

Application for resource consent or fast-track resource consent

(Or Associated Consent Pursuant to the Resource Management Act 1991 (RMA)) (If applying for a Resource Consent pursuant to Section 87AAC or 88 of the RMA, this form can be used to satisfy the requirements of Schedule 4). Prior to, and during, completion of this application form, please refer to Resource Consent Guidance Notes and Schedule of Fees and Charges — [both available on the Council's web page](#).

1. Pre-Lodgement Meeting

Have you met with a council Resource Consent representative to discuss this application prior to lodgement? Yes No

2. Type of Consent being applied for

(more than one circle can be ticked):

- Land Use
- Fast Track Land Use*
- Subdivision
- Consent under National Environmental Standard
(e.g. Assessing and Managing Contaminants in Soil)
- Other (please specify) _____
- Discharge
- Change of Consent Notice (s.221(3))
- Extension of time (s.125)

* *The fast track is for simple land use consents and is restricted to consents with a controlled activity status.*

3. Would you like to opt out of the Fast Track Process?

Yes No

4. Consultation

Have you consulted with Iwi/Hapū? Yes No

If yes, which groups have you consulted with?

Who else have you consulted with?

For any questions or information regarding iwi/hapū consultation, please contact Te Hono at Far North District Council tehonosupport@fndc.govt.nz

5. Applicant Details

Name/s:

Northland Education Trust

Email:

Phone number:

Postal address:

(or alternative method of service under section 352 of the act)

6. Address for Correspondence

Name and address for service and correspondence (if using an Agent write their details here)

Name/s:

CPPC Planning - Claire Phillips

Email:

Phone number:

Postal address:

(or alternative method of service under section 352 of the act)

** All correspondence will be sent by email in the first instance. Please advise us if you would prefer an alternative means of communication.*

7. Details of Property Owner/s and Occupier/s

Name and Address of the Owner/Occupiers of the land to which this application relates (where there are multiple owners or occupiers please list on a separate sheet if required)

Name/s:

Northland Education Trust

**Property Address/
Location:**

7 Blue Gum Lane, Kerikeri

Postcode

0293

8. Application Site Details

Location and/or property street address of the proposed activity:

Name/s:

**Site Address/
Location:**

Postcode

Legal Description:

Val Number:

Certificate of title:

Please remember to attach a copy of your Certificate of Title to the application, along with relevant consent notices and/or easements and encumbrances (search copy must be less than 6 months old)

Site visit requirements:

Is there a locked gate or security system restricting access by Council staff? Yes No

Is there a dog on the property? Yes No

Please provide details of any other entry restrictions that Council staff should be aware of, e.g. health and safety, caretaker's details. This is important to avoid a wasted trip and having to re-arrange a second visit.

9. Description of the Proposal:

Please enter a brief description of the proposal here. Please refer to Chapter 4 of the District Plan, and Guidance Notes, for further details of information requirements.

If this is an application for a Change or Cancellation of Consent Notice conditions (s.221(3)), please quote relevant existing Resource Consents and Consent Notice identifiers and provide details of the change(s), with reasons for requesting them.

10. Would you like to request Public Notification?

Yes No

11. Other Consent required/being applied for under different legislation

(more than one circle can be ticked):

- Building Consent
- Regional Council Consent (ref # if known)
- National Environmental Standard consent
- Other (please specify)

12. National Environmental Standard for Assessing and Managing Contaminants in Soil to Protect Human Health:

The site and proposal may be subject to the above NES. In order to determine whether regard needs to be had to the NES please answer the following:

Is the piece of land currently being used or has it historically ever been used for an activity or industry on the Hazardous Industries and Activities List (HAIL) Yes No Don't know

Is the proposed activity an activity covered by the NES? Please tick if any of the following apply to your proposal, as the NESCS may apply as a result. Yes No Don't know

- Subdividing land
- Changing the use of a piece of land
- Disturbing, removing or sampling soil
- Removing or replacing a fuel storage system

This has been a school for many years

13. Assessment of Environmental Effects:

Every application for resource consent must be accompanied by an Assessment of Environmental Effects (AEE). This is a requirement of Schedule 4 of the Resource Management Act 1991 and an application can be rejected if an adequate AEE is not provided. The information in an AEE must be specified in sufficient detail to satisfy the purpose for which it is required. Your AEE may include additional information such as Written Approvals from adjoining property owners, or affected parties.

Your AEE is attached to this application Yes

13. Draft Conditions:

Do you wish to see the draft conditions prior to the release of the resource consent decision? Yes No

If yes, do you agree to extend the processing timeframe pursuant to Section 37 of the Resource Management Act by 5 working days? Yes No

14. Billing Details:

This identifies the person or entity that will be responsible for paying any invoices or receiving any refunds associated with processing this resource consent. Please also refer to Council's Fees and Charges Schedule.

Name/s: (please write in full) Northland Education Trust

Email:

Phone number:

Postal address:

(or alternative method of service under section 35 of the act)

Fees Information

An instalment fee for processing this application is payable at the time of lodgement and must accompany your application in order for it to be lodged. Please note that if the instalment fee is insufficient to cover the actual and reasonable costs of work undertaken to process the application you will be required to pay any additional costs. Invoiced amounts are payable by the 20th of the month following invoice date. You may also be required to make additional payments if your application requires notification.

Declaration concerning Payment of Fees

I/we understand that the Council may charge me/us for all costs actually and reasonably incurred in processing this application. Subject to my/our rights under Sections 357B and 358 of the RMA, to object to any costs, I/we undertake to pay all and future processing costs incurred by the Council. Without limiting the Far North District Council's legal rights if any steps (including the use of debt collection agencies) are necessary to recover unpaid processing costs I/we agree to pay all costs of recovering those processing costs. If this application is made on behalf of a trust (private or family), a society (incorporated or unincorporated) or a company in signing this application I/we are binding the trust, society or company to pay all the above costs and guaranteeing to pay all the above costs in my/our personal capacity.

Name: (please write in full) Angela Vujcich

Signature:

(signature of bill payer)

Date 18-Nov-2024

MANDATORY

15. Important Information:

Note to applicant

You must include all information required by this form. The information must be specified in sufficient detail to satisfy the purpose for which it is required.

You may apply for 2 or more resource consents that are needed for the same activity on the same form. You must pay the charge payable to the consent authority for the resource consent application under the Resource Management Act 1991.

Fast-track application

Under the fast-track resource consent process, notice of the decision must be given within 10 working days after the date the application was first lodged with the authority, unless the applicant opts out of that process at the time of lodgement. A fast-track application may cease to be a fast-track application under section 87AAC(2) of the RMA.

Privacy Information:

Once this application is lodged with the Council it becomes public information. Please advise Council if there is sensitive information in the proposal. The information you have provided on this form is required so that your application for consent pursuant to the Resource Management Act 1991 can be processed under that Act. The information will be stored on a public register and held by the Far North District Council. The details of your application may also be made available to the public on the Council's website, www.fndc.govt.nz. These details are collected to inform the general public and community groups about all consents which have been issued through the Far North District Council.

15. Important information continued...


Declaration

The information I have supplied with this application is true and complete to the best of my knowledge.

Name: (please write in full)

Angela Vujcich

Signature:



Date 01-Oct-2024

required if the application is made by electronic means

Checklist (please tick if information is provided)

- Payment (cheques payable to Far North District Council)
- A current Certificate of Title (Search Copy not more than 6 months old)
- Details of your consultation with Iwi and hapū
- Copies of any listed encumbrances, easements and/or consent notices relevant to the application
- Applicant / Agent / Property Owner / Bill Payer details provided
- Location of property and description of proposal
- Assessment of Environmental Effects
- Written Approvals / correspondence from consulted parties
- Reports from technical experts (if required)
- Copies of other relevant consents associated with this application
- Location and Site plans (land use) AND/OR
- Location and Scheme Plan (subdivision)
- Elevations / Floor plans
- Topographical / contour plans

Please refer to Chapter 4 of the District Plan for details of the information that must be provided with an application. Please also refer to the RC Checklist available on the Council's website. This contains more helpful hints as to what information needs to be shown on plans.

RESOURCE CONSENT APPLICATION AT 7 BLUE GUM LANE, KERIKERI

NOVEMBER 2024

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APPLICANT DETAILS

Applicant/Owner: Northland Education Trust

Site Address: 7 Blue Gum Lane, Kerikeri

Legal Description: Lot 1 DP 394493 (RT 377813)
Lots 2 and 3 DP 394493 (RT 729081)

Site Area: 1.2467 hectares
9269m²

Type of Consent: Land Use consent

Consent Sought: Land use consent to undertake additions and alterations to the existing school buildings at the OneSchool Global, including expanding the existing senior block, relocate canteen and construct a verandah around the buildings.

Operative District Plan:
Zone
Rural Production

Proposed District Plan:
Zone
Horticulture

Non-Statutory Overlays:
Overland Flow Path

Address for Service: CPPC Planning
PO Box 550, Warkworth, 0941, New Zealand
Mobile: 021302340
Email: claire.phillips1@xtra.co.nz

EXECUTIVE SUMMARY

The application relates to undertaking additions and alterations to the existing school buildings at the OneSchool Global, including expanding the existing senior block, relocate canteen and construct a verandah around the buildings.

Overall, the activity status of the proposal will be a discretionary activity with the resulting effects considered to be less than minor and similar to what currently exists and operates from the site as a result of 2150248-RMALUC.

The application is also considered to be consistent with objectives and policies of the Operative District Plan and the Proposed District Plan.

Furthermore, for reasons that will be fully outlined in this report, no persons are considered to be adversely affected by the proposal.

The application also meets the purpose of the RMA as set out in Part 2.

BACKGROUND

The following applications apply to 7 Blue Gum Lane, Kerikeri:

- 2150248-RMALUC was issued under delegated authority on 24-03-15 ...*To construct a learning centre in the Rural Production Zone that breaches the permitted standards for Stormwater Management and Building Coverage.*”

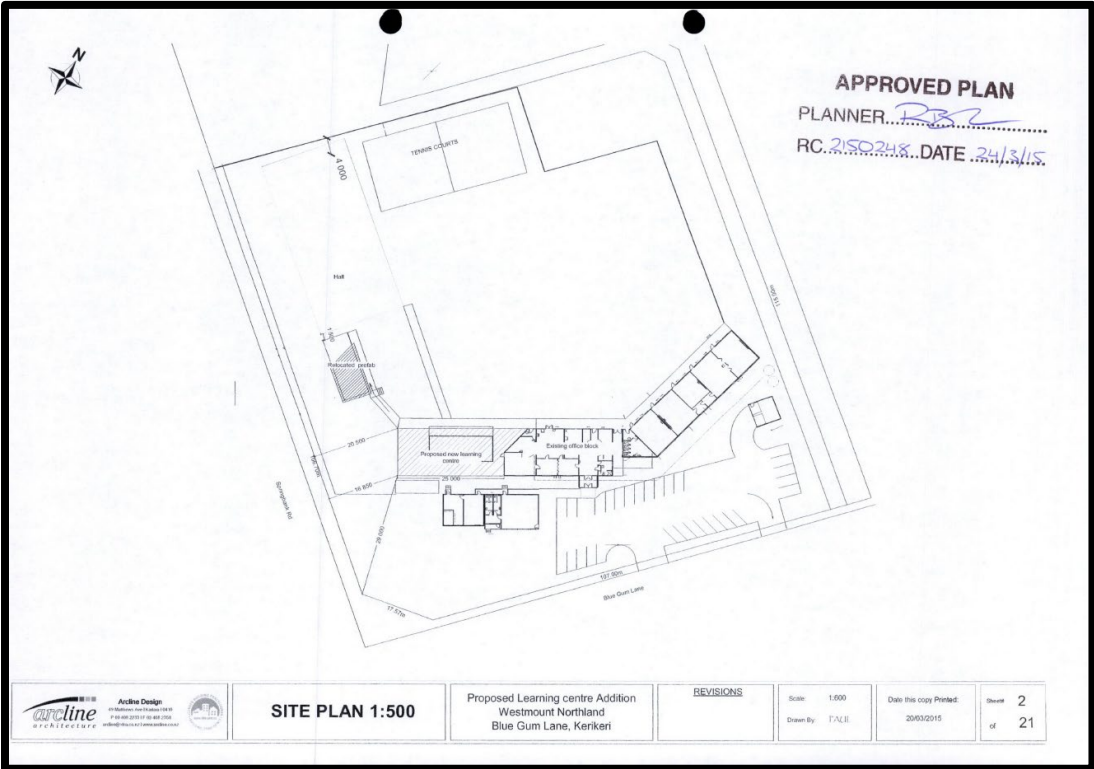


Figure 1: Approved Plan

- 21802198-RMALUC was issued under delegated authority on 10-01-18 ...*To erect a replacement building breaching Stormwater Management and Building Coverage within the rural production.*”

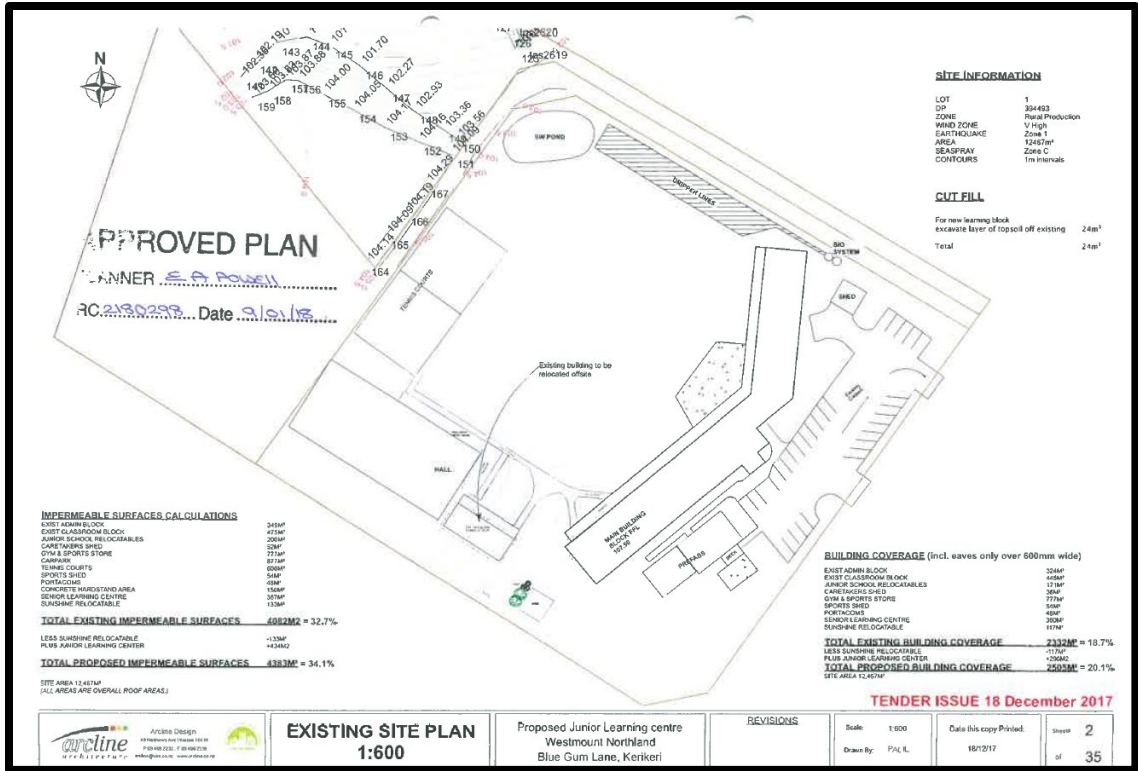


Figure 2: Approved Plan

- 2250143-RMASUB has been lodged with the Far North District Council for a boundary adjustment involving the application sites. No decision has been made as yet.

PROPOSAL DESCRIPTION

The applicant seeks Land use consent to undertake additions and alterations to the existing school buildings at the OneSchool Global, including expanding the existing senior block, relocate canteen and construct a verandah around the buildings at 7 Blue Gum Lane, Kerikeri.

In particular, the proposal involves:

- The removal of the existing verandah adjacent to the existing senior block building, remove the building to the north-west of the senior block and the removal of the existing structure located to the south-east of the main administration building.
- Construction and internal alterations of the existing senior block, by increasing the floor area by 221m². The total floor area will be 573.2m² and will contain a new entry, two bathroom areas, project and material store, art and science rooms, studio and quiet rooms and increase multi-purpose learning area. A new verandah is also proposed along the façade of the building to provide additional shelter.

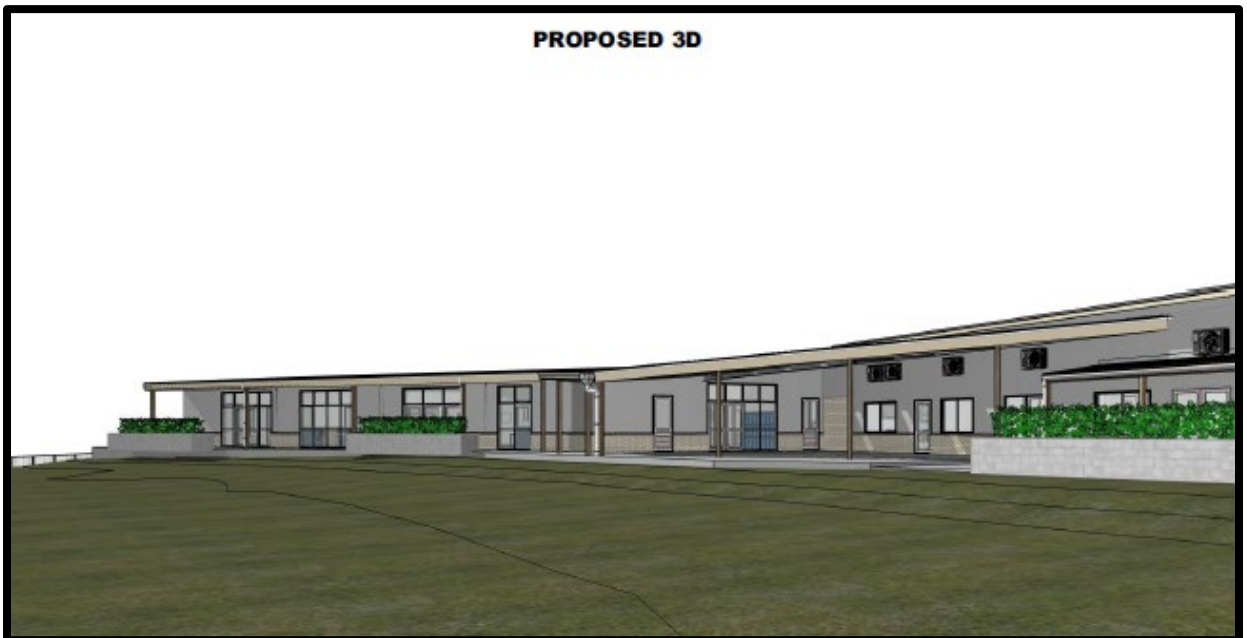


Figure 3: Proposed 3D of Senior Block Additions

- Internal alterations to the junior block and admin building, including amending the toilet facilities.
- Relocation of the canteen to the old junior block.

- The construction of verandah along the frontage of the admin and junior block and connecting to the hall and gym.

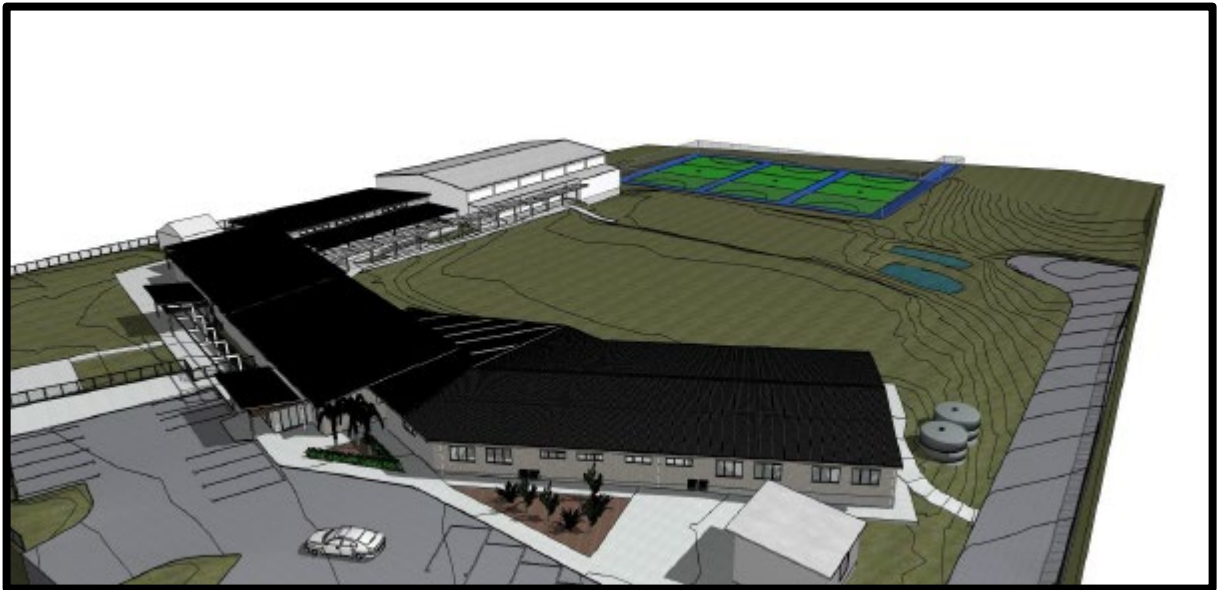


Figure 4: Proposed 3D of School following verandah and Senior Block Additions

- Improved junior outdoor area and the construction of new courts within Lots 2 and 3 DP 394493. The courts have an area of 1925m², with an additional tennis net storage.
- The above additions and alterations, to not alter the number of staff and students provided for at the school, rather a reconfiguration of student and staff location.
- The proposal results in an increase in impervious surfaces from 6950m² to 9600m². A report from RS Eng Ltd has been proposed for the proposal. The school is currently serviced with two on-site stormwater ponds which are located near the northern boundary within Lot 1 DP 394493. It is proposed to enlarge this pond to provide for 82m³ of storage and a forebay volume of 14m³. It is also proposed to have a new pond located to the south-west, which will have a permanent storage of 15m³ and a fore bay volume of 3m³. The respective ponds will discharge into the overland flow paths which form the current discharge points for the existing catchment. The discharge points will incorporate suitable erosion control such as RipRap, specifically design at the detailed design stage.

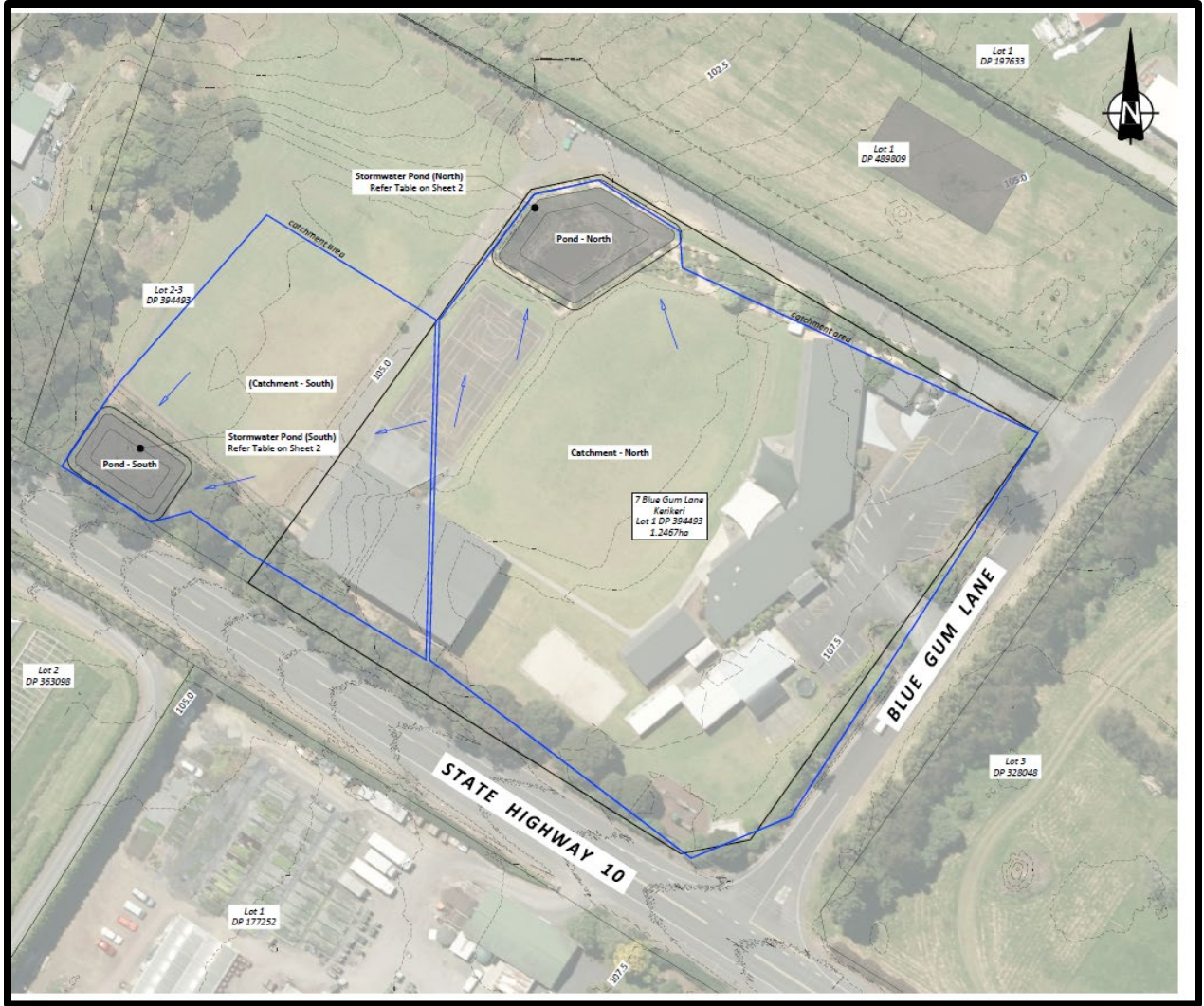


Figure 5: Stormwater site plan

SITE DESCRIPTION AND RECORD OF TITLE

SITE DESCRIPTION

The application sites are legally described as, Lot 1 DP 394493 (RT 377813) and Lots 2 and 3 DP 394493 (RT 729081).

Lot 1 DP 394493 (RT 377813) currently has an area of 1.2467 hectares and contains the One School Global. Access is over the existing cross and driveway with Blue Gum Lane.



Figure 6: Aerial of One School Global and school fields – Source Google Maps



Figure 7: View of One School Global from Blue Gum Lane – Source Google Maps



Photo 1: View of existing school looking south east



Photo 2: View of existing senior block looking north

Lots 2 and 3 DP 394493 (RT 729081) currently have an area of 9269m² and are vacant of buildings. Access to this lot is over an existing access and driveway with Blue Gum Lane. The vacant lot serves as the schools sports fields.



Photo 3: View of existing sports fields – looking towards State Highway 10



Photo 4: View of existing sports fields – looking northwest



Photo 5: View of existing sports fields – looking north

The surrounding area is characterized by small to moderate rural properties, containing a mixture of activities, including residential and commercial. There are many rural lifestyle properties along the road and state highway. There is horticulture present also.

RECORD OF TITLE

Lots 2 and 3 DP 394493 currently has an area of 9269m² hectares which has a identifier 729081, and Lot 1 DP 394493 currently has an area of 1.2467 hectares which has a identifier 377813 with the following relevant documents:

- 573901.1 Gazette Notice declaring adjoining State Highway No.10 to be a limited access road – No access is obtained from State Highway No 10
- 6109883.1 Consent Notice pursuant to Section 221
 - *The operation of agricultural and horticultural equipment including sprays and chemicals (subject to compliance with any relevant legislation) may be a permitted activity. Accordingly, where rainwater is collected from exposed surfaces for human consumption in connection with any new residential development the occupiers of any such dwelling shall install an approved water filtration system. The water quality system is to meet the guidelines contained within the Ministry of Health Publication dated 1995 entitled "Guidelines for Drinking Water Quality Management for NZ" and any subsequent amendments.*
- 8657867.2 Consent Notice pursuant to Section 221
 - *The operation of agricultural and horticultural equipment including sprays and chemicals (subject to compliance with any relevant legislation) may be a permitted activity. Accordingly, where rainwater is collected from exposed surfaces for human consumption in conjunction with any development on the site, the occupiers of any such development on the lots shall install an approved water filtration system.*

there is no access from State Highway No 10.

OPERATIVE DISTRICT PLAN

The application sites are zoned Rural Production under the Operative District Plan as shown below:



Figure 7: Zone Map – Source Far North Maps

Chapter 8 Land Use

- Rule 8.6.5.1.3 states that ... *The maximum proportion of the gross site area covered by buildings and other impermeable surfaces shall be 15%.* The proposal involves impervious surfaces of 9600m² being 44.2% of the entire site and is considered a discretionary activity under Rule 8.6.5.4(c).

- Rule 8.6.5.1.10 states that *... Any new building or alteration/addition to an existing building is a permitted activity if the total Building Coverage of a site does not exceed 12.5% of the gross site area.* The proposal involves building coverage of 3194.56m² being 14.7% of the entire site and is considered a discretionary activity under Rule 8.6.5.4(c).
- Rule 8.7.5.1.6 states that *...the minimum building setback from the boundary of any Rural Production Zone shall be 10m.* The proposed senior block extension is to be located 3.51 metres to the northern boundary adjacent to the existing driveway also owned by the applicant and is considered a discretionary activity under Rule 8.6.5.4(c).

PROPOSED DISTRICT PLAN

The Far North Proposed District Plan was notified on July 27, 2022. Only some parts of this plan have legal effects and only those rules where relevant are assessed below.

The application sites are zoned Horticulture Zone under the Proposed District Plan as shown below:

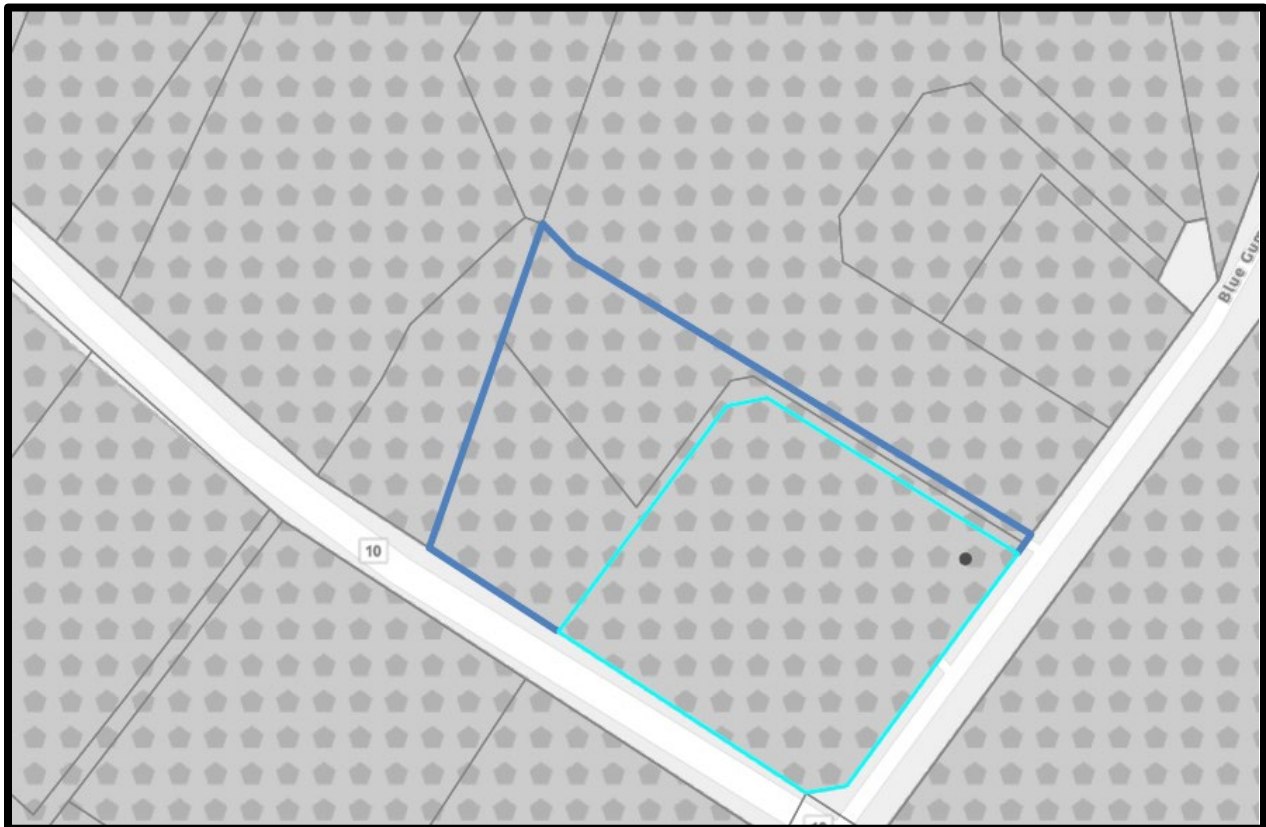


Figure 8: Zone Map – Source Far North Maps

Part 3 – Area Specific Matters / Special Purpose Zones / Horticulture

There are **no rules** that have immediate legal effect under this section, therefore the operative plan carries the most weight.

Note: The above only reflects those rules that have immediate legal effect. If Council considers that more rules require assessment, I am sure you will let us know.

SUMMARY OF ACTIVITY STATUS

Overall the proposal is deemed to be a **Discretionary Activity**.

We consider that all relevant consents have been applied for to enable the proposed boundary adjustment subdivision. However, please treat this as a full application to cover any other aspects of the proposal that Council considers require consent.

PUBLIC NOTIFICATION ASSESSMENT

ASSESSMENT OF STEPS 1 TO 4 (SECTION 95A)

Section 95A specifies the steps the council is to follow to determine whether an application is to be publicly notified. These steps are addressed in the statutory order below.

STEP 1: MANDATORY PUBLIC NOTIFICATION IN CERTAIN CIRCUMSTANCES

Step 1 states that no mandatory notification is required as:

- the applicant has not requested that the application is publicly notified (s95A(3)(a));
- there are no outstanding or refused requests for further information (s95C and s95A(3)(b)); and
- the application does not involve any exchange of recreation reserve land under s15AA of the Reserves Act 1977 (s95A(3)(c)).

In this case the applicant does not request notification.

STEP 2: IF NOT REQUIRED BY STEP 1, PUBLIC NOTIFICATION PRECLUDED IN CERTAIN CIRCUMSTANCES

The application is not precluded from public notification as:

- the activities are not subject to a rule or national environmental standard (NES) which precludes public notification (s95A(5)(a)); and
- the application does not involve one or more of the activities specified in s95A(5)(b).

STEP 3: IF NOT PRECLUDED BY STEP 2, PUBLIC NOTIFICATION REQUIRED IN CERTAIN CIRCUMSTANCES

The application is not required to be publicly notified as the activities are not subject to any rule or a NES that requires public notification (s95A(8)(a)).

The following assessment addresses the adverse effects of the activities on the environment, as public notification is required if the activities will have or are likely to have adverse effects on the environment that are more than minor (s95A(8)(b)).

STEP 4: PUBLIC NOTIFICATION IN SPECIAL CIRCUMSTANCES

If an application has not been publicly notified as a result of any of the previous steps, then the council is required to determine whether special circumstances exist that warrant it being publicly notified (s95A(9)).

Special circumstances are those that are:

- exceptional, abnormal or unusual, but something less than extraordinary or unique;
- outside of the common run of applications of this nature; or
- circumstances which make notification desirable.

In this instance I have turned my mind specifically to the existence of any special circumstances and conclude that there is nothing exceptional or unusual about the application, and that the proposal has nothing out of the ordinary run of things to suggest that public notification should occur.

ASSESSMENT OF ENVIRONMENTAL EFFECTS

EXISTING ENVIRONMENT AND PERMITTED BASELINE

ENVIRONMENT

The 'Environment' includes the 'Existing Environment' which includes all lawfully established activities that exist – and the 'Future Environment' which includes the effects of activities enabled by an unimplemented consent where the consent is 'live' that have not lapsed and there are no reasons why the consent is not likely to be implemented.

The existing environment includes those activities described in previous sections of this report and includes but not limited to the existing three records of title.

PERMITTED BASELINE

RMA states that for the purposes of formulating an opinion as to whether the adverse effects on the environment will be minor or more than minor a consent authority may disregard an adverse effect of an activity on the environment if the plan permits an activity with that effect.

In this case, the permitted baseline is the on-going use of the sites for those consented activities including the school and church.

No form of subdivision is provided for as a permitted activity.

ADJACENT SITES

For the purposes of this application, adjacent sites are considered to be those sites directly adjoining the application site (marked with a red circle). They include the following:

1. Lot 1 Deposited Plan 489809 Blue Gum Lane, Kerikeri
2. 1574 State Highway 10, Kerikeri
3. 1608 State Highway 10, Kerikeri



Figure 9: Adjacent Properties (Blue dots are application sites) Red are adjacent properties

ASSESSMENT OF ACTUAL AND POTENTIAL EFFECTS

Having regard to the above and after an analysis of the application, including any proposed mitigation measures, the adverse effects of the activity on the environment are identified and discussed below.

INTENSITY OF DEVELOPMENT EFFECTS

The resulting development of the school will continue to appear as a school and being consistent with the character and appearance of the school building currently existing within the site. The proposal involves the construction and internal alterations of the existing senior block, by increasing the floor area by 221m² being more suitable for senior students. As a result of the new area for the seniors, internal alterations to the junior block and admin building, including amending the toilet facilities are proposed, including the relocation of the canteen to the old junior block and the construction of verandah along the frontage of the admin and junior block and connecting to the hall and gym. The additions and alterations will maintain the existing well established character of the site. While the proposal results in an increase in building coverage, the additions will not appear visually out of character given the design of the existing and proposed structures along with existing landscaping, ensuring that the proposed additions and alterations will not be visible outside the site.

Noise associated with the on-going use of the site for a school will be well within the permitted rural levels, which with new insulated building will continue to be the case.

Overall the effects of the additions and alterations to the existing school buildings will be less than minor.

ACCESS EFFECTS

The site has existing access to Blue Gum Lane, which have been formed to a sealed standard which is appropriate for this location. The resulting additions to the school do not increase the school role, rather ensure that the use of the site is better utilized for the schooling activities and separation of junior and senior campus areas.

The access and traffic arrangements as a result of the additions and alterations to the school will not change and there is no increase in intensity of development is anticipated, any effects based on traffic and access to the road will be less than minor. There will be no increase in traffic movements associated with the proposal and the local roading network can suitably accommodate the vehicle movements associated with the existing and proposed development.

All existing access easements will remain in place.

SERVICING EFFECTS

Wastewater – The proposal is serviced with an existing on-site effluent disposal system. Given the proposed additions and alterations do not result in any increase in the number of students, the existing system is considered suitable for on-going use by the school.

Stormwater – The proposal results in an increase in impervious surfaces from 6950m² to 9600m². A report from RS Eng Ltd has been proposed for the proposal. The school is currently serviced with two on-site stormwater ponds which are located near the northern boundary within Lot 1 DP 394493. There is four new water tanks for potable supply. It is proposed to enlarge this pond to provide for 82m³ of storage and a forebay volume of 14m³. It is also proposed to have a new pond located to the south-west, which will have a permanent storage of 15m³ and a fore bay volume of 3m³. The respective ponds will discharge into the overland flow paths which form the current discharge points for the existing catchment. The discharge points will incorporate suitable erosion control such as RipRap, specifically design at the detailed design stage. The method of addressing stormwater is in this case appropriate for the on-going use of the site for a school, with the measures proposed low impact and an efficient use of the existing infrastructure, albeit upgraded. There is limited earthworks to facilitate the development, thus the to achieve the improved stormwater mitigation is considered to be appropriate.

Overall the effects of the development are considered to be less than minor.

RURAL PRODUCTION

The proposal will not compromise the allotments' potential to function as rural productive properties as the site is already utilized for a school, being an extension to existing school activities. The site is not use or proposed to be used for production given the fact that it is a well-established education facility necessary. The proposed additions and alterations are necessary for the supporting activities on the land and considered to be exempt under 3.9(2)(a) of the National Policy Statement for Highly Productive Land.

The soils within the property is class 1 being highly productive as shown in the image below.



Figure 10: LUC Maps – Application sites – LUC Class 1 – Source OurEnvironment

It is also worthy to note that the future zoning of the property is Horticulture, where the minimum area of land suitable for horticultural purposes is 4 hectares (as a discretionary activity) and 10 hectares (as a controlled activity). The site has a site area of well less than the above and thus will not be large enough to operate for horticulture in the future.

NATURAL HAZARDS

The sites are subject to natural hazards such as flooding. The additions and alterations are clear of these hazards. The proposal does not impact on these existing natural hazards with stormwater neutrality being achieved.

SUMMARY

In summary it is concluded that the adverse effects of the development on the environment will be less than minor.

LIMITED NOTIFICATION ASSESSMENT

ASSESSMENT OF STEPS 1 TO 4 (SECTION 95B)

If the application is not publicly notified under s95A, the council must follow the steps set out in s95B to determine whether to limited notify the application. These steps are addressed in the statutory order below.

STEP 1: CERTAIN AFFECTED PROTECTED CUSTOMARY RIGHTS GROUPS MUST BE NOTIFIED

Step 1 requires limited notification where there are any affected protected customary rights groups or customary marine title groups or affected persons under a statutory acknowledgement affecting the land (ss95B(2) and 95B(3)).

The application site is not affected by customary rights.

STEP 2: IF NOT REQUIRED BY STEP 1, LIMITED NOTIFICATION PRECLUDED IN CERTAIN CIRCUMSTANCES

Step 2 describes that limited notification is precluded where all applicable rules and NES preclude public notification; or the application is for a controlled activity (other than the subdivision of land) or a prescribed activity (ss95B(5) and 95B(6)).

The proposal is a non-complying activity and there are no rules precluding notification.

STEP 3: IF NOT PRECLUDED BY STEP 2, CERTAIN OTHER AFFECTED PERSONS MUST BE NOTIFIED

Step 2 requires that where limited notification is not precluded under step 2 above, a determination must be made as to whether any of the following persons are affected persons:

- In the case of a boundary activity, an owner of an allotment with an infringed boundary;
- In the case of a prescribed activity under s360H(1(b)), a prescribed person; and
- In the case of any other activity, a person affected in accordance with s95E.

The application is not for a boundary or prescribed activity, and therefore an assessment in accordance with s95E is required. This assessment is set out below.

Overall, it is considered that any adverse effects in relation to adjacent properties will be less than minor, and accordingly that no persons are adversely affected.

STEP 4: FURTHER NOTIFICATION IN SPECIAL CIRCUMSTANCES

In addition to the findings of the previous steps, the council is also required to determine whether special circumstances exist in relation to the application that warrant notification of the application to any other persons not already determined as eligible for limited notification.

There are not considered to be any special circumstances that would warrant notification.

SECTION 95E STATUTORY MATTERS

As required by step 3 above, certain other affected persons must be notified, and the following assessment addresses whether there are any affected persons in accordance with s95E. A person is affected if the effects of the activity on that person are minor or more than minor (but not less than minor).

In deciding who is an affected person under section 95E:

- Adverse effects permitted by a rule in a plan or NES (the permitted baseline) may be disregarded.

It is considered that there is no useful baseline that can be applied as the land needs to be earth worked to provide building platforms and subdivision of the land would also require resource consent.

- The adverse effects on those persons who have provided their written approval must be disregarded.

Because of the minor scale of the proposal no written approvals have been sought for this proposal.

The sections below set out an assessment in accordance with section 95E, including identification of adjacent properties, and an assessment of adverse effects.

ADJACENT PROPERTIES

No adjacent properties are considered to be adversely affected by the proposal for the following reasons:

- The density and character resulting from the proposed additions and alterations to the existing school is not contrary to the existing rural production character of the surrounding area.
- The additions and alterations will maintain the existing well established character of the site. While the proposal results in an increase in building coverage, the additions will not appear visually out of character given the design of the existing and proposed structures along with

existing landscaping, ensuring that the proposed additions and alterations will not be visible outside the site.

- Noise associated with the on-going use of the site for a school will be well within the permitted rural levels, which with new insulated building will continue to be the case. All lots have existing driveway and vehicle access ways to Blue Gum Lane.
- The site has existing access to Blue Gum Lane, which have been formed to a sealed standard which is appropriate for this location. The resulting additions to the school do not increase the school role, rather ensure that the use of the site is better utilized for the schooling activities and separation of junior and senior campus areas.
- The access and traffic arrangements as a result of the additions and alterations to the school will not change and there is no increase in intensity of development is anticipated, any effects based on traffic and access to the road will be less than minor. There will be no increase in traffic movements associated with the proposal and the local roading network can suitably accommodate the vehicle movements associated with the existing and proposed development.

For these reasons, the proposal is not considered to generate any adverse effects on persons of the immediate environment.

Taking the above into account, it is considered that any adverse effects on persons will be less than minor. It is considered, therefore, that there are no adversely affected persons in relation to this proposal.

LIMITED NOTIFICATION CONCLUSION

Having undertaken the s95B limited notification tests, the following conclusions are reached:

- Under step 1, limited notification is not mandatory;
- Under step 2, limited notification is not precluded;
- Under step 3, limited notification is not required as it is considered that the activity will not result in any adversely affected persons; and
- Under step 4, there are no special circumstances.

Therefore, it is recommended that this application be processed without limited notification.

SECTION 104 MATTERS

The matters that require consideration in assessing this application are set out in section 104 of the Resource Management Act 1991. These matters include the actual and potential effects of the allowing the activity on the environment and the relevant rules and assessment criteria. Given that the proposal is deemed to be in keeping with the assessment criteria, a separate analysis of objectives and policies is considered to be unnecessary. The provisions of section 104 are subject to the matters set out in Part II of the Act.

In summary it is concluded that this proposal satisfies the relevant matters requiring consideration under section 104.

NATIONAL POLICY STATEMENTS

RESOURCE MANAGEMENT (NATIONAL ENVIRONMENTAL STANDARD FOR ASSESSING & MANAGING CONTAMINANTS IN SOIL TO PROTECT HUMAN HEALTH) REGULATIONS 2011

The Resource Management (National Environmental Standard for Assessing and Managing Contaminants in Soil to Protect Human Health) Regulations 2011 (NES Contaminated Soils) were gazetted on 13th October 2011 and took effect on 1st January 2012.

Council is required by law to implement this NES in accordance with the Resource Management Act 1991 (RMA). The standards are applicable if the land in question is, or has been, or is more likely than not to have been used for a hazardous activity or industry and the applicant proposes to subdivide or change the use of the land, or disturb the soil, or remove or replace a fuel storage system.

The applicant has confirmed, no activities outlined in the Hazardous Activities and Industries List (HAIL) have occurred on the subject site post the original subdivision. Noting that each of the titles at the time of subdivision had provided HAIL reporting.

As such, it is considered that the property does not constitute a 'piece of land' covered under Section 5(7) of the NES, and therefore, the NES is not considered applicable in this instance.

RESOURCE MANAGEMENT (NATIONAL ENVIRONMENTAL STANDARD FOR FRESHWATER) REGULATIONS 2020

The Resource Management (National Environmental Standard for Freshwater) Regulations 2020 (NES-FW) came into force on 3 September 2020, with changes to the legislation January 2023. The NES-FW set out requirements for carrying out certain activities which pose risks to freshwater and freshwater ecosystems.

In particular, the NES-FW has standards for activities near to or within a wetland. A natural wetland is defined in the National Policy Statement for Freshwater Management as "*a wetland (as defined in the Act) that is not:*

(a) a wetland constructed by artificial means (unless it was constructed to offset impacts on, or restore, an existing or former natural wetland); or

(b) a geothermal wetland; or

(c) any area of improved pasture that, at the commencement date, is dominated by (that is more than 50% of) exotic pasture species and is subject to temporary rain derived water pooling".

Accordingly, consideration of the subdivision application against the Resource Management (National Environmental Standards for Freshwater) Regulations 2020 is not required.

NATIONAL POLICY STATEMENT FOR HIGHLY PRODUCTIVE LAND (NPS-HPL)

The NPS-HPL came into force on 17 October 2022, with most provisions having immediate effect, placing restrictions on rezoning, subdivision and land-use proposals on land that meets the transitional definition of HPL (Land Use Capability (LUC) classes 1–3, with some exceptions).

The proposal will not compromise the allotments' potential to function as rural productive properties as the site is already utilized for a school, being an extension to existing school activities. The site is not use or proposed to be used for production given the fact that it is a well-established education facility necessary. The proposed additions and alterations are necessary for the supporting activities on the land and considered to be exempt under 3.9(2)(a) of the National Policy Statement for Highly Productive Land.

The soils within the property is class 1 being highly productive.

It is also worthy to note that the future zoning of the property is Horticulture, where the minimum area of land suitable for horticultural purposes is 4 hectares (as a discretionary activity) and 10 hectares (as a controlled activity). The site has a site area of well less than the above and thus will not be large enough to operate for horticulture in the future.

Overall the proposal is considered not to be inconsistent with the HPS-HPL as no land is being lost to production given that the lots are too small or have existing consented non-residential activities currently to warrant or result in the loss of production.

OPERATIVE DISTRICT PLAN

ASSESSMENT CRITERIA

Whilst the application is overall a discretionary activity, the below assessment of the relevant assessment criteria provides a reliable basis for the proposal.

11.3	Stormwater Management		
	Requirement	Comment	Compliance
	<i>(a) The extent to which building site coverage and impermeable surfaces result in increased stormwater runoff and contribute to total catchment impermeability and the provisions of any catchment or drainage plan for that catchment.</i>	The resulting impervious surfaces from the development of the site are suitably mitigated on site. The majority of the new impervious surfaces are roofed areas, thus will be caught and reused for potable water supply, with the exception of the proposed courts, which are to be directed solely to the southern stormwater pond. Any excess is directed to the stormwater mitigation devices. See the RS Eng report, which have address the total catchment and drainage. Limited earthworks are proposed to facilitate the development.	Compliant
	<i>(b) The extent to which Low Impact Design principles have been used to reduce site impermeability.</i>	Low impact designs have been proposed for the stormwater.	Compliant
	<i>(c) Any cumulative effects on total catchment impermeability.</i>	There are no known cumulative effects resulting from the proposed building coverage and impervious surfaces.	Compliant
	<i>(d) The extent to which building site coverage and impermeable surfaces will alter the natural contour or drainage patterns of the site or disturb the ground and alter its ability to absorb water.</i>	As noted throughout this report, there are limited earthworks necessary to facilitate the development, with the development following the contours of the site as well as existing drainage patterns, ensuring that the ground and stormwater devices can absorb any overflow water. As noted all roof water is to be collected for potable supply.	Compliant

	<i>(e) The physical qualities of the soil type.</i>	The soils within the property is class 1 being highly productive. The GNS 1:250,000 scale New Zealand Geology Web Map shows that the property is located within an area underlain by Kerikeri Volcanics, which has been described as follows: " <i>Basalt lava, volcanic plugs and minor tuff.</i> "	Compliant
	<i>(f) Any adverse effects on the life supporting capacity of soils.</i>	The proposal will not compromise the allotments' potential to function as rural productive properties as the site is already utilized for a school, being an extension to existing school activities. The site is not use or proposed to be used for production given the fact that it is a well-established education facility necessary. The proposed additions and alterations are necessary for the supporting activities on the land and considered to be exempt under 3.9(2)(a) of the National Policy Statement for Highly Productive Land.	Compliant
	<i>(g) The availability of land for the disposal of effluent and stormwater on the site without adverse effects on the water quantity and water quality of water bodies (including groundwater and aquifers) or on adjacent sites.</i>	Wastewater – The proposal is serviced with an existing on-site effluent disposal system. Given the proposed additions and alterations do not result in any increase in the number of students, the existing system is considered suitable for on-going use by the school. Stormwater – The proposal results in an increase in impervious surfaces from 6950m ² to 9600m ² . A report from RS Eng Ltd has been proposed for the proposal. The school is currently serviced with two on-site stormwater ponds which are located near the northern boundary within Lot 1 DP 394493. There is four new water tanks for potable supply. It is proposed to	Compliant

		<p>enlarge this pond to provide for 82m³ of storage and a forebay volume of 14m³. It is also proposed to have a new pond located to the south-west, which will have a permanent storage of 15m³ and a fore bay volume of 3m³. The respective ponds will discharge into the overland flow paths which form the current discharge points for the existing catchment. The discharge points will incorporate suitable erosion control such as RipRap, specifically design at the detailed design stage. The method of addressing stormwater is in this case appropriate for the on-going use of the site for a school, with the measures proposed low impact and an efficient use of the existing infrastructure, albeit upgraded. There is limited earthworks to facilitate the development, thus the to achieve the improved stormwater mitigation is considered to be appropriate.</p> <p>Overall the effects of the development are considered to be less than minor.</p>	
	<i>(h) The extent to which paved, impermeable surfaces are necessary for the proposed activity.</i>	The increase in impervious surfaces are covering existing paved paths for the existing school activities.	Compliant
	<i>(i) The extent to which landscaping may reduce adverse effects of run-off</i>	The site is well landscaped along the boundaries. The ponds are likely to be landscaped to mitigate them visually. The site is a school, with open area import part of the amenity values both internal and externally.	Compliant
	<i>(j) Any recognised standards promulgated by industry groups.</i>	The proposal is to be undertake in accordance with industry accepted practises.	Compliant

	<i>(k) The means and effectiveness of mitigating stormwater runoff to that expected by the permitted activity threshold.</i>	As per the RS Eng report, the stormwater mitigation measures are expected to result stormwater neutrality.	Compliant
	<i>(l) The extent to which the proposal has considered and provided for climate change.</i>	The proposal has considered climate change and the mitigation proposed is appropriate.	Compliant
	<i>(m) The extent to which stormwater detention ponds and other engineering solutions are used to mitigate any adverse effects.</i>	Ponds are used to mitigate the stormwater resulting from the development and are deemed to be appropriate in this instance.	Compliant

11.6	Setback from Boundaries		
	Requirement	Comment	Compliance
	<i>(a) Where there is a setback, the extent to which the proposal is in keeping with the existing character and form of the street or road, in particular with the external scale, proportions and buildings on the site and on adjacent sites.</i>	The extension to the school buildings will continue to be in keeping with the existing character and form of the street or road, in particular with the external scale, proportions and buildings on the site and on adjacent sites. As noted previously the site is well landscaped both along State Highway 10 and Blue Gum Lane, with the additions and alterations following the existing form and design for school buildings.	Compliant
	<i>(b) The extent to which the building(s) intrudes into the street scene or reduces outlook and privacy of adjacent properties.</i>	The building will not intrude into the street scene and will not result in a reduction of outlook or privacy of adjacent properties, noting that the neighbours to the north have an interest in the application site.	Compliant
	<i>(c) The extent to which the buildings restrict visibility for vehicle manoeuvring.</i>	The proposal will not result in restriction of visibility for vehicle manoeuvring.	Compliant

	<i>(d) The ability to mitigate any adverse effects on the surrounding environment, for example by way of street planting.</i>	As noted previously the site is well landscaped both along State Highway 10 and Blue Gum Lane, with the additions and alterations following the existing form and design for school buildings.	Compliant
	<i>(e) The extent to which provision has been made to enable and facilitate all building maintenance and construction activities to be contained within the boundaries of the site.</i>	There is suitable separation to boundaries to ensure maintenance of buildings within the site.	Compliant

11.24	Building Coverage		
	Requirement	Comment	Compliance
	<i>(a) The ability to provide adequate landscaping for all activities associated with the site.</i>	the site is well landscaped both along State Highway 10 and Blue Gum Lane, with the additions and alterations following the existing form and design for school buildings. No new landscaping is proposed other than around the stormwater pond. The increase in building coverage is considered to be suitably mitigated internally.	Compliant
	<i>(b) The extent to which building(s) are consistent with the character and scale of the existing buildings in the surrounding environment.</i>	The resulting development of the school will continue to appear as a school and being consistent with the character and appearance of the school building currently existing within the site. The proposal involves the construction and internal alterations of the existing senior block, by increasing the floor area by 221m ² being more suitable for senior students. As a result of the new area for the seniors, internal alterations to	

		<p>the junior block and admin building, including amending the toilet facilities are proposed, including the relocation of the canteen to the old junior block and the construction of verandah along the frontage of the admin and junior block and connecting to the hall and gym. The additions and alterations will maintain the existing well established character of the site. While the proposal results in an increase in building coverage, the additions will not appear visually out of character given the design of the existing and proposed structures along with existing landscaping, ensuring that the proposed additions and alterations will not be visible outside the site.</p> <p>Noise associated with the on-going use of the site for a school will be well within the permitted rural levels, which with new insulated building will continue to be the case.</p>	
	<i>(c) The scale and bulk of the building in relation to the site.</i>	The scale and bulk of the building is consistent with the on-going use of the site for the school and will not appear over developed.	
	<i>(d) The extent to which private open space can be provided for future uses.</i>	There is a large amount of the site that is open space and used for fields, courts and other outdoor activities envisaged for a school.	
	<i>(e) The extent to which the cumulative visual effects of all the buildings impact on landscapes, adjacent sites and the surrounding environment.</i>	As noted previously the additions to the school building are not easily visible from public vantage points given the location of the additions as well as the existing landscaping and will maintain the landscape and character features of the surrounding environment.	

	<i>(f) The extent to which the siting, setback and design of building(s) avoid visual dominance on landscapes, adjacent sites and the surrounding environment.</i>	The additions and alterations will not result in adverse visual dominance on the surrounding landscape given the existing design and bulk of the building.	
	<i>(g) The extent to which landscaping and other visual mitigation measures may reduce adverse effects.</i>	The built development will essentially be internalised to the existing development with no additional mitigation measures proposed.	
	<i>(h) The extent to which non-compliance affects the privacy, outlook and enjoyment of private open spaces on adjacent sites.</i>	The additions to the school building will not result effects on privacy, outlook or private open space of adjacent site given the location of the additions as well as the existing landscaping and will maintain the landscape and character features of the surrounding environment.	

It is demonstrated above that the proposal meets the relevant assessment criteria.

OBJECTIVES AND POLICIES

- **Chapter 8.6 Rural Environment – Section 6 Rural Production**
 - Objectives 8.6.3.1 to 8.6.3.9
 - Policies 8.6.4.1 to 8.6.4.9

8.6	Rural Environment – Section 6 Rural Production		
	Objectives	Comment	Compliance
<i>8.6.3.1</i>	<i>To promote the sustainable management of natural and physical resources in the Rural Production Zone.</i>	In this case the proposal represents the continue sustainable management of the site and on-going use for educational purposes.	Compliant
<i>8.6.3.2</i>	<i>To enable the efficient use and development of the Rural Production Zone in a</i>	The resulting development of the school will continue to appear as a school and being	Compliant

	<p><i>way that enables people and communities to provide for their social, economic, and cultural well being and for their health and safety.</i></p>	<p>consistent with the character and appearance of the school building currently existing within the site. The proposal involves the construction and internal alterations of the existing senior block, by increasing the floor area by 221m² being more suitable for senior students. As a result of the new area for the seniors, internal alterations to the junior block and admin building, including amending the toilet facilities are proposed, including the relocation of the canteen to the old junior block and the construction of verandah along the frontage of the admin and junior block and connecting to the hall and gym. The additions and alterations will maintain the existing well established character of the site. While the proposal results in an increase in building coverage, the additions will not appear visually out of character given the design of the existing and proposed structures along with existing landscaping, ensuring that the proposed additions and alterations will not be visible outside the site.</p> <p>Noise associated with the on-going use of the site for a</p>	
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		school will be well within the permitted rural levels, which with new insulated building will continue to be the case.	
8.6.3.3	<i>To promote the maintenance and enhancement of the amenity values of the Rural Production Zone to a level that is consistent with the productive intent of the zone.</i>	Overall the proposal is considered to maintain and enhance the amenity values of this area through the design of buildings.	Compliant
8.6.3.4	<i>To promote the protection of significant natural values of the Rural Production Zone.</i>	The natural features within the site are to be maintained, including the landscape vegetation.	Compliant
8.6.3.5	<i>To protect and enhance the special amenity values of the frontage to Kerikeri Road between its intersection with SH10 and the urban edge of Kerikeri.</i>	The property does not have frontage to Kerikeri Road, therefore this objective is not applicable.	Compliant
8.6.3.6	<i>To avoid, remedy or mitigate the actual and potential conflicts between new land use activities and existing lawfully established activities (reverse sensitivity) within the Rural Production Zone and on land use activities in neighbouring zones.</i>	The additions and alterations to the existing school and will not conflict with the existing development on Blue Gum Lane and can be suitably absorbed by the rural environment.	Compliant
8.6.3.7	<i>To avoid remedy or mitigate the adverse effects of incompatible use or development on natural and physical resources.</i>	The effects of this development are considered to be suitably mitigated through the design and location to ensure that the natural and physical	Compliant

		resources of the site are maintained.	
8.6.3.8	<i>To enable the efficient establishment and operation of activities and services that have a functional need to be located in rural environments.</i>	The engineering reports supplied with this application confirm that the development can be suitably serviced which all have a functional need to ensure the viability of the proposal.	Compliant
8.6.3.9	<i>To enable rural production activities to be undertaken in the zone.</i>	Given the limited size of the property there are limited rural production activities that can be economic. Noting that the school has an existing use.	Compliant

	Policies	Comment	Compliance
8.6.4.1	<i>That the Rural Production Zone enables farming and rural production activities, as well as a wide range of activities, subject to the need to ensure that any adverse effects on the environment, including any reverse sensitivity effects, resulting from these activities are avoided, remedied or mitigated and are not to the detriment of rural productivity.</i>	Given the limited size of the property there are limited rural production activities that can be economic. The effects of this development are considered to be suitably mitigated through the design and location as well as the existing landscaping, to ensure that the natural and physical resources of the site are maintained. As demonstrated in the previous sections of this report, the effects of the development are considered to be less than minor. In terms of reverse sensitivity, the applicants are the owners of the land.	Compliant

8.6.4.2	<i>That standards be imposed to ensure that the off site effects of activities in the Rural Production Zone are avoided, remedied or mitigated.</i>	Other than traffic there will be no off site effects.	Compliant
8.6.4.3	<i>That land management practices that avoid, remedy or mitigate adverse effects on natural and physical resources be encouraged.</i>	The natural features within the site are to be maintained.	Compliant
8.6.4.4	<i>That the type, scale and intensity of development allowed shall have regard to the maintenance and enhancement of the amenity values of the Rural Production Zone to a level that is consistent with the productive intent of the zone.</i>	As is demonstrated in the previous sections of this report, the type, scale and intensity of development will ensure the maintenance of amenity values of this area.	Compliant
8.6.4.5	<i>That the efficient use and development of physical and natural resources be taken into account in the implementation of the Plan.</i>	The proposal is considered to be an efficient use of land given the existing school building.	Compliant
8.6.4.6	<i>That the built form of development allowed on sites with frontage to Kerikeri Road between its intersection with SH10 and Cannon Drive be maintained as small in scale, set back from the road, relatively inconspicuous and in</i>	The property does not have frontage to Kerikeri Road, therefore this objective is not applicable.	Compliant

	<i>harmony with landscape plantings and shelter belts.</i>		
8.6.4.7	<i>That although a wide range of activities that promote rural productivity are appropriate in the Rural Production Zone, an underlying goal is to avoid the actual and potential adverse effects of conflicting land use activities.</i>	The proposal is considered to avoid any conflicts with existing production activities and avoids, remedies and mitigates any potential effects on the environment. The effects of the development are considered to be less than minor.	Compliant
8.6.4.8	<i>That activities whose adverse effects, including reverse sensitivity effects, cannot be avoided remedied or mitigated are given separation from other activities.</i>	The effects of this development are considered to be suitably mitigated through the design and location and existing landscaping, to ensure that the natural and physical resources of the site are maintained. As demonstrated in the previous sections of this report, the effects of the development are considered to be less than minor.	Compliant
8.6.4.9	<i>That activities be discouraged from locating where they are sensitive to the effects of or may compromise the continued operation of lawfully established existing activities in the Rural Production zone and in neighbouring zones.</i>	As above	Compliant

The proposal takes into consideration the existing features of the property and is considered to adequately avoid, remedy and mitigate any potential effects through the design of the buildings.

The proposal is not inconsistent with the objectives and policies as demonstrated in the previous sections of this report.

PROPOSED DISTRICT PLAN

OBJECTIVES AND POLICIES

PART 3 – AREA-SPECIFIC MATTERS - SPECIAL PURPOSE ZONES - Horticulture

The objectives and policies outlined in HZ-O1 to O3 and HZ-P1 to HZ-P7 seek to ensure the Horticulture zone is managed to ensure its long-term availability for horticultural activities and its long-term protection for the benefit of current and future generations.

The proposal will not compromise the allotments' potential to function as rural productive properties as the site is already utilized for a school, being an extension to existing school activities. The site is not use or proposed to be used for production given the fact that it is a well-established education facility necessary. The proposed additions and alterations are necessary for the supporting activities on the land and considered to be exempt under 3.9(2)(a) of the National Policy Statement for Highly Productive Land.

The soils within the property is class 1 being highly productive.

It is also worthy to note that the future zoning of the property is Horticulture, where the minimum area of land suitable for horticultural purposes is 4 hectares (as a discretionary activity) and 10 hectares (as a controlled activity). The site has a site area of well less than the above and thus will not be large enough to operate for horticulture in the future.

The proposal is not inconsistent with the objectives and policies as demonstrated in the previous sections of this report, the above objectives and policies have little weight as this document is still progressing through the decision and appeal process.

PART II OF THE RESOURCE MANAGEMENT ACT

Part II of the Act sets out the Purpose and Principles. This proposal is in keeping with Part II as the effects of the proposal on the environment will be minor and the proposal will not compromise the ability of this site to be used by existing and future generations, also the life supporting capacity of air, water, soil and ecosystems will not be compromised.

Section 5 of the Resource Management Act 1991 (the Act) describes the Purpose and Principles of the Act and provides a definition of 'sustainable management' which includes reference to

managing the use and development of natural and physical resources at a rate that allows people and communities to provide for their wellbeing, whilst avoiding, remedying and mitigating any adverse effects of activities on the environment.

This involves sustaining resource potential (excluding minerals), safeguarding the life supporting capacity of air, water, soil and ecosystems and avoiding, remedying or mitigating adverse effects. The effects of this proposal on the environment have been described above. The proposal is considered to be consistent with the Purposed and Principles outlined above as the effects on character and amenity will be no more than minor. Further any potential effects can be adequately avoided, remedied and mitigated.

Section 6 of the Act requires all persons exercising functions and powers under the Act to recognise and provide for matters of national importance in relation to the natural character of the coastal environment, wetlands, lakes and rivers and the protection of them from inappropriate subdivision use and development. Outstanding natural features and landscapes are also to be protected from inappropriate subdivision, use and development.

The proposal is considered to be consistent with section 6 of the Act as there are considered to be no matters of national importance on this site.

Section 7 relates to other matters that are to which regard must be had in achieving the sustainable management of natural and physical resources: The proposed land use and subdivision is considered to be consistent with the provisions of the section of the Act.

Section 8 requires that account shall be taken of the principles of the Treaty of Waitangi. The proposal is considered to be consistent with the matters outlined in Section 8.

Overall, it is considered that the proposal is in keeping with Part II of the Resource Management Act 1991.

CONCLUSION

It is concluded that the proposal will have less than minor adverse effects on the surrounding environment. Further the proposed activity is considered to be in keeping with the relevant objectives and policies set out in Far North District Plan (proposed and operative).

As a result of the above granting consent to this proposal will be in keeping with the provisions set out in Part II of the Resource Management Act 1991 and sections 104 and 104B.

Appendix 1 – Record of Title

Appendix 2 – Architectural Plans

Appendix 3 – Stormwater Report



**RECORD OF TITLE
UNDER LAND TRANSFER ACT 2017
FREEHOLD**

**Guaranteed Search Copy issued under Section 60 of the Land
Transfer Act 2017**




R.W. Muir
Registrar-General
of Land

Identifier **377813**
Land Registration District **North Auckland**
Date Issued 15 December 2010

Prior References

152551 152552

Estate Fee Simple
Area 1.2467 hectares more or less
Legal Description Lot 1 Deposited Plan 394493

Registered Owners

Northland Education Trust

Interests

Appurtenant hereto are water rights created by Transfer A298025 - 5.7.1968 at 9:35 am

Appurtenant hereto are water rights created by Transfer A304149 - 6.8.1968 at 11:45 am

573901.1 Gazette Notice declaring adjoining State Highway No.10 to be a limited access road - 31.1.1979 at 10.51 am
(affects part formerly Lot 2 DP 337195)

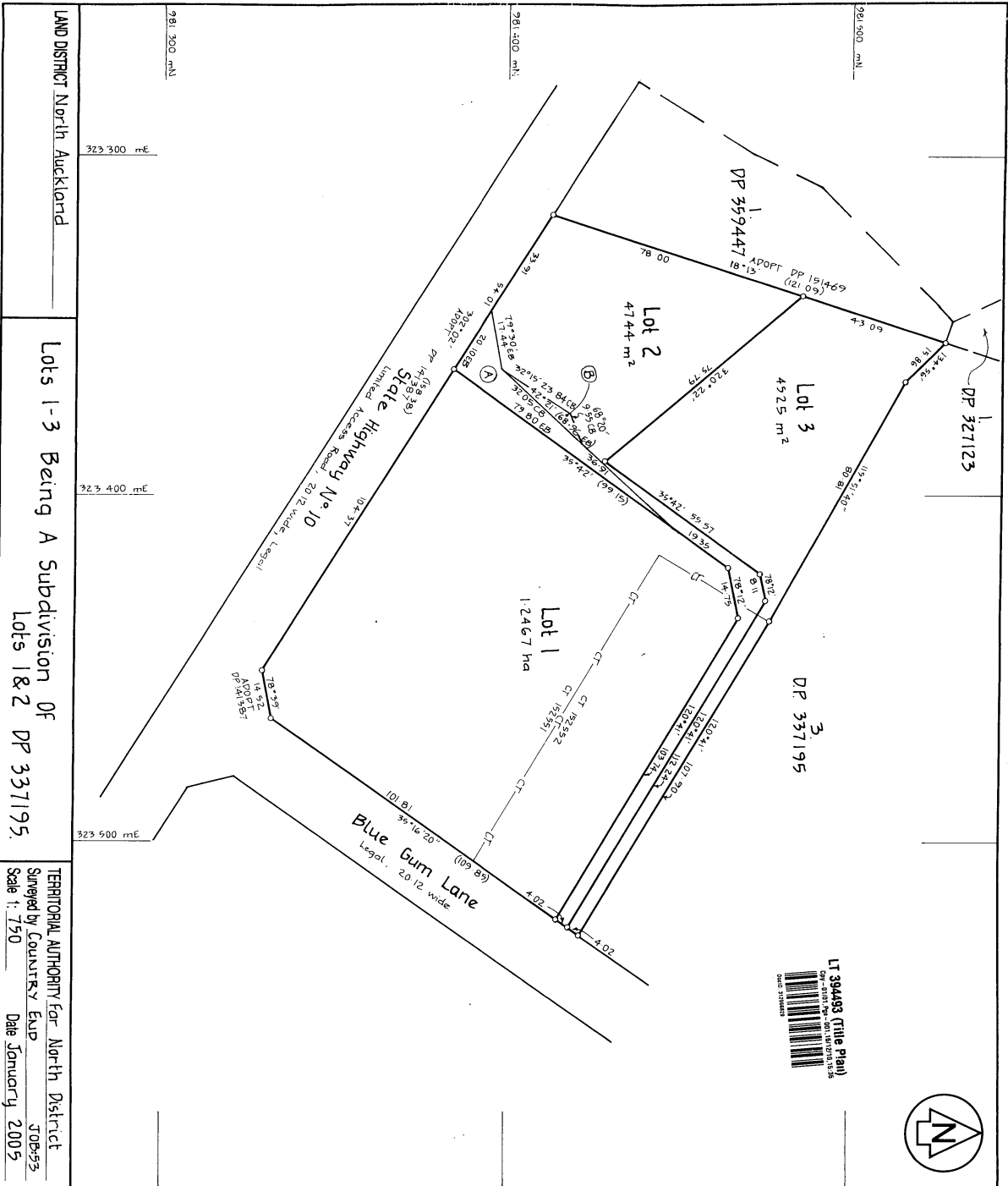
6109883.1 Consent Notice pursuant to Section 221 Resource Management Act 1991 - 10.8.2004 at 9:00 am

8657867.2 Consent Notice pursuant to Section 221 Resource Management Act 1991 - 15.12.2010 at 9:05 am

Land Covenant in Easement Instrument 8657867.5 - 15.12.2010 at 9:05 am

Appurtenant hereto is a stormwater easement created by Easement Instrument 8657867.6 - 15.12.2010 at 9:05 am

The easements created by Easement Instrument 8657867.6 are subject to Section 243 (a) Resource Management Act 1991



Approvals
I hereby declare that this plan was approved by the Land Information NZ on 15/12/2010 for the proposed subdivision of Section 223 of the Resource Management Act 1991 on the 18th day of February 2005, subject to the granting or reserving of the easement set out in the Memorandum hereon.

Approved as to addition of Covenant Area B
9.11.2009
Processing Centre Survey Advisor

Memorandum of Easement
RC 2041053
Authorized Officer

Show	Purpose	Servient Tenement	Dominant Tenement
(A)	Storm water	Lot 2 hereon	Lot 1 hereon

UNLESS OTHERWISE STATED, PERIMETER BOUNDARIES ARE ADAPTED FROM DP 337195
KEAS (A) & (B) ARE SUBJECT TO A LAND COVENANT

New S.T. Allocated:
Lot 1 377813
Lot 2 377814
Lot 3 377815

Class of Survey: Class 1
Total Area: 2173.6 ha
Comprised in S.T. 152551 (AII) & 152552 (AII)

1. Rex Dow Williams
being a person entitled to practice as a licensed cadastral surveyor, certify that:
The surveys to which this document relates are accurate, and were undertaken by me or under my direction in accordance with the Cadastral Survey Act 2002 and the Surveyor-General's Rules for Cadastral Survey, 2002/12.
The enclosed documents and their been created in accordance with the Act and the Rules.

Signed: Rex Dow Williams Date: 29/10/2010

Field Book: 0
Tape Book: 0
Reference Pins: 0
Examined: 0
Correct: 0

Approved as to Survey by Land Information NZ on
15/12/2010

Deposited by Land Information NZ on
15/12/2010

File Number: 107 205
Reference: DP 394493

LAND DISTRICT North Auckland

Lots 1-3 Being A Subdivision Of DP 337195

Scale 1:750

Surveyed by Country Eup

Date January 2005

TERRITORIAL AUTHORITY for North District

30855

FAR NORTH DISTRICT COUNCIL



THE RESOURCE MANAGEMENT ACT 1991

CONO 6109883.1 Cons

Cpy - 01/01, Pgs - 001, 24/08/04, 10:59



DdocID: 311548483

SECTION 221 - CONSENT NOTICE

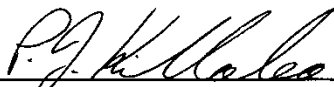
REGARDING RC2031178
The subdivision of Lot 2 DP 197633
North Auckland Registry.

PURSUANT to Section 221 for the purposes of Section 224 of the Resource Management Act 1991, this Consent Notice is issued by the FAR NORTH DISTRICT COUNCIL to the effect that conditions described in the schedule below are to be complied with on a continuing basis by the subdividing owner and the subsequent owners after the deposit of the survey plan, and is to be registered on the title of Lots 1 - 3 DP 337195

SCHEDULE

- i. The operation of agricultural and horticultural equipment including sprays and chemicals (subject to compliance with any relevant legislation) may be a permitted activity. Accordingly, where rainwater is collected from exposed surfaces for human consumption in connection with any new residential development the occupiers of any such dwelling shall install an approved water filtration system. The water quality system is to meet the guidelines contained within the Ministry of Health Publication dated 1995 entitled "Guidelines for Drinking Water Quality Management for NZ" and any subsequent amendments.

SIGNED:


by the FAR NORTH DISTRICT COUNCIL
under delegated authority:
RESOURCE CONSENTS MANAGER

DATED at **KAIKOHE** this *3rd* day of *August* 2004

RC2031178
SRM\CERT\3221
4hmark221

View Instrument Details



Instrument No 8657867.2
Status Registered
Date & Time Lodged 15 December 2010 09:05
Lodged By Simonsen, Roger Martin
Instrument Type Consent Notice under s221(4)(a) Resource Management Act 1991



Affected Computer Registers	Land District
152551	North Auckland
152552	North Auckland

Annexure Schedule: Contains 1 Page.

Signature

Signed by Roger Martin Simonsen as Territorial Authority Representative on 02/11/2010 10:58 AM

*** End of Report ***



Private Bag 752, Memorial Ave

Kaikōhe 0400, New Zealand

Freephone: 0800 920 029

Phone: (09) 405 2750

Fax: (09) 401 2137

Email: ask.us@fndc.govt.nz

Website: www.fndc.govt.nz

THE RESOURCE MANAGEMENT ACT 1991

SECTION 221 : CONSENT NOTICE

REGARDING RC 2041053 and 2080610
the Subdivision of Lots 1 & 2 DP 337195
North Auckland Registry

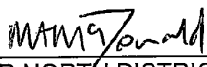
PURSUANT to Section 221 and for the purpose of Section 224 (c)(ii) of the Resource Management Act 1991, this Consent Notice is issued by the **FAR NORTH DISTRICT COUNCIL** to the effect that conditions described in the schedule below are to be complied with on a continuing basis by the subdividing owner and the subsequent owners after the deposit of the survey plan, and these are to be registered on the titles of the allotments specified under each condition below.

SCHEDULE

Lots 1 – 3 DP 394493

- The operation of agricultural and horticultural equipment including sprays and chemicals (subject to compliance with any relevant legislation) may be a permitted activity. Accordingly, where rainwater is collected from exposed surfaces for human consumption in conjunction with any development on the site, the occupiers of any such development on the lots shall install an approved water filtration system.

SIGNED:


By the FAR NORTH DISTRICT COUNCIL
Under delegated authority:
PRINCIPAL PLANNER

DATED at Kerikeri this 12th day of November 2009.



View Instrument Details

Instrument No 8657867.5
Status Registered
Date & Time Lodged 15 December 2010 09:05
Lodged By Simonsen, Roger Martin
Instrument Type Easement Instrument



Affected Computer Registers	Land District
377813	North Auckland
377814	North Auckland

Annexure Schedule: Contains 2 Pages.

Grantor Certifications

- I certify that I have the authority to act for the Grantor and that the party has the legal capacity to authorise me to lodge this instrument
- I certify that I have taken reasonable steps to confirm the identity of the person who gave me authority to lodge this instrument
- I certify that any statutory provisions specified by the Registrar for this class of instrument have been complied with or do not apply
- I certify that I hold evidence showing the truth of the certifications I have given and will retain that evidence for the prescribed period

Signature

Signed by Roger Martin Simonsen as Grantor Representative on 02/11/2010 10:58 AM

Grantee Certifications

- I certify that I have the authority to act for the Grantee and that the party has the legal capacity to authorise me to lodge this instrument
- I certify that I have taken reasonable steps to confirm the identity of the person who gave me authority to lodge this instrument
- I certify that any statutory provisions specified by the Registrar for this class of instrument have been complied with or do not apply
- I certify that I hold evidence showing the truth of the certifications I have given and will retain that evidence for the prescribed period

Signature

Signed by Roger Martin Simonsen as Grantee Representative on 02/11/2010 10:59 AM

*** End of Report ***

Approved by Registrar-General of Land under No. 2002/6055
Easement instrument to grant easement or profit à prendre or create land covenant
 Sections 90A & 90F, Land Transfer Act 1952

Land registration district

Wellington

BARCODE

Grantor

Surname must be underlined

NORTHLAND EDUCATION TRUST

Grantee

Surname must be underlined

NORTHLAND EDUCATION TRUST

Grant* of easement or profit a prendre or creation or covenant

The Grantor, being the registered proprietor of the servient tenements(s) set out in Schedule A, grants to the Grantee (and, if so stated, in gross) the easement(s), profit(s) a prendre, set out in Schedule A, or creates the covenant(s) set out in Schedule A, with the rights and powers or provisions set out in the Annexure Schedule(s).

Schedule A

Continue in additional Annexure Schedule if required.

Purpose (nature and extent) of easement profit, or covenant	Shown (plan reference)	Servient tenement (Identifier/CT)	Dominant tenement (Identifier/CT or in gross)
Land Covenants		377814	377813

Easements or profits à prendre rights and powers (including terms, covenants, and conditions)

Delete phrases in [] and insert memorandum numbered as required.
 Continue in additional Annexure Schedule if required.

~~Unless otherwise provided below the rights and powers implied in specific classes of easement are those prescribed by the Land Transfer Regulations 2002 and/or the Ninth Schedule of the Property Law Act 1952.~~

~~The implied rights and powers are [varied] [negatived] [added to] or [substituted] by:~~

~~Memorandum number _____, registered under section 155A of the Land Transfer Act 1952].~~

~~[the provisions set out in Annexure Schedule 2].~~

Covenant provisions

Delete phrases in [] and insert memorandum number as required.
 Continue in additional Annexure Schedule if required.

The provisions applying to the specified covenants are those set out in:

~~[Memorandum number _____, registered under section 145A of the Land Transfer Act 1952]~~

~~[Annexure Schedule]~~

Approved by Registrar-General of Land under No. 2002/5032
Annexure Schedule

Insert type of instrument
"Mortgage", "Transfer", "Lease" etc

Easement Instrument dated Page of Pages

(Continue in additional Annexure Schedule, if required)

The Grantor shall be bound by the following covenants:

1. The grantor shall not at any time hereafter construct nor erect nor permit to be constructed or erected on the areas marked "A" and "B" on Plan 394493 any building or any part of any building in order to meet the requirements of building separation and the spread of flame as set out in Table 6.2 of the New Zealand Building Code Acceptable Solutions C/AS1.



View Instrument Details

Instrument No 8657867.6
Status Registered
Date & Time Lodged 15 December 2010 09:05
Lodged By Simonsen, Roger Martin
Instrument Type Easement Instrument



Affected Computer Registers	Land District
377813	North Auckland
377814	North Auckland

Annexure Schedule: Contains 2 Pages.

Grantor Certifications

- I certify that I have the authority to act for the Grantor and that the party has the legal capacity to authorise me to lodge this instrument
- I certify that I have taken reasonable steps to confirm the identity of the person who gave me authority to lodge this instrument
- I certify that any statutory provisions specified by the Registrar for this class of instrument have been complied with or do not apply
- I certify that I hold evidence showing the truth of the certifications I have given and will retain that evidence for the prescribed period

Signature

Signed by Roger Martin Simonsen as Grantor Representative on 02/11/2010 10:59 AM

Grantee Certifications

- I certify that I have the authority to act for the Grantee and that the party has the legal capacity to authorise me to lodge this instrument
- I certify that I have taken reasonable steps to confirm the identity of the person who gave me authority to lodge this instrument
- I certify that any statutory provisions specified by the Registrar for this class of instrument have been complied with or do not apply
- I certify that I hold evidence showing the truth of the certifications I have given and will retain that evidence for the prescribed period

Signature

Signed by Roger Martin Simonsen as Grantee Representative on 02/11/2010 10:59 AM

*** End of Report ***

Approved by Registrar-General of Land under No. 2002/6055
Easement instrument to grant easement or profit à prendre or create land covenant
 Sections 90A & 90F, Land Transfer Act 1952

Land registration district

North Auckland

BARCODE

Grantor

Surname must be underlinedNORTHLAND EDUCATION TRUST

Grantee

Surname must be underlinedNORTHLAND EDUCATION TRUSTGrant* of easement or *profit a prendre* or creation or covenant

The Grantor, being the registered proprietor of the servient tenements(s) set out in Schedule A, grants to the Grantee (and, if so stated, in gross) the easement(s), *profit(s) a prendre*, set out in Schedule A, or creates the covenant(s) set out in Schedule A, with the rights and powers or provisions set out in the Annexure Schedule(s).

Schedule A

Continue in additional Annexure Schedule if required.

Purpose (nature and extent) of easement profit, or covenant	Shown (plan reference) on DP 394493	Servient tenement (Identifier/CT)	Dominant tenement (Identifier/CT or in gross)
Stormwater	A	377814	377813

Easements or profits à prendre rights and powers (including terms, covenants, and conditions)

Delete phrases in [] and insert memorandum numbered as required.
 Continue in additional Annexure Schedule if required.

Unless otherwise provided below the rights and powers implied in specific classes of easement are those prescribed by the Land Transfer Regulations 2002 and/or the Ninth Schedule of the Property Law Act 1952.

The implied rights and powers are ~~varied~~ ~~negated~~ ~~added to~~ or ~~substituted~~ by:

Memorandum number _____, registered under section 155A of the Land Transfer Act 1952.

[the provisions set out in Annexure Schedule].

Covenant provisions
Delete phrases in [] and insert memorandum number as required.
Continue in additional Annexure Schedule if required.

~~The provisions applying to the specified covenants are those set out in:~~
~~[Memorandum number _____, registered under section 115A of the Land Transfer Act 1952]~~
~~[Annexure Schedule 2]~~

Approved by Registrar-General of Land under No. 2002/5032
Annexure Schedule

Insert type of instrument
"Mortgage", "Transfer", "Lease" etc

Easement Instrument dated _____ Page 2 of 2 Pages

(Continue in additional Annexure Schedule, if required)

Continuation of "Terms covenants and conditions"

1. Where there is a conflict between the provisions of the Fourth Schedule to the Land Transfer Regulations 2002 and/or the Fifth Schedule to the Property Law Act 2007 and the modifications in the Easement Instrument, the modifications in this Easement Instrument must prevail.
2. Where the need for replacement repair or maintenance of the easement facility is directly attributable to the omissions, actions or default of either the Grantee or the Grantor alone then in any such case the costs of the necessary replacement repair or maintenance work shall be borne wholly by such of the Grantee or the Grantor who is at fault.
3. No power is implied for either party to terminate the easement rights for breach of any provisions in this instrument by the other party or for any other cause, it being the parties intention that the easement rights will continue forever unless surrendered.
4. Sub-clauses 11(1) and (2) of the Land Transfer Regulations 2002 are amended by inserting the word "replacement" immediately before the word "repair" in each of those sub-clauses..

DLR

**SCHEDULE FOR LIMITED ACCESS
ROAD DECLARATION**

573901-1GN

sheet 1 of 21 sheets

State Highway No. 10; LEFT HAND SIDE (WEST)			
From: WAITANGI RIVER			
To: WAIPAPA			
GAZETTE INFORMATION			
Access Details at: 14 2 70			
No.	Description	MWE Ref. #	LAND IN NORTH AUCKLAND LAND REGISTRATION DISTRICT
	START OF LIMITED ACCESS ROAD R.S. 0 R.P. 8.45 (CENTRELINE OF BRIDGE)		
	WAITANGI RIVER		
Nil	No existing entrance to State Highway - access point allocated	1	Crown Land - Reserved from Sale Section 58 Land Act 1948
9	Farm Gate Farm Gate Vehicle Access Vehicle Access Double Farm Gates Farm Gate Farm Gate Farm Gate Farm Gate	2 3 4 5 6 7 8 9 10	Allotment 35 Parish of Waitangi C.T. 33A/1327
Nil	No existing entrance to State Highway - access point allocated	11	Allotment 33 Parish of Waitangi No Registration - Formerly C.T. 229/268
	PUBLIC ROAD - Not Formed		

* As shown on Plan No LA 11/247 deposited in the office of at Wellington.

SCHEDULE FOR LIMITED ACCESS ROAD DECLARATION

sheet 2 of 21 sheets

State Highway No. <u>10</u> ; LEFT HAND SIDE (WEST)			
From; WAITANGI RIVER			
To: WAIPAPA			
GAZETTE INFORMATION			
Access Details at: <u>14.3.73</u>			
		LAND IN NORTH AUCKLAND LAND REGISTRATION DIST.	
No.	Description	MWD Ref. #	
1	Vehicle Access - also gives access to adjoining land in same ownership	12	Allotment 38 Parish of Waitangi, Part C.T. 42B/249
1	Farm Gate - also gives access to adjoining land in same ownership	13	Allotment 37 Parish of Waitangi, Part C.T. 42B/250
Nil	No existing entrance to State Highway - practical access over adjoining land in same occupation	-	Allotment 36 Parish of Waitangi C.T. 33A/1467

* As shown on Plan No LA 11/24/73 deposited in the office of
at Wellington.

SCHEDULE FOR LIMITED ACCESS ROAD DECLARATION

sheet 3 of 21 sheets

State Highway No. 10 ; LEFT HAND SIDE (WEST)			
From; WAITANGI RIVER			
To; WAIPAPA			
GAZETTE INFORMATION			
Access Details at: 28.2.78			LAND IN NORTH AUCKLAND LAND REGISTRATION DIST.
No.	Description	MWD Ref. #	
Nil	No existing entrance to State Highway - access point allocated	14	Lot 9 D.P. 59516 C.T. 14D/744 <i>62A/993</i>
1	Vehicle Access	15	Lot 12 C.T. 14D/747 D.P. 59516 ✓
1	Vehicle Access	16	Lot 8 D.P. 59516 C.T. 14D/744 ✓
1	Vehicle Access	17	Lot 7, D.P. 59516 C.T. 14D/743 ✓
1	Vehicle Access	18	Lot 6 D.P. 59516 C.T. 14D/615 ✓
1	Vehicle Access - also gives practical access to Crown Land	19	Lot 5 D.P. 59516 C.T. 14D/742 - subject to Right-of-Way appurtenant to Crown Land adjoining

* As shown on Plan N^o LA 11/34/1 deposited in the office of at Wellington.

SCHEDULE FOR LIMITED ACCESS ROAD DECLARATION

sheet 4 of 21 sheets

State Highway No. 10 ; LEFT HAND SIDE (WEST)			
From: WAITANGI RIVER			
To: WAIPAPA			
GAZETTE INFORMATION			
Access Details at: 28.2.78			LAND IN NORTH AUCKLAND LAND REGISTRATION DIST.
No.	Description	MWD Ref. #	
Nil	No legal frontage to State Highway - practical access available by legal Right-of-Way over adjoining land	19	Crown Land Gazette 1959 p. 948 - subject to Right-of-Way over adjoining land
1	Vehicle Access	20	Lot 4 D.P. 59516 C.T. 14D/741 ✓
1	Vehicle Access	21	Lot 3 D.P. 59516 C.T. 14D/740 ✓
2	Farm Gate Vehicle Access	22 23	Lot 2 D.P. 59516 C.T. 14D/739 ✓
1	Farm Gate - also gives practical access to Part Section 18	24	Lot 1 D.P. 59516 C.T. 14D/738 - subject to Right-of-Way appurtenant to Part Section 18 ✓
Nil	No legal frontage to State Highway - practical access available by legal Right-of-Way over adjoining land	24	Part Section 18 Block I Kawakawa Survey District C.T. 1D/453 - subject to Right-of-Way over adjoining land ✓

* As shown on Plan No LA 11/3471 deposited in the office of
at Wellington.

SCHEDULE FOR LIMITED ACCESS ROAD DECLARATION

sheet 5 of 21 sheets

State Highway No. <u>10</u> ; <u>LEFT HAND SIDE (WEST)</u>			
From; <u>WAITANGI RIVER</u>			
To: <u>WAIPAPA</u>			
GAZETTE INFORMATION			
Access Details at: <u>28.2.78</u>			LAND IN NORTH AUCKLAND LAND REGISTRATION DIST.
NO.	Description	MWD Ref. #	
1	Vehicle Access	25	Lot 1 D.P. 41114 C.T. 1315/51
2	Vehicle Access Vehicle Access	26 27	Part Lot 2 D.P. 30209 C.T. 1335/18
3	Vehicle Access Vehicle Access Vehicle Access	28 29 30	Lot 1 D.P. 30209 C.T. 742/244
1	Vehicle Access	31	Lot 2 D.P. 27345 C.T. 695/188
1	Vehicle Access	32	Lot 1 D.P. 27345 C.T. 792/117
Nil	No existing entrance to State Highway - access point allocated	33	Lot 3 D.P. 27836 C.T. 885/286
1	Vehicle Access	34	Lot 2, D.P. 81160 Lot 2 D.P. 27836 C.T. 37D/427
1	Commercial - Restaurant	35	Lot 3 D.P. 81160 C.T. 37D/428
1	Vehicle Access	36	Lot 2 D.P. 52942 C.T. 7B/1152

* As shown on Plan No LA 11/34/1 deposited in the office of
at Wellington.

SCHEDULE FOR LIMITED ACCESS ROAD DECLARATION

sheet 5 of 21 sheets

State Highway No. <u>10</u> ; ... LEFT HAND SIDE ... (WEST) ...			
From; <u>WAITANGI RIVER</u>			
To: <u>WAIPAPA</u>			
GAZETTE INFORMATION			
Access Details at: <u>28.2.73</u>			LAND IN NORTH AUCKLAND LAND REGISTRATION DIST.
No.	Description	MWD Ref. #	
1	Vehicle Access	37	Lot 1 D.P. 52942 C.T. 4D/9
1	Vehicle Access	38	Lot 2 D.P. 26697 C.T. 692/324
1	Vehicle Access - also gives access to other properties	39	Lot 3 D.P. 26697 C.T. 827/294 - subject to Right-of-Way appurtenant to Lot 2 D.P. 32350
Nil	No legal frontage to State Highway - practi- cal access available by legal Right-of-Way over adjoining land	39	Lot 2 D.P. 32350 C.T. 829/34 - subject to Right-of-Way over Lot 3 D.P. 26697
1	Vehicle Access - also gives access to other properties	39	Lot 4 D.P. 26697 C.T. 699/14
1	Vehicle Access	40	Lot 1 D.P. 26697 C.T. 685/41
1	Vehicle Access	41	Part Lot 1 D.P. 25753 C.T. 1163/4
Nil	No existing entrance to State Highway - access point allocated	42	Lot 6 D.P. 25253 C.T. 670/31

* As shown on Plan No LA 11/34/1 deposited in the office of
at Wellington.

SCHEDULE FOR LIMITED ACCESS ROAD DECLARATION

sheet 7 of 21 sheets

State Highway No. <u>10</u> ; LEFT HAND SIDE (WEST)			
From: <u>WAITANGI RIVER</u>			
To: <u>WAITAPA</u>			
GAZETTE INFORMATION			
Access Details at: <u>28.2.78</u>			LAND IN NORTH AUCKLAND LAND REGISTRATION DIST.
No.	Description	MWD Ref. #	
Nil	No existing entrance to State Highway - access point allocated	43	Lot 5 D.P. 25253 C.T. 670/30
Nil	No existing entrance to State Highway - access point allocated	44	Lot 4 D.P. 25253 Part C.T. 1574/18
Nil	No existing entrance to State Highway - access point allocated	45	Lot 3 D.P. 25253 Part C.T. 1574/18
Nil	No existing entrance to State Highway - access point allocated	46	Lot 2 D.P. 25253 Part C.T. 1574/18
Nil	No existing entrance directly to State Highway - legal access to Wiroa Road is practical	-	Part Lot 1 D.P. 25253 Part C.T. 1574/18
	WIROA ROAD - Formed		
Nil	No existing entrance to State Highway - legal access to Wiroa Road is practical	-	Part Lot 1 D.P. 22308 C.T. 681/112

As shown on Plan No LA 11/54/1 deposited in the office of
at Wellington.

SCHEDULE FOR LIMITED ACCESS ROAD DECLARATION

sheet 8 of 21 sheets

State Highway No. 10; ...LEFT HAND SIDE (WEST)			
From; WAITANGI RIVER			
To; WAIPAPA			
GAZETTE INFORMATION			
Access Details at: 28.2.78			LAND IN NORTH AUCKLAND LAND REGISTRATION DIST.
No.	Description	MWD Ref. #	
Nil	No existing entrance to State Highway - legal access to Wiroa Road is practical	-	Lot 8 D.P. 66606 C.T. 24C/1383
Nil	No existing entrance to State Highway - practical access available over legal Right-of-Way on adjoining land	48	Lot 7 D.P. 66606 C.T. 24C/1382 - subject to Right-of-Way over Part Lot 6 D.P. 66606
1	Vehicle Access	48	Lot 6 D.P. 66606 C.T. 24C/1381 - subject to Right-of-Way appurtenant to Lots 5 & 7 D.P. 66606
Nil	No existing entrance to State Highway - practical access available over legal Right-of-Way on adjoining land	48	Lot 5 D.P. 66606 C.T. 24C/1380 - subject to Right-of-Way over Part Lot 6 D.P. 66606
	POPLAR LANE - Formed		

As shown on Plan No LA 11/34/1 deposited in the office of
at Wellington.

SCHEDULE FOR LIMITED ACCESS ROAD DECLARATION

sheet 9 of 21 sheets

State Highway No. 10 LEFT HAND SIDE (WEST)			
From: WAITANGI RIVER			
To: WAIPAPA			
GAZETTE INFORMATION			
Access Details at: 28.2.78			LAND IN NORTH AUCKLAND LAND REGISTRATION DIST.
No.	Description	MWD Ref. #	
2	Vehicle Access Vehicle Access	50 51	Lot 1 D.P. 55010 C.T. 14D/1067
1	Vehicle Access - also access available by legal Right-of-Way over adjoining land	52 55	Lot 2 D.P. 28660 C.T. 731/81 - subject to Right-of-Way over Part Lot 1 D.P. 28660
3	Vehicle Access Vehicle Access Farm Gate - also gives access to adjoining land over legal right-of-way	53 54 55	Lot 1 D.P. 28660 C.T. 732/6 - subject to Right-of-Way appurtenant to Lot 1 D.P. 28660
2	Farm Gate Vehicle Access	56 57	Lot 4 D.P. 27362 C.T. 695/102
1	Vehicle Access	58	Lot 3 D.P. 27362Part C.T. 40A/492
1	Vehicle Access	59	Lot 2 D.P. 40415 C.T. 1321/20
1	No existing entrance to State Highway - access point allocated	60	Lot 1 D.P. 43452 C.T. 26C/1173

* As shown on Plan No LA 11/347 deposited in the office of
at Wellington.

SCHEDULE FOR LIMITED ACCESS ROAD DECLARATION

sheet 10 of 21 sheets

State Highway No. 10 ; LEFT HAND SIDE (WEST)			
From: WAITANGI RIVER			
To: WAIPAPA			
GAZETTE INFORMATION			
Access Details at: 28.2.78			
No.	Description	MWD Ref.*	LAND IN NORTH AUCKLAND LAND REGISTRATION DIST.
1	Vehicle Access	61	Part Lot 1 D.P. 40415 C.T. 26C/1172 ✓
1	Vehicle Access	62	Lot 1 D.P. 27362 C.T. 695/360 ✓
2	Vehicle Access Vehicle Access	63 64	Lot 2 D.P. 21956 Part C.T. 644/54 ✓
Nil	No existing entrance to State Highway - legal access to Waimate North Road is practical	-	Lot 1 D.P. 21956 Part C.T. 644/54 ✓
	WAIMATE NORTH ROAD -	Formed	
2	Vehicle Access Vehicle Access	65 66	Part Lot 1 D.P. 25964 Part C.T. 677/57 ✓
	PUKETOTARA STREAM - Part	Reverbed To Be Taken for Road	S.O. 35591
	PUBLIC ROAD -	Not Formed	
1	Vehicle Access	67	Lot 5 D.P. 81288 C.T. 37D/839 ✓

* As shown on Plan No LA 11/34/1 deposited in the office of
at Wellington.

SCHEDULE FOR LIMITED ACCESS ROAD DECLARATION

sheet 11 of 21 sheets

State Highway No. 10; LEFT HAND SIDE (WEST).....			
From: WAITANGI RIVER			
To: WAIPAPA			
GAZETTE INFORMATION			
Access Details at: 28.2.78			LAND IN NORTH AUCKLAND LAND REGISTRATION DIST.
No.	Description	MWD Ref. #	
4	Farm Gate Farm Gate Farm Gate Farm Gate	68 69 70 71	Part Lot 1 D.P. 29895 and Lot 2 D.P. 32003 (Water Easement) C.T. 16D/40 (Balance)
	PUKETOTARA ROAD - Formed		
2	Vehicle Access Vehicle Access	72 73	Part Lots 5 and 6 D.P. 6704 and Part Lot 1 D.P. 32003 (Drainage Easement) C.T. 1022/33
	KERIKERI RIVER - Part For Road - S.O. 35591	Riverbed To Be Taken	
2	Vehicle Access Vehicle Access	74 75	Lot 6 D.P. 69740 C.T. 25C/986
1	Farm Gate	76	Lot 5 C.T. 25C/985 D.P. 69740
1	Vehicle Access	77	Lot 4 D.P. 69740 C.T. 25C/984

* As shown on Plan No LA 17/34/1 deposited in the office of
at Wellington.

SCHEDULE FOR LIMITED ACCESS ROAD DECLARATION

sheet 12 of 21 sheets

State Highway No. 10 ; LEFT HAND SIDE (WEST)			
From; WAIPANGI RIVER			
To: WAIPAPA			
GAZETTE INFORMATION			
Access Details at: 28.2.78			LAND IN NORTH AUCKLAND LAND REGISTRATION DIST.
No.	Description	MWD Ref. #	
Nil	No existing entrance to State Highway - access point allocated	78	Lot 3 D.P. 69740 C.T. 25C/983
2	Vehicle Access Farm Gate	79 80	Lot 2 D.P. 69740 C.T. 25C/982
3	Farm Gate Vehicle Access Vehicle Access	81 82 83	Lot 1 D.P. 69740 C.T. 25C/981
2	Farm Gate Farm Gate	84 85	Pt Lot 1 D.P. 24011 C.T. 1130/123
2	Vehicle Access Vehicle Access	86 87	Part Lot 1 D.P. 41379 C.T. 1130/122
WHIRIWHIRITOA STREAM			
Nil	No existing entrance to State Highway - access point allocated	88	Section 14 Block X Kerikeri Survey Dis- trict C.T. 1925/21
1	Vehicle Access	89	Part Subdivision 2 Old Land Claim No. 60 C.T. 500/207 Ltd

* As shown on Plan No LA 11/24/71 deposited in the office of
at Wellington.

SCHEDULE FOR LIMITED ACCESS ROAD DECLARATION

sheet 14. of 21 sheets

State Highway No. 10... RIGHT HAND SIDE (EAST)...			
From; WAITANGI RIVER			
To; WAIPAPA			
GAZETTE INFORMATION			
Access Details at: 14.3.78			LAND IN NORTH AUCKLAND... LAND REGISTRATION DIST.
No.	Description	MWD Ref. #	
	START OF LIMITED ACCESS ROAD R.S. 0 R.P. 8.45 (CENTRELINE OF BRIDGE)		
	WAITANGI RIVER		
1	Farm Gate	90	Crown Land - Reserved from Sale Section 58, Land Act 1948
2	Vehicle Access Farm Gate	91 92	Allotment 32 Parish of Waitangi C.T. 13C/264
Nil	No existing entrance to State Highway - legal access to Bayley Road is practical	-	Part Lot 1 D.P. 9299 C.T. 1901/67
	BAYLEY ROAD (WAIKARAMU ROAD)	Formed	
4	Vehicle Access Taranaki Gate Taranaki Gate Vehicle Access - also gives access to Pt 4 D.P. 17402	93 94 96 97	Part Lot 1 D.P. 48452 Part C.T. 38A/1321
Nil	No existing entrance to State Highway - access point allocated	95	Allotment 39 Parish of Waitangi Gazette 1976 P. 1513

* As shown on Plan No LA 11/34/1 deposited in the office of
at Wellington.

SCHEDULE FOR LIMITED ACCESS ROAD DECLARATION

sheet 15 of 21 sheets

State Highway No. 10. RIGHT HAND SIDE (EAST)			
From: WAITANGI RIVER			
To: WAIPAPA			
GAZETTE INFORMATION			
Access Details at: 14.3.78			LAND IN NORTH AUCKLAND LAND REGISTRATION DIST.
No.	Description	MWD Ref. #	
2.	No independent entrance to State Highway - C.P.97A allocated. Practical access in use via Access Point No.97 over adjoining land at present.	97A	Part Lot 4 D.P. 17402 C.T. 394/51
Nil	No legal frontage to State Highway - practical access available over adjoining land in same ownership	-	Pukewhau Block C.T. 2D/178

* As shown on Plan No LA 11/34/1 deposited in the office of at Wellington.

SCHEDULE FOR LIMITED ACCESS ROAD DECLARATION

sheet 16 of 21 sheets

State Highway No. 10 ; RIGHT HAND SIDE (EAST)			
From: WAITANGI RIVER			
To: WAIPAPA			
GAZETTE INFORMATION			
Access Details at: 28.2.78			LAND IN NORTH AUCKLAND LAND REGISTRATION DIST.
No.	Description	MWD Ref. #	
1	Vehicle Access	98	Lot 1 D.P. 73031 C.T. 28D/794
2	Vehicle Access Farm Gate	99 100	Lot 1 D.P. 69642 C.T. 25C/632
1	Vehicle Access	101	Lot 1 D.P. 67195 C.T. 26C/255
2	Farm Gate Vehicle Access	102 103	Part Lot 3 D.P. 66059 C.T. 22A/574
1	Vehicle Access	104	Part Old Land Claim No. 3 D.P. 25254 C.T. 31A/1067
1	Vehicle Access	105	Lot 2 D.P. 66059 C.T. 22A/573
1	Vehicle Access	106	Lot 1 D.P. 69643 C.T. 25C/633
1	Vehicle Access	107	Lot 1 D.P. 64008 C.T. 31A/1368

* As shown on Plan No LA 11/34/1 deposited in the office of
at Wellington.

SCHEDULE FOR LIMITED ACCESS ROAD DECLARATION

sheet 17 of 21 sheets

State Highway No. 10 ; RIGHT HAND SIDE (EAST) ...			
From; WAITANGI RIVER			
To; WAIPAPA			
GAZETTE INFORMATION			
Access Details at: 28 7 78			LAND IN NORTH AUCKLAND LAND REGISTRATION DIST.
No.	Description	MWD Ref.*	
2	Vehicle Access Vehicle Access	108 109	Lot 1 D.P. 79091 C.T. 36A/147 ✓
2	Vehicle Access Vehicle Access Farm Gate	110 111	Part Lot 1 D.P. 22710 C.T. 35D/1078 ✓
	KERIKERI ROAD - Formed		
Nil	No existing entrance to State Highway - legal access to Kerikeri Road is practical ..	-	Part Lot 2 D.P. 26953 C.T. 686/159 ✓
1	Vehicle Access	113	Lot 1 D.P. 26953 C.T. 686/158 ✓
1	Vehicle Access	114	Lot 1 D.P. 40317 C.T. 1081/201 ✓
2	Farm Gate Vehicle Access	115 116	Part Lot 6 D.P. 21070 C.T. 1085/282 ✓
2	Vehicle Access Vehicle Access	117 118	Lot 2 D.P. 44403 C.T. 1650/20 ✓
2	Vehicle Access Vehicle Access	119 120	Lot 1 D.P. 44403 C.T. 1632/56 ✓

* As shown on Plan N^o LA. 11/34/1.... deposited in the office of
at Wellington.

SCHEDULE FOR LIMITED ACCESS ROAD DECLARATION

sheet 48 of 21 sheets

State Highway No. 10; RIGHT HAND SIDE (EAST)			
From; WAITANGI RIVER			
To: WAIPAPA			
GAZETTE INFORMATION			
Access Details at: 28.2.78			
NO.	Description	MWD Ref.*	LAND IN NORTH AUCKLAND LAND REGISTRATION DIST.
1	Vehicle Access	121	Part Lot 2 D.P. 21070 and Lot 1 D.P. 21841 C.T. 662/251
Nil	No existing entrance to State Highway - access point allocated	122	Lot 3 D.P. 63500 C.T. 20B/1167
1	Vehicle Access	123	Lot 2 D.P. 63500 C.T. 19D/703
	BLUE GUM LANE - Formed		
1	Farm Gate	124	Lot 12 D.P. 21956 C.T. 648/244
1	Vehicle Access	125	Lot 4 D.P. 46029 Part C.T. 1812/38
1	Vehicle Access	126	Lot 2 D.P. 60963 C.T. 16A/1162
1	Taranaki Gate	127	Lot 1 D.P. 60963 C.T. 16A/1161
	PUBLIC ROAD - Partly Formed		
	PUKETOTARA STREAM - Part Riverbed To Be Taken For Road S.O. 35591		

* As shown on Plan No LA 11/34/1 deposited in the office of
at Wellington.

SCHEDULE FOR LIMITED ACCESS ROAD DECLARATION

sheet 19 of 21 sheets

State Highway No. 10...; RIGHT HAND SIDE (EAST)			
From; WAITANGI RIVER			
To; WAIPAPA			
GAZETTE INFORMATION			
Access Details at: 28.2.78			LAND IN NORTH AUCKLAND LAND REGISTRATION DIST.
No.	Description	MWD Ref. #	
1	Farm Gate	128	Part Lot 1 D.P. 29895 C.T. 15D/999
PUBLIC ROAD - Not Formed			
2	Taranaki Gate Vehicle Access	129 130	Lot 2 D.P. 84170 C.T. 40B/1162
2	Vehicle Access Taranaki Gate	131 133	Lot 1 D.P. 84170 C.T. 40B/1161
1	Vehicle Access	132	Lot 1 D.P. 48929 C.T. 1994/84
1	Vehicle Access	134	Part Lot 2 D.P. 63499, Par C.T. 33B/690
Nil	No existing entrance to State Highway - access point allocated	135	Part Lot 1 D.P. 63499, Part C.T. 33B/688

* As shown on Plan No LA 11/34/1 deposited in the office of
at Wellington.

SCHEDULE FOR LIMITED ACCESS ROAD DECLARATION

sheet 20 of 21 sheets

State Highway No. 10 ; RIGHT HAND SIDE (EAST)			
From: WAITANGI RIVER			
To: WAIPAPA			
GAZETTE INFORMATION			
Access Details at: 28.2.78			LAND IN NORTH AUCKLAND LAND REGISTRATION DIST.
NO.	Description	MWD Ref. #	
2	Vehicle Access Vehicle Access	136 137	Part Lot 2 D.P. 41113 Part C.T. 33B/689
Nil	No existing entrance to State Highway -- access point allocated	138	Part Section 13 Block X Kerikeri Survey District and Part Lot 6 D.P. 6704 C.T. 1126/159
2	Vehicle Access Vehicle Access	139 140	Part Lot 6 D.P. 6704 C.T. 31C/ 1308
	PUBLIC ROAD - Not Formed		
Nil	No existing entrance to State Highway - access to public road (not formed)	-	Part Lot 6 D.P. 6704 C.T. 31C/697
	KERIKERI RIVER - Part Taken for Road		Riverbed To Be S.O. 35591
	PUBLIC ROAD - Partly Formed		
2	Farm Gate Farm Gate	141 142	Part Lot 3 D.R.O. 139 C.T. 500/201 Ltd

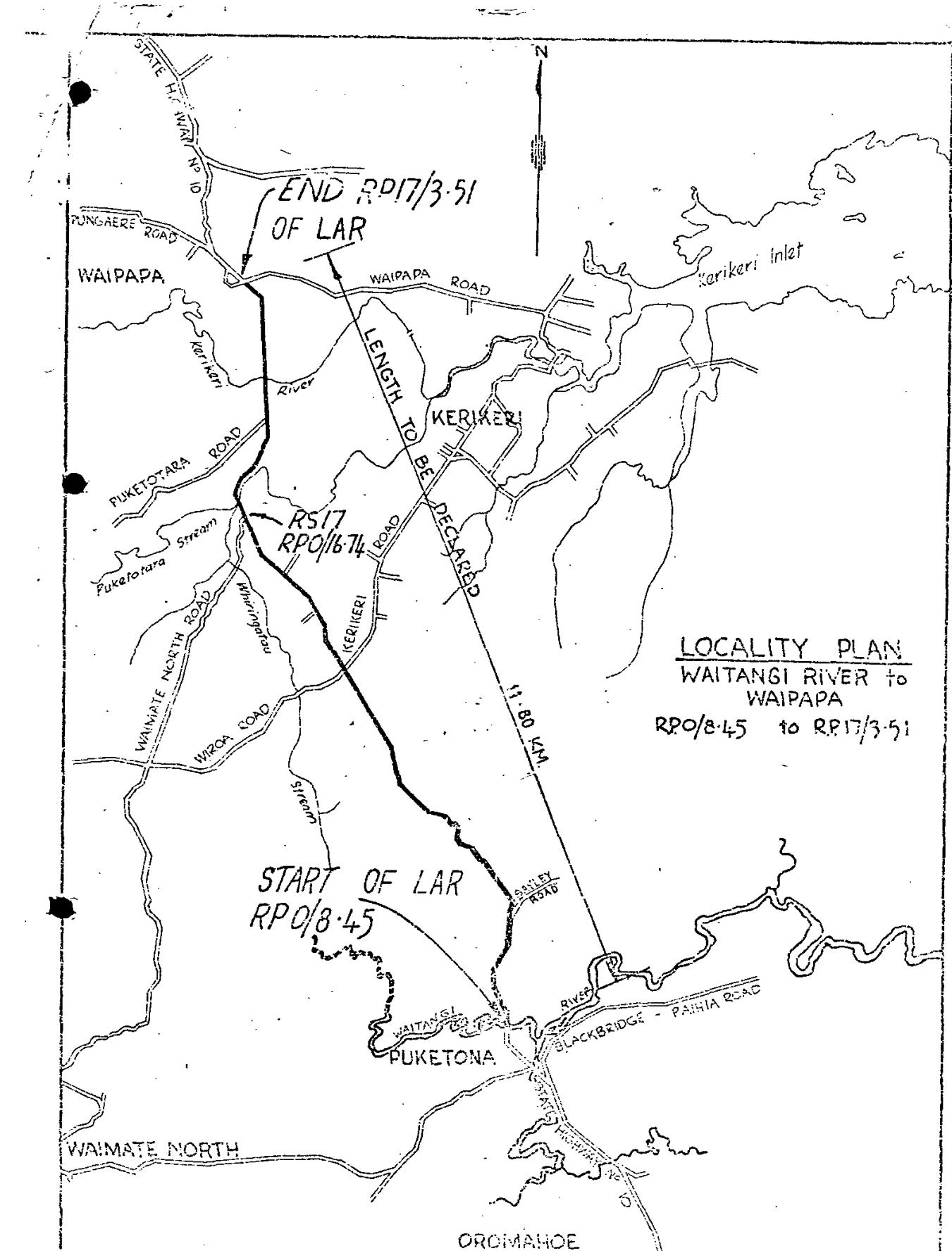
* As shown on Plan No LA 11/34/1 deposited in the office of
at Wellington.

SCHEDULE FOR LIMITED ACCESS ROAD DECLARATION

sheet 21 of 21 sheets

State Highway No. 10 ; ...RIGHT HAND SIDE... (EAST)...			
From; WAITANGI RIVER			
To; WAIPAPA			
GAZETTE INFORMATION			
Access Details at: 28.2.78			LAND IN NORTH...
NO.	Description	MWD Ref. #	AUCKLAND LAND REGISTRATION DIST.
5	Farm Gate Vehicle Access Vehicle Access Vehicle Access Vehicle Access	143 144 145 146 147	Part Lot 2 D.R.O. 139 C.T. 500/204 Ltd
	WHIRIWHIRITOA STREAM		
1	Vehicle Access	148	Part Old Land Claim No. 60 D.P. 22844 C.T. 615/145
1	Vehicle Access	149	Lot 2 D.P. 72637 C.T. 28C/985
	LIMITED ACCESS ROAD ENDS		
	RS. 17	R.P. 3. 51	
	WAIPAPA ROAD - Formed		

As shown on Plan No LA 11/34/1 deposited in the office of
at Wellington.



LOCALITY PLAN
 WAITANGI RIVER to
 WAIPAPA
 RPO/8-45 to RPI7/3-51

HARRISON AND GIBSON
AND PARTNERS

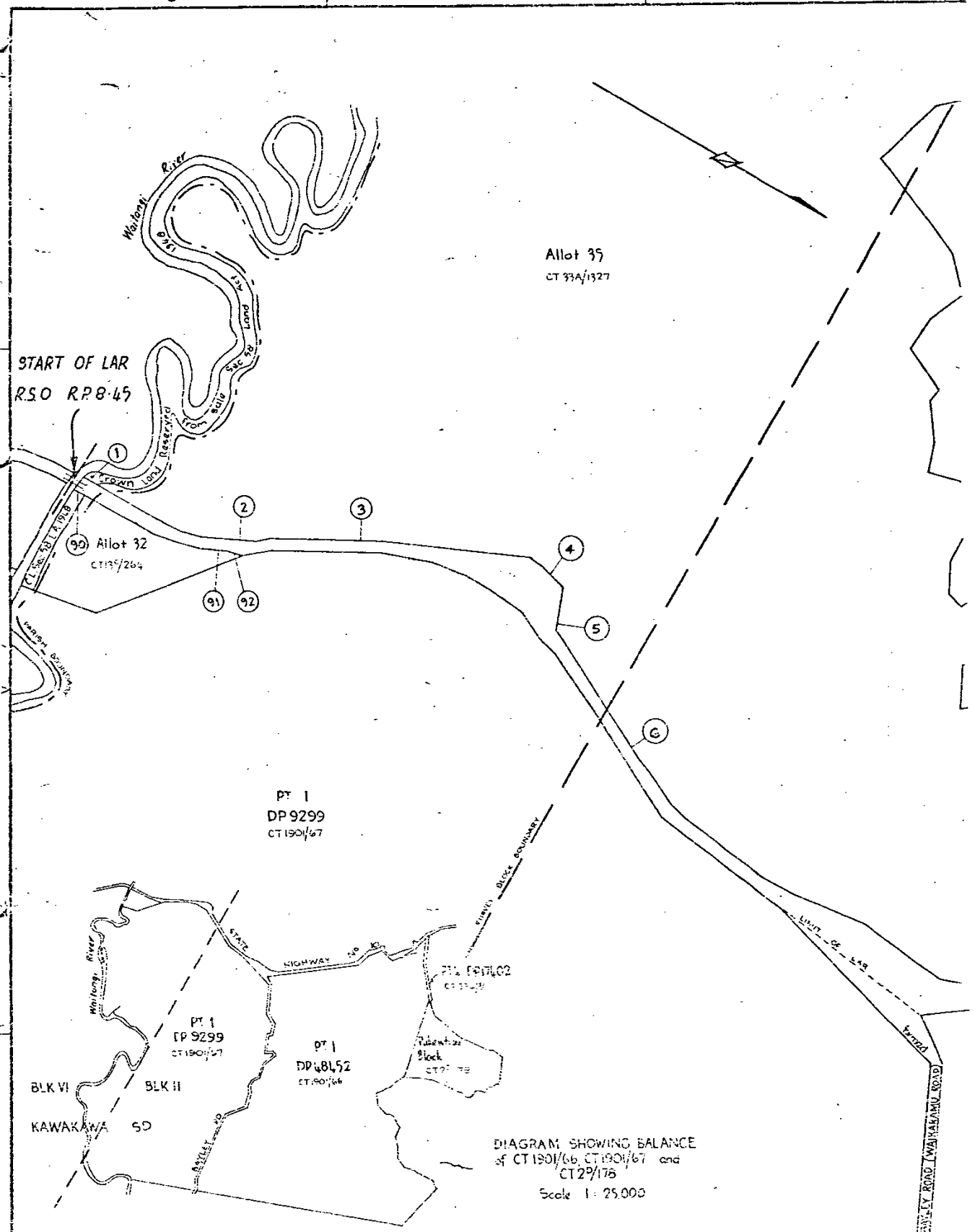
CONSULTING ENGINEERS & REGISTERED SURVEYORS
 111-115 PLYMOUTH ST

LIMITED ACCESS ROAD
 DECLARATION

SH10 RDI R50

SCALE:
 1:63,360

DRAWING No.
 1157



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300
200
150
100
50
10

3
2
1

ORIGINAL SIZE

DIAGRAM SHOWING BALANCE
of CT190/66, CT190/67 and
CT27/78
Scale 1:25,000

AMENDMENTS	BY	APPRO. DATE	APPROVED	BY	CHECKED	DATE	PLAN PREPARED BY HARRISON & PERSONS PARTNERS RESPONSIBLE SUPERVISOR CONSULTING ENGINEERS	Ministry of Works and Development CIVIL ENGINEERING AUCKLAND N.C. McLEOD Commr
	<i>[Signature]</i>		<i>[Signature]</i>	<i>[Signature]</i>	<i>[Signature]</i>	11.2.78	APPROVED <i>[Signature]</i> 20/10/78	

DIAGRAM SHOWING BALANCE
of CT 33/1327
Scale: 1:20,000

BAY OF ISLANDS COUNTY

Allot 33
No Registration

BLK V
BLK VI
BLK I
BLK II
KAWARUA S.D.

Allot 35
CT 33/1327

STATE HIGHWAY 10

10
DP 59516
CT 42/745

11
DP 59516
CT 40/766

9
DP 59516
CT 14/766

Allot 33
No Registration

Allot 35
CT 33/1327

Allot 38
CT 425/219

PT 1
DP 18152
Gaz 1976 p 1464

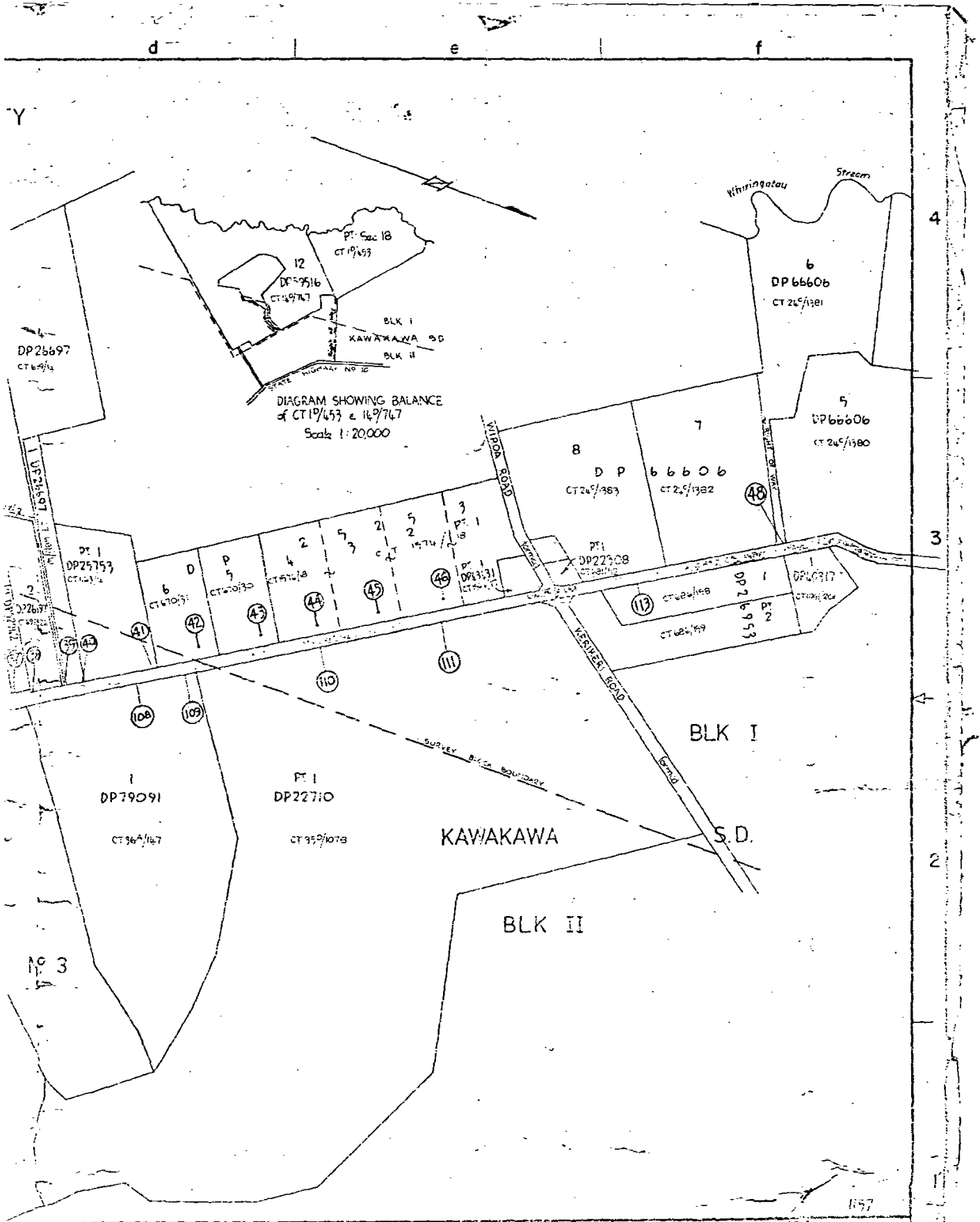
Allot 39
Gaz 1976 p 1463

PARISH OF WAITANGI

PT 1
DP 18152
CT 38A/1321

SH10	RD1	RS 0	ORIGINAL SCALES 1:4000	FILE
LIMITED ACCESS ROAD DECLARATION WAITANGI RIVER to WAIPAPA RP 0/8-45 to RP 17/3-51			GAZETTED L.A.R.	25/11/77
JOB LA 11/34/1		CODE	SHEET 1	REVISION
		of 4 sheets		

080
Whole numbers & mm.
Decimaled expressions & p.
as indicated otherwise



SH10	RD1	RS0	NATIONAL SCALES 1 : 4000
LIMITED ACCESS ROAD DECLARATION WAITANGI RIVER to WAIPAPA			GAZETTED LAR 22/11/75
RP0/8.45	to	RP17/3.51	LA 11/34/1

Whole numbers = mm
Decimised expressions = m
Units = indicated otherwise

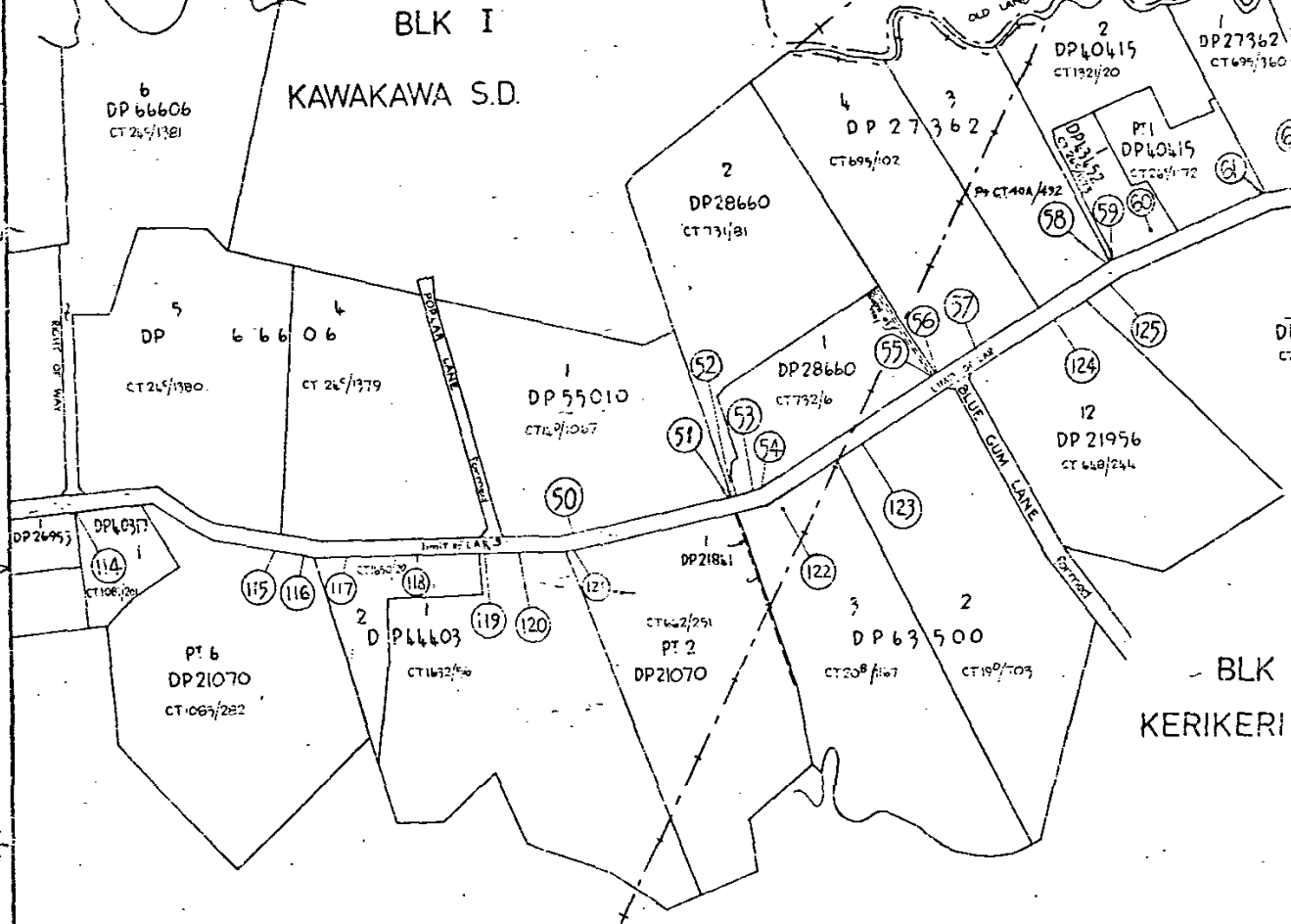
BAY OF ISLANDS COUNTY

Whiringatai Stream

BLK I
KAWAKAWA S.D.

SURVEY DISTRICT BOUNDARY

OLD LAND CLAIM BOUNDARY

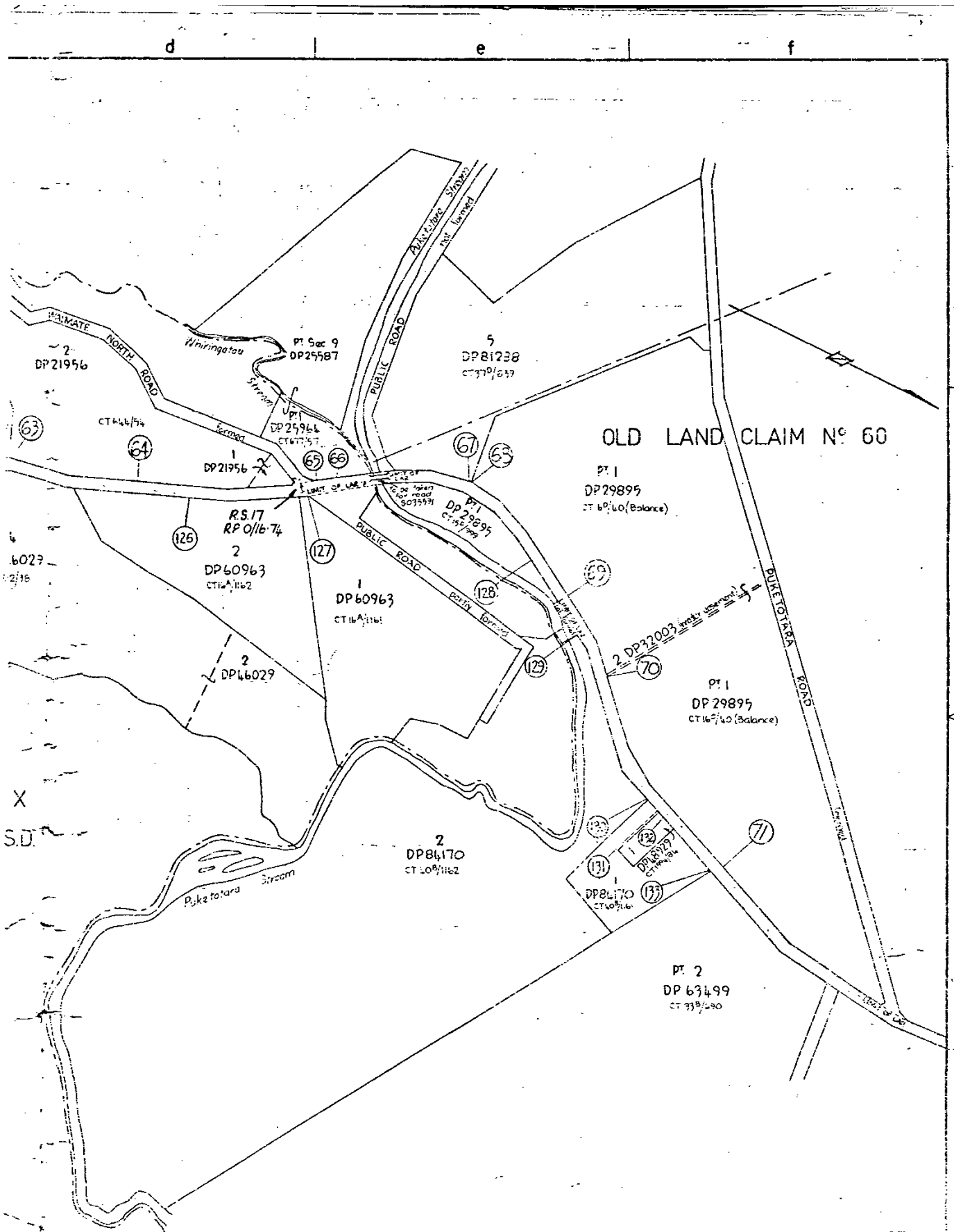


BLK
KERIKERI

OLD LAND CLAIM NO 3

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10000

AMENDMENTS				BY	APPD	DATE	BY	CHECKED BY	DATE	PLAN PREPARED BY	 Ministry of and Development CIVIL ENGINEER AUCKLAND
				Surveyed			21 Stone		28.5.78	HARRISON & GRIERSON & PARTNERS REGISTERED SURVEYORS CONSULTING ENGINEERS	
				Recommended						APPROVED	
				Approved							



1157

SH10	RD1	RSO	SCALE 1:4000	FILE
LIMITED ACCESS ROAD DECLARATION			GAZETTED LAR 25/11/78	
WAITANGI RIVER to WAIPAPA			128	SHEET 3 DIVISION
RPO/8.45 to RP17/3.51			LA 11/34/1	
			of 4 sheets	

OLD LAND CLAIM N° 60

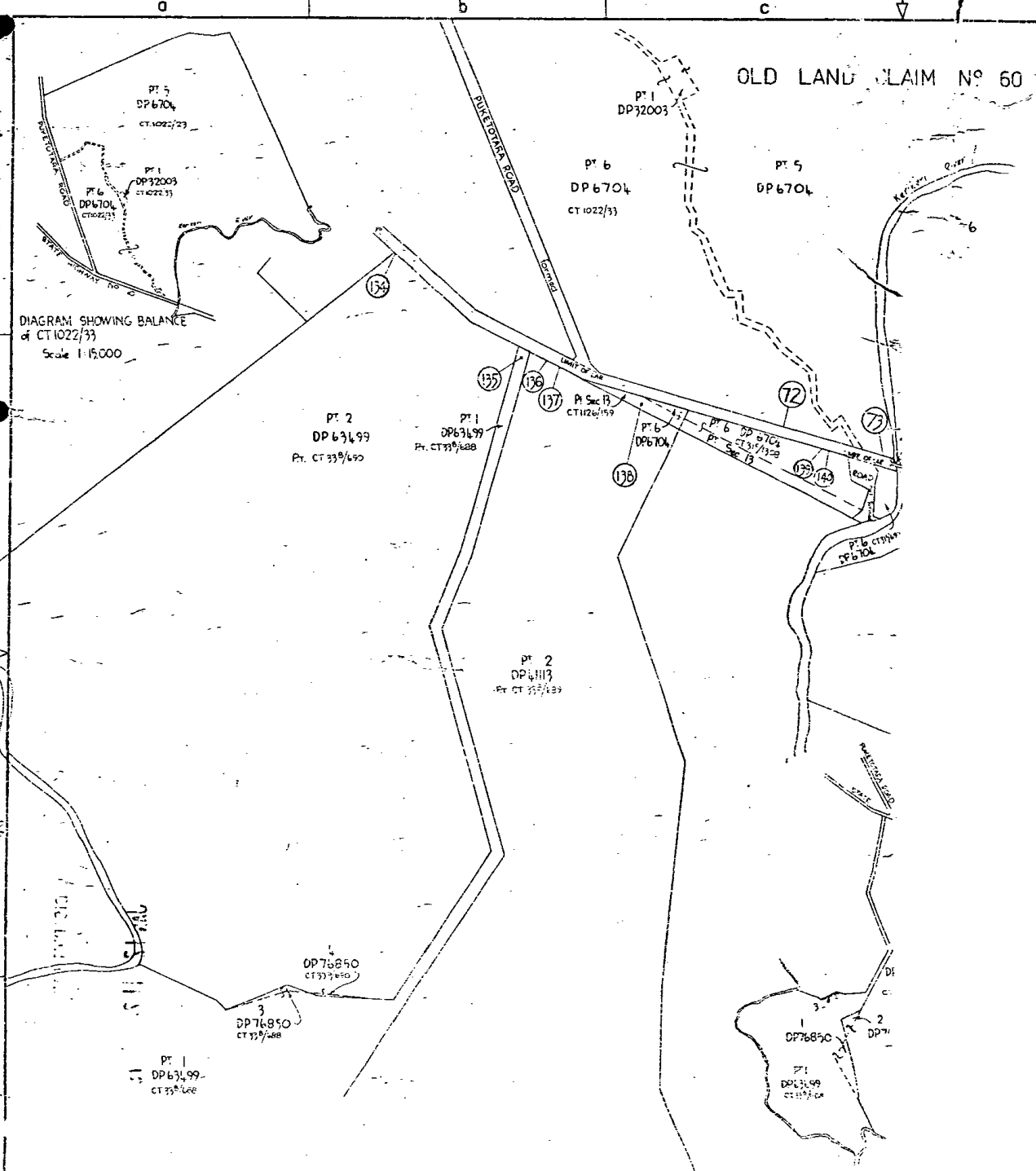



DIAGRAM SHOWING BALANCE
of CT 1022/33
Scale 1:15,000

ORIGINAL SIZE mm

AMENDMENTS				BY	CHECKED BY	DATE	PLAN PREPARED BY	 Ministry of and Developm CIVIL ENGINEER AUCKLAND
				By Stone		28.2.20	HARRISON & OLSON PATENTS REGISTERED SURVEYORS CONSULTING ENGINEERS	
							APPROVED <i>[Signature]</i>	

482-A1

LOCAL OR TRADING No.

25C/981
 25C/982
 25C/983
 25C/984
 25C/985
 25C/986
 26C/255
 26C/1172
 26C/1173
 28C/985
 28D/794

31A/1067
 31A/1368
 33A/1467
 33B/688
 33B/689
 33B/690
 31C/697
 31C/1308
 35D/1078
 36A/147
 37D/427

37D/428
 37D/839
 38A/1321
 40A/492
 40B/1161
 40B/1162
 42B/249
 42B/250
 33A/1327

SHEWOLE

229	/268	681/112	792/117	1574/18	140/614	16A/1161
394	/51	685/41	827/294	1632/56	140/615	16A/1162
500	/201	686/159	829/34	1650/20	140/738	16D/40
500	/204	686/158	885/286	1812/38	140/739	19D/703
500	/207	692/324	1081/201	1901/67	140/740	20B/1167
615	/145	695/102	1085/282	1925/21	140/741	22A/573
622	/251	695/188	1622/33	1994/84	140/742	22A/574
644	/54	695/360	1126/159	1D/435	140/743	24C/1380
648	/244	699/14	1130/122	2D/178	140/744	24C/1381
677	/57	731/81	1130/123	4D/9	140/747	24C/1382
676	/30	732/6	1315/51	7B/1152	140/1067	25C/63
676	/31	742/244	1321/20	13C/264	15D/999	25C/63
			1335/18			

DOCUMENTS AND RECORDS

25920
1248207

NOTICE DECLARING STATE HIGHWAY
LIMITED ACCESS ROAD

IN THE MATTER of the Public Works Act 1928
and its Amendment Act 1963 AND NZ Gazette
Notice 1978 No. 102 page 3210



12/13/1979
12/13/1979

2893
1734
1735
2397

570401

DIS: 570401

14/31

⊕

ALTERATIONS & ADDITIONS FOR ONE SCHOOL GLOBAL KERIKERI

SHEET INDEX	
A0.01	Cover Page
A0.02	Presentation
A0.03	Presentation
A0.04	Presentation
A1.02	Proposed Overall Site Plan
A1.04	Proposed Site Plan
A12.01	Existing Overall Plan
A12.02	Proposed Overall Plan



LOT 1, 2 & 3 DP 394493
7 BLUE GUM LANE KERIKERI
NORTHLAND 0293



EXISTING 3D



PROPOSED 3D



EXISTING 3D



PROPOSED 3D



EXISTING 3D



PROPOSED 3D



EXISTING 3D



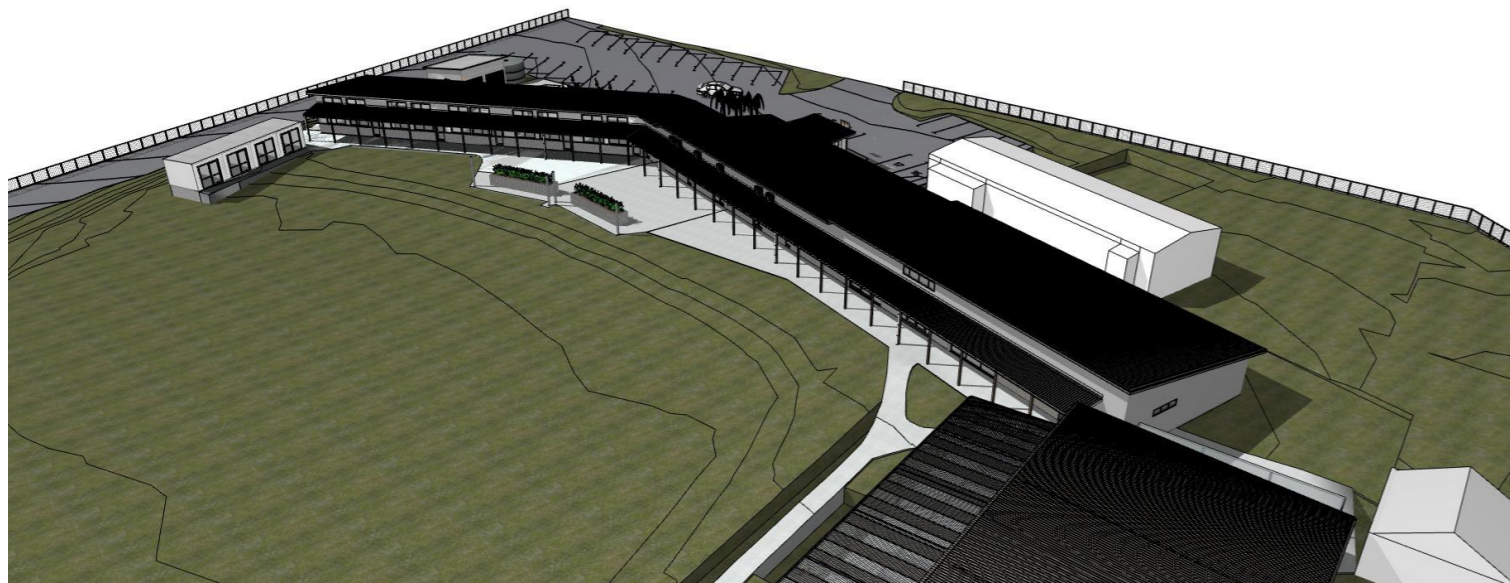
PROPOSED 3D



EXISTING 3D



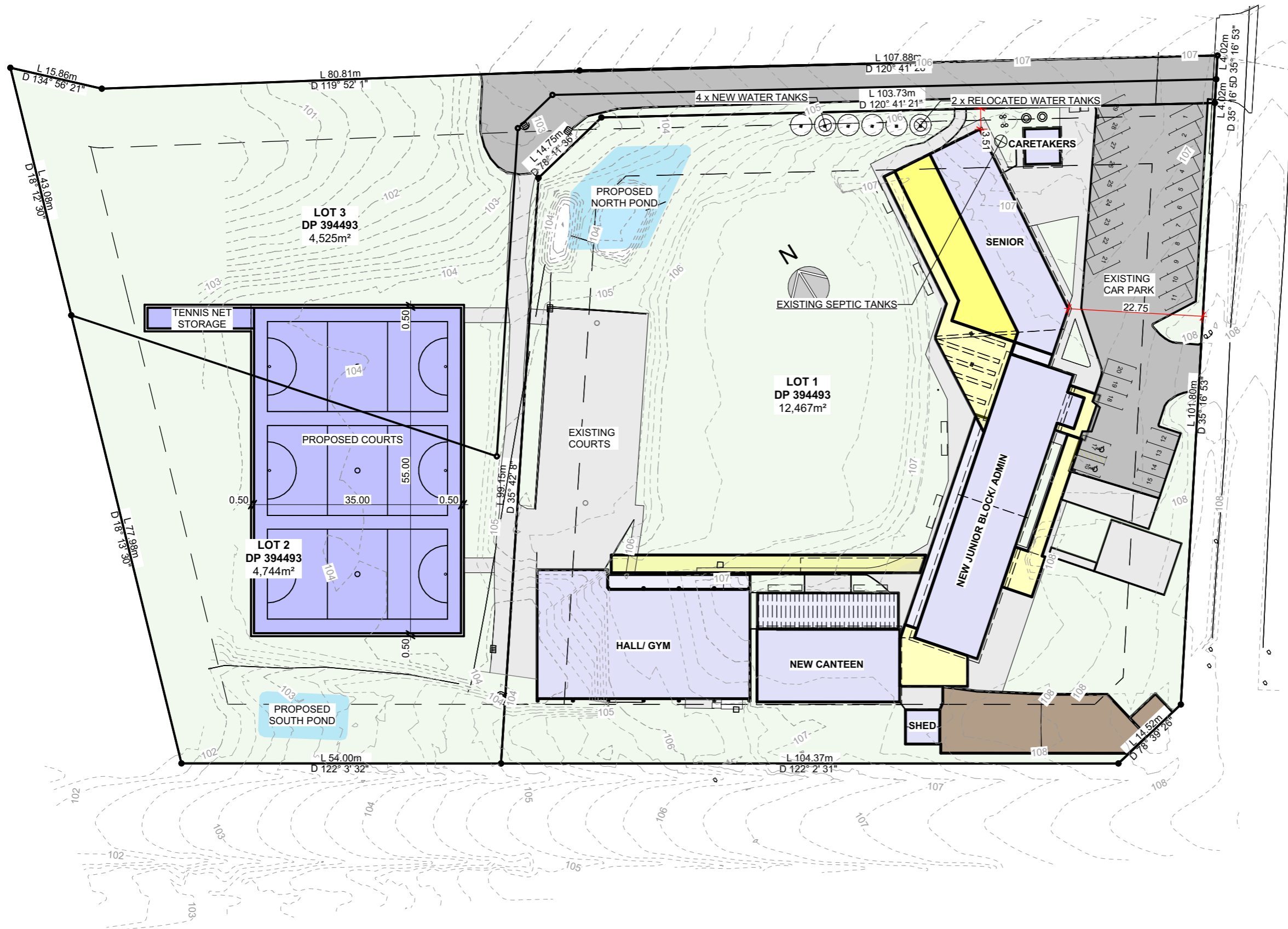
PROPOSED 3D



EXISTING 3D



PROPOSED 3D



SITE PLAN NOTES:

SITE DESCRIPTION	
LOT NUMBER:	LOT 1, 2 & 3
DP NUMBER:	DP 394493
ADDRESS:	7 BLUE GUM LANE KERIKERI NORTHLAND 0293
SITE ENVIRONMENT	
CLIMATE ZONE	ZONE 1
EARTHQUAKE ZONE	ZONE 1
EXPOSURE ZONE	ZONE C
LEE ZONE	NO
WIND ZONE	HIGH
WIND REGION	A
RAINFALL INTENSITY	90mm/hr (1in10 yr) 150mm/hr (1in50 yr)
SNOW ZONE	NO
DISTRICT PLAN COMPLIANCE	
PLANNING ZONE	RURAL PRODUCTION
PLANNING OVERLAY	N/A
BUILDING COVERAGE	
SITE AREA	21,736m ²
MAX. FLOOR AREA PERMITTED:	2,717m ² (12.5%)
SENIOR BLOCK	573.20m ²
ADMIN BLOCK	584.35m ²
NEW CANTEEN	297.64m ²
HALL/ GYM	705.64m ²
CARETAKERS	36.00m ²
SHED	33.64m ²
VERANDAH/ COVERED AREAS	964.11
TOTAL COVERAGE	3194.58m ² (14.7%)
	DOES NOT COMPLY
BUILDING HEIGHT	
MAX. HEIGHT PERMITTED	12m
PROPOSED HEIGHT	5m/ EXISTING
	COMPLIES
HIRB	
	2m UP, 45°
	COMPLIES
SETBACK TO BOUNDARIES	
10m IN FROM ALL BOUONDARIES	
	TBC
SETBACK TO BUSH	
GREATER THAN 20m?	
	YES / NO
	TBC

	EXISTING BUILDING		GARDEN/ LAWN
	EXISTING VERANDAH/ COVERED AREA		PLAYGROUND/ SAND PIT
	PROPOSED BUILDING		ATTENUATION POND
	PROPOSED VERANDAH/ COVERED AREA		PROPOSED COURTS
	PAVING/ PATHS		
	DRIVEWAY/ CAR PARK		
	METAL DRIVEWAY		



SITE PLAN NOTES:

SITE DESCRIPTION
 LOT NUMBER: LOT 1, 2 & 3
 DP NUMBER: DP 394493
 ADDRESS: 7 BLUE GUM LANE, KERIKERI, NORTHLAND 0293

SITE ENVIRONMENT
 CLIMATE ZONE: ZONE 1
 EARTHQUAKE ZONE: ZONE 1
 EXPOSURE ZONE: ZONE C
 LEE ZONE: NO
 WIND ZONE: HIGH
 WIND REGION: A
 RAINFALL INTENSITY: 90mm/hr (1in10 yr), 150mm/hr (1in50 yr)
 SNOW ZONE: NO

DISTRICT PLAN COMPLIANCE
 PLANNING ZONE: RURAL PRODUCTION
 PLANNING OVERLAY: N/A

BUILDING COVERAGE
 SITE AREA: 21,736m²
 MAX. FLOOR AREA PERMITTED: 2,717m² (12.5%)
 SENIOR BLOCK: 573.20m²
 ADMIN BLOCK: 584.35m²
 NEW CANTEEN: 297.64m²
 HALL/ GYM: 705.64m²
 CARETAKERS: 36.00m²
 SHED: 33.64m²
 VERANDAH/ COVERED AREAS: 964.11
 TOTAL COVERAGE: 3194.58m² (14.7%) **DOES NOT COMPLY**

BUILDING HEIGHT
 MAX. HEIGHT PERMITTED: 12m
 PROPOSED HEIGHT: 5m/ EXISTING
 COMPLIES

HIRB: 2m UP, 45° COMPLIES

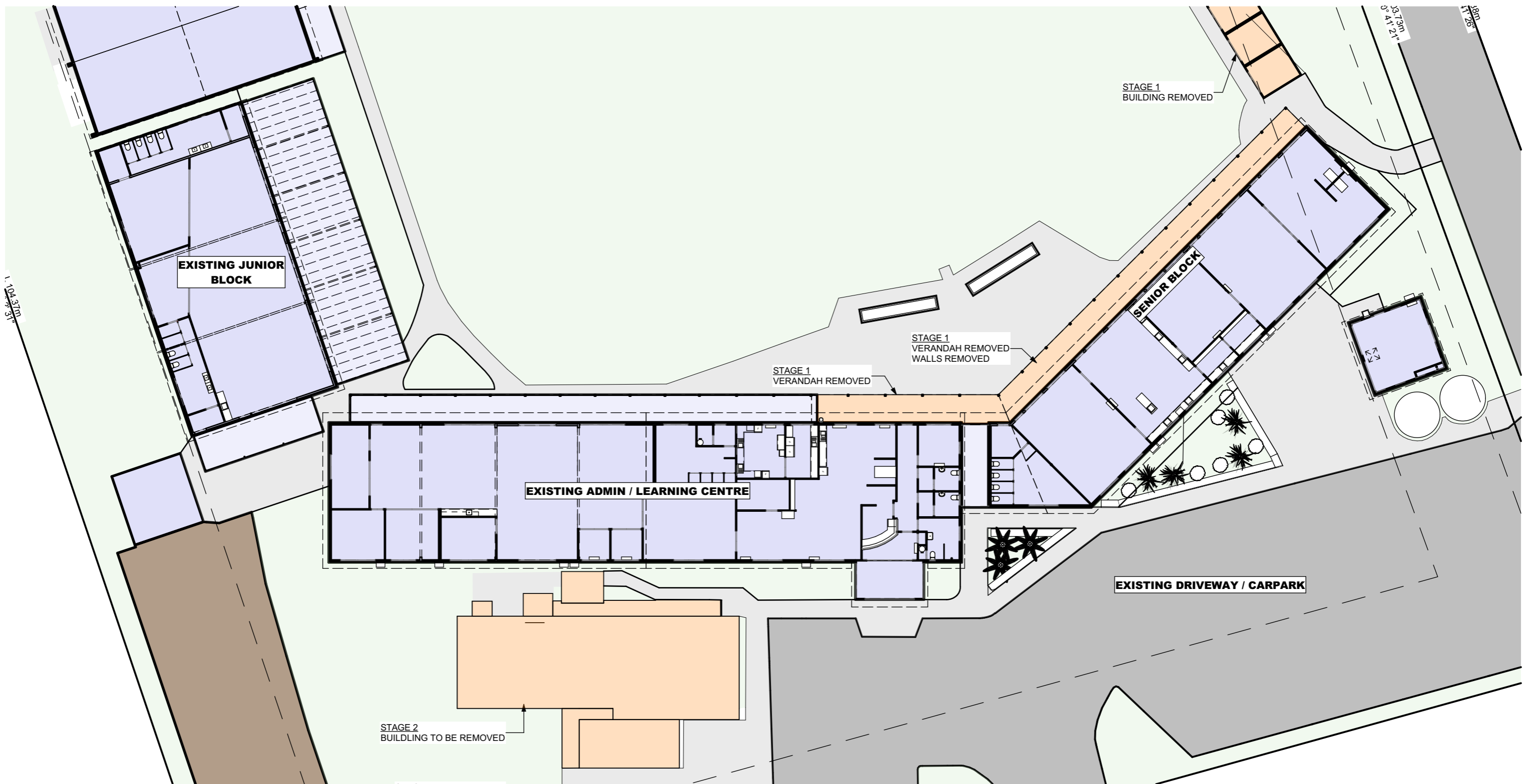
SETBACK TO BOUNDARIES
 10m IN FROM ALL BOUDDNARIES **TBC**

SETBACK TO BUSH
 GREATER THAN 20m? **YES / NO TBC**

STORMWATER MANAGEMENT
 SITE AREA: 21,736m²
 TOTAL AREA PERMITTED: 3,260m² (15%)
 TOTAL ROOF AREA: 3,272m²
 TOTAL DRIVES: 2,435m²
 TOTAL PATHS: 772m²
 TOTAL COURTS: 2,799m²
 FIRE-FIGHTING TANKS: 42m²
 SUB TOTAL IMPERMEABLE: 9,320m² (43.0%)
 IMPERMEABLE CONTINGENCY: 280m²
 TOTAL IMPERMEABLE: 9,600m² (44.2%) **DOES NOT COMPLY**

LEGEND

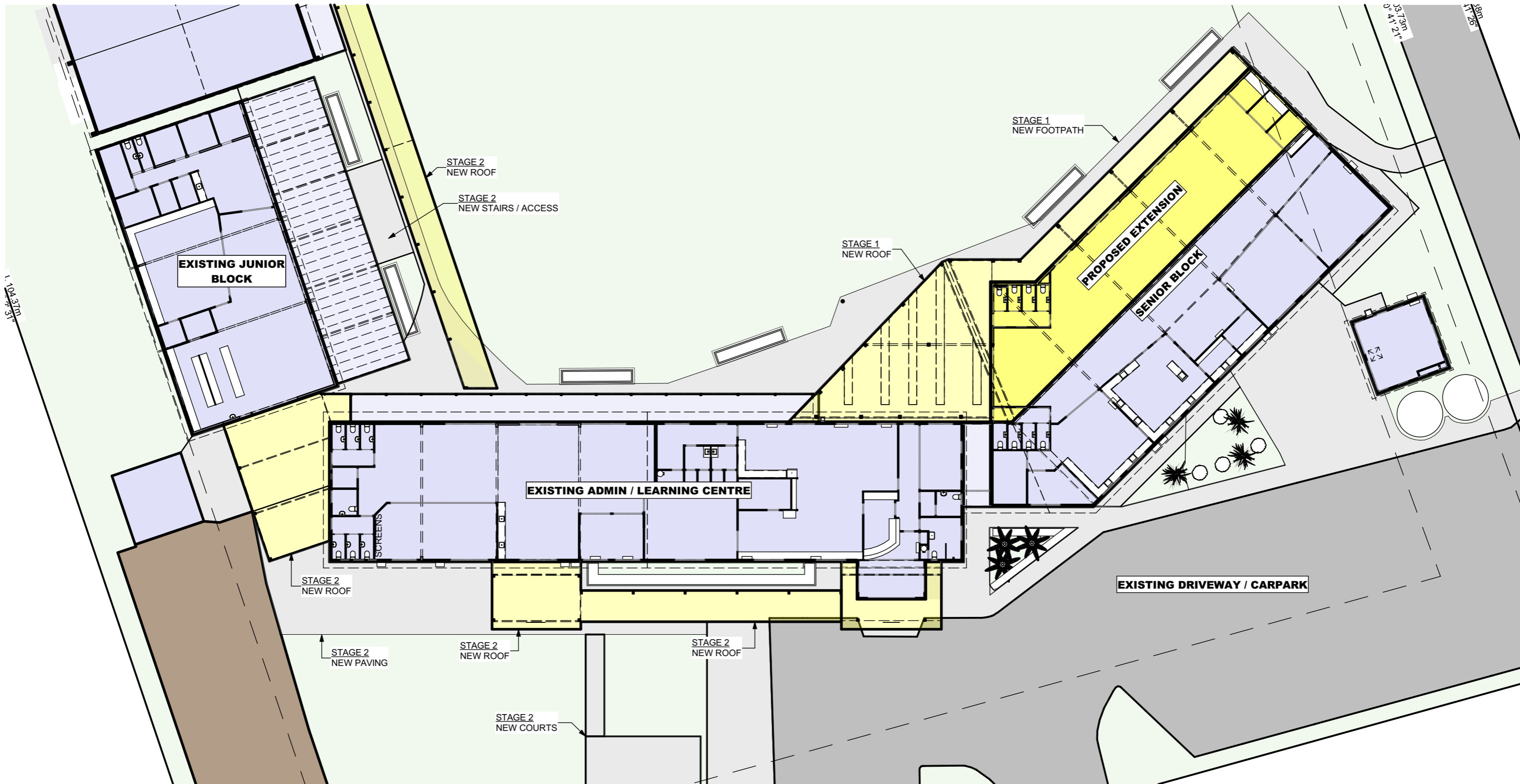
	EXISTING BUILDING		GARDEN/ LAWN
	EXISTING VERANDAH/ COVERED AREA		PLAYGROUND/ SAND PIT
	PROPOSED BUILDING		ATTENUATION POND
	PROPOSED VERANDAH/ COVERED AREA		PROPOSED COURTS
	PAVING/ PATHS		
	DRIVEWAY/ CAR PARK		
	METAL DRIVEWAY		



SENIOR BLOCK FLOOR AREAS
 EXISTING FLOOR AREA: 341.02 m²

INTERIOR LININGS / TRIMS
 WALL LININGS
 10mm GIB.
 6mm DURAPLAN COMPACT LAMINATE OVER 10mm GIB
 AQUALINE TO WET AREAS/ TOILETS.
 REFER TO INTERNAL ELEVATIONS
 INTERNAL DOORS
 2.0m EXISTING TYPICAL INTERNAL DOOR HEIGHT.
 2.4m NEW TYPICAL INTERNAL DOOR HEIGHT.
 TRIMS
 90x18 FJ PINE, SQUARE SKIRTING.
 65x18 FJ PINE ARCHITRAVE.
 SQUARE STOP SCOTIA.

ACCESS
 SLIP RESISTANCE SHALL BE PROVIDED TO EXTERIOR
 ACCESS ROUTES AS BELOW OR BY OTHER MEANS IN
 ACCORDANCE WITH TABLE 2 / SECTION 2 NZBC D1/AS1:
 LEVEL SURFACE FINISH
 CONCRETE DRY - SMOOTH TROWEL FINISH
 CONCRETE WET - BROOMED OR WOOD FLOAT
 RAMPS OR STAIRS FINISH
 TIMBER WET - GROOVED ACROSS PROFILE
 TIMBER WET - COATED AND SAND/GRIT



SENIOR BLOCK FLOOR AREAS

EXISTING FLOOR AREA:	341.02 m ²
PROPOSED FLOOR AREA:	219.75 m ²
TOTAL NEW FLOOR AREA:	560.77 m²
VERANDAH AREA:	58.28 m ²

INTERIOR LININGS / TRIMS

WALL LININGS
10mm GIB.
6mm DURAPLAN COMPACT LAMINATE OVER 10mm GIB
AQUALINE TO WET AREAS/ TOILETS.
REFER TO INTERNAL ELEVATIONS

INTERNAL DOORS
2.0m EXISTING TYPICAL INTERNAL DOOR HEIGHT.
2.4m NEW TYPICAL INTERNAL DOOR HEIGHT.

TRIMS
90x18 FJ PINE, SQUARE SKIRTING.
65x18 FJ PINE ARCHITRAVE.
SQUARE STOP SCOTIA.

ACCESS

SLIP RESISTANCE SHALL BE PROVIDED TO EXTERIOR ACCESS ROUTES AS BELOW OR BY OTHER MEANS IN ACCORDANCE WITH TABLE 2 / SECTION 2 NZBC D1/AS1:

LEVEL SURFACE FINISH
CONCRETE DRY - SMOOTH TROWEL FINISH
CONCRETE WET - BROOMED OR WOOD FLOAT
RAMPS OR STAIRS FINISH
TIMBER WET - GROOVED ACROSS PROFILE
TIMBER WET - COATED AND SAND/GRIT

ALTERATIONS & ADDITIONS FOR ONE SCHOOL GLOBAL KERIKERI



LOT 1, 2 & 3 DP 394493
7 BLUE GUM LANE KERIKERI
NORTHLAND 0293

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A0.01	Cover Page
A0.02	Presentation
A0.03	Presentation
A0.04	Presentation
A1.02	Proposed Overall Site Plan
A1.04	Proposed Site Plan
A12.01	Existing Overall Plan
A12.02	Proposed Overall Plan
AA1.03	Existing Learning Centre Floor Plan
AA1.04	Existing Admin Floor Plan
AA1.05	Proposed Juniors Floor Plan
AA1.06	Proposed Admin Floor Plan
AA2.01	Existing Elevations - Admin
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AS1.09	Existing Seniors Floor Plan
AS1.10	Proposed Seniors Floor Plan
AS2.01	Existing Elevations - Seniors
AS2.02	Existing Elevations - Seniors
AS2.03	Existing Elevations - Seniors
AS2.04	Proposed Elevations - Seniors
AS2.05	Proposed Elevations - Seniors
AS2.06	Proposed Elevations - Seniors



EXISTING 3D



PROPOSED 3D



EXISTING 3D



PROPOSED 3D



EXISTING 3D



PROPOSED 3D



EXISTING 3D



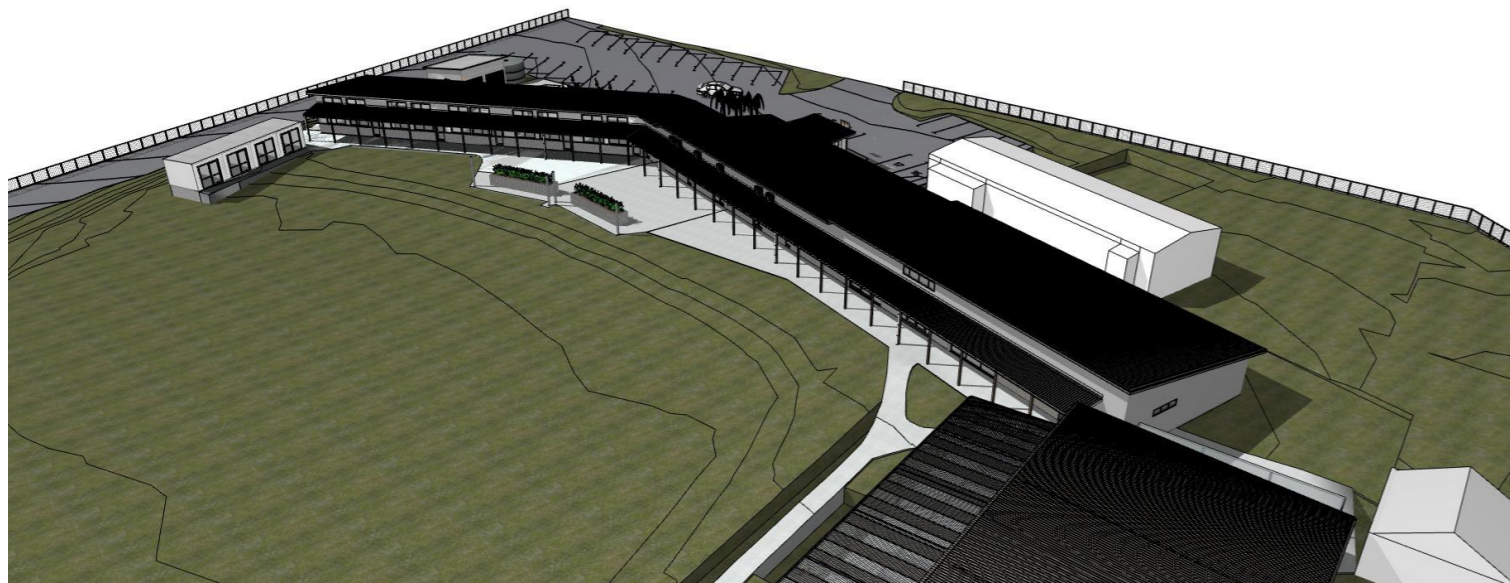
PROPOSED 3D



EXISTING 3D



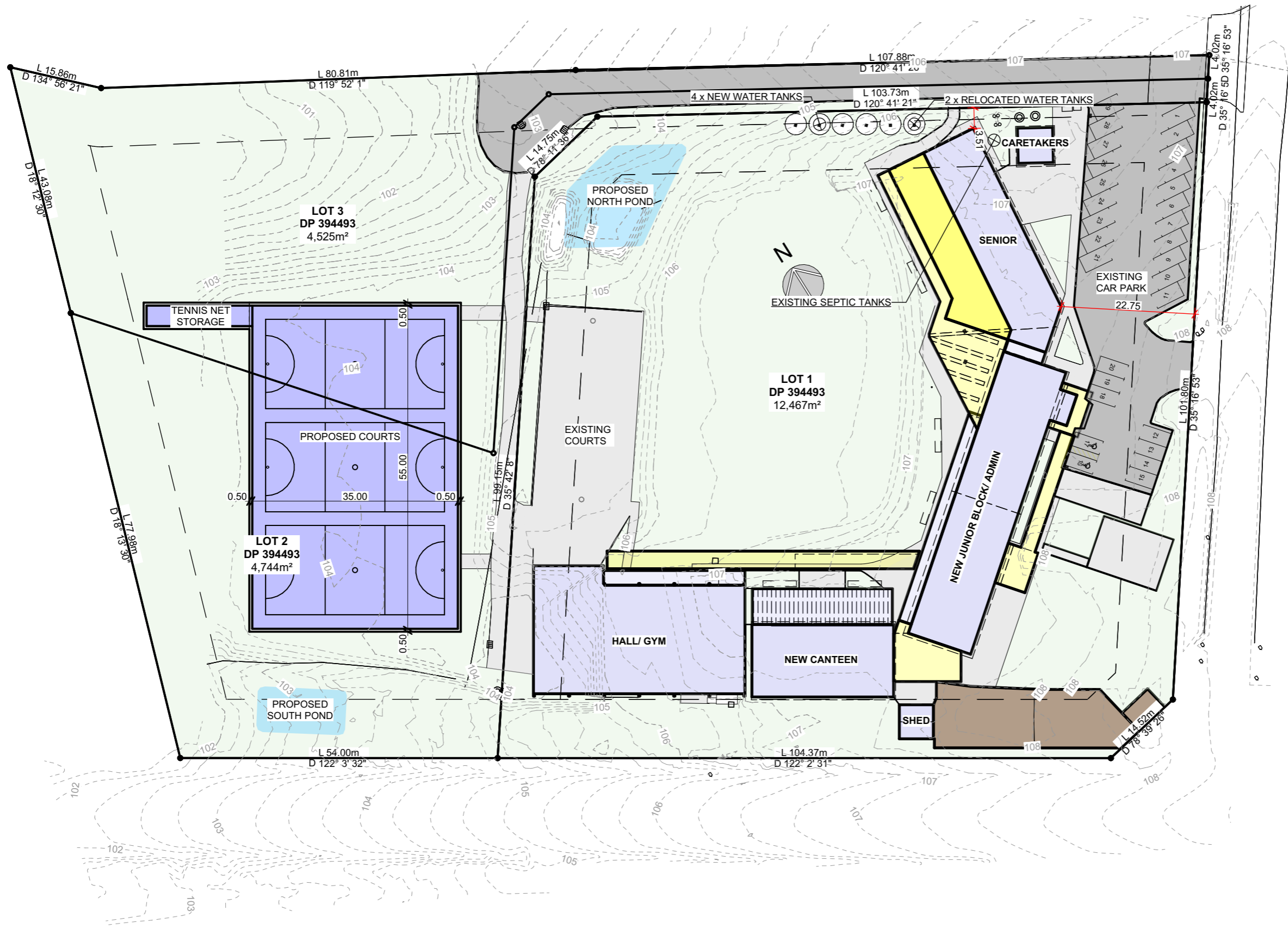
PROPOSED 3D



EXISTING 3D



PROPOSED 3D



SITE PLAN NOTES:

SITE DESCRIPTION
 LOT NUMBER: LOT 1, 2 & 3
 DP NUMBER: DP 394493
 ADDRESS: 7 BLUE GUM LANE, KERIKERI, NORTHLAND 0293

SITE ENVIRONMENT
 CLIMATE ZONE: ZONE 1
 EARTHQUAKE ZONE: ZONE 1
 EXPOSURE ZONE: ZONE C
 LEE ZONE: NO
 WIND ZONE: HIGH
 WIND REGION: A
 RAINFALL INTENSITY: 90mm/hr (1in10 yr), 150mm/hr (1in50 yr)
 SNOW ZONE: NO

DISTRICT PLAN COMPLIANCE
 PLANNING ZONE: RURAL PRODUCTION
 PLANNING OVERLAY: N/A

BUILDING COVERAGE
 SITE AREA: 21,736m²
 MAX. FLOOR AREA PERMITTED: 2,717m² (12.5%)
 SENIOR BLOCK: 573.20m²
 ADMIN BLOCK: 584.35m²
 NEW CANTEEN: 297.64m²
 HALL/ GYM: 705.64m²
 CARETAKERS: 36.00m²
 SHED: 33.64m²
 VERANDAH/ COVERED AREAS: 964.11
 TOTAL COVERAGE: 3194.58m² (14.7%) **DOES NOT COMPLY**

BUILDING HEIGHT
 MAX. HEIGHT PERMITTED: 12m
 PROPOSED HEIGHT: 5m/ EXISTING COMPLIES

HIRB
 2m UP, 45° COMPLIES

SETBACK TO BOUNDARIES
 10m IN FROM ALL BOUDNDARIES **TBC**

SETBACK TO BUSH
 GREATER THAN 20m? **YES / NO TBC**

LEGEND		LEGEND	
	EXISTING BUILDING		GARDEN/ LAWN
	EXISTING VERANDAH/ COVERED AREA		PLAYGROUND/ SAND PIT
	PROPOSED BUILDING		ATTENUATION POND
	PROPOSED VERANDAH/ COVERED AREA		PROPOSED COURTS
	PAVING/ PATHS		
	DRIVEWAY/ CAR PARK		
	METAL DRIVEWAY		



SITE PLAN NOTES:

SITE DESCRIPTION
 LOT NUMBER: LOT 1, 2 & 3
 DP NUMBER: DP 394493
 ADDRESS: 7 BLUE GUM LANE, KERIKERI, NORTHLAND 0293

SITE ENVIRONMENT
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 RAINFALL INTENSITY: 90mm/hr (1in10 yr), 150mm/hr (1in50 yr)
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 PLANNING ZONE: RURAL PRODUCTION
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BUILDING HEIGHT
 MAX. HEIGHT PERMITTED: 12m
 PROPOSED HEIGHT: 5m/ EXISTING
 COMPLIES

HIRB: 2m UP, 45° COMPLIES

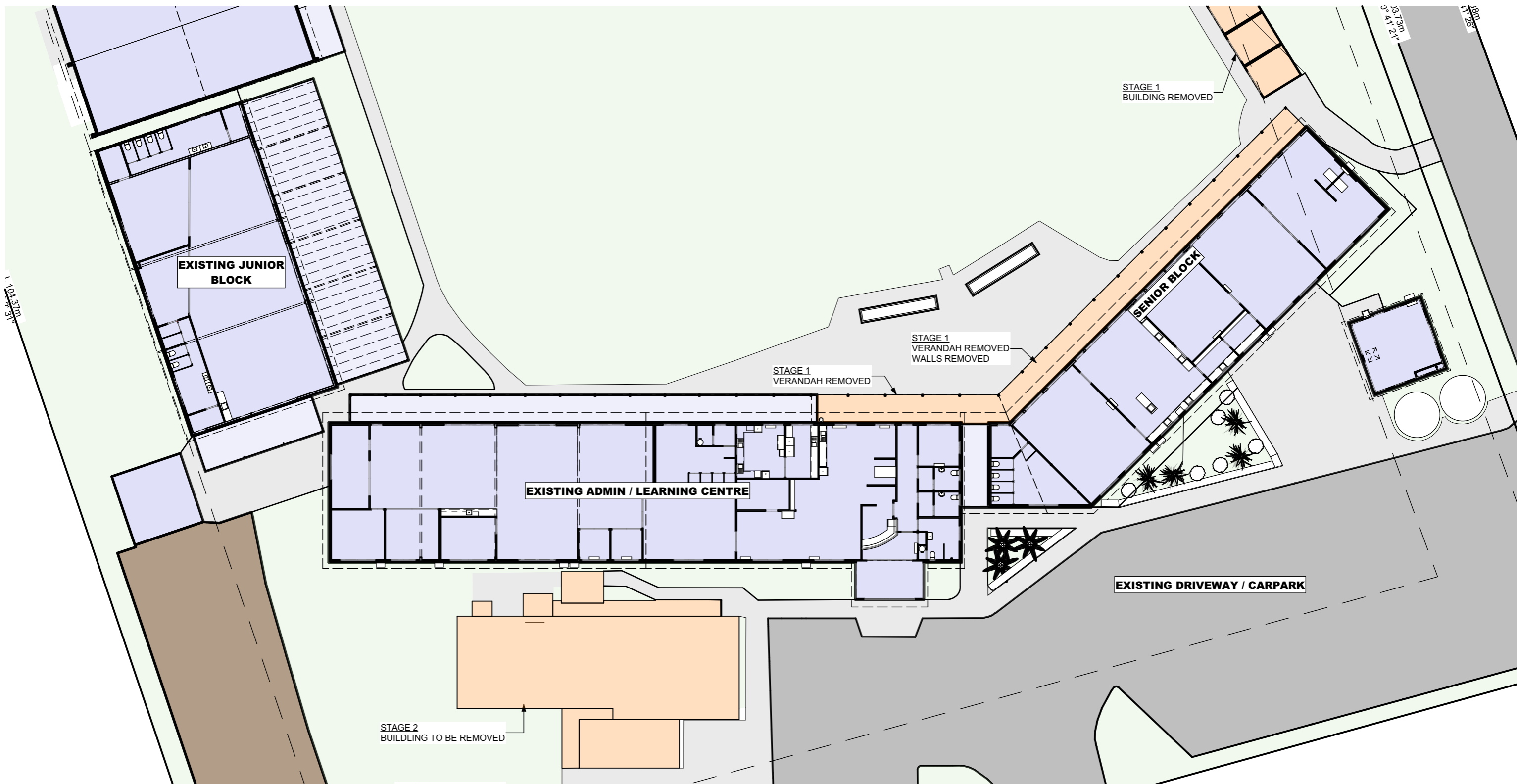
SETBACK TO BOUNDARIES
 10m IN FROM ALL BOUDDNARIES **TBC**

SETBACK TO BUSH
 GREATER THAN 20m? **YES / NO TBC**

STORMWATER MANAGEMENT
 SITE AREA: 21,736m²
 TOTAL AREA PERMITTED: 3,260m² (15%)
 TOTAL ROOF AREA: 3,272m²
 TOTAL DRIVES: 2,435m²
 TOTAL PATHS: 772m²
 TOTAL COURTS: 2,799m²
 FIRE-FIGHTING TANKS: 42m²
 SUB TOTAL IMPERMEABLE: 9,320m² (43.0%)
 IMPERMEABLE CONTINGENCY: 280m²
 TOTAL IMPERMEABLE: 9,600m² (44.2%) **DOES NOT COMPLY**

LEGEND

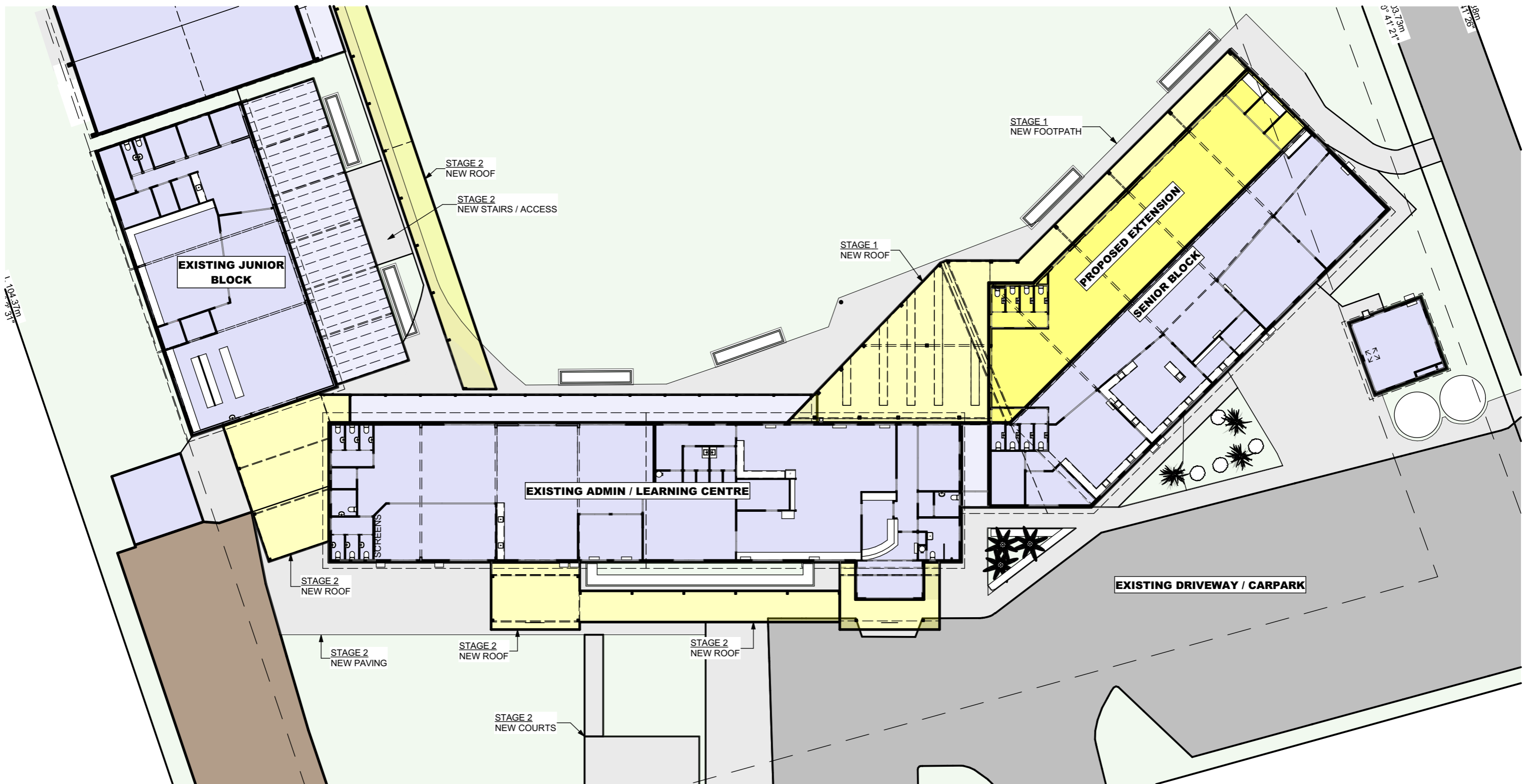
	EXISTING BUILDING		GARDEN/ LAWN
	EXISTING VERANDAH/ COVERED AREA		PLAYGROUND/ SAND PIT
	PROPOSED BUILDING		ATTENUATION POND
	PROPOSED VERANDAH/ COVERED AREA		PROPOSED COURTS
	PAVING/ PATHS		
	DRIVEWAY/ CAR PARK		
	METAL DRIVEWAY		



SENIOR BLOCK FLOOR AREAS
 EXISTING FLOOR AREA: 341.02 m²

INTERIOR LININGS / TRIMS
 WALL LININGS
 10mm GIB.
 6mm DURAPLAN COMPACT LAMINATE OVER 10mm GIB
 AQUALINE TO WET AREAS/ TOILETS.
 REFER TO INTERNAL ELEVATIONS
 INTERNAL DOORS
 2.0m EXISTING TYPICAL INTERNAL DOOR HEIGHT.
 2.4m NEW TYPICAL INTERNAL DOOR HEIGHT.
 TRIMS
 90x18 FJ PINE, SQUARE SKIRTING.
 65x18 FJ PINE ARCHITRAVE.
 SQUARE STOP SCOTIA.

ACCESS
 SLIP RESISTANCE SHALL BE PROVIDED TO EXTERIOR
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 LEVEL SURFACE FINISH
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 TIMBER WET - COATED AND SAND/GRIT



SENIOR BLOCK FLOOR AREAS	
EXISTING FLOOR AREA:	341.02 m ²
PROPOSED FLOOR AREA:	219.75 m ²
TOTAL NEW FLOOR AREA:	560.77 m²
VERANDAH AREA:	58.28 m ²

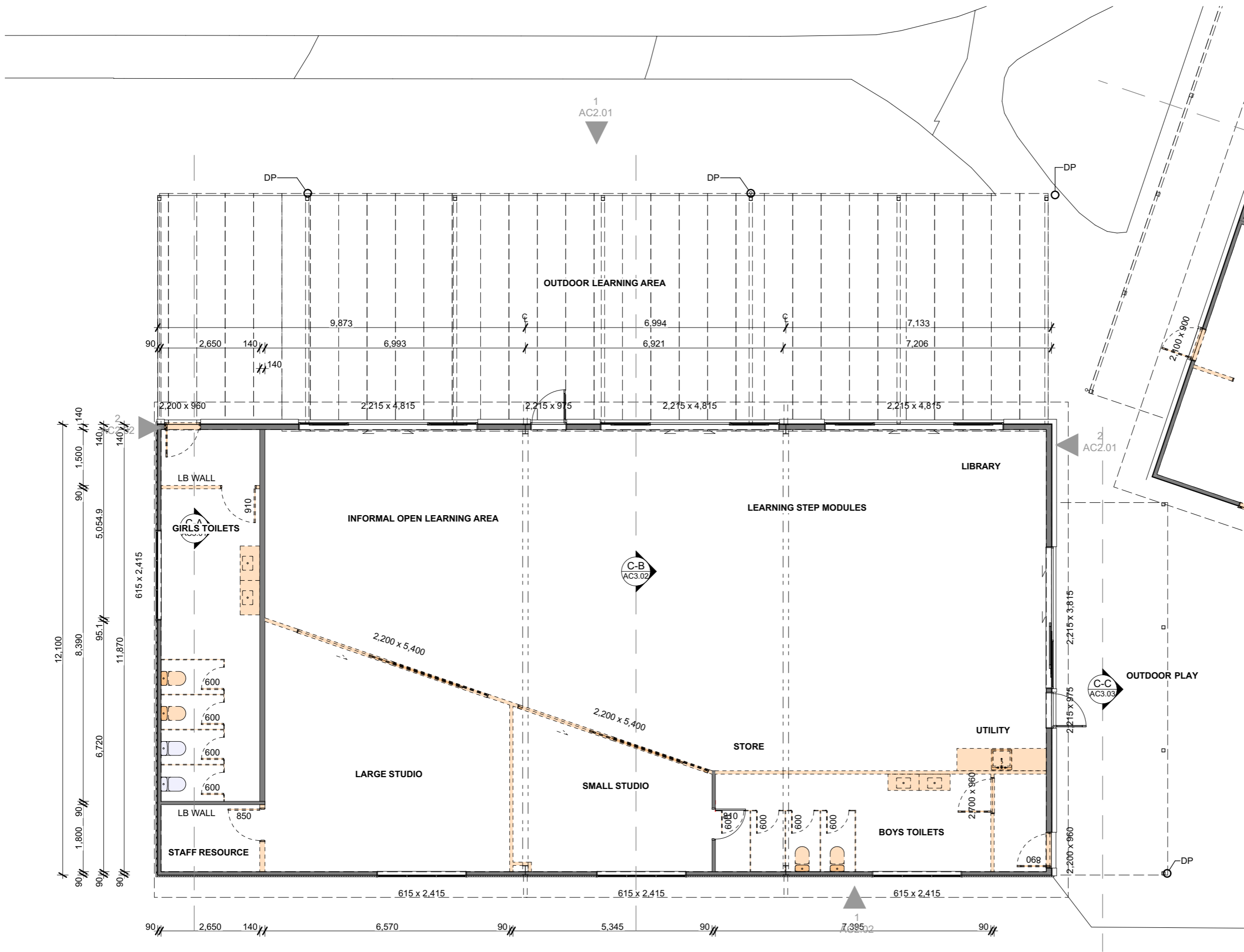
INTERIOR LININGS / TRIMS
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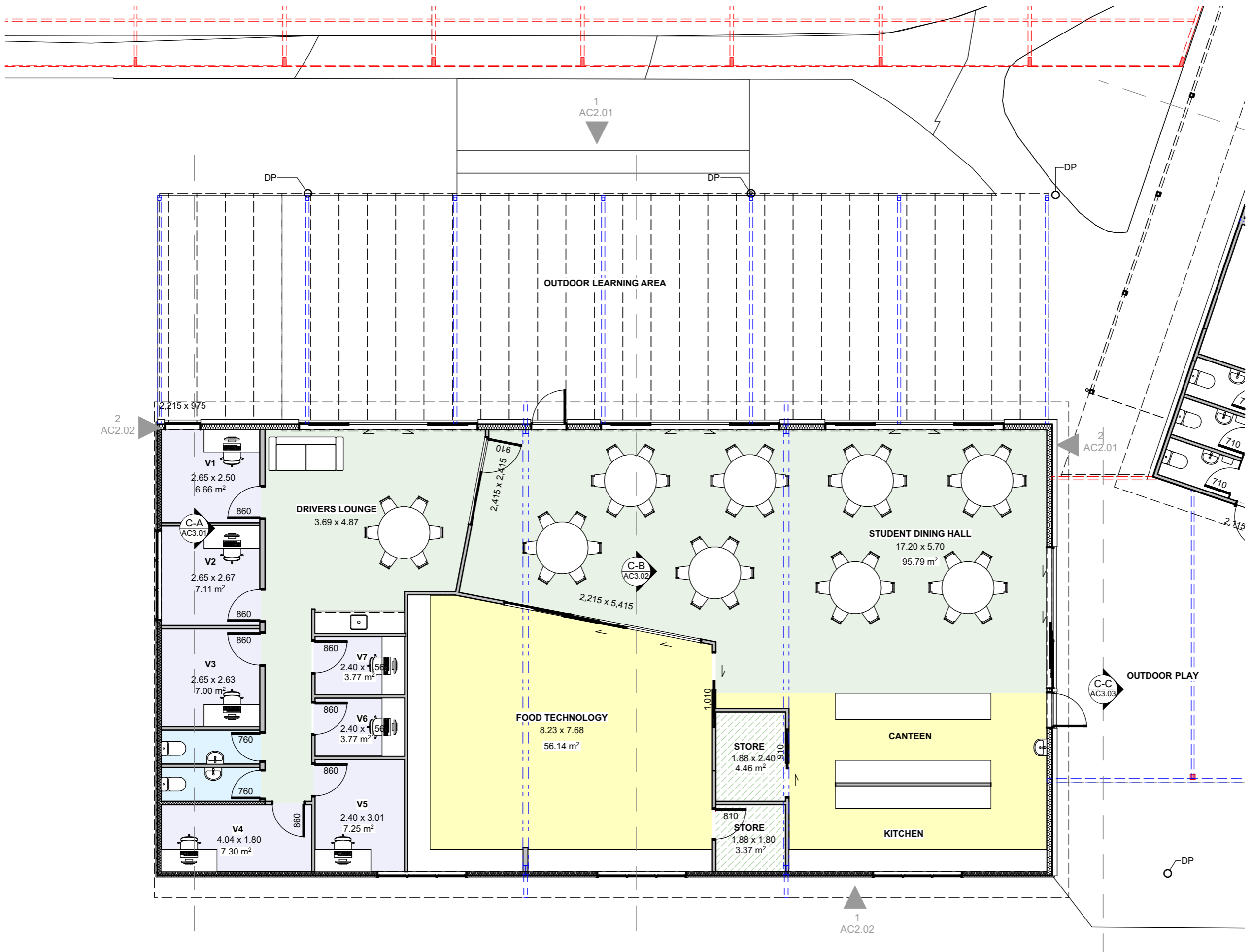
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 2.4m NEW TYPICAL INTERNAL DOOR HEIGHT.

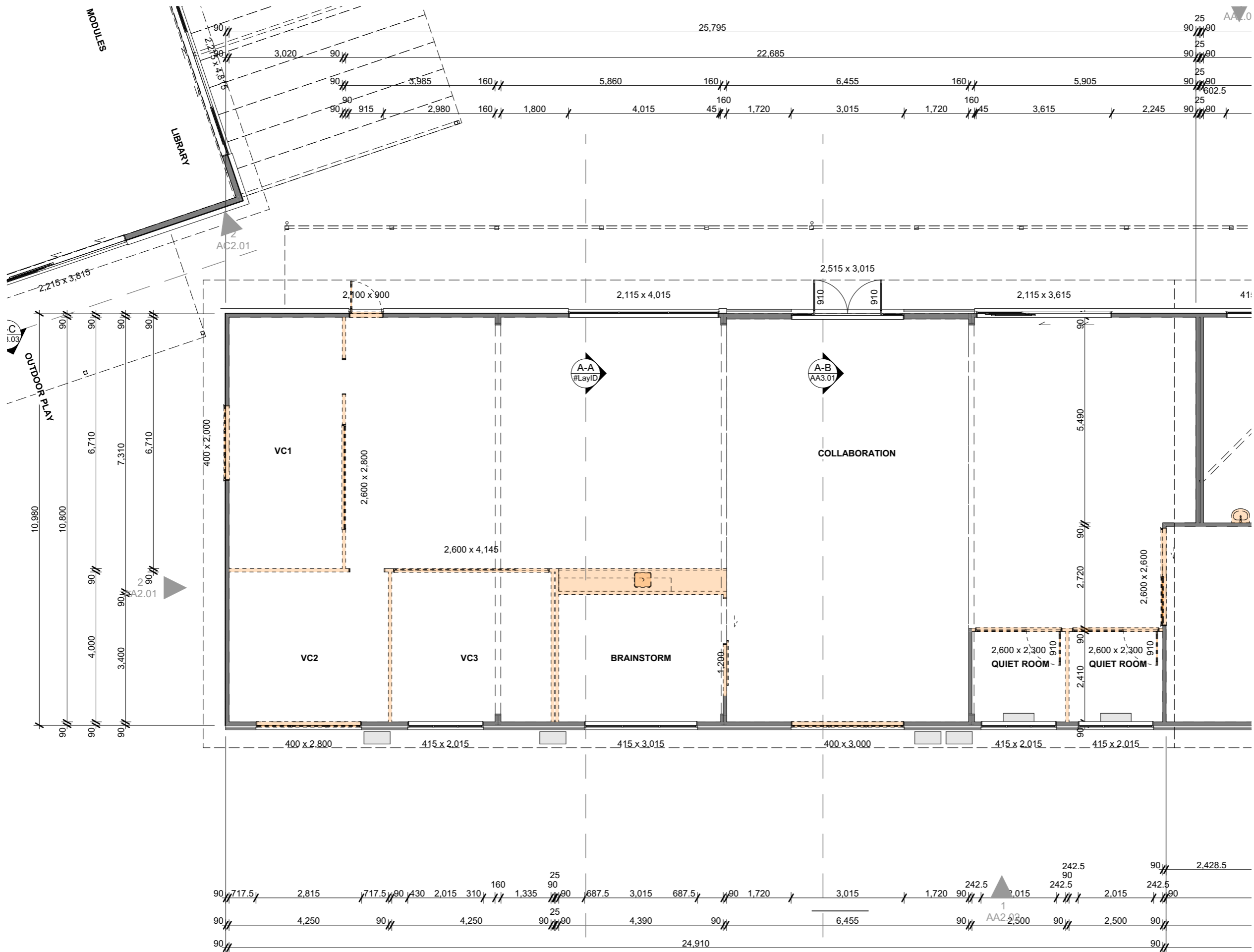
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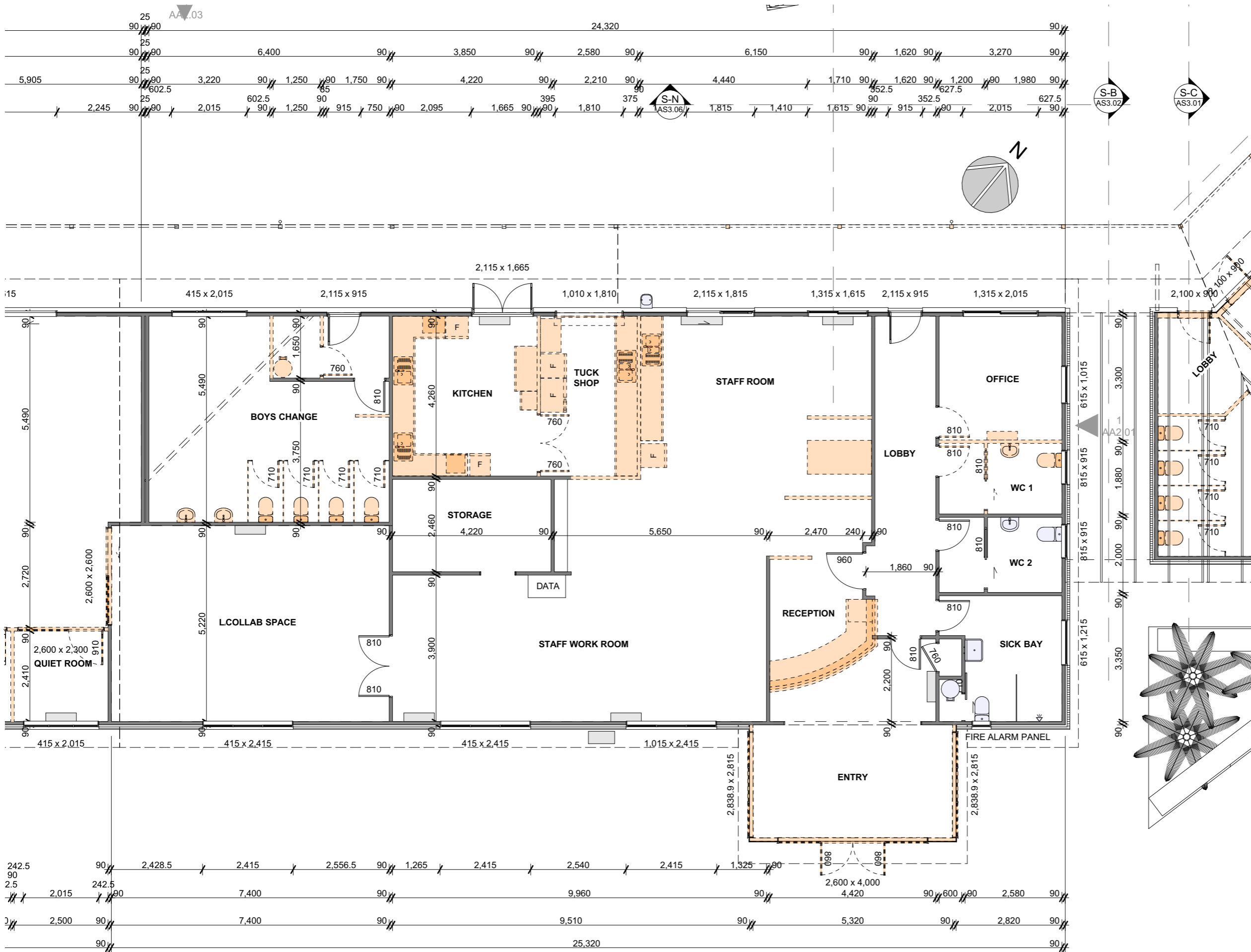
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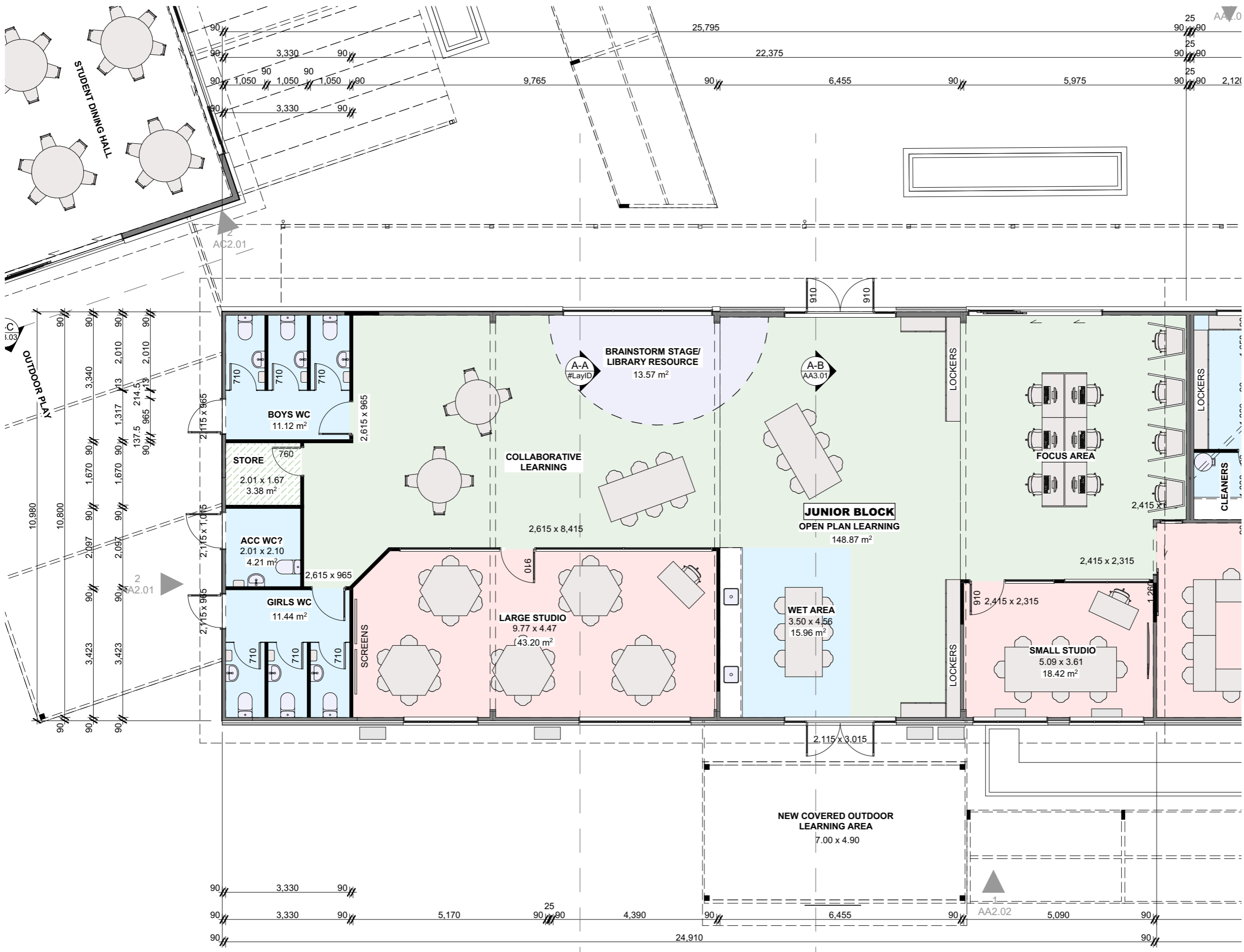
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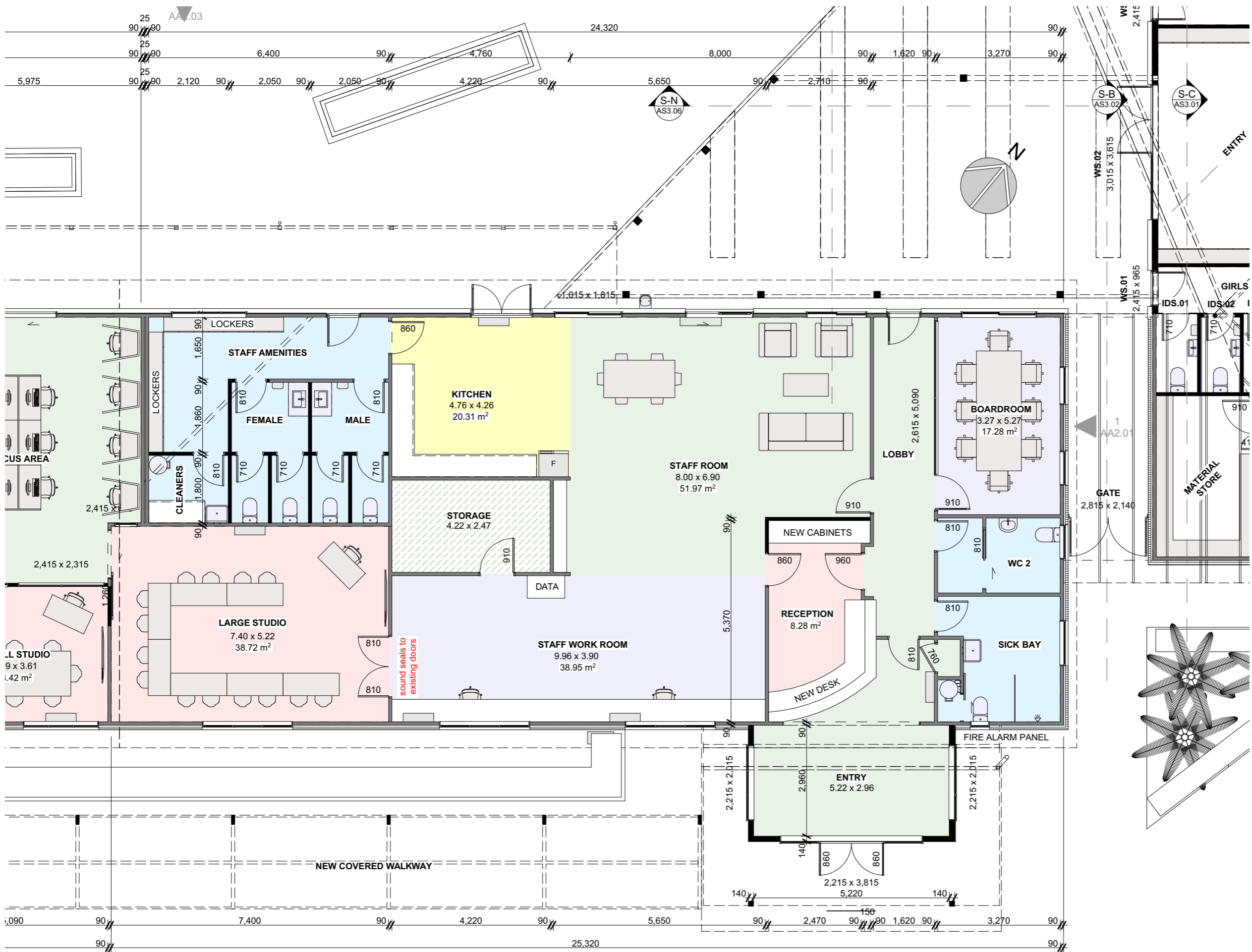












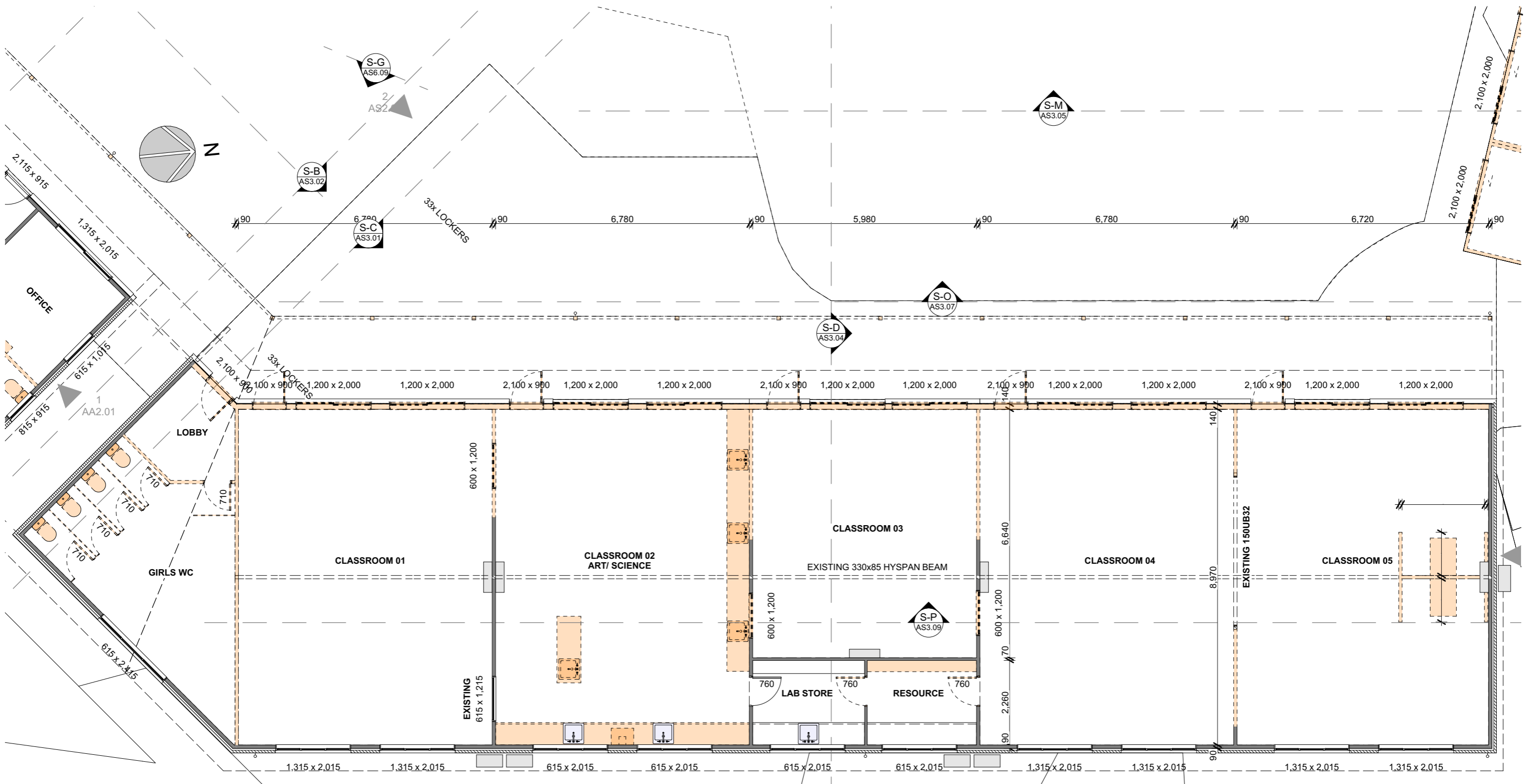
Proposed Admin Floor Plan

ONE SCHOOL GLOBAL KERIKERI
7 BLUE GUM LANE, KERIKERI
NORTHLAND 0293

Rev No.	Revision	Date
PD-07	PRELIMINARY DESIGN	12-11-24
PD-06	PRELIMINARY DESIGN	11-11-24
PD-05	PRELIMINARY DESIGN	01-11-24
PD-04	PRELIMINARY DESIGN	31-10-24
PD-03	PRELIMINARY DESIGN	24-10-24
PD-02	PRELIMINARY DESIGN	22-10-24

Scale @ A3: 1:100
Drawn By ARCLINE
Issued: 12/11/2024
11:16 am

Sheet No:
AA1.06
PRELIMINARY DESIGN



SENIOR BLOCK FLOOR AREAS
 EXISTING FLOOR AREA: 341.02 m²

INTERIOR LININGS / TRIMS
 WALL LININGS
 10mm GIB.
 6mm DURAPLAN COMPACT LAMINATE OVER 10mm GIB
 AQUALINE TO WET AREAS/ TOILETS.
 REFER TO INTERNAL ELEVATIONS
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Arcline
 Architecture
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 (Email): info@arcline.co.nz
 (Web): www.arcline.co.nz

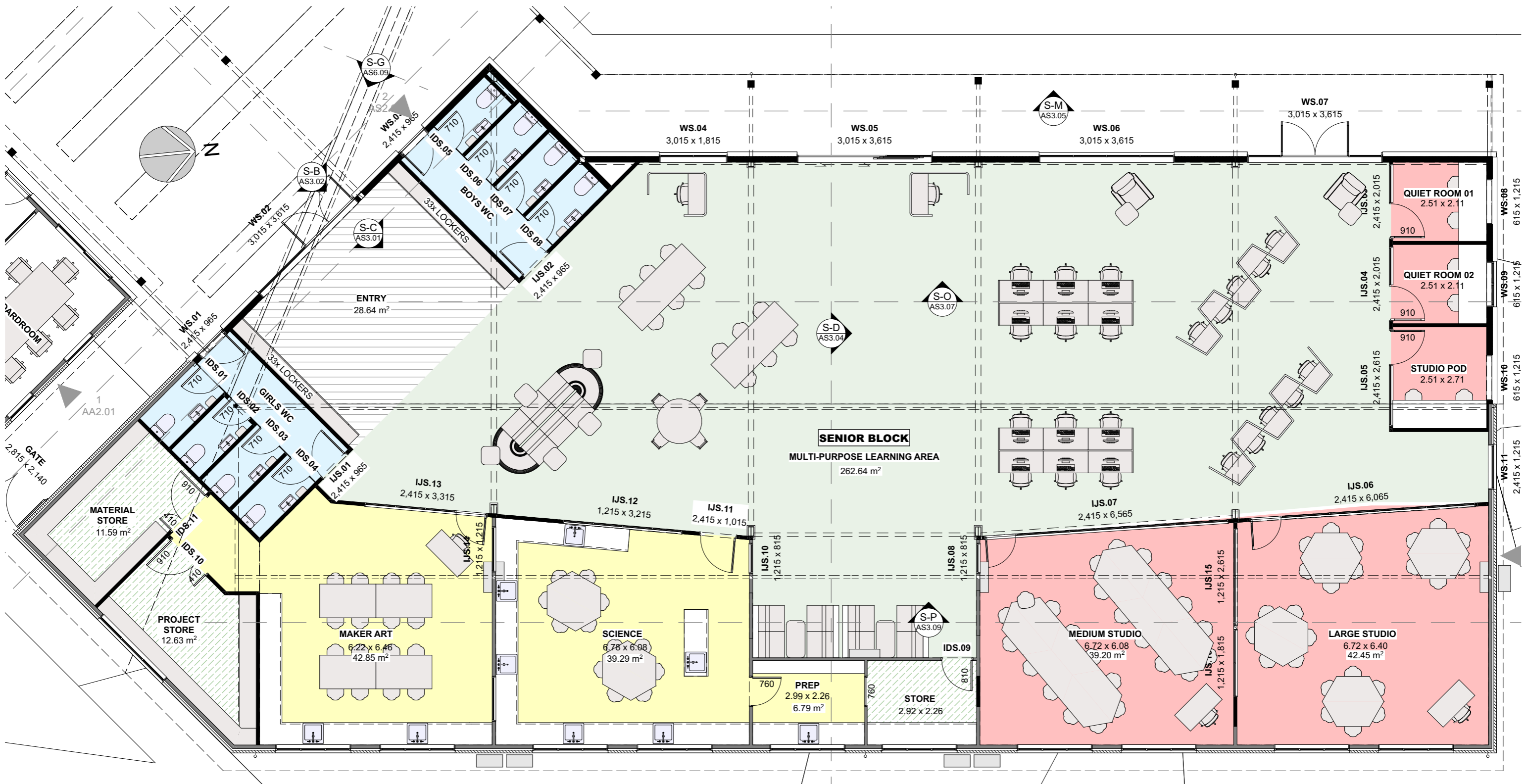
Existing Seniors Floor Plan

ONE SCHOOL GLOBAL KERIKERI
 7 BLUE GUM LANE, KERIKERI
 NORTHLAND 0293

Rev No.	Revision	Date
PD-07	PRELIMINARY DESIGN	12-11-24
PD-06	PRELIMINARY DESIGN	11-11-24
PD-05	PRELIMINARY DESIGN	01-11-24
PD-04	PRELIMINARY DESIGN	31-10-24
PD-03	PRELIMINARY DESIGN	24-10-24
PD-02	PRELIMINARY DESIGN	22-10-24

Scale @ A3: 1:100
 Drawn By ARCLINE
 Issued: 12/11/2024
 11:16 am

Sheet No:
AS1.09
 PRELIMINARY DESIGN



SENIOR BLOCK FLOOR AREAS	
EXISTING FLOOR AREA:	341.02 m ²
PROPOSED FLOOR AREA:	219.75 m ²
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INTERIOR LININGS / TRIMS
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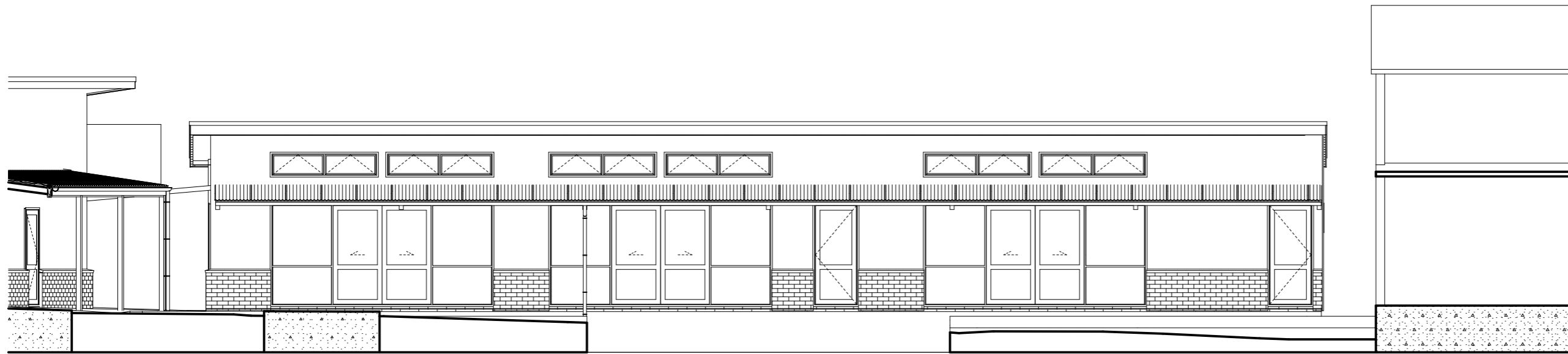
Proposed Seniors Floor Plan

ONE SCHOOL GLOBAL KERIKERI
 7 BLUE GUM LANE, KERIKERI
 NORTHLAND 0293

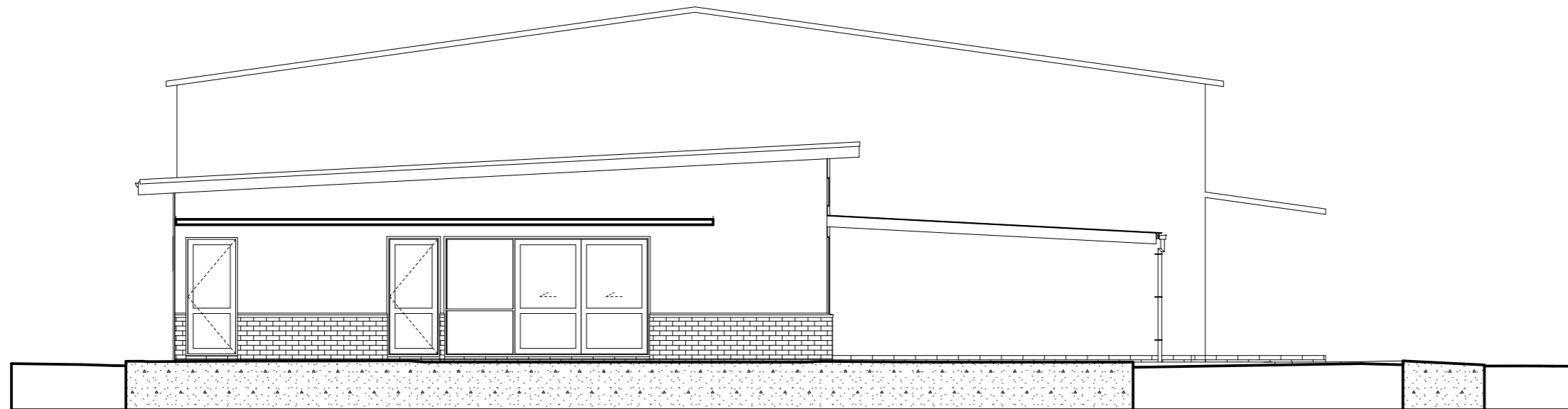
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PD-06	PRELIMINARY DESIGN	11-11-24
PD-05	PRELIMINARY DESIGN	01-11-24
PD-04	PRELIMINARY DESIGN	31-10-24
PD-03	PRELIMINARY DESIGN	24-10-24
PD-02	PRELIMINARY DESIGN	22-10-24

Scale @ A3: 1:100
 Drawn By ARCLINE
 Issued: 12/11/2024
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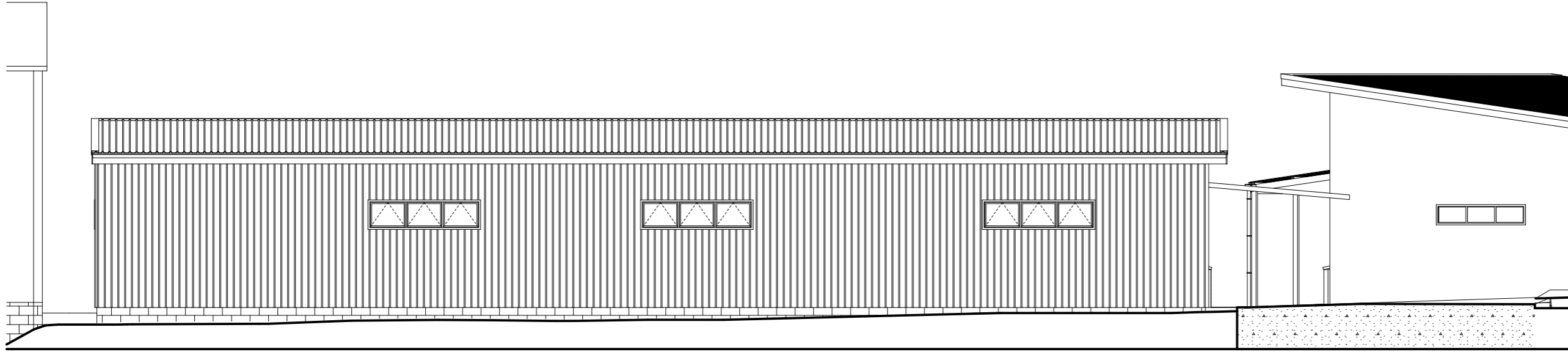
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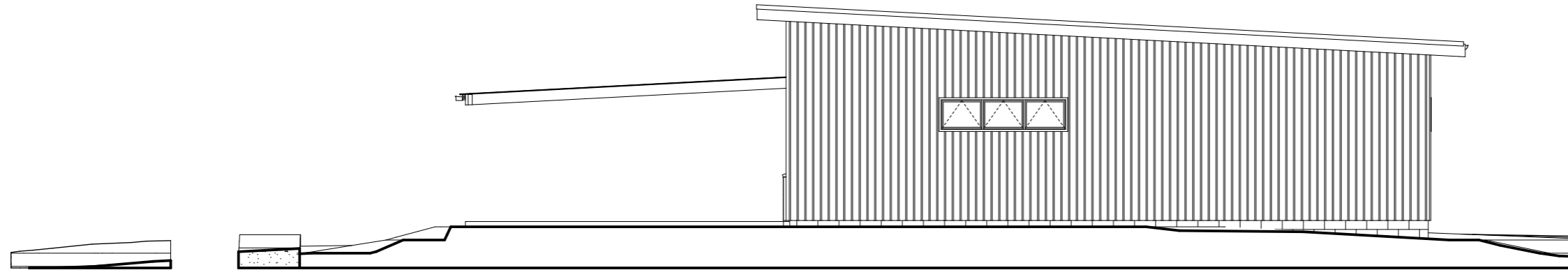
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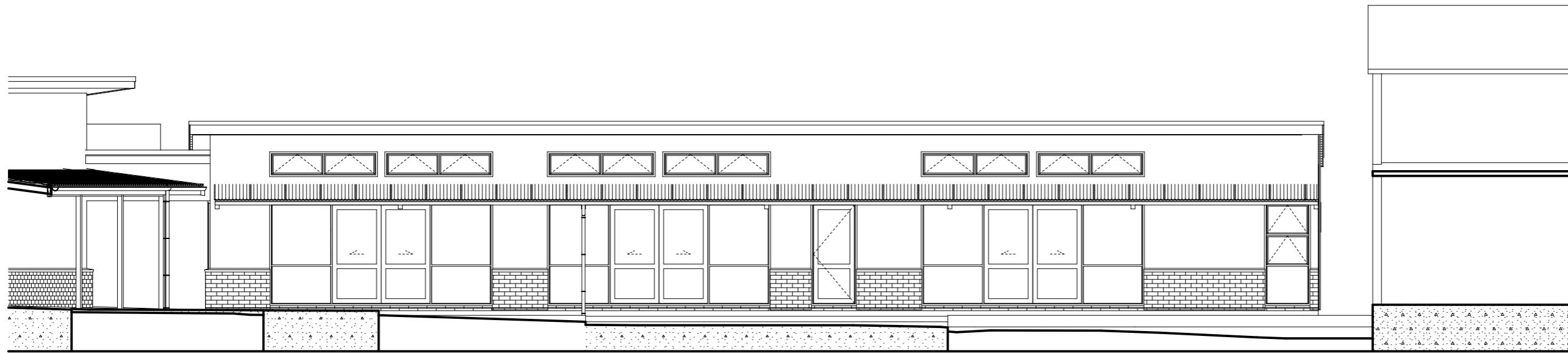
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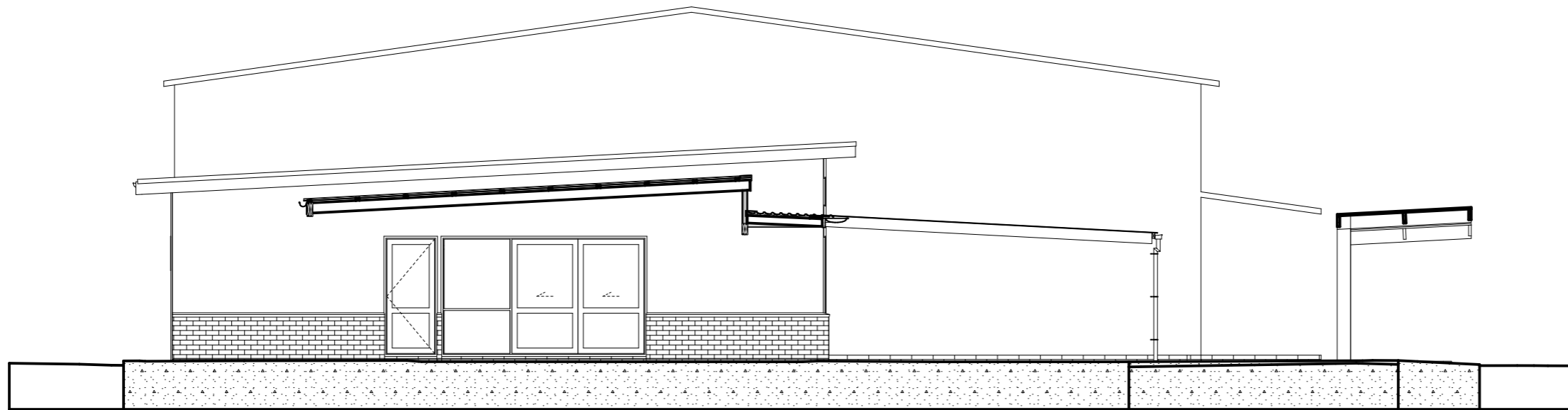
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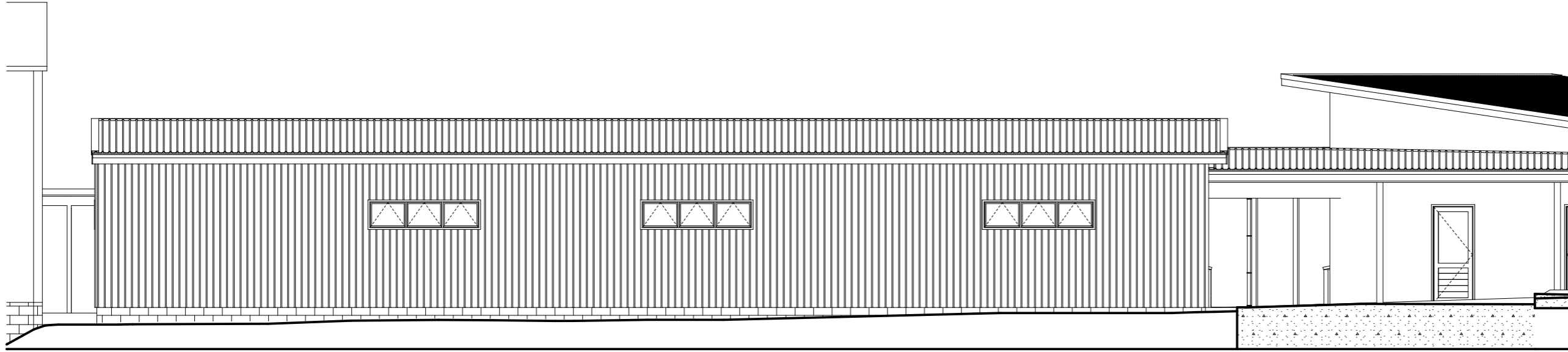
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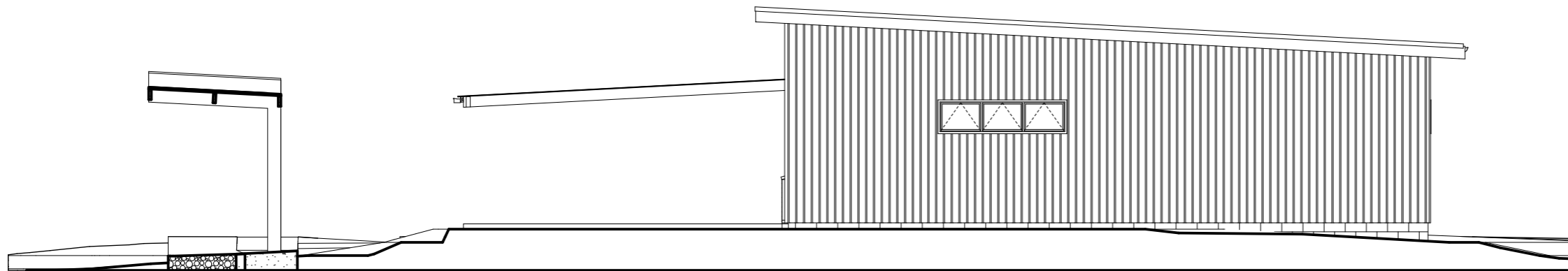
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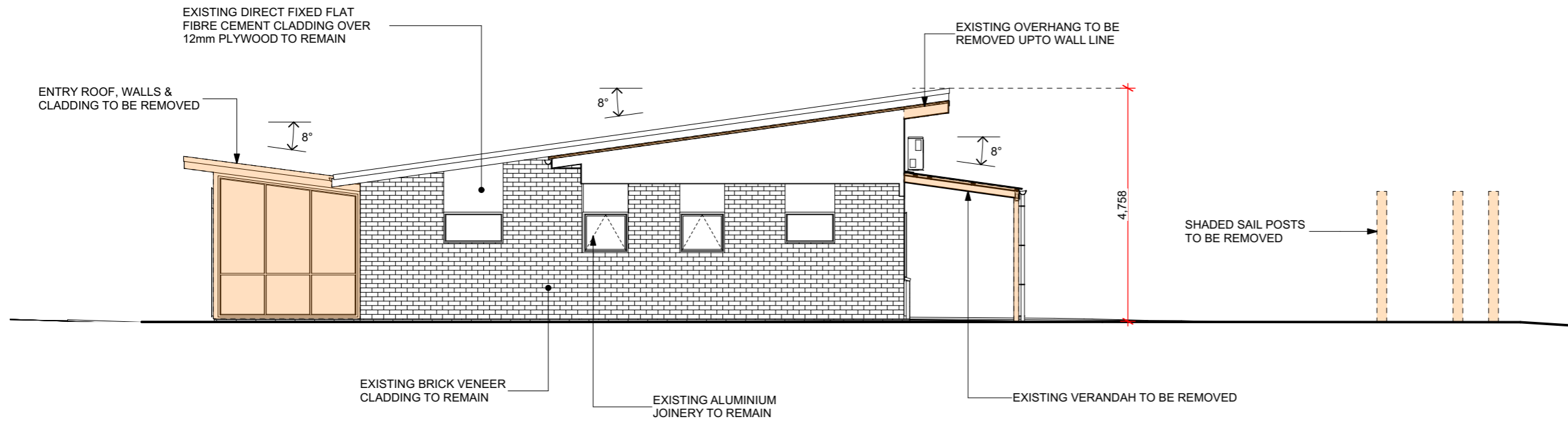
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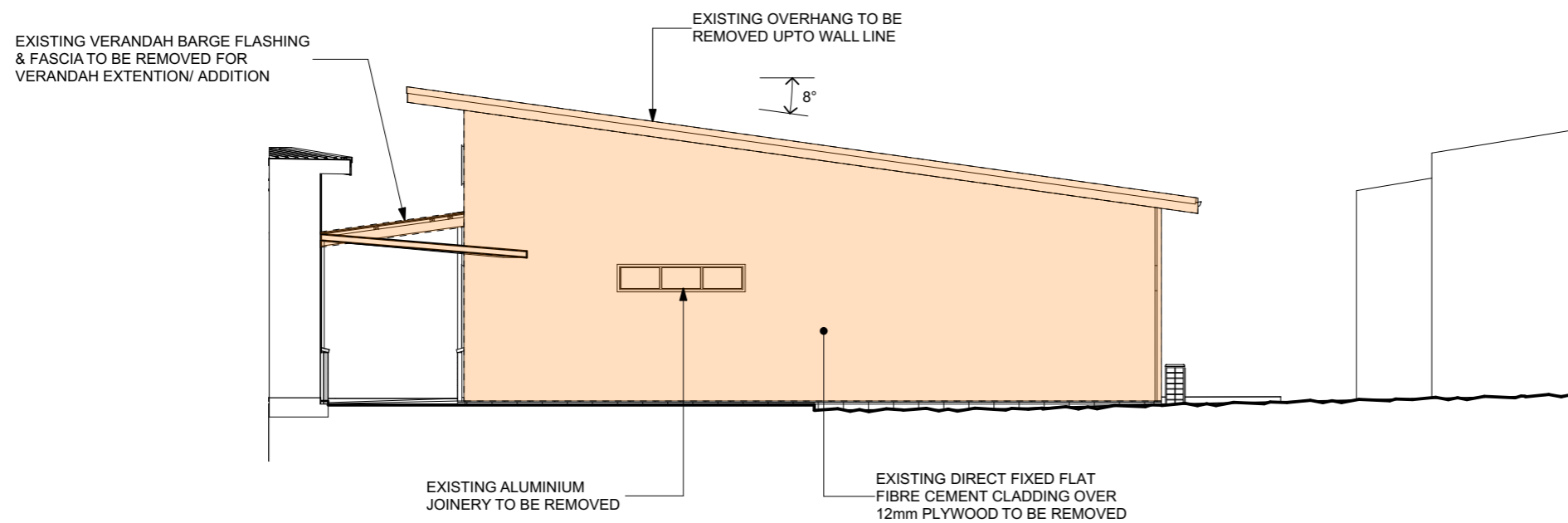
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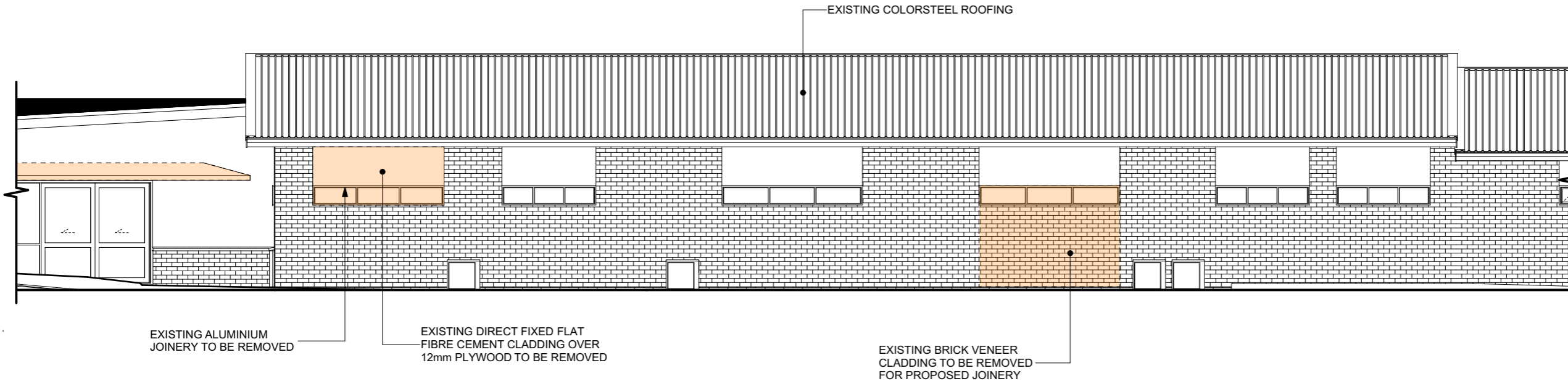
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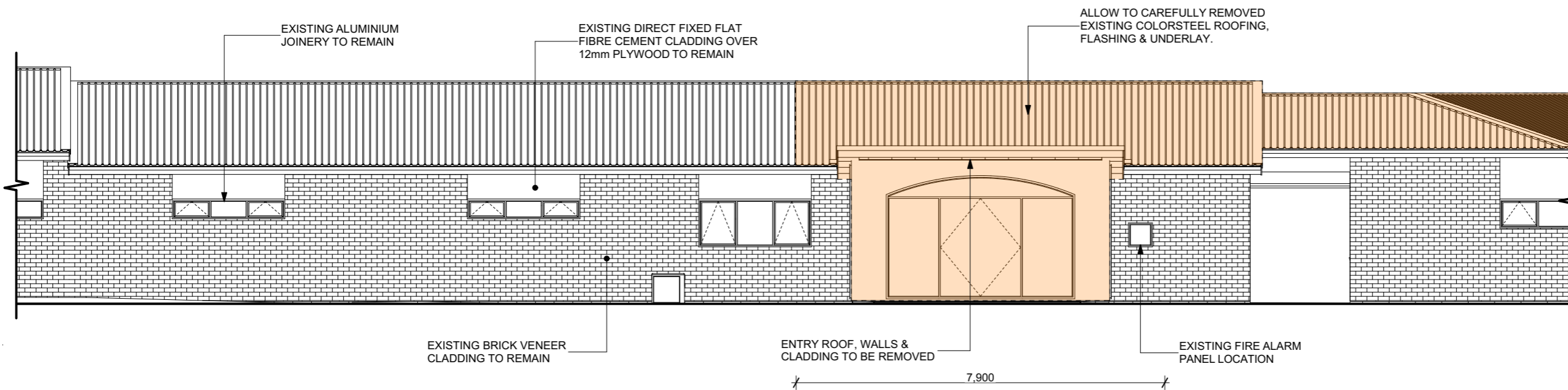
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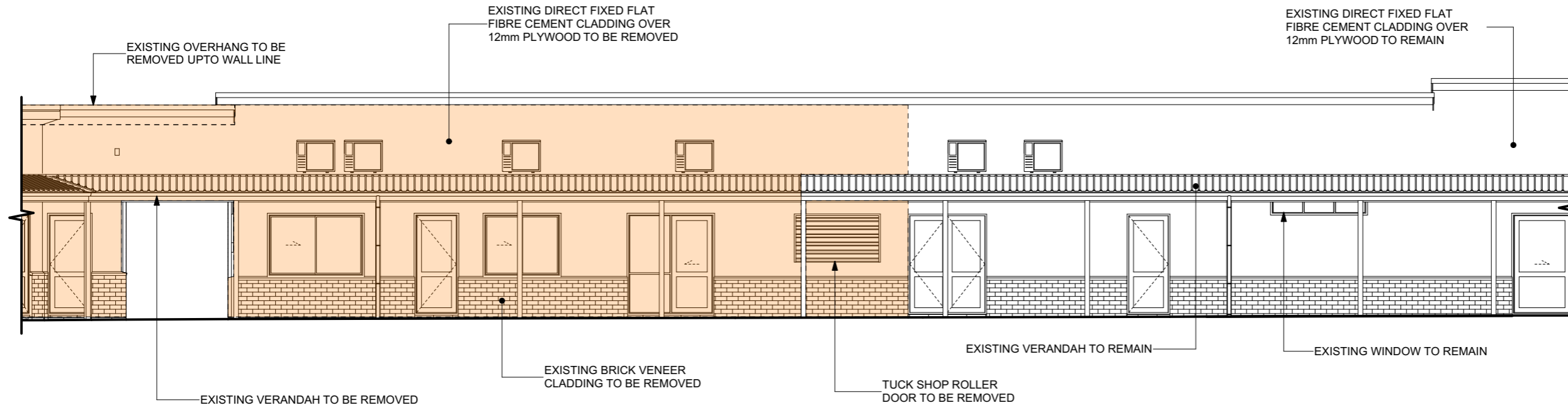
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AA1.03



2 East Elevation 1:100
AA1.03, AA1.04



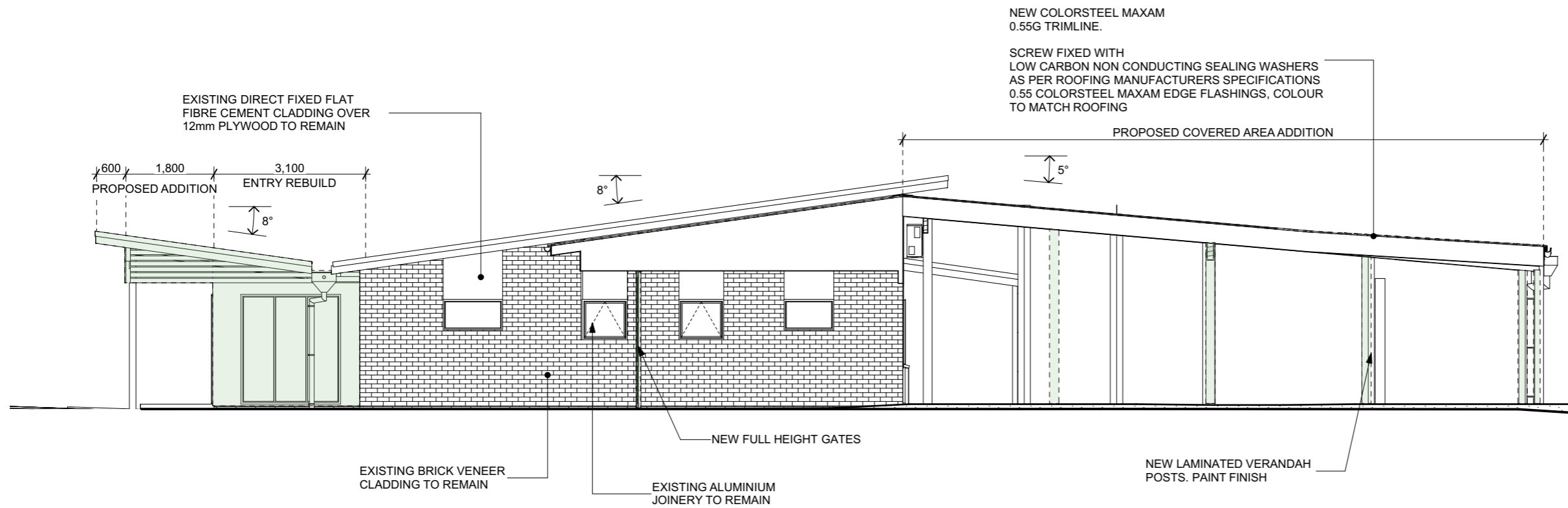
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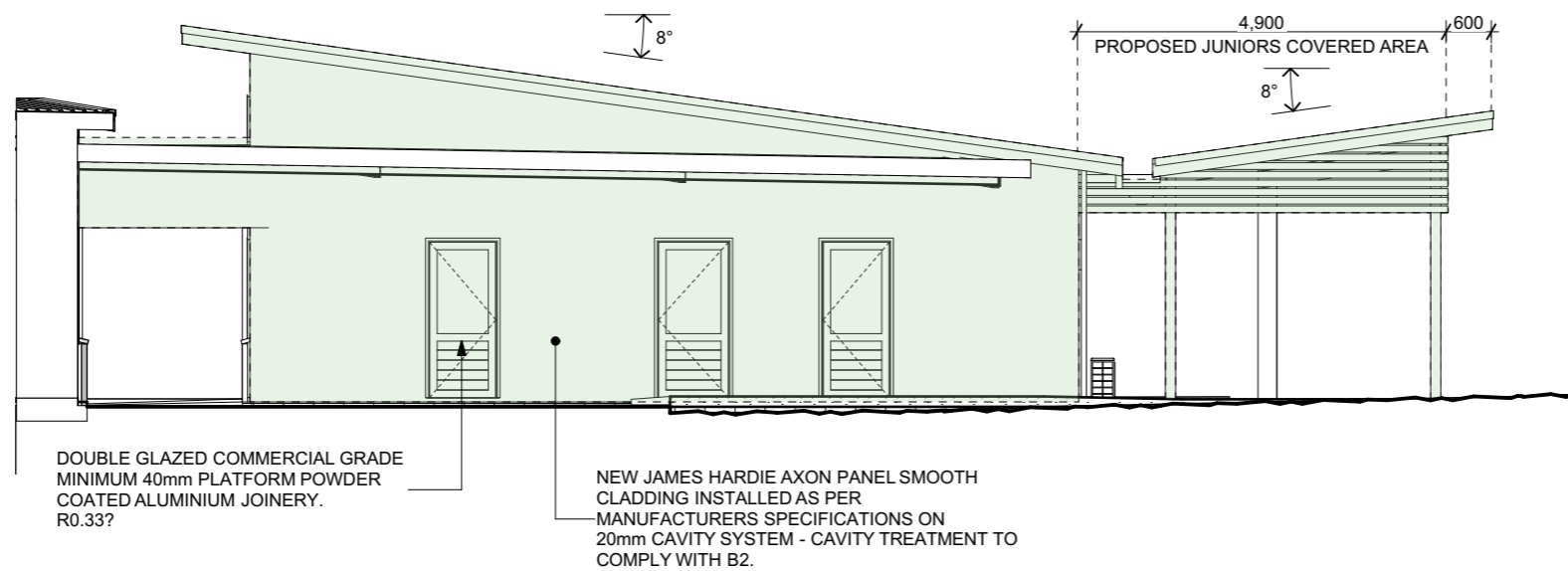
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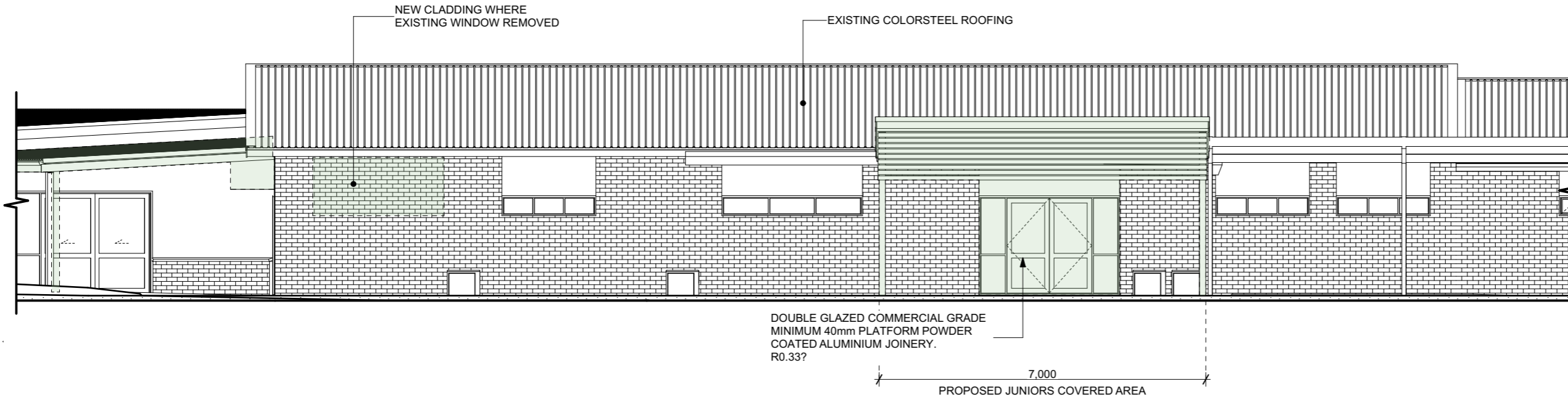
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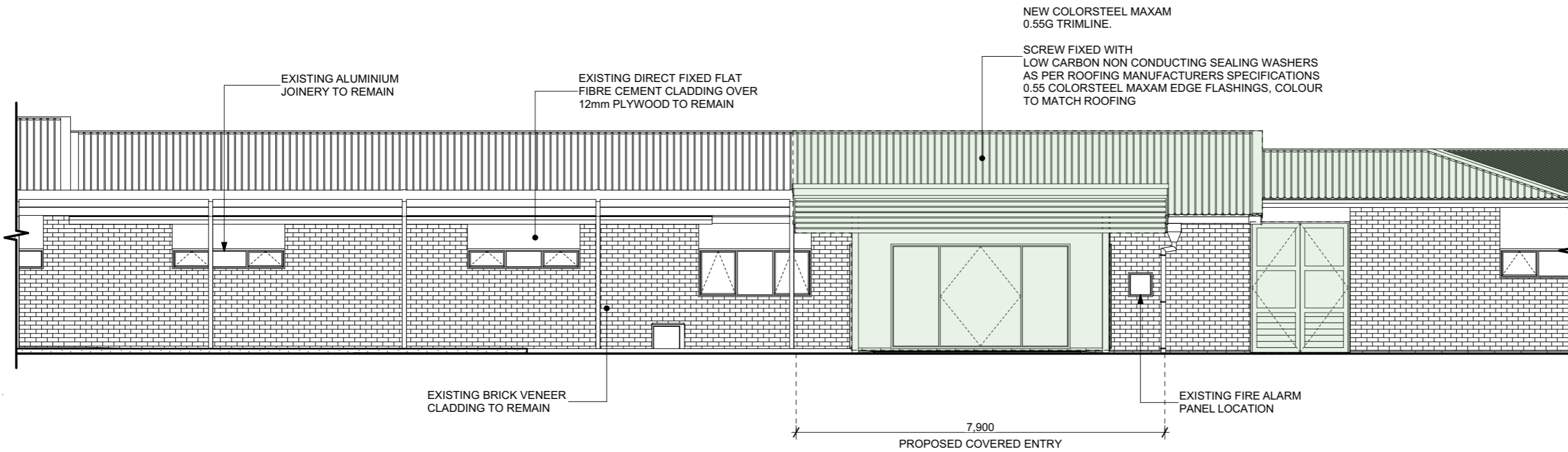
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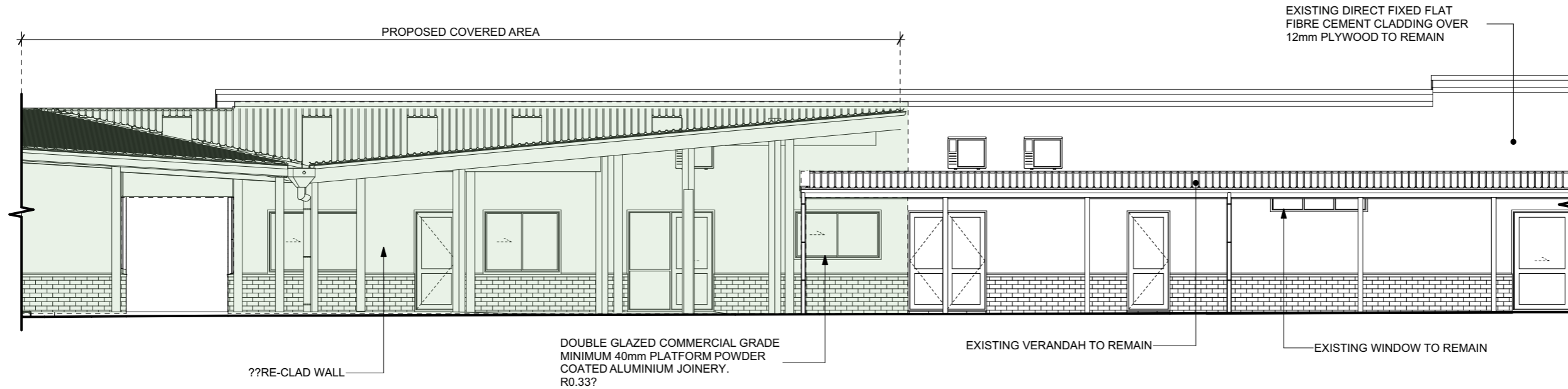
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AA1.05



2 East Elevation 1:100
AA1.05, AA1.06



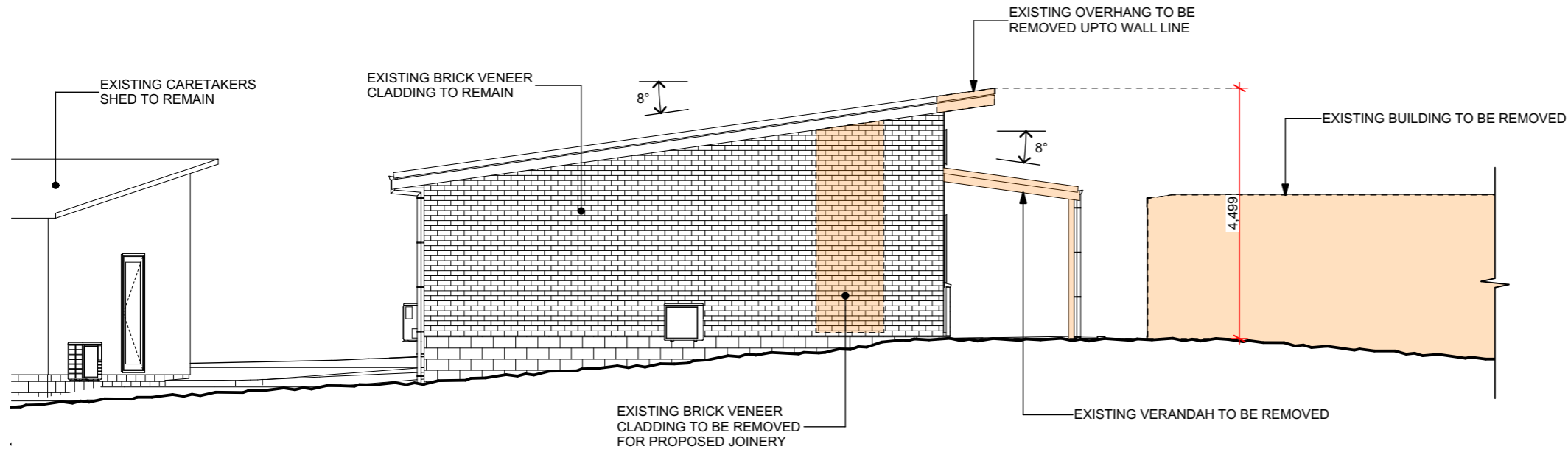
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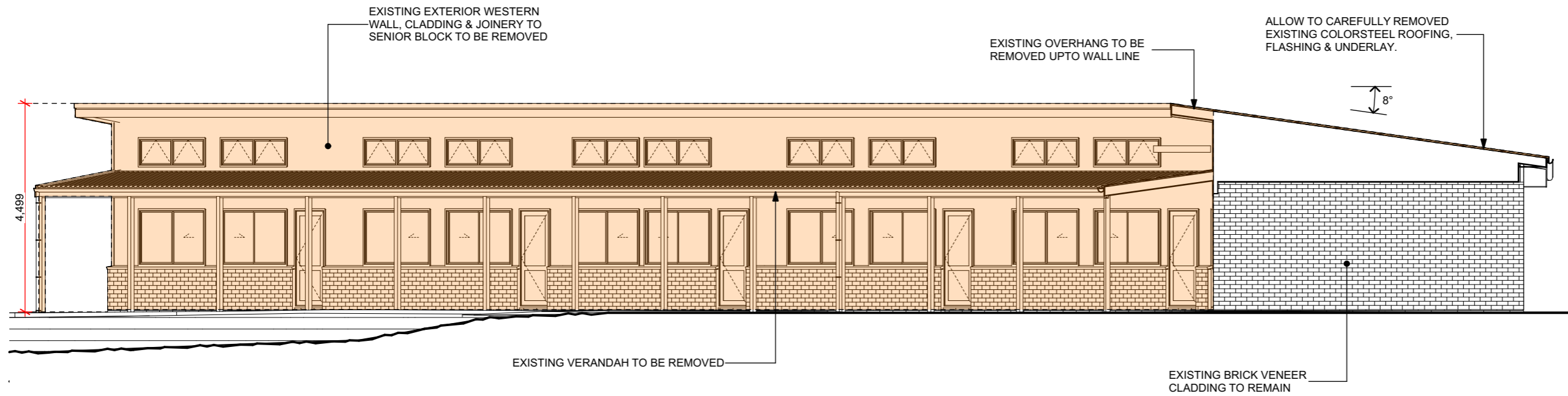
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AA1.05, AA1.06



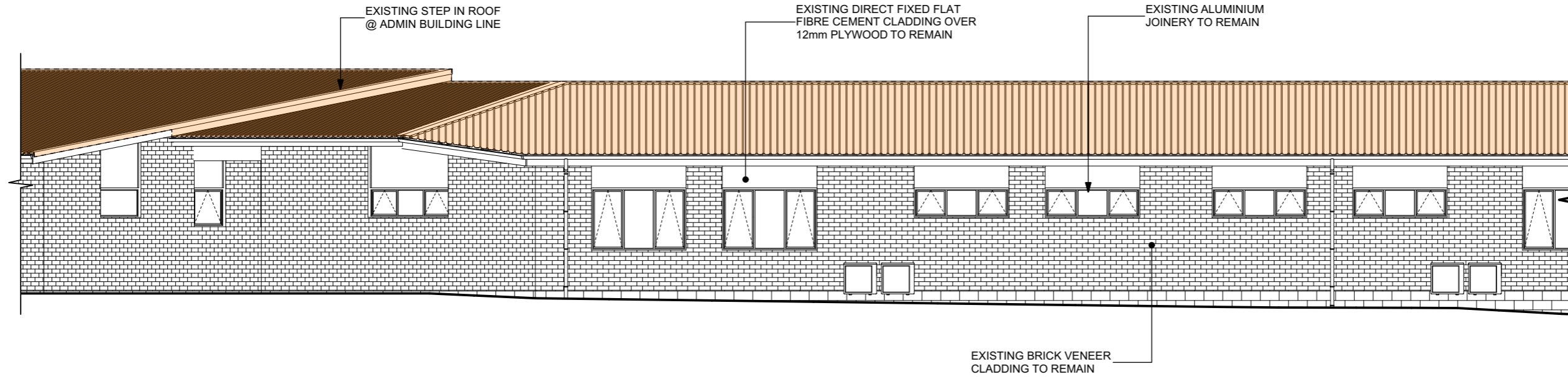
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AA1.05, AA1.06



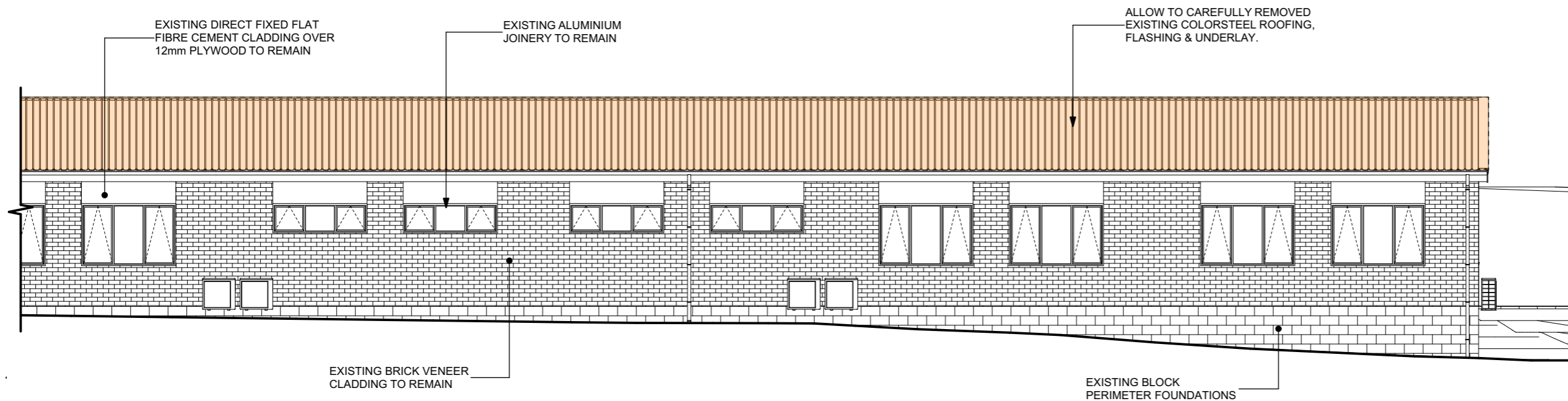
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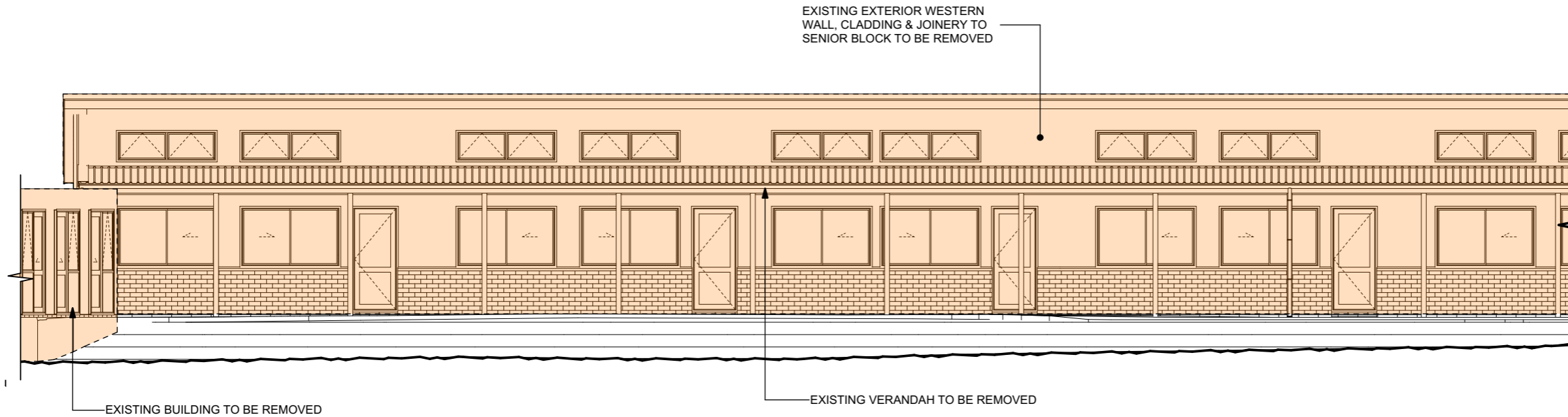
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1 East Elevation 1:100
AS1.09



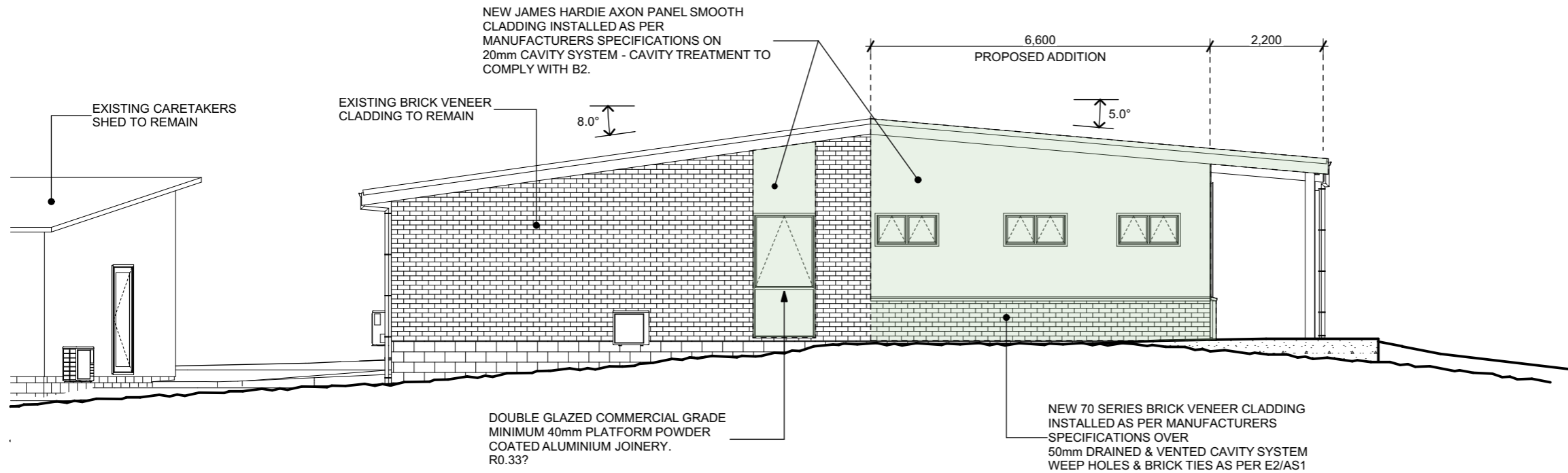
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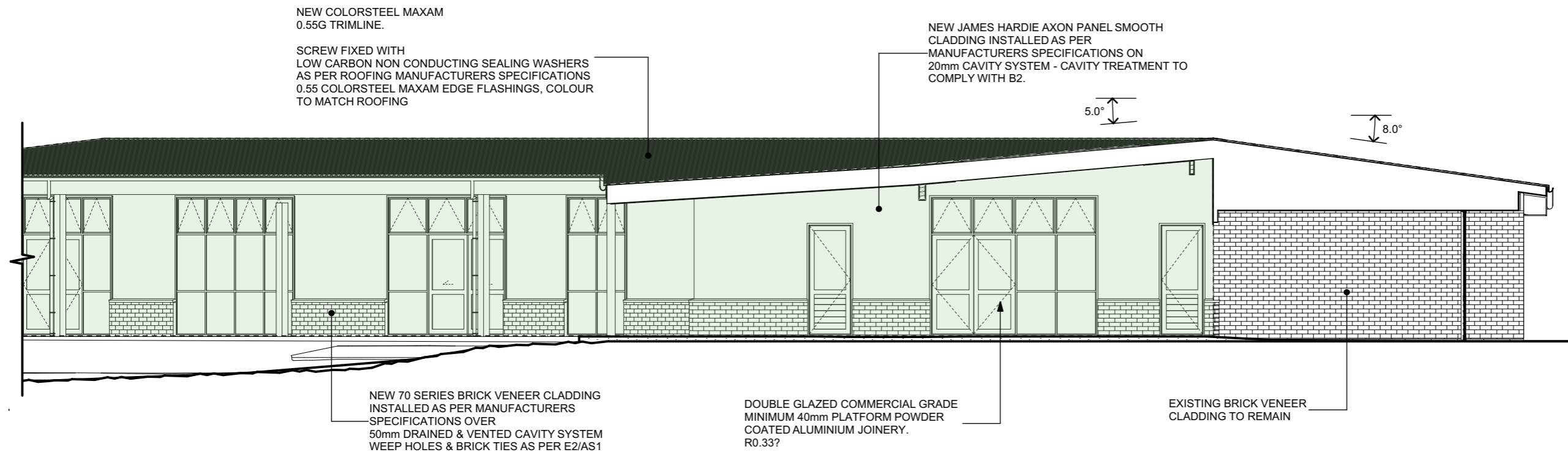
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2 West Elevation 1:100
AS1.09

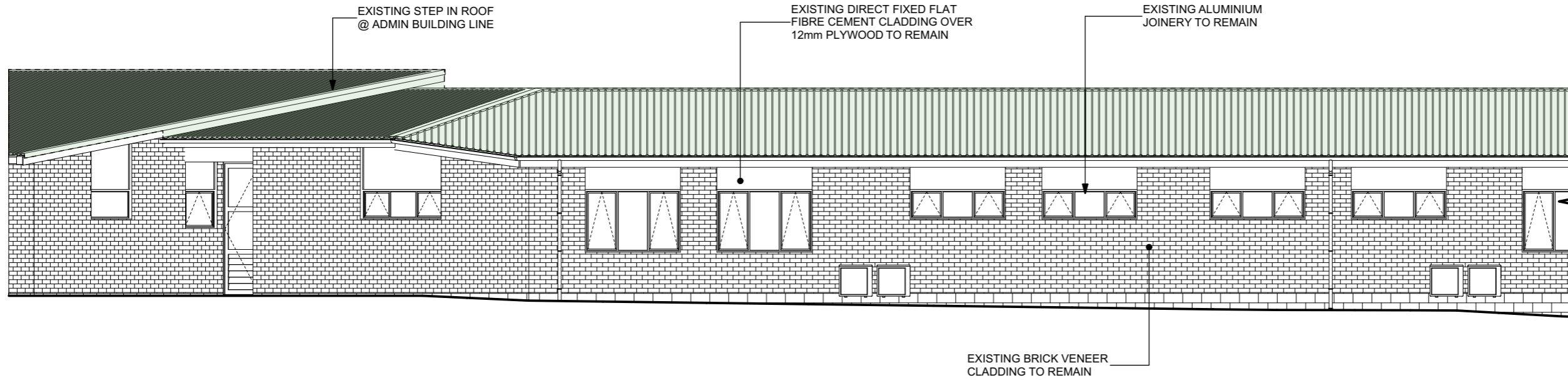


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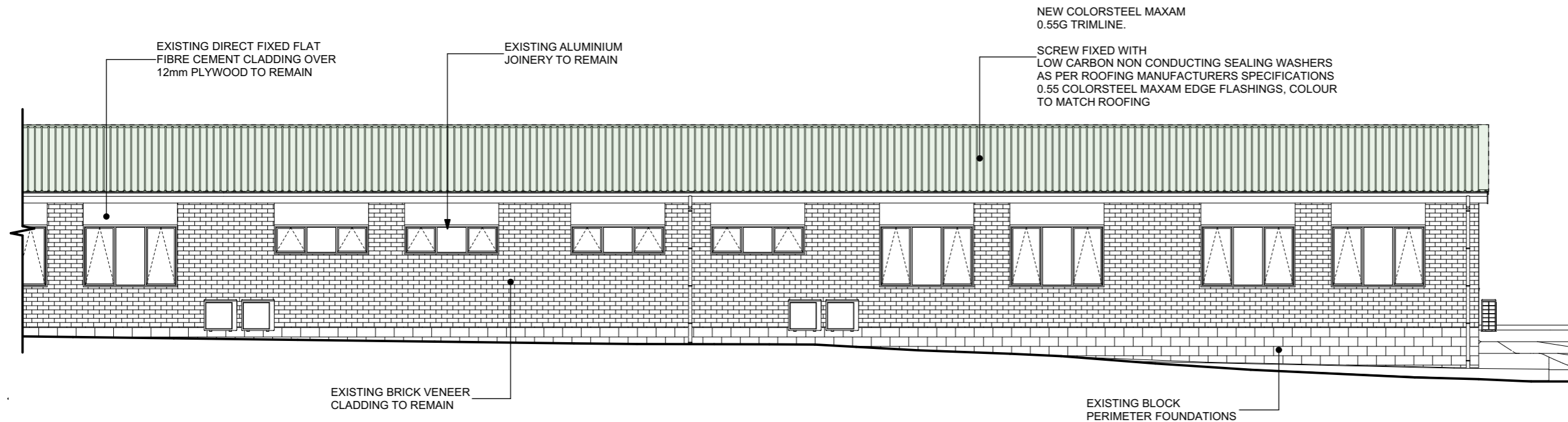


2 South Elevation 1:100
AS1.10

NOTE:
PROPOSED BRICK VENEER CLADDING TO MATCH EXISTING BRICK VENEER AS CLOSE AS POSSIBLE. AS THIS WILL BE DIFFICULT TO ACHIEVE, MAIN CONTRACTOR MUST GET SAMPLES OF BRICKS AND GET CLIENT'S APPROVAL PRIOR TO ORDERING BRICKS



1 East Elevation 1:100
AS1.10

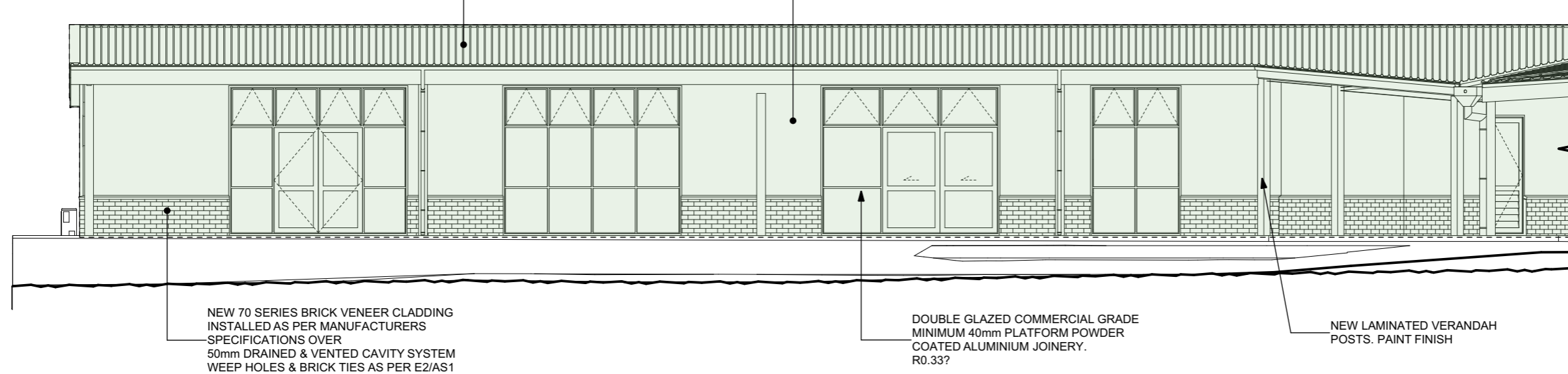


2 East Elevation 1:100
AS1.10

NEW COLORSTEEL MAXAM
0.55G TRIMLINE.

SCREW FIXED WITH
LOW CARBON NON CONDUCTING SEALING WASHERS
AS PER ROOFING MANUFACTURERS SPECIFICATIONS
0.55 COLORSTEEL MAXAM EDGE FLASHINGS, COLOUR
TO MATCH ROOFING

NEW JAMES HARDIE AXON PANEL SMOOTH
CLADDING INSTALLED AS PER
MANUFACTURERS SPECIFICATIONS ON
20mm CAVITY SYSTEM - CAVITY TREATMENT TO
COMPLY WITH B2.



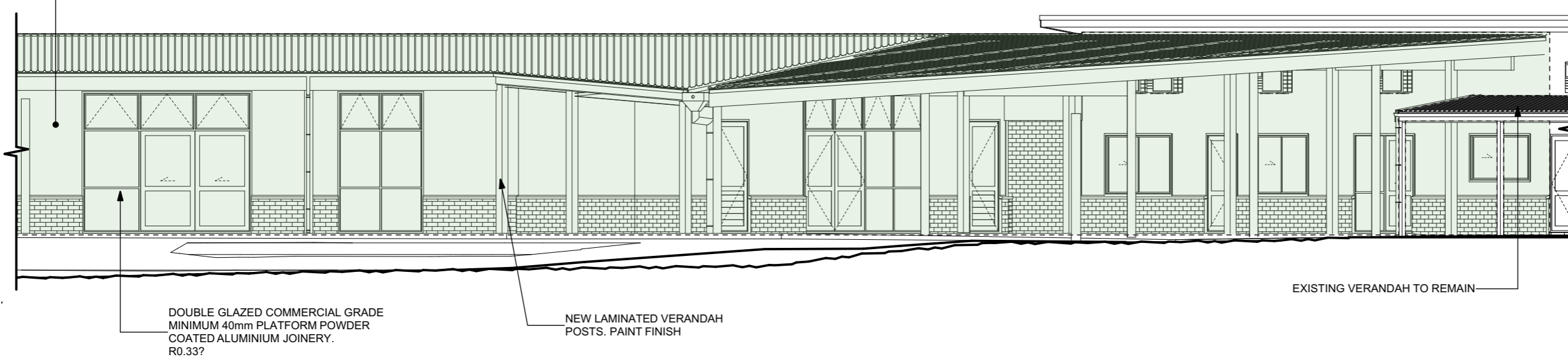
NEW 70 SERIES BRICK VENEER CLADDING
INSTALLED AS PER MANUFACTURERS
SPECIFICATIONS OVER
50mm DRAINED & VENTED CAVITY SYSTEM
WEEP HOLES & BRICK TIES AS PER E2/AS1

DOUBLE GLAZED COMMERCIAL GRADE
MINIMUM 40mm PLATFORM POWDER
COATED ALUMINIUM JOINERY.
R0.33?

NEW LAMINATED VERANDAH
POSTS. PAINT FINISH

1
AS1.10 West Elevation 1:100

NEW JAMES HARDIE AXON PANEL SMOOTH
CLADDING INSTALLED AS PER
MANUFACTURERS SPECIFICATIONS ON
20mm CAVITY SYSTEM - CAVITY TREATMENT TO
COMPLY WITH B2.



DOUBLE GLAZED COMMERCIAL GRADE
MINIMUM 40mm PLATFORM POWDER
COATED ALUMINIUM JOINERY.
R0.33?

NEW LAMINATED VERANDAH
POSTS. PAINT FINISH

EXISTING VERANDAH TO REMAIN

2
AS1.10 West Elevation 1:100

NOTE:
PROPOSED BRICK VENEER CLADDING TO
MATCH EXISTING BRICK VENEER AS CLOSE
AS POSSIBLE. AS THIS WILL BE DIFFICULT TO
ACHIEVE, MAIN CONTRACTOR MUST GET
SAMPLES OF BRICKS AND GET CLIENT'S
APPROVAL PRIOR TO ORDERING BRICKS



STORMWATER REPORT

7 Blue Gum Lane, Kerikeri



STORMWATER REPORT

7 Blue Gum Lane, Kerikeri

Report prepared for: Northland Education Trust

Report reference: 19198

Date: 30 September 2024

Revision: 1

Document Control

Date	Revision	Description	Prepared by:	Reviewed by:	Authorised by:
30/09/2024	1	RC Issue	M Jacobson	S Scott	M Jacobson



association of
consulting and
engineering



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B	RS Eng Drawings
C	Calculations

STORMWATER REPORT

7 Blue Gum Lane, Kerikeri

One School Global

1.0 Introduction

RS Eng Ltd (RS Eng) has been engaged by Northland Education Trust to investigate and prepare a preliminary design of stormwater attenuation devices for the proposed development at One School Global. The purpose of this report is to detail the pre and post development stormwater situation and the proposed stormwater mitigation devices.

The proposal consists of additions to buildings, new paving and new playing courts on Lots 1,2 & 3 DP 394493. Drawings of the proposal are attached in Appendix A.

2.0 Site Description

The properties are located on the northern side of the Blue Gum Lane and SH12 intersection. The existing school generally occupies the southwestern part of the properties.



Figure 1: Lots 1& 2 DP 394493

3.0 Desk Study

3.1 Referenced/Reviewed Documents

The following documents have been referenced in this report:

- GNS – Geology Of The Whangarei Urban Area – White & Perrin – 2003.

3.2 Site Geology

The GNS 1:250,000 scale New Zealand Geology Web Map shows that the property is located within an area underlain by Kerikeri Volcanics, which has been described as follows: “*Basalt lava, volcanic plugs and minor tuff.*”

4.0 Field Investigation

The author visited the property on 16 July 2024 and undertook a walkover inspection.

5.0 Stormwater Assessment

5.1 Design Methodology

The stormwater treatment, attenuation and disposal will be designed in accordance with the FNDC ES 2023. The general design methodology used is laid out below:

- Treatment designed to GD01.
- Stormwater attenuation is design for the 5%AEP and 1%AEP rainfall events, where post development runoff (including 20% for climate change) is attenuated to 80% of pre-development runoff.
- Disposal is designed incorporating the attenuation to have no adverse effects on downstream properties.

5.2 Design Criteria

The design is completed using the following criteria, based on the FNDC ES 2023 and GD01;

- WQV = 30mm.
- 20%AEP=158mm.
- 1%AEP=284mm.
- +20% climate change.
- Design attenuation to limit post development runoff to 80% of pre-development.

5.3 School

Currently, the school typically discharges its stormwater to a pair of ponds located near the northern boundary.

A number of new impervious surface areas are proposed at the school, summarised in Table 1.

To provide stormwater treatment and attenuation, two new ponds are proposed: one at the location of the existing pair, and another near the southwestern boundary.

5.3.1 Catchment Summary

Table 1: Catchment Summary - School

Scenario	Cover	Curve Number	Area (m ²)
North			
Pre-development	Impervious	98	5361
	Pervious	74	8663
Post-development	Impervious	98	5733
	Pervious	74	8291
South			
Pre-development	Pervious	74	3000
Post-development	Impervious	74	2070
	Pervious	98	930
Uncollected			
Post-development	Impervious	-	1797
	Pervious	-	2915
Total			
Post-development	Impervious	-	9600
	Pervious	-	12136

5.3.2 Treatment

Treatment will be provided in the proposed ponds by a forebay and dead storage. The proposed pond will be laid out typically in accordance with GD01. Table 2 below provides a summary of the primary design parameters of the proposed ponds.

Table 2: Pond Treatment Requirements

Pond	Fore Bay Volume	Permanent Storage
North	14m ³	82m ³
South	3m ³	15m ³

5.3.3 Attenuation

Stormwater attenuation modelling has been completed using HydroCAD, and the United States Department of Agriculture Technical Release 55 (TR55) method with the Type 1A nested storm. Table 3 provides a summary of the results. The full set of results are attached in Appendix C. A summary of the attenuation devices is given in Table 3.

Table 3: Stormwater Attenuation Calculations Summary - School

	Pre-development		Post-development	
	20% AEP	1% AEP	20% AEP +20%	1% AEP +20%
Peak flow l/s				
From surfaces	132.32	277.84	181.09	357.14
80% (design flows reqd.)	105.86	222.27		
Total attenuated flows			104.42	220.54

5.3.4 Proposed Pond Details

Table 4: Stormwater Ponds Summary - School

Pond	Size		Outlets		Forebay
	Elevation	Area	Elevation	Size	
North	1.9m	450 m ²	1.80m	1.5m wide spillway	14m ³
	0.7m	350 m ²	1.22m	295mmWx175mmH	
	0.0m	290 m ²	0.70m	200mmWx150mmH	
South	1.9m	250 m ²	1.55	1.5m wide spillway	3m ³
	0.7m	150 m ²	1.15	120mmWx75mmH	
	0.0m	135 m ²	0.70	115mmWx100mmH	

5.3.5 Disposal

The respective ponds will discharge into the overland flow paths which form the current discharge points for the existing catchment. The discharge points will incorporate suitable erosion control such as RipRap, specifically design at the detailed design stage.


6.0 Detailed Design

At the detailed design stage, further work will be required to finalise pipe and overland flow layouts to the respective ponds. A set of detailed drawings of each pond will be prepared at the detailed design stage.

7.0 Limitations

This report has been prepared solely for the benefit of our client. The purpose is to detail stormwater treatment, attenuation and disposal in relation to the material covered by the report. The reliance by other parties on the information, opinions or recommendations contained therein shall, without our prior review and agreement in writing, do so at their own risk.

Prepared and approved by:


Matthew Jacobson
Director
NZDE(Civil), BE(Hons)(Civil), CPEng, CMEngNZ

Reviewed by:

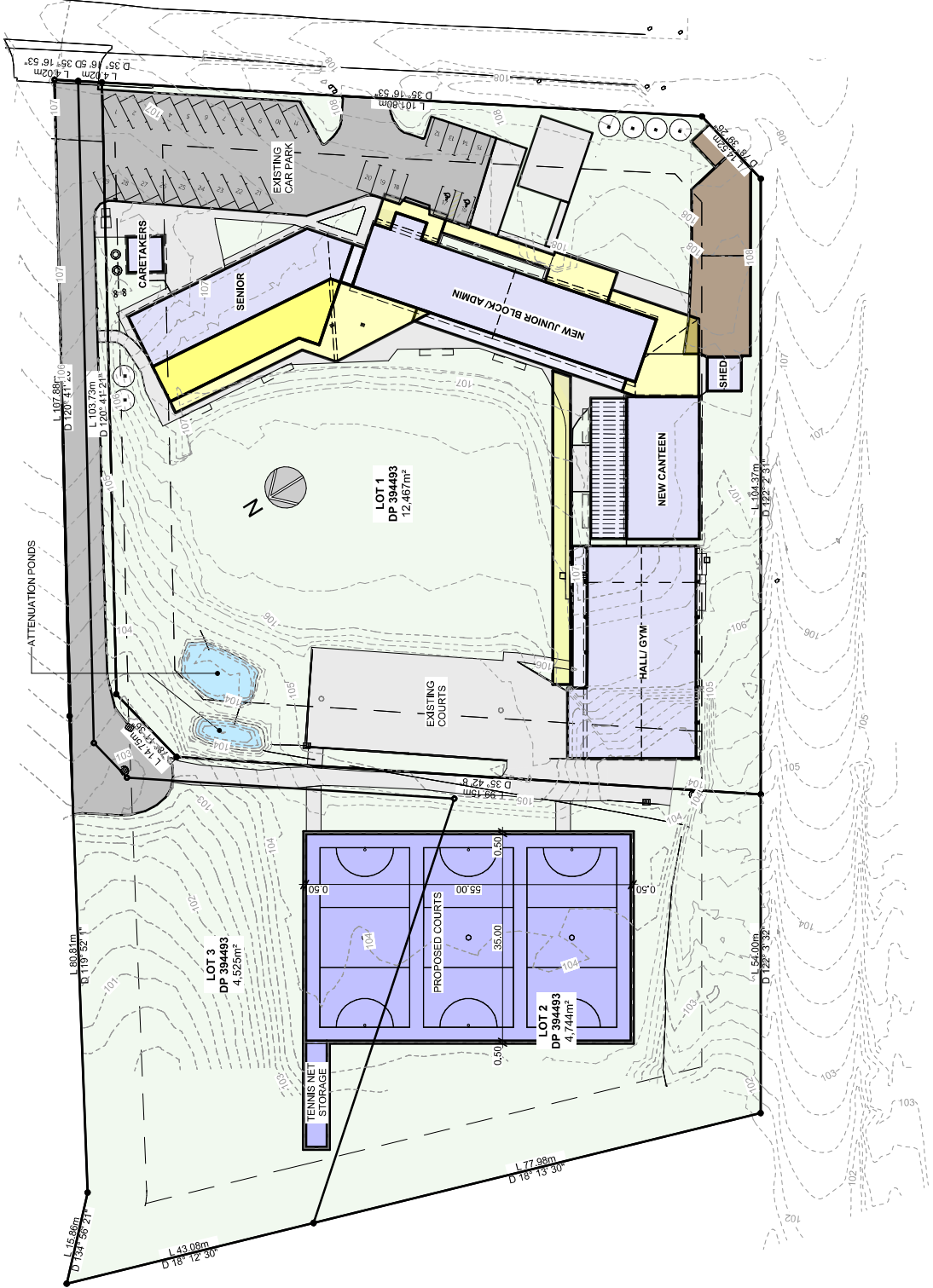
Sarah Scott
Senior Technician
NZDE(civil), MEngNZ

RS Eng Ltd

Appendix A

Proposal Drawings

SITE PLAN NOTES: SITE DESCRIPTION LOT NUMBER: DP 394483 ADDRESS: 7 BLUE GUM LANE, KERIKERI, NORTHLAND 0293	SITE ENVIRONMENT CLIMATE ZONE: ZONE 1 EXPOSURE ZONE: ZONE C LEE ZONE: NO WIND ZONE: HIGH WIND REGION: A RAINFALL INTENSITY: 90mm/hr (1m10 yr) SNOW ZONE: No (comm 1 (1050 yr))	DISTRICT PLAN COMPLIANCE RURAL PRODUCTION: N/A PLANNING OVERLAY: N/A BUILDING COVERAGE SITE AREA: 21,796m ² MAX. FLOOR AREA PERMITTED: 2,717m ² (12.5%) SENIOR BLOCK: 573,20m ² ADMIN BLOCK: 584,35m ² NEW CANTEEN: 797,84m ² CARE TAKERS: 38,00m ² SHED: 33,84m ² VERANDAH/ COVERED AREAS: 984,11 TOTAL COVERAGE: 3,194,58m² (14.7%) DOES NOT COMPLY	BUILDING HEIGHT MAX. HEIGHT PERMITTED: 22m EXISTING COMPLEES PROPOSED HEIGHT: 2m UP 45° COMPLEES HRB: 2m UP 45° COMPLEES	SETBACK TO BOUNDARIES 10m IN FROM ALL BOUNDARIES TBC SETBACK TO BUSH GREATER THAN 20m? TBC YES / NO TBC	STORMWATER MANAGEMENT SITE AREA: 21,796m ² TOTAL AREA PERMITTED: 3,220m ² (15%) TOTAL PROPOSED AREA: 2,340m ² TOTAL DRIVES: 1,581m ² TOTAL PATHS: 2,221m ² TOTAL COURTS: 42m ² FIRE-FIGHTING TANKS: 9,494m ² (43.5%) SUB-TOTAL IMPERMEABLE: 148m ² IMPERMEABLE CONTINGENCY: 9,600m ² (44.2%) TOTAL IMPERMEABLE: DOES NOT COMPLY	LEGEND EXISTING BUILDING EXISTING VERANDAH/ COVERED AREA PROPOSED BUILDING PROPOSED VERANDAH/ COVERED AREA PAVING PATHS DRIVEWAY/ CAR PARK METAL DRIVEWAY GARDEN/ LAWN PLAYGROUND/ SAND PIT ATTENUATION POND PROPOSED COURTS
--	--	--	--	--	--	--



Scale @ A3: 1:700
 Drawn By: ARCLINE
 Issued: 11/09/2024
 5:26 pm

Date: DD-MM-YY
 Revision: PRELIMINARY DESIGN
 Rev No.: PD-01

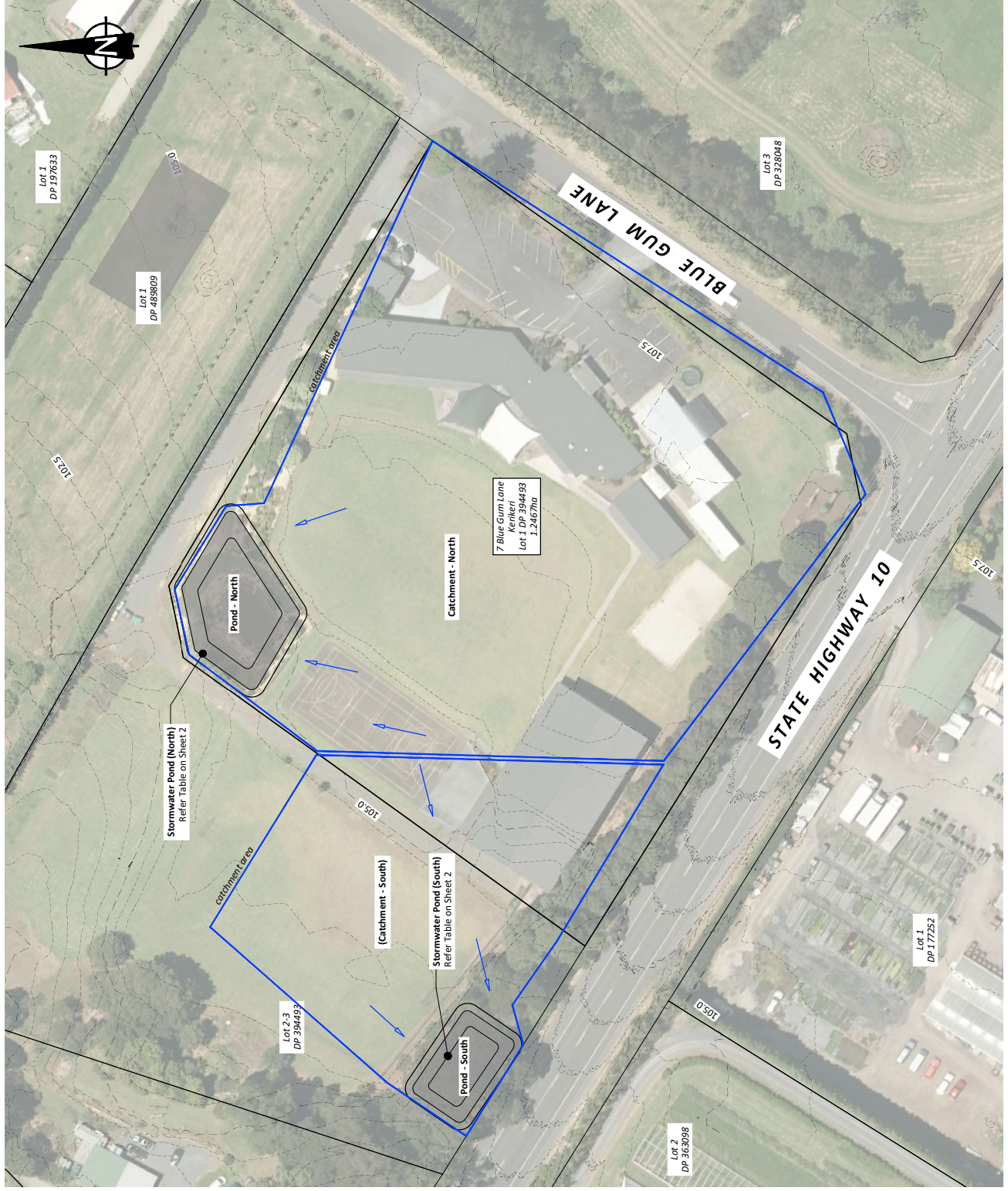
ONE SCHOOL GLOBAL KERIKERI
 7 BLUE GUM LANE, KERIKERI
 NORTHLAND 0293

Proposed Overall Site Plan

Arcline Architecture
 Offices: Kerikeri | Whangarei
 (Ph): 09 408 2233
 (Email): info@arcline.co.nz
 (Web): www.arcline.co.nz

Appendix B

RS Eng Drawings



SITE PLAN
1:750

- NOTES:**
- All services should be located on-site prior to commencement of works.
 - All works to comply with all relevant local authority by-laws and council regulations where applicable.
 - Contractors to confirm all dimensions on site prior to commencing any work.
 - Do not scale off drawings.
 - These drawings are to be read in conjunction with specifications - plans take precedence.
 - If any part of these documents are unclear, please contact RS Eng Ltd.
 - This plan is copyright to RS Eng Ltd and should not be reproduced without prior permission.

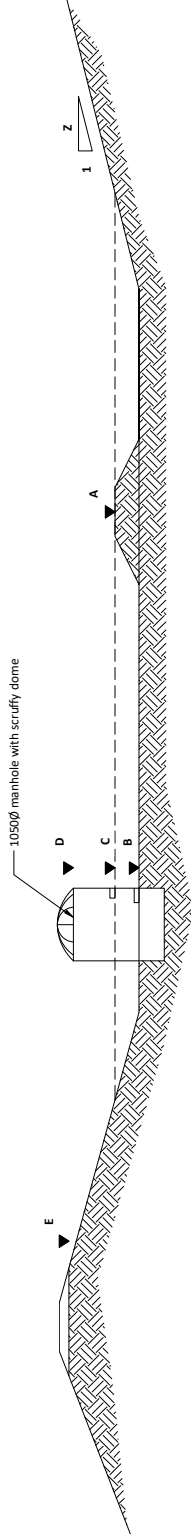
Contours are shown at 0.5m etc.
Contours are derived from LIDAR (2018) and are shown at NZVD2016 Vertical Datum.

RS Eng Ltd 09 438 3273 office@rseng.co.nz 2 Seaview Road, Whangarei 0110	
PROPOSED REDEVELOPMENT STORMWATER REPORT	
Client	NORTHLAND EDUCATION TRUST
Location	7 BLUE GUM LANE KERIKERI
Date	30/09/2024
Revision	A First Issue
Scale	1:750
Original	A3
Revision	A
Drawn	IME
Checked	IME
Approved	IME
Issue #	19198
Sheet	1



NOTES:


- All services should be located on-site prior to commencement of works.
- All works to comply with all relevant local authority by-laws and council regulations where applicable.
- Contractors to confirm all dimensions on site prior to commencing any work.
- Do not scale off drawings.
- These drawings are to be read in conjunction with specifications - plans take precedence.
- If any part of these documents are unclear, please contact RSEng Ltd.
- This plan is copyright to RSEng Ltd and should not be reproduced without prior permission.



Item	Name	Pond - North		Pond - South	
		Elevation	Dimensions	Elevation	Dimensions
A	Fore Bay Bund	0.70m	Fore Bay Volume 14m³	0.70m	Fore Bay Volume 3m³
B	Outlet 1	0.70m	200mmW x 150mmH	0.70m	115mmW x 100mmH
C	Outlet 2	1.22m	295mmW x 175mmH	1.15m	120mmW x 75mmH
D	Spillway	1.80m	1050mm Manhole	1.55m	1050mm Manhole
E	Emergency spillway	1.85m	1500mmW	1.60m	1500mmW
Z	Slope	-	Slope 1:3	-	Slope 1:3
-	Pond	0.00m	290m²	0.00m	135m²
		0.70m	350m²	0.70m	150m²
		1.90m	450m²	1.90m	250m²

STORMWATER POND - TYPICAL LAYOUT

1:100



RS Eng Ltd
09 438 3273
office@RSEng.co.nz
2 Seaview Road,
Whangarei 0110

**PROPOSED REDEVELOPMENT
STORMWATER REPORT**

Client: NORTHLAND EDUCATION TRUST

Location: 7 BLUE GUM LANE
KERIKERI

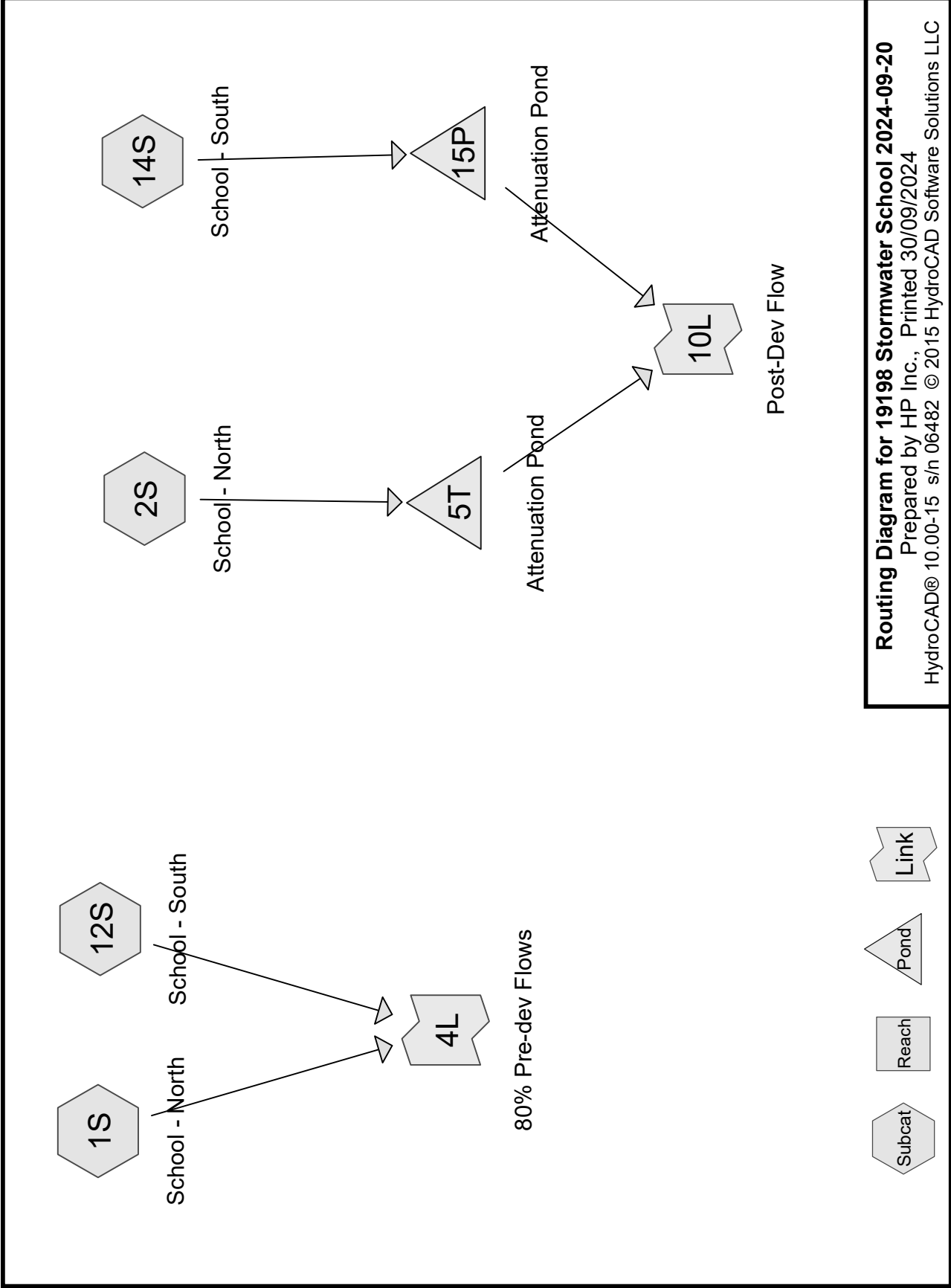
Date	Rev	Notes
30/09/2024	A	First Issue

Scale	Original	Rev	A
1:100	A3		Sheet
Drawn	Approved	File #	
IME	IMJ	19198	2



Appendix C

Calculations



Routing Diagram for 19198 Stormwater School 2024-09-20
 Prepared by HP Inc., Printed 30/09/2024
 HydroCAD® 10.00-15 s/n 06482 © 2015 HydroCAD Software Solutions LLC

Summary for Subcatchment 1S: School - North

This subcatchment reproduces the runoff calculation from Sample Job #1 in the TR-20 manual.

Since TR-20 has no CN or Tc calculation procedures, these values have been entered directly, rather than using HydroCAD's built-in CN lookup table and Tc calculation procedures.

The resulting peak flow of 2176cfs is approximately 4% higher than the published TR-20 value of 2097cfs. This difference occurs at small Tc values due to the additional detail provided by the polynomial-based rainfall distributions used in HydroCAD.

If a more exact TR-20 match is desired, an optional "Type II 24-hr Tabular" rainfall definition is available, which produces a peak runoff of 2099cfs, just 0.1% higher than TR-20.

Runoff = 233.81 l/s @ 7.96 hrs, Volume= 3,313.9 m³, Depth> 236 mm

Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-24.00 hrs, dt= 0.05 hrs
 Type IA 24-hr 1% AEP Rainfall=284 mm, Ia/S=0.06

Area (m ²)	CN	Description
5,361.0	98	Water Surface, HSG D
8,663.0	74	>75% Grass cover, Good, HSG C
14,024.0	83	Weighted Average
8,663.0		61.77% Pervious Area
5,361.0		38.23% Impervious Area

Tc (min)	Length (meters)	Slope (m/m)	Velocity (m/sec)	Capacity (m ³ /s)	Description
10.0					Direct Entry,

Summary for Subcatchment 12S: School - South

This subcatchment reproduces the runoff calculation from Sample Job #1 in the TR-20 manual.

Since TR-20 has no CN or Tc calculation procedures, these values have been entered directly, rather than using HydroCAD's built-in CN lookup table and Tc calculation procedures.

The resulting peak flow of 2176cfs is approximately 4% higher than the published TR-20 value of 2097cfs. This difference occurs at small Tc values due to the additional detail provided by the polynomial-based rainfall distributions used in HydroCAD.

If a more exact TR-20 match is desired, an optional "Type II 24-hr Tabular" rainfall definition is available, which produces a peak runoff of 2099cfs, just 0.1% higher than TR-20.

Runoff = 44.05 l/s @ 7.97 hrs, Volume= 631.2 m³, Depth> 210 mm

Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-24.00 hrs, dt= 0.05 hrs
 Type IA 24-hr 1% AEP Rainfall=284 mm, Ia/S=0.06

Area (m ²)	CN	Description
3,000.0	74	>75% Grass cover, Good, HSG C
3,000.0		100.00% Pervious Area

Tc (min)	Length (meters)	Slope (m/m)	Velocity (m/sec)	Capacity (m ³ /s)	Description
10.0					Direct Entry,

Summary for Link 4L: 80% Pre-dev Flows

Inflow Area = 17,024.0 m², 31.49% Impervious, Inflow Depth > 232 mm for 1% AEP event
Inflow = 277.84 l/s @ 7.96 hrs, Volume= 3,945.1 m³
Primary = 222.27 l/s @ 7.96 hrs, Volume= 3,156.1 m³, Atten= 20%, Lag= 0.0 min
Secondary = 55.57 l/s @ 7.96 hrs, Volume= 789.0 m³

Primary outflow = Inflow x 0.80, Time Span= 0.00-24.00 hrs, dt= 0.05 hrs

Summary for Subcatchment 1S: School - North

This subcatchment reproduces the runoff calculation from Sample Job #1 in the TR-20 manual.

Since TR-20 has no CN or Tc calculation procedures, these values have been entered directly, rather than using HydroCAD's built-in CN lookup table and Tc calculation procedures.

The resulting peak flow of 2176cfs is approximately 4% higher than the published TR-20 value of 2097cfs. This difference occurs at small Tc values due to the additional detail provided by the polynomial-based rainfall distributions used in HydroCAD.

If a more exact TR-20 match is desired, an optional "Type II 24-hr Tabular" rainfall definition is available, which produces a peak runoff of 2099cfs, just 0.1% higher than TR-20.

Runoff = 113.01 l/s @ 7.98 hrs, Volume= 1,620.8 m³, Depth> 116 mm

Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-24.00 hrs, dt= 0.05 hrs
 Type IA 24-hr 20% AEP Rainfall=158 mm, Ia/S=0.06

Area (m ²)	CN	Description
5,361.0	98	Water Surface, HSG D
8,663.0	74	>75% Grass cover, Good, HSG C
14,024.0	83	Weighted Average
8,663.0		61.77% Pervious Area
5,361.0		38.23% Impervious Area

Tc (min)	Length (meters)	Slope (m/m)	Velocity (m/sec)	Capacity (m ³ /s)	Description
10.0					Direct Entry,

Summary for Subcatchment 12S: School - South

This subcatchment reproduces the runoff calculation from Sample Job #1 in the TR-20 manual.

Since TR-20 has no CN or Tc calculation procedures, these values have been entered directly, rather than using HydroCAD's built-in CN lookup table and Tc calculation procedures.

The resulting peak flow of 2176cfs is approximately 4% higher than the published TR-20 value of 2097cfs. This difference occurs at small Tc values due to the additional detail provided by the polynomial-based rainfall distributions used in HydroCAD.

If a more exact TR-20 match is desired, an optional "Type II 24-hr Tabular" rainfall definition is available, which produces a peak runoff of 2099cfs, just 0.1% higher than TR-20.

Runoff = 19.33 l/s @ 7.99 hrs, Volume= 288.0 m³, Depth> 96 mm

Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-24.00 hrs, dt= 0.05 hrs
 Type IA 24-hr 20% AEP Rainfall=158 mm, Ia/S=0.06

Area (m ²)	CN	Description
3,000.0	74	>75% Grass cover, Good, HSG C
3,000.0		100.00% Pervious Area

Tc (min)	Length (meters)	Slope (m/m)	Velocity (m/sec)	Capacity (m ³ /s)	Description
10.0					Direct Entry,

Summary for Link 4L: 80% Pre-dev Flows

Inflow Area = 17,024.0 m², 31.49% Impervious, Inflow Depth > 112 mm for 20% AEP event
Inflow = 132.32 l/s @ 7.98 hrs, Volume= 1,908.8 m³
Primary = 105.86 l/s @ 7.98 hrs, Volume= 1,527.0 m³, Atten= 20%, Lag= 0.0 min
Secondary = 26.46 l/s @ 7.98 hrs, Volume= 381.8 m³

Primary outflow = Inflow x 0.80, Time Span= 0.00-24.00 hrs, dt= 0.05 hrs

Summary for Subcatchment 2S: School - North

Runoff = 291.42 l/s @ 7.95 hrs, Volume= 4,136.4 m³, Depth> 295 mm

Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-24.00 hrs, dt= 0.05 hrs
 Type IA 24-hr 1% AEP+20% Rainfall=341 mm, Ia/S=0.06

Area (m ²)	CN	Description
5,733.0	98	Paved parking, HSG D
8,291.0	74	>75% Grass cover, Good, HSG C
14,024.0	84	Weighted Average
8,291.0		59.12% Pervious Area
5,733.0		40.88% Impervious Area

Tc (min)	Length (meters)	Slope (m/m)	Velocity (m/sec)	Capacity (m ³ /s)	Description
10.0					Direct Entry,

Summary for Subcatchment 14S: School - South

Runoff = 65.72 l/s @ 7.94 hrs, Volume= 945.8 m³, Depth> 315 mm

Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-24.00 hrs, dt= 0.05 hrs
 Type IA 24-hr 1% AEP+20% Rainfall=341 mm, Ia/S=0.06

Area (m ²)	CN	Description
2,070.0	98	Paved parking, HSG D
930.0	74	>75% Grass cover, Good, HSG C
3,000.0	91	Weighted Average
930.0		31.00% Pervious Area
2,070.0		69.00% Impervious Area

Tc (min)	Length (meters)	Slope (m/m)	Velocity (m/sec)	Capacity (m ³ /s)	Description
10.0					Direct Entry,

Summary for Pond 5T: Attenuation Pond

Inflow Area = 14,024.0 m², 40.88% Impervious, Inflow Depth > 295 mm for 1% AEP+20% event
 Inflow = 291.42 l/s @ 7.95 hrs, Volume= 4,136.4 m³
 Outflow = 185.49 l/s @ 8.22 hrs, Volume= 4,088.9 m³, Atten= 36%, Lag= 16.3 min
 Primary = 185.49 l/s @ 8.22 hrs, Volume= 4,088.9 m³

Routing by Stor-Ind method, Time Span= 0.00-24.00 hrs, dt= 0.05 hrs / 2
 Peak Elev= 1.029 m @ 8.22 hrs Surf.Area= 435.7 m² Storage= 404.1 m³

Plug-Flow detention time= 30.3 min calculated for 4,080.4 m³ (99% of inflow)
 Center-of-Mass det. time= 21.8 min (707.2 - 685.4)

Volume	Invert	Avail.Storage	Storage Description
#1	0.000 m	480.0 m ³	Custom Stage Data (Prismatic) Listed below (Recalc)

Elevation (meters)	Surf.Area (sq-meters)	Inc.Store (cubic-meters)	Cum.Store (cubic-meters)
0.000	350.0	0.0	0.0
1.200	450.0	480.0	480.0

Device	Routing	Invert	Outlet Devices
#1	Primary	1.100 m	5.00 m long x 1.50 m breadth Broad-Crested Rectangular Weir Head (meters) 0.061 0.122 0.183 0.244 0.305 0.366 0.427 0.488 0.549 0.610 0.762 0.914 1.067 1.219 1.372 1.524 1.676 Coef. (Metric) 1.29 1.38 1.49 1.48 1.48 1.47 1.46 1.46 1.46 1.46 1.48 1.47 1.48 1.49 1.52 1.55 1.61
#2	Primary	0.000 m	295 mm W x 175 mm H Vert. Orifice/Grate C= 0.600
#3	Primary	0.520 m	200 mm W x 150 mm H Vert. Orifice/Grate C= 0.600

Primary OutFlow Max=185.32 l/s @ 8.22 hrs HW=1.027 m (Free Discharge)

- 1=Broad-Crested Rectangular Weir (Controls 0.00 l/s)
- 2=Orifice/Grate (Orifice Controls 132.96 l/s @ 2.58 m/s)
- 3=Orifice/Grate (Orifice Controls 52.36 l/s @ 1.75 m/s)

Summary for Pond 15P: Attenuation Pond

Inflow Area = 3,000.0 m², 69.00% Impervious, Inflow Depth > 315 mm for 1% AEP+20% event
 Inflow = 65.72 l/s @ 7.94 hrs, Volume= 945.8 m³
 Outflow = 35.25 l/s @ 8.31 hrs, Volume= 930.6 m³, Atten= 46%, Lag= 21.8 min
 Primary = 35.25 l/s @ 8.31 hrs, Volume= 930.6 m³

Routing by Stor-Ind method, Time Span= 0.00-24.00 hrs, dt= 0.05 hrs / 2
 Peak Elev= 0.746 m @ 8.31 hrs Surf.Area= 224.6 m² Storage= 139.7 m³

Plug-Flow detention time= 62.3 min calculated for 928.7 m³ (98% of inflow)
 Center-of-Mass det. time= 50.0 min (715.6 - 665.5)

Volume	Invert	Avail.Storage	Storage Description
#1	0.000 m	200.0 m ³	Custom Stage Data (Prismatic) Listed below (Recalc)

Elevation (meters)	Surf.Area (sq-meters)	Inc.Store (cubic-meters)	Cum.Store (cubic-meters)
0.000	150.0	0.0	0.0
1.000	250.0	200.0	200.0

Device	Routing	Invert	Outlet Devices
#1	Primary	0.850 m	5.00 m long x 1.50 m breadth Broad-Crested Rectangular Weir Head (meters) 0.061 0.122 0.183 0.244 0.305 0.366 0.427 0.488 0.549 0.610 0.762 0.914 1.067 1.219 1.372 1.524 1.676 Coef. (Metric) 1.29 1.38 1.49 1.48 1.48 1.47 1.46 1.46 1.46 1.46 1.48 1.47 1.48 1.49 1.52 1.55 1.61
#2	Primary	0.000 m	120 mm W x 75 mm H Vert. Orifice/Grate C= 0.600
#3	Primary	0.450 m	115 mm W x 100 mm H Vert. Orifice/Grate C= 0.600

Primary OutFlow Max=35.25 l/s @ 8.31 hrs HW=0.746 m (Free Discharge)
 1=Broad-Crested Rectangular Weir (Controls 0.00 l/s)
 2=Orifice/Grate (Orifice Controls 20.13 l/s @ 2.24 m/s)
 3=Orifice/Grate (Orifice Controls 15.12 l/s @ 1.31 m/s)

Summary for Link 10L: Post-Dev Flow

Inflow Area = 17,024.0 m², 45.84% Impervious, Inflow Depth > 295 mm for 1% AEP+20% event
Inflow = 220.54 l/s @ 8.23 hrs, Volume= 5,019.5 m³
Primary = 220.54 l/s @ 8.23 hrs, Volume= 5,019.5 m³, Atten= 0%, Lag= 0.0 min

Primary outflow = Inflow, Time Span= 0.00-24.00 hrs, dt= 0.05 hrs

Summary for Subcatchment 2S: School - North

Runoff = 146.07 l/s @ 7.97 hrs, Volume= 2,078.5 m³, Depth> 148 mm

Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-24.00 hrs, dt= 0.05 hrs
 Type IA 24-hr 20% AEP +20% Rainfall=190 mm, Ia/S=0.06

Area (m ²)	CN	Description
5,733.0	98	Paved parking, HSG D
8,291.0	74	>75% Grass cover, Good, HSG C
14,024.0	84	Weighted Average
8,291.0		59.12% Pervious Area
5,733.0		40.88% Impervious Area

Tc (min)	Length (meters)	Slope (m/m)	Velocity (m/sec)	Capacity (m ³ /s)	Description
10.0					Direct Entry,

Summary for Subcatchment 14S: School - South

Runoff = 35.02 l/s @ 7.95 hrs, Volume= 497.6 m³, Depth> 166 mm

Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-24.00 hrs, dt= 0.05 hrs
 Type IA 24-hr 20% AEP +20% Rainfall=190 mm, Ia/S=0.06

Area (m ²)	CN	Description
2,070.0	98	Paved parking, HSG D
930.0	74	>75% Grass cover, Good, HSG C
3,000.0	91	Weighted Average
930.0		31.00% Pervious Area
2,070.0		69.00% Impervious Area

Tc (min)	Length (meters)	Slope (m/m)	Velocity (m/sec)	Capacity (m ³ /s)	Description
10.0					Direct Entry,

Summary for Pond 5T: Attenuation Pond

Inflow Area = 14,024.0 m², 40.88% Impervious, Inflow Depth > 148 mm for 20% AEP +20% event
 Inflow = 146.07 l/s @ 7.97 hrs, Volume= 2,078.5 m³
 Outflow = 89.85 l/s @ 8.25 hrs, Volume= 2,047.0 m³, Atten= 38%, Lag= 16.9 min
 Primary = 89.85 l/s @ 8.25 hrs, Volume= 2,047.0 m³

Routing by Stor-Ind method, Time Span= 0.00-24.00 hrs, dt= 0.05 hrs / 2
 Peak Elev= 0.518 m @ 8.25 hrs Surf.Area= 393.2 m² Storage= 192.4 m³

Plug-Flow detention time= 32.0 min calculated for 2,047.0 m³ (98% of inflow)
 Center-of-Mass det. time= 21.1 min (730.7 - 709.6)

Volume	Invert	Avail.Storage	Storage Description
#1	0.000 m	480.0 m ³	Custom Stage Data (Prismatic) Listed below (Recalc)

Elevation (meters)	Surf.Area (sq-meters)	Inc.Store (cubic-meters)	Cum.Store (cubic-meters)
0.000	350.0	0.0	0.0
1.200	450.0	480.0	480.0

Device	Routing	Invert	Outlet Devices
#1	Primary	1.100 m	5.00 m long x 1.50 m breadth Broad-Crested Rectangular Weir Head (meters) 0.061 0.122 0.183 0.244 0.305 0.366 0.427 0.488 0.549 0.610 0.762 0.914 1.067 1.219 1.372 1.524 1.676 Coef. (Metric) 1.29 1.38 1.49 1.48 1.48 1.47 1.46 1.46 1.46 1.46 1.48 1.47 1.48 1.49 1.52 1.55 1.61
#2	Primary	0.000 m	295 mm W x 175 mm H Vert. Orifice/Grate C= 0.600
#3	Primary	0.520 m	200 mm W x 150 mm H Vert. Orifice/Grate C= 0.600

Primary OutFlow Max=89.85 l/s @ 8.25 hrs HW=0.518 m (Free Discharge)
 1=Broad-Crested Rectangular Weir (Controls 0.00 l/s)
 2=Orifice/Grate (Orifice Controls 89.85 l/s @ 1.74 m/s)
 3=Orifice/Grate (Controls 0.00 l/s)

Summary for Pond 15P: Attenuation Pond

Inflow Area = 3,000.0 m², 69.00% Impervious, Inflow Depth > 166 mm for 20% AEP +20% event
 Inflow = 35.02 l/s @ 7.95 hrs, Volume= 497.6 m³
 Outflow = 14.78 l/s @ 8.47 hrs, Volume= 488.5 m³, Atten= 58%, Lag= 31.3 min
 Primary = 14.78 l/s @ 8.47 hrs, Volume= 488.5 m³

Routing by Stor-Ind method, Time Span= 0.00-24.00 hrs, dt= 0.05 hrs / 2
 Peak Elev= 0.420 m @ 8.47 hrs Surf.Area= 192.0 m² Storage= 71.7 m³

Plug-Flow detention time= 54.7 min calculated for 487.5 m³ (98% of inflow)
 Center-of-Mass det. time= 41.1 min (724.0 - 682.9)

Volume	Invert	Avail.Storage	Storage Description
#1	0.000 m	200.0 m ³	Custom Stage Data (Prismatic) Listed below (Recalc)

Elevation (meters)	Surf.Area (sq-meters)	Inc.Store (cubic-meters)	Cum.Store (cubic-meters)
0.000	150.0	0.0	0.0
1.000	250.0	200.0	200.0

Device	Routing	Invert	Outlet Devices
#1	Primary	0.850 m	5.00 m long x 1.50 m breadth Broad-Crested Rectangular Weir Head (meters) 0.061 0.122 0.183 0.244 0.305 0.366 0.427 0.488 0.549 0.610 0.762 0.914 1.067 1.219 1.372 1.524 1.676 Coef. (Metric) 1.29 1.38 1.49 1.48 1.48 1.47 1.46 1.46 1.46 1.46 1.48 1.47 1.48 1.49 1.52 1.55 1.61
#2	Primary	0.000 m	120 mm W x 75 mm H Vert. Orifice/Grate C= 0.600
#3	Primary	0.450 m	115 mm W x 100 mm H Vert. Orifice/Grate C= 0.600

Primary OutFlow Max=14.78 l/s @ 8.47 hrs HW=0.419 m (Free Discharge)

- 1=Broad-Crested Rectangular Weir (Controls 0.00 l/s)
- 2=Orifice/Grate (Orifice Controls 14.78 l/s @ 1.64 m/s)
- 3=Orifice/Grate (Controls 0.00 l/s)

Summary for Link 10L: Post-Dev Flow

Inflow Area = 17,024.0 m², 45.84% Impervious, Inflow Depth > 149 mm for 20% AEP +20% event
Inflow = 104.42 l/s @ 8.26 hrs, Volume= 2,535.5 m³
Primary = 104.42 l/s @ 8.26 hrs, Volume= 2,535.5 m³, Atten= 0%, Lag= 0.0 min

Primary outflow = Inflow, Time Span= 0.00-24.00 hrs, dt= 0.05 hrs



Authorisation for Council

As the legal owner of property at: 7 Blue Gum Lane, Kerikeri

I give authority and permission for the builder (Advance Manufacturing Ltd) or nominated designer to apply for a PIM Report, Resource Consent and Building Consents on my behalf.

Date: 29/09/24 Home Consultant: TRUSTE Rega Snyder
Client/s Name/s: Northland Education Trust

Client/s Signature: 