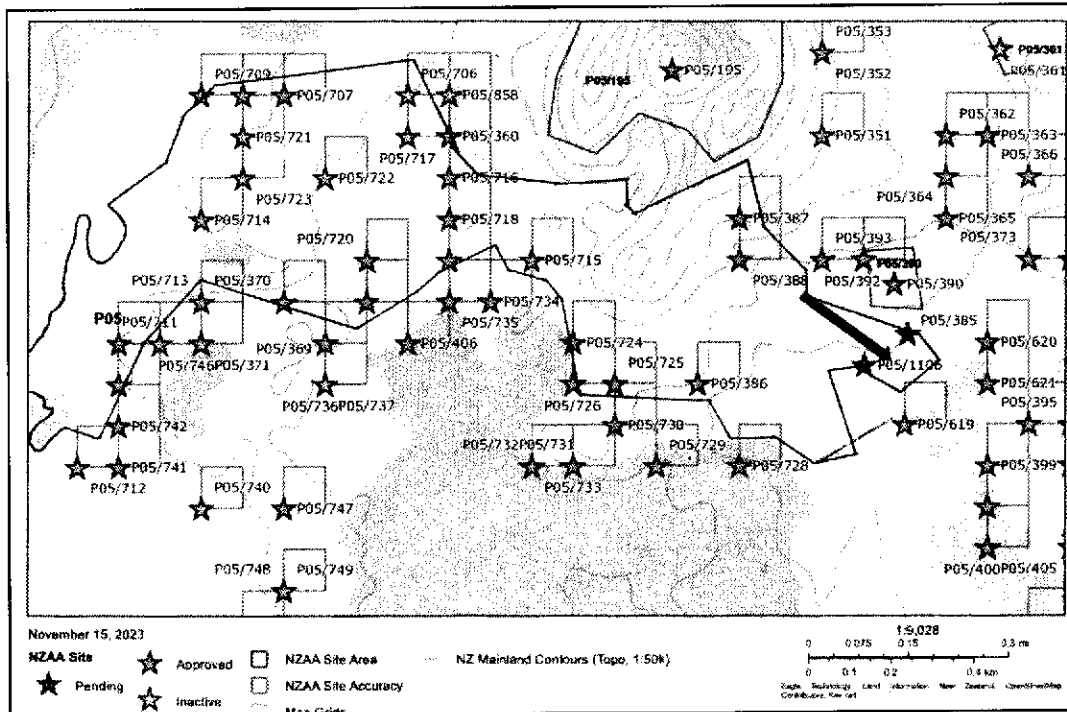


Figure 6: Spatial representation of recorded archaeological sites within and in the vicinity of the survey property (ArchSite November 2023). NOTE: Property boundary and arrowed building platform location indicative only.

Constraints and Limitations

This report is based on research of the available historic records, previous archaeological reports, archival aerial photographs (Retrolens NZ), NZ Archaeological Association's (NZAA) digital database (ArchSite) and a site inspection.

It should also be noted that the field inspection was limited to a visible examination with limited sub-surface testing (spade test pits and probing) and that such archaeological survey techniques cannot provide evidence for the absence of archaeological features or deposits. This can only be determined following extensive topsoil removal. In addition, the current inspection was confined to the area of works and landscape in the vicinity and therefore should not be considered a total survey of the property.

Archaeological survey and mitigation deals solely with the scientific identification and recovery of the physical evidence of past human habitation. Archaeological methods cannot necessarily identify the spiritual or cultural values associated with that occupation; this can only be undertaken by the effected tangata whenua.

Methodology

The NZAA's Digital Site File Index (ArchSite) and literature relevant to the area was searched for archaeological sites recorded on or in the immediate vicinity of the project. Paul Hayman provided design and location plan. Previous archaeological assessments and investigation reports were reviewed. A visual inspection with minor subsurface testing. Soil profiles were examined for evidence of earlier modification such as modified soils, storage pits or the presence of shell midden and hangi. At the time of inspection ground surface visibility was adequate.

It should be recognised that standard archaeological survey methods cannot provide evidence for the absence of archaeological features or deposits or sites of significance to mana whenua.

Results

Background

Cultural Setting

An assessment of the cultural significance can only competently be made by the effected mana whenua. Since archaeological survey cannot necessarily detect sites of traditional significance to Maori, or wahi tapu, the effected tangata whenua should be consulted regarding the possible existence of such sites. It should be noted that an assessment of cultural significance might not necessarily correspond with an assessment of archaeological significance.

Physical Setting

Located on the lower southern slopes of Pouerua volcanic cone the soils of the property consist of Ohaiwai and Papakauri silt loams. Derived from basalt rock these red/brown loams are highly fertile, often shallow and boulder strewn (Phillips et al 1980:11).

Background

Historical Background

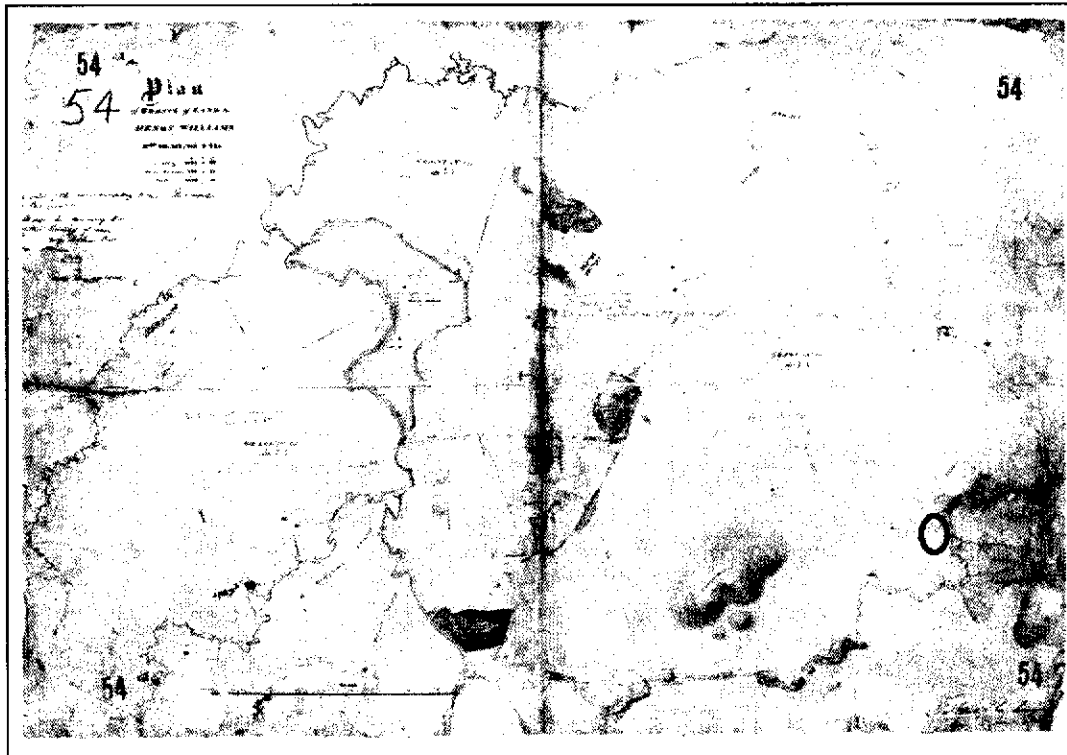


Figure 7: Old Land Claim 54 dated 1866 of Henry Williams claim (LINZ) with survey property circled lower right.

In 1838 Henry Williams of the Church Missionary Service (CMS) purchased the 3000-acre Pouerua Block from Nga Puhi chief Te Morenga, along with a number of neighbouring land blocks at Pakaraka. The sum of these purchases amounted to 11000 acres as represented on the 1866 Old Land Claim 54 (Figure 7). These original purchases were not surveyed rather referring to geological, cultural and natural features for definition. Correspondence from Williams makes it clear his concerns for his children once they were of an age when the CMS would cease supporting was motivation for the purchases in order to provide property that would support them. By 1840 Williams had purchased c.4450-hectares however, the signing of the Treaty of Waitangi meant that pre-Treaty land transactions required review by the Land Commissioners. The subsequent review reduced his purchase to in 1841 to 7010 acres that was increased to 9000 acres in 1844 (Williams Memorial Museum website). In the following years Williams converted much of the holding into pasture. Henry Williams was head of the CMS in NZ from 1823 until 1849 when he was dismissed following

his refusal to give up his holdings surrounding Pakaraka only to be re-instated in 1854 (Williams Memorial Museum website).

It is noted that ancestral connections cited by Daamen (1996:200-202) that the Pouerua area is considered the cradle of Nga Puhi and that Maori who sold Williams the land, intended the sale as an offering of occupational rights only to Williams (Bell 2012:26). Bell hypothesizes that although what relationship Nga Puhi maintained with Pouerua is unclear “evidence does suggest that Maori did stay on or around Pouerua cone and surrounding landscape for some-time after purchase of the land” (Bell 2012:27).

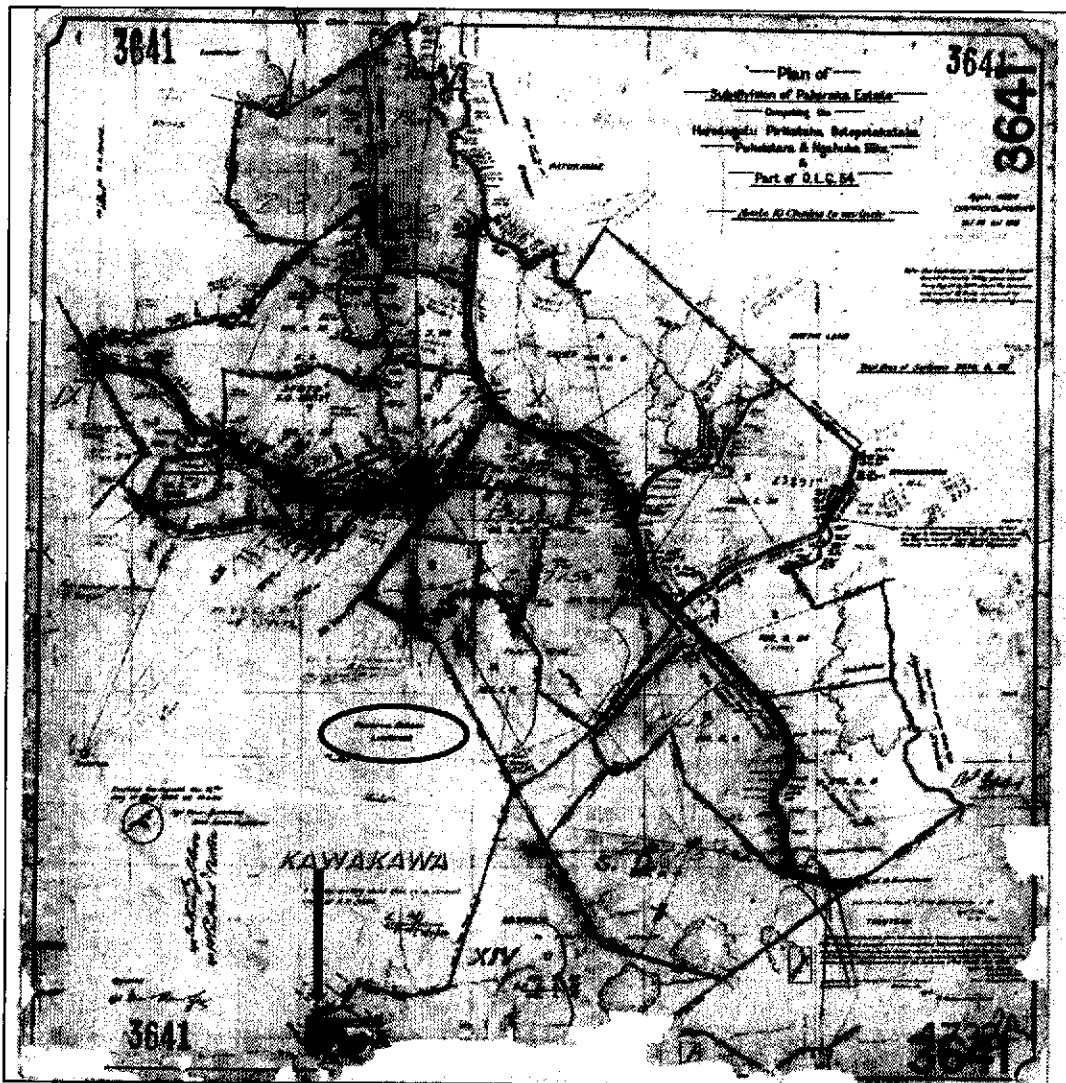


Figure 8: Survey plan ML 3641 of the Pakaraka Claim dated 1906 showing the survey property as part of Ludbrook's Pouerua Estate (LINZ).

Archaeological Context

The property has been the part of a number of previous archaeological surveys resulting in twenty-seven archaeological sites recorded within and many more in its vicinity related to pre-contact Maori occupation and horticulture of the Pouerua volcanic cone and surrounding volcanic soils (Figure 6). The cone pa were first recorded in 1963 by R. Lawn and inspected in 1965 by archaeologists J. Davidson, A. Leahy and W. Nicholls identifying the significant archaeological potential of the cone and its surrounds. The formal recording of the archaeological sites surrounding the cone commenced in 1980 by C. Phillips and M. Hilton as part of a large study of the southern and inland Bay of Islands by the Historic Places Trust.

The University of Auckland carried out investigations of the Pouerua cone and its surrounding volcanic field over a number of years in the 1980s culminating in three major publications (Sutton 1990 & 1993 and Sutton, Furey & Marshal 2003). The studies suggested the pre-contact construction of the Pouerua archaeological landscape commenced prior to 1400 and was the result of short-term activity as opposed to long-term year-round occupation with multiply constructions and re-constructions that increased in size and density. The studies found that the first defenses on the cone could not have been constructed earlier than 1550 with defenses added to previously undefended sites between 1450 and 1600 (Sutton et al 2003).

As part of the University's study J. Leatherby and P. Morgan carried out intensive mapping of the cone and its surrounds over two years both on the ground and using aerial photography (Figures 9 & 10). They produced a scale map of the volcanic and silt loams around the cone identifying numerous undefended kainga or settlements, peripheral pa and garden areas consisting of stone walls, rows and heaps along with kilometers of intersecting shallow drains.

There are 27 archaeological sites recorded within Lot 8 DP 465552 and numerous within the proximity of the property's boundary as recorded within ArchSite (Figure 6). The sites consist of terraces, crop storage pits and stone features related to horticulture. All but one of the property's sites were recorded in the 1970s and early 1980s and although later surveys may have re-visited the sites there are no updates within ArchSite and their current state and condition is unknown.

As part of the University's studies Leatherby & Morgan comprehensively mapped the archaeological resources of the cone and its surrounding volcanic soils using aerial

photography and on the ground survey. A section of the mapping is presented in Figures 9 & 13. More recently Louise Furey undertook a comprehensive assessment of pre-contact and early contact gardening and associated archaeological features (Furey 2006). Furey has introduced a number of descriptive names for the drainage features including drains, ditches, trenches and channels making a distinction between those that serve as garden boundaries those that may be drains and/or paths on slopes and flats she termed trenches and those features that drain water from gardens in swampy or poorly drained land she termed ditches. These features are difficult to identify on the ground usually only in low light or as dense vegetation “crop marks”.

It is noted that many of the garden features have not been recorded and it appears that they received little attention during the 1980s investigations by Auckland University and little or no information or analysis regarding the features.

Prior to the site inspection background research identified a platform, terrace and pit site was shown as located in the southwest corner of the survey paddock immediately adjacent to Ludbrook Rd. During the current site inspection the site was relocated on the property’s northern boundary c.80 north of the effected landscape. The site’s GPS location and current state and condition has been updated within ArchSite.

Site No.	Site Type	NZTM Co-ordinates
P05/385	Platform/terraces/pits	E1685010/N6084605
P05/1106	Terraces/rock heap	E1684905/N6084530

Table 1: Archaeological site recorded in vicinity of project area (ArchSite November 2023).

Archaeological Significance Assessment Criteria

A number of criteria have been identified by Heritage NZ Pouhere Taonga for evaluating the value or significance of heritage sites. These criteria are:

- condition or completeness; are parts of the site damaged or destroyed, how complete is the site are parts of the site destroyed or damaged – a complete site has a high value, partly destroyed/modified is of moderate value and destroyed low
- rarity; how common/rare are the site type locally, regionally or nationally
- context; what is the of the site within the associated archaeological sites and within its landscape
- information potential; the potential of the site to provide knowledge through excavation and analysis

- amenity value; depends on access, visibility and location
- cultural associations; known or otherwise by mana whenua

It is beyond the scope of the current assessment to individually assess the 27 sites identified within the property. However, archaeology identified within the property represents a full suite of pre-contact Maori settlement sites types the majority of which are in while investigation, research and analysis including radiocarbon dating and paleoenvironmental reconstruction suggests Maori presence on the Pouerua landscape since the early 13th century (Sutton et al 2003:190-193).

No known archaeological sites are directly affected by the current proposal. However, the proposals location within the Pouerua Heritage Precinct demands a cautious approach.

An assessment of the drain features (Table 2) identified in the landscape surrounding the proposed house site and its associated works are of moderate significance as they form part of an extensive and wide-spread gardening system of Pouerua's volcanic loams and silts and their association to nearby open settlement or kainga sites.

Sites may have other values such as landscape, setting, amenity and educational. It should be noted that as an assessment of cultural values can only competently be made by the effected tangata whenua, this report does not address cultural values.

Criteria	Comment	Significance
Condition	The drains are not visible on ground surface but are visible through aerial photography. Appear modified by stock trampling.	Low - Moderate
Diversity	The only identified features are slope drains that individually are part of network of similar drains	Low
Rarity	Drains are a common feature within the Pouerua Heritage Precinct and pre-contact and early contact Maori occupation	Low
Context	Associated with undefended sites (kainga) part of an extensive network gardening features	Moderate - high
Information potential	Possible potential in providing information regarding drain morphology and associations as a network	Moderate
Amenity	Little or no amenity value as no visibility and as part of a working farm	Low

Table 2: Assessment of significance of drains in the projects vicinity.

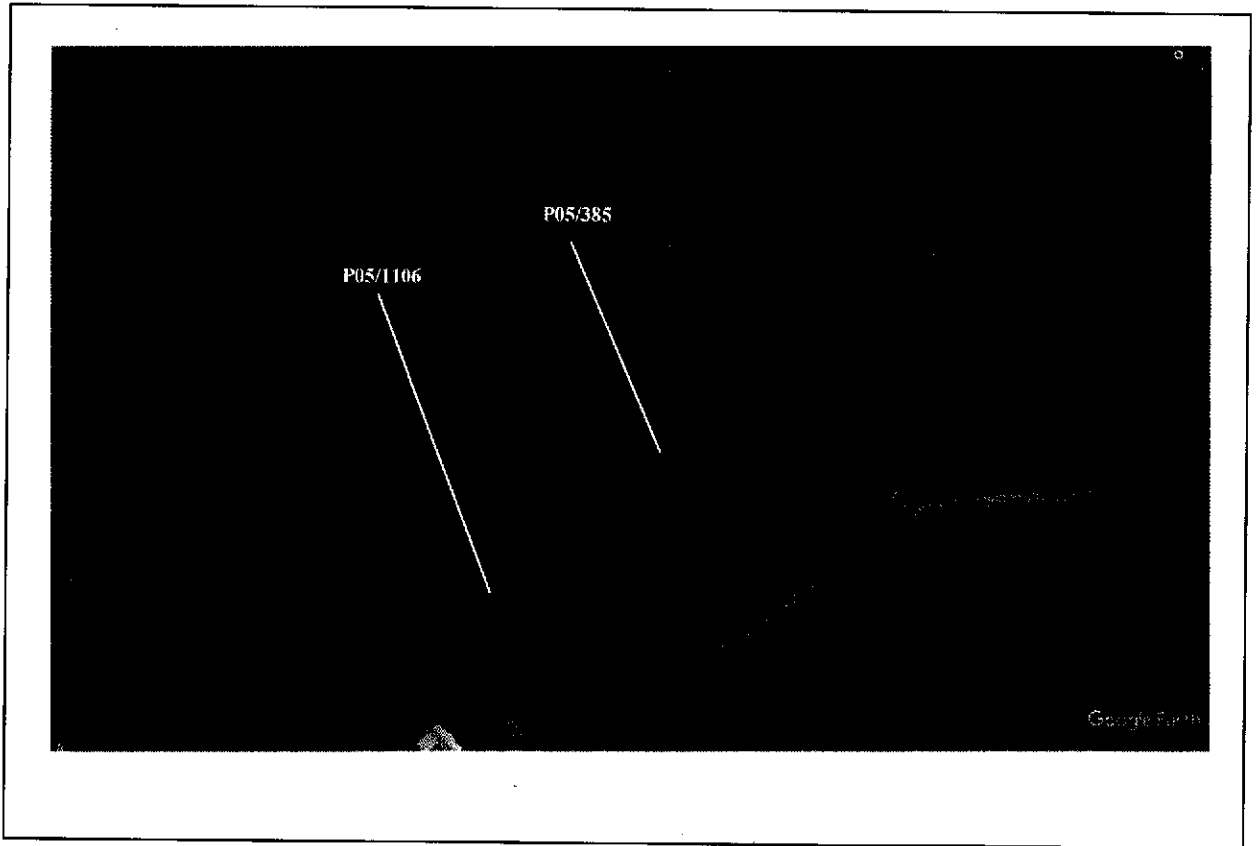


Figure 9: Leatherby & Maorgan map overlaid aerial photograph showing house site boxed in red.

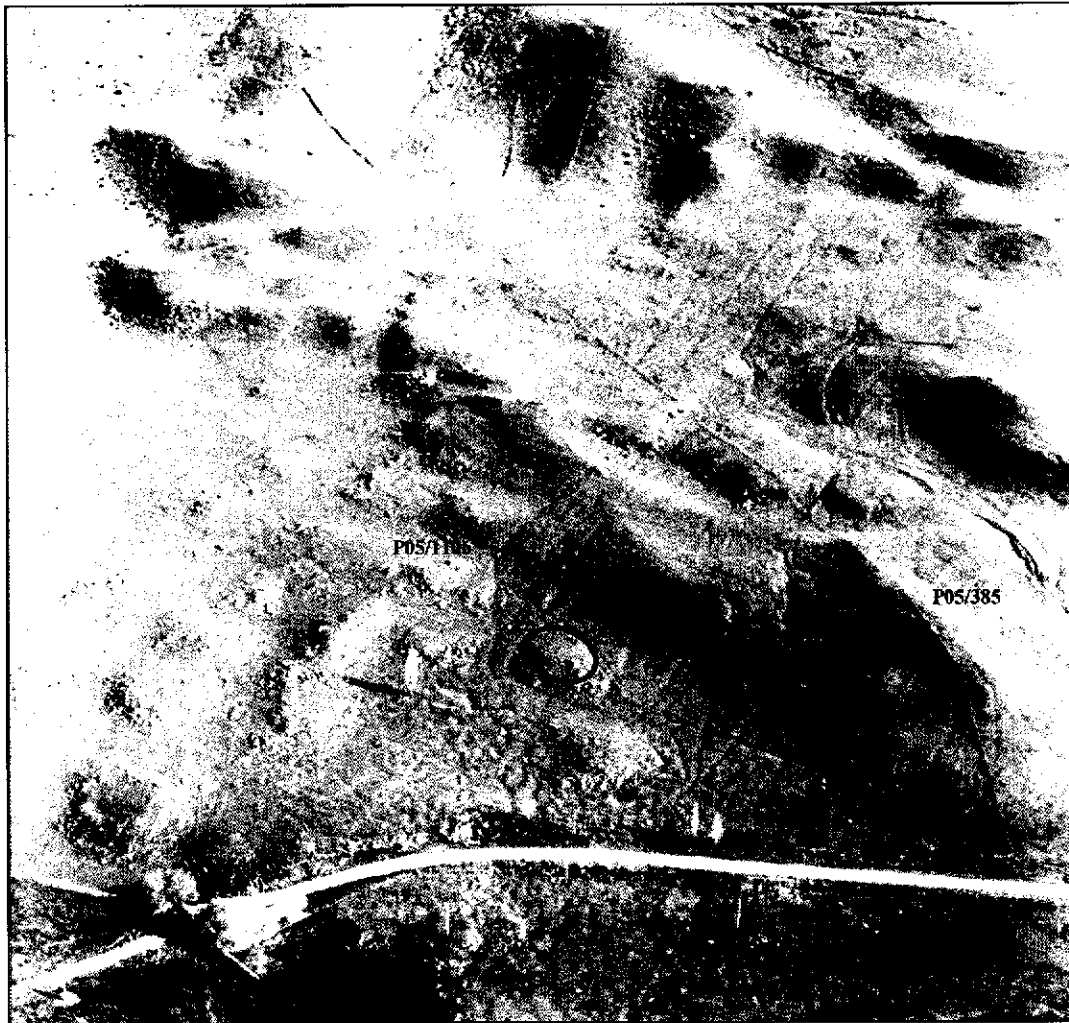


Figure 10: Aerial photograph of shallow trenches as boundary divisions with house site circled in red (Furey 2006: 39).

Field inspection

Don Prince carried out an archaeological field inspection of the effected landscape and landscape in its vicinity on August 12 and November 5, 2023. Ground surface visibility was generally good consisting of grazed pasture.

The current survey scope was limited and should not be considered a total survey of the property.

A map of the house site and surrounding features has been prepared, based on the field inspection and the geo-referenced Leatherby & Morgan map (Figure 9 & 13) and is included as a transparent overlay providing fine grained topographical details. An examination of the overlay indicates that the land surrounding the project was gardened

with a network of trenches/drains running down slopes and across flats between Ludbrook Rd and Pouerua Cone (Figures 9 & 10).

Vehicle Access

The vehicle access to the house site off Ludbrook Rd is provided via a metaled driveway that has been created by laying gravel over the existing ground disturbance thus negating the necessity for ground disturbance. The drive exits west off Ludbrook Rd through an existing gate travelling up a gentle slope west to give access to the proposed house from the south (Figure 12). An examination of the Leatherby & Morgan map suggests the access crosses a trench/drain, but no surface evidence of the feature was visible at the time of the inspection.

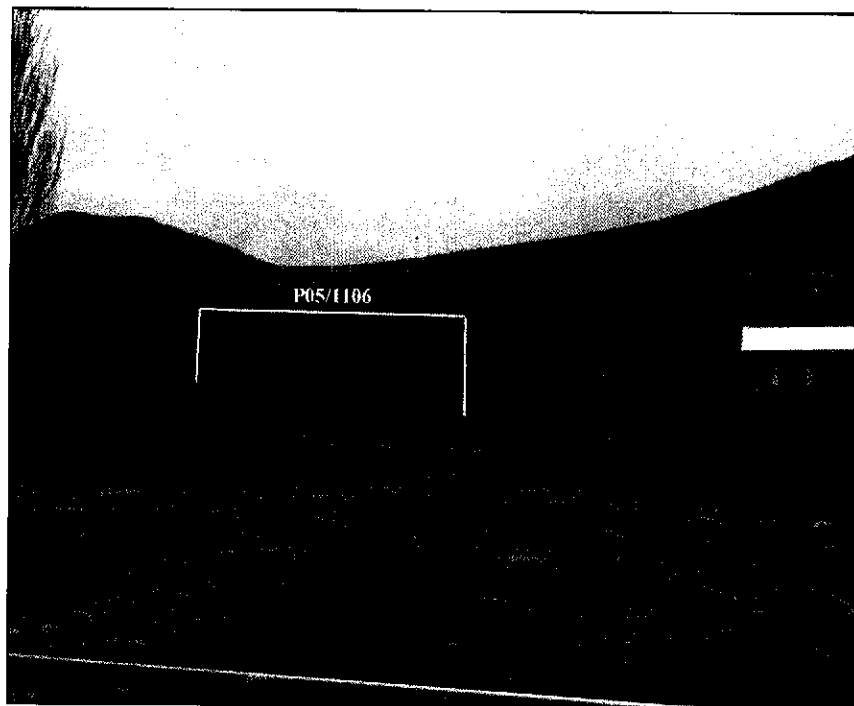


Figure 11: Vehicle access to house site viewed from the east (Prince 2023).

House Site

It is proposed to site a 60m² re-located house on a natural platform flanked by rock strewn slope to east and north and erosion prone slope to south (Figure 4). Approximately 70m west of Ludbrook Rd the proposal includes use of timber piles for house and deck foundations, carport with concrete slab and minor earthworks for septic system and amenity planting. The latter will include the slope immediately to the north in an attempt to stabilise slumping and erosion.

The house site is situated between gardening features mapped by Leatherby & Morgan (Figure 12) while an examination of an aerial photograph (Figure 10) suggests the house is on the southern edge of a network of garden features. Although the current proposal will have no direct effect on known archaeological features it is not possible to give an absolute assurance that earthworks associated with the project will not encounter undetected subsurface archaeological features.

As described the property is located within a dense and varied archaeological landscape with 27 sites identified in the property's legal boundary and numerous unrecorded drains and trenches associated with gardening. The nearest site, P05/1106 comprised of two terraces – 5m x 3.5m & 6m x 4m the former with a raised bank - and rock heaps (Figure 12), is located c.45m to the south of the proposed building platform and not effected by the current proposal (Figure 13 and Table 1).

It is therefore recommended that a General Authority should be sought and obtained from HNZPT prior to the commencement of works.



Figure 12: P05/1106; rock heap at north end at left and view of terrace and raised east bank at right (Prince 2023).

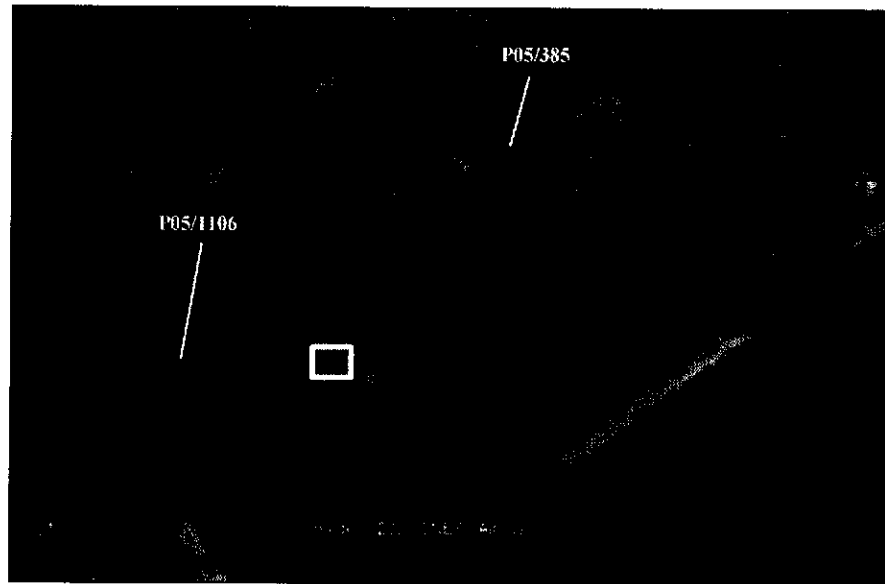


Figure 13: Letherby & Morgan mapped features around the house site.

Construction Design

The following methodology will be adhered to:

- All machinery and materials transported by way of the existing vehicle access
- All topsoil removal associated to the proposal to be monitored a suitably qualified archaeologist in order to determine whether undetected subsurface archaeological features exist

Identification and Assessment of Effects

This assessment of archaeological effects involved background research and a visual survey of the landscape affected by the proposed siting of a re-located house at 320 Ludbrook Rd, Pakaraka. The property (Lot 8 DP 465552) is located toward the southeast extent of the Pouerua Heritage Zone and as such any activity must comply to a number of statutory requirements. Previously a lifestyle block (324 Ludbrook Rd) was subdivided off the main title and developed with a dwelling and shed. Currently the 320 Ludbrook Rd title of 95-hectares has no existing dwelling. In order to reduce the physical impact of the proposed dwelling the owners selected a location adjacent to Ludbrook Rd to minimise the distance services and vehicle access need to cross the Heritage Zone, an area where existing dwellings and associated structures are clustered, has natural shelter by the immediate landform and sufficiently elevated to reduce the possibility of flooding.

The identified building platform is located on a small level platform in an area where shallow drains and trenches have been recorded in the past as part of the archaeological landscape surrounding Pouerua Cone. It was not possible to identify these features during the current inspections but are visible in aerial photographs due to denser vegetation the drains produce. Examination of the aerials and resulting archaeological mapping revealed that while ground disturbance associated with the building will not directly affect the features the access has been laid over one or two drain features assuming the features are intact.

The recorded occupation sites within the Pouerua's volcanic field indicate that occupation was generally confined to knolls and ridges with the surrounding areas gardened. No occupation sites will be effected by the current proposal. However, past archaeological investigations in landscapes known to contain archaeological sites have highlighted the potential of encountering undetected subsurface features such as hearths, post holes for houses and palisades or other structures during topsoil removal.

It is therefore necessary to seek and obtain a General Authority to modify or destroy the site(s) from HNZPT under conditions contained in the HNZPT Act (2014).

Archaeological sites, as defined and afforded legal protection by the Resource Management Act (1991) and the Heritage NZ Pouhere Taonga Act (2014), whether recorded or not, cannot be damaged, modified or destroyed unless an Authority has been issued by the Heritage NZ Pouhere Taonga.

It should be noted that archaeological survey techniques (visual inspection and minor sub-surface testing) and mitigation deals solely with the identification and recovery of the physical evidence of past human activity. Archaeological methods cannot always detect all sub-surface features or usually identify sites of traditional significance or the spiritual or cultural values of Maori. The tangata whenua should therefore be consulted regarding the possible existence of such sites.

Recommendations

The following recommendations for avoidance or mitigation are provided as points of discussion between the applicant, statutory agencies and tangata whenua.

- That a General Authority is sought and obtained from Heritage NZ Pouhere Taonga prior to the commencement of works.
- That all topsoil removal to be monitored by the project archaeologist.
- That if archaeological features/evidence is encountered work to cease in the immediate vicinity and tangata whenua and Heritage NZ Pouhere Taonga notified.
- That any archaeological features encountered are recorded, investigated and sampled for off-site analysis.
- That all plant locations be tested by suitably qualified archaeologist a prior to planting in order to determine whether archaeological features exist.
- That no deep rooting plants to be used.
- That if koiwi (human remains) should be exposed during development, work should cease in the immediate vicinity and the tangata whenua and HNZPT should be contacted so that appropriate arrangements can be made.
- That since archaeological survey cannot always detect wahi tapu and sites of traditional significance to Maori, the tangata whenua should be consulted regarding the Maori values of this area and the recommendations in this report.

References

- Anderson, A., J. Binney & A. Harris. 2015. *Tangata Whenua: A History*. Bridget Williams Books, Wellington.
- Bell, A. 2012. *The Sweet Potato Factory: An Archaeological Investigation of the Pouerua Cultivation Landscape*. Thesis submitted for the Degree of MA University of Otago, Dunedin.
- Carpenter, J. 2011. *Archaeological Assessment of Three Proposed House Sites on Lot 3 DP 199437, Pakaraka, Far North District*. Unpublished report prepared for S. Morley, Paihia by Geometria.
- Challis, A. & A. Walton. 1993. *An Archaeological Site Survey of the Margins of the Pouerua Volcanic Apron*. Department of Conservation, Wellington.
- Daamen, R. et al. 1996. *Rangahaua Whanui District 1, Waitangi Tribunal*. Auckland.
- Furey, L. 2006. *Maori Gardening: An Archaeological Perspective*. Department of Conservation, Wellington.
- Phillips, C. & M. Hilton. 1980. *Site Recording Around Pouerua Volcanic Cone, Ohaiwai*. NZ Historic Places Trust, Wellington.
- Sutton, D., L. Furey & Y. Marshall. 2003. *The Archaeology of Pouerua*. Auckland University Press, Auckland.

21 March 2024

Ngawhitu Limited
C/- Ngawhitu Ltd
331 Ludbrook Road
RD 2
Kaikohe 0472

Reference Number: EBC-2024-723/0
Property Address: 320 Ludbrook Road, Pakaraka 0472
Property ID # 3356680
Description: New Relocatable Dwelling with Deck, Ramp and Steps. New Onsite Wastewater System

Dear Sir / Madam,

Issue of Building Consent

We are pleased to advise that your application has been approved and the Building Consent has been issued. The approved plans and specifications are Attached.

To assist you further in the Building Consent process, the following points should be noted: -

- **Building Consent Documents**

It is your responsibility to ensure:

- A printed copy of the issued Building Consent documentation is on site at every inspection. Failure to do so could result in a failed inspection.
- Plans must be printed in colour and be at least A3 size. Specifications may be printed in black and white.
- Ensure all Documentation is kept in order and filed safe free from damage for your inspector to view at each inspection throughout the build.
- Ensure any emailed inspection summaries are available for the next inspection either via electronical or printed copy.

- **Building Consent conditions**

It is important you understand the conditions of the consent and seek any additional information required before you start building (e.g., you may require the help of other professional services such as an engineer). If you do not understand the conditions, have your consent number handy and contact the building team for assistance.

- **Building inspections**

A list of the required inspections for this project is also enclosed. All inspections must be booked with the customer services team on 0800 920 029 or 09 401 5200.

- **Building inspection block**

An inspection block may apply to your project. This means that inspections cannot take place yet. Blocks may be applied if: -

- A Resource Consent, Discharge Consent, or Outline Plan is required. The applicable consent must be issued before the inspection block can be lifted.
- You have not nominated a Licensed Building Practitioner (LBP) to carry out restricted building works. The name(s) of the LBPs to work on your project must be supplied in writing prior to any building works commencing.

- **Additional building inspections**

If additional inspections are required to complete the project, you will be invoiced as per our Fees & Charges Schedule.

- **Final Inspection**

Please make sure your building consent pack is on site and all LBP certificates and statements are available and have been completed in full. If you have not already applied for your CCC please do so and provide your completed application to the inspector at the time of the final inspection.

- **Code Compliance Certificate (CCC)**

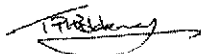
When all the nominated inspections have successfully been completed, the owner or their agent/builder can book a Final inspection online or contact our Call Centre on 0800 920029 or 09 4015200.

- **Timeframes**

- Building work should **start within 12 months** of the Building Consent being issued. Failure to do so may result in your application lapsing and you will need to reapply for a new building application. If the work cannot be completed within this timeframe you can apply for an Extension of Time – a fee will apply.
- Building work should be **completed within two years** of the Building Consent being granted. Failure to do so may result in your CCC application being refused. If the work cannot be completed within this timeframe you can apply for an Extension of Time – a fee will apply.

We would like to take this opportunity to thank you for choosing to build in the Far North and look forward to working with you towards a compliant building. Please do not hesitate to contact the Building Team on 0800 920029 or 09 401 5200 if you have any questions or need further assistance.

Yours sincerely,



Trent Blakeman
Manager Building Services
Delivery and Operations

4 March 2024

Ngawhitu Limited
C/- Ngawhitu Ltd
331 Ludbrook Road
RD 2
Kaikohe 0472

Dear Sir / Madam,

Building consent number: EBC-2024-723/0
Property ID: 3356680
Address: 320 Ludbrook Road, Pakaraka 0472
Description: New Relocatable Dwelling with Deck, Ramp and Steps. New Onsite Wastewater System

Requirement for Resource Consent

PIM Assessment of your application has highlighted the need for Resource Consent that must be granted prior to any building works or earthworks commencing.

NB: As of 27th July 2022, some rules and standards in the Far North District Council Proposed District Plan took legal effect and compliance with these rules applies to your building consent. Please visit our website to see these rules [Far North Proposed District Plan \(isoplan.co.nz\)](http://Far North Proposed District Plan (isoplan.co.nz))

The site is zoned **Rural Production** under the District Plan and Resource Consent is required for breach of the following:

Rule:	12.1.6.3.3 DEVELOPMENT ON AN OUTSTANDING NATURAL FEATURE Any new building, relocated building, extension or alteration to an existing building, excavating, filling, planting of trees or clearance of vegetation on an Outstanding Natural Feature, as listed in Appendix 1A and shown on the Resource Maps is a discretionary activity.
Reason:	Site 47 listed in Appendix 1A - Pouerua (Pakaraka Mountain) scoria cone and lava field. Works are proposed in this area.
Rule:	12.5.6.1.3 REGISTERED ARCHAEOLOGICAL SITES Activities involving the alteration of land, including building, excavation, filling, planting of trees and disturbance of ground, shall not disturb, modify, damage or destroy a registered archaeological site (as listed in Appendix 1G and shown on the Resource Maps), unless an Authority to Destroy, Damage or Modify an Archaeological Site has been issued by the New Zealand Historic Places Trust.
Reason:	Register # 6711 Pou E Rua – Map 35 as listed in Appendix 1G. No HPT approval has been provided with the application.
Rule:	12.5A.6.1.4 ALTERATIONS TO LAND IN THE STRAND, POUERUA AND KERIKERI BASIN HERITAGE PRECINCTS Activities involving the alteration of land are permitted in The Strand, Pouerua and Kerikeri Basin Heritage Precincts, provided that they do not involve the excavation of more than 2m ³ of soil or the disturbance of vegetation, ground cover and soil of an area greater than 5m ² .


Reason:	Earthworks are stated as maximum depth: <1.2m and maximum volume: <3m3 but soil disturbance proposed over an area >5m2.
Rule:	12.5A.6.3.2 NEW BUILDINGS WITHIN HERITAGE PRECINCTS The construction of a new building in any of the Heritage Precincts that is visible from a public place.
Reason:	The site is within the Pouerua Heritage Precinct and proposed works are visible from a public place.
Rule:	HA-R5 Earthworks PER1 - The <u>earthworks</u> : 1. comply with the relevant permitted activity rules within the <u>Earthworks</u> chapter 2. complies with standard HA-S3 <u>Accidental Discovery Protocol</u> .
Reason:	Compliance not demonstrated.
Rule:	HA-S2 – Heritage Colours The exterior facades of all <u>buildings</u> or <u>structures</u> are finished in accordance with the colour scheme from the following paint ranges or equivalent: i. resene heritage colours; ii. resene whites and neutrals; and iii. resene colour range BS5252 (A01-C40 range).
Reason:	Compliance with this rule has not been provided with the application.
Rule:	EW-R12 Earthworks and the discovery of suspected sensitive material PER-1 The earthworks complies with standard EW-S3 - <u>Accidental Discovery Protocol</u> .
Reason:	Compliance has not been demonstrated.
Rule:	EW-R13 Earthworks and erosion and sediment control PER-1 The earthworks complies with standard EW-S5 <u>Erosion and sediment control</u> .
Reason:	Compliance has not been demonstrated.

Please note there may be other rule breaches found during the Resource Consent process. It is your responsibility to ensure the Resource Consent approved plans match the Consented approved plans.

The application form can be downloaded from www.fndc.govt.nz and submitted to Council's (Planning Department) with the appropriate documentation and instalment fee.

If you have any queries, please contact the Duty Planner on Duty.Planner@fndc.govt.nz or 0800 920 029.

Yours faithfully



Leeanne Tane
PIM Officer
Delivery and Operations

Emailed to: info@cadplanz.co.nz alecjack@xtra.co.nz

Property ID: 3356680

FORM 4
Certificate attached to
PROJECT INFORMATION MEMORANDUM
Section 37, Building Act 2004

Building Consent Number: EBC-2024-723/0

**RESTRICTIONS ON COMMENCING BUILDING WORK UNDER
RESOURCE MANAGEMENT ACT 1991**

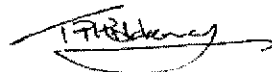
The building work referred to in the attached Project Information Memorandum is also required to have the following **Resource Consent(s)** under the Resource Management Act 1991:

• **Resource Consent – REQUIRED**

As the above Resource Consent(s) will affect the building work to which the Project Information Memorandum relates, until this has been granted no building work may proceed.

Failure to comply with the requirements of this notice may result in legal action being taken against you under the Resource Management Act 1991.

Signature:



Position:

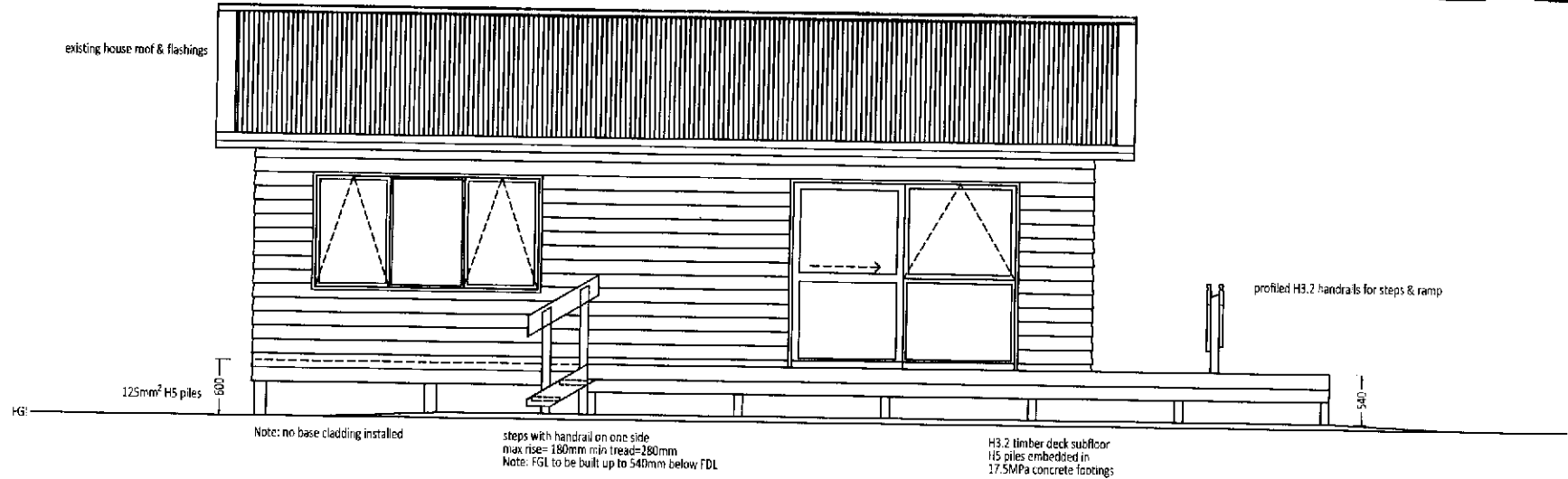
Trent Blakeman
Manager - Building Services

On behalf of:

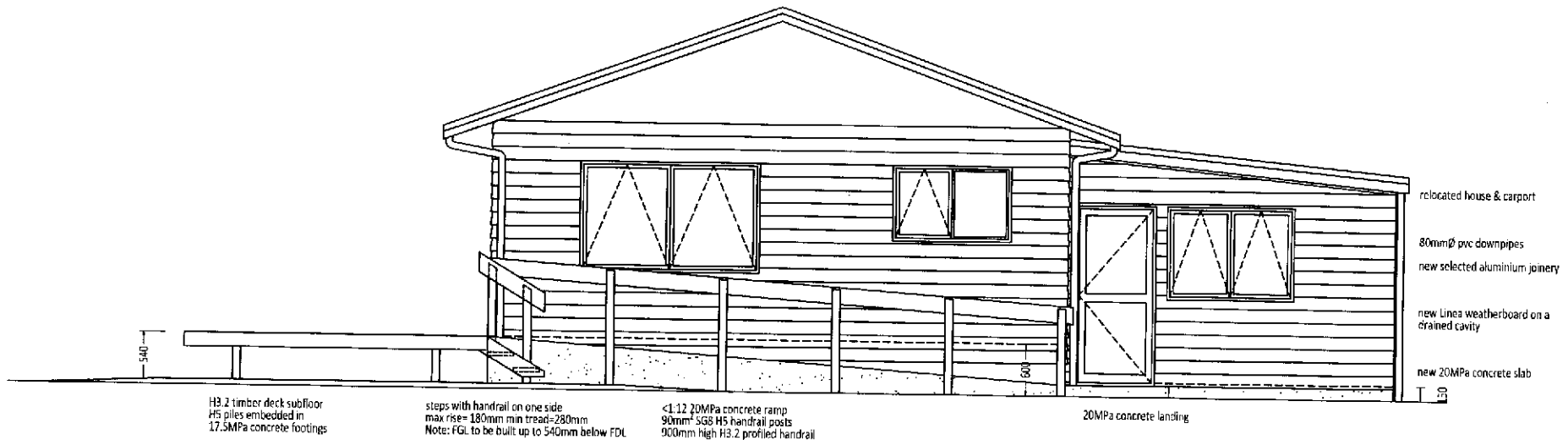
Far North District Council (Building Consent Authority)

Date:

4 March 2024



south-eastern elevation



north-eastern elevation

Proposed elevations #1 1:50
Proposed relocation for Ngawhitu Ltd, 320 Ludbrook Road, Pakaraka

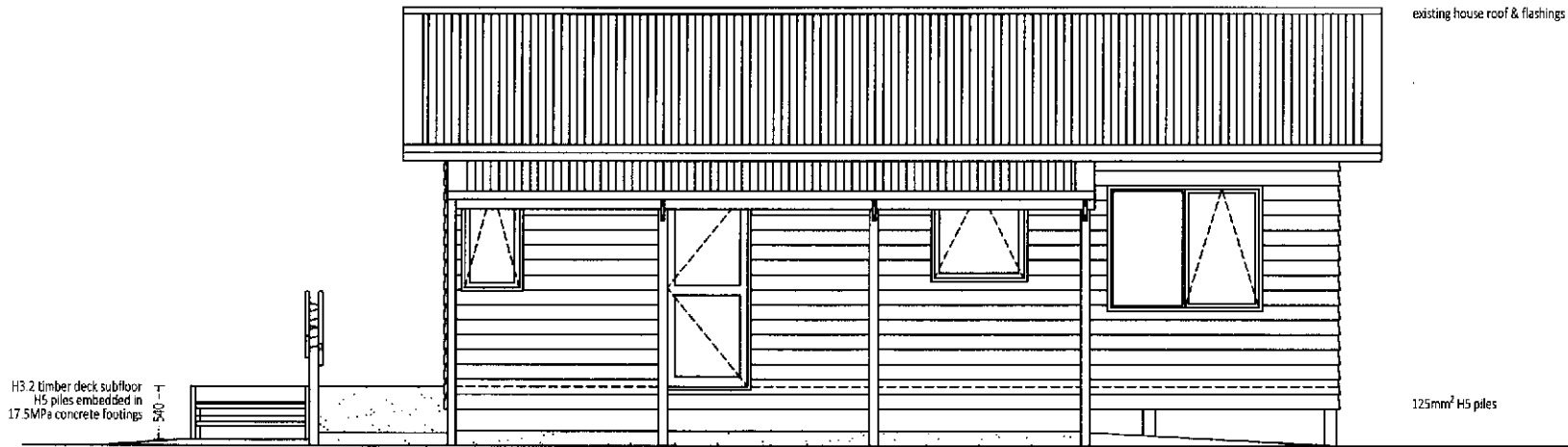


NOTES: ALL CONSTRUCTION SHALL BE TO NZS 3604:2011 AND AMENDMENTS AND OTHER RELATED DOCUMENTS THAT APPLY TO THE WORK SHOWN. ALL DIMENSIONS AND DETAIL IN THIS DRAWING SHALL BE CHECKED BY THE CONTRACTOR AND ANY DISCREPANCIES OR AMBIGUITIES SHALL BE BRINGING TO THE BUILDER'S ATTENTION OF CADPLANZ. TEL: 09-497 9810. FAX: 09-497 9817. MOB: 0274 385 471. DO NOT SCALE DIMENSIONS! DO NOT CRASS...ASK!

DATE: 22/02/2024
DRAWN BY: [Signature]
CHECKED BY: [Signature]

2a

2



H3.2 timber deck subfloor
H5 piles embedded in
17.5MPa concrete footings

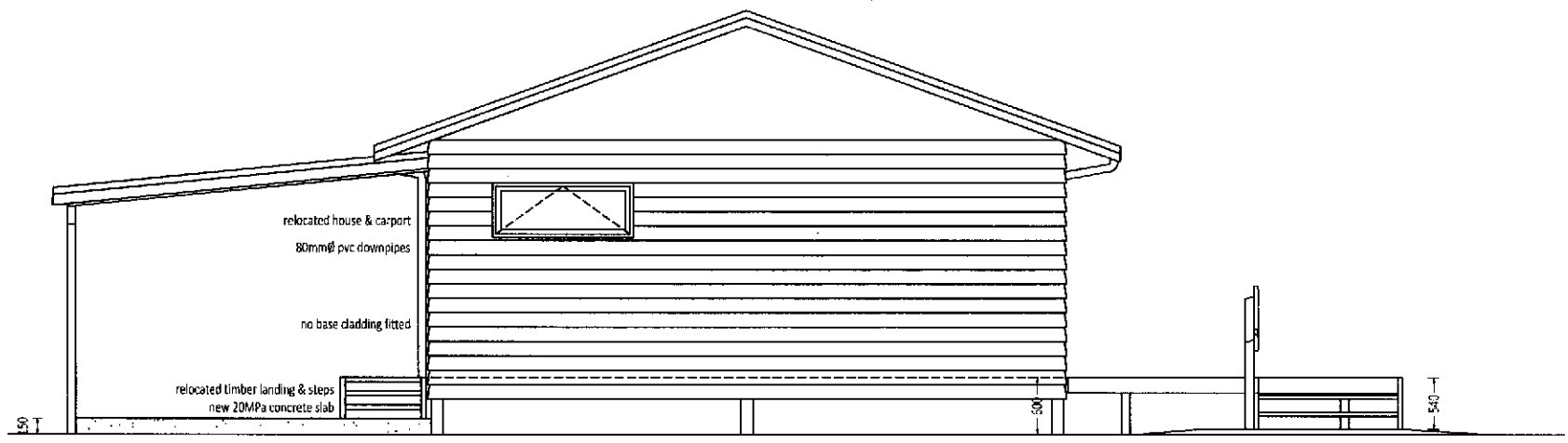
steps with profiled handrail on one side
max rise= 180mm min tread=280mm
Note: FGL to be built up to 540mm below FDL

900mm high profiled H3.2 handrail
<1.12 20MPa concrete ramp
20MPa concrete landing

100mm² H5 carport posts
in 17.5MPa concrete footings

Note: no base cladding installed
Note: ramp ground up to 25mm below carport slab

north-western elevation



relocated house & carport
80mmØ pvc downpipes

no base cladding fitted

relocated timber landing & steps
new 20MPa concrete slab

Note: no base cladding installed

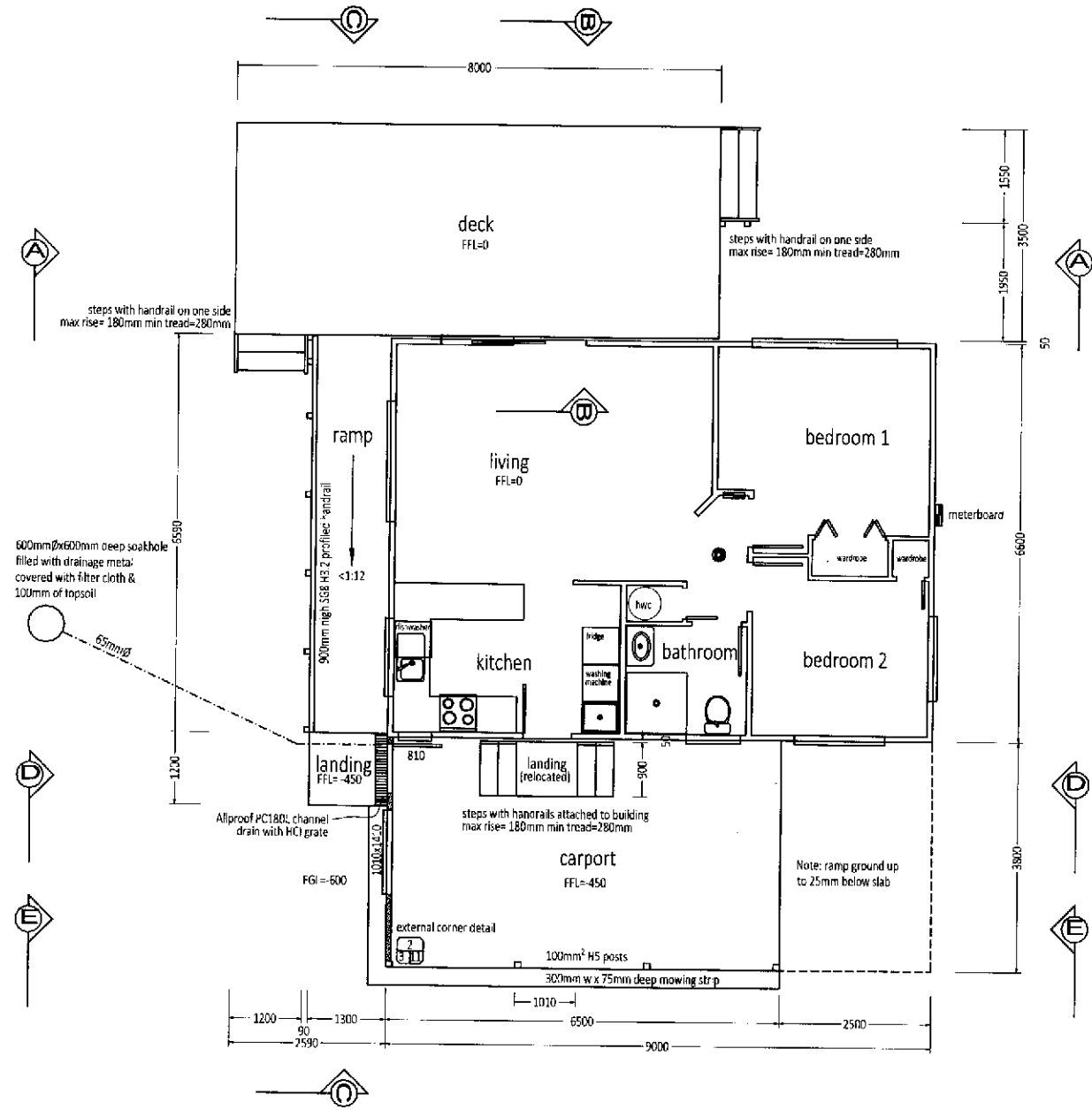
125mm² H5 piles

H3.2 timber deck subfloor
H5 piles embedded in
17.5MPa concrete footings

steps with profiled handrail on one side
max rise= 180mm min tread=280mm
Note: FGL to be built up to 540mm below FDL

south-western elevation

Proposed elevations #2 1:50
Proposed relocation for Ngawhitu Ltd, 320 Ludbrook Road, Pakaraka



Notes:

- 31833
- House GFA= 59.4m²
- carport= 24.7m²
- new deck= 28.0m²
- denotes smoke alarm

walls:

denotes new external non-load bearing 90x15 S68 H1.2 framed wall: studs at 400mm centres, nogs at 800mm centres max

splashbacks:

all vanities, benches and laundry tubs have splashbacks fitted

wet areas:

Kitchen, laundry & bathroom floors are vinyl shower walls are Haroiglaze

safety glass:

bathroom windows are to be glazed with laminated safety glass

insulation:

interior: EPS under floor insulation walls are insulated with R2.2 batts ceiling is insulated with R3.6 batts

ventilation:

kitchen & bathroom have mechanical ventilation venting to exterior

exterior joinery:

all exterior joinery is single glazed jambs are 113.1 created

walls:

denotes new external non-load bearing wall with 90x15 S68 H1.2 framed wall: studs at 400mm centres, nogs at 800mm centres max

all work is to comply with relevant clauses of the building code

Proposed floor plan 1:75
Proposed relocation for Ngawhitu Ltd, 320 Ludbrook Road, Pakaraka

NOTES: ALL CONSTRUCTION SHALL BE TO NZS 9004:2011 AND AMENDMENTS AND OTHER RELATED DOCUMENTS THAT APPLY TO THE WORK. SEE HWY. ALL DIMENSIONS AND DETAIL IN THIS DRAWING SHALL BE CHECKED BY THE CONTRACTOR AND ANY DISCREPANCIES OR AMBIGUITIES SHALL BE REPORTED TO THE IMMEDIATE ATTENTION OF CADPLANZ. TEL: 09 401 9416. FAX: 09 401 9417. MOB: 0274 503 471. DO NOT SCALE DIMENSIONS! DO NOT GUESS...ASK!

22/02/2024
 SHEET 3



cross referencing key
 sheet number where detail sourced from
 detail number
 sheet with detail on

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**PROPOSED BUILDING PLATFORM 320
LUDBROOK ROAD, PAKARAKA:**

**ARCHAEOLOGICAL
SURVEY AND ASSESSMENT OF EFFECTS**



*Prepared for
Cadplanz & Ngawhitu Ltd*

*by
Don Prince*

November 2023

PROPOSED RESIDENTIAL DEVELOPMENT 320 LUDBROOK ROAD, PAKARAKA: ARCHAEOLOGICAL SURVEY AND ASSESSMENT OF EFFECTS

Introduction

This archaeological survey was carried out at the request of Paul Hayman of Cadplanz and Planners on behalf of the owners, Ngawhitu Ltd, in order to determine if archaeological sites are affected by the proposed building platform for a relocated house at 320 Ludbrook Rd, Pakaraka (Figure 1). The proposed building site is part of Ngawhitu Ltd's farm west of Ludbrook Rd between Pouerua cone and Lake Owhareiti in the south of the Pouerua Heritage Precinct (Figure 1). The Pouerua Heritage Precinct has high significance due to the type, density, extent and preservation of its archaeological features. The 95-hectare property is legally described as Lot 8 DP 465552 and is generally referred to as "the property" within this report.

The Pouerua Heritage Precinct landscape has been extensively studied archaeologically including formal excavations of tihi, terraces, cone rim and defensive features around the volcanic cone and gardening features within the surrounding volcanic field as documented in Sutton et al 2003. This work has revealed a model of human activity for the Precinct built and supported by the evidence (reliable radiocarbon dates) commencing with extensive forest clearance as early as c.500 BP through to the early post-contact period (Sutton et al 2003:192-199). Aside of the visually spectacular features of the cone there is considerable evidence of cultivation on the surrounding volcanic soils. Sutton et al concluded that the collective evidence "suggests that there was intense and widespread occupation of the volcanic landscape around Pouerua prior to 1650 AD" (Sutton et al 2003:199) that appears to have continued into the early post-contact.

This report is part of the required assessment of effects to accompany an application to Heritage NZ Pouhere Taonga to carry out an invasive investigation of areas of ground disturbance associated with the project. This includes foundation pile post holes for the dwelling and deck, re-vegetation of the dwelling surrounds, septic system and

installation of utilities. The 24.7m² (6.5m x 3.6m) carport slab will be constructed on a cap of imported material requiring no topsoil removal while the vehicle access has been provided by way of imported material laid directly on the existing ground. It is also noted that a natural scarp to the north is susceptible to erosion and will be included in the re-vegetation program in order to improve stability.

The results of the current research and inspection found that impact to known archaeological features is minor appearing to be confined to a lateral drain to the rear do the building platform. However, the sites location within such a significance archaeological landscape mean it is not possible to give an absolute assurance that undetected subsurface archaeological feature will not be encountered during earthworks related to the proposal. Therefore, it is recommended that a General Authority should be sought and obtained from Heritage NZ Pouhere Taonga (HNZPT). The exploratory investigation will be confined to the landscape affected by the current proposal.

It is understood that ^{TMB-} ~~an~~ consultation is being carried out separate to this report.

Statutory Requirements

The statutory requirements relating to the archaeological and other heritage values of the project area are outlined below.

Two major Acts govern the management of heritage sites in NZ:

- The Resource Management Act 1991 (RMA)
- The Heritage NZ Pouhere Taonga Act 2014 (HNZPTA)

Under the RMA archaeological and other historic heritage sites are resources that should be sustainably managed by “avoiding, remedying or mitigating any adverse effects of activities on the environment” (Section 5 (2) (c)).

Under Section 6 of the RMA 1991 it is recognised as a matter of national importance that “all persons exercising functions and powers under it, in relation to managing the use, development, and protection of natural and physical resources, shall recognise and provide for the following matters of national importance: (e) relationship of Maori and their culture and traditions with their ancestral lands, water, wahi tapu and other taonga

[and] (f) the protection of historic heritage from inappropriate subdivision, use and development”.

The RMA defines historic heritage as “those natural and physical resources that contribute to an understanding and appreciation of New Zealand’s history and cultures, deriving from any of the following qualities: (i) archaeological; (ii) architectural; (iii) cultural; (iv) historic; (v) scientific; (vi) technological” (RMA Section S2).

Historic heritage includes: (i) historic sites, structures, places and areas; (ii) archaeological sites; (iii) sites of significance to Maori, including wahi tapu; (iv) surroundings associated with the natural and physical resources”.

The archaeological remains within the study area constitute historic heritage as defined under the RMA, and their protection should be recognised and provided for when managing the proposed project.

In addition to the requirements of the RMA (1991), the Heritage NZ Pouhere Taonga Act 2014 (HNZPTA) protects all archaeological sites whether recorded or not, and they may not be damaged or destroyed unless an Authority to modify an archaeological site has been issued by the Heritage NZ Pouhere Taonga (HNZPT).

An archaeological site, as defined by the HNZPTA (2014) is, a place associated with pre-1900 human activity, where there may be evidence relating to the history of New Zealand. A place associated with post-1900 human activity may be declared by gazettal as an archaeological site under the Act. Archaeological sites may not be destroyed damaged or modified except pursuant to an authority granted under the HNZPTA (2014).

Authorities to modify archaeological sites can be applied for under a general authority, in respect to a particular site or sites, or for all sites that may be present within a specific area. Applications made under a general authority may require approval by the Maori Heritage Council of the HNZPT. The tangata whenua should be consulted regarding applications to modify or destroy archaeological sites which have Maori cultural associations.

Note that 20 or 40 working days should be allowed for the processing of authorities, which include a statutory stand down period of 15 working days before an authority may be exercised.

All archaeological remains and historic places within the project area are protected under the provisions of the HNZPTA and may not be damaged, modified or destroyed without an Authority from HNZPT.

There are no registered wahi tapu within the project area.

Implementation of the RMA in relation to Ludbrook Rd is undertaken by:

- The Far North District Council.

Other Legislation:

- Coroners Act 2006 requires that “a person who finds a body in NZ must report that finding to a member of the police as soon as practicable”.
- Burial and Cremation Act 1964 controls the burial, cremation, and exhumation of bodies as well as the management of burial grounds and cemeteries. Conditions of the Act make it an offence to “remove any body or the remains of any body buried in a cemetery, Maori burial ground or other burial ground or place of burial without licence under the hand of the Minister [Health]”.
- The Protected Objects Act 1975 is administered by the Ministry for Culture and Heritage and regulates:
 1. Export of protected NZ objects
 2. Illegal export and import of protected NZ and Foreign objects
 3. Sale, trade and ownership of taonga tuturu.

Any taonga tuturu (Maori artefacts) discovered must be notified to the Ministry which will determine their custody in consultation with tangata whenua. The Act also covers goods or samples associated with burials.



Figure 1: Aerial showing the approximate location of the proposed dwelling at 320 Ludbrook Rd arrowed in red (Google maps 2023).

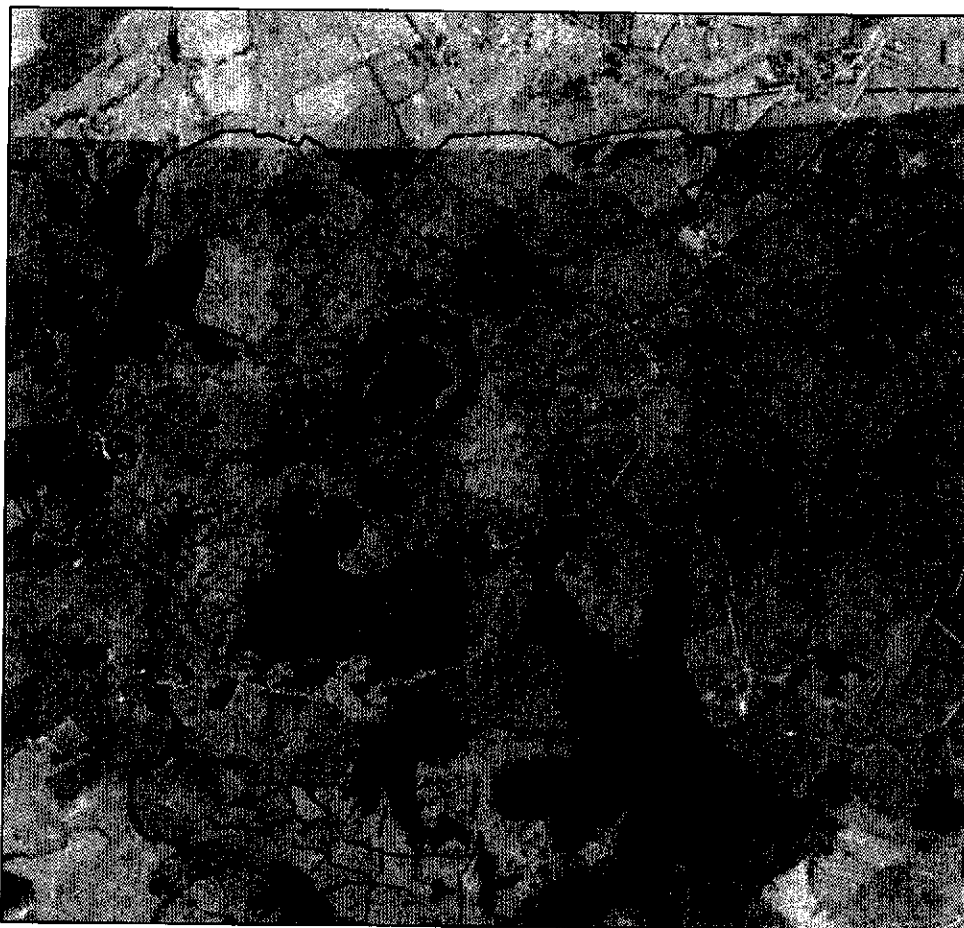


Figure 2: Pouerua Heritage Area outlined in black with indicative survey location circled in red (Base plan from Bell 2012:9).

Summary

Currently the owners' seek to place a 60m² relocated 2-bedroom dwelling in pasture to the north of Ludbrook Rd with an upgrade of the existing vehicle access and installation of utilities (Figure 3). Ground disturbance associated with the proposal consists of post holes for foundation piles (125mm x 125mm H5 posts) for dwelling and deck, a 24.7m² x 400mm deep excavation for carport slab and trenching for utilities and septic system. It is also proposed to amenity plant the eroding scarp immediately to the north and land between the dwelling and Ludbrook Rd with low impact and shallow rooting species (Alec Jack October 2023).

The property is located within the Pouerua Heritage Precinct (see below) and was registered in June 1994 as a Category 1 Historic Place under the Historic Places Act 1993 number 6711. Pouerua is considered to be an archaeological site of special and

outstanding historical and cultural heritage significance and value as well as a traditional site to Ngapuhi who consider Pouerua the origin and watershed or pou of the two traditional areas of Ngapuhi, Hokianga to the west and Taumarere in the east.

The proposed house site was specifically chosen by the owners due to its proximity to Ludbrook Rd but far enough away to minimise road dust effects, natural landform providing shelter and good foundation for shallow rooting amenity plants that will reduce dwellings visibility from Ludbrook Rd.

Twenty-six previously recorded archaeological sites are located within the property's legal boundary all associated with the Pouerua volcanic cone and its per-contact occupation with defensive and open settlement sites with related gardening and storage features (Figure 6). The nearest previously identified site, P05/385 comprised of terraces, pits and platform, was identified in 1980 on the property's northern boundary up slope from Ludbrook Rd and northwest of the survey area while two terraces and a stone heap were recorded c.50m to the southwest (Figure 9). Examination of aerial photographs (Figures 9 & 10) and an archaeological map produced by Leatherby and Morgan (Figure 9) suggests the building platform is located within a system of drains and trenches related to gardening with a lateral drain immediately to its rear. It is noted that the majority of these drain features have not been recorded nor archaeologically investigated and are therefore, generally poorly understood.

It is not possible to give an absolute assurance that undected subsurface archaeological feature will not be encountered during proposed earthworks.

Therefore, it is recommended that prior to the commencement of works a General Authority is sought and obtained from Heritage NZ Pouhere Taonga under conditions contained in the Heritage NZ Pouhere Taonga Act (2014).

Pouerua Heritage Precinct

The survey property lies within the Pouerua Heritage Precinct scheduled within the Far North District Plan that includes the nearby Pouerua Cone scheduled as a site of cultural significance to Maori.

The Far North District Plan states that:

“ The Pouerua Heritage Precinct is distinguished from other NZ historic landscapes and wahi tapu by the number and diversity of heritage values that are attached to it, by

its size and by the degree of its integrity. It embodies the mana of Ngapuhi, the historic engagements of Maori and Pakeha in war and peace and has been preserved to date by the separate and collective effects of iwi and others. There are major Maori fortifications on the rim of the volcanic cone, hundreds of terraces on the flanks and intensive evidence of pre-European and 19th century gardens and settlements on the lava field. The Pouerua Precinct is considered to contain the best remaining example of a large group of field systems settlements and fortifications surviving as an integrated whole. All archaeological evidence within the Pouerua volcanic system therefore, gains significance through association with the total complex and merits recognition.”

The construction of new structures within heritage precincts such as Pouerua is a controlled activity if not visible from a public place or a discretionary activity if the building is visible under the Far North District Plan (Rules 12.5A.6.2.3 & 12.5A.6.3.2). Controls or discretion is restricted to:

“(a) the location of buildings or structures in relation to buildings on adjacent sites, particularly so as to maintain a consistent relationship between buildings and the street;

(b) the exterior design and appearance of the building;

(c) the colours of all exterior surfaces, so as to ensure the appropriate use of colours;

(d) the materials used;

(e) the heritage value of the building and the effect of the activity on the heritage value of the Precinct;

(f) the effect of the activity on the heritage and archaeological values of the precinct;

(g) the location of the buildings in respect of the landscape and archaeological sites.”

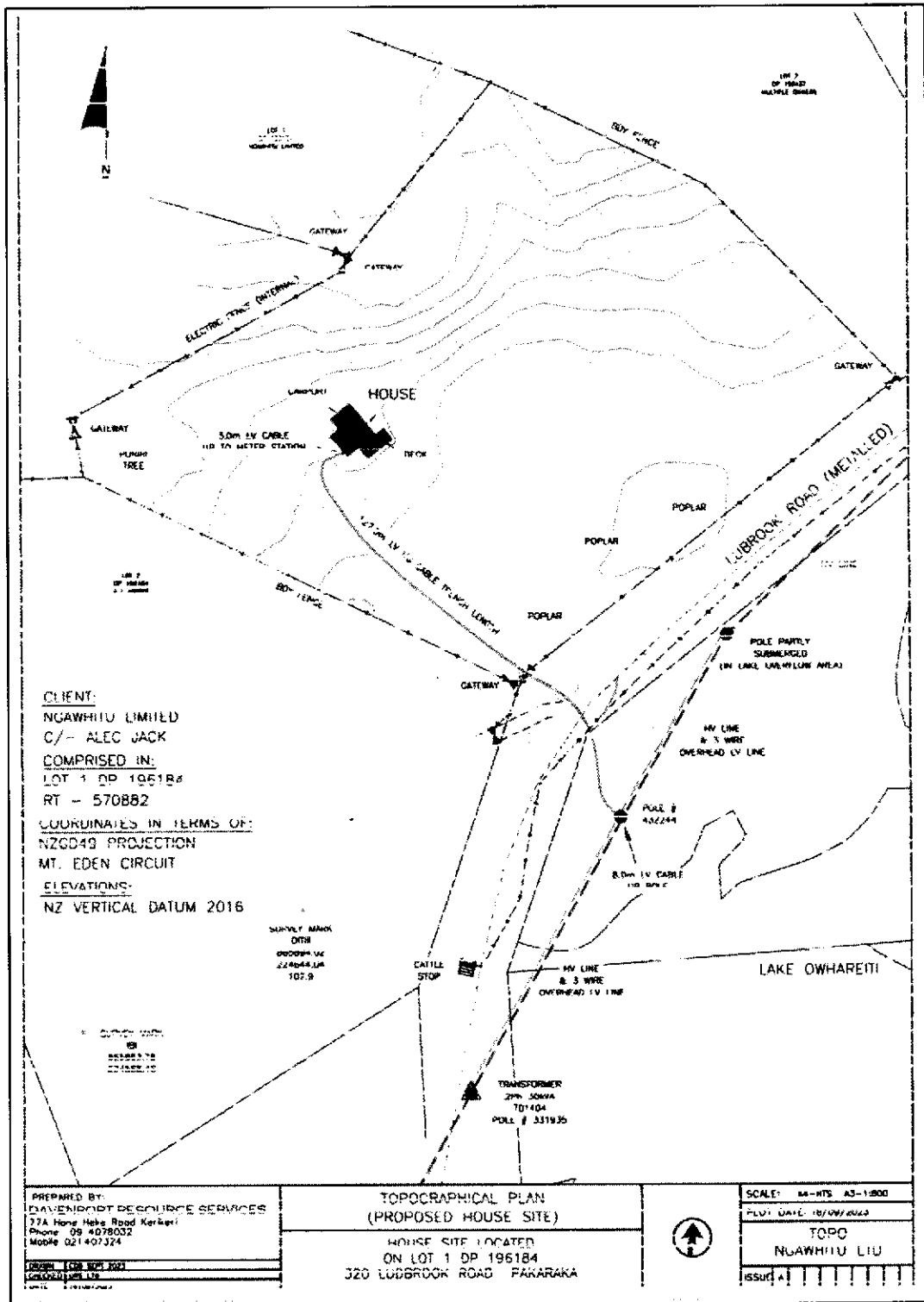


Figure 3: Proposed dwelling development with topography (Davenport Resource Services 2023).

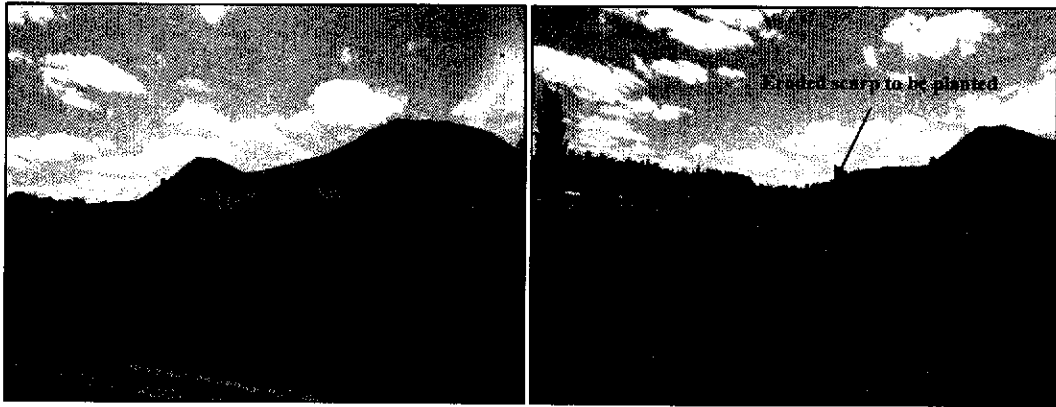


Figure 4: To left dwelling viewed from the southeast with Pouterua cones in background and at right viewed from east.

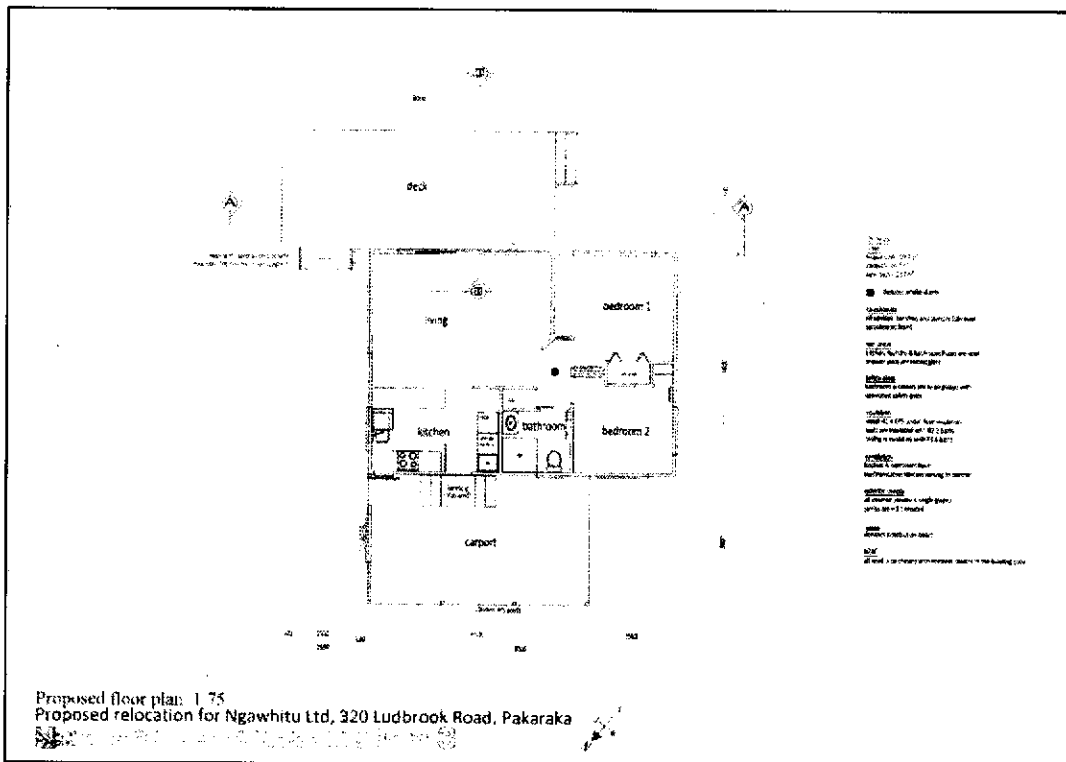


Figure 5: Proposed residential dwelling proposed for 320 Ludbrook Rd (Cadplanz 2023).

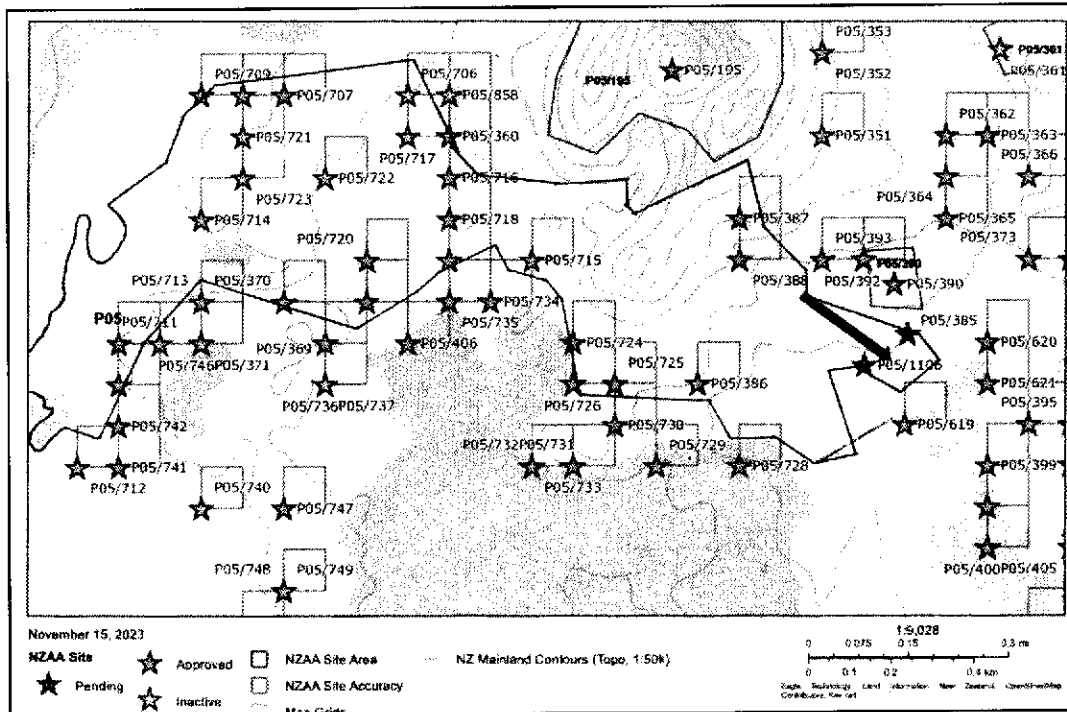


Figure 6: Spatial representation of recorded archaeological sites within and in the vicinity of the survey property (ArchSite November 2023). NOTE: Property boundary and arrowed building platform location indicative only.

Constraints and Limitations

This report is based on research of the available historic records, previous archaeological reports, archival aerial photographs (Retrolens NZ), NZ Archaeological Association's (NZAA) digital database (ArchSite) and a site inspection.

It should also be noted that the field inspection was limited to a visible examination with limited sub-surface testing (spade test pits and probing) and that such archaeological survey techniques cannot provide evidence for the absence of archaeological features or deposits. This can only be determined following extensive topsoil removal. In addition, the current inspection was confined to the area of works and landscape in the vicinity and therefore should not be considered a total survey of the property.

Archaeological survey and mitigation deals solely with the scientific identification and recovery of the physical evidence of past human habitation. Archaeological methods cannot necessarily identify the spiritual or cultural values associated with that occupation; this can only be undertaken by the effected tangata whenua.

Methodology

The NZAA's Digital Site File Index (ArchSite) and literature relevant to the area was searched for archaeological sites recorded on or in the immediate vicinity of the project. Paul Hayman provided design and location plan. Previous archaeological assessments and investigation reports were reviewed. A visual inspection with minor subsurface testing. Soil profiles were examined for evidence of earlier modification such as modified soils, storage pits or the presence of shell midden and hangi. At the time of inspection ground surface visibility was adequate.

It should be recognised that standard archaeological survey methods cannot provide evidence for the absence of archaeological features or deposits or sites of significance to mana whenua.

Results

Background

Cultural Setting

An assessment of the cultural significance can only competently be made by the effected mana whenua. Since archaeological survey cannot necessarily detect sites of traditional significance to Maori, or wahi tapu, the effected tangata whenua should be consulted regarding the possible existence of such sites. It should be noted that an assessment of cultural significance might not necessarily correspond with an assessment of archaeological significance.

Physical Setting

Located on the lower southern slopes of Pouerua volcanic cone the soils of the property consist of Ohaiwai and Papakauri silt loams. Derived from basalt rock these red/brown loams are highly fertile, often shallow and boulder strewn (Phillips et al 1980:11).

Background

Historical Background

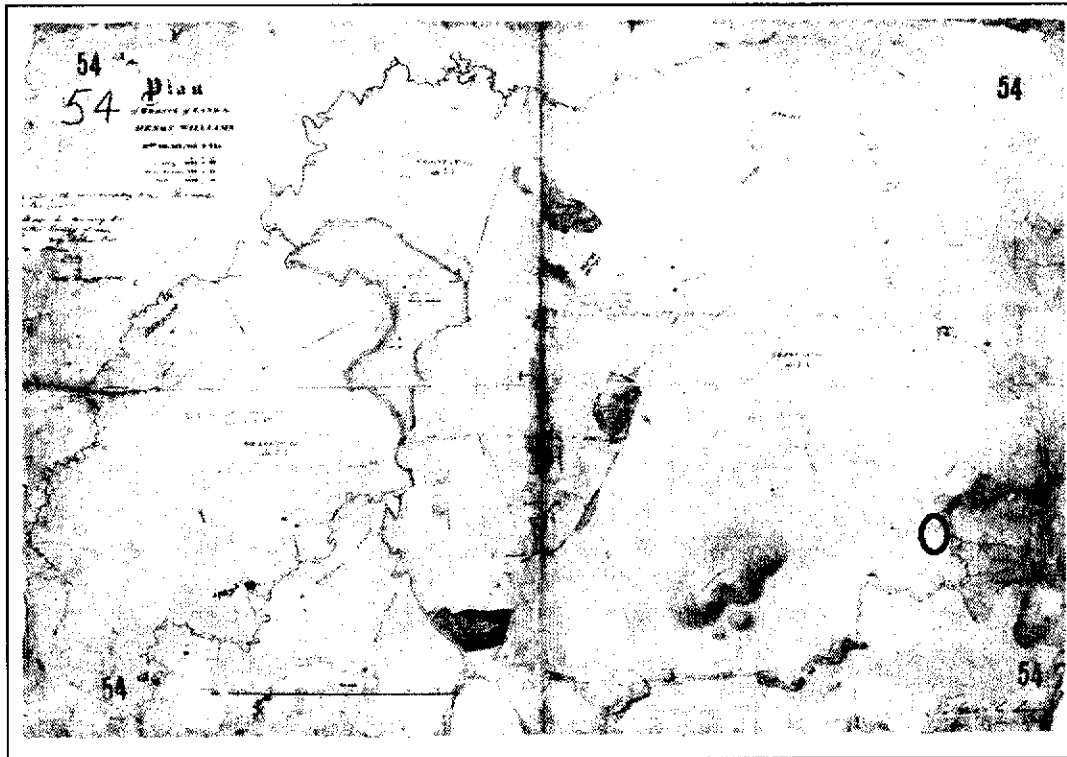


Figure 7: Old Land Claim 54 dated 1866 of Henry Williams claim (LINZ) with survey property circled lower right.

In 1838 Henry Williams of the Church Missionary Service (CMS) purchased the 3000-acre Pouerua Block from Nga Puhi chief Te Morenga, along with a number of neighbouring land blocks at Pakaraka. The sum of these purchases amounted to 11000 acres as represented on the 1866 Old Land Claim 54 (Figure 7). These original purchases were not surveyed rather referring to geological, cultural and natural features for definition. Correspondence from Williams makes it clear his concerns for his children once they were of an age when the CMS would cease supporting was motivation for the purchases in order to provide property that would support them. By 1840 Williams had purchased c.4450-hectares however, the signing of the Treaty of Waitangi meant that pre-Treaty land transactions required review by the Land Commissioners. The subsequent review reduced his purchase to in 1841 to 7010 acres that was increased to 9000 acres in 1844 (Williams Memorial Museum website). In the following years Williams converted much of the holding into pasture. Henry Williams was head of the CMS in NZ from 1823 until 1849 when he was dismissed following

his refusal to give up his holdings surrounding Pakaraka only to be re-instated in 1854 (Williams Memorial Museum website).

It is noted that ancestral connections cited by Daamen (1996:200-202) that the Pouerua area is considered the cradle of Nga Puhi and that Maori who sold Williams the land, intended the sale as an offering of occupational rights only to Williams (Bell 2012:26). Bell hypothesizes that although what relationship Nga Puhi maintained with Pouerua is unclear “evidence does suggest that Maori did stay on or around Pouerua cone and surrounding landscape for some-time after purchase of the land” (Bell 2012:27).

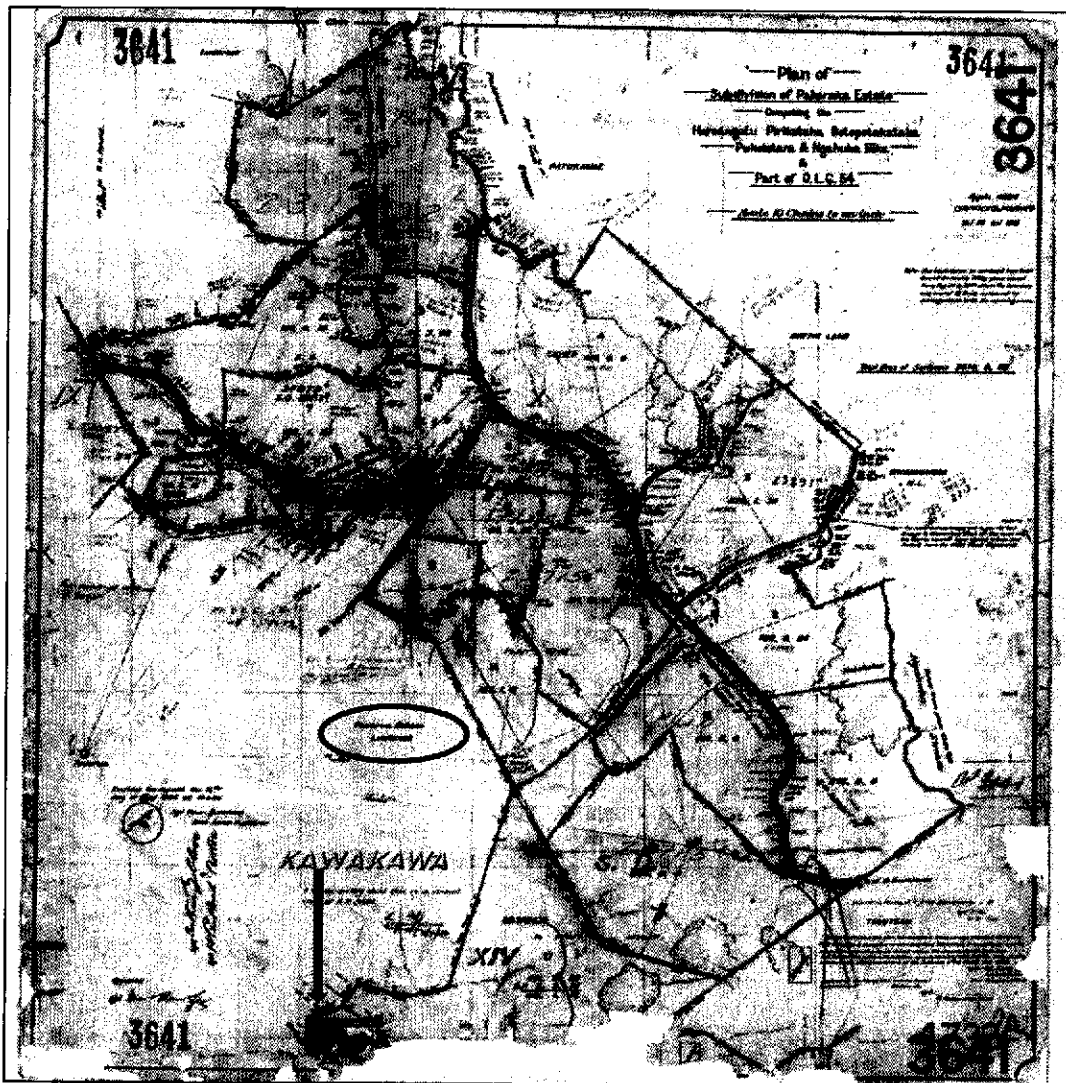


Figure 8: Survey plan ML 3641 of the Pakaraka Claim dated 1906 showing the survey property as part of Ludbrook's Pouerua Estate (LINZ).

Archaeological Context

The property has been the part of a number of previous archaeological surveys resulting in twenty-seven archaeological sites recorded within and many more in its vicinity related to pre-contact Maori occupation and horticulture of the Pouerua volcanic cone and surrounding volcanic soils (Figure 6). The cone pa were first recorded in 1963 by R. Lawn and inspected in 1965 by archaeologists J. Davidson, A. Leahy and W. Nicholls identifying the significant archaeological potential of the cone and its surrounds. The formal recording of the archaeological sites surrounding the cone commenced in 1980 by C. Phillips and M. Hilton as part of a large study of the southern and inland Bay of Islands by the Historic Places Trust.

The University of Auckland carried out investigations of the Pouerua cone and its surrounding volcanic field over a number of years in the 1980s culminating in three major publications (Sutton 1990 & 1993 and Sutton, Furey & Marshal 2003). The studies suggested the pre-contact construction of the Pouerua archaeological landscape commenced prior to 1400 and was the result of short-term activity as opposed to long-term year-round occupation with multiply constructions and re-constructions that increased in size and density. The studies found that the first defenses on the cone could not have been constructed earlier than 1550 with defenses added to previously undefended sites between 1450 and 1600 (Sutton et al 2003).

As part of the University's study J. Leatherby and P. Morgan carried out intensive mapping of the cone and its surrounds over two years both on the ground and using aerial photography (Figures 9 & 10). They produced a scale map of the volcanic and silt loams around the cone identifying numerous undefended kainga or settlements, peripheral pa and garden areas consisting of stone walls, rows and heaps along with kilometers of intersecting shallow drains.

There are 27 archaeological sites recorded within Lot 8 DP 465552 and numerous within the proximity of the property's boundary as recorded within ArchSite (Figure 6). The sites consist of terraces, crop storage pits and stone features related to horticulture. All but one of the property's sites were recorded in the 1970s and early 1980s and although later surveys may have re-visited the sites there are no updates within ArchSite and their current state and condition is unknown.

As part of the University's studies Leatherby & Morgan comprehensively mapped the archaeological resources of the cone and its surrounding volcanic soils using aerial

photography and on the ground survey. A section of the mapping is presented in Figures 9 & 13. More recently Louise Furey undertook a comprehensive assessment of pre-contact and early contact gardening and associated archaeological features (Furey 2006). Furey has introduced a number of descriptive names for the drainage features including drains, ditches, trenches and channels making a distinction between those that serve as garden boundaries those that may be drains and/or paths on slopes and flats she termed trenches and those features that drain water from gardens in swampy or poorly drained land she termed ditches. These features are difficult to identify on the ground usually only in low light or as dense vegetation “crop marks”.

It is noted that many of the garden features have not been recorded and it appears that they received little attention during the 1980s investigations by Auckland University and little or no information or analysis regarding the features.

Prior to the site inspection background research identified a platform, terrace and pit site was shown as located in the southwest corner of the survey paddock immediately adjacent to Ludbrook Rd. During the current site inspection the site was relocated on the property’s northern boundary c.80 north of the effected landscape. The site’s GPS location and current state and condition has been updated within ArchSite.

Site No.	Site Type	NZTM Co-ordinates
P05/385	Platform/terraces/pits	E1685010/N6084605
P05/1106	Terraces/rock heap	E1684905/N6084530

Table 1: Archaeological site recorded in vicinity of project area (ArchSite November 2023).

Archaeological Significance Assessment Criteria

A number of criteria have been identified by Heritage NZ Pouhere Taonga for evaluating the value or significance of heritage sites. These criteria are:

- condition or completeness; are parts of the site damaged or destroyed, how complete is the site are parts of the site destroyed or damaged – a complete site has a high value, partly destroyed/modified is of moderate value and destroyed low
- rarity; how common/rare are the site type locally, regionally or nationally
- context; what is the of the site within the associated archaeological sites and within its landscape
- information potential; the potential of the site to provide knowledge through excavation and analysis

- amenity value; depends on access, visibility and location
- cultural associations; known or otherwise by mana whenua

It is beyond the scope of the current assessment to individually assess the 27 sites identified within the property. However, archaeology identified within the property represents a full suite of pre-contact Maori settlement sites types the majority of which are in while investigation, research and analysis including radiocarbon dating and paleoenvironmental reconstruction suggests Maori presence on the Pouerua landscape since the early 13th century (Sutton et al 2003:190-193).

No known archaeological sites are directly affected by the current proposal. However, the proposals location within the Pouerua Heritage Precinct demands a cautious approach.

An assessment of the drain features (Table 2) identified in the landscape surrounding the proposed house site and its associated works are of moderate significance as they form part of an extensive and wide-spread gardening system of Pouerua's volcanic loams and silts and their association to nearby open settlement or kainga sites.

Sites may have other values such as landscape, setting, amenity and educational. It should be noted that as an assessment of cultural values can only competently be made by the effected tangata whenua, this report does not address cultural values.

Criteria	Comment	Significance
Condition	The drains are not visible on ground surface but are visible through aerial photography. Appear modified by stock trampling.	Low - Moderate
Diversity	The only identified features are slope drains that individually are part of network of similar drains	Low
Rarity	Drains are a common feature within the Pouerua Heritage Precinct and pre-contact and early contact Maori occupation	Low
Context	Associated with undefended sites (kainga) part of an extensive network gardening features	Moderate - high
Information potential	Possible potential in providing information regarding drain morphology and associations as a network	Moderate
Amenity	Little or no amenity value as no visibility and as part of a working farm	Low

Table 2: Assessment of significance of drains in the projects vicinity.

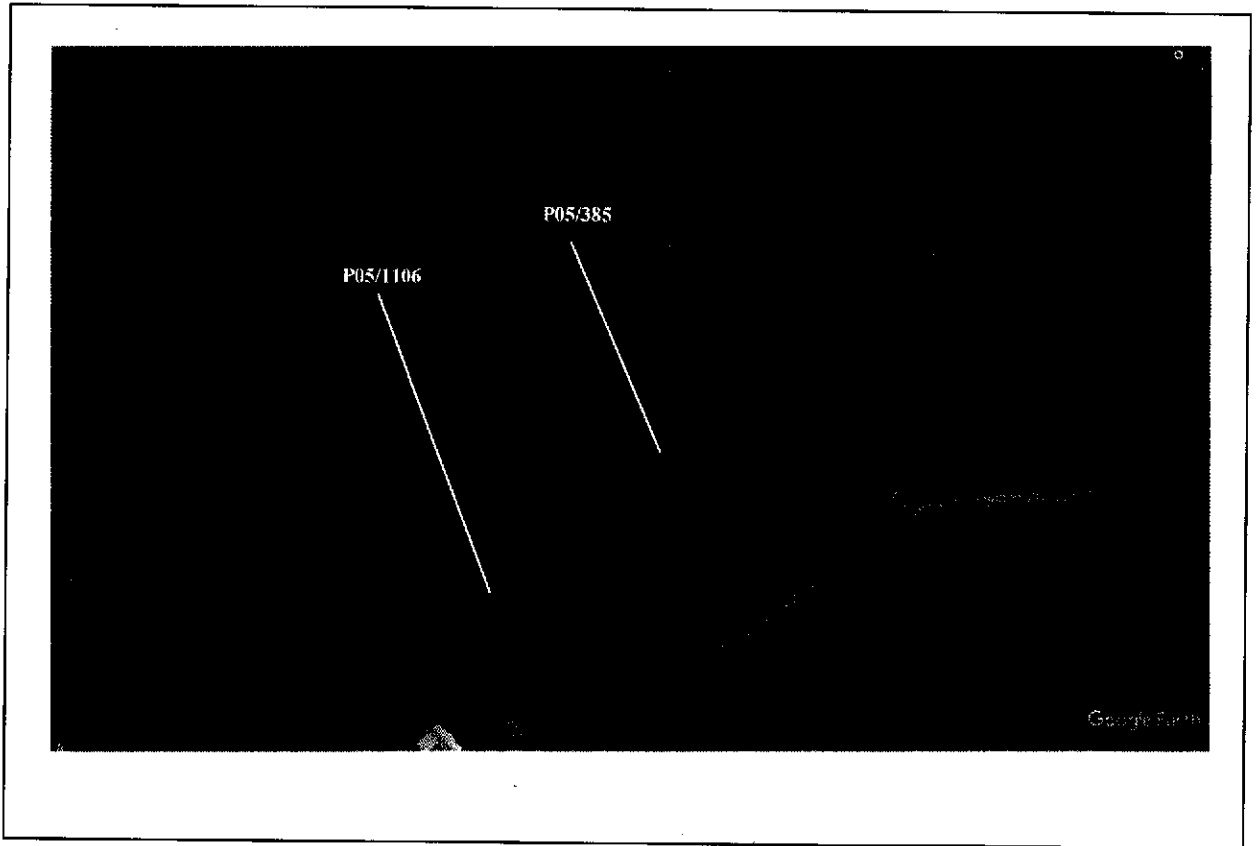


Figure 9: Leatherby & Maorgan map overlaid aerial photograph showing house site boxed in red.



Figure 10: Aerial photograph of shallow trenches as boundary divisions with house site circled in red (Furey 2006: 39).

Field inspection

Don Prince carried out an archaeological field inspection of the effected landscape and landscape in its vicinity on August 12 and November 5, 2023. Ground surface visibility was generally good consisting of grazed pasture.

The current survey scope was limited and should not be considered a total survey of the property.

A map of the house site and surrounding features has been prepared, based on the field inspection and the geo-referenced Leatherby & Morgan map (Figure 9 & 13) and is included as a transparent overlay providing fine grained topographical details. An examination of the overlay indicates that the land surrounding the project was gardened

with a network of trenches/drains running down slopes and across flats between Ludbrook Rd and Pouerua Cone (Figures 9 & 10).

Vehicle Access

The vehicle access to the house site off Ludbrook Rd is provided via a metaled driveway that has been created by laying gravel over the existing ground disturbance thus negating the necessity for ground disturbance. The drive exits west off Ludbrook Rd through an existing gate travelling up a gentle slope west to give access to the proposed house from the south (Figure 12). An examination of the Leatherby & Morgan map suggests the access crosses a trench/drain, but no surface evidence of the feature was visible at the time of the inspection.

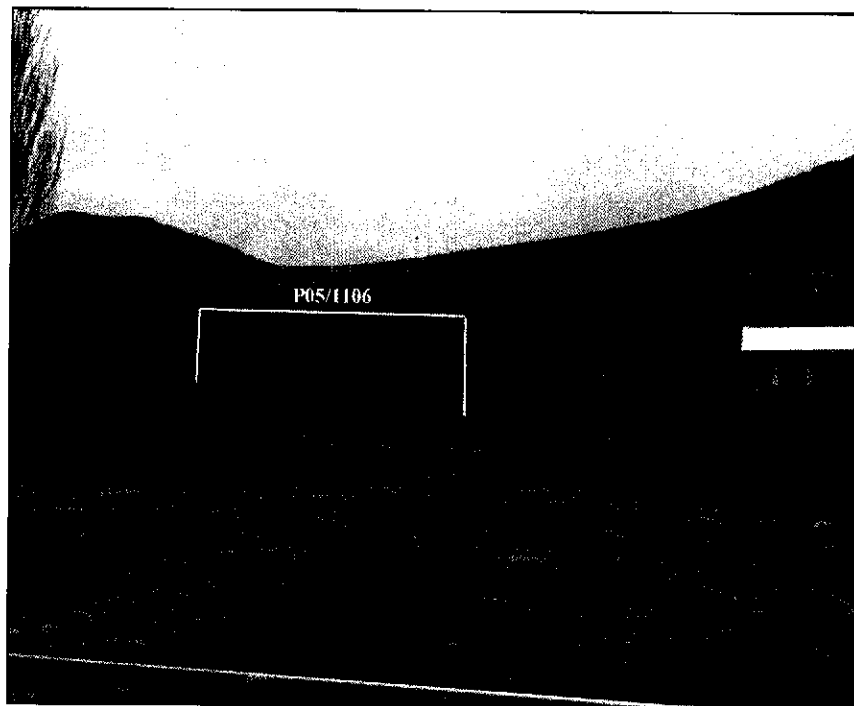


Figure 11: Vehicle access to house site viewed from the east (Prince 2023).

House Site

It is proposed to site a 60m² re-located house on a natural platform flanked by rock strewn slope to east and north and erosion prone slope to south (Figure 4). Approximately 70m west of Ludbrook Rd the proposal includes use of timber piles for house and deck foundations, carport with concrete slab and minor earthworks for septic system and amenity planting. The latter will include the slope immediately to the north in an attempt to stabilise slumping and erosion.

The house site is situated between gardening features mapped by Leatherby & Morgan (Figure 12) while an examination of an aerial photograph (Figure 10) suggests the house is on the southern edge of a network of garden features. Although the current proposal will have no direct effect on known archaeological features it is not possible to give an absolute assurance that earthworks associated with the project will not encounter undetected subsurface archaeological features.

As described the property is located within a dense and varied archaeological landscape with 27 sites identified in the property's legal boundary and numerous unrecorded drains and trenches associated with gardening. The nearest site, P05/1106 comprised of two terraces – 5m x 3.5m & 6m x 4m the former with a raised bank - and rock heaps (Figure 12), is located c.45m to the south of the proposed building platform and not effected by the current proposal (Figure 13 and Table 1).

It is therefore recommended that a General Authority should be sought and obtained from HNZPT prior to the commencement of works.



Figure 12: P05/1106; rock heap at north end at left and view of terrace and raised east bank at right (Prince 2023).

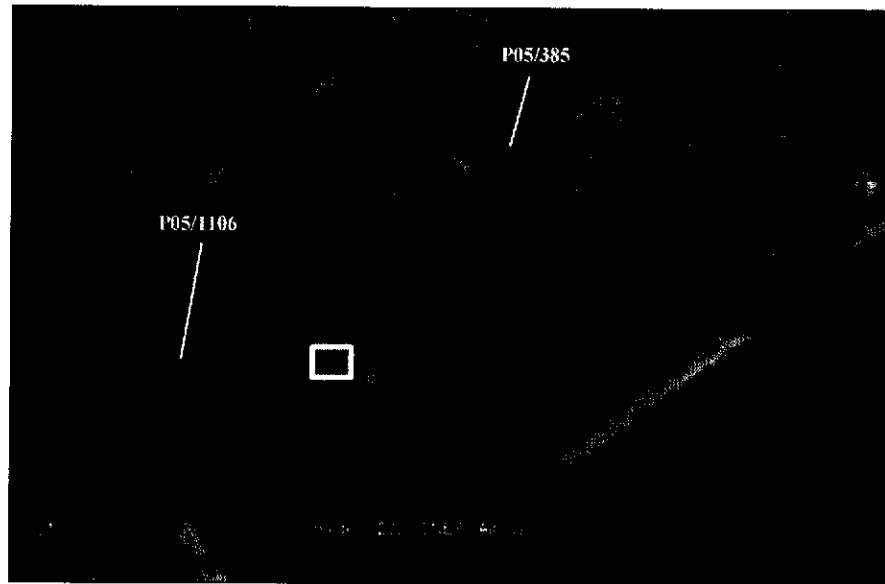


Figure 13: Letherby & Morgan mapped features around the house site.

Construction Design

The following methodology will be adhered to:

- All machinery and materials transported by way of the existing vehicle access
- All topsoil removal associated to the proposal to be monitored a suitably qualified archaeologist in order to determine whether undetected subsurface archaeological features exist

Identification and Assessment of Effects

This assessment of archaeological effects involved background research and a visual survey of the landscape affected by the proposed siting of a re-located house at 320 Ludbrook Rd, Pakaraka. The property (Lot 8 DP 465552) is located toward the southeast extent of the Pouerua Heritage Zone and as such any activity must comply to a number of statutory requirements. Previously a lifestyle block (324 Ludbrook Rd) was subdivided off the main title and developed with a dwelling and shed. Currently the 320 Ludbrook Rd title of 95-hectares has no existing dwelling. In order to reduce the physical impact of the proposed dwelling the owners selected a location adjacent to Ludbrook Rd to minimise the distance services and vehicle access need to cross the Heritage Zone, an area where existing dwellings and associated structures are clustered, has natural shelter by the immediate landform and sufficiently elevated to reduce the possibility of flooding.

The identified building platform is located on a small level platform in an area where shallow drains and trenches have been recorded in the past as part of the archaeological landscape surrounding Pouerua Cone. It was not possible to identify these features during the current inspections but are visible in aerial photographs due to denser vegetation the drains produce. Examination of the aerials and resulting archaeological mapping revealed that while ground disturbance associated with the building will not directly affect the features the access has been laid over one or two drain features assuming the features are intact.

The recorded occupation sites within the Pouerua's volcanic field indicate that occupation was generally confined to knolls and ridges with the surrounding areas gardened. No occupation sites will be effected by the current proposal. However, past archaeological investigations in landscapes known to contain archaeological sites have highlighted the potential of encountering undetected subsurface features such as hearths, post holes for houses and palisades or other structures during topsoil removal.

It is therefore necessary to seek and obtain a General Authority to modify or destroy the site(s) from HNZPT under conditions contained in the HNZPT Act (2014).

Archaeological sites, as defined and afforded legal protection by the Resource Management Act (1991) and the Heritage NZ Pouhere Taonga Act (2014), whether recorded or not, cannot be damaged, modified or destroyed unless an Authority has been issued by the Heritage NZ Pouhere Taonga.

It should be noted that archaeological survey techniques (visual inspection and minor sub-surface testing) and mitigation deals solely with the identification and recovery of the physical evidence of past human activity. Archaeological methods cannot always detect all sub-surface features or usually identify sites of traditional significance or the spiritual or cultural values of Maori. The tangata whenua should therefore be consulted regarding the possible existence of such sites.

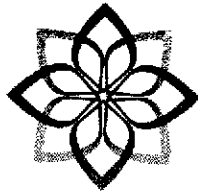
Recommendations

The following recommendations for avoidance or mitigation are provided as points of discussion between the applicant, statutory agencies and tangata whenua.

- That a General Authority is sought and obtained from Heritage NZ Pouhere Taonga prior to the commencement of works.
- That all topsoil removal to be monitored by the project archaeologist.
- That if archaeological features/evidence is encountered work to cease in the immediate vicinity and tangata whenua and Heritage NZ Pouhere Taonga notified.
- That any archaeological features encountered are recorded, investigated and sampled for off-site analysis.
- That all plant locations be tested by suitably qualified archaeologist a prior to planting in order to determine whether archaeological features exist.
- That no deep rooting plants to be used.
- That if koiwi (human remains) should be exposed during development, work should cease in the immediate vicinity and the tangata whenua and HNZPT should be contacted so that appropriate arrangements can be made.
- That since archaeological survey cannot always detect wahi tapu and sites of traditional significance to Maori, the tangata whenua should be consulted regarding the Maori values of this area and the recommendations in this report.

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- Anderson, A., J. Binney & A. Harris. 2015. *Tangata Whenua: A History*. Bridget Williams Books, Wellington.
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Landscape and Visual Effects Assessment

Proposed Dwelling

320 Ludbrook Road, Pakaraka



Prepared For: Ngawhitu Limited
Prepared By: Christine Hawthorn BLA (Hons)
Date: 4th June 2024

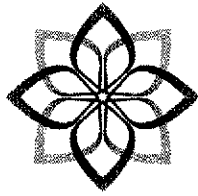


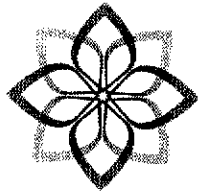
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APPENDICES:

Supplement A: Landscape and Visual Effects Assessment Methodology

- Appendix 1 – Location & Photo Location Map
- Appendix 2 – Development Plans
- Appendix 3 – On Site Photographs
- Appendix 4 – Off Site Viewpoints
- Appendix 5 – Landscape Plan
- Appendix 6 – Landscape Overlay Maps



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1. INTRODUCTION

Hawthorn Landscape Architects Ltd (HLA) have been engaged by the Alec Jack from Ngawhitu Limited (the applicant) to assess the potential landscape, natural character and visual amenity effects anticipated from relocation of a small residential dwelling onto the property at 320 Ludbrook Road, Pakaraka.

The property is zoned Rural Production in the FNDC Operative Plan with Outstanding Natural Feature and Outstanding Landscape Feature overlays over part of the property. The property is located within a Heritage Precinct HP 1 – Pouerua.

The area where the proposed dwelling will be located (I will refer to this as the site) is covered by the Outstanding Natural Feature overlay and is within HP 1.

This report will determine any potential impact the proposed development may have upon the landscape, visual amenity and heritage character values of the site and surrounding environment.

This report provides a full assessment of the landscape and visual effects associated with the proposal, in the context of the existing environment, Outstanding Natural Landscape, Outstanding Natural Feature and the relevant statutory planning framework.

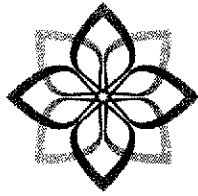
In undertaking this assessment, the author has visited the property to understand the nature of the site, its physical and visual relationship to the ONF, adjacent properties as well as the context, character, visual catchment and viewing audiences from within the wider area.

2. METHODOLOGY

The following methodology was used in the preparation of this landscape and visual effects assessment.

- Desktop review of the relevant statutory documents (Regional and District Plan text and mapping);
- Site visits, and filed survey of the local area;
- Identification of the visual catchment and viewing audiences;
- Description of the site and existing landscape character, visual/aesthetic quality and amenity values of the surrounding environment;
- Identification and description of the nature of the proposed development;
- Assessment of anticipated character, landscape and visual effects;
- Ranking of landscape and visual effects;
- Review of the relevant planning documentation and reports;
- Identification of the proposed landscape and visual mitigation approach, options considered and recommendations.

To determine the overall nature and significance of the landscape and visual effects, an understanding of the sensitivity of the landscape and viewing audience has been combined with an assessment of the magnitude of the change resulting from the proposal to determine the overall significance of effects.



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An outline of the effects ratings and definitions used in this assessment is provided in **Supplement A**. In summary, the significance of effects identified in this assessment are based on a seven-point scale which includes very low; low; low-moderate; moderate; moderate-high; high and very high ratings.

This assessment has been prepared by a qualified Landscape Architect and in accordance with the NZILA (New Zealand Institute of Landscape Architects) Code of Conduct and with reference to the Quality Planning Guidelines Note¹.

3.0 THE SITE AND ITS LANDSCAPE CONTEXT

3.1 Site Location

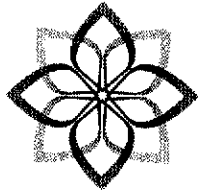
The property is located at 320 Ludbrook Road, Pakaraka and is legally described as Lot 1 DP 196184. Refer to **Appendix 1 – Location Map**.

The property is a large irregular shaped lot extending west for approximately 2.5km from Ludbrook Road as shown in **Figure 1**.

The proposed building site for the dwelling is situated approximately 68m to the northwest of Ludbrook Road. An existing gateway and farm track allow access to the building site.



Figure 1: Site Location



3.2 Application Site

The applicant's property lies on the outer southern edge of the Pouerua Heritage Precinct, with Pouerua cone approximately 500m to the north of the proposed building site.

An Archaeological Survey and Assessment of Effects of the proposed development has been prepared by Don Prince, dated November 2023.

The applicant's property is a very large parcel of land, approximately 95ha. For the purposes of this assessment when I refer to the site, I will be referring to the proposed building site for the relocated dwelling.

The proposed building site is located approximately 68m to the north of the access point off Ludbrook Road.

The relocatable dwelling has been moved onto site and is currently sitting upon temporary stilts. The aerial image shown in **Figure 2** illustrates its location in relation to Ludbrook Road, and a neighbouring dwelling to the west and south. Lake Owhareiti is located just to the south of Ludbrook Road.

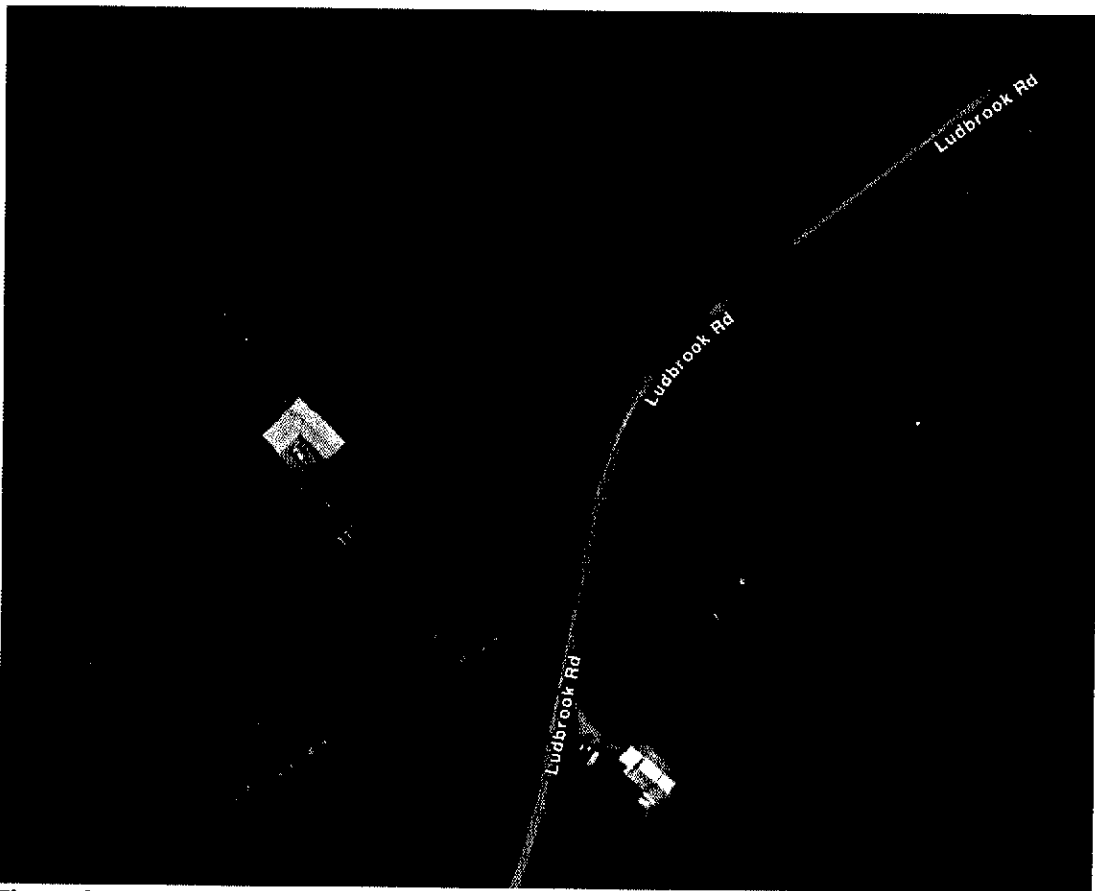
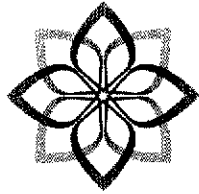


Figure 2: Location of proposed dwelling off Ludbrook Road.



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The proposed dwelling will be located within farmland that is characterised by undulating topography of a rocky nature due to the presence of the underlying volcanic lava flow. The archeological report states that the house site is located on the "lower southern slopes of Pouerua volcanic cone".

The building site has a land backdrop so that it is not viewed in an elevated position or on the skyline, refer to **Figure 3**.

The area surrounding the building site is free of any existing vegetation, just in pasture. There are a few large Poplar trees located along the southern boundary adjoining Ludbrook Road. Refer to the On Site Photographs contained in **Appendix 3**.



Figure 3: View of the dwelling with Pouerua cone in the background.

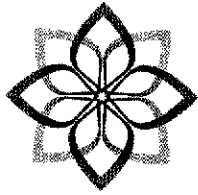
3.3 Neighbourhood Context & Character

The site is located within an area that is characterised by rolling farmland, interspersed with areas of indigenous forest and inland lakes. Pouerua volcanic cone is the dominant landscape feature and provides the land backdrop to the north of the site.

Lake Owhareiti, a shallow lake that was formed through the damming of the valley by a lava flow is located to the south of the site and is another dominant feature of this landscape setting, as shown in **Figure 4**.

To the east of the lake an area was subdivided and accommodates a cluster of lifestyle lots, these are access off Ludbrook Road, via Lakeland Lane. The development within this area is visible from Pouerua cone and the Heritage Precinct as shown in **Figure 5**.

Built development located close to the proposed building site consists of several dwellings and farm buildings. The view of these from Pouerua cone is depicted in **Figure 4**. The proposed dwelling is just visible in the bottom left of the image. Its



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recessive colouring makes it difficult to see compared to the white buildings in the image.

Pouerua volcanic cone and its associated archaeological sites form a dominant feature within this landscape. The peak of the cone is visible from within an extensive area due to its elevation.

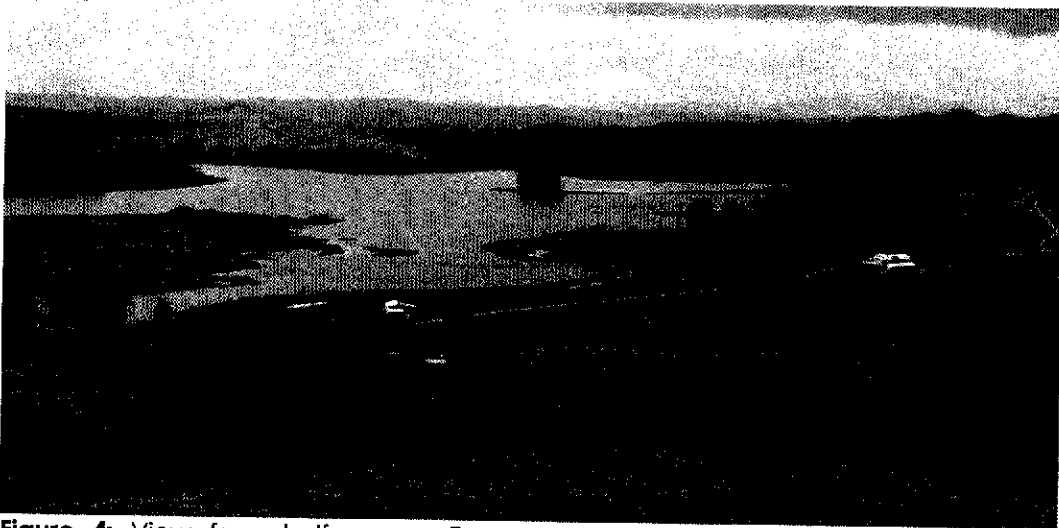


Figure 4: View from halfway up Pouerua cone showing the cluster of existing buildings.

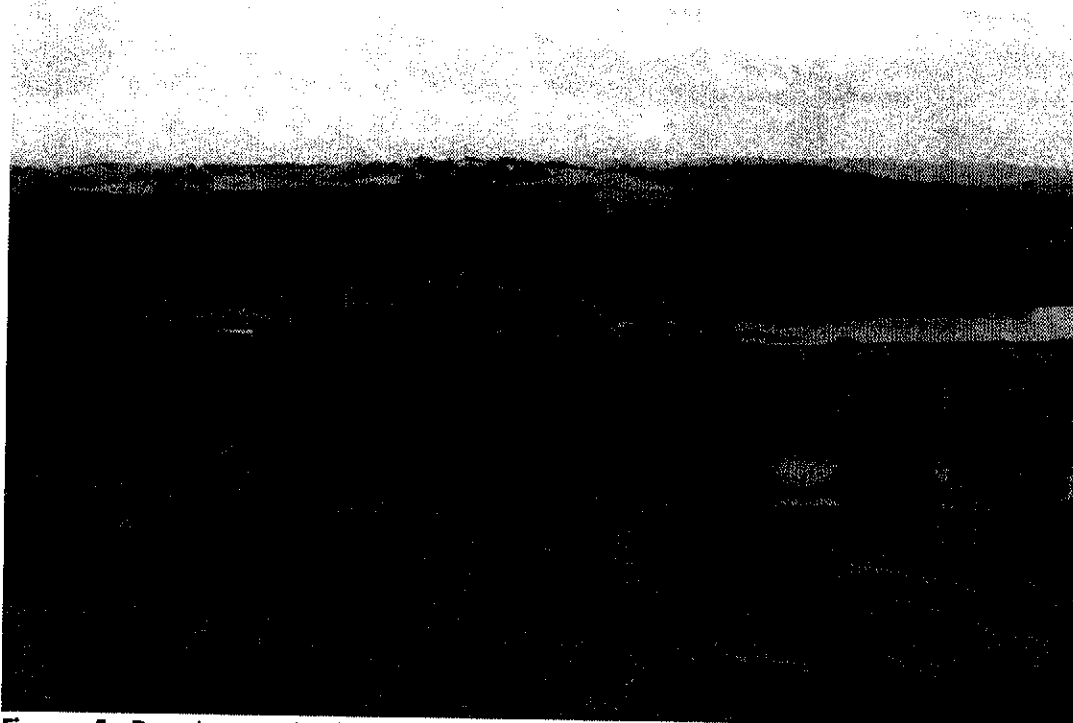
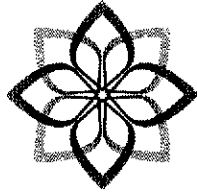


Figure 5: Development off the Lakeland Lane area, viewed from the flanks of Pouerua cone.



3.4 Background Landscape Assessments

Far North Landscape Assessment

The 1995 Far North Landscape Assessment was undertaken to assess the landscape values of the district in order to inform objectives, policies and management strategies to enable the District Council to meet its obligations under Part V of the RMA.

The assessment delineated the district into 112 landscape units which each display homogeneous and consistent landscape character, derived from topography, vegetation and landscape character and the relationship with the sea.

The units were separated into coastal and terrestrial and grouped into 19 landscape categories which display a reasonable consistency of landscape character.

The site is located within the following terrestrial landscape unit:

- Unit T6 – South-East Hill Country which is identified as "Pastoral Hill Country with pockets of Scrub/Bush". **Refer to Figures 6 and 7.**

This unit has a sensitivity rating of 3 out of 7, which is considered low sensitivity.

In relation the unit 'Pastoral Hill Country with pockets of Scrub/Bush' the assessment report states:

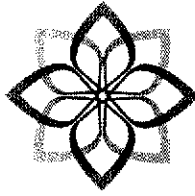
"These units cover the majority of the steepest portion of the District that is utilised for grazing, including the extensive "Inland Hills" unit which encompasses much of the terrain in the centre of the Far North. Encompassed within the hill country that is the focus of this category, are many small valleys and basins which have a much more fertile image attached to them.

Many of the units convey an impression that pastoral farming is an extremely difficult use for the land. Extensive evidence of erosion, recolonisation with manuka shrubland, and infestation with weed species all contribute to a rather untamed yet fragile landscape.

The steepness of the terrain has precluded clearance of some areas, or dictated the retirement of land – allowing native shrubland to regain a foothold. These remnants and recolonised portions of the units bring an indigenous theme, as well as creating elements of interest and variety in the landscape. Frequently vegetation patterns relate to the form of the land, echoing a valley or emphasising a ridgeline. As such it increases the legibility and coherence of the landscape.

Most of the built development in these units is relatively inconspicuous, for it is usually located on the more stable lower slopes and frequently well screened by vegetation. The scarring that accompanies farm tracks in step country has a far more disruptive visual effect, reaffirming the impact of more extensive soil creep and slipping that is frequently seen in nearby pasture".

I note that Pauerua has been identified on the plans, as shown in **Figure 6**, however it has not been mentioned in the text of the Far North Landscape Assessment or reflected in the sensitivity rating of this landscape unit.



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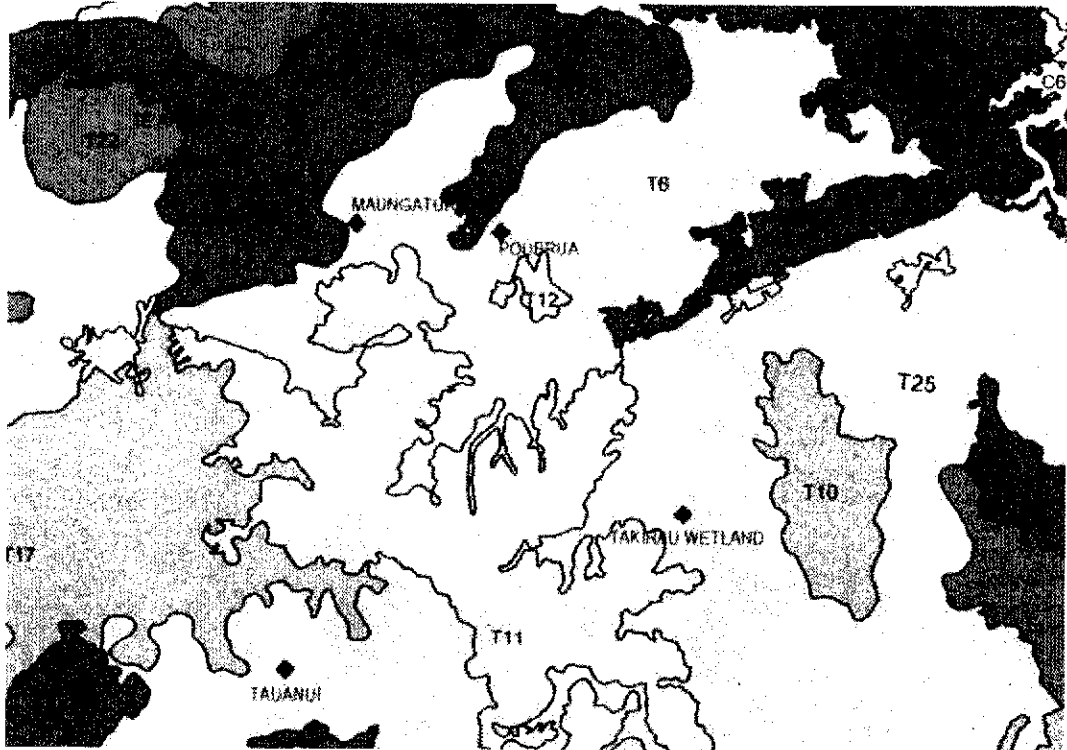


Figure 6: Far North Landscape Assessment Map, showing the site in Unit T6 - South-East Hill Country, with a sensitivity rating of 3 out of 7.

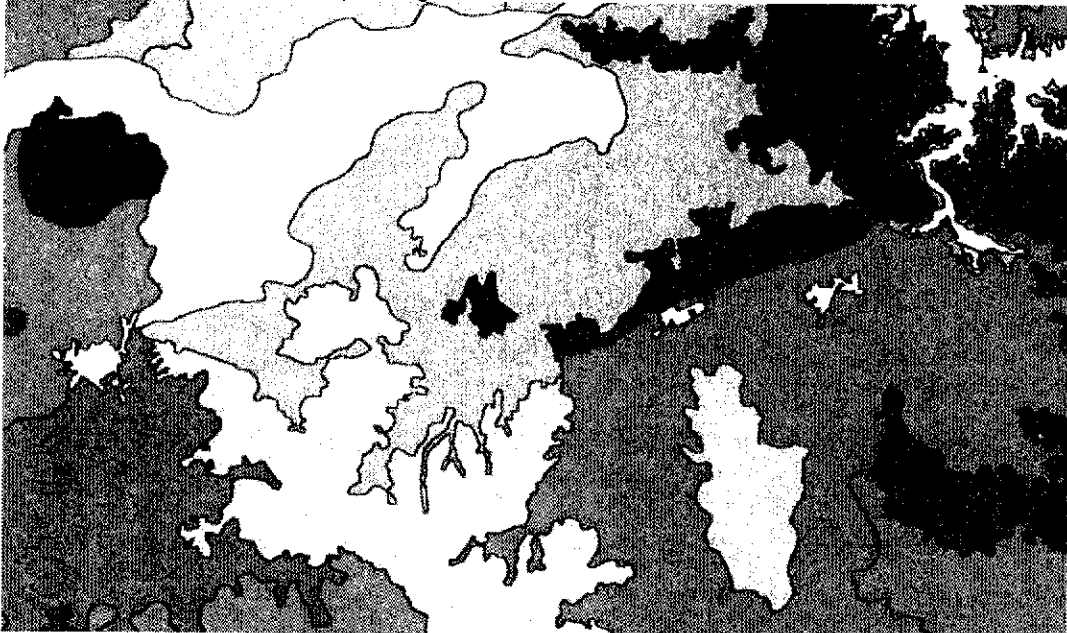
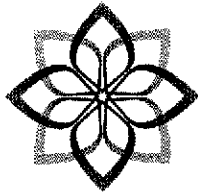


Figure 7: Far North Landscape Assessment Map, showing the site in the Pastoral Hill County with pockets of Scrub/Bush category



4.0 THE PROPOSAL

4.1 Proposed Dwelling

The proposal is set out in the drawing package prepared by Cad Planz which includes a range of illustrative material to demonstrate the proposal's response to statutory criteria, proposed building form, the elevational treatment and materiality, which together with proposed landscaping will ensure that the development is sensitively integrated into the Heritage Precinct. Refer to the plans contained in **Appendix 2**, and the Site Plan in **Figure 8**.

The proposal is for the relocation of a 60m² 2-bedroom dwelling set on timber piles. Decks and a carport will be added to the dwelling. Access will be off Ludbrook Road via an existing farm track that will be upgraded.

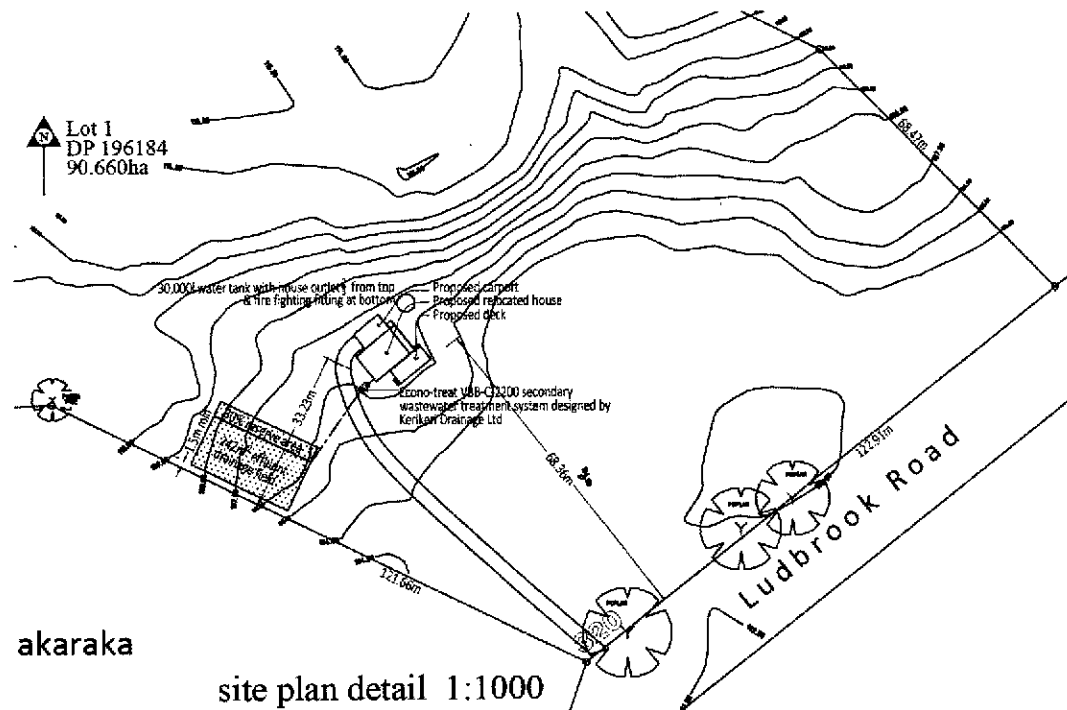


Figure 8: Site Plan showing the location of the proposed dwelling, carport, water tank and driveway.

4.2 Landscape Plan

A Landscape Plan has been prepared that identifies the location of the existing Poplar trees along the Ludbrook Road boundary, and the proposed planting that will integrate the building into the landscape and mitigate any potential adverse visual effects. refer to **Appendix 5** and **Figure 9**. More detail on the Landscape Plan is provided in Section 7 of this report.

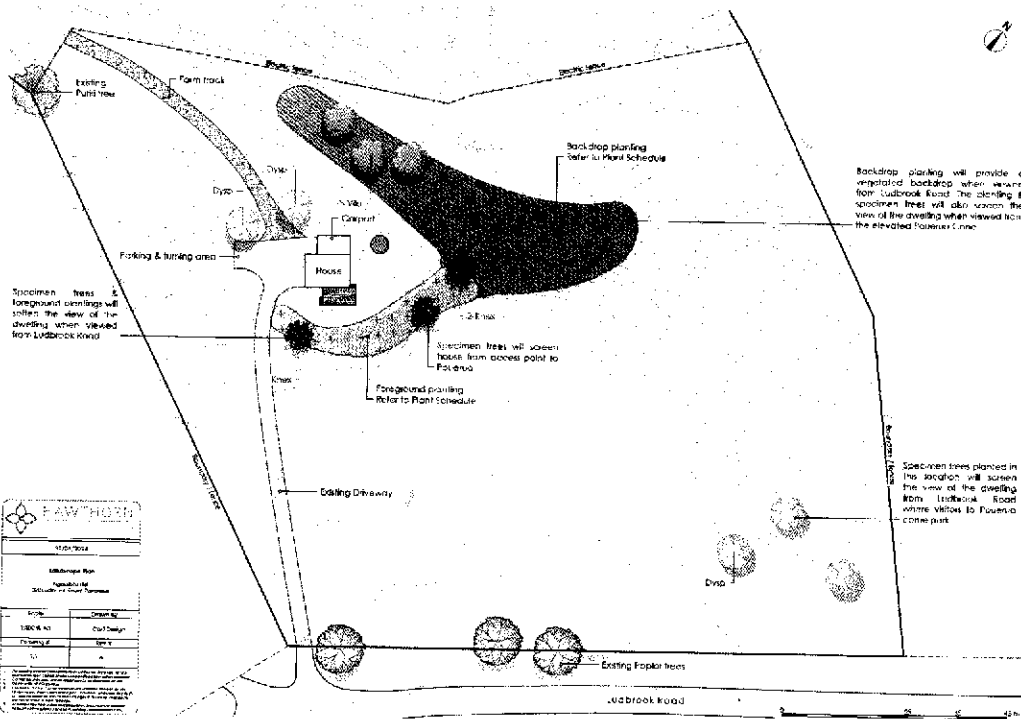
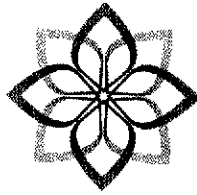


Figure 9: Landscape Plan

5. VISUAL, LANDSCAPE & NATURAL CHARACTER EFFECTS

5.1 Visual Effects

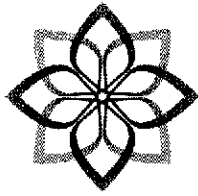
Potential visual effects can be generated through visual changes to the landscape because of a development. The significance of effects is measured by the visual sensitivity of the landscape and the response of a particular viewing audience.

Visual sensitivity is influenced by several factors including visibility, the nature and extent of the viewing audience, whether the proposal is the focal point or part of a wider view, whether the view is transient or permanent and the degree of contrast with the surrounding environment. It is also influenced by the visual qualities of the proposal and the ability to integrate any change within the landscape setting.

The degree of adverse visual effects generated by a proposal also depends upon the character of the surrounding landscape (the context), existing levels of development on the application site, the contour of the land, the presence or absence of screening and/or backdrop vegetation, and the characteristics of the future activities facilitated by the application.

This assessment will establish the potential visibility of the application site and future placement of the dwelling on this lot. It will also determine who the potentially effected viewing audience is, the degree of change brought about by the proposed development, and if there will be any potential adverse visual effects associated with this.

The photographs contained in **Appendix 4** Off Site Viewpoints depict representative



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viewing positions that illustrate the potential view of the relocated dwelling. The location of the viewpoints are shown in **Appendix 1** – Location Map.

It is noted that the dwelling has already been moved onto the building site, and currently sits on temporary stands. Once it is lowered onto its permanent piles it will sit a lot lower than shown in the photos and will settle into the landscape nicely.

Viewpoint 1

This area along Ludbrook Road affords the first view towards the proposed dwelling. It is a glimpse view, and not particularly visible due to the presence of roadside vegetation. The other neighbouring dwellings are more obvious in this view. There will be no adverse effects generated from this area.

Viewpoint 2

This view of the dwelling is afforded from the side of Ludbrook Road, in the general area where visitors to Pouerua cone often park and leave their car while walking to the top of the cone. This view is oriented towards the west and south west.

Four other buildings are visible in this viewshaft from this location. The presence of the proposed dwelling in this location result in it being in context with the other built forms, and consolidates built development within an area that is already modified. The dwelling does not alter the recognisable character of the landscape from this position as dwelling sites are part of the existing character of this area.

The proposed dwelling is set below the skyline and has a backdrop of pasture and clusters of trees. The large Poplar trees along the shared boundary with Ludbrook Road dwarf the house which is of a modest scale, at 60m².

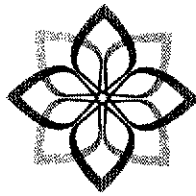
To break up the view of the dwelling from this location 3 Kohekohe trees are proposed to be planted in the midground view. These will form a contiguous cluster of vegetation and will screen the view of the dwelling from this location. The proposed backdrop and foreground plantings will also blend the dwelling into the landscape.

The potential adverse visual and landscape effects of the development from this general area will be less than minor once the landscape plantings have been implemented.

Viewpoint 3

The location of this viewing position is the same as for Viewpoint 2, however the view is oriented towards the northwest from Ludbrook Road, with Pouerua cone as the backdrop. Viewers will also take in the view of the proposed dwelling and neighbouring house just beyond it. Again, the proposed dwelling will be viewed with a land backdrop. The proposed landscaping around the dwelling will result in a vegetated backdrop and foreground when viewed from this location. The cluster of Kohekohe trees will also help to screen the dwelling from visitors view from this roadside parking area.

The intention of the proposed landscaping is to tie the house into the landform, so that it becomes visually unobtrusive. This will then enable the view of Pouerua cone to remain as the dominant feature from this location.



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The potential adverse visual and landscape effects of the development from this general area will be less than minor once the landscape plantings have been implemented.

Viewpoint 4

This view is afforded to passers-by and residents at this end of Ludbrook Road. The proposed dwelling is visible as one of the foreground built forms (includes the neighbours house to the west). Pouerua cone is the dominant landscape feature visible in the background and on the skyline.

The area around the dwelling will be planted out with fast growing native species to quickly establish structure plantings around the building site. These will ground the dwelling and associated activities and reduce its visibility and prominence.

With the implementation of the landscape mitigation and integration plantings the potential adverse visual effects of the dwelling and its location on the edge of the Heritage Precinct will be minimised. This will enable the transient viewers to view Pouerua cone as the dominant feature, whilst the dwelling will be subordinate and nestled into the lower contours through the use of the landscape plantings.

Viewpoint 5

This view is obtainable by visitors to Pouerua cone to the north of the site. Lake Owhareiti and other dwellings sites are visible in the background.

The roof of the dwelling is just visible over the brow of the hill slope. The proposed landscape plantings along this slope will screen the dwelling from view. This will enable visitors to Pouerua cone to continue to experience the current amenity and heritage values associated with this site. Their appreciation levels will not be altered and no adverse visual effects will be generated.

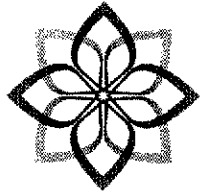
Viewpoint 6

This view is from further up Pouerua cone to the north of the site. From this location a little more of the dwelling is visible, however it is now also smaller in scale. The colours of the dwelling assist with blending it into the surrounding colours of the landscape. It is not readily visible.

The proposed landscape mitigation plantings will screen the dwelling from view, and will protect the current landscape values associated with Pouerua cone and the heritage precinct.

Viewpoint 7

This is the view from close to the top of Pouerua cone to the north of the site. The dwelling forms a very small element within a large expansive landscape panorama.



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Its recessive colours and small-scale result in the dwelling not being very visible. Its location close to other dwelling sites consolidates the dwelling activities into one area. It generates less than minor potential adverse visual effects as it is, even before the proposed landscaping is implemented.

Once the proposed landscaping around the dwelling is implemented it will screen the house from view, so that it is not visible from the top of Pouerua cone.

Lake Owhareiti and other dwelling sites are visible in the backdrop. The Lakeland Lane area is visible to the south.

Viewpoint 8

This view represents the distant view from the Lakeland Lane area, looking towards the site. The proposed dwelling is hardly visible due to its recessive colouring. The neighbouring white house is more visible. There will be no adverse visual effects generated by the proposal for the residents of this area.

5.2 Landscape Effects

Landscape effects arise from the change in the physical landscape, which can result in changes to the character of a landscape and how this landscape is experienced, and the perceived value given to the landscape.

The potential landscape effects of the development will be generated by either landform or land-cover modification or may be more subtle such as influencing the overall pattern of the landscape.

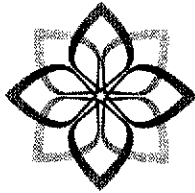
As the building site is located on the fringe of the Heritage Precinct and the flanks of Pouerua cone the landscape has a high perceived value. Any modification to the physical landform, or addition to the landscape which changes the current character has the potential to generate adverse landscape effects.

The proposal is for the dwelling to be set on the existing landform, rather than cutting into and modifying it, as recommended by the archaeologist, Don Prince. Thus, this will minimise the actual physical modification to the landform.

The location of the building site close to Ludbrook Road, and the other dwellings sites nearby consolidates built form within one settlement node near the end of Ludbrook Road. The existing character of this area includes residential built form and associated farm buildings and activities. The proposed development will be in keeping with this character and pattern of development.

The built form of the dwelling itself, although in keeping with the present built settlement character, does have the potential to generate adverse landscape effects due to its proximity to Pouerua cone.

The dwelling is located approximately 500m away from the cone and will be viewed as a foreground element in the views from Ludbrook Road and surrounds. The small size of the dwelling and the recessive building colours both assist with minimising potential landscape effects. In addition, the proposed landscape plantings will soften



and screen the built form from Pouerua cone so that any potential landscape character effects of the building are minimised to a less than minor level.

There is no vegetation removal associated with this development.

6. STATUTORY CONTEXT

6.1 Operative Far North District Plan (OFNDP)

The property is located within the Rural Production Zone. Resource Map 35 identifies that most of the property and the proposed building site is located within an Outstanding Natural Feature (ONF).

Part of the property is also covered by an Outstanding Landscape Feature (OLF) as shown in **Figure 10** below and on the map contained in **Appendix 6 - Landscape Overlay Map**.

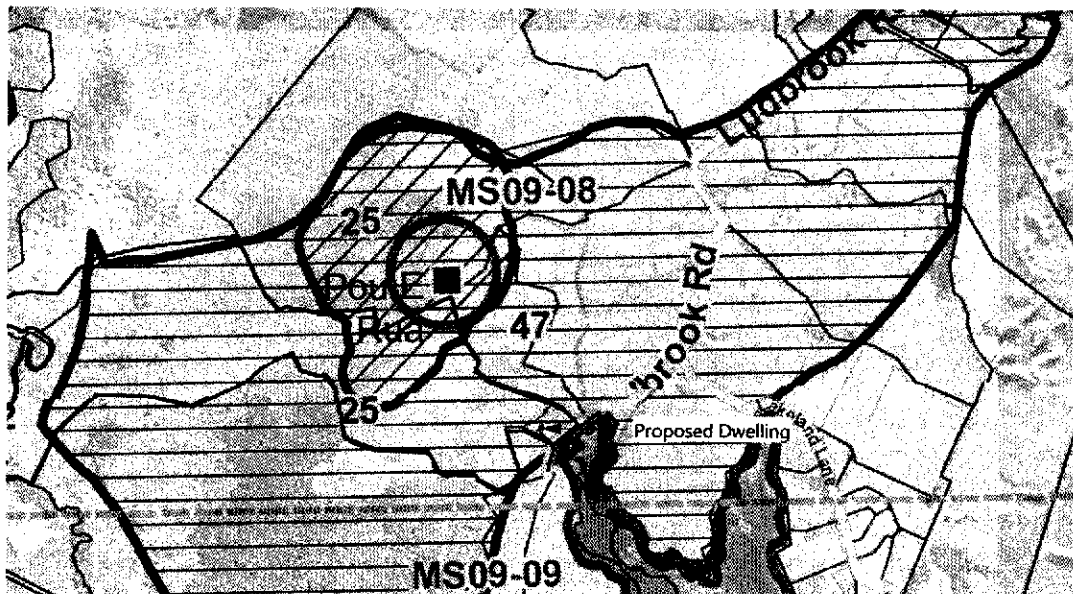


Figure 10: ONF and ONL areas in relation to the building site.

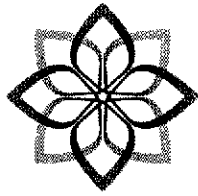
Within Appendix 1A – Natural and Physical Resources, the Outstanding Natural Feature is identified as:

Site 47 – Pouerua (Pakaraka Mountain) scoria cone and lava fields.

This is a scoria cone, 750m in diameter, 135m high (275ASL) with associated flows – distinctive volcanic centre with well preserved crater and volcanic form, surrounded by the best preserved lava flow field in Northland. Rating B2.

Within Appendix 1B the Outstanding Landscape Feature is identified as Pouerua, Prominent pa/archaeological site on volcanic cone at Pakaraka.

The proposed building site is only covered by the **Outstanding Natural Feature (ONF)**.



In addition, it is not in an Outstanding Landscape, or the Outstanding Landscape Feature. The property and building site has not been identified as having any high or outstanding Natural Character values.

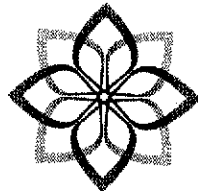
12.1 LANDSCAPE AND NATURAL FEATURES

12.1.3 OBJECTIVES

- 12.1.3.1 *To protect outstanding landscapes and natural features from inappropriate, subdivision use and development.*
- 12.1.3.2 *To protect the scientific and amenity values of outstanding natural features.*
- 12.1.3.3 *To recognise and provide for the distinctiveness, natural diversity and complexity of landscapes as far as practicable including the complexity found locally within landscapes and the diversity of landscapes across the District.*
- 12.1.3.4 *To avoid adverse effects and to encourage positive effects resulting from land use, subdivision or development in outstanding landscapes and natural features and Maori cultural values associated with landscapes.*

12.1.4 POLICIES

- 12.1.4.1 *That both positive and adverse effects of development on outstanding natural features and landscapes be taken into account when assessing applications for resource consent.*
- 12.1.4.2 *That activities avoid, remedy or mitigate significant adverse effects on both the natural and the cultural values and elements which make up the distinctive character of outstanding natural features and landscapes.*
- 12.1.4.3 *That the cumulative effect of changes to the character of Outstanding Landscapes be taken into account in assessing applications for resource consent.*
- 12.1.4.4 *That the visibility of Outstanding Landscape Features, when viewed from public places, be taken into account in assessing applications for resource consent.*
- 12.1.4.5 *That the adverse visual effect of built development on outstanding landscapes and ridgelines be avoided, remedied or mitigated.*
- 12.1.4.6 *That activities avoid or mitigate adverse effects on the scientific and amenity values associated with outstanding natural features.*
- 12.1.4.7 *That the diversity of outstanding landscapes at a District-wide and local level be maintained and enhanced where practicable.*
- 12.1.4.8 *That the trend is towards the enhancement rather than the deterioration of landscape values, including the encouragement of the restoration of degraded landscapes.*
- 12.1.4.9 *That the high value of indigenous vegetation to Outstanding Landscapes be taken into account when assessing applications for resource consents.*
- 12.1.4.10 *That landscape values be protected by encouraging development that takes in account:*



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- (a) the rarity or value of the landscape and/or landscape features;
- (b) the visibility of the development;
- (c) important views as seen from public vantage points on a public road, public reserve, the foreshore and the coastal marine area;
- (d) the desirability of avoiding adverse effects on the elements that contribute to the distinctive character of the coastal landscapes, especially outstanding landscapes and natural features, ridges and headlands or those features that have significant amenity value;
- (e) the contribution of natural patterns, composition and extensive cover of indigenous vegetation to landscape values;
- (f) Maori cultural values associated with landscapes;
- (g) the importance of the activity in enabling people and communities to provide for their social, economic and cultural well-being.

12.1.6.3.3 DEVELOPMENT ON AN OUTSTANDING NATURAL FEATURE

Any new building, relocated building, extension or alteration to an existing building, excavating, filling, planting of trees or clearance of vegetation on an Outstanding Natural Feature, as listed in **Appendix 1A** and shown on the **Resource Maps** is a discretionary activity.

12.1.7 ASSESSMENT CRITERIA

In considering this application the Council shall apply the relevant assessment matters set out below and will also have regard to the Far North District Landscape Assessment (FNDLA) report (refer to section 3.4 of my report), which was prepared for the Council in 1995.

It contains details of the Outstanding Landscapes, Outstanding Landscape Features and Outstanding Natural Features in the Far North District together with any site-specific landscape assessment.

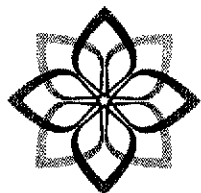
Pouerua has been identified on the FNDLA plans, as shown in **Figure 4**, however it has not been mentioned in the text of the Assessment or reflected in the sensitivity rating of this landscape unit.

Within the FNDLA the property is identified as Unit T6 – South-East Hill Country which is identified as "Pastoral Hill Country with pockets of Scrub/Bush". Its overall sensitivity rating is 3 out of 7, which is considered low sensitivity.

- (a) the rarity of the landscape, landscape features or natural features;

The FNDLA does not identify the property as being rare, the FNDLA is not a statutory document.

The Operative Far North District Plan has identified the property as being within a Heritage Precinct. It is covered by an Outstanding Natural Feature and the backdrop to the building site is Pouerua cone, an identified Outstanding Natural Landscape.



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- (b) *the visibility of outstanding landscapes, outstanding landscape features or outstanding natural features;*

The building site is located on the fringe of the Outstanding Natural Feature, on the lower contours adjacent to Ludbrook Road. The Outstanding Landscape Feature (Pouerua cone) is located approximately 500m to the north of the building site.

- (c) *the aesthetic, heritage, cultural and natural values of the outstanding landscapes and natural features;*

The proposed dwelling is small and is recessively coloured. It will be set within landscaped grounds to screen it from view from Pouerua cone and the Heritage Precinct. The proposal will not adversely affect the aesthetic, heritage, cultural or natural values of the ONF.

- (d) *the elements which make up the distinctive character of the outstanding landscape or outstanding landscape features;*

The characteristics that contribute to the distinctive character of the OLF includes the farmed landscape which keeps the topography (and heritage features) visible so that the distinctive landform of Pouerua cone can be easily distinguished. The proposed development will not adversely affect this.

- (e) *the extent of visible change to the landscape which may result from an activity;*

The extent of visible change will be small, as the dwelling is located right of the edge of the Heritage Precinct, and on the lower contours of the cone, adjacent to Ludbrook Road and other built form. The dwelling will be well integrated with landscaping so that it is not visible from the elevated parts of Pouerua cone.

- (f) *the extent to which adverse effects may be mitigated through screening or other means;*

The proposal includes landscape plantings to screen the dwelling and mitigate any potential adverse visual effects to a less than minor level.

- (g) *the degree of visual intrusion in the landscape;*

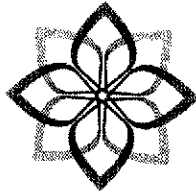
The proposed dwelling is located on the lower contours, it is not visible on a skyline and will be surrounded by landscape plantings so that it is visually unobtrusive.

- (h) *the siting of the activity in relation to ridgelines or natural landscape features;*

The dwelling is not located on a ridgeline. It is located 500m to the south of the top of Pouerua cone which is an OLF.

- (i) *the design of any building, structure, landform or any development;*

This has been detailed within the body of this assessment.



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- (i) *the location and design of vehicle access, manoeuvring and parking spaces;*

This has been detailed within the body of this assessment.

- (j) *the potential for more than minor adverse effects on the outstanding natural feature as a result of the proposed activity;*

This has been detailed within the body of this assessment. There will be less than minor adverse effects generated.

- (l) *the extent to which the activity will protect and/or enhance the outstanding natural feature or landscape;*

The dwelling will be located on the fringe of the ONF and has been assessed to have a less than minor affect upon the ONF.

- (m) *the extent to which the activity may adversely affect ecological values of indigenous flora and fauna;*

The proposal will result in no vegetation removal. The dwelling will be located in a grazed paddock, and will be landscaped with native species that will enhance ecological values.

- (n) *provisions for the permanent legal protection of the Outstanding Landscape, Outstanding Landscape Feature or Outstanding Natural Feature;*

The applicant already has such provisions in place.

- (o) *the environmental effect of the increase in residential intensity and/or the extra lots in relation to the benefits of achieving permanent legal protection of an Outstanding Landscape, Outstanding Landscape Feature or Outstanding Natural Feature;*

No subdivision is proposed. The proposed dwelling will be located on a 95ha parcel of land that currently accommodates no dwelling. It will occupy 0.006% of the site. This is minuscule and will have result in no adverse environmental effects.

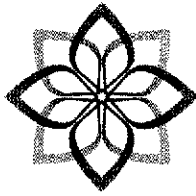
- (p) *the extent to which an application proposes revegetation and/or enhancement of the Outstanding Landscape, Outstanding Landscape Feature, or Outstanding Natural Feature, and the measures to secure the long term sustainability of the revegetation and/or enhancement;*

The proposed landscaping around the dwelling will protect the steep area of erosion prone ground, and will provide a food source for local fauna.

- (q) *the characteristics of the application site, including its size, shape and topography;*

These details are described in Section 3 of this assessment.

- (r) *the effectiveness of any proposed pest control programme;*



The applicants undertake ongoing possum control.

- (s) *the relationship of people and communities with outstanding landscapes, outstanding landscape features and outstanding natural features.*

The proposed development will not affect the ONF or OLF. People and the local community will be able to continue to appreciate the existing values of the ONF and OLF.

12.5A Heritage Precincts

Nine Heritage Precincts have been identified in the Far North District as having clusters of historic buildings that, in association with the immediate environment, have special amenity and character in addition to their heritage values.

The Pouerua Heritage Precinct is described as follows:

Pouerua (Pakaraka): (refer to Map HP1 in Part 5)

The Pouerua Heritage Precinct is distinguished from other New Zealand historic landscapes and waahi tapu by the number and diversity of heritage values that are attached to it, by its size and by the degree of its integrity. It embodies the mana of Ngapuhi, the historic engagements of Maori and Pakeha in war and peace, and has been preserved to date by the separate and collective effects of iwi and others. There are major Maori fortifications on the rim of the Pouerua volcanic cone, hundreds of terraces on the flanks, and intensive evidence of pre-European and 19th century gardens and settlements on the lava field. The Pouerua Precinct is considered to contain the best remaining example of a large group of field systems, settlements and fortifications surviving as an integrated whole. All archaeological evidence within the Pouerua volcanic system, therefore, gains significance through association with the total complex, and merits recognition.

12.5A.3 OBJECTIVES

These objectives supplement those set out in Section 12.5.3.

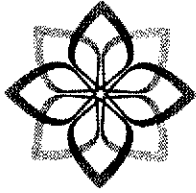
12.5A.3.1 To recognise and protect retain the heritage values of the various heritage precincts derived from the sites, buildings and objects of historic significance, and to protect such sites, buildings and objects from inappropriate subdivision, use and development.

12.5A.3.2 To recognise and protect the heritage values of the various heritage precincts derived from the archaeological sites of the precincts and to retrieve and record archaeological evidence where appropriate.

12.5A.3.3 To recognise and protect the special character of the various heritage precincts that derives from the built form in combination with the landforms.

12.5A.3.4 To retain The Strand Heritage Precinct as predominantly a pedestrian area.

12.5A.4 POLICIES



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These policies supplement those set out in **Section 12.5.4**.

- 12.5A.4.1 That the type, scale and nature of alterations to existing buildings be limited so as to ensure the retention of the heritage character of the various heritage precincts and of buildings of historic significance within those heritage precincts.
- 12.5A.4.2 That the removal or demolition of buildings be restricted to those of little or no historic significance which do not contribute significantly to the streetscape values of the various heritage precincts.
- 12.5A.4.3 That the location, scale and nature of new buildings and structures be controlled so as to not adversely affect the historic character, streetscape or landscape values of the various heritage precincts and of buildings of historic significance within those heritage precincts.
- 12.5A.4.4 That archaeological sites are protected from damage or destruction, and that archaeological information is retrieved whenever appropriate.
- 12.5A.4.5 That the heritage values of The Strand and Kerikeri Basin Heritage Precincts are not adversely affected by inappropriate outdoor advertising.
- 12.5A.4.6 That activities which conflict with pedestrian use of The Strand be restricted.
- 12.5A.4.7 That further subdivision in the Pouerua Heritage Precinct does not result in adverse effects on historic heritage values from the construction of buildings and development (refer to **Chapter 13**).
- 12.5A.4.8 That normal farm practices do not adversely affect the historic heritage and Māori heritage values of the Pouerua Heritage Precinct.

Comment:

An archaeologist has been engaged by the applicant to assist with any archaeological sites on or surrounding the building site.

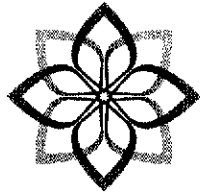
The applicant is not proposing any subdivision of their land that is located within the Pouerua Heritage Precinct. Since purchasing the land in 1949 the family have amalgamated smaller titles into a larger contiguous farm. The property is an intergenerational family farm, and there is no intention to subdivide it.

The applicants are proposing a small inconspicuously placed dwelling for a farm manager, which would enable them to better run and manage their farm. The proposal includes measure which will ensure that the development will not adversely affect the historic heritage and Māori heritage values of Pouerua Heritage Precinct.

12.5A.7 ASSESSMENT CRITERIA

The matters set out in s104 and s105, and in Part II of the Act, apply to the consideration of all resource consents for land use activities.

In addition to these matters, the Council shall also apply the relevant assessment matters set out below:



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- (a) the extent to which any work adversely affects the existing character of the various Heritage Precincts as a whole;
- (b) the extent to which any proposed work uses similar materials and is of similar design to the existing building or buildings on the same site;
- (c) the extent to which any demolition or removal of a major building on a site adversely affects the existing streetscape or destroys a building of historical or architectural significance;
- (d) the extent to which landscaping is appropriate to the character of the buildings on site;
- (e) the extent to which work or an activity adversely affects or destroys any archaeological site;
- (f) effects on landforms, including effects on stone walls and archaeological sites;
- (g) in the case of The Strand Heritage Precinct, the extent to which Heritage colours are used for all external surfaces;
- (h) in the case The Strand Heritage Precinct, the effects of any use or development on pedestrian access to and along The Strand;
- (i) in the case of the Kerikeri Basin Heritage Precinct, the extent to which the planting of trees affects the heritage values of sites, either visually or because of disturbance of archaeological sites.

Comment:

The proposed dwelling is very small and is coloured recessively. It is located upon the lower contours of the landform, so that it is not very visible within the wider landscape. The proposed landscape planting will visually soften and screen it from important viewing positions on Puerua cone and the Heritage Precinct.

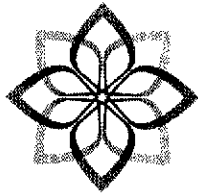
There are no historic buildings close to the application site that would need to be considered in relation to blending in with a similar style or colours. The proposal will not affect the streetscape and the landscaping is considered appropriate for the character of this area.

An archaeologist has been engaged by the applicant to assist with any archaeological sites.

6.2 Regional Policy Statement for Northland (RPS)

In 2012, the Northland Regional Mapping Project ("Mapping Project") was undertaken by the Northland Mapping Group (on behalf of the NRC). The purpose of the Mapping Project was to determine the delineation of the Coastal Environment, and the natural heritage areas within the region comprising Outstanding Natural Landscapes ("ONL") and High Natural Character (HNC) areas.

These are now included within the Regional Policy Statement (operative 2016) for Northland, thereby meeting the requirements under the New Zealand Coastal Policy Statement 2010 in ("NZCPS") in the Resource Management Act 1991.



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Based on these studies the NRC has identified that the property and proposed building site is located within an Outstanding Natural Feature as shown in **Figure 11**.

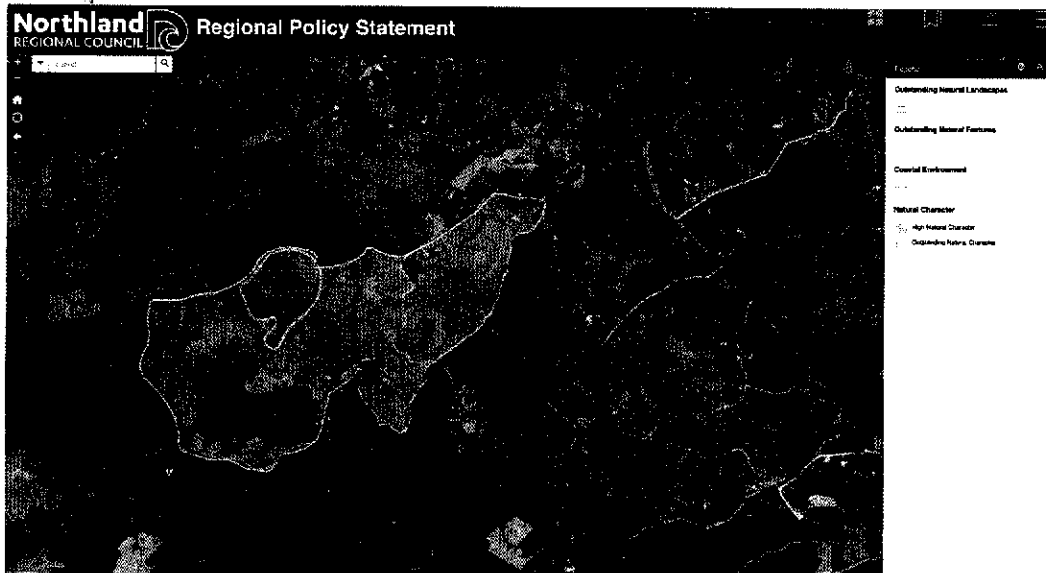


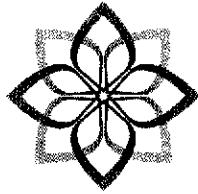
Figure 11: RPS Map overlay showing the ONF covering the site and nearby ONL, being Pouerua cone.

A description, characterisation, and evaluation of the ONF is outlined in the Outstanding Natural Features - Mapping Methodology Report. It is described as follows:

- Feature Name:* Pouerua (Pakaraka Mountain) scoria cone and lava fields
Significance statement: A distinctive volcanic centre with well preserved crater and volcanic form, clearly visible from SH1. Surrounded by the best preserved lava flow field in Northland.
Brief Description: A scoria cone, 750 m in diameter, which stands 135 m high, 275 m ASL and has a 10 m deep summit crater breached to the SW. Rafting of part of the cone has resulted in debris mounds below the SW side of the cone P05/948467. Stoney rises, 1-10 m high, are distributed over much of the field and W of the cone sub-circular mounds 0.5 to 1.5 m high and 2 m in diameter, called tumuli, are abundant. Explosion mounds to the E of the centre reach 18 m high. The longest flow, 4 km long flowed to the NE. The lava field covers an area of 13.5 square km. The largest pa and stone fields prehistoric site remaining in New Zealand.
Location: 2 km SW of Pakaraka, just past the intersection of SH1 to Kaikohe and SH10 to Kerikeri.
Importance: B (of National significance)
Vulnerability: 2 (moderately vulnerable to modification by humans)

7. LANDSCAPE PLAN

A landscape plan has been prepared for the areas around the dwelling building site to integrate the built form into the landscape, refer to **Appendix 5**.



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The landscaping will visually soften and screen the built form from specific views, especially from Pouerua cone. This will maintain the heritage values, visual amenity values and landscape character values associated with the Heritage Precinct.

The key elements of the landscaping include:

- Specimen Kohekohe trees planted so to screen the view of the dwelling from the area where visitors park on the Ludbrook roadside whilst visiting Pouerua cone.
- Foreground plantings to soften the foreground view of the house from Ludbrook Road,
- Backdrop planting consisting of specimen trees and fast growing natives to provide a visual screen of the dwelling when viewed from Pouerua cone.

8. CONCLUSION

This assessment has provided an understanding of the existing character and quality of the site and surrounding landscape and the visual and physical components of the development proposal.

The building site is located within a valued landscape that has been identified as being part of a Heritage Precinct and an Outstanding Natural Feature. Pouerua cone is located approximately 500m to the north of the building site and has been identified as an Outstanding Landscape Feature.

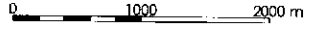
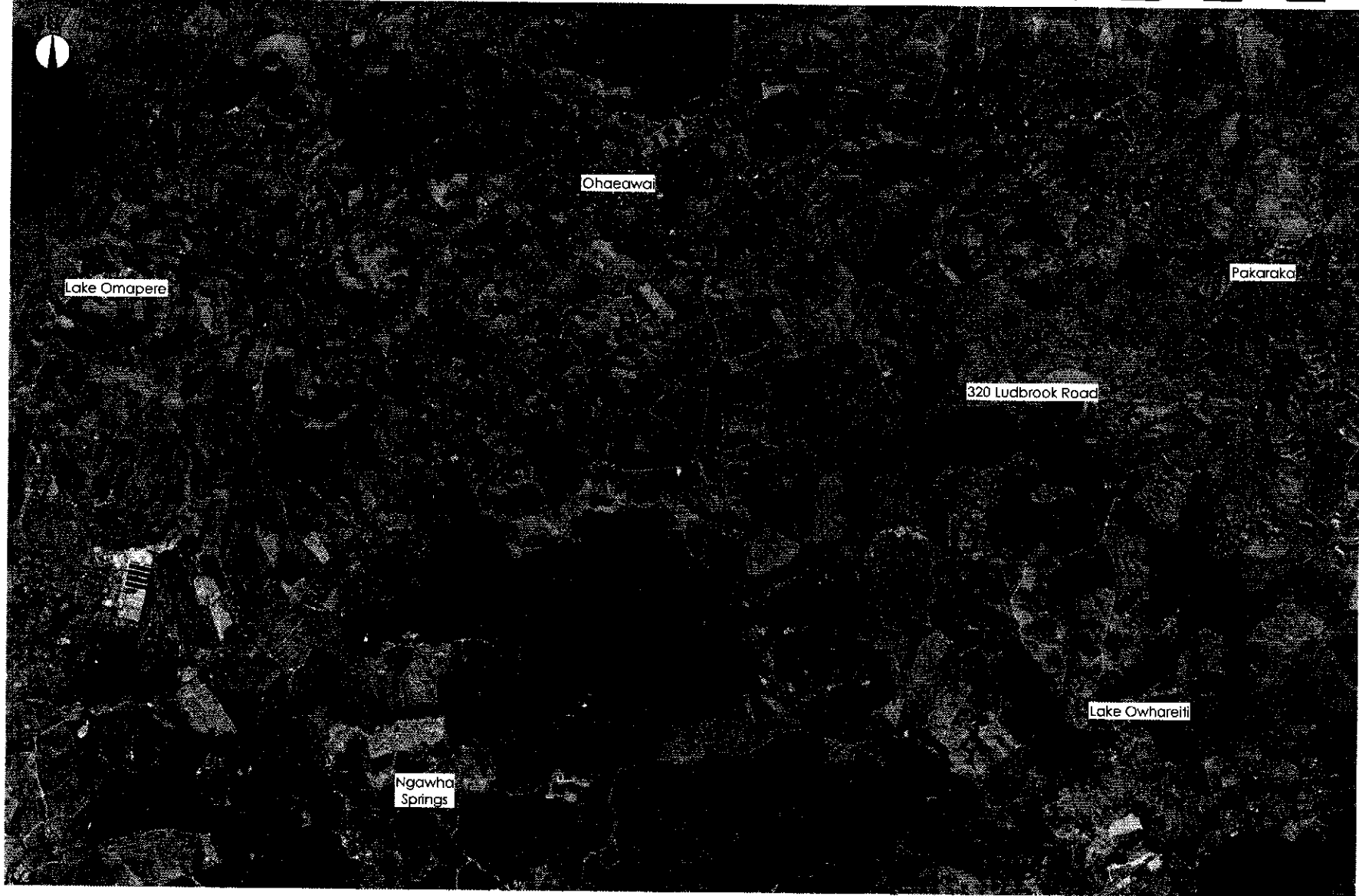
The proposed building site is located on the fringe of the Heritage Precinct, and on the lower contours of the flanks of Pouerua cone, close to Ludbrook Road. The dwelling will be the only building located on the 95ha property. The location of the dwelling close to Ludbrook Road and near other buildings present consolidates development within an already modified part of the landscape, and in an area where buildings are part of the present landscape character.

The dwelling is small in scale and recessively coloured, blending into the landscape setting. The proposed landscape integration plantings will screen the view of the development from sensitive parts of the surrounding landscape, particularly from the elevated viewing positions on Pouerua cone. This will mitigate any potential adverse effects upon landscape, visual and heritage character values to a less than minor level.

The development is sensitive to the ONF and OLF and is consistent with the relevant assessment criteria, objectives and policies found within the ODP and RPS.

Yours sincerely

Christine Hawthorn
BLA (Hons.)
Hawthorn Landscape Architects Ltd.

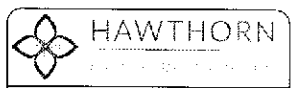
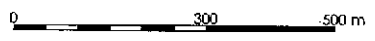


31/01/2024	
Location Map	
Ngawhitu Ltd 320 Ludbrook Road, Pakaraka	
Scale	Drawn By
1:4000 @ A3	Cad Design
Drawing #	Rev #
1.0	A
<small> 1. This drawing is the property of Hawthorn. It may only be used for the project for which it was prepared. It is not to be used for any other purpose without the written consent of Hawthorn. 2. This drawing is not to be used for any other purpose without the written consent of Hawthorn. 3. This drawing is not to be used for any other purpose without the written consent of Hawthorn. 4. This drawing is not to be used for any other purpose without the written consent of Hawthorn. 5. This drawing is not to be used for any other purpose without the written consent of Hawthorn. 6. This drawing is not to be used for any other purpose without the written consent of Hawthorn. 7. This drawing is not to be used for any other purpose without the written consent of Hawthorn. 8. This drawing is not to be used for any other purpose without the written consent of Hawthorn. 9. This drawing is not to be used for any other purpose without the written consent of Hawthorn. 10. This drawing is not to be used for any other purpose without the written consent of Hawthorn. </small>	



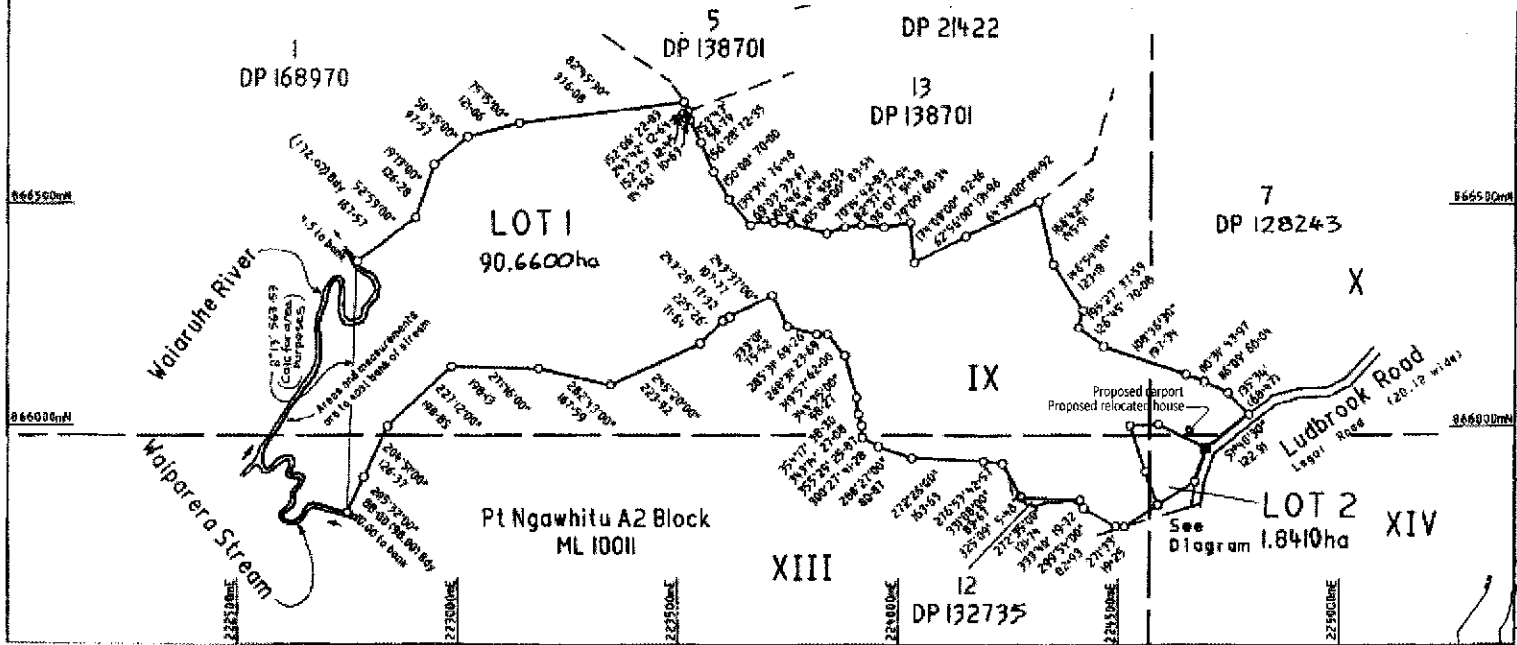
KEY

③ Viewpoints
1 - 8



31/01/2024	
Appendix I Photo Location Map	
Ngawhiti Ltd 320 Ludbrook Road, Pakaraka	
Scale	Drawn By
1:800 @ A3	Cod Design
Drawing #	Rev #
I 0	A

1. All drawings are to be used in accordance with the terms and conditions of the contract.
2. The client is responsible for the accuracy of the information provided.
3. The client is responsible for the accuracy of the information provided.
4. The client is responsible for the accuracy of the information provided.
5. All copyright remains with the client.



site location 1:10,000

Notes:

land use zone:

District Plan zone is Rural Production

wind zone:

building site wind zone is Extra High

exposure zone:

building site exposure zone is 'B'

ground:

see attached geotechnical report by

topography:

building platform contour is near flat

excavation for subfloor:

maximum depth: <1.2m

maximum volume: <3m³

plumbing & drainage:

all plumbing & drainage work is to fully comply with NZBC G13/AS1 & all local body regulations

wastewater:

see attached wastewater report by

stormwater:

stormwater is to be piped to water tank
 overflow is to be piped to dispersion trench
 water tank house outlet is to be fitted with a 20micron filter

building coverage:

area of site 94.9220m²

Proposed house footprint 59.4m²

total building coverage 59.4m²

0.006% of site has building coverage

12.5% building coverage is permitted

site coverage:

area of site 94.9220m²

Proposed house roof area 72.52m²

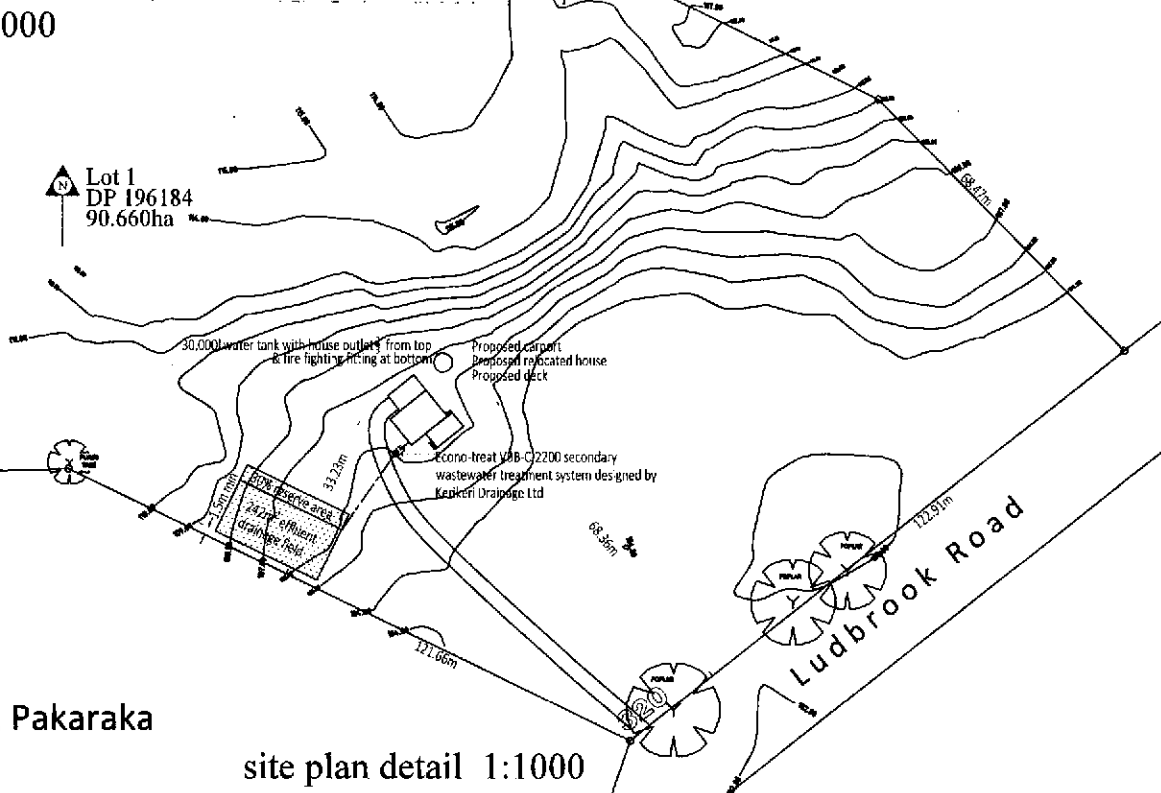
carport 25m²

driveway & paths 250m²

total impermeable surfaces 347.52m²

0.036% of site has impermeable surfaces

15% impermeable surfaces is permitted



site plan detail 1:1,000

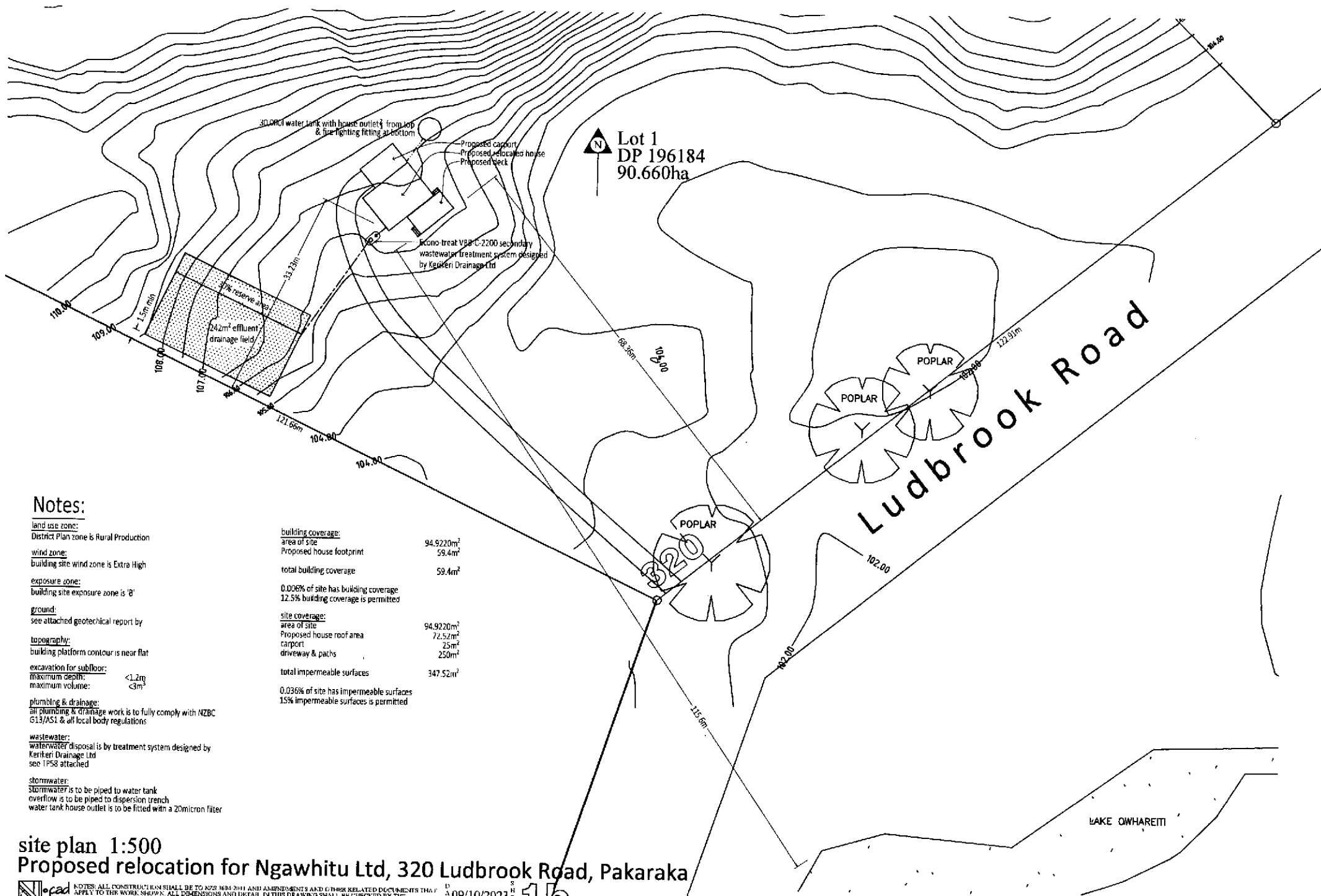
site location 1:10,000 & site plan detail 1:1,000
 Proposed relocation for Ngawhitu Ltd, 320 Ludbrook Road, Pakaraka



NOTES: ALL CONSTRUCTION SHALL BE TO NZS 3604:2011 AND AMENDMENTS AND OTHER RELATED DOCUMENTS THAT APPLY TO THE WORK. SHOW ALL DIMENSIONS AND DETAILS. THIS DRAWING SHALL BE CHECKED BY THE CONTRACTOR AND ANY DISCREPANCIES OR AMBIGUITIES SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF CADPLANZ. TEL: 06-407 9144 FAX: 09-407 9417 MOB: 0274 505 471. DO NOT SCALE DIMENSIONS. DO NOT GUESS. ASD

09/10/2023

1a



Lot 1
DP 196184
90.660ha

Notes:

land use zone:
District Plan zone is Rural Production
wind zone:
building site wind zone is Extra High

exposure zone:
building site exposure zone is 'B'

ground:
see attached geotechnical report by

topography:
building platform contour is near flat

excavation for subfloor:
maximum depth: <1.2m
maximum volume: <3m³

plumbing & drainage:
all plumbing & drainage work is to fully comply with NZBC G13/AS1 & all local body regulations

wastewater:
wastewater disposal is by treatment system designed by Kerikeri Drainage Ltd see 1P58 attached

stormwater:
Stormwater is to be piped to water tank
overflow is to be piped to dispersion trench
water tank house outlet is to be fitted with a 20micron filter

building coverage:	
area of site	94.9220m²
Proposed house footprint	59.4m²
total building coverage	59.4m²
0.006% of site has building coverage	
12.5% building coverage is permitted	
site coverage:	
area of site	94.9220m²
Proposed house roof area	72.52m²
carport	25m²
driveway & paths	250m²
total impermeable surfaces	347.52m²
0.036% of site has impermeable surfaces	
15% impermeable surfaces is permitted	

site plan 1:500
Proposed relocation for Ngawhitu Ltd, 320 Ludbrook Road, Pakaraka

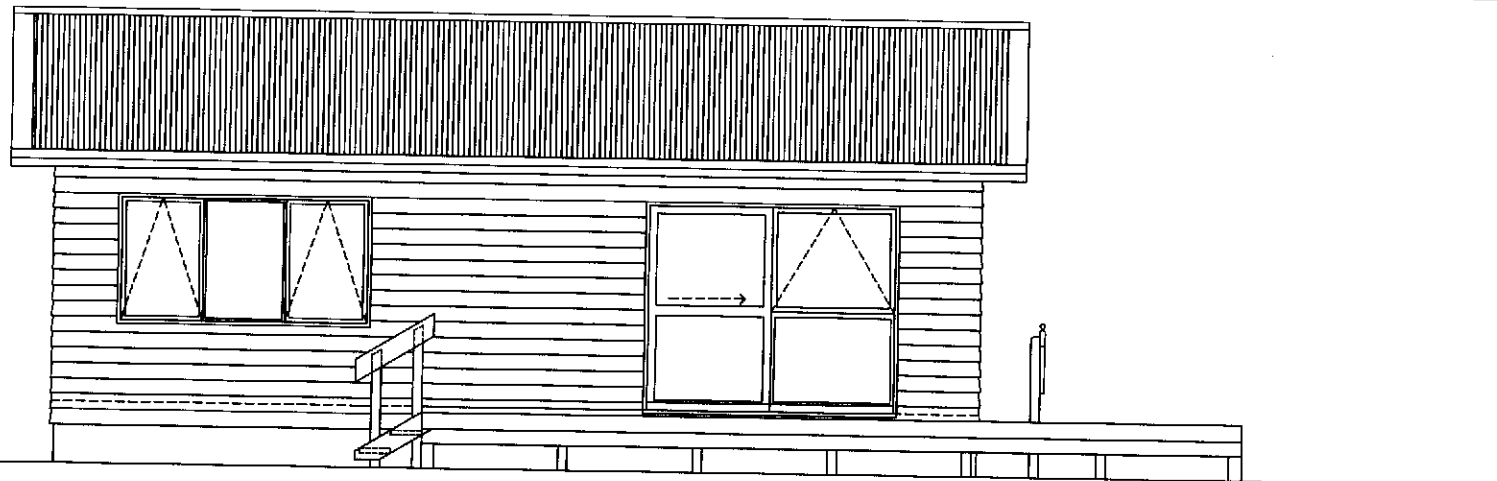
existing house roof & flashings

new 0.55g Colorsteel barge flashings
ex 25mm H3.2 fascia
2 190x45 SGB H3.2 verandah beams

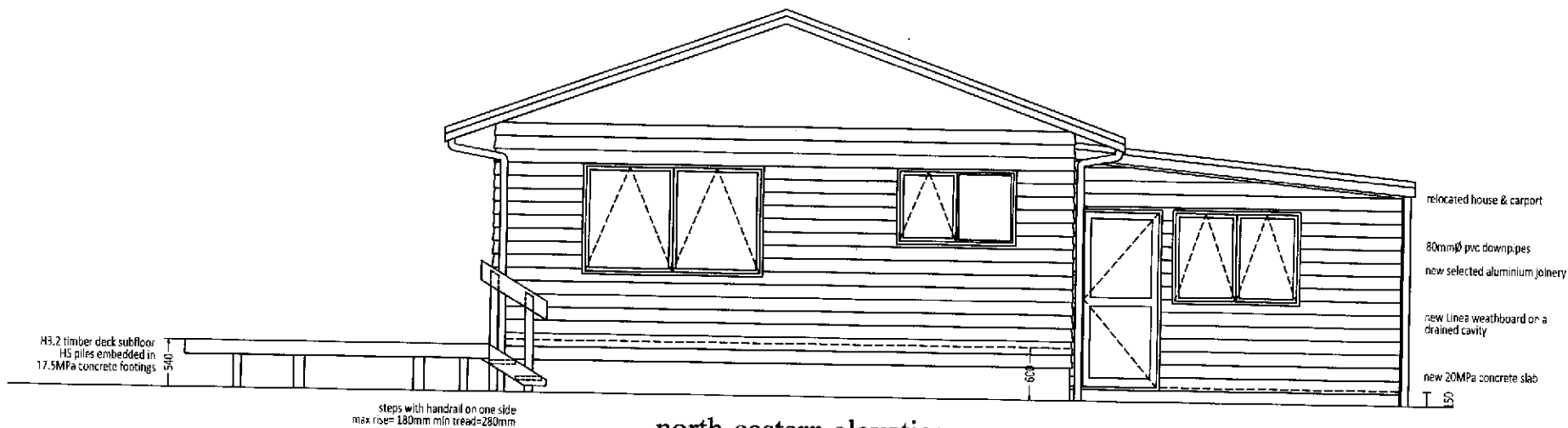
125mm² Hs verandah posts
relocated house

steps with handrail on one side
max rise= 180mm min tread=280mm

H3.2 timber deck subfloor
H5 piles embedded in
17.5MPa concrete footings



south-eastern elevation



H3.2 timber deck subfloor
H5 piles embedded in
17.5MPa concrete footings

steps with handrail on one side
max rise= 180mm min tread=280mm

relocated house & carport
80mm \varnothing pvc downpipes
new selected aluminium joinery
new Linea weathboard on a
drained cavity
new 20MPa concrete slab
T 150

north-eastern elevation

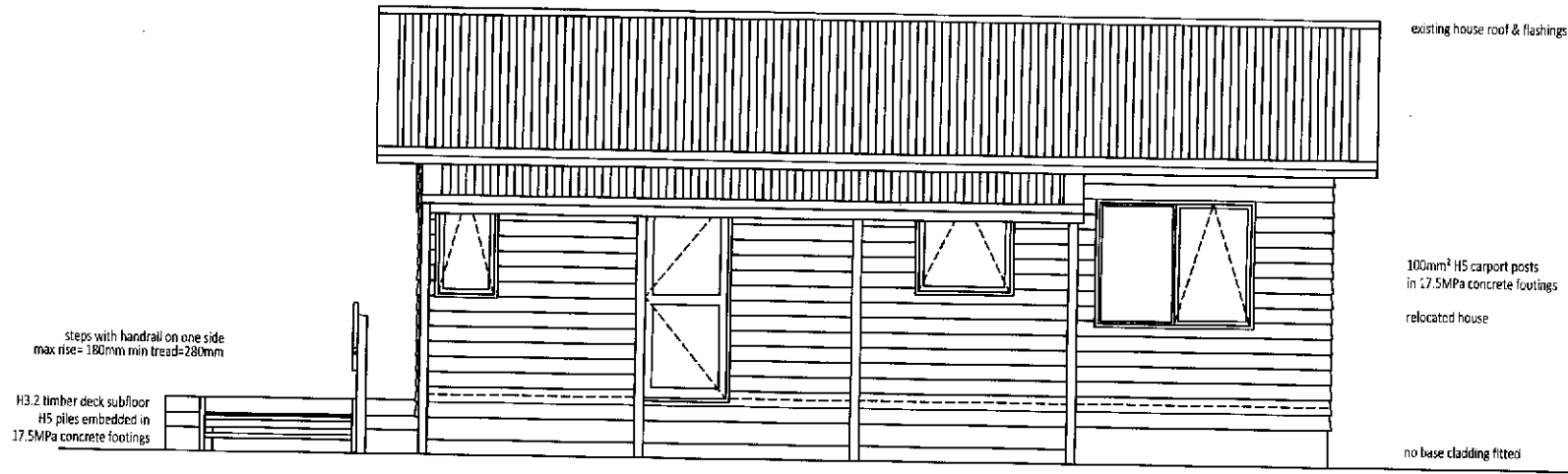
Proposed elevations #1 1:50
Proposed relocation for Ngawhitu Ltd, 320 Ludbrook Road, Pakaraka



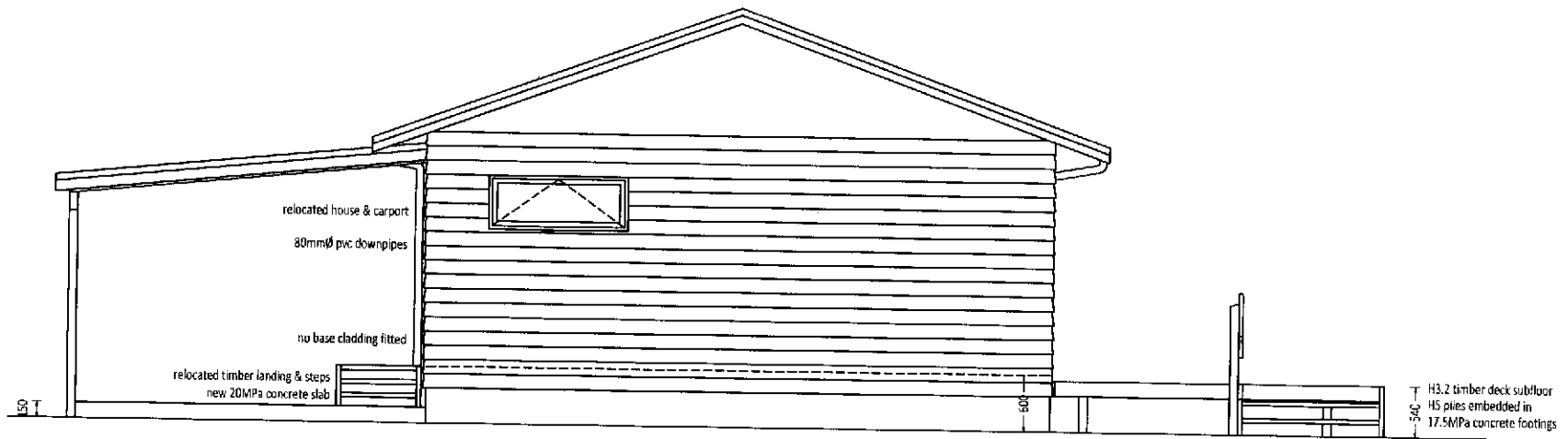
NOTES: ALL CONSTRUCTION SHALL BE TO NZS 3604:2011 AND AMENDMENTS AND OTHER RELATED DOCUMENTS THAT APPLY TO THE WORK SHOWN. ALL DIMENSIONS AND DETAIL IN THIS DRAWING SHALL BE CHECKED BY THE CONTRACTOR AND ANY DISCREPANCIES OR AMBIGUITIES SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF CADPLANZ. TEL: 09-497 9816 FAX: 09-497 9817 MOB: 0274 505 471. DO NOT SCALE DIMENSIONS! DO NOT GUESS...ASK!

4 09/10/2023

2a



north-western elevation



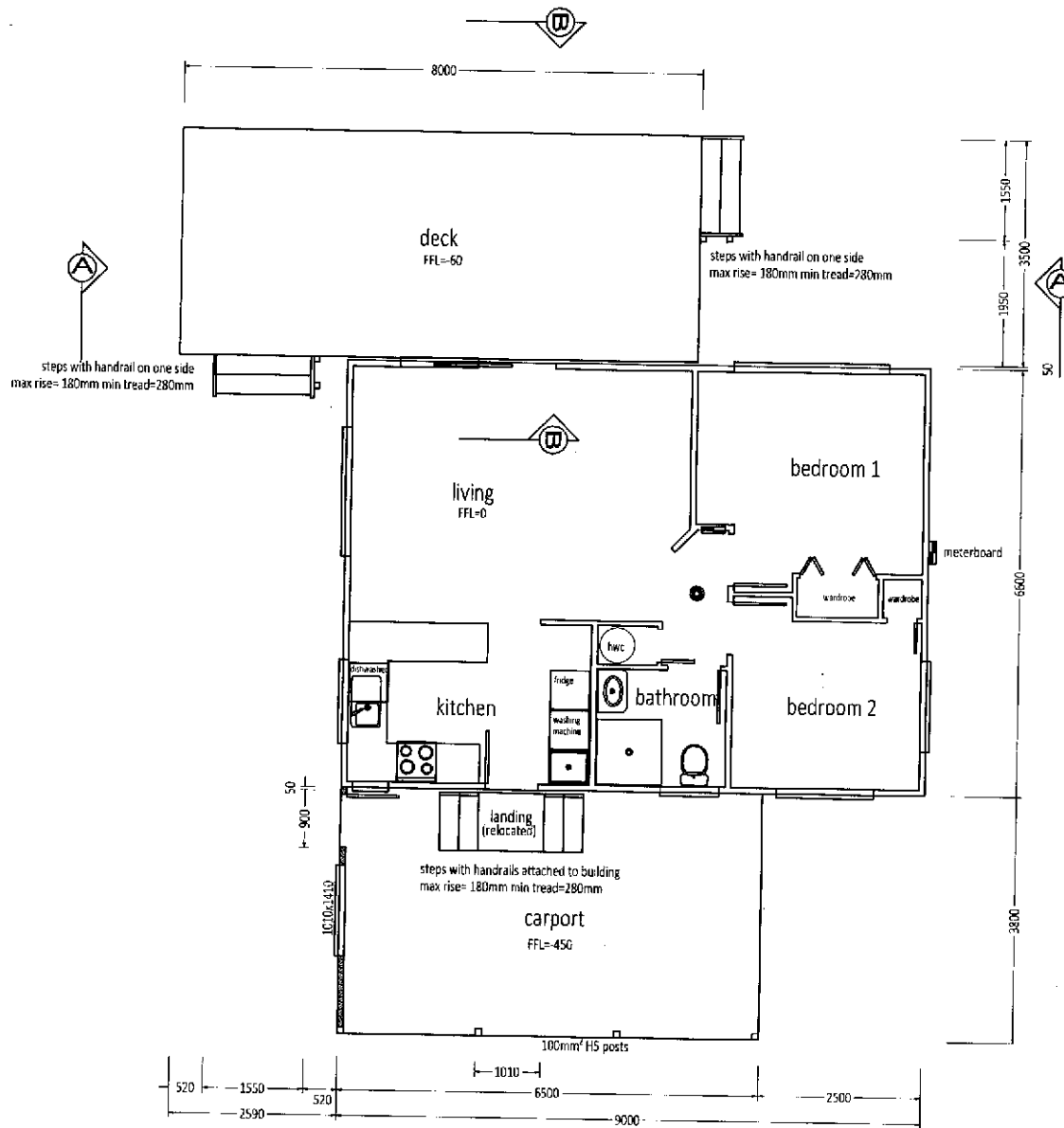
south-western elevation

Proposed elevations #2 1:50
 Proposed relocation for Ngawhitu Ltd, 320 Ludbrook Road, Pakaraka



NOTES: ALL CONSTRUCTION SHALL BE TO NZS 3604:2011 AND AMENDMENTS AND OTHER RELATED DOCUMENTS THAT APPLY TO THE WORK SHOWN. ALL DIMENSIONS AND DETAILS IN THIS DRAWING SHALL BE CHECKED BY THE CONTRACTOR AND ANY DISCREPANCIES OR AMBIGUITIES SHALL BE BROUGHT TO THE INDIVIDUALS AT THE TICK OF CADPLANZ. TEL: 09-497 9816 FAX: 09-497 9817 MOB: 0274 505 471. DO NOT SCALE DIMENSIONS! DO NOT GUSS...ASK!

DATE: 09/10/2023
 SHEET: 2b



Notes:

areas:
 House GFA= 59.4m²
 carport= 24.7m²
 new deck= 23.1m²

• denotes smoke alarm

splashbacks:
 all vanities, benches and laundry tubs have splashbacks fitted

wet areas:
 kitchen, laundry & bathroom floors are vinyl
 shower walls are Hardieglaze

safety glass:
 bathroom windows are to be glazed with laminated safety glass

insulation:
 install R1.4 EPS under floor insulation
 walls are insulated with R2.2 batts
 ceiling is insulated with R3.6 batts

ventilation:
 kitchen & bathroom have mechanical ventilation venting to exterior

exterior joinery:
 all exterior joinery is single glazed
 jambs are 113.1 treated

■ denotes distribution board

NZBC:
 all work is to comply with relevant clauses of the building code

Proposed floor plan 1:75
Proposed relocation for Ngawhitu Ltd, 320 Ludbrook Road, Pakaraka



NOTES: ALL CONSTRUCTION SHALL BE TO NZS 3604:2011 AND AMENDMENTS AND OTHER RELATED DOCUMENTS THAT APPLY TO THE WORK SHOWN. ALL DIMENSIONS AND DETAIL IN THIS DRAWING SHALL BE CHECKED BY THE CONTRACTOR AND ANY DISCREPANCIES OR AMBIGUITIES SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF CADPLANZ. TEL: 09-487 9516. FAX: 09-487 9517. MOB: 0274 395 071. 120 NOT SCALE DIMENSIONS! DO NOT CROSS - ASK!

09/10/2023

3



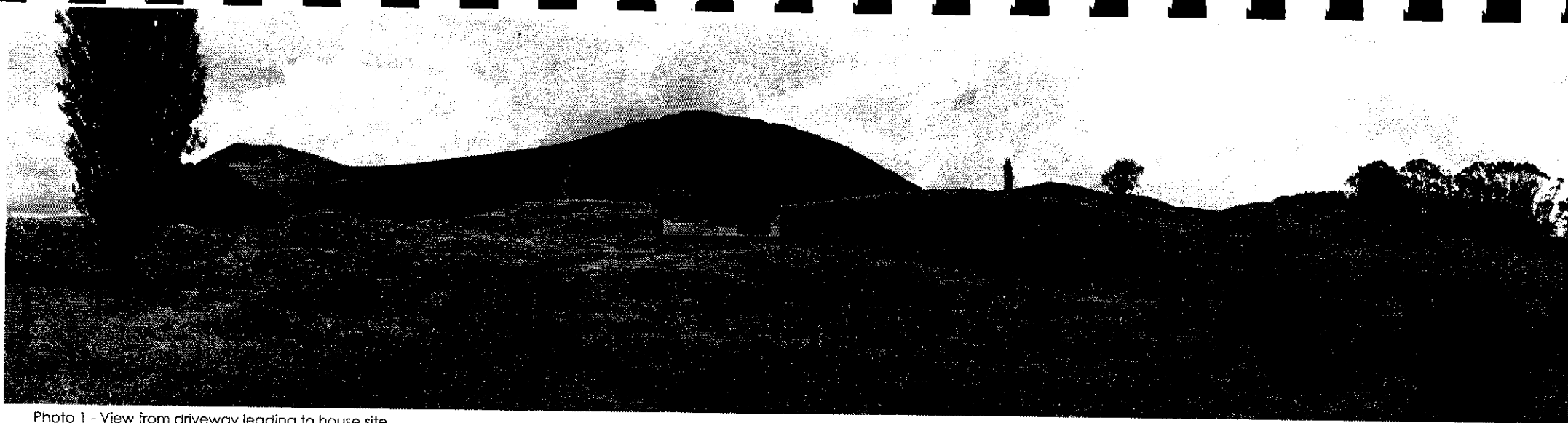


Photo 1 - View from driveway leading to house site



Photo 2 - View from the northwestern side of the house site



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On Site Photographs
Ngawhitu Ltd
Proposed Dwelling
Ludbrook Road - Pakaraka



Photo 3 - View from the northern side of the building site



Photo 4 - View from the northeastern side of the building site



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On Site Photographs
Ngawhitu Ltd
Proposed Dwelling
Ludbrook Road - Pakaraka



Viewpoint 1 – First position along Ludbrook Road that allows views of the proposed dwelling. Other dwellings and farm buildings are visible beyond Lake Owhareiti.



Proposed dwelling

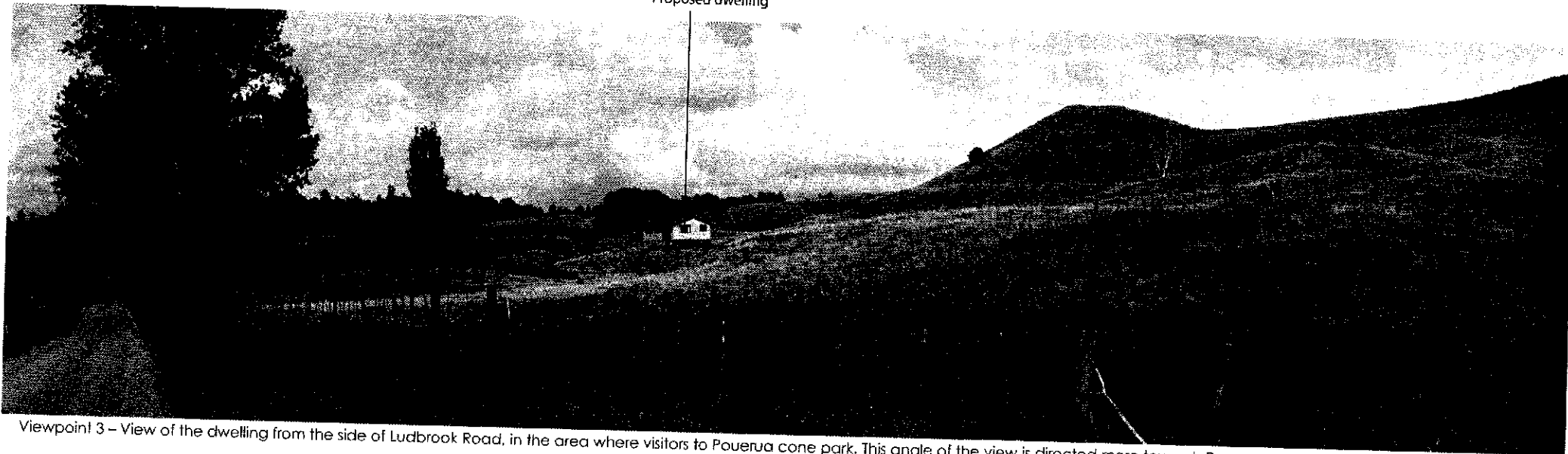
Viewpoint 2 – View of the dwelling from the side of Ludbrook Road, in the area where visitors to Pouerua cone park. Four other buildings are visible in this view from this location.



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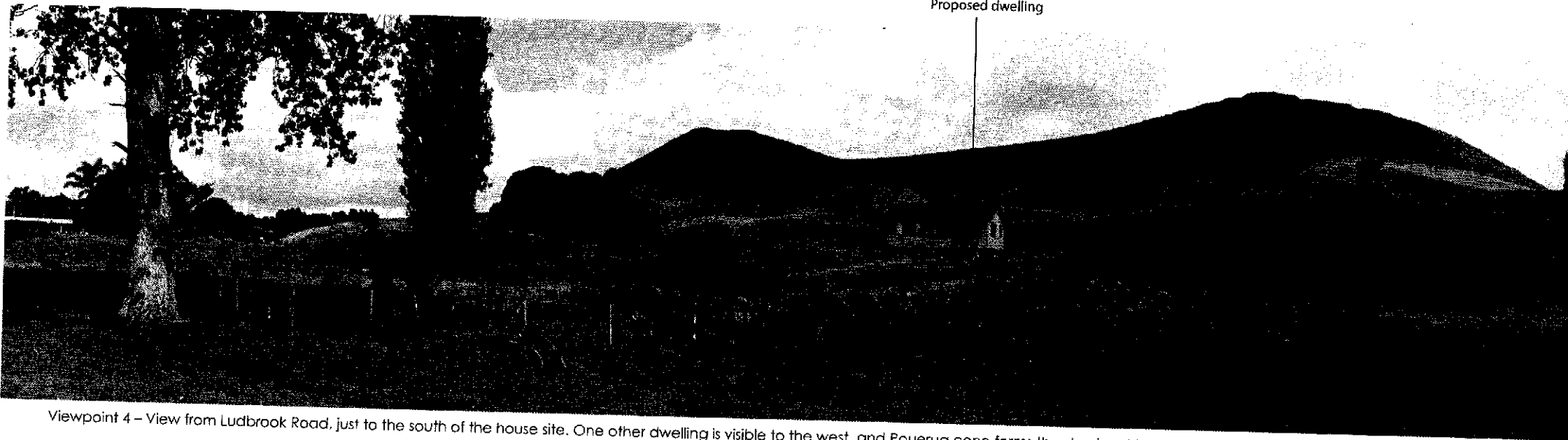
Off Site Viewpoints
Ngawhitu Ltd
Proposed Dwelling
Ludbrook Road - Pakaraka

Proposed dwelling



Viewpoint 3 – View of the dwelling from the side of Ludbrook Road, in the area where visitors to Pouerua cone park. This angle of the view is directed more towards Pouerua cone.

Proposed dwelling



Viewpoint 4 – View from Ludbrook Road, just to the south of the house site. One other dwelling is visible to the west, and Pouerua cone forms the dominant land backdrop to this view.



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Off Site Viewpoints
Ngawhilo Ltd
Proposed Dwelling
Ludbrook Road - Pakaraka



Viewpoint 5 – View from Pouerua cone to the north of the site. Lake Owhareiti and other dwelling sites are visible in the backdrop.

Proposed dwelling



Viewpoint 6 – View from further up Pouerua cone to the north of the site. Lake Owhareiti and other dwelling sites are visible in the backdrop.



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Off Site Viewpoints
Ngawhitu Ltd
Proposed Dwelling
Ludbrook Road - Pakaraka

Lakeland Lane area

Proposed dwelling



Viewpoint 7 – View from close to the top of Puerua cone to the north of the site. Lake Owhareiti and other dwelling sites are visible in the backdrop. The Lakeland Lane area is visible to the south.

Proposed dwelling



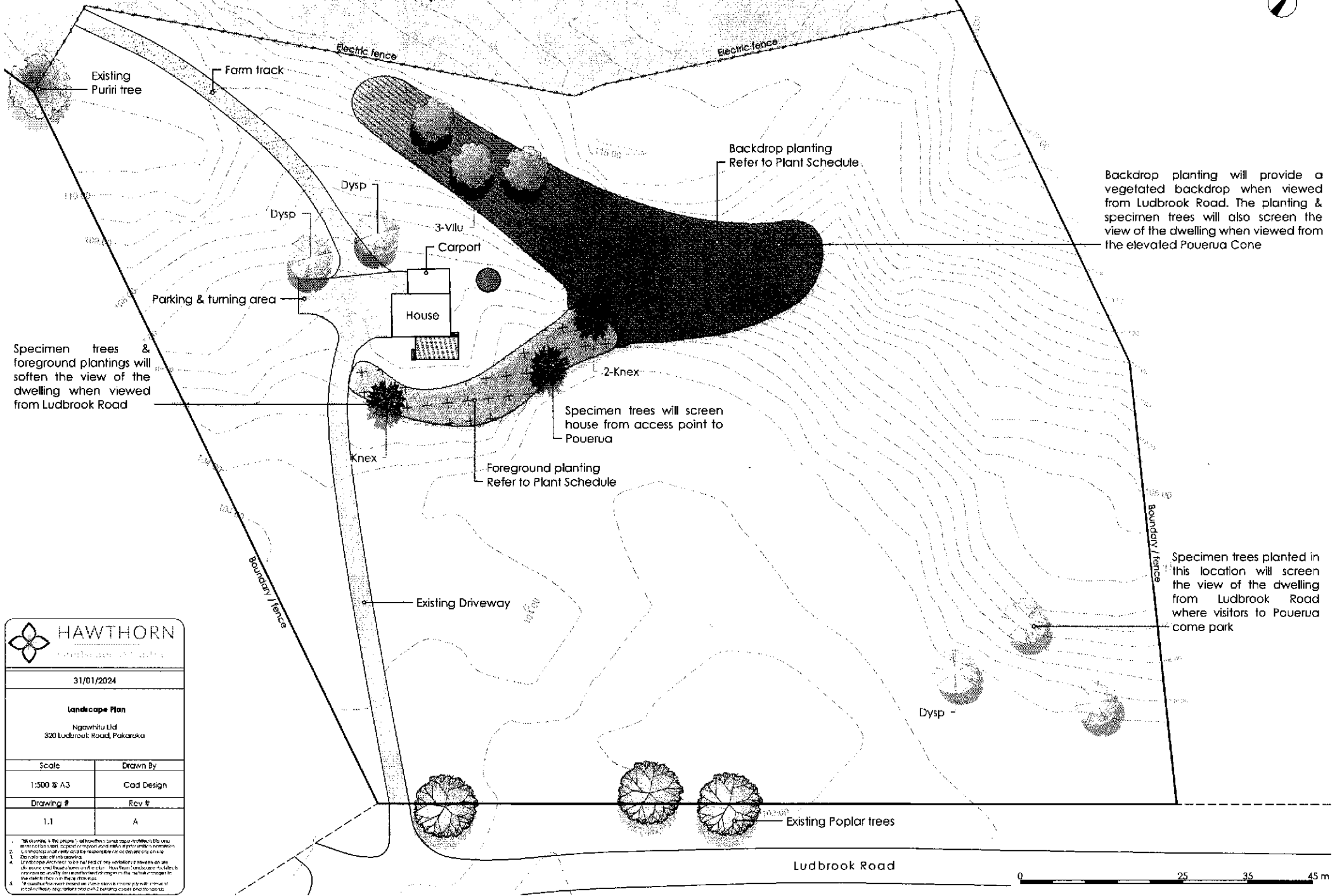
Viewpoint 8 – View from Lakeland Lane area, looking towards the site.



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Off Site Viewpoints
Ngawhitu Ltd
Proposed Dwelling
Lucbrook Road - Pakaraka



Specimen trees & foreground plantings will soften the view of the dwelling when viewed from Ludbrook Road

Specimen trees will screen house from access point to Pauerua

Backdrop planting will provide a vegetated backdrop when viewed from Ludbrook Road. The planting & specimen trees will also screen the view of the dwelling when viewed from the elevated Pauerua Cone

Specimen trees planted in this location will screen the view of the dwelling from Ludbrook Road where visitors to Pauerua come park

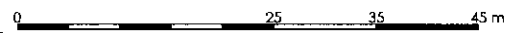
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LANDSCAPE ARCHITECTS

31/01/2024

Landscape Plan
Ngawhita Ltd
320 Ludbrook Road, Pakaraka

Scale	Drawn By
1:500 @ A3	Cad Design
Drawing #	Rev #
1.1	A

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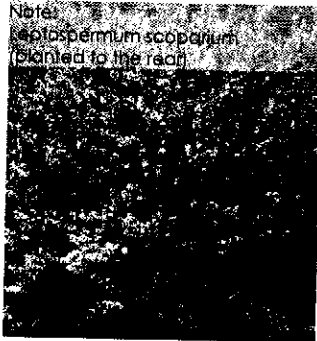




Lofa
Lomandra longifolia 'Tanika'



Phco
Phormium cookianum



Lesc
Leptospermum scoparium



Mesp
Metrosideros 'Springfire'



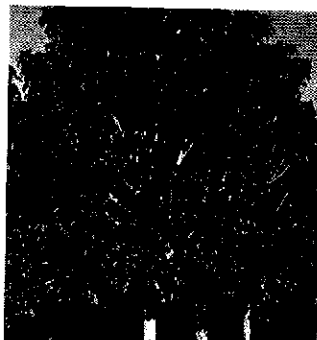
Myau
Myrsine australis



Picr
Pittosporum crassifolium



Psle
Pseudopanax lessonii



Vilu
Vitex lucens



Knex
Knightia excelsa



Dysp
Dysoxylum spectabile

Plant Schedule Foreground Planting

Code	Botanical Name	Common Name	Schedule Size	Spacing (m)
Lofa	Lomandra longifolia 'Tanika'	Lomandra Grass	PB5	2
Phco	Phormium cookianum	Mountain Flax	PB5	2

Plant Schedule Backdrop Planting

Code	Botanical Name	Common Name	Schedule Size	Spacing (m)
Lesc	Leptospermum scoparium	Manuka	PB5	1.5
Mesp	Metrosideros 'Springfire'	Pohutukawa var.	PB12	5
Myau	Myrsine australis	Mapou	PB5	1.2
Picr	Pittosporum crassifolium	Karo	PB5	3
Psle	Pseudopanax lessonii	Five finger	PB5	3

Plant Schedule Specimen Trees

Code	Botanical Name	Common Name	Schedule Size
Dysp	Dysoxylum spectabile	Kōhekohe	PB18
Knex	Knightia excelsa	Rewarewa	PB18
Vilu	Vitex lucens	Puriri Tree	PB18

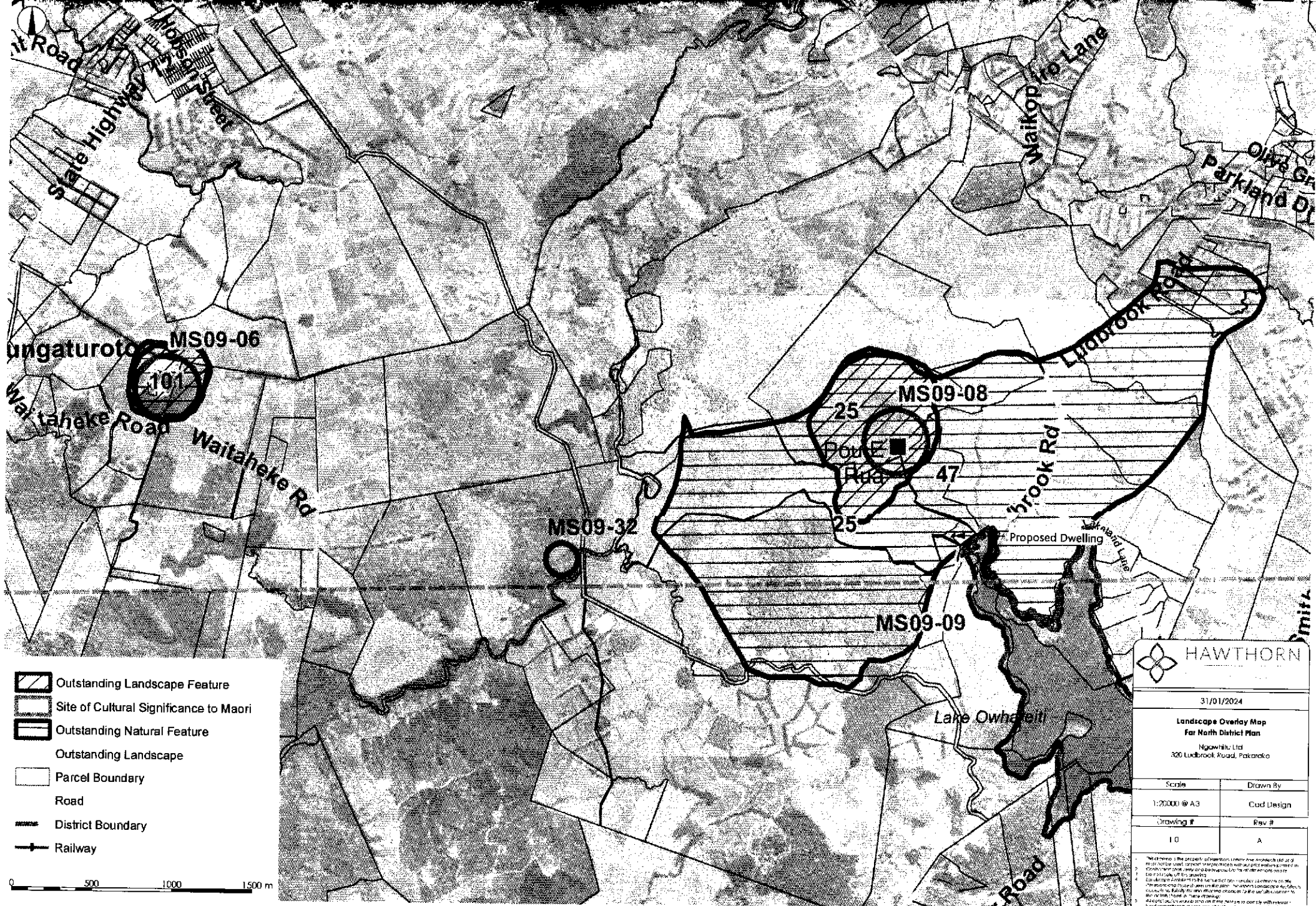
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




31/01/2024

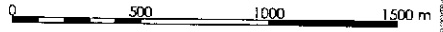
Plant Palette
Ngawhiti Ltd
320 Ludbroke Road, Paikaraka


Scale	Drawn By
No Scale	Cad Design
Drawing #	Rev #
2/0	A

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-  Outstanding Landscape Feature
-  Site of Cultural Significance to Maori
-  Outstanding Natural Feature
-  Outstanding Landscape
-  Parcel Boundary
-  Road
-  District Boundary
-  Railway




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31/01/2024

**Landscape Overlay Map
For North District Plan**

Ngawhiti Ltd
320 Ludbrook Road, Pakaraka

Scale	Drawn By
1:20000 @ A3	Cof Design
Drawing #	Rev #
10	A

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Don Prince - Time Depth Enterprises
PO Box 91 Tryphena, Great Barrier Island
Mble 027 280 8614
e-mail: donaldp67@gmail.com

TIME DEPTH ENTERPRISES

Heritage Consultants

RE-LOCATED DWELLING, 320 LUDBROOK ROAD, PAKARAKA: SITE MANAGEMENT

BACKGROUND

This site management document relates to the archaeologist's role in the proposed establishment of a re-located dwelling with associated structures and ground disturbance at 320 Ludbrook Rd, Pakaraka (Figure 1). The required ground disturbance has been kept to a minimum with driveway and carport concrete slab to be laid on imported material requiring no ground disturbance. However, ground disturbance including post holes for the dwelling, deck and access stairs, plantings to stabilise an eroding scarp and installation of a septic system is required.

The property is located within the culturally and archaeologically significant Pouerua Heritage Precinct with a number of archaeological sites/features identified within the development's vicinity including agricultural features and occupation terracing (Figure 2). Although no recorded archaeological sites will be directly affected it is not possible to give an absolute assurance that the proposed earthworks will not encounter undetected subsurface archaeological features.

Therefore, a General Authority is being sought from Heritage NZ Pouhere Taonga (HNZPT) in order to carry out earthworks associated with the currently proposed projects.

This site management relates to the archaeologist's role related to the works and outlines the procedures to be followed during archaeological investigation, analysis, recording, monitoring of earthworks and the discovery of archaeological evidence including koiwi tangata (human remains) or taonga (artefacts of Maori origin).

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The instructions also provide operational guidelines and procedures for day-to-day activities that may affect archaeology during earthworks associated with the development.

Management Procedures

Pre-Works Phase

- Prior to the commencement of works, the project archaeologist will meet representatives of the affected iwi, contractors and/or project manager on site to brief them on archaeological requirements and establish through discussion a workable process for the project.
- Archaeological sites P05/385 & P05/1106 to be clearly define and taped off with a suitable buffer as defined by the project archaeologist.
- Contractors must give 7 days' notice of the commencement of works

Works Phase

- All post and planting holes to be hand excavated to archaeological sterile subsoil by the project archaeologist in order to determine whether unidentified subsurface archaeology exists.
- The following archaeological investigation techniques to be employed in advent of accidental discovery of archaeology:
 - If currently undetected archaeology is encountered alternative locations should be investigated to avoid damage.
 - If it is not possible avoid then all archaeological features encountered to be investigated including hand excavation of part or all of any revealed subsurface features, sampling for off-site analysis and recording of the remains (scale plan mapping, section drawings and photographs).
 - All excavated artefacts will be mapped, catalogued and analysed by an appropriate expert.
 - When archaeological features are revealed by earthworks all work in the vicinity must cease until the approved archaeologist has declared the site clear.
- The strategy will take account of the conditions contained in the HNZPT authority these relate to standard archaeological investigation practices and should provide information regarding
 - a. the environmental context of the site
 - b. economic and other activities carried out by the site's inhabitants

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- c. the nature of site occupation (e.g. short term, seasonal, permanent)
- d. age of the site
- e. internal layout of the site including the activities in differing areas of the site
- f. relationships with other sites in the wider area

HNZPT would require a detailed final report within 12 months of the investigation.

Archaeological Investigation Strategy

1: Archaeological Evidence

The development site lies within a dense archaeological landscape surrounding the Pouerua volcanic cone with numerous significant garden and occupation sites on its volcanic soils.

An archaeological assessment of effects (Prince 2023) found no known archaeological sites are affected by the current proposal but, given its proximity to numerous recorded archaeological sites and features a cautious approach to development is warranted.

2: Pre-Earthworks Phase

Prior to the commencement of bulk works, the project archaeologist will supervise the temporary fencing of sites P05/385 & P05/1106 extents with a 10m buffer and discuss with contractors a program to excavate all post holes and planting locations to archaeologically sterile subsoil. Any trenching required to be monitored by the project archaeologist.

The site's contractors and/or project manager to be brief on the archaeological requirements and establish through discussion a workable process.

The project archaeologist will ensure that the contractor and/or project manager have a copy of the HNZ Authority and archaeological site management available on site and will provide confirmation to the HNZ that they have been received and understood, either by providing copies of both documents signed by contractor and/or project manager, copied to HNZ.

The contractor must give the project archaeologist at least 2 weeks-notice of the commencement of earthworks.

3: Impact of Proposed Works

- i. Ground disturbance associated with the proposed development may encounter undetected subsurface archaeological features.

4: Aim of Investigation

- i. The aim is to determine whether archaeological evidence exists in areas of ground disturbance.
- ii. Determine the nature and extent of any archaeological evidence encountered.

5: Procedures for Investigation

- i. The investigation will include hand excavation of all locations of ground disturbance to archaeologically sterile subsoil and monitoring of any required trenching.
- ii. If archaeological features are revealed stripping will cease and less invasive hand methods employed in order to determine their extent.
- iii. Any archaeological features identified will be recorded and the locations mapped.
- iv. Preparation of a report that describes the findings which will be sent to HNZPT and affected iwi.

6: Role, responsibility and authority of archaeologist

- i. The archaeologist will brief the contractors before works in the site area commence.
- ii. The archaeologist shall work with the contractors to determine the best way to observe the process of the investigation.
- iii. The archaeologist shall be able to instruct the contractors to work in a manner best able to view the exposed ground, subject to safety and practical considerations.

7: Construction Management Procedures

- i. If the investigation fails to identify any archaeological features/evidence, then the contractor and/or project manager will be briefed by the project archaeologist regarding their responsibilities and any known archaeological constraints.

8: Post Investigation Phase

- i. The project archaeologist will provide a report to HNZ and affected iwi within 12 months of the completion of the investigation.

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**Protocols to be
Followed in the
Event that
Human Bone
(Koiwi) is
Exposed**

- If bone material is identified on the excavation site that could be human, the following protocol will be adopted:
- Earthworks/investigation should cease in the immediate vicinity while an archaeologist establishes whether the bone is human.
- If it is not clear whether the bone is human, work shall cease in the immediate vicinity until the University's reference collection and/or a specialist can be consulted, and a definite identification made.
- If bone is confirmed as human (koiwi tangata), the archaeologist will immediately contact iwi representatives, Heritage NZ and NZ Police.
- The site will be secured in a way that protects the koiwi as far as possible from further damage.
- Consultation will be undertaken with all iwi representatives as outlined in the authority, the Heritage NZ Regional Archaeologist and the authority holder to determine and advise the appropriate course of action. No further action will be taken until responses have been received from all parties, and the koiwi will not be removed until advised by Heritage NZ.
- The iwi representatives will advise on appropriate tikanga and be given the opportunity to conduct any cultural ceremonies that are appropriate.
- If the iwi representatives are in agreement and so request, the bones may be further analysed by a skilled bio-anthropological specialist prior to reburial, in line with the *Heritage NZ Guidelines Koiwi Tangata Human Remains* (2010).
- Activity on site can recommence as soon the bones have been reinterred or removed and authorisation has been obtained from Heritage NZ.

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Protocols
relating to
taonga

There is a potential for archaeological remains of Maori origin to be exposed during earthworks such as carvings, stone adzes and greenstone objects, these are considered to be taonga. These are taonga tuturu within the meaning of the Protected Objects Act 1975. Taonga may be discovered in isolated contexts but are generally found within archaeological sites. If taonga are discovered on site, the following protocols will be adopted if encountered during works not covered by the HNZPT Authority:

- The area containing the taonga will be secured in a way that protects the taonga as far as possible from further damage, consistent with conditions of the Authority.
- The archaeologist will then inform the HNZPT and the nominated tangata whenua representative so that the appropriate actions (from cultural and archaeological perspectives) can be determined.
- These actions will be carried out within the stand down period specified below, and work may resume at the end of this period or when advised by the Heritage NZ or archaeologist.
- The archaeologist will notify the Ministry for Culture and Heritage of the find within 28 days as required under the Protected Objects Act 1975. This can be done through the Auckland War Memorial Museum.
- The Ministry for Culture and Heritage, in consultation with the tangata whenua, will decide on custodianship of the artefact. If the artefact requires conservation treatment (stabilisation), this can be carried out by the Department of Anthropology, University of Auckland (09-373-7999) and would be paid for by the Ministry. It would then be returned to the custodian or museum.

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Stand Down
Protocols

Depending on what is revealed by the earthworks, stand down periods may be required at various stages to allow for excavation and recording of archaeological features, or dealing with human bone (koiwi) or artefacts and archaeological remains of Maori cultural heritage significance.

Stand down will require earthworks to cease only in the immediate vicinity of the feature or find, and work may proceed in other areas of the development site. The following maximum stand down periods will apply, but earthworks may be resumed earlier if the required work has been completed.

Trigger	Stand Down Period	Requirements	Release
Archaeological feature, deposit or artefacts	Up to 2 days but work may continue in areas where no remains are identified	Sufficient time must be allowed for the archaeologist to investigate and record the remains	Work resumes when the archaeologist advises the site foreman that work is completed
Significant archaeological feature, deposit or artefacts	Up to 3 days for a response from Heritage NZ	The likely requirement is a mitigation investigation and/or recording by standard archaeological techniques, but this will be advised by Heritage NZ	Work resumes when the archaeologist advises the site foreman that work is completed
Human bone found	As agreed between the project manager, Heritage NZ and iwi	HNZPT and NZ Police to be satisfied that koiwi identification is correct. Iwi representative(s) to organise reinterment or removal of bones from site and appropriate cultural ceremonies	Work resumes following reinterment or removal of bones from site and when authorisation from Heritage NZ has been received
Taonga or archaeological remains of Maori origin found	Up to 3 working days	Heritage NZ and iwi representative(s) to be consulted on appropriate action. Archaeological recording as required	Work resumes when the archaeologist or Heritage NZ advises the site foreman that work is completed

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Authority
Holder's
Responsibilities

The owners or their designated representative has the following responsibilities:

1. To advise the HNZPT of the start and finish dates of any required archaeological work (usually a requirement of the Authority).
2. To ensure that the archaeological investigations required under the HNZPT Authority are carried out and logistic support such as an excavator to assist the investigation
3. To ensure that an archaeologist monitors the preliminary earthworks, by giving 72 hours notice of these activities to the project archaeologists.
4. To provide sufficient site security to ensure that archaeological material on site is protected from unlawful excavation or removal
5. To ensure that a copy of the archaeological authority is kept on site and its contents are made known to all contractors and subcontractors.
6. To ensure that the conditions, protocols and stand down periods outlined in the authority and the strategy document are observed by contractors and subcontractors.
7. To provide a safe environment for the archaeologists to carry out their work.

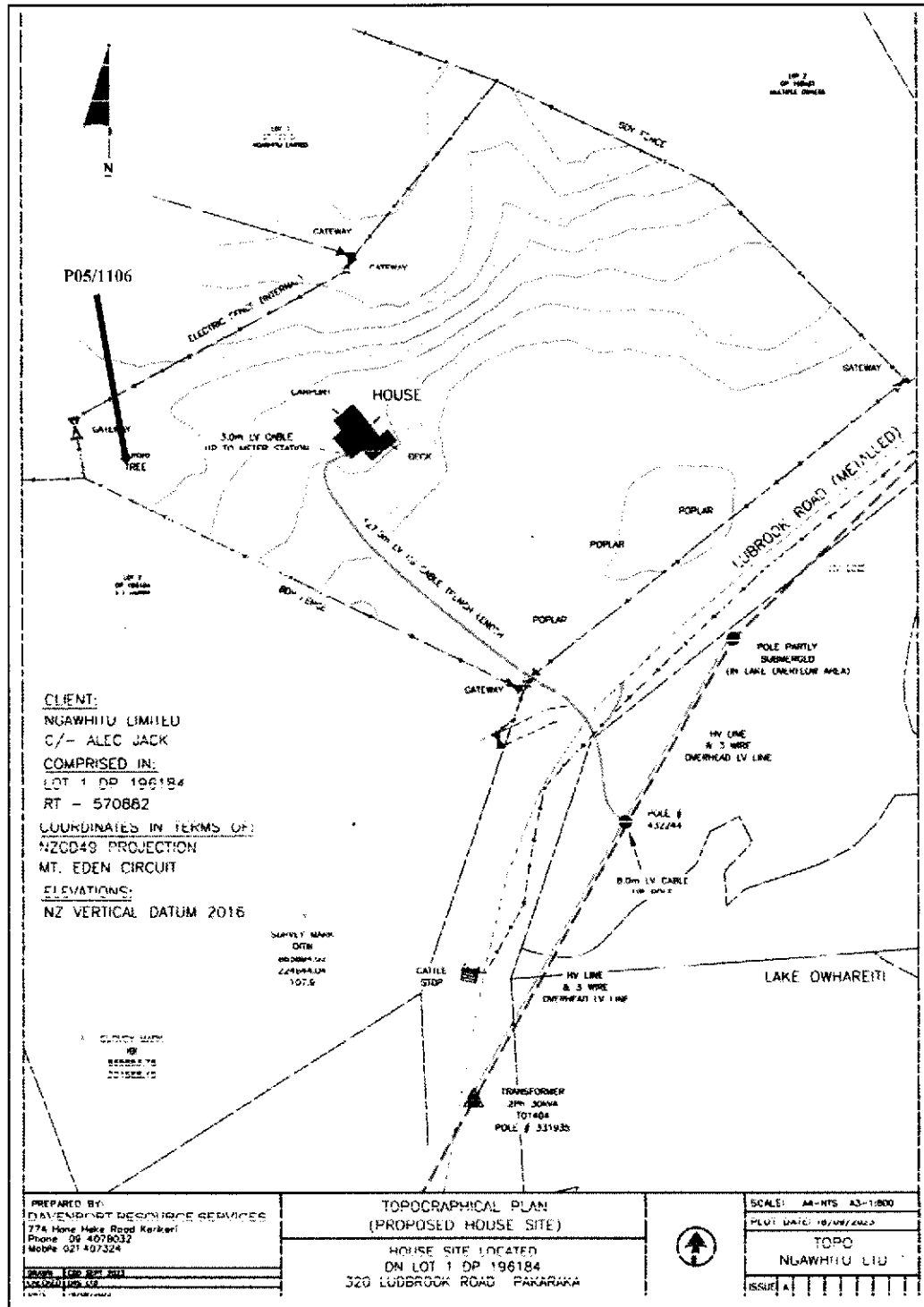


Figure 1: Location and layout plan of the development (Davenport Resource Services 2023).

June 22, 2024

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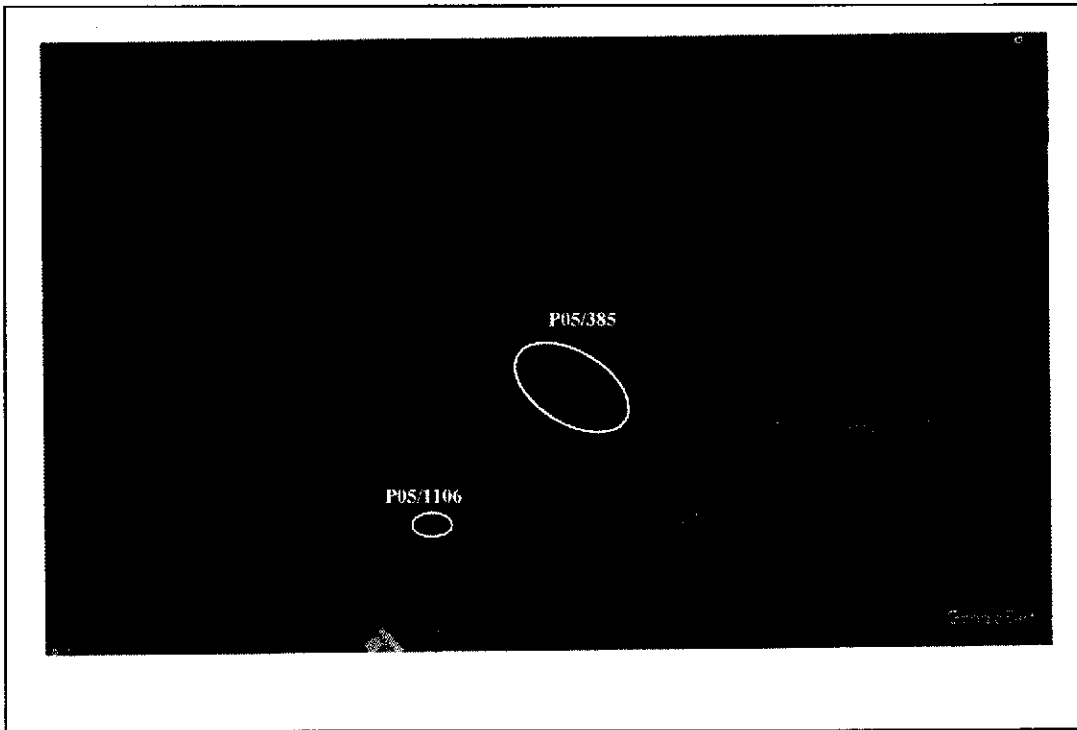


Figure 2: Aerial photo with Leatherby & Morgans map of garden features overlaid.



Figure 3: Aerial with dwelling location(red) and nearest recorded archaeological sites (Furey 2006:39).



NOTICE OF WRITTEN APPROVAL

Written Approval of Affected Parties in accordance with Section 95E of the Resource Management Act

PART A – To be completed by Applicant

Applicant/s Name:	Ngawhitu Ltd (Alec Jack)
Address of proposed activity:	320 Ludbrook Road, Pakaraka, 0472
Legal description:	Lot 1 DP196184 90.66ha
Description of the proposal (including why you need resource consent):	Relocate a 59.4m ² granny flat onto our property to provide accommodation for farm staff. The proposed house site is within an Outstanding Natural Feature and the Pouerua Heritage Precinct.
Details of the application are given in the attached documents & plans (list what documents & plans have been provided to the party being asked to provide written approval):	<ol style="list-style-type: none">1. Issue of Building Consent letter from FNDC2. Resource Consent required notification3. House plans (by Paul Hayman)4. Archaeology report (by Don Prince)5. Landscape & Visual Impact Assessment6. Site management plan

Notes to Applicant:

1. Written approval must be obtained from all registered owners and occupiers.
2. The **original copy** of this signed form and **signed plans and accompanying documents** must be supplied to the Far North District Council.
3. The amount and type of information provided to the party from whom you seek written approval should be sufficient to give them a full understanding of your proposal, its effects and why resource consent is needed.

PART B – To be completed by Parties giving approval

- Notes to the party giving written approval:**
1. If the owner and the occupier of your property are different people then separate written approvals are required from each.
 2. You should only sign in the place provided on this form and accompanying plans and documents if you **fully understand** the proposal and if you **support** or have **no opposition** to the proposal. Council will not accept conditional approvals. If you have conditions on your approval, these should be discussed and resolved with the applicant directly.
 3. Please note that when you give your written approval to an application, council cannot take into consideration any actual or potential effects of the proposed activity on you unless you formally withdraw your written approval **before** a decision has been made as to whether the application is to be notified or not. After that time you can no longer withdraw your written approval.
 4. Please sign and date all associated plans and documentation as referenced overleaf and return with this form.
 5. If you have any concerns about giving your written approval or need help understanding this process, please feel free to contact the duty planner on 0800 920 029 or (09) 401 5200.

SS

Full name/s of party giving approval: AITOKERANGA MAORI Trust Board

Address of affected property including legal description: Pouerua - PAKARAKA.

Contact Phone Number/s and email address: Daytime: 02108109464 Email: Rihari.Takuira@gmail.com

I am/we are the OWNER(S) / OCCUPIER(S) of the property (circle which is applicable)

Please note: in most instances the approval of all the legal owners and the occupiers of the affected property will be necessary.

1. I/We have been provided with the details concerning the application submitted to Council and understand the proposal and aspects of non-compliance with the Operative District Plan.
2. I/We have signed each page of the plans and documentation in respect of this proposal (these need to accompany this form).
3. I/We understand and accept that once I/we give my/our approval the Consent Authority (Council) cannot take account of any actual or potential effect of the activity and/or proposal upon me/us when considering the application and the fact that any such effect may occur shall not be relevant grounds upon which the Consent Authority may refuse to grant the application.
4. I/We understand that at any time before the notification decision is made on the application, I/we may give notice in writing to Council that this approval is withdrawn.

Signature: [Signature] Rihari Takuira Date: 26-3-2024

Signature: [Signature] Rihari Takuira Date: 2-8-2024

Signature: [Signature] TREHARU Date: 2-8-2024

Signature: [Signature] Riabel Date: 26.7.2024

PART B – To be completed by Parties giving approval

- Notes to the party giving written approval:**
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 5. If you have any concerns about giving your written approval or need help understanding this process, please feel free to contact the duty planner on 0800 920 029 or (09) 401 5200.

Full name/s of party giving approval: Anthony Douglas Steele
Adrienne Lynn Steele

Address of affected property including legal description: 324 Ludbrook Rd, Pakaraka
NA125A/845 LOT 2 DP 196184, BLKS 1X XIII KAWAKAWA

Contact Phone Number/s and email address: Daytime: 0274 963920 email: steelopakaraka@gmail.com
021 924149

I am/we are the OWNER(S) / OCCUPIER(S) of the property (circle which is applicable)

Please note: in most instances the approval of all the legal owners and the occupiers of the affected property will be necessary.

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3. I/We understand and accept that once I/we give my/our approval the Consent Authority (Council) cannot take account of any actual or potential effect of the activity and/or proposal upon me/us when considering the application and the fact that any such effect may occur shall not be relevant grounds upon which the Consent Authority may refuse to grant the application.
4. I/We understand that at any time before the notification decision is made on the application, I/we may give notice in writing to Council that this approval is withdrawn.

Signature: [Signature] Date: 22/07/2024

Signature: [Signature] Date: 22/07/2024

Signature: [] Date: []

Signature: [] Date: []

PART B – To be completed by Parties giving approval

Notes to the party giving written approval:

1. If the owner and the occupier of your property are different people then separate written approvals are required from each.
2. You should only sign in the place provided on this form and accompanying plans and documents if you **fully understand** the proposal and if you **support** or have **no opposition** to the proposal. Council will not accept conditional approvals. If you have conditions on your approval, these should be discussed and resolved with the applicant directly.
3. Please note that when you give your written approval to an application, council cannot take into consideration any actual or potential effects of the proposed activity on you unless you formally withdraw your written approval **before** a decision has been made as to whether the application is to be notified or not. After that time you can no longer withdraw your written approval.
4. Please sign and date all associated plans and documentation as referenced overleaf and return with this form.
5. If you have any concerns about giving your written approval or need help understanding this process, please feel free to contact the duty planner on 0800 920 029 or (09) 401 5200.

Full name/s of party giving approval:

Tutamoe Farm Trust
BRUCE JOSEPH MORRIS

Address of affected property including legal description

7045 State Highway 1 Pakataka

Contact Phone Number/s and email address

Daytime: 09 4390639 email: info@kusawmill.nz

I am/we are the OWNER(S) / OCCUPIER(S) of the property (circle which is applicable)

Please note: in most instances the approval of all the legal owners and the occupiers of the affected property will be necessary.

1. I/We have been provided with the details concerning the application submitted to Council and understand the proposal and aspects of non-compliance with the Operative District Plan.
2. I/We have signed each page of the plans and documentation in respect of this proposal (these need to accompany this form).
3. I/We understand and accept that once I/we give my/our approval the Consent Authority (Council) cannot take account of any actual or potential effect of the activity and/or proposal upon me/us when considering the application and the fact that any such effect may occur shall not be relevant grounds upon which the Consent Authority may refuse to grant the application.
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Signature

Date

Signature

Date

Signature

Date

Signature

Date

PART B – To be completed by Parties giving approval

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4. Please sign and date all associated plans and documentation as referenced overleaf and return with this form.
5. If you have any concerns about giving your written approval or need help understanding this process, please feel free to contact the duty planner on 0800 920 029 or (09) 401 5200.

Full name/s of party giving approval:

Malcom Clyde Collier

Address of affected property including legal description

182 Ludbrook Road, Pakaraka
LOT 5 DP138701 LOT 1 DP 199437

Contact Phone Number/s and email address

Daytime: 021 523 038 email: malcomc@me.com

I am/we are the OWNER(S) / OCCUPIER(S) of the property (circle which is applicable)

Please note: in most instances the approval of **all** the legal owners and the occupiers of the affected property will be necessary.

1. I/We have been provided with the details concerning the application submitted to Council and understand the proposal and aspects of non-compliance with the Operative District Plan.
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4. I/We understand that at any time before the notification decision is made on the application, I/we may give notice in writing to Council that this approval is withdrawn.

Signature

MC Collier

Date

31 JULY 2024

Signature

Date

Signature

Date

Signature

Date