

RESOURCE CONSENT - SHEET INDEX

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ARTIST IMPRESSION ONLY  
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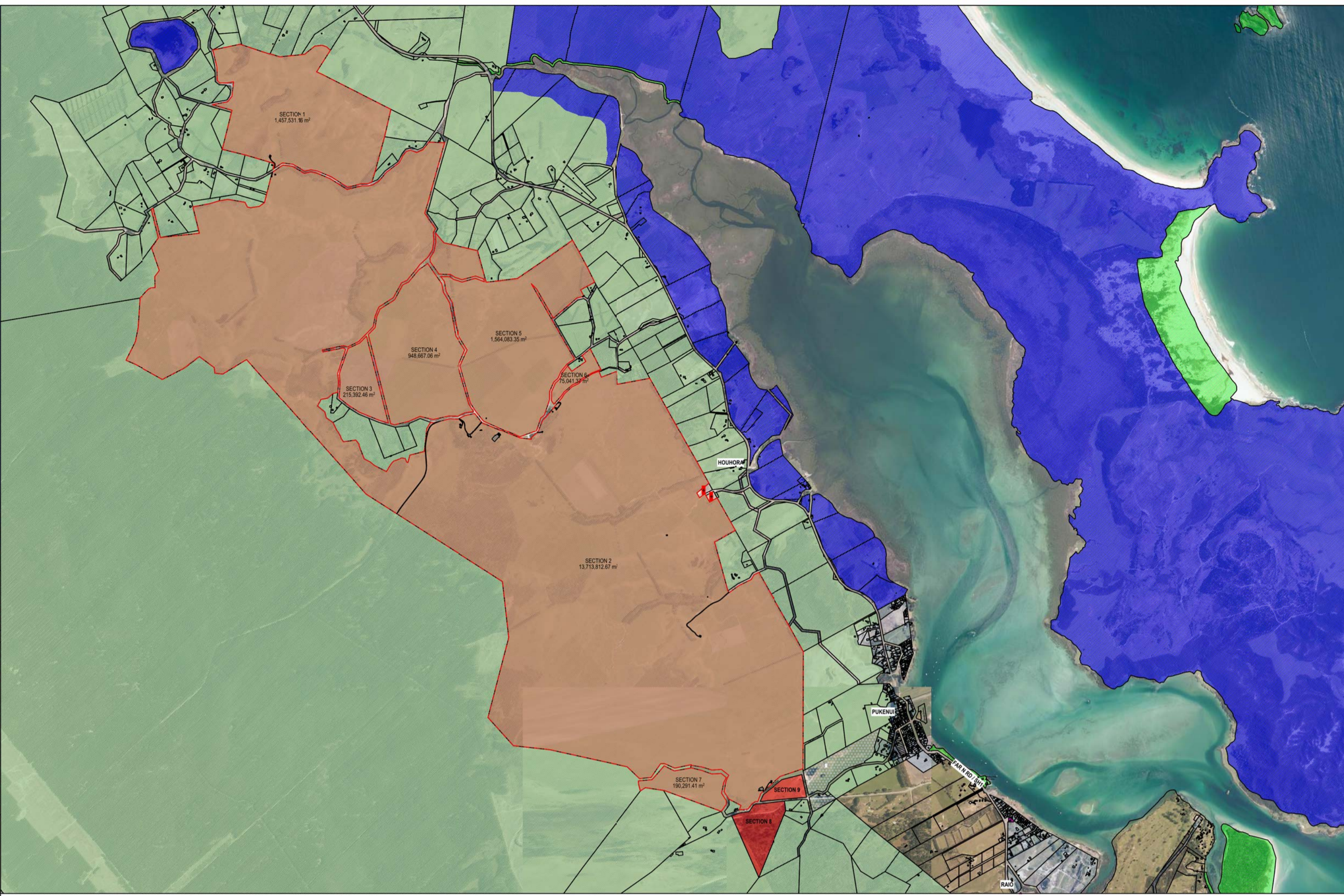
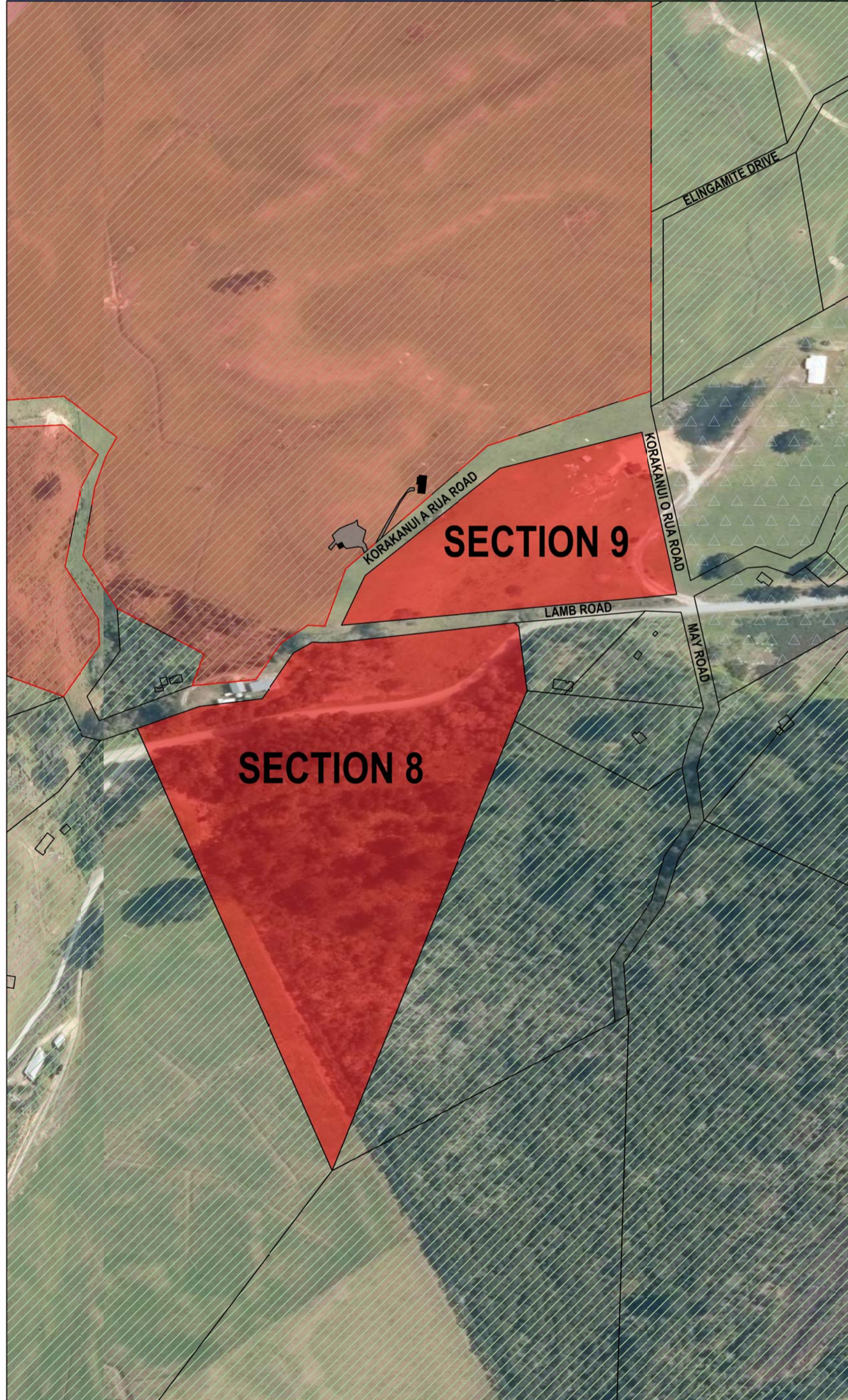
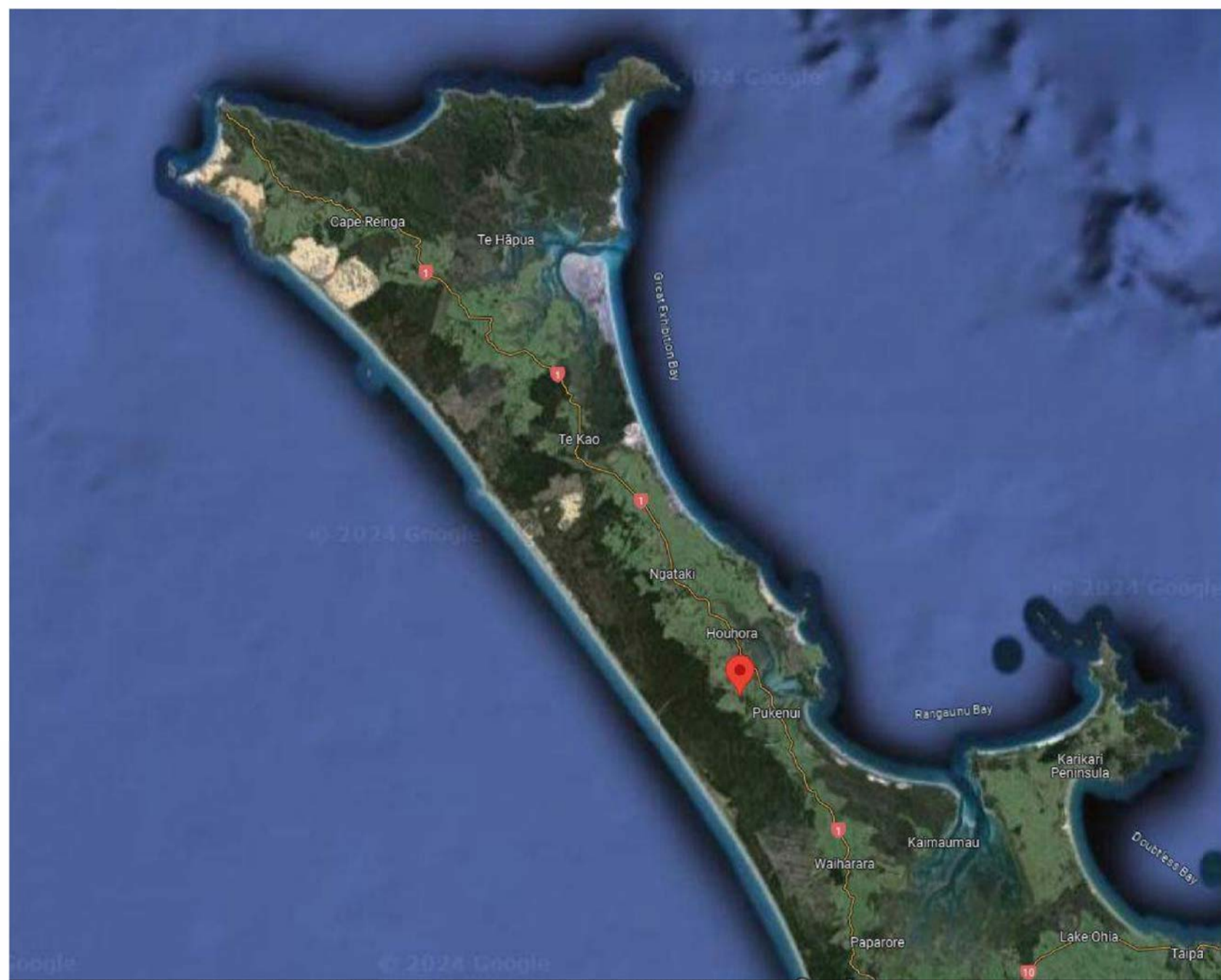
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# Moekoraha Papakāinga Development - Resource Consent Issue

PROJECT ADDRESS: 174 Lamb Road, Houhora

JOB NUMBER: 2636

Issued: 29/07/2024



- Proposed Site Section 8&9
  - Remainder of Farm Sections 1,2,3,4,5,6,7
  - Solar Farm
  - Cemetary
  - Existing House on Farm (LINZ Data)
- Zones**
- Rural Production
  - Coastal Living
  - Coastal Residential
  - Recreational Activities
  - Conservation
  - Industrial
  - General Coastal

**FOR COUNCIL USE ONLY**

GENERAL NOTES:  
 SITE ADDRESS: 174 Lamb Road, Houhora  
 LEGAL DESCRIPTION of Site: Section 8 and 9  
 Survey Office Plan, 65943 held in NA80D/748  
 SECT. 8+9 AREA: 26.4 ha (264'00.9m2)  
 FARM TOTAL AREA: 1843 ha (18430144.8m2) m<sup>2</sup>  
 TERRITORIAL AUTHORITY Northland Regional Council  
 PLANNING ZONE Rural Production Zone

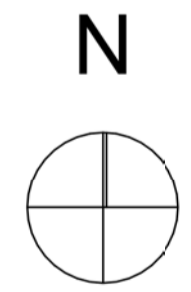
Section 8 (South of Lamb Road) Climate Zone: 1 Earthquake Zone: Zone 1 Exposure Zone: Zone C Lee Zone: No Rainfall Range: 90 - 100 Wind Region: A Wind Zone: Very High	Section 9 (north of Lamb Road) Climate Zone: 1 Earthquake Zone: Zone 1 Exposure Zone: Zone C Lee Zone: No Rainfall Range: 90 - 100 Wind Region: A Wind Zone: High
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**1** Site Context Plan - Showing Entire Farm - Sections 1-9  
 Scale 1:30000 @ A1

- Proposed Site Section 8&9
  - Remainder of Farm Sections 1,2,3,4,5,6,7
  - Solar Farm
  - Existing House on Farm
- Zones**
- Rural Production

**2** Site Context Plan - Sections 8 & 9 Only  
 Scale 1:5000 @ A1

- HIRB**  
 2m + 45° on all **site** boundaries
- BUILDING HEIGHT**  
 • 12m maximum height
- BUILDING COVERAGE**  
 • 12.5% maximum gross site area
- BUILDING SETBACK FROM BOUNDARIES**  
 • 10m from all **site** boundaries  
 • 30m from any wetland of 1ha or more in area (includes impermeable surfaces)  
 Noting that all earthworks and structures must be setback a minimum of 10m from wetlands under the NES Freshwater. le surfaces.  
 • 20m From Forest & Bush
- STORMWATER MANAGEMENT**  
 • Maximum 15% of gross site area covered by buildings and other impermeable surfaces  
 • 1 x stormwater drain per access
- TRANSPORTATION**  
 Vehicle Access 5 or more dwellings  
 • Legal Width - 7.5m  
 • Carriageway Width - 5m  
 • Maximum Gradient:  
 o Unsealed - 1:5  
 o Sealed - 1:4
- Parking:**  
 • Standard Residential Dwelling  
 o 2 car parks  
 • Pensioner / Kaumatua / Kuia Housing  
 o 2 per unit



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**Joseph McCready (Barker & Associates)**

Rev.	Transmittal Set Name	Date
A	RESOURCE CONSENT	29/07/2024

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**Context Plan**

Moekoraha Papakāinga Development  
 29/07/2024 Job # 2636 00-01  
 Scale: 1:30000, 1:5000 @A1 Rev: A

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3 01 - View at corner of May rd & Korakanui O Rua Rd  
NTS



2 02 - View East Lamb Rd - Section 8 right, Section 9 left  
NTS



1 03 - View towards Section 8  
NTS



4 04 - View towards Section 9  
NTS



5 05 - View towards Section mid site  
NTS



6 06 - View towards Section 9 corner of Korakanui A Rua Rd  
NTS



7 07 - View West Lamb Rd - Section 8 Right  
NTS



8 08 - View West Lamb Rd - Section 9 Left  
NTS



9 09 - View West Lamb Rd - Section 8  
NTS



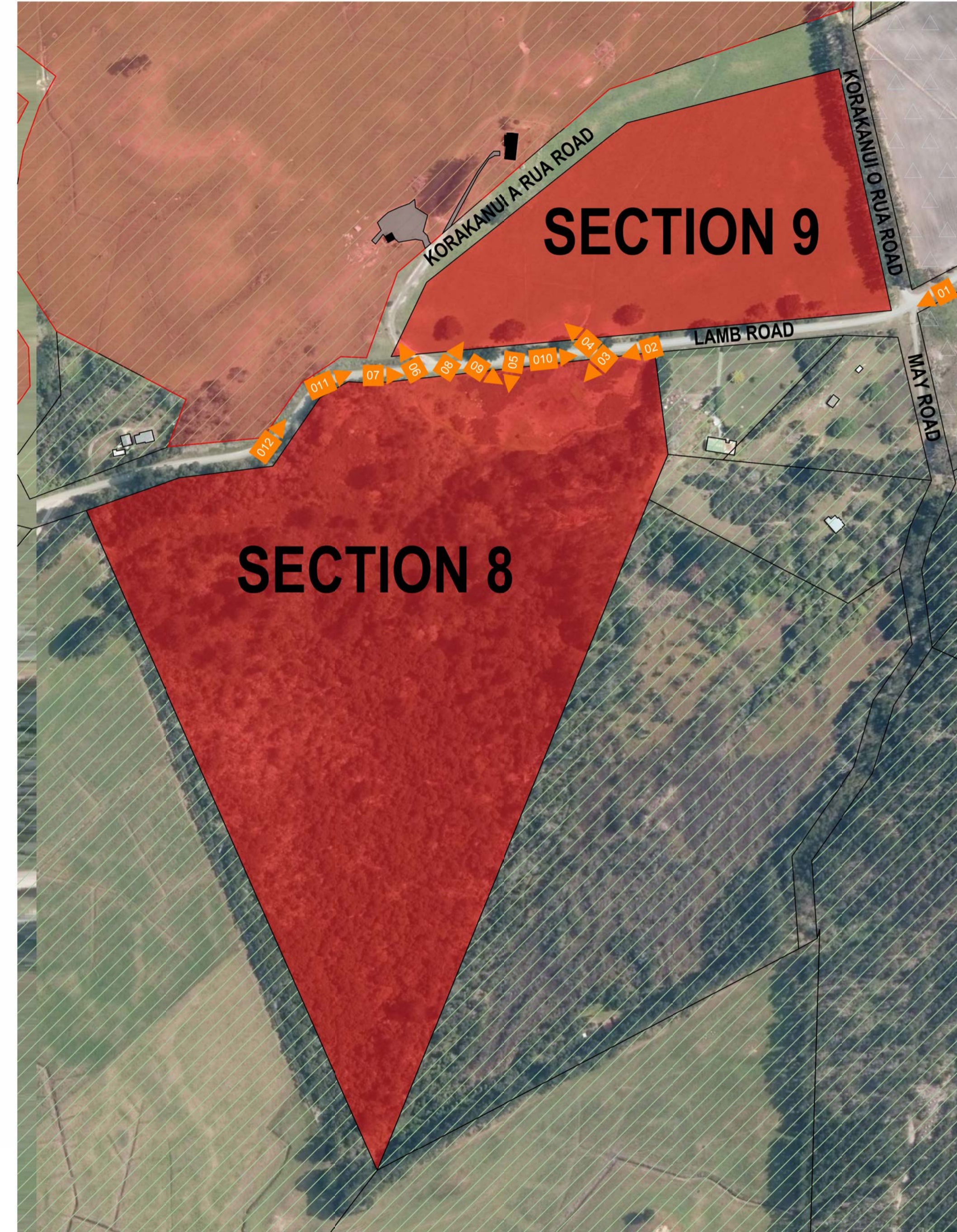
10 10 - View West Lamb Rd - Section 8 right, Section 9 left  
NTS



12 11 - View West towards site  
NTS



13 12 - View West further along Lamb Rd  
NTS



11 View location key  
Scale 1:3000 @ A1

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Existing Site Photos

Moekoraha Papakāinga Development  
29/07/2024 Job # 2636 00-02  
Scale: 1:3000 @A1 Rev: A




1 Kohanga Reo & Community Centre - South (Entry)  
NTS

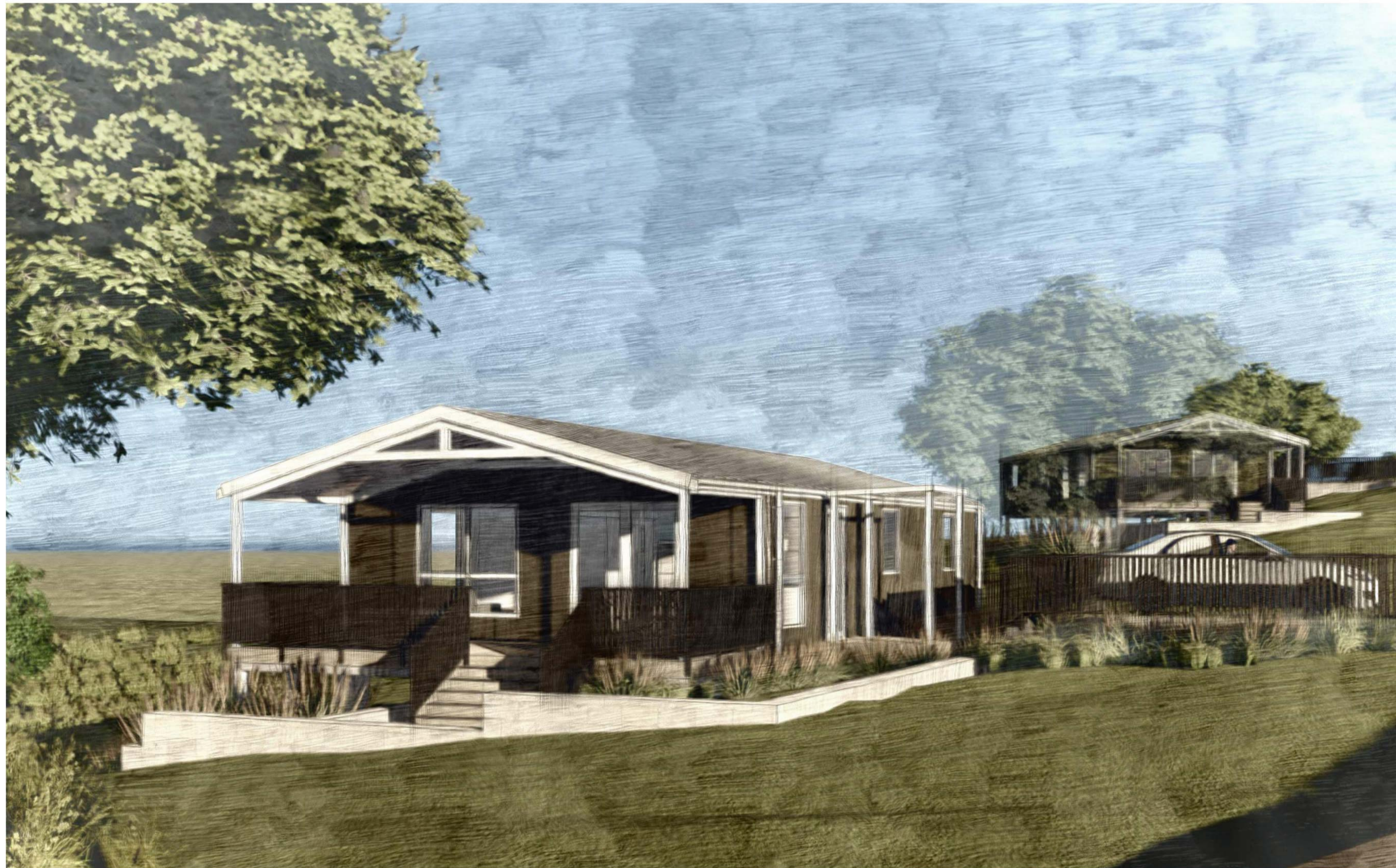


2 Kohanga Reo & Community Centre - North  
NTS

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<b>Artist Impressions</b>	
Moekoraha Papakāinga Development	
29/07/2024	Job # 2636 00-03
Scale: @A1	Rev: A



1 Section 8 - Unit 4 (Unit 3 behind)  
NTS



2 Section 9 - Towards Units 12 & 13a & b  
NTS

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Artist Impressions

Moekoraha Papakāinga Development  
29/07/2024 Job # 2636 00-04  
Scale: @A1 Rev: A



**NOTE:**  
The area's shown are indicative only and are without consultant input or relevant council approvals. BDG Architects Ltd. accepts no responsibility for the accuracy of these area's and do not recommend they be used as part of any legal agreement or marketing material

Site Area - Overall	
Zone Name	Area
Section 1	1,457,531.2
Section 2	13,715,037.0
Section 3	215,392.5
Section 4	948,667.1
Section 5	1,564,083.3
Section 6	75,041.4
Section 7	190,291.4
SECTION 8	193,515.7
SECTION 9	70,585.2
<b>18,430,144.8 m<sup>2</sup></b>	

Building Coverage - All Buildings			
Type	Area	Supplier	
<b>Rest of farm</b>			
Farm House	2,234.2	N/A	■
<b>2,234.2 m<sup>2</sup></b>			
<b>Section 8</b>			
Type B	380.9	Bode	■
Type A	492.2	Bode	■
<b>873.1 m<sup>2</sup></b>			
<b>Section 9</b>			
Type E	382.8	Laminata	■
Type D	255.2	Laminata	■
Type C	957.6	Bode	■
Type B	504.7	Bode	■
Type A	246.0	Bode	■
Kohanga reo	467.7	N/A	■
Community Center	231.3	N/A	■
Covered Walkway	66.6	N/A	■
<b>3,111.9 m<sup>2</sup></b>			
<b>6,219.2 m<sup>2</sup></b>			

Impermeable surfaces			
Area			
<b>Rest of farm</b>			
		13,123.8	
		<b>13,123.8 m<sup>2</sup></b>	
<b>Section 8</b>			
		8,725.8	
		<b>8,725.8 m<sup>2</sup></b>	
<b>Section 9</b>			
		14,904.9	
		<b>14,904.9 m<sup>2</sup></b>	
		<b>36,754.5 m<sup>2</sup></b>	

Building Coverage		
Rest of Farm	2234.20	0.012%
Section 8	873.10	0.451%
Section 9	3111.90	4.409%
<b>8 + 9 only</b>	<b>3985.00</b>	<b>1.509%</b>
<b>TOTAL FARM</b>	<b>6219.20</b>	<b>0.034%</b>
Max: 12.5%		

Impervious Coverage (Buildings + Roads etc)		
Rest of Farm	15358.00	0.08%
Section 8	9598.90	4.96%
Section 9	18016.80	25.52%
<b>8 + 9 only</b>	<b>27615.70</b>	<b>10.40%</b>
<b>TOTAL FARM</b>	<b>42973.70</b>	<b>0.23%</b>
Max: 15%		

- Site Boundary
- 10m setback from site boundary
- Machaerina sedgeland (WL11) 10m setback required.
- River Flood Hazard Zones - 100 Year extent (NRC Open Source Data)
- Existing Overland Flow Path
- Mixed exotic-native scrub (TL2)
- Kanuka dune forest (WF5 variation)
- 20m setback from scrub & forest
- Proposed footpath to road
- Sealed Road
- Indicative Pathways
- Proposed Fenced Play Area
- Proposed Sports Court
- Proposed Community Garden
- Proposed 'Feature Paving'
- Proposed Wastewater Dispersal & Treatment - Refer Civil Engineer

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**GENERAL NOTES:**  
SITE ADDRESS: 174 Lamb Road, Houhora  
LEGAL DESCRIPTION OF Site: Section 8 and 9 Survey Office Plan, 65943 held in NA80D/748  
SECT. 8+9 AREA: 26.4 ha (264'00.9m2)  
FARM TOTAL AREA: 1843 ha (18430144.8m2) m<sup>2</sup>  
TERRITORIAL AUTHORITY Northland Regional Council  
PLANNING ZONE Rural Production Zone

Section 8 (South of Lamb Road)  
Climate Zone: 1  
Earthquake Zone: Zone 1  
Exposure Zone: Zone C  
Lee Zone: No  
Rainfall Range: 90 - 100  
Wind Region: A  
Wind Zone: Very High

Section 9 (north of Lamb Road)  
Climate Zone: 1  
Earthquake Zone: Zone 1  
Exposure Zone: Zone C  
Lee Zone: No  
Rainfall Range: 90 - 100  
Wind Region: A  
Wind Zone: High

**HIRB**  
2m + 45° on all site boundaries

**BUILDING HEIGHT**  
• 12m maximum height

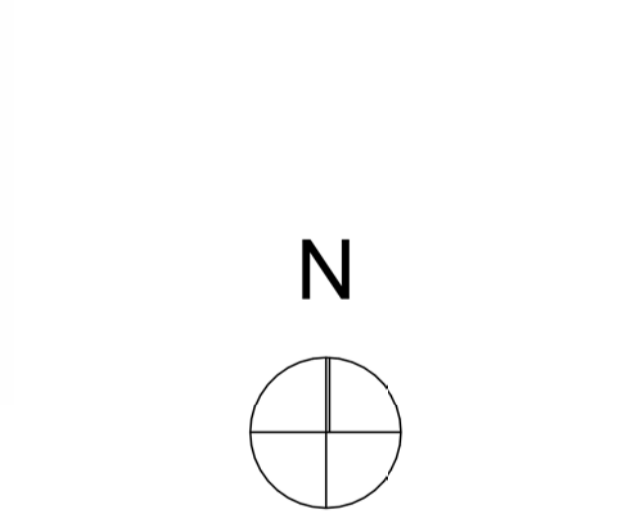
**BUILDING COVERAGE**  
• 12.5% maximum gross site area

**BUILDING SETBACK FROM BOUNDARIES**  
• 10m from all site boundaries  
• 30m from any wetland of 1ha or more in area (includes impermeable surfaces)  
Noting that all earthworks and structures must be setback a minimum of 10m from wetlands under the NES Freshwater. le surfaces.  
• 20m From Forest & Bush

**STORMWATER MANAGEMENT**  
• Maximum 15% of gross site area covered by buildings and other impermeable surfaces  
• 1 x stormwater drain per access

**TRANSPORTATION**  
• Vehicle Access 5 or more dwellings  
• Legal Width - 7.5m  
• Carriageway Width - 5m  
• Maximum Gradient:  
o Unsealed - 1:5  
o Sealed - 1:4

**Parking:**  
• Standard Residential Dwelling  
o 2 car parks  
• Pensioner / Kaumatua / Kuia Housing  
o 2 per unit



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Rev.	Transmittal Set Name	Date
A	RESOURCE CONSENT	29/07/2024

**Resource Consent**

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**Proposed Site Plan - Overall**

Moekoraha Papakāinga Development  
29/07/2024 Job # 2636 10-01  
Scale: 1:2000 @A1 Rev: A

SECTION 8  
Sec 8 SO 6594  
193,515.71 m<sup>2</sup>

Typology Count - Section 8

Typology	Quantity	Building Cover	Supplier
<b>Section 8, Type A</b>			
2 Bed Duplex (Kuiia Kaumatua Housing)	8	394.8	Bode
<b>Section 8, Type B</b>			
3 Bed	3	296.1	Bode
11			

Site Boundary

- 10m setback from site boundary
- Machaerina sedgeland (WL11) 10m setback required.
- River Flood Hazard Zones - 100 Year extent (NRC Open Source Data)
- Existing Overland Flow Path
- Mixed exotic-native scrub (TL.2)
- Kanuka dune forest (WF5 variation)
- 20m setback from scrub & forest
- Proposed footpath to road
- Sealed Road
- Indicative Pathways
- Proposed Playground
- Proposed Sports Court
- Proposed Community Garden
- Proposed Wastewater Dispersal & Treatment - Refer Civil Engineer
- 3000m<sup>2</sup> Exclusive Use area

Mānuka fern s. fernland

ALL LANDSCAPING REFER TO Joseph McCready (Barker & Associates)

Notes:

<b>Area per Unit:</b>	Section 8	193515.7	m <sup>2</sup>
	Units	11	
		<b>17592.3364</b>	<b>m<sup>2</sup> "per Unit"</b>

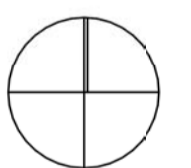
*this area is the total section area divided by the number of units to give an overall idea of space. It does not take into account road & paths etc*

**Carparking:**  
2no. carparks per Unit  
TOTAL = 22 Carparks

NOTE:

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Proposed Site Plan - Section 8

Moerakaha Papakāinga Development  
29/07/2024 Job # 2636 10-02  
Scale: 1:750 @A1 Rev: A



SECTION 9  
Sec 9 SO 6594  
70,585.19 m<sup>2</sup>

0-LAMB Typology Count - Section 9

Typology	Quantity	Building Cover	Supplier
<b>Section 9, Type A</b>			
2 Bed Duplex (Kūia Kaumatua Housing)	4	197.2	Bode
<b>Section 9, Type B</b>			
3 Bed	4	392.1	Bode
<b>Section 9, Type C</b>			
4 Bed	6	788.4	Bode
<b>Section 9, Type D</b>			
3 Bed	2	255.2	Laminata
<b>Section 9, Type E</b>			
4 Bed	3	382.8	Laminata
19			

**Notes:**  
Section 9 70585.2 m<sup>2</sup>  
Units 19  
**3715.01053 m<sup>2</sup> "per Unit"**  
this area is the total section area divided by the number of units to give an overall idea of space. It does not take into account road & paths etc

**Carparking:**  
2no. carparks per Unit  
TOTAL = 38 Carparks

**Kohanga Reo & Community Center**  
16 Standard carparks (2.7 wide x 5.4 long)  
2 Wide carparks for drop off (2.8 wide)  
2 Accessible carparks  
TOTAL = 20 Carparks

5 Cycle parking spaces

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- 10m setback from site boundary
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- Existing Overland Flow Path
- Mixed exotic-native scrub (TL.2)
- Kanuka dune forest (WF5 variation)
- 20m setback from scrub & forest
- Proposed footpath to road
- Sealed Road
- Indicative Pathways
- Proposed Playground
- Proposed Sports Court
- Proposed Community Garden

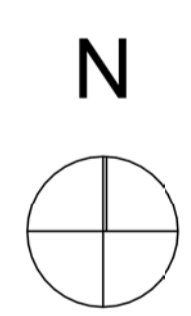
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**Resource Consent**

Moekoraha Papakāinga Development  
29/07/2024 Job # 2636 Scale: 1:750 @A1

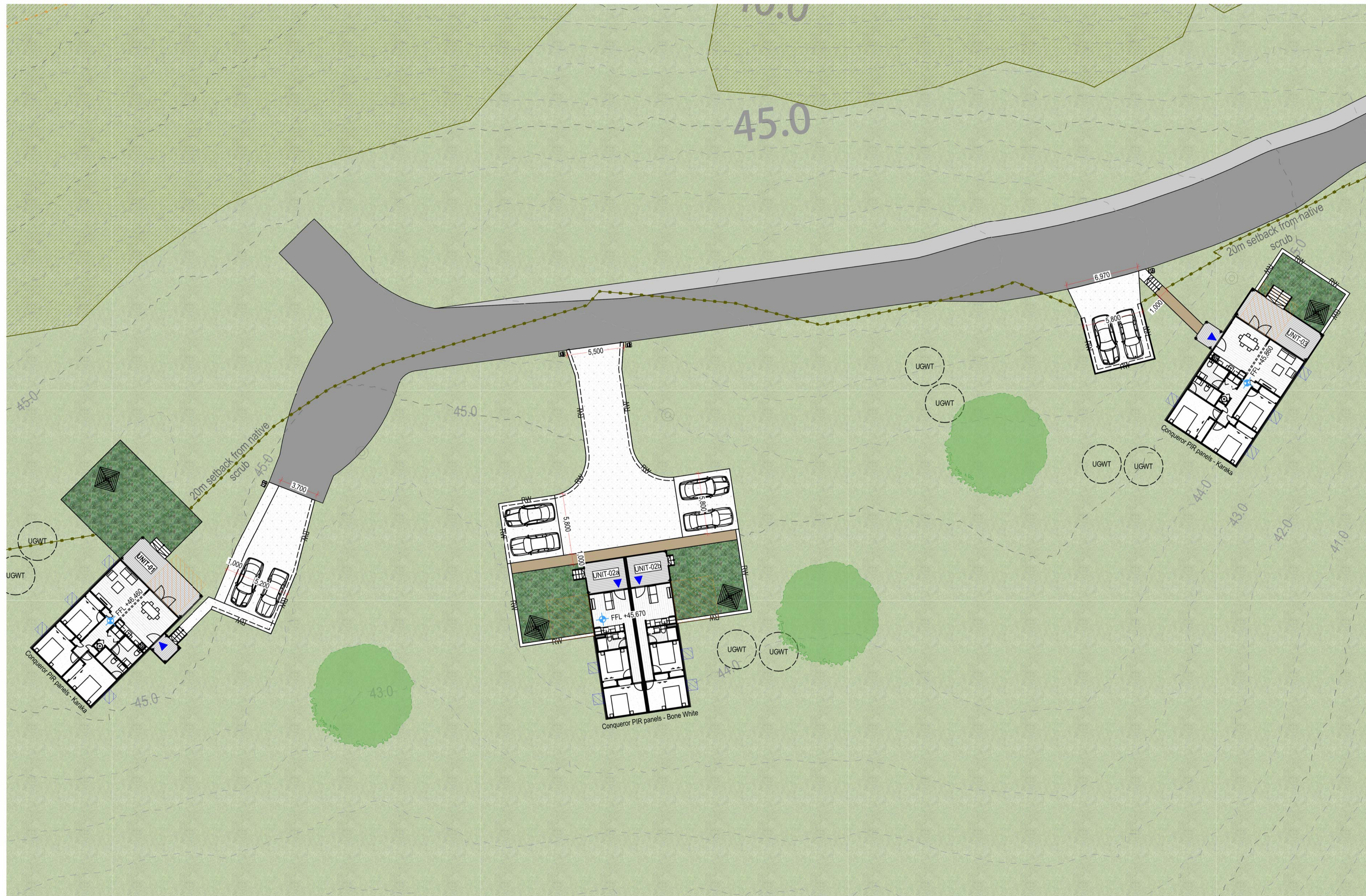
10-03  
Rev: A



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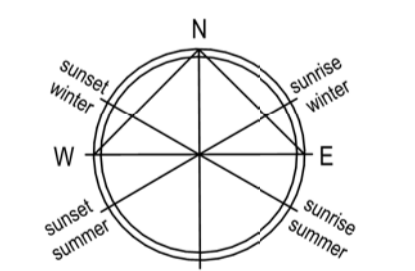
- Outdoor living: Ground floor: 20m<sup>2</sup>, 3m min. dimension
- Outlooks Principal living room: 4m depth, 4m width
- All other habitable rooms: 1m depth, 1m width
- Unit Entry Doors
- UGWT = Underground Water tank (Refer Civil Eng.)
- Letterbox(s)
- Retaining Wall - TBC Civil Engineer
- WL = Washing Lina

**Impermeable & Permeable surfaces**

Zone Name	2D Plan	Area	Category
<b>Section 8, Unit 01</b>			
Carpark		26.0	Impermeable Surface
Driveway		3C.9	Impermeable Surface
Pathway (1m)		16.5	Impermeable Surface
Pathway (1m)		3.9	Permeable Surface
Stairs		3.0	Permeable Surface
<b>Section 8, Unit 02</b>			
Driveway		133.6	Impermeable Surface
<b>Section 8, Unit 02a</b>			
Carpark		31.4	Impermeable Surface
Pathway (1m)		12.6	Impermeable Surface
Stairs		1.1	Permeable Surface
<b>Section 8, Unit 02b</b>			
Carpark		31.4	Impermeable Surface
Pathway (1m)		12.6	Impermeable Surface
Stairs		0.6	Permeable Surface
<b>Section 8, Unit 03</b>			
Carpark		31.4	Impermeable Surface
Driveway		15.1	Impermeable Surface
Pathway (1m)		6.6	Impermeable Surface
Stairs		1.4	Impermeable Surface
Stairs		2.7	Permeable Surface

**Building Coverage**

Name	Area (m <sup>2</sup> )	Type
<b>Section 8, Unit 01</b>		
3 Bed	98.7	Type B
Covered Deck	24.5	Type B
Covered Entry	3.8	Type B
<b>Section 8, Unit 02a</b>		
2 Bed Duplex (Kuiia Kaumatua Housing)	49.3	Type A
Covered Deck	12.2	Type A
<b>Section 8, Unit 02b</b>		
2 Bed Duplex (Kuiia Kaumatua Housing)	49.3	Type A
Covered Deck	12.2	Type A
<b>Section 8, Unit 03</b>		
3 Bed	98.7	Type B
Covered Deck	24.5	Type B
Covered Entry	3.8	Type B



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A	RESOURCE CONSENT	29/07/2024

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**Sec. 8: Unit 01, 02, 03 - Site Plan**

Moekoraha Papakāinga Development  
29/07/2024 Job # 2636 10-04  
Scale: 1:200 @A1 Rev: A

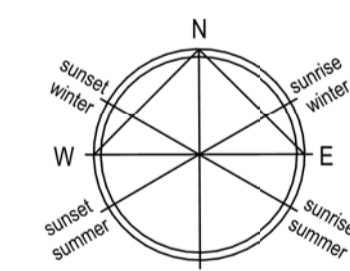


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- Outdoor living:  
Ground floor: 20m<sup>2</sup>, 3m min. dimension
- Outlooks  
Principal living room: 4m depth, 4m width
- All other habitable rooms: 1m depth, 1m width
- Unit Entry Doors
- UGWT = Underground Water tank  
(Refer Civil Eng.)
- Letterbox(s)
- Retaining Wall - TBC Civil Engineer
- WL = Washing Lina

Impermeable & Permeable surfaces		
Name	Area	Category
<b>Section 8, Unit 04</b>		
Carpark	31.4	Impermeable Surface
Driveway	21.4	Impermeable Surface
Pathway (1m)	6.0	Impermeable Surface
Stairs	0.8	Impermeable Surface
Stairs	2.7	Permeable Surface
<b>Section 8, Unit 05</b>		
Driveway	114.1	Impermeable Surface
<b>Section 8, Unit 05a</b>		
Carpark	28.0	Impermeable Surface
Pathway (1m)	45.6	Impermeable Surface
Pathway (1m)	6.2	Permeable Surface
<b>Section 8, Unit 05b</b>		
Carpark	28.0	Impermeable Surface
Pathway (1m)	15.5	Permeable Surface

Building Coverage		
Name	Area (m <sup>2</sup> )	Type
<b>Section 8, Unit 04</b>		
3 Bed	98.7	Type B
Covered Deck	24.4	Type B
Covered Entry	3.8	Type B
<b>Section 8, Unit 05a</b>		
2 Bed Duplex (Kuaia Kaumatua Housing)	49.5	Type A
Covered Deck	12.1	Type A
<b>Section 8, Unit 05b</b>		
2 Bed Duplex (Kuaia Kaumatua Housing)	49.5	Type A
Covered Deck	12.1	Type A



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Rev.	Transmittal Set Name	Date
A	RESOURCE CONSENT	29/07/2024

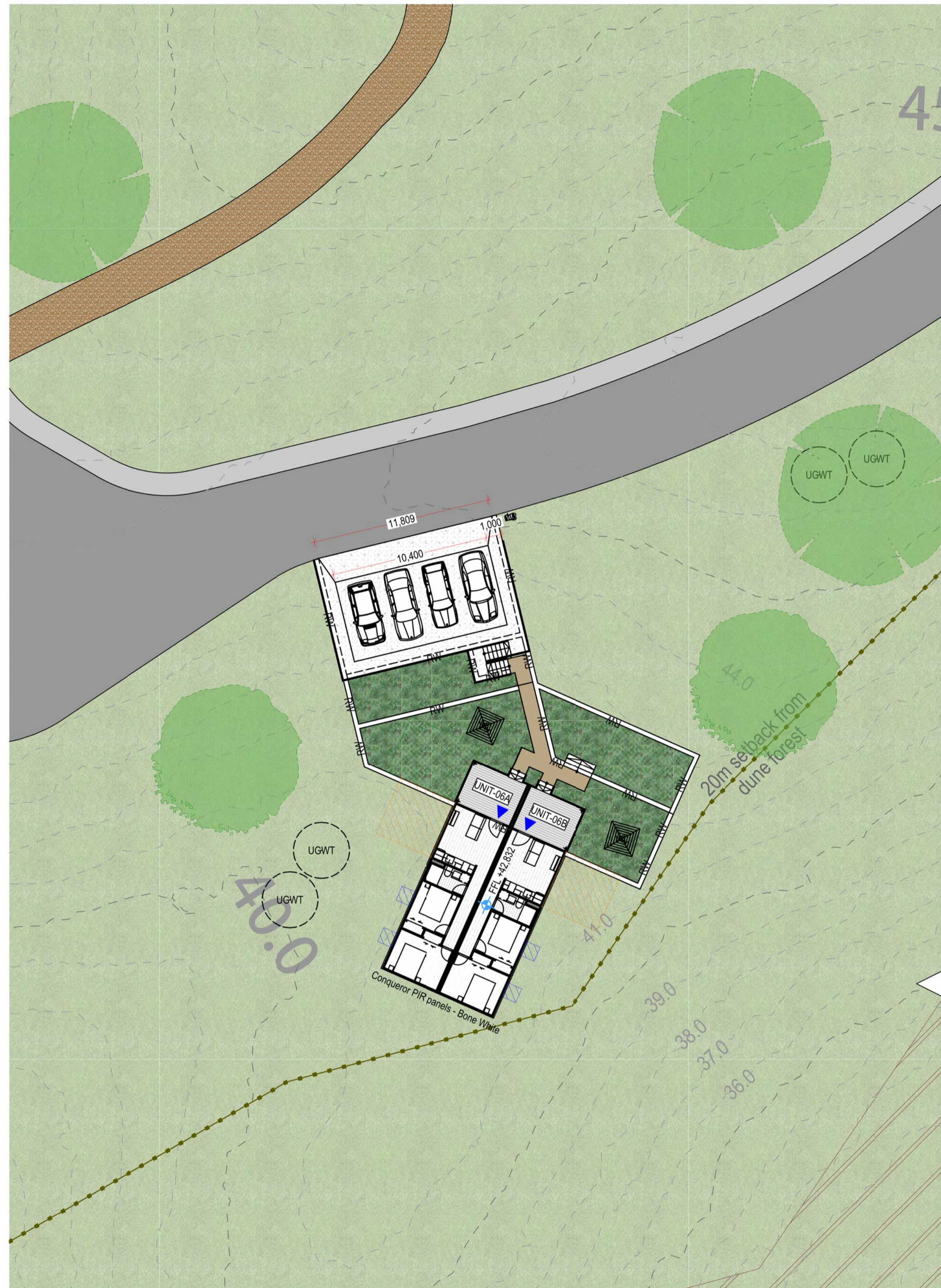
**NOTE:**  
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**Resource Consent**

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**Sec. 8: Unit 04, 05 - Site Plan**

Moekoraha Papakāinga Development  
29/07/2024 Job # 2636 10-05  
Scale: 1:200 @A1 Rev: A



1 Unit 06  
NTS



2 Unit 07  
NTS

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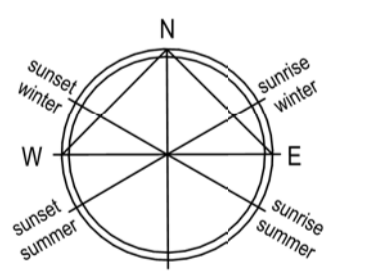
- Outdoor living: Ground floor: 20m<sup>2</sup>, 3m min. dimension
- Outlooks
- Principal living room: 4m depth, 4m width
- All other habitable rooms: 1m depth, 1m width
- Unit Entry Doors
- UGWT = Underground Water tank (Refer Civil Eng.)
- Letterbox(s)
- Retaining Wall - TBC Civil Engineer
- WL = Washing Line

Impermeable & Permeable surfaces

Name	Area	Category
<b>Section 8, Unit 06</b>		
Driveway	20.1	Impermeable Surface
Pathway (1m)	7.1	Permeable Surface
Stairs	6.3	Impermeable Surface
<b>Section 8, Unit 06a</b>		
Carpark	26.0	Impermeable Surface
Pathway (1m)	25.5	Impermeable Surface
Pathway (1m)	1.5	Permeable Surface
Stairs	1.1	Permeable Surface
<b>Section 8, Unit 06b</b>		
Carpark	26.0	Impermeable Surface
Pathway (1m)	3.8	Permeable Surface
Stairs	0.8	Permeable Surface
<b>Section 8, Unit 07</b>		
Driveway	216.6	Impermeable Surface
<b>Section 8, Unit 07a</b>		
Carpark	26.0	Impermeable Surface
Deck (open)	14.9	Permeable Surface
Pathway (1m)	82.5	Impermeable Surface
Stairs	0.8	Permeable Surface
<b>Section 8, Unit 07b</b>		
Carpark	26.0	Impermeable Surface
Deck (open)	6.0	Permeable Surface
Stairs	1.7	Permeable Surface

Building Coverage

Name	Area (m <sup>2</sup> )	Type
<b>Section 8, Unit 06a</b>		
2 Bed Duplex (Kuaia Kaumatua Housing)	49.3	Type A
Covered Deck	12.2	Type A
<b>Section 8, Unit 06b</b>		
2 Bed Duplex (Kuaia Kaumatua Housing)	49.3	Type A
Covered Deck	12.2	Type A
<b>Section 8, Unit 07a</b>		
2 Bed Duplex (Kuaia Kaumatua Housing)	49.3	Type A
Covered Deck	12.2	Type A
<b>Section 8, Unit 07b</b>		
2 Bed Duplex (Kuaia Kaumatua Housing)	49.3	Type A
Covered Deck	12.2	Type A



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Sec. 8: Unit 06, 07 - Site Plan

Moekoraha Papakāinga Development  
29/07/2024 Job # 2636 10-06  
Scale: 1:200 @A1 Rev: A

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- Outdoor living: Ground floor: 20m<sup>2</sup>, 3m min. dimension
- Outlooks Principal living room: 4m depth, 4m width
- All other habitable rooms: 1m depth, 1m width
- Unit Entry Doors
- UGWT = Underground Water tank (Refer Civil Eng.)
- Letterbox(s)
- Retaining Wall - TBC Civil Engineer
- WL = Washing Line

Impermeable & Permeable surfaces		
Name	Area	Category
<b>Section 9, Unit 01</b>		
Carpark	26.0	Impermeable Surface
Deck	31.6	Impermeable Surface
Driveway	21.8	Impermeable Surface
Pathway (1m)	5.2	Impermeable Surface
Pathway (1m)	16.7	Permeable Surface
Porch	4.0	Impermeable Surface
Stairs	5.6	Permeable Surface
<b>Section 9, Unit 02</b>		
Carpark	26.0	Impermeable Surface
Deck	31.6	Impermeable Surface
Driveway	21.8	Impermeable Surface
Pathway (1m)	5.2	Impermeable Surface
Pathway (1m)	21.3	Permeable Surface
Porch	6.0	Impermeable Surface
Stairs	2.8	Permeable Surface
<b>Section 9, Unit 03</b>		
Carpark	26.0	Impermeable Surface
Deck	31.6	Impermeable Surface
Driveway	21.7	Impermeable Surface
Pathway (1m)	5.2	Impermeable Surface
Pathway (1m)	20.4	Permeable Surface
Porch	9.3	Impermeable Surface
Stairs	4.2	Permeable Surface
<b>Section 9, Unit 04</b>		
Carpark	26.0	Impermeable Surface
Deck	31.6	Impermeable Surface
Driveway	21.8	Impermeable Surface
Pathway (1m)	5.2	Impermeable Surface
Pathway (1m)	13.7	Permeable Surface
Porch	7.2	Impermeable Surface
Stairs	5.6	Permeable Surface
<b>Section 9, Unit 05</b>		
Carpark	26.0	Impermeable Surface
Deck	31.6	Impermeable Surface
Driveway	21.8	Impermeable Surface
Pathway (1m)	6.1	Impermeable Surface
Pathway (1m)	15.1	Permeable Surface
Porch	4.0	Impermeable Surface
Stairs	5.0	Permeable Surface

Building Coverage			
Unit #	Name	Area (m <sup>2</sup> )	Type
<b>Section 9</b>			
Unit 01	4 Bed	127.6	Type E
Unit 02	3 Bed	127.6	Type D
Unit 03	4 Bed	127.6	Type E
Unit 04	3 Bed	127.6	Type D
Unit 05	4 Bed	127.6	Type E

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Section 9: Unit 01, 02, 03, 04, 05 - Site Plan

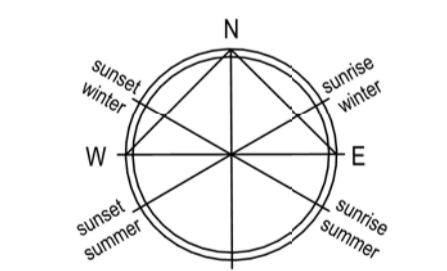
Moekoraha Papakāinga Development  
29/07/2024 Job # 2636 10-07  
Scale: 1:200 @A1 Rev: A



- Outdoor living: Ground floor: 20m<sup>2</sup>, 3m min. dimension
- Outlooks Principal living room: 4m depth, 4m width
- All other habitable rooms: 1m depth, 1m width
- Unit Entry Doors
- UGWT = Underground Water tank (Refer Civil Eng.)
- Letterbox(s)
- Retaining Wall - TBC Civil Engineer
- WL = Washing Line

Impermeable & Permeable surfaces		
Name	Area	Category
<b>Section 9, Unit 06</b>		
Carpark	45.1	Impermeable Surface
Pathway (1m)	5.2	Impermeable Surface
Pathway (1m)	15.3	Permeable Surface
Stairs	3.9	Permeable Surface
<b>Section 9, Unit 07</b>		
Carpark	26.0	Impermeable Surface
Pathway (1m)	5.2	Impermeable Surface
Pathway (1m)	16.5	Permeable Surface
Stairs	2.8	Permeable Surface
<b>Section 9, Unit 08</b>		
Carpark	26.0	Impermeable Surface
Pathway (1m)	5.2	Impermeable Surface
Pathway (1m)	16.2	Permeable Surface
Stairs	2.4	Permeable Surface
<b>Section 9, Unit 12</b>		
Carpark	26.0	Impermeable Surface
Driveway	17.4	Impermeable Surface
Pathway (1m)	10.0	Permeable Surface
Stairs	3.3	Permeable Surface

Building Coverage		
Name	Area (m <sup>2</sup> )	Type
<b>Section 9, Unit 06</b>		
3 Bed	96.0	Type B
Covered Deck	24.0	Type B
Covered Entry	4.0	Type B
<b>Section 9, Unit 07</b>		
4 Bed	131.4	Type C
Covered Deck	24.4	Type C
Covered Entry	3.8	Type C
<b>Section 9, Unit 08</b>		
3 Bed	98.7	Type B
Covered Deck	24.4	Type B
Covered Entry	3.8	Type B
<b>Section 9, Unit 12</b>		
4 Bed	131.4	Type C
Covered Deck	24.4	Type C
Covered Entry	3.8	Type C



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Rev.	Transmittal Set Name	Date
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**Section 9: Unit 06, 07, 08, 12 - Site Plan**

Moekoraha Papakāinga Development  
29/07/2024 Job # 2636 10-08  
Scale: 1:200 @A1 Rev: A

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- Outdoor living: Ground floor: 20m<sup>2</sup>, 3m min. dimension
- Outlooks Principal living room: 4m depth, 4m width
- All other habitable rooms: 1m depth, 1m width
- Unit Entry Doors
- UGWT = Underground Water tank (Refer Civil Eng.)
- Letterbox(s)
- Retaining Wall - TBC Civil Engineer
- WL = Washing Line

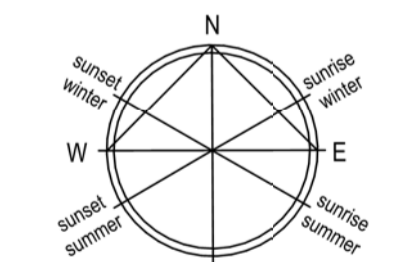
**Impermeable & Permeable surfaces**

Name	Area	Category
<b>Section 9, Unit 09</b>		
Carpark	26.0	Impermeable Surface
Pathway (1m)	5.2	Impermeable Surface
Pathway (1m)	8.4	Permeable Surface
Stairs	3.6	Permeable Surface
<b>Section 9, Unit 10a</b>		
Carpark	26.0	Impermeable Surface
Pathway (1m)	28.9	Impermeable Surface
Pathway (1m)	15.8	Permeable Surface
Stairs	3.0	Permeable Surface
<b>Section 9, Unit 10b</b>		
Carpark	26.0	Impermeable Surface
Pathway (1m)	28.8	Impermeable Surface
Pathway (1m)	15.2	Permeable Surface
Stairs	3.2	Permeable Surface
<b>Section 9, Unit 11</b>		
Carpark	26.0	Impermeable Surface
Pathway (1m)	5.2	Impermeable Surface
Pathway (1m)	7.3	Permeable Surface
Stairs	3.0	Permeable Surface
<b>Section 9, Unit 13</b>		
Driveway	78.9	Impermeable Surface
<b>Section 9, Unit 13a</b>		
Carpark	26.0	Impermeable Surface
Pathway (1m)	8.3	Permeable Surface
Stairs	1.6	Permeable Surface
<b>Section 9, Unit 13b</b>		
Carpark	26.0	Impermeable Surface
Pathway (1m)	8.4	Permeable Surface
Stairs	1.6	Permeable Surface
<b>Section 9, Unit 14</b>		
Carpark	26.0	Impermeable Surface
Driveway	18.2	Impermeable Surface
Pathway (1m)	6.2	Impermeable Surface
Pathway (1m)	12.8	Permeable Surface
Stairs	3.3	Permeable Surface

**Building Coverage**

Name	Area (m <sup>2</sup> )	Type
<b>Section 9, Unit 09</b>		
4 Bed	131.4	Type C
Covered Deck	24.4	Type C
Covered Entry	3.8	Type C
<b>Section 9, Unit 10a</b>		
2 Bed Duplex (Kua Kaumata Housing)	49.3	Type A
Covered Deck	12.2	Type A
<b>Section 9, Unit 10b</b>		
2 Bed Duplex (Kua Kaumata Housing)	49.3	Type A
Covered Deck	12.2	Type A
<b>Section 9, Unit 11</b>		
4 Bed	131.4	Type C
Covered Deck	24.4	Type C
Covered Entry	3.8	Type C
<b>Section 9, Unit 13a</b>		
2 Bed Duplex (Kua Kaumata Housing)	49.3	Type A
Covered Deck	12.2	Type A
<b>Section 9, Unit 13b</b>		
2 Bed Duplex (Kua Kaumata Housing)	49.3	Type A
Covered Deck	12.2	Type A
<b>Section 9, Unit 14</b>		
4 Bed	131.4	Type C
Covered Deck	24.4	Type C
Covered Entry	3.8	Type C

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Parnell, Auckland, 1052  
PO Box 8577  
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**Section 9: Unit 09, 10, 11, 13, 14 - Site Plan**

Moekoraha Papakāinga Development  
29/07/2024 Job # 2636 10-09  
Scale: 1:200 @A1 Rev: A



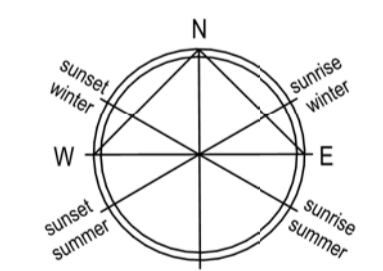
- Outdoor living: Ground floor: 20m<sup>2</sup>, 3m min. dimension
- Outlooks: Principal living room: 4m depth, 4m width
- All other habitable rooms: 1m depth, 1m width
- Unit Entry Doors
- UGWT = Underground Water tank (Refer Civil Eng.)
- Letterbox(s)
- Retaining Wall - TBC Civil Engineer
- WL = Washing Line

**Impermeable & Permeable surfaces**

Name	Area	Category
<b>Section 9, Unit 15</b>		
Carpark	26.0	Impermeable Surface
Driveway	21.7	Impermeable Surface
Pathway (1m)	6.2	Impermeable Surface
Pathway (1m)	13.6	Permeable Surface
Stairs	3.7	Permeable Surface
<b>Section 9, Unit 16</b>		
Carpark	26.0	Impermeable Surface
Driveway	37.3	Impermeable Surface
Pathway (1m)	6.2	Impermeable Surface
Pathway (1m)	14.3	Permeable Surface
Stairs	6.6	Permeable Surface
<b>Section 9, Unit 17</b>		
Carpark	26.0	Impermeable Surface
Driveway	37.3	Impermeable Surface
Pathway (1m)	6.2	Impermeable Surface
Pathway (1m)	14.3	Permeable Surface

**Building Coverage**

Name	Area (m <sup>2</sup> )	Type
<b>Section 9, Unit 15</b>		
3 Bed	98.7	Type B
Covered Deck	24.4	Type B
Covered Entry	3.8	Type B
<b>Section 9, Unit 16</b>		
4 Bed	131.4	Type C
Covered Deck	24.4	Type C
Covered Entry	3.8	Type C
<b>Section 9, Unit 17</b>		
3 Bed	98.7	Type B
Covered Deck	24.4	Type B
Covered Entry	3.8	Type B



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Rev.	Transmittal Set Name	Date
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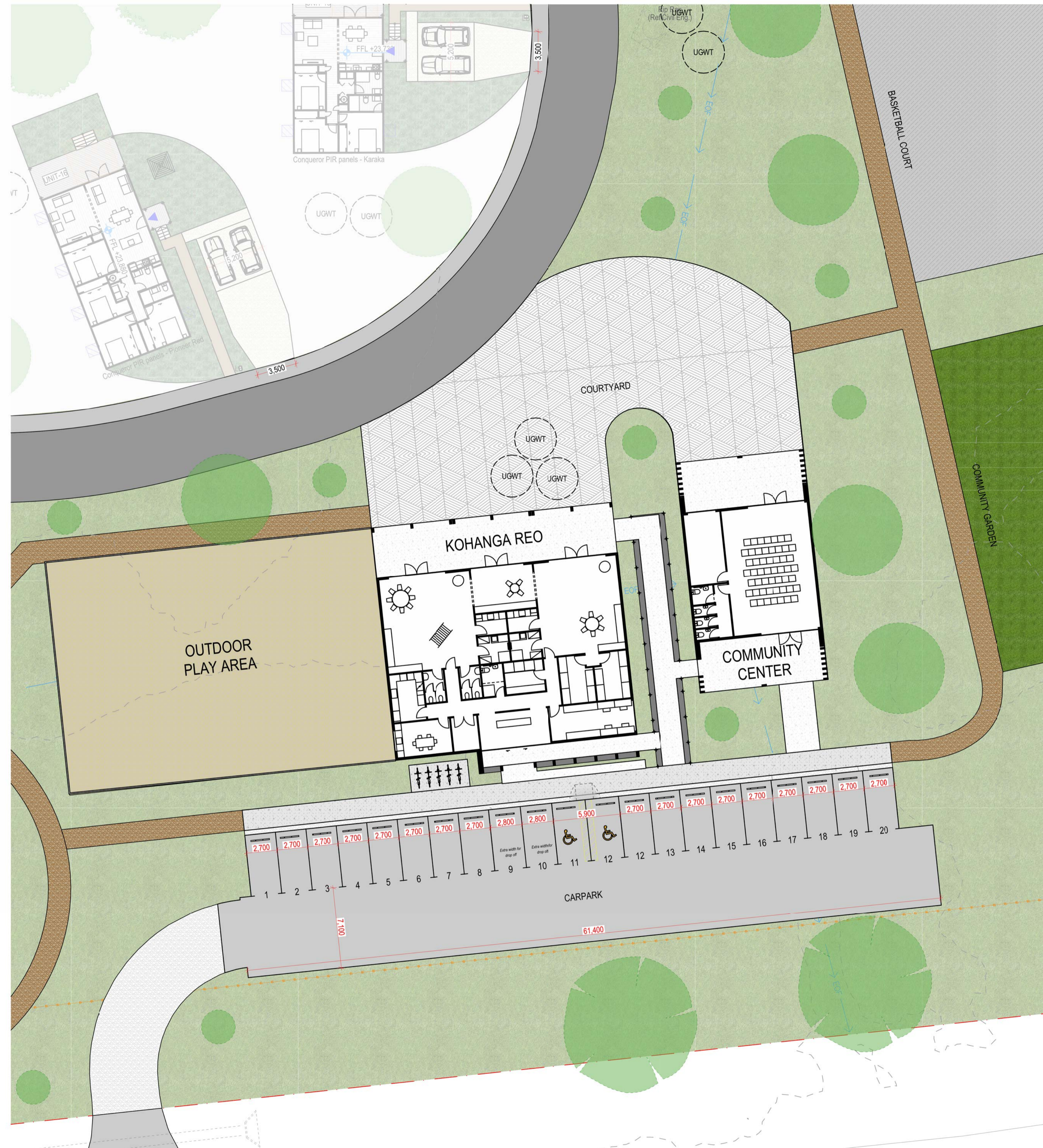
**Resource Consent**

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Section 9: Unit 15, 16, 17 - Site Plan

Moekoraha Papakāinga Development  
29/07/2024 Job # 2636 10-10  
Scale: 1:200 @A1 Rev: A

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**FOR MORE INFORMATION  
SEE SHEETS 20-11, 20-12, 20-13**

Refer Landscape Architect Joseph McCreedy  
(Barker & Associates) for ALL Landscaping

**Carpark Requirements:**

**Community Center**

50 people max  
Carparks = 1 for every 5 people = 10 spaces  
Cycles = 2 plus 1/1000 m2 GBA

**Kohanga Reo**

30 children  
Carparks = 1 for every 4 children = 7.5 (8) spaces  
+ 1 loading bay for pick up / drop off  
Cycles = 1 per 5 employees

**Accessible Spaces**

20 carparks or less = 1 space

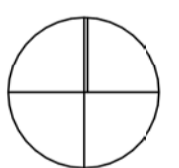
TOTAL REQUIRED = 20 carparks

**Provided:**

16 Standard carparks (2.7 wide x 5.4 long)  
2 Wide carparks for drop off (2.8 wide)  
2 Accessible carparks  
TOTAL = 20 Carparks

5 Cycle parking spaces

N



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Joseph McCreedy (Barker & Associates)**

Rev.	Transmittal Set Name	Date
A	RESOURCE CONSENT	29/07/2024

**Resource Consent**



**Section 9: Kohanga Reo &  
Community Center**

Moekoraha Papakāinga Development

29/07/2024

Job # 2636

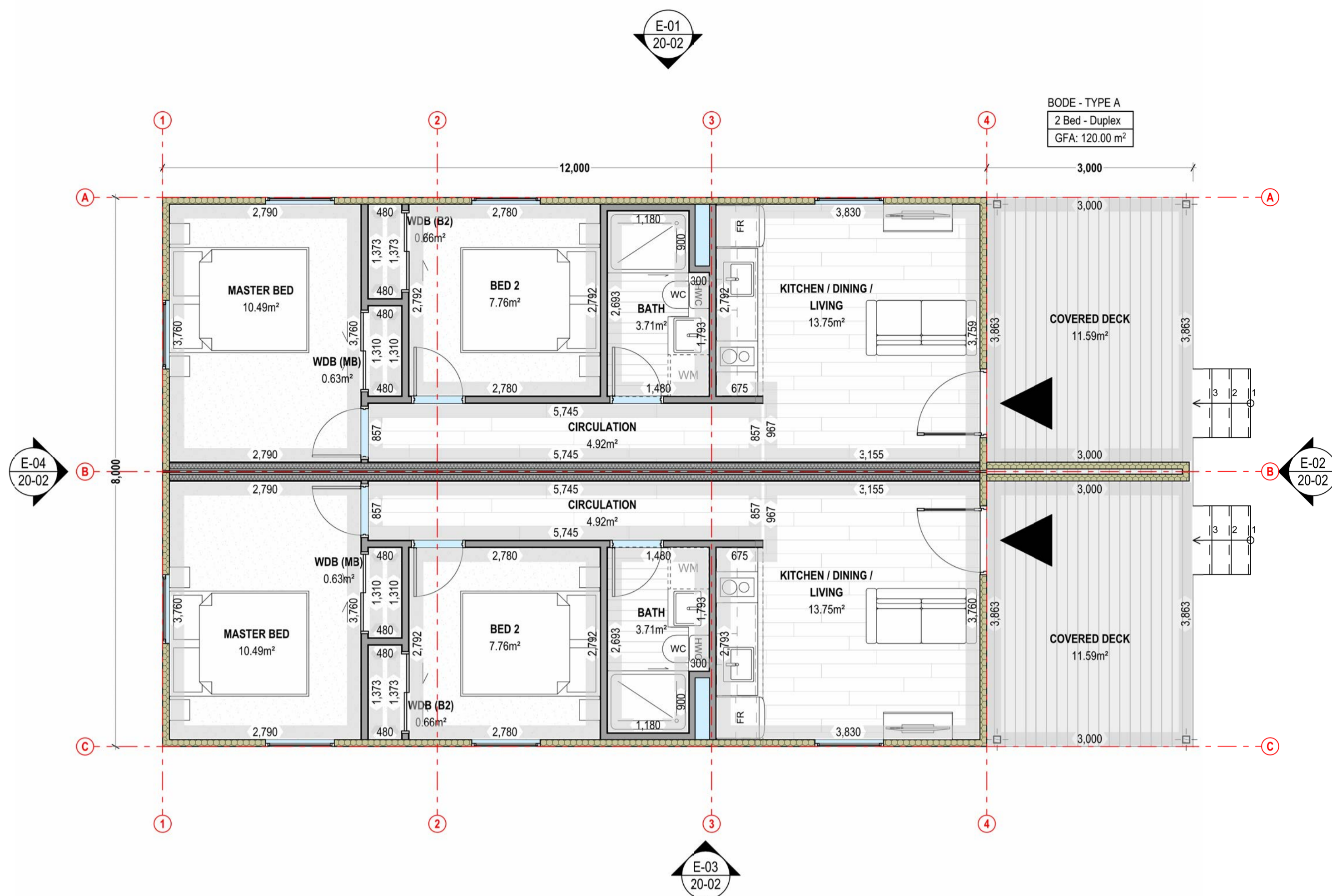
10-11

Scale: 1:200 @A1

Rev: A

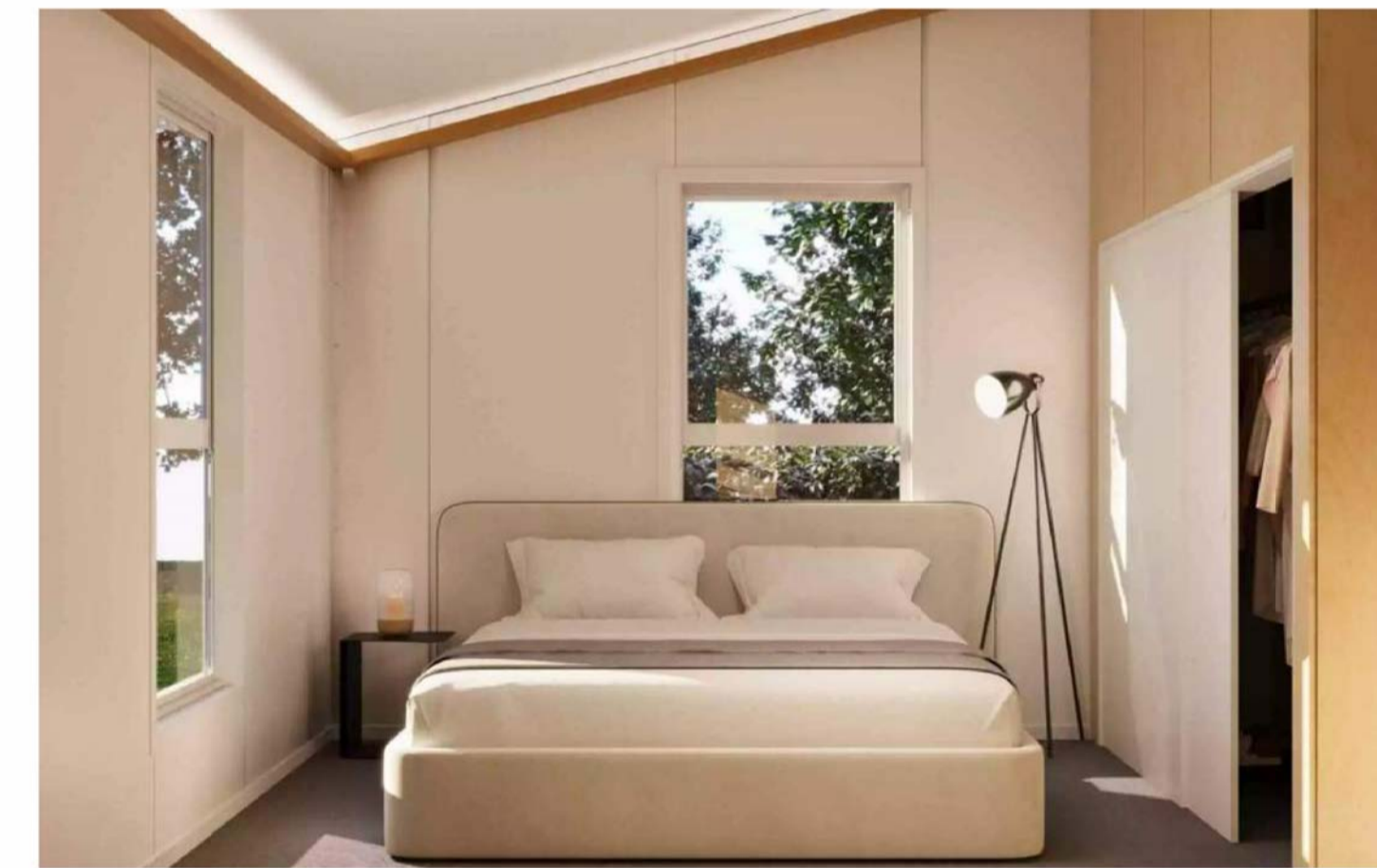


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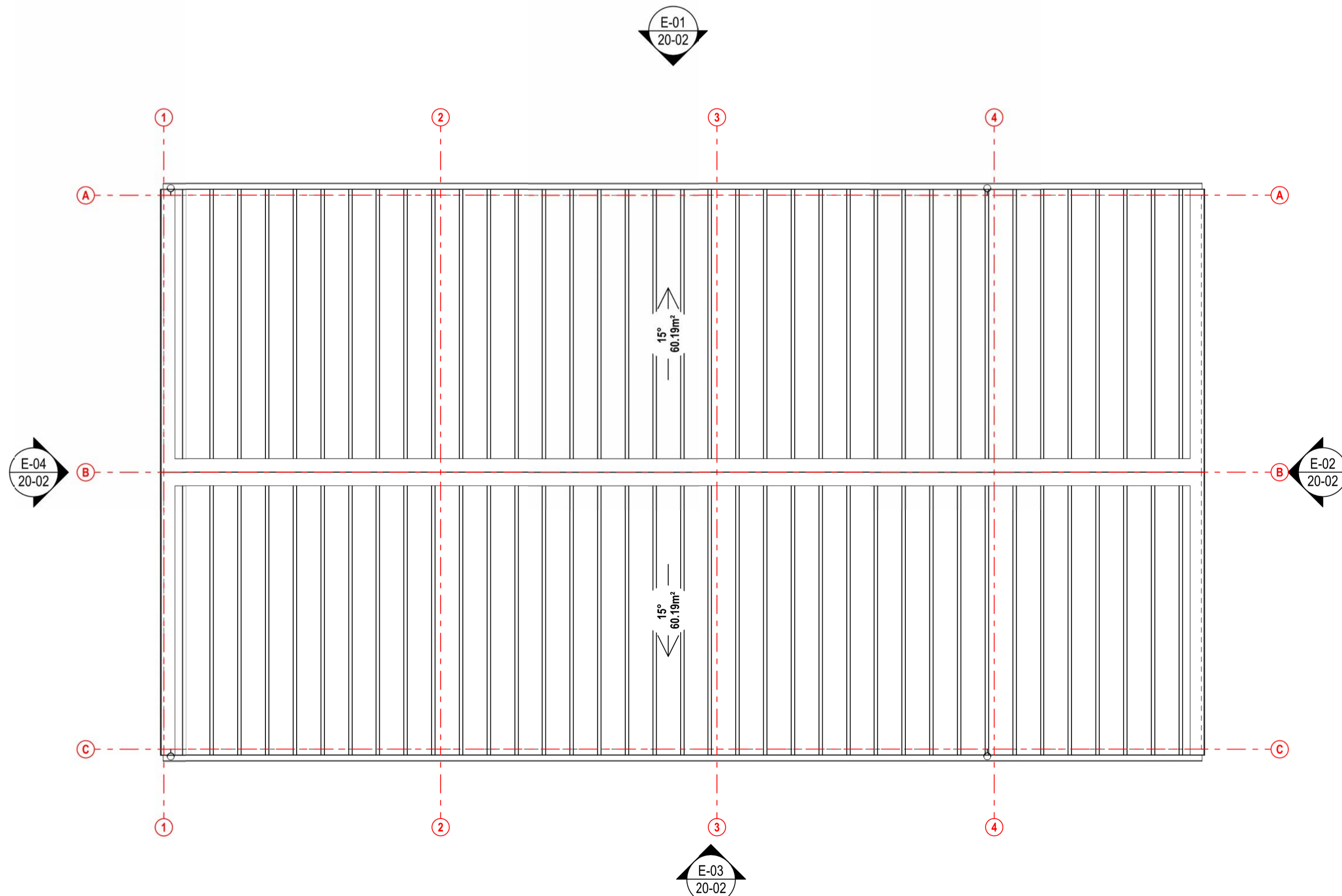


**Keynotes**

- B1.1 Wool Carpet
- B1.2 Vinyl Planking
- B1.3 Waterproof Sheet Vinyl



1 TYPE A - Bode 96 - Duplex - Ground Floor (Kuia Kaumatua Housing)  
Scale 1:50 @ A1



2 TYPE A - Bode 96 - Duplex - Roof (Kuia Kaumatua Housing)  
Scale 1:50 @ A1

NOTE: Interior room areas are to the inside face of the wall lining  
NOTE: GFA - Building coverage area is to the outside face of cladding, includes covered deck / patio & entry where applicable

**Bode - Type A - Room Areas**

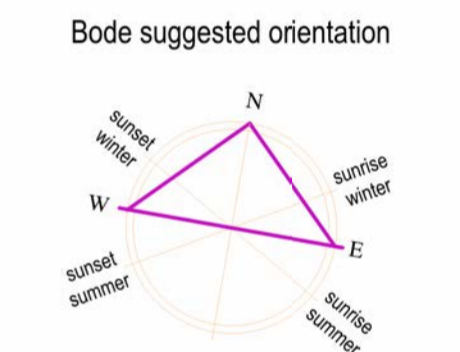
Room Name	Area
<b>BODE - TYPE A, Unit A</b>	
BATH	3.7
BED 2	7.8
CIRCULATION	4.9
COVERED DECK	11.6
KITCHEN / DINING / LIVING	13.7
MASTER BED	10.5
WDB (B2)	0.7
WDB (MB)	0.6
<b>BODE - TYPE A, Unit B</b>	
BATH	3.7
BED 2	7.8
CIRCULATION	4.9
COVERED DECK	11.6
KITCHEN / DINING / LIVING	13.7
MASTER BED	10.5
WDB (B2)	0.7
WDB (MB)	0.6

**NOTE:**  
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**NOTES:**  
- Finished floor levels are site specific - refer to site plans & Civil Engineer for more information  
Proposed Dwellings are to maintain a 0.5m (min. freeboard above the 1% AEP climate change flood water level perpendicular to the direction of flow at the upstream boundary of a given dwelling as per Far North District Council Engineering Standard 2023, Section 4.3.10.7 Freeboard Requirements.

- All Landscaping by Joseph McCready (Barker & Associates)

- Exterior stairs & balustrading are site specific - refer to site elevations & plans for more information



Bode Homes proudly achieves a 7-8 Homestar rating for every build.



Level 2, 49 Boulcott Street  
Wellington Central, Wellington 6011  
<https://bode.co.nz/>

**PLEASE REFER TO DOCUMENTATION FROM BODE FOR ALL OFFICIAL PLANS, DETAILS & SPECIFICATIONS.**

Rev.	Transmittal Set Name	Date
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Type A (Kuia Kaumatua Housing) -  
Bode - Typical Plans

Moekoraha Papakāinga Development  
29/07/2024 Job # 2636 20-01  
Scale: 1:50 @A1 Rev: A



1 E-01  
Scale 1:50 @ A1



2 E-02  
Scale 1:50 @ A1



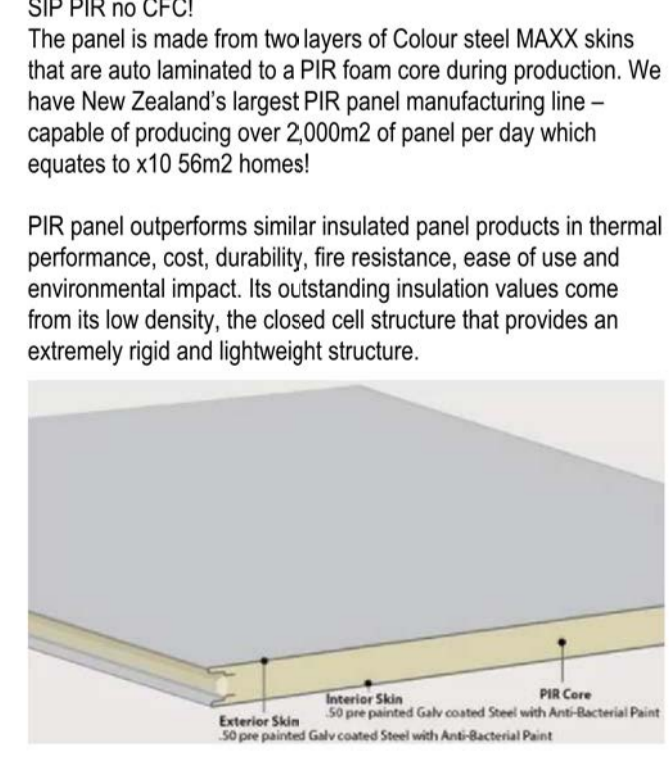
3 E-03  
Scale 1:50 @ A1



4 E-04  
Scale 1:50 @ A1



- Optional Accessories**
- Entry deck and stairs
  - Rain Screen
  - Pergola
- Colour options**
- Timber Cladding
- Resene - Karaka
  - Resene - Rivergum
  - Resene - Pioneer Red
  - Resene - Thunder Grey
  - Resene - Bone White
- Roof & Joinery
- Resene - Gull Grey
  - Resene - Ironsand
- The Panel**
- SIP PIR no CFC!  
The panel is made from two layers of Colour steel MAXX skins that are auto laminated to a PIR foam core during production. We have New Zealand's largest PIR panel manufacturing line – capable of producing over 2,000m2 of panel per day which equates to x10 56m2 homes!
- PIR panel outperforms similar insulated panel products in thermal performance, cost, durability, fire resistance, ease of use and environmental impact. Its outstanding insulation values come from its low density, the closed cell structure that provides an extremely rigid and lightweight structure.



- Keynotes**
- Exterior**
- B0DE**
- B2.2** 100mm Conqueror Wall Panels  
Insulation Walls R4.7
- B2.3** Metalcraft Roofing & Gutter systems  
Coloursteel MAXX  
Spouting: colour to match roof
- B2.4** Downpipes  
Coloursteel MAXX - colour to match roof
- B2.5** Flashings 0.55mm  
Coloursteel MAXX - colour to match roof
- B2.6** Fascia/Barge Boards  
Coloursteel MAXX - colour to match roof
- B2.7** Joinery: APL Residential Series  
ThermalHEART (Thermally broken), Iron Sand Matte Glass/glazing:  
Double Glazing - Solux-E - Thermal Heart  
Window Frame Reveals (timber liners); Painted  
Joinery handles: APL, colour to match joinery
- B2.8** Subfloor - as per engineer design  
Insulation Floor R7.0
- B2.9** Deck & Stairs  
(Optional Extra)
- B2.10** Gable verandah  
(Optional Extra)
- Colour Selections**
- Site Specific
- B0DE**
- B3.3 Resene Bonewhite  
B3.7 Coloursteel Ironsand (Roof)

FOR COUNCIL USE ONLY

**NOTES:**

- Finished floor levels are site specific - refer to site plans & Civil Engineer for more information
- Proposed Dwellings are to maintain a 0.5m (min. freeboard above the 1% AEP climate change flood water level perpendicular to the direction of flow at the upstream boundary of a given dwelling as per Far North District Council Engineering Standard 2023, Section 4.3.10.7 Freeboard Requirements.

- All Landscaping by Joseph McCready (Barker & Associates)

- Exterior stairs & balustrading are site specific - refer to site elevations & plans for more information

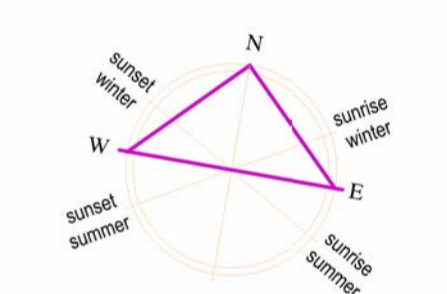
Risk Factor	Risk Severity	Score
Wind Zone	VH	2
Number of Storeys	L	0
Roof/wall junctions	M	1
Eaves width	VH	5
Envelope complexity	L	0
Deck design	H	0
<b>Total Risk Score</b>		<b>8</b>

**NZBC H1**

This building complies with H1 via the following methods:  
- the Calculation Method in NZ4218:2004

Calculation Method	(R-Values) Permitted Min.	Proposed Min.
Floor:	0.65	7.00
Non-solid Walls:	0.95	4.70
Roof:	1.45	7.00

Bode suggested orientation



Bode Homes proudly achieves a 7-8 Homestar rating for every build.



Level 2, 49 Boulcott Street  
Wellington Central, Wellington 6011  
<https://bode.co.nz/>

**PLEASE REFER TO DOCUMENTATION FROM BODE FOR ALL OFFICIAL PLANS, DETAILS & SPECIFICATIONS.**

Rev.	Transmittal Set Name	Date
A	RESOURCE CONSENT	29/07/2024

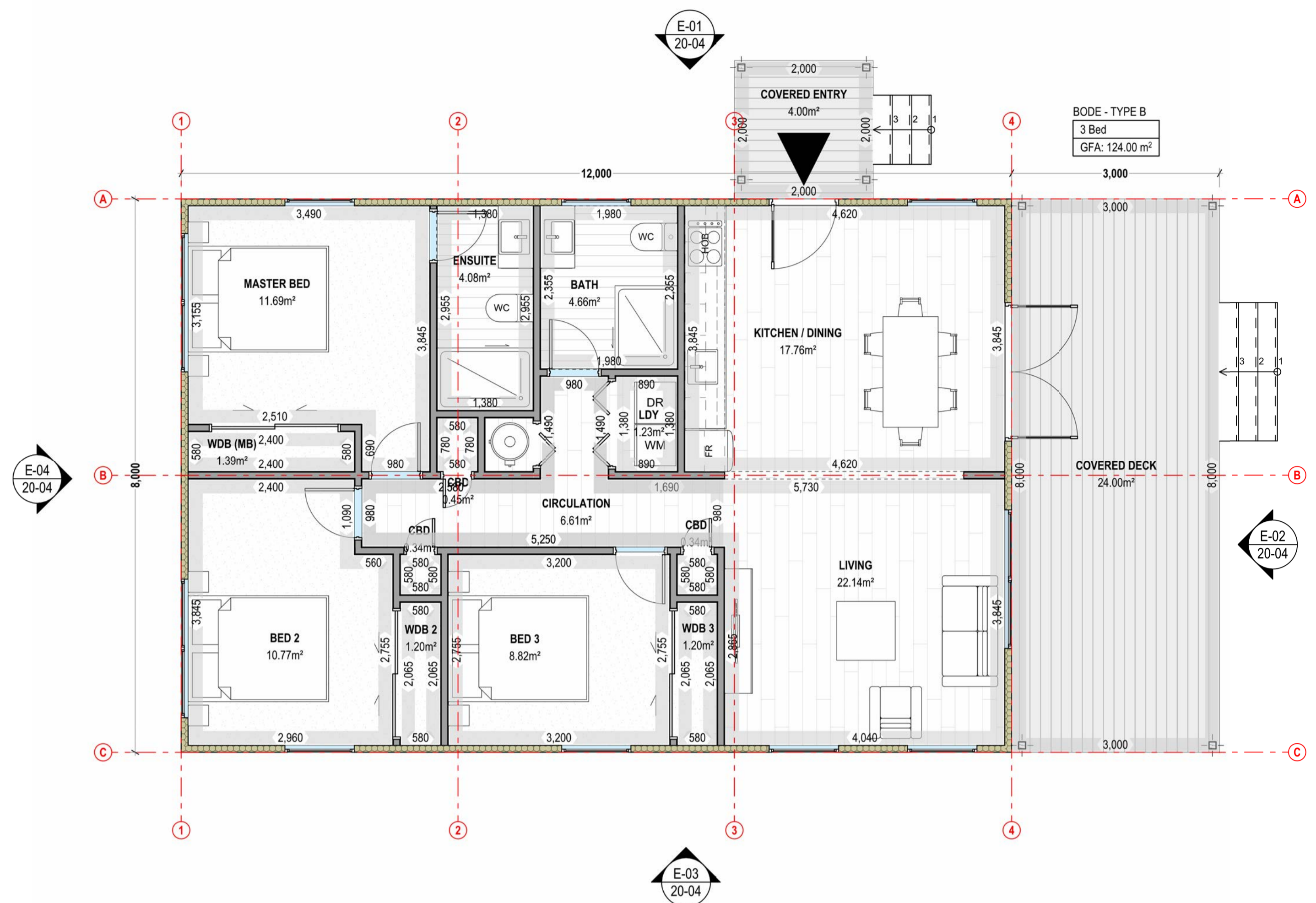
**Resource Consent**

**BDO ARCHITECTS**  
Level 3, 117 Saint Georges Bay Road,  
Parnell, Auckland, 1052  
PO Box 8577  
[www.bdgarchitects.co.nz](http://www.bdgarchitects.co.nz)

Type A (Kuaia Kaumatua Housing) -  
Bode - Elevations

Moekoraha Papakāinga Development  
29/07/2024 Job # 2636 20-02  
Scale: 1:50 @ A1 Rev: A

FOR COUNCIL USE ONLY



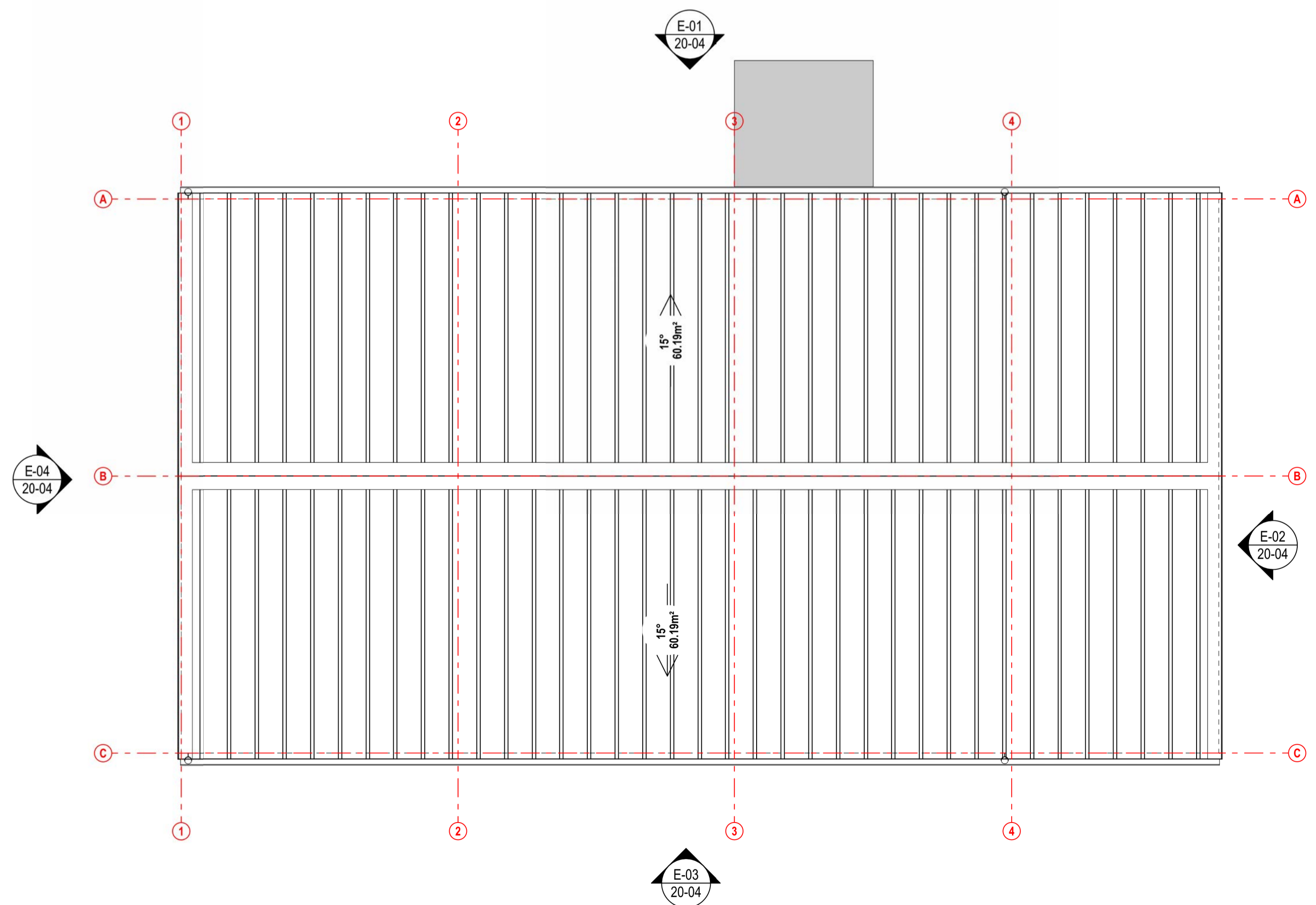
- BODE - TYPE B**  
3 Bed  
GFA: 124.00 m²
- B1.1 Wool Carpet
  - B1.2 Vinyl Planking
  - B1.3 Waterproof Sheet Vinyl
- Keynotes**



**NOTES:**

- Finished floor levels are site specific - refer to site plans & Civil Engineer for more information
- Proposed Dwellings are to maintain a 0.5m (min. freeboard above the 1% AEP climate change flood water level perpendicular to the direction of flow at the upstream boundary of a given dwelling as per Far North District Council Engineering Standard 2023, Section 4.3.10.7 Freeboard Requirements.
- All Landscaping by Joseph McCready (Barker & Associates)
- Exterior stairs & balustrading are site specific - refer to site elevations & plans for more information

1 TYPE B - Bode 96 - 3 Bed - Ground Floor  
Scale 1:50 @ A1



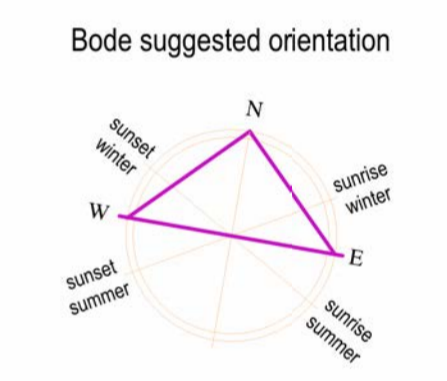
2 TYPE B - Bode 96 - 3 Bed - Roof  
Scale 1:50 @ A1



NOTE: Interior room areas are to the inside face of the wall lining  
NOTE: GFA - Building coverage area is to the outside face of cladding, includes covered deck / patio & entry where applicable

BODE - TYPE B	
BATH	4.7
BED 2	10.8
BED 3	8.8
CBD	1.1
CIRCULATION	7.0
COVERED DECK	24.0
COVERED ENTRY	4.0
ENSUITE	4.1
KITCHEN / DINING	18.0
LDY	1.2
LIVING	22.5
MASTER BED	11.7
WDB (MB)	1.4
WDB 2	1.2
WDB 3	1.2

**NOTE:**  
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Bode Homes proudly achieves a 7-8 Homestar rating for every build.

**bode™**  
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Wellington Central, Wellington 6011  
<https://bode.co.nz/>

**PLEASE REFER TO DOCUMENTATION FROM BODE FOR ALL OFFICIAL PLANS, DETAILS & SPECIFICATIONS.**

Rev.	Transmittal Set Name	Date
A	RESOURCE CONSENT	29/07/2024

**Resource Consent**  
 Level 3, 117 Saint Georges Bay Road,  
Parnell, Auckland, 1052  
PO Box 8577  
[www.bdgarchitects.co.nz](http://www.bdgarchitects.co.nz)

Type B - Bode - Typical Plans  
Moerohara Papakāinga Development  
29/07/2024 Job # 2636 20-03  
Scale: 1:50 @A1 Rev: A



1 E-01  
Scale 1:50 @ A1



2 E-02  
Scale 1:50 @ A1



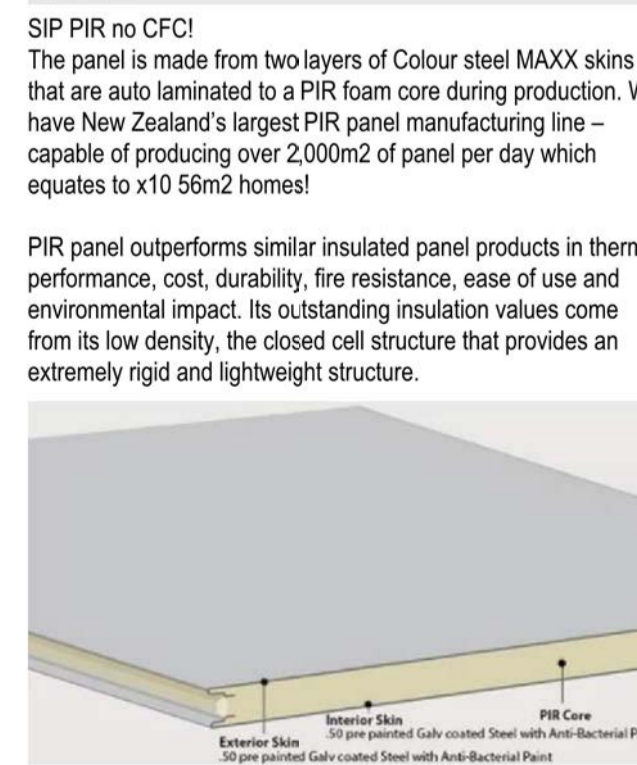
3 E-03  
Scale 1:50 @ A1



4 E-04  
Scale 1:50 @ A1



- Optional Accessories**
- Entry deck and stairs
  - Rain Screen
  - Pergola
- Colour options**
- Timber Cladding
- Resene - Karaka
  - Resene - Pioneer Red
  - Resene - Bone White
  - Resene - Rivergum
  - Resene - Thunder Grey
  - Resene - Ironsand
- Roof & Joinery**
- Resene - Gull Grey
  - Resene - Ironsand
- The Panel**
- SIP PIR no CFC!  
The panel is made from two layers of Colour steel MAXX skins that are auto laminated to a PIR foam core during production. We have New Zealand's largest PIR panel manufacturing line – capable of producing over 2,000m2 of panel per day which equates to x10 56m2 homes!



- Keynotes**
- Exterior BODE**
- B2.2** 100mm Conqueror Wall Panels  
Insulation Walls R4.7
  - B2.3** Metalcraft Roofing & Gutter systems  
Coloursteel MAXX  
Spouting: colour to match roof
  - B2.4** Downpipes  
Coloursteel MAXX - colour to match roof
  - B2.5** Flashings 0.55mm  
Coloursteel MAXX - colour to match roof
  - B2.6** Fascia/Barge Boards  
Coloursteel MAXX - colour to match roof
  - B2.7** Joinery: APL Residential Series  
ThermalHEART (Thermally broken), Iron Sand Matte Glass/glazing:  
Double Glazing - Solux-E - Thermal Heart  
Window Frame Reveals (timber liners); Painted  
Joinery handles: APL, colour to match joinery
  - B2.8** Subfloor - as per engineer design  
Insulation Floor R7.0
  - B2.9** Deck & Stairs  
(Optional Extra)
  - B2.10** Gable verandah  
(Optional Extra)
  - B2.11** Canopy / Pergola  
(Optional Extra)
- Colour Selections**
- Site Specific
- BODE**
- B3.1 Resene Karaka
  - B3.6 Coloursteel Gull Grey (Roof)

FOR COUNCIL USE ONLY

**NOTES:**

- Finished floor levels are site specific - refer to site plans & Civil Engineer for more information
- Proposed Dwellings are to maintain a 0.5m (min. freeboard above the 1% AEP climate change flood water level perpendicular to the direction of flow at the upstream boundary of a given dwelling as per Far North District Council Engineering Standard 2023, Section 4.3.10.7 Freeboard Requirements.

- All Landscaping by Joseph McCready (Barker & Associates)

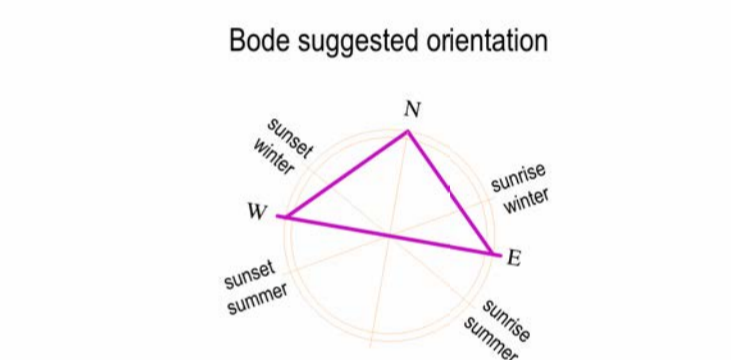
- Exterior stairs & balustrading are site specific - refer to site elevations & plans for more information

Risk Factor	Risk Severity	Score
Wind Zone	VH	2
Number of Storeys	L	0
Roof/wall junctions	M	1
Eaves width	VH	5
Envelope complexity	L	0
Deck design	H	0
<b>Total Risk Score</b>		<b>8</b>

**NZBC H1**

This building complies with H1 via the following methods:  
- the Calculation Method in NZ4218:2004

Calculation Method	(R-Values) Permitted Min.	Proposed Min.
<b>Floor:</b>	0.65	7.00
<b>Non-solid Walls:</b>	0.95	4.70
<b>Roof:</b>	1.45	7.00



**PLEASE REFER TO DOCUMENTATION FROM BODE FOR ALL OFFICIAL PLANS, DETAILS & SPECIFICATIONS.**

Rev.	Transmittal Set Name	Date
A	RESOURCE CONSENT	29/07/2024

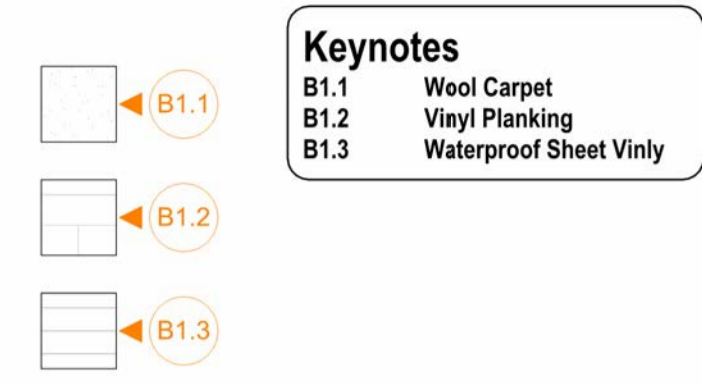
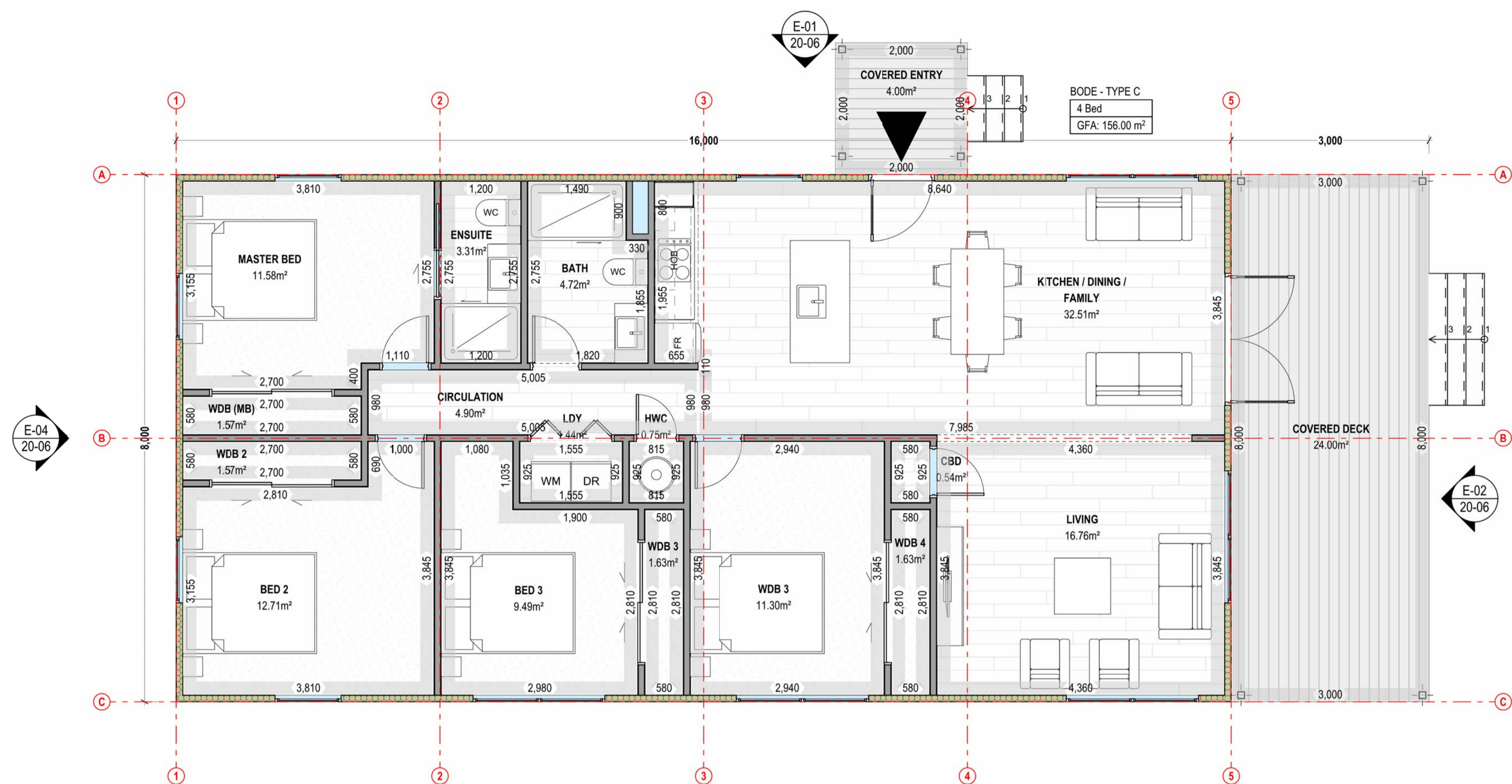
**Resource Consent**

**BODE ARCHITECTS**  
Level 3, 117 Saint Georges Bay Road, Parnell, Auckland, 1052  
PO Box 8577  
www.bodgearchitects.co.nz

Type B - Bode - Elevations

Moekoraha Papakāinga Development  
29/07/2024 Job # 2636 20-04  
Scale: 1:50 @ A1 Rev: A

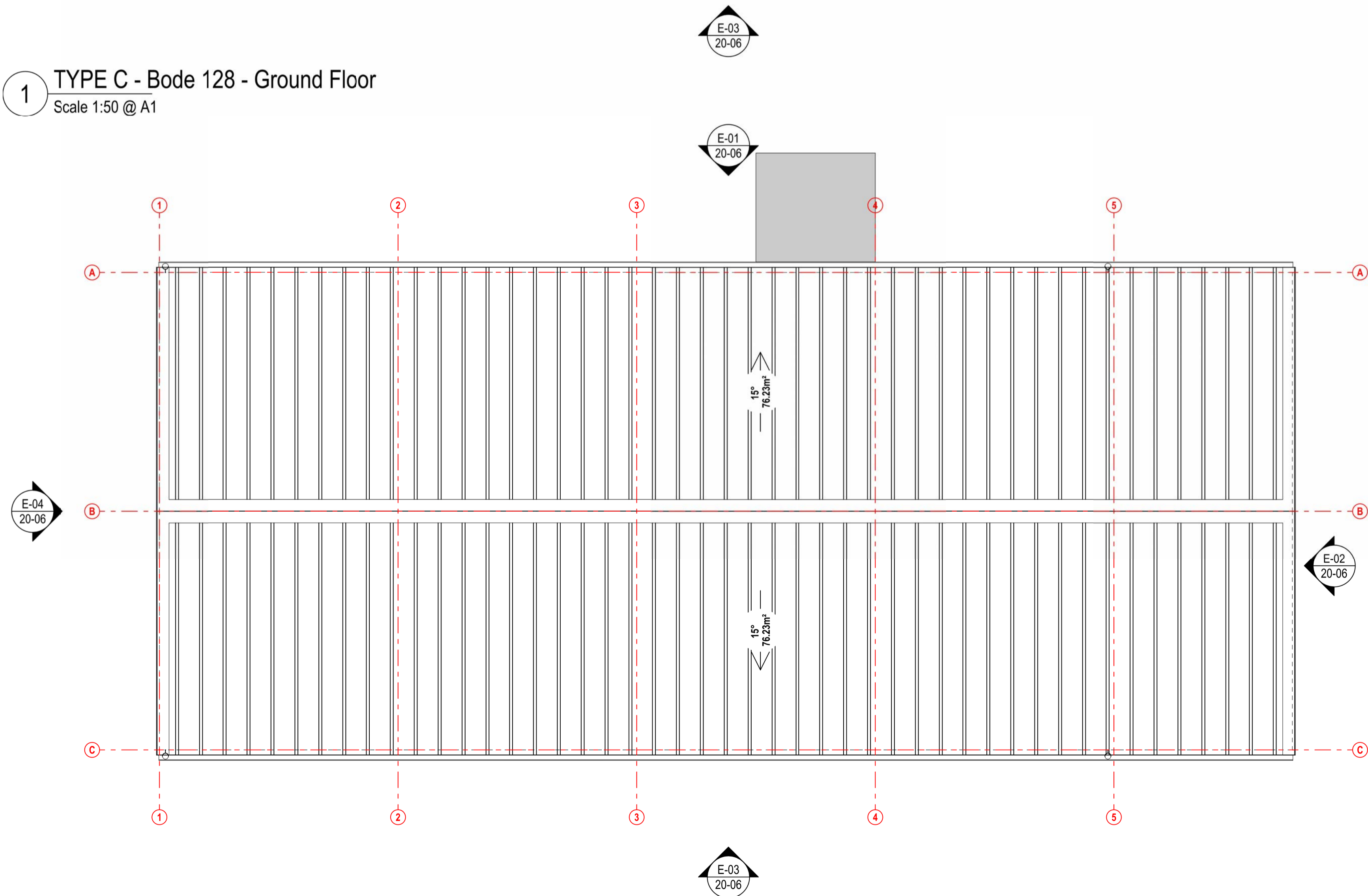
FOR COUNCIL USE ONLY



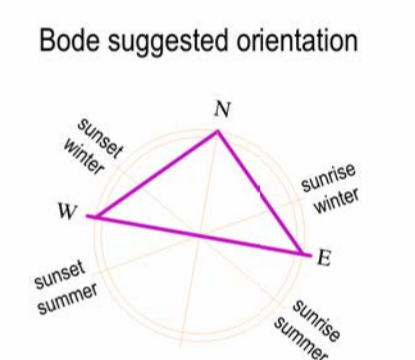
**NOTES:**

- Finished floor levels are site specific - refer to site plans & Civil Engineer for more information
- Proposed Dwellings are to maintain a 0.5m (min. freeboard above the 1% AEP climate change flood water level perpendicular to the direction of flow at the upstream boundary of a given dwelling as per Far North District Council Engineering Standard 2023, Section 4.3.10.7 Freeboard Requirements.
- All Landscaping by Joseph McCready (Barker & Associates)
- Exterior stairs & balustrading are site specific - refer to site elevations & plans for more information

1 TYPE C - Bode 128 - Ground Floor  
Scale 1:50 @ A1



2 TYPE C - Bode 128 - Roof  
Scale 1:50 @ A1



Bode Homes proudly achieves a 7-8 Homestar rating for every build.

**NOTE:** Interior room areas are to the inside face of the wall lining  
**NOTE:** GFA - Building coverage area is to the outside face of cladding, includes covered deck / patio & entry where applicable

**NOTE:** The area's shown are indicative only and are without consultant input or relevant council approvals. BDG Architects Ltd. accepts no responsibility for the accuracy of these area's and do not recommend they be used as part of any legal agreement or marketing material

**Bode - Type D - Room Areas**

Room Name	Area
<b>BODE - TYPE C</b>	
BATH	4.7
BED 2	12.7
BED 3	9.5
CBD	0.5
CIRCULATION	5.1
COVERED DECK	24.0
COVERED ENTRY	4.0
ENSUITE	3.3
HWC	0.8
KITCHEN / DINING / FAMILY	32.7
LDY	1.4
LIVING	17.2
MASTER BED	11.6
WDB (MB)	1.6
WDB 2	1.6
WDB 3	12.9
WDB 4	1.6



Level 2, 49 Boulcott Street  
Wellington Central, Wellington 6011  
<https://bode.co.nz/>

**PLEASE REFER TO DOCUMENTATION FROM BODE FOR ALL OFFICIAL PLANS, DETAILS & SPECIFICATIONS.**

Rev.	Transmittal Set Name	Date
A	RESOURCE CONSENT	29/07/2024

**Resource Consent**

Level 3, 117 Saint Georges Bay Road,  
Parnell, Auckland, 1052  
PO Box 8577  
[www.bdgarchitects.co.nz](http://www.bdgarchitects.co.nz)

Type C - Bode - Typical Plans

Moekoraha Papakāinga Development  
29/07/2024 Job # 2636 20-05  
Scale: 1:50 @A1 Rev: A



1 E-01  
Scale 1:50 @ A1



2 E-02  
Scale 1:50 @ A1



3 E-03  
Scale 1:50 @ A1



4 E-04  
Scale 1:50 @ A1



FOR COUNCIL USE ONLY

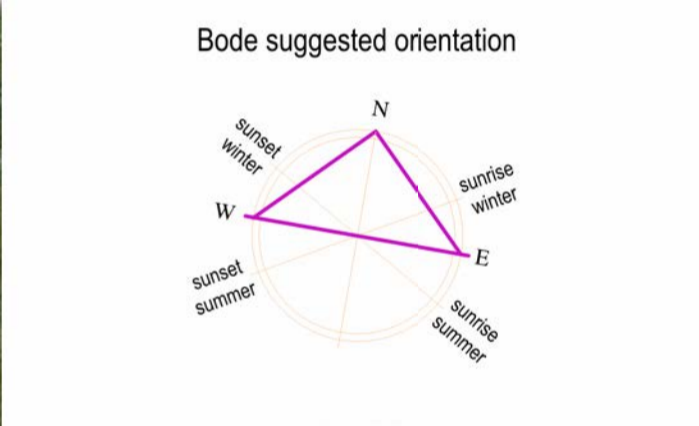
**NOTES:**  
- Finished floor levels are site specific - refer to site plans & Civil Engineer for more information  
Proposed Dwellings are to maintain a 0.5m (min. freeboard above the 1% AEP climate change flood water level perpendicular to the direction of flow at the upstream boundary of a given dwelling as per Far North District Council Engineering Standard 2023, Section 4.3.10.7 Freeboard Requirements.

- All Landscaping by Joseph McCready (Barker & Associates)  
- Exterior stairs & balustrading are site specific - refer to site elevations & plans for more information

Risk Factor	Risk Severity	Score
Wind Zone	VH	2
Number of Storeys	L	0
Roof/wall junctions	M	1
Eaves width	VH	5
Envelope complexity	L	0
Deck design	H	0
<b>Total Risk Score</b>		<b>8</b>

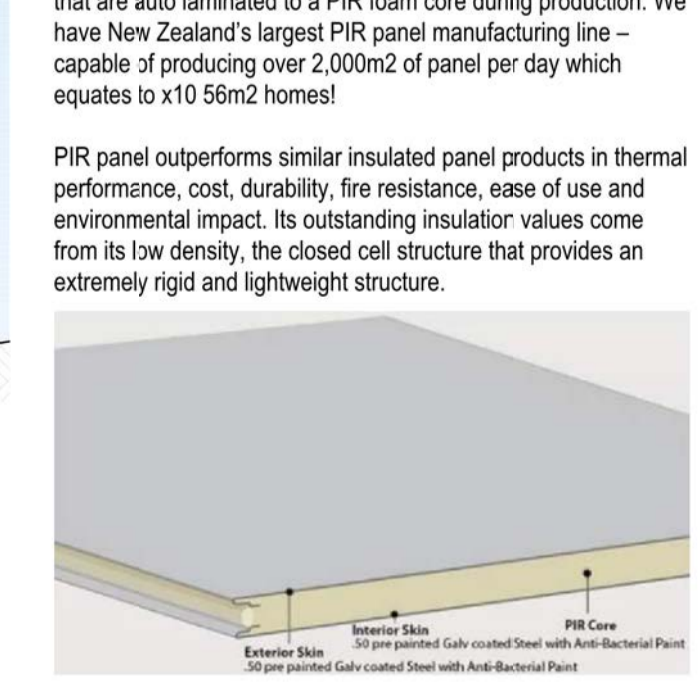
**NZBC H1**  
This building complies with H1 via the following methods:  
- the Calculation Method in NZ4218:2004

Calculation Method	(R-Values) Permitted Min.	Proposed Min.
Floor:	0.65	7.00
Non-solid Walls:	0.95	4.70
Roof:	1.45	7.00



- Optional Accessories**  
- Entry deck and stairs  
- Rain Screen  
- Pergola
- Colour options**  
Timber Cladding
- Resene - Karaka
  - Resene - Pioneer Red
  - Resene - Bone White
  - Resene - Rivergum
  - Resene - Thunder Grey
  - Resene - Ironsand
- Roof & Joinery**
- Resene - Gull Grey
  - Resene - Ironsand
- The Panel**  
SIP PIR no CFC!  
The panel is made from two layers of Colour steel MAXX skins that are auto laminated to a PIR foam core during production. We have New Zealand's largest PIR panel manufacturing line - capable of producing over 2,000m<sup>2</sup> of panel per day which equates to x10 56m<sup>2</sup> homes!

- Keynotes**
- Exterior BODE**
- B2.2 100mm Conqueror Wall Panels
  - B2.3 Insulation Walls R4.7
  - B2.4 Metalcraft Roofing & Gutter systems
  - B2.5 Coloursteel MAXX - colour to match roof
  - B2.6 Spouting: colour to match roof
  - B2.7 Downpipes
  - B2.8 Coloursteel MAXX - colour to match roof
  - B2.9 Flashings 0.55mm
  - B2.10 Coloursteel MAXX - colour to match roof
  - B2.11 Fascia/Barge Boards
  - B2.12 Coloursteel MAXX - colour to match roof
  - B2.13 Joinery: APL Residential Series
  - B2.14 ThermalHEART (Thermally broken), Iron Sand Matte Glass/glazing: Double Glazing - Solux-E - Thermal Heat Window Frame Reveals (timber liner); Painted Joinery handles; APL colour to match joinery
  - B2.15 Subfloor - as per engineer design
  - B2.16 Insulation Floor R7.0
  - B2.17 Deck & Stairs
  - B2.18 (Optional Extra)
  - B2.19 Gable verandah
  - B2.20 (Optional Extra)
  - B2.21 Canopy / Pergola
  - B2.22 (Optional Extra)



**PLEASE REFER TO DOCUMENTATION FROM BODE FOR ALL OFFICIAL PLANS, DETAILS & SPECIFICATIONS.**

Rev.	Transmittal Set Name	Date
A	RESOURCE CONSENT	29/07/2024

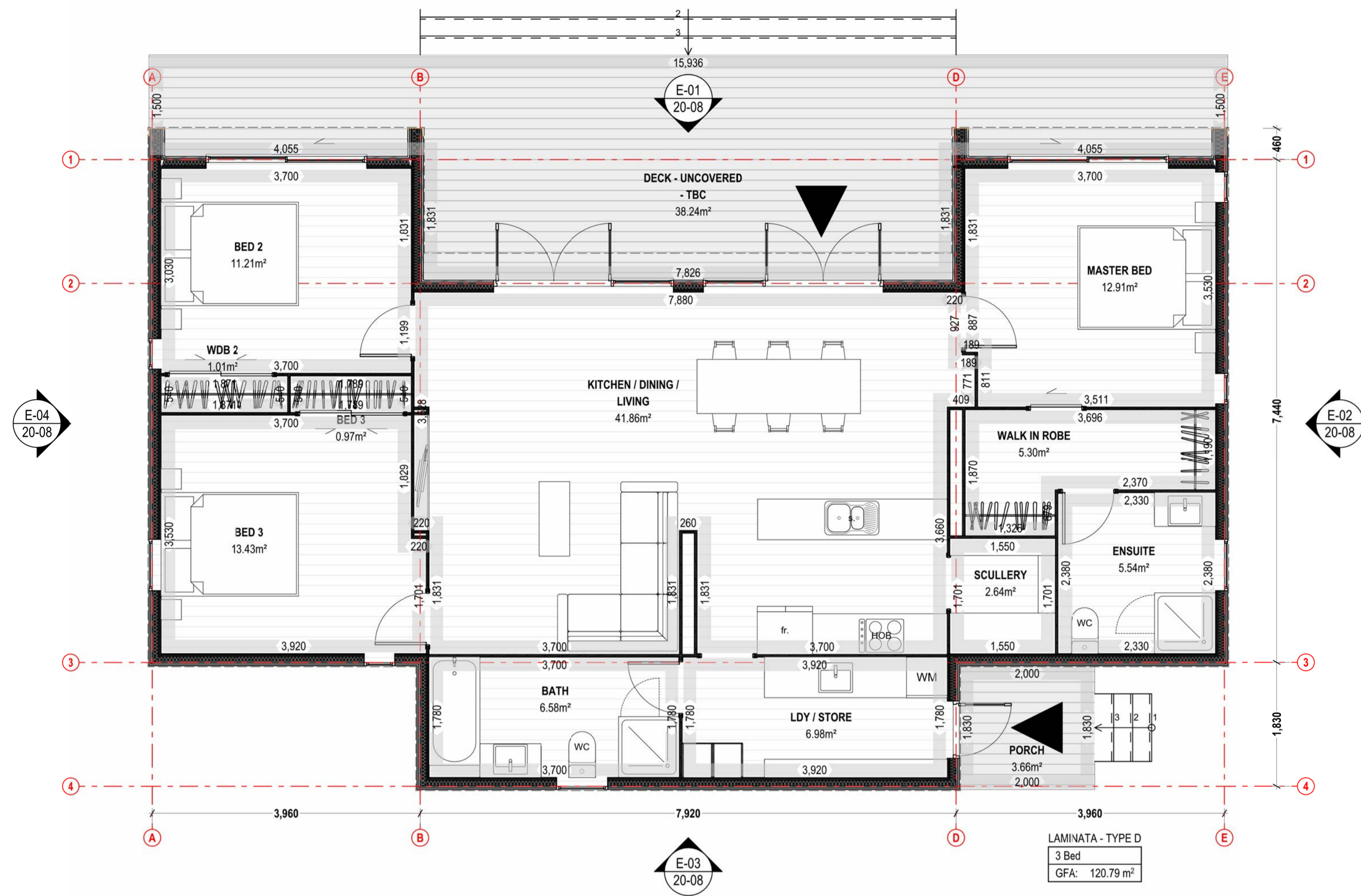
**Resource Consent**

**BODE ARCHITECTS**  
Level 3, 117 Saint Georges Bay Road, Parnell, Auckland, 1052  
PO Box 8577  
www.bodgearchitects.co.nz

Type C - Bode - Elevations

Moekoraha Papakāinga Development  
29/07/2024 Job # 2636  
Scale: 1:50 @A1 Rev: A

FOR COUNCIL USE ONLY



1 TYPE D - Laminata Kerikeri - Ground Floor  
Scale 1:50 @ A1



**NOTES:**  
- Finished floor levels are site specific - refer to site plans & Civil Engineer for more information  
Proposed Dwellings are to maintain a 0.5m (min. freeboard above the 1% AEP climate change flood water level perpendicular to the direction of flow at the upstream boundary of a given dwelling as per Far North District Council Engineering Standard 2023, Section 4.3.10.7 Freeboard Requirements.

- All Landscaping by Joseph McCready (Barker & Associates)

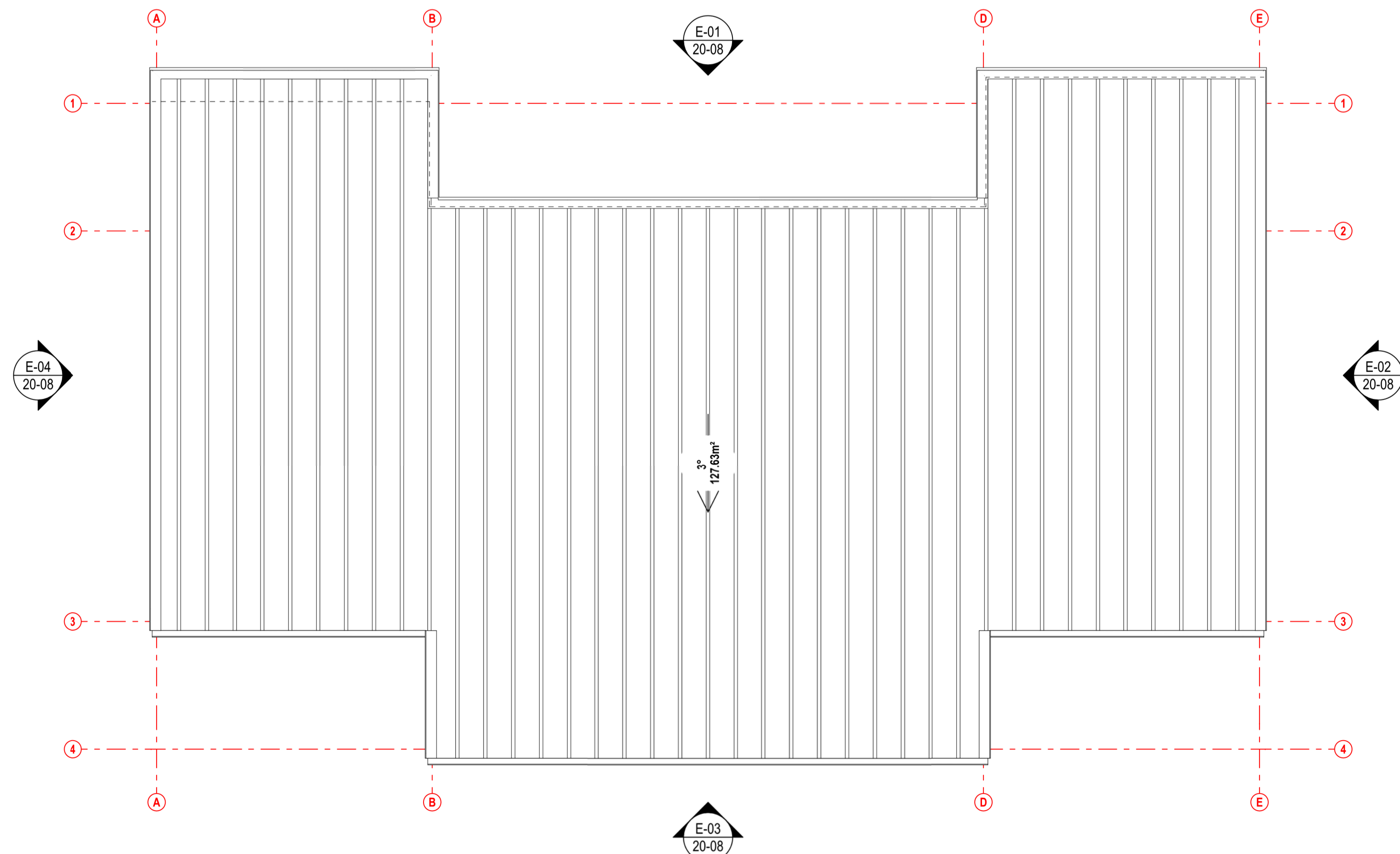
- Exterior stairs & balustrading are site specific - refer to site elevations & plans for more information

NOTE: Interior room areas are to the inside face of the wall lining  
NOTE: GFA - Building coverage area is to the outside face of cladding, includes covered deck / patio & entry where applicable

LAMB Laminata - Type D - Room Areas

Room Name	Area
<b>LAMINATA - TYPE D</b>	
BATH	6.6
BED 2	11.6
BED 3	14.4
DECK - UNCOVERED - TBC	38.2
ENSUITE	5.5
KITCHEN / DINING / LIVING	41.9
LDY / STORE	7.1
MASTER BED	13.3
PORCH	3.7
SCULLERY	2.6
WALK IN ROBE	5.3
WDB 2	1.0

**NOTE:**  
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2 TYPE D - Laminata Kerikeri - Roof  
Scale 1:50 @ A1



PLEASE REFER TO DOCUMENTATION FROM LAMINATA FOR ALL OFFICIAL PLANS, DETAILS & SPECIFICATIONS.

Rev.	Transmittal Set Name	Date
A	RESOURCE CONSENT	29/07/2024



Type D - Laminata - Typical Plans

Moekoraha Papakāinga Development  
29/07/2024 Job # 2636 20-07  
Scale: 1:50 @A1 Rev: A



1 E-01  
Scale 1:50 @ A1



2 E-02  
Scale 1:50 @ A1



3 E-03  
Scale 1:50 @ A1



4 E-04  
Scale 1:50 @ A1

Colour options

Timber Cladding

- Aalto - Wet Sugar
- Aalto - Blue Porcelain
- Aalto - Cinder Block
- Roasted Malt

Metal Cladding & Roof

- Resene - Flaxpod
- Resene - Grey Friars
- Resene - Sandstone Grey
- Powder coat White
- Resene - Flaxpod

Joinery

- Powder coat White
- Resene - Flaxpod

Keynotes

Exterior

LAMINATA

- L2.1 Laminata Exterior wall panel**  
Laminata MiniCLT Panel:  
275x1790x40mm MCA H3.2 1xGood Face Knot Spec.  
COATING:  
1 coat Polyurethane Sealer + 2 coats Lockwood blonde to comply with E3/AS1
- L2.2 Dimond Styleline**  
DIMOND STYLELINE, Colorsteel 0.4mm Endura Vertical cladding - custom colorsteel flashings to suit- refer Construction details.  
UNDERLAY: PRO-CLIMA SOLITEX EXTASANA wall Protection membrane  
CAVITY: 20 x 40mm MCA Horizontal Castellated cavity batten @900crs max.
- L2.3 Shiplap WB**  
MT POKAKA 140 x 27mm MCA BandSawn Face Shiplap  
Weatherboard with 115mm cover. Hidden fixed with 8gx65mm S.S. ECKO screws and nailed with 60mm ECKO Rose head Silica Bronze.
- L2.5 Ext. wall insulation**  
R2.0 (min.) Sheep WOOL wall insulation
- L2.6 Roof**  
ROOFING: DIMOND STYLELINE, Colorsteel 0.55mm Endura roofing over 90x40 purlin / rafters @ 610 crs  
UNDERLAY: PRO-CLIMA MENTO1000 Protection membrane  
2 x layers R2.0 wool insulation
- L2.7 Joinery**  
FAIRVIEW ONE - Aluminium profile joinery, double glazed and 5/14/4 (23mm) IGU - Thermally broken.
- L2.8 Deck & Stairs**  
(Optional Extra)
- L2.9 Subfloor / Foundation - as per engineer design**  
Insulation Floor R1.3 (Expol 50mm)

Colour Selections

Site Specific

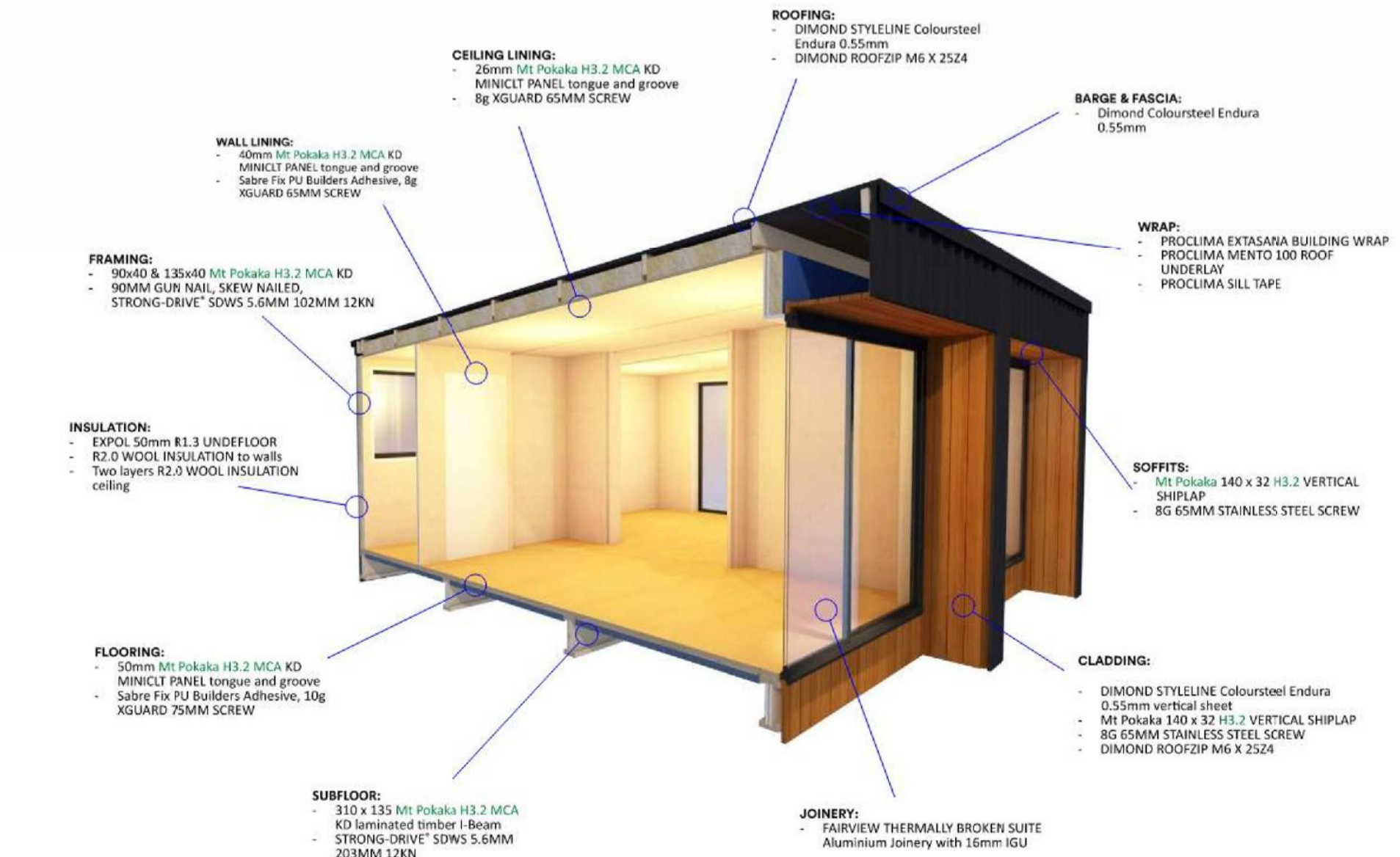
LAMINATA

- L3.3 Coloursteel - Sandstone
- L3.4 WB - Aalto - Wet Sugar
- L3.8 Joinery - Powder coat White

**NOTES:**  
- Finished floor levels are site specific - refer to site plans & Civil Engineer for more information  
Proposed Dwellings are to maintain a 0.5m (min.) freeboard above the 1% AEP climate change flood water level perpendicular to the direction of flow at the upstream boundary of a given dwelling as per Far North District Council Engineering Standard 2023, Section 4.3.10.7 Freeboard Requirements.

- All Landscaping by Joseph McCready (Barker & Associates)

- Exterior stairs & balustrading are site specific - refer to site elevations & plans for more information



5 LAMINATA - SPECIFICATIONS  
NTS



PLEASE REFER TO DOCUMENTATION FROM LAMINATA FOR ALL OFFICIAL PLANS, DETAILS & SPECIFICATIONS.

Rev.	Transmittal Set Name	Date
A	RESOURCE CONSENT	29/07/2024

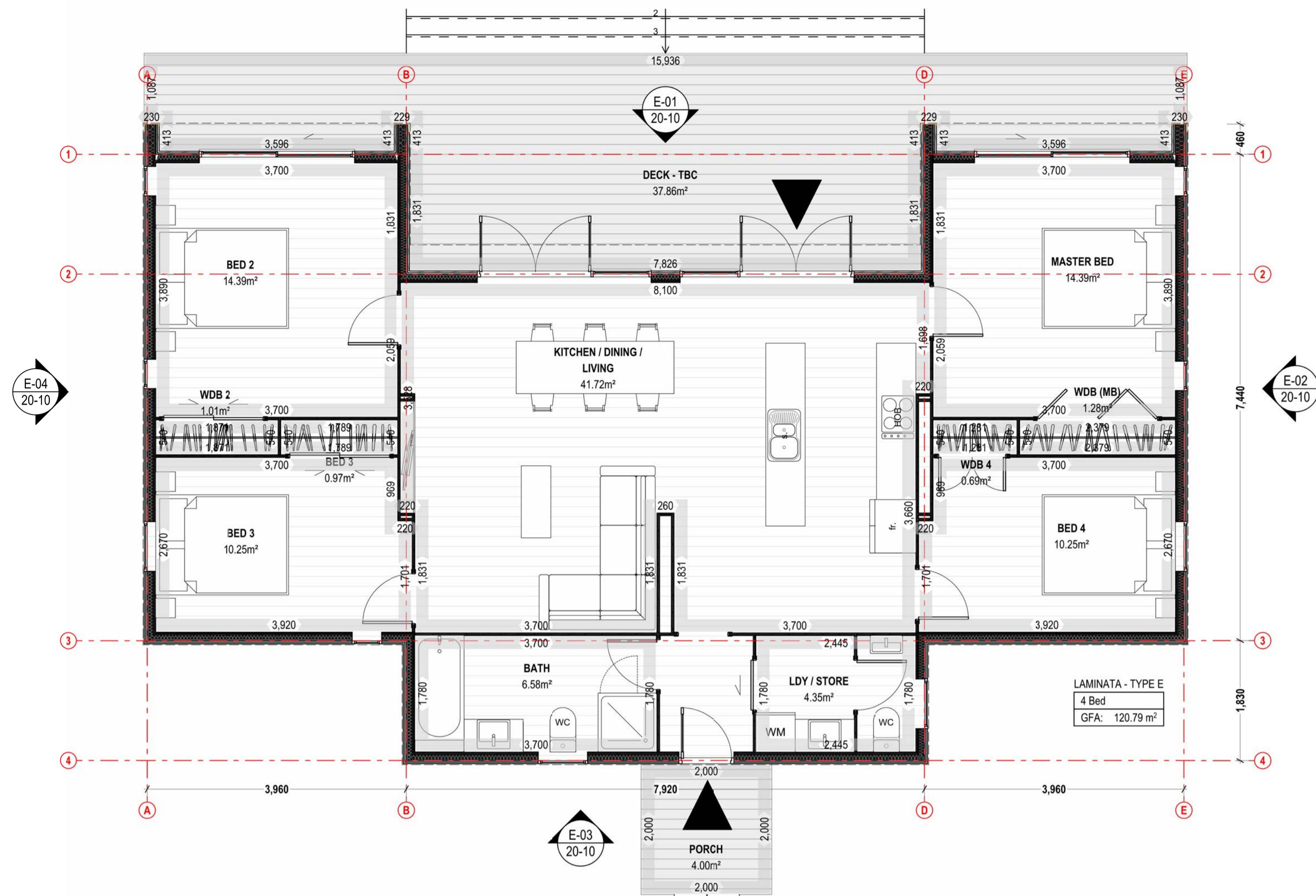
**Resource Consent**

Level 3, 117 Saint Georges Bay Road,  
Parnell, Auckland, 1052  
PO Box 8577  
www.bdgarchitects.co.nz

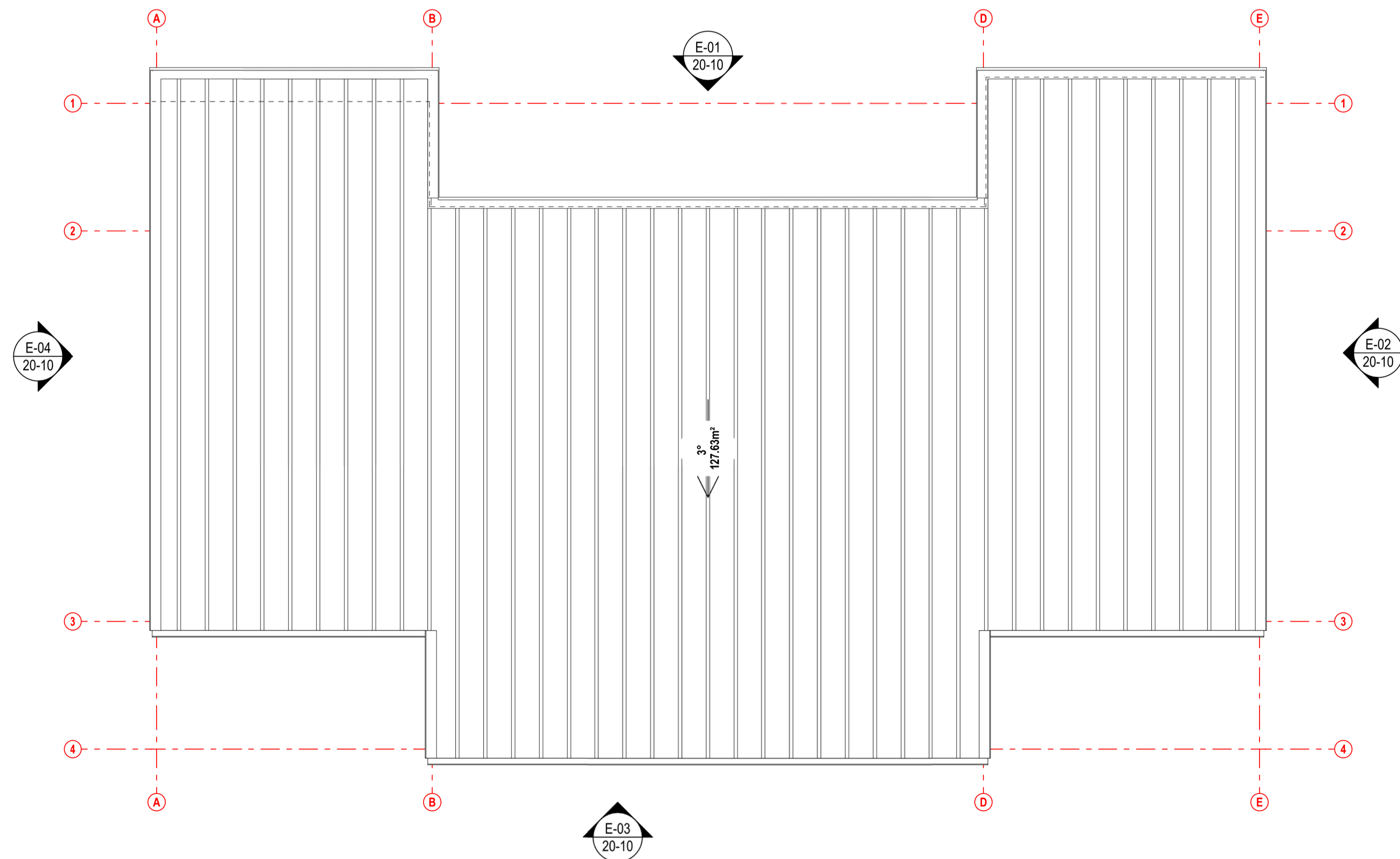
Type D - Laminata - Elevations



FOR COUNCIL USE ONLY



1 TYPE D - Laminata Kerikeri - Ground Floor  
Scale 1:50 @ A1



2 TYPE E - Laminata Kerikeri - Roof  
Scale 1:50 @ A1



- NOTES:**
- Finished floor levels are site specific - refer to site plans & Civil Engineer for more information
  - Proposed Dwellings are to maintain a 0.5m (min. freeboard above the 1% AEP climate change flood water level perpendicular to the direction of flow at the upstream boundary of a given dwelling as per Far North District Council Engineering Standard 2023, Section 4.3.10.7 Freeboard Requirements.
  - All Landscaping by Joseph McCready (Barker & Associates)
  - Exterior stairs & balustrading are site specific - refer to site elevations & plans for more information

NOTE: Interior room areas are to the inside face of the wall lining  
NOTE: GFA - Building coverage area is to the outside face of cladding, includes covered deck / patio & entry where applicable

LAMB Laminata - Type E - Room Areas

Room Name	Area
<b>LAMINATA - TYPE E</b>	
BATH	6.6
BED 2	14.8
BED 3	11.3
BED 4	10.3
DECK - TBC	37.9
KITCHEN / DINING / LIVING	41.7
LDY / STORE	4.5
MASTER BED	14.8
PORCH	4.0
WDB (MB)	1.3
WDB 2	1.0
WDB 4	0.7

**NOTE:**  
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PLEASE REFER TO DOCUMENTATION FROM LAMINATA FOR ALL OFFICIAL PLANS, DETAILS & SPECIFICATIONS.

Rev.	Transmittal Set Name	Date
A	RESOURCE CONSENT	29/07/2024



Type E - Laminata - Typical Plans

Moekoraha Papakāinga Development  
29/07/2024 Job # 2636 20-09  
Scale: 1:50 @ A1 Rev: A



1 E-01  
Scale 1:50 @ A1



2 E-02  
Scale 1:50 @ A1



3 E-03  
Scale 1:50 @ A1



4 E-04  
Scale 1:50 @ A1

- Colour options**
- Timber Cladding**
- Aalto - Wet Sugar
  - Aalto - Blue Porcelain
  - Aalto - Cinder Block
  - Roasted Malt
- Metal Cladding & Roof**
- Resene - Flaxpod
  - Resene - Grey Friars
  - Resene - Sandstone Grey
- Joinery**
- Powder coat White
  - Resene - Flaxpod

**Keynotes**

**Exterior LAMINATA**

**L2.1 Laminata Exterior wall panel**  
Laminata MiniCLT Panel:  
275x1790x40mm MCA H3.2 1xGood Face Knot Spec.  
COATING:  
1 coat Polyurethane Sealer + 2 coats Lockwood blonde to comply with E3/AS1

**L2.2 Dimond Styleline**  
DIMOND STYLELINE, Coloursteel 0.4mm Endura Vertical cladding - custom colorsteel flashings to suit- refer Construction details.  
UNDERLAY: PRO-CLIMA SOLITEX EXTASANA wall Protection membrane  
CAVITY: 20 x 40mm MCA Horizontal Castellated cavity batten @900crs max.

**L2.3 Shiplap WB**  
MT POKAKA 140 x 27mm MCA BandSawn Face Shiplap  
Weatherboard with 115mm cover. Hidden fixed with 8gx65mm S.S. ECKO screws and nailed with 60mm ECKO Rose head Silica Bronze.

**L2.5 Ext. wall insulation**  
R2.0 (min.) Sheep WOOL wall insulation

**L2.6 Roof**  
ROOFING: DIMOND STYLELINE, Coloursteel 0.55mm Endura roofing over 90x40 purlin / rafters @ 610 crs  
UNDERLAY: PRO-CLIMA MENTO1000 Protection membrane  
2 x layers R2.0 wool insulation

**L2.7 Joinery**  
FAIRVIEW ONE - Aluminium profile joinery, double glazed and 5/14/4 (23mm) IGU - Thermally broken.

**L2.8 Deck & Stairs**  
(Optional Extra)

**L2.9 Subfloor / Foundation - as per engineer design**  
Insulation Floor R1.3 (Expol 50mm)

**Colour Selections**  
Site Specific

**LAMINATA**

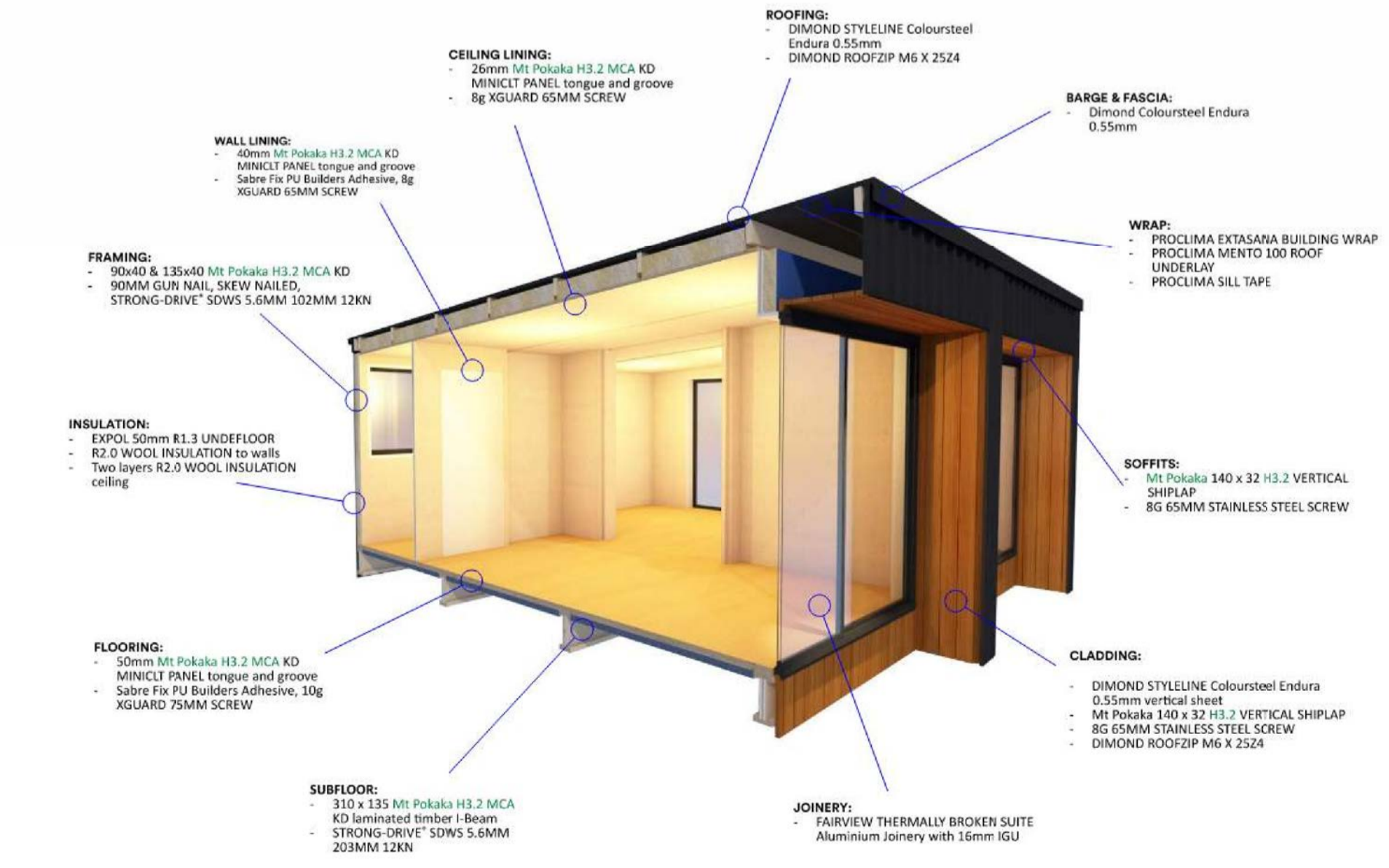
**L3.1 Coloursteel - Flaxpod**

**L3.7 WB - Roasted Malt (Natural Stain)**

**L3.8 Joinery - Powder coat White**

**NOTES:**

- Finished floor levels are site specific - refer to site plans & Civil Engineer for more information
- Proposed Dwellings are to maintain a 0.5m (min.) freeboard above the 1% AEP climate change flood water level perpendicular to the direction of flow at the upstream boundary of a given dwelling as per Far North District Council Engineering Standard 2023, Section 4.3.10.7 Freeboard Requirements.
- All Landscaping by Joseph McCready (Barker & Associates)
- Exterior stairs & balustrading are site specific - refer to site elevations & plans for more information



5 LAMINATA - SPECIFICATIONS  
NTS



PLEASE REFER TO DOCUMENTATION FROM LAMINATA FOR ALL OFFICIAL PLANS, DETAILS & SPECIFICATIONS.

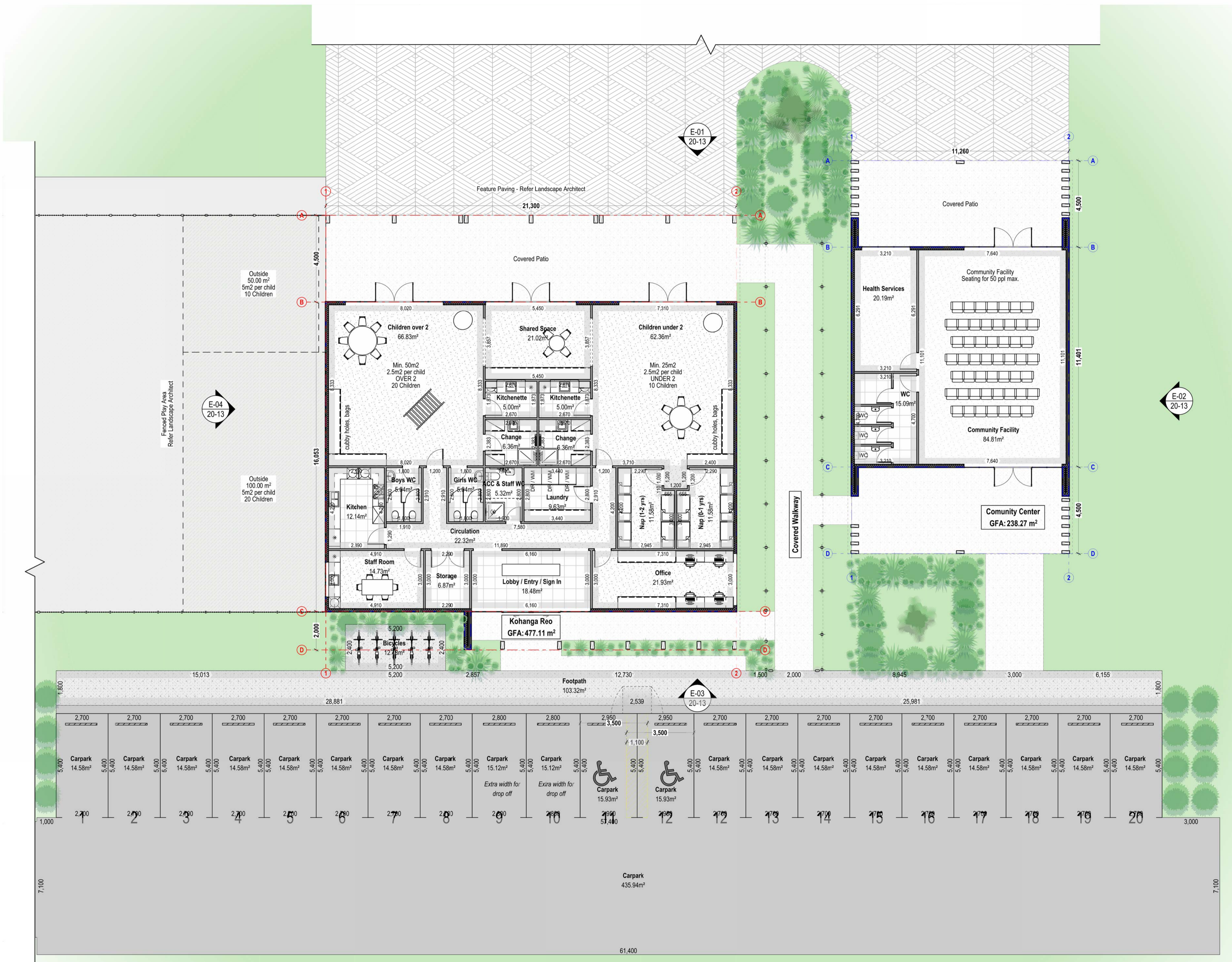
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Type E - Laminata - Elevations

NOTE: GFA - Building coverage area is to the outside face of cladding, includes covered deck / patio & entry where applicable

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Internal Areas	
Room Name	Area
<b>COMMUNITY</b>	
Community Facility	84.8
Health Services	20.2
WC	15.1
<b>KOHANGA REO</b>	
ACC & Staff WC	5.3
Boys WC	5.0
Change	12.8
Children over 2	67.1
Children under 2	62.4
Circulation	22.3
Girls WC	5.0
Kitchen	12.1
Kitchenette	10.0
Laundry	9.6
Lobby / Entry / Sign In	18.5
Nap (0-1 yrs)	11.6
Nap (1-2 yrs)	11.6
Office	21.9
Shared Space	21.6
Staff Room	14.7
Storage	6.9

**NOTE:**  
The areas shown are indicative only and are without consultant input or relevant council approvals. BDG Architects Ltd. accepts no responsibility for the accuracy of these areas and do not recommend they be used as part of any legal agreement or marketing material

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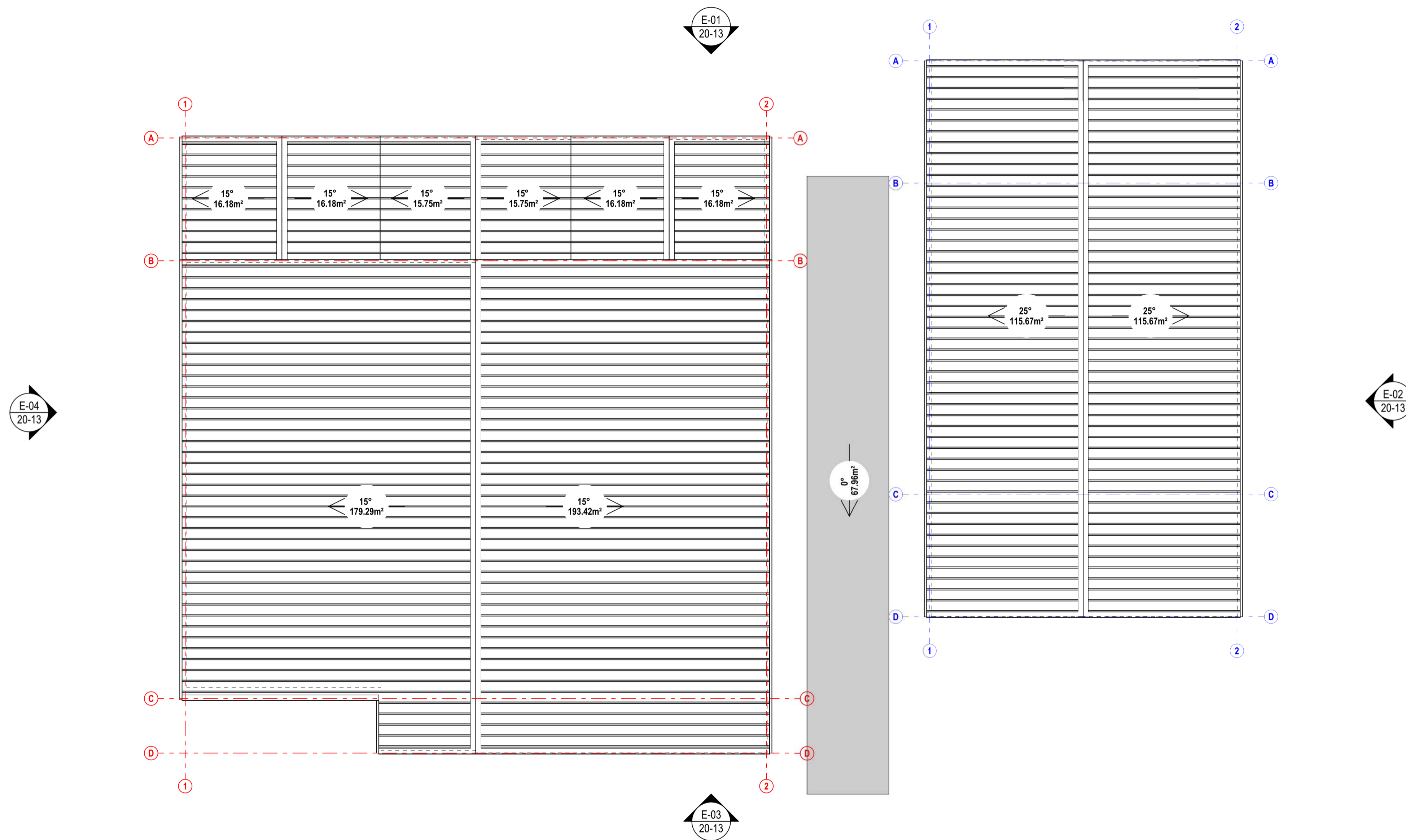
**Kohanga Reo & Community Center - Floor Plan**

Moekoraha Papakāinga Development  
29/07/2024 Job # 2636 20-11  
Scale: 1:100 @A1 Rev: A

1 Kohanga Reo & Community Center - Ground Floor  
Scale 1:100 @ A1

NOTE: GFA - Building coverage area is to the outside face of cladding, includes covered deck / patio & entry where applicable


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1 Kohanga Reo & Community Center - Roof  
Scale 1:100 @ A1

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**Kohanga Reo & Community Center - Roof Plan**

Moekoraha Papakāinga Development  
29/07/2024 Job # 2636 20-12  
Scale: 1:100 @ A1 Rev: A



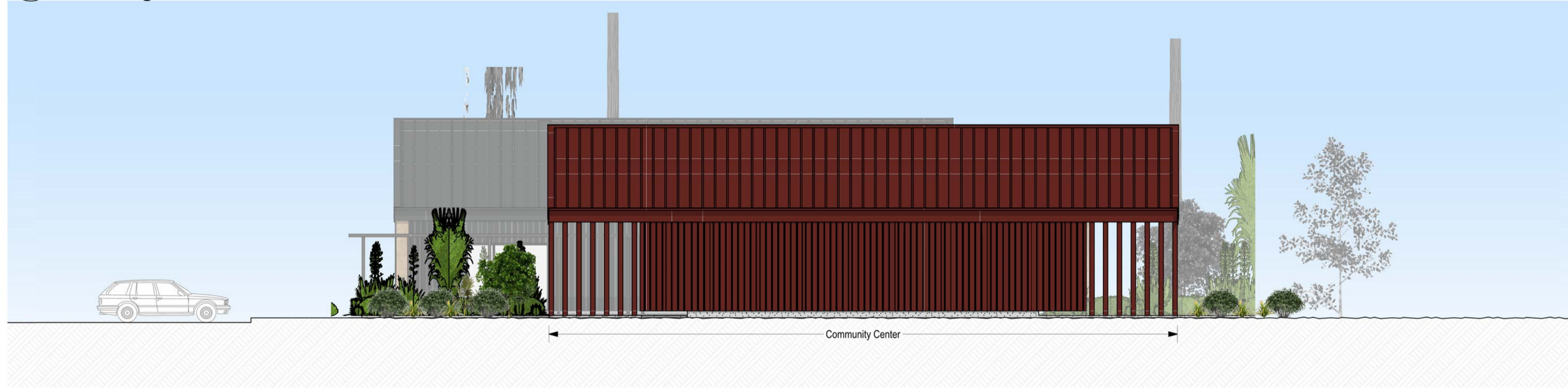
1 E-01  
Scale 1:100 @ A1

- Colour & Material Selections**
- Cladding**
-  Timber - Roasted Malt
  -  Dimond Styleline Resene - Flaxpod
  -  Dimond Styleline Resene - Pioneer Red
  -  Concrete Panel - Light
- Roof, Accessories & Joinery**
-  Dimond Styleline Resene - Flaxpod
  -  Dimond Styleline Resene - Pioneer Red

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2 E-02  
Scale 1:100 @ A1




3 E-03  
Scale 1:100 @ A1



4 E-04  
Scale 1:100 @ A1

Rev.	Transmittal Set Name	Date
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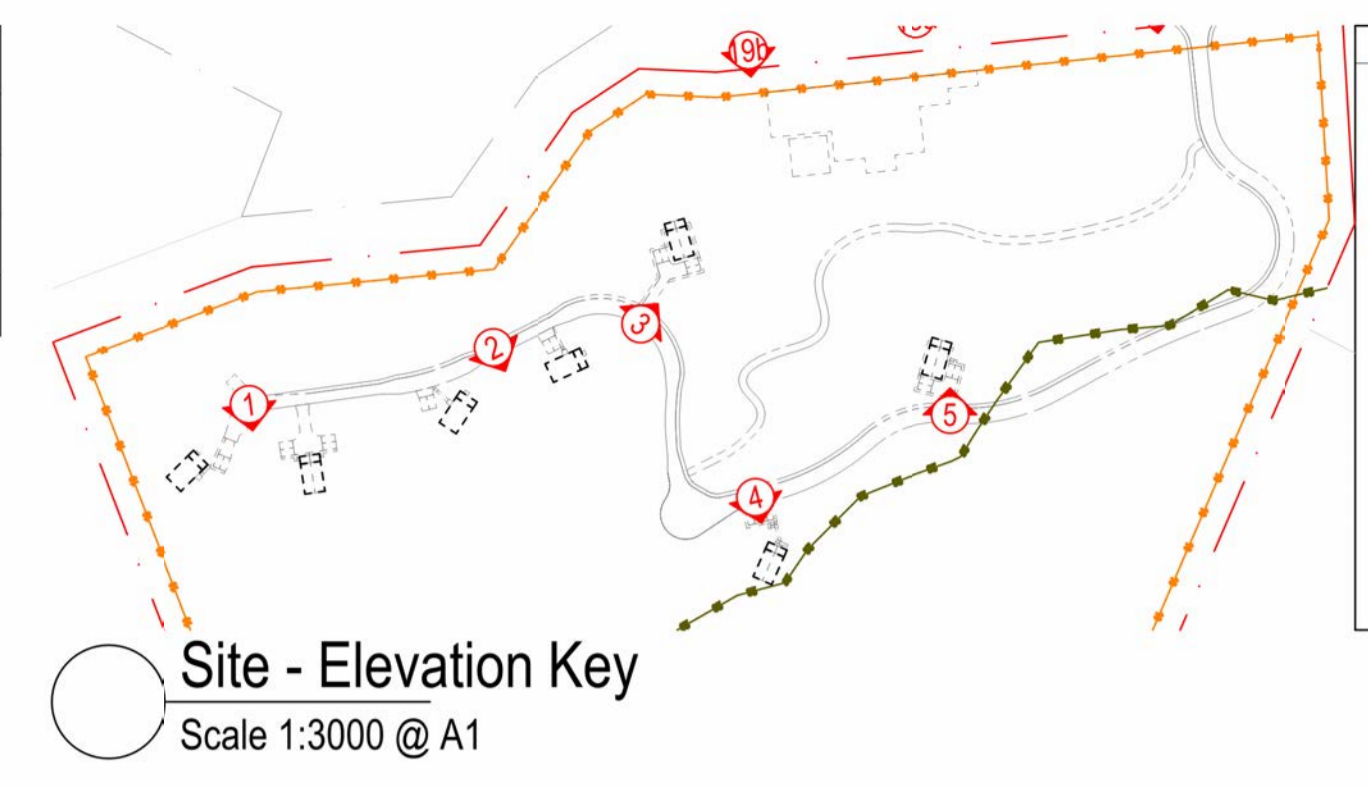
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**Kohanga Reo & Community Center - Elevations**

Moekoraha Papakāinga Development  
29/07/2024 Job # 2636 20-13  
Scale: 1:100 @A1 Rev: A

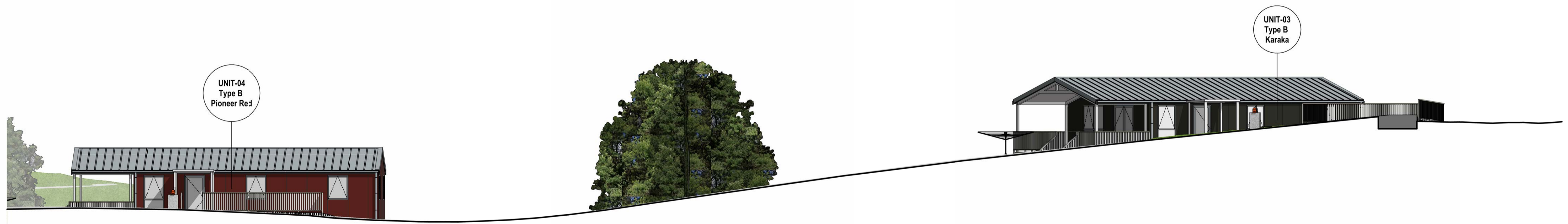
Type A	2 Bed Duplex (Kuiā Kaumatua Housing)	Bode
Type B	3 Bed	Bode
Type D	3 Bed	Laminata
Type E	4 Bed	Laminata
Type C	4 Bed	Bode



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1 8: 1, 2 - Street Elevation  
NTS



2 8: 3, 4 - Street Elevation  
NTS

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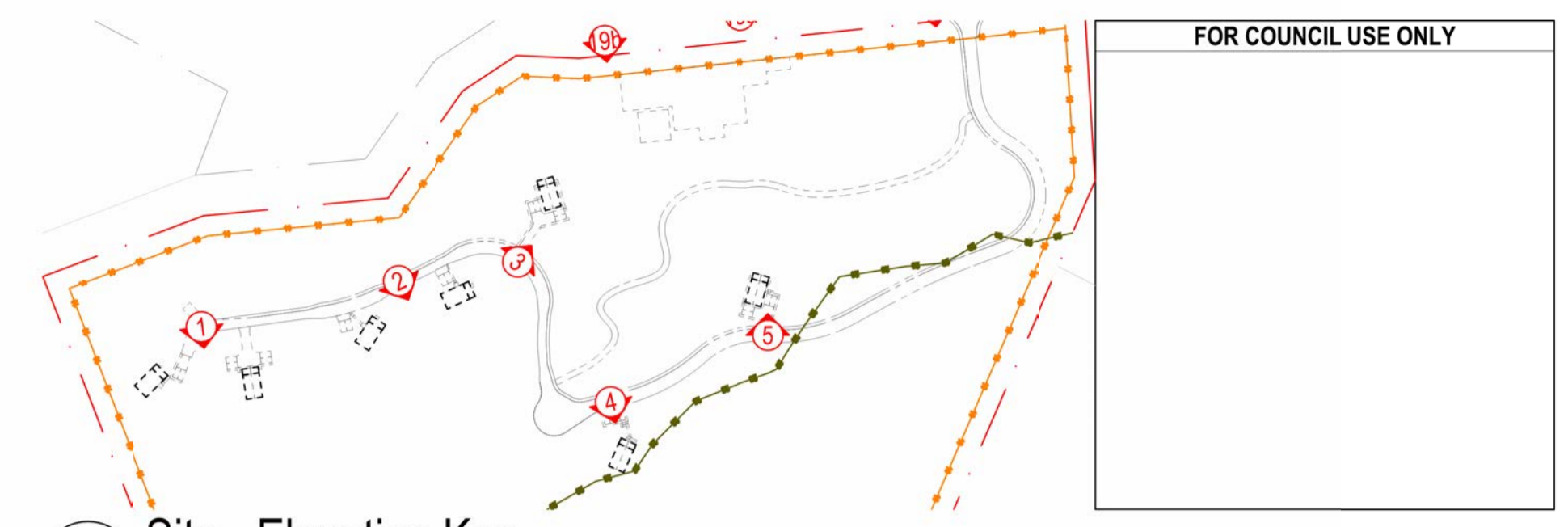
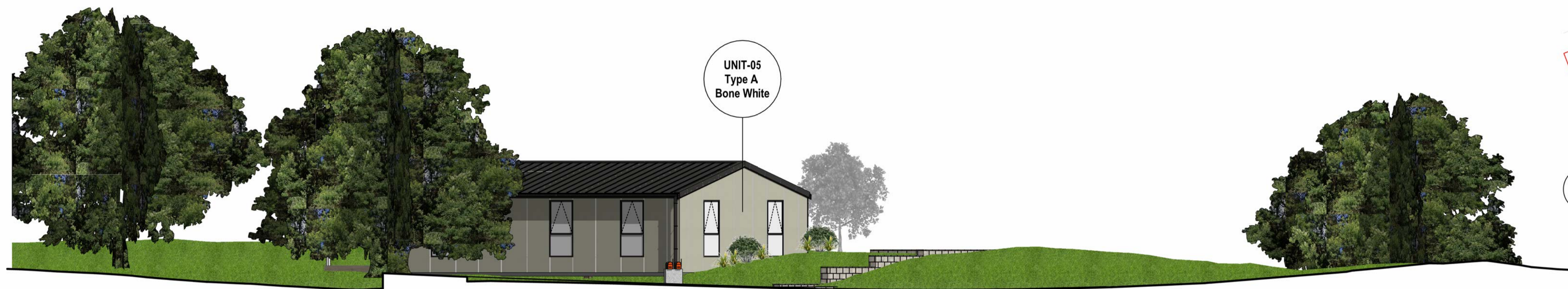
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A	RESOURCE CONSENT	29/07/2024

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Section 8, Road 1B - Units 1, 2, 3, 4

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29/07/2024 Job # 2636 30-01  
Scale: 1:100, 1:3000 @A1 Rev: A

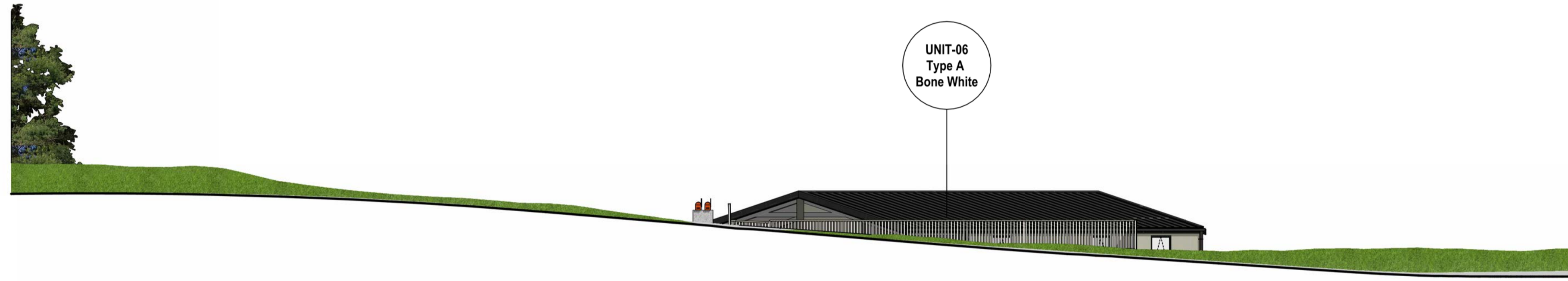


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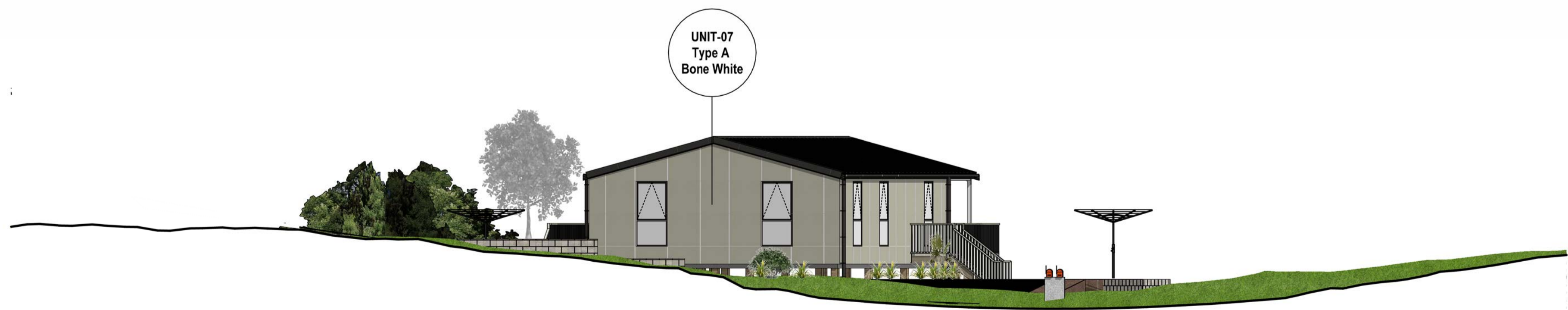
Site - Elevation Key  
Scale 1:3000 @ A1

Type A	2 Bed Duplex (Kuaia Kaumatua Housing)	Bode
Type B	3 Bed	Bode
Type D	3 Bed	Laminata
Type E	4 Bed	Laminata
Type C	4 Bed	Bode

3 8: 5 - Street Elevation  
NTS



4 8: 6 - Street Elevation  
NTS



5 8: 7 - Street Elevation  
NTS

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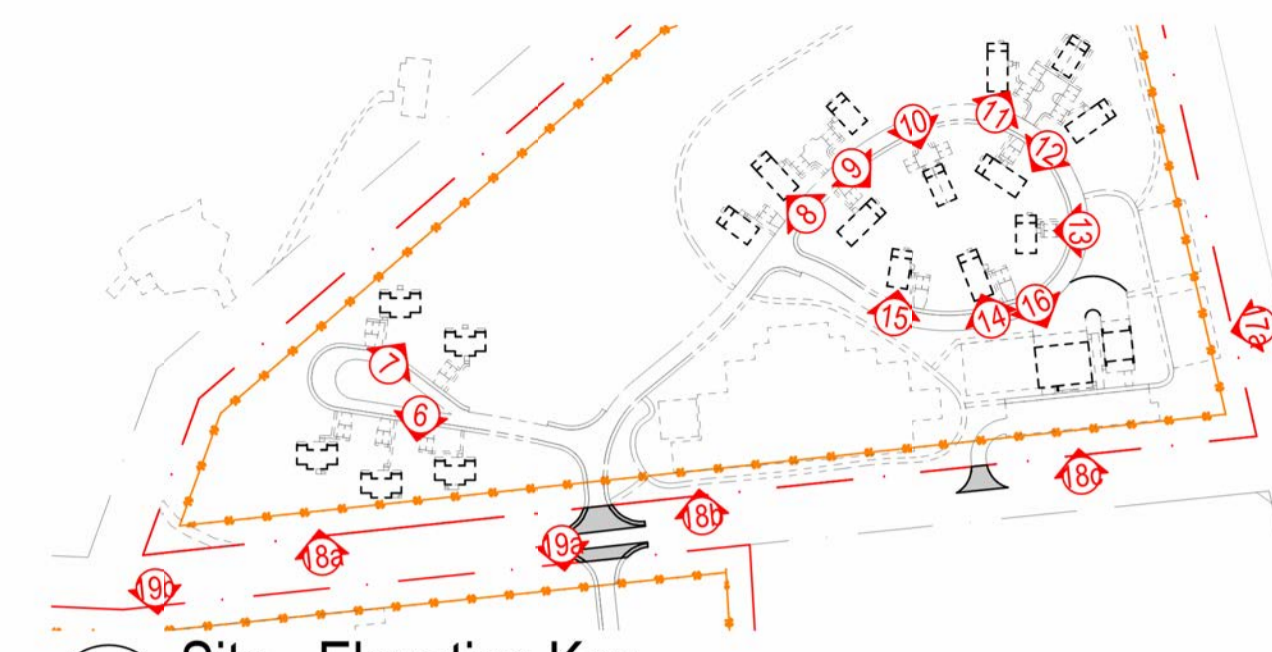
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Section 8, Road 1A, 1B - Units 5, 6, 7

Moekoraha Papakāinga Development  
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Scale: 1:100, 1:3000 @A1 Rev: A



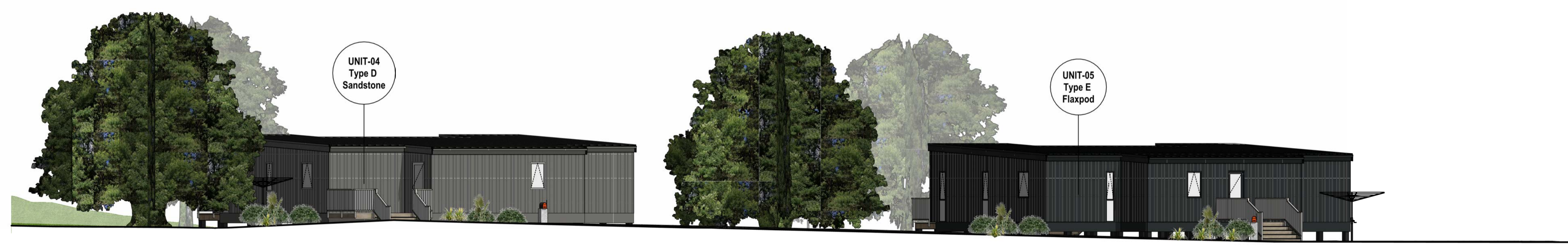
3 Site - Elevation Key  
Scale 1:3000 @ A1

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Type A	2 Bed Duplex (Kuaia Kaumatua Housing)	Bode
Type B	3 Bed	Bode
Type D	3 Bed	Laminata
Type E	4 Bed	Laminata
Type C	4 Bed	Bode



6 9: 1, 2, 3 - Street Elevation  
NTS



7 9: 4, 5 - Street Elevation  
NTS

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Rev.	Transmittal Set Name	Date
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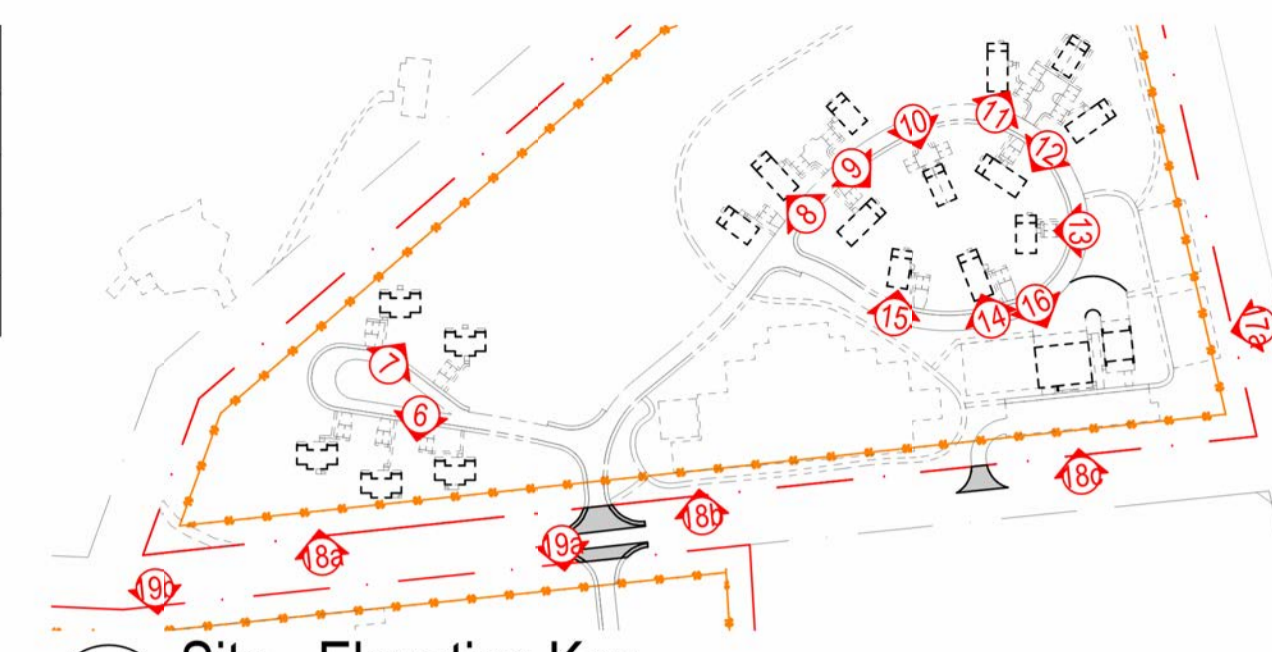
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Section 9, Road 2B - Units 1, 2, 3, 4, 5

Moekoraha Papakāinga Development  
29/07/2024 Job # 2636 30-03  
Scale: 1:100, 1:3000 @A1 Rev: A

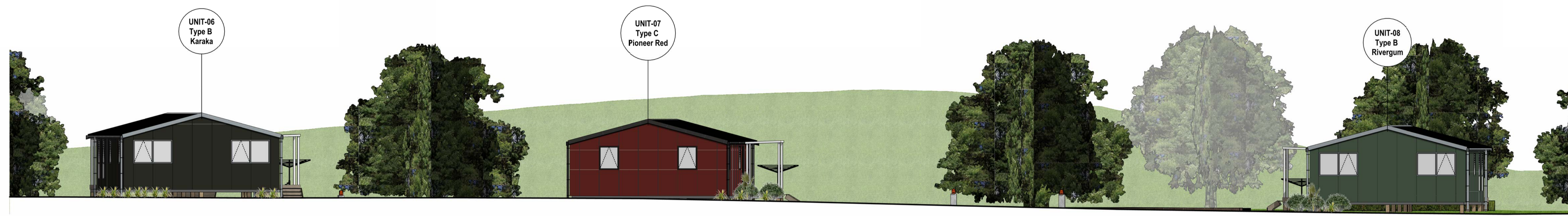


Type A	2 Bed Duplex (Kuiā Kaumatua Housing)	Bode
Type B	3 Bed	Bode
Type D	3 Bed	Laminata
Type E	4 Bed	Laminata
Type C	4 Bed	Bode



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Site - Elevation Key  
Scale 1:3000 @ A1



8 9: 6,7,8 - Street Elevation  
NTS



11 9: 9, 10, 11 - Street Elevation  
NTS

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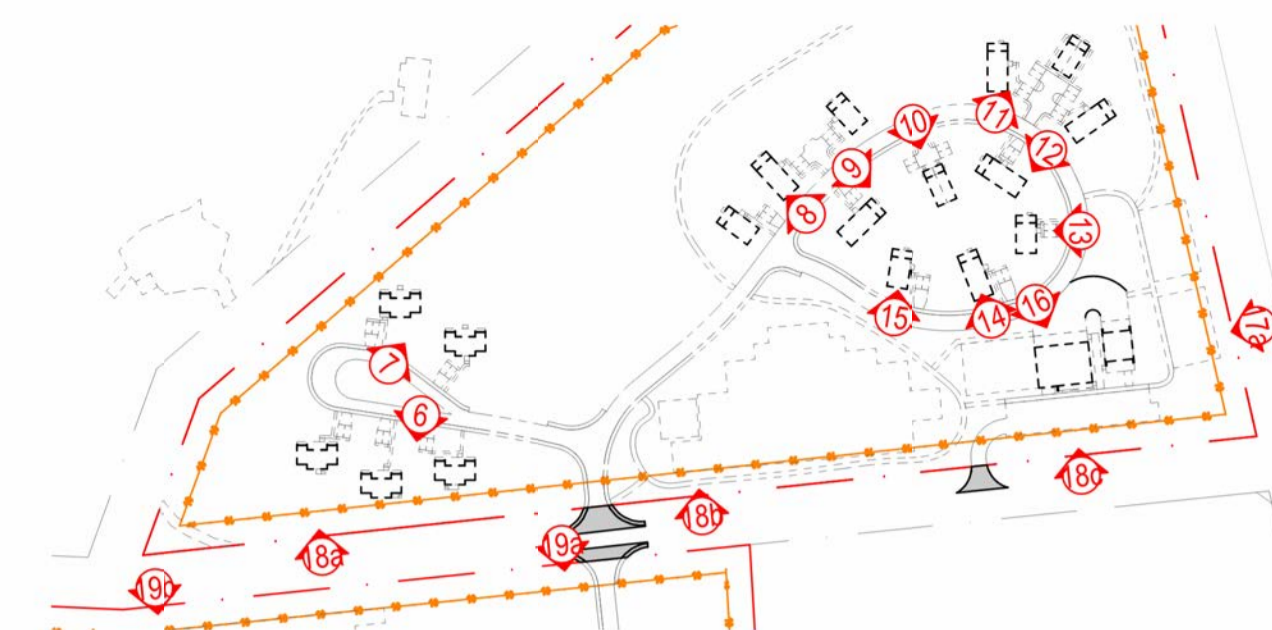
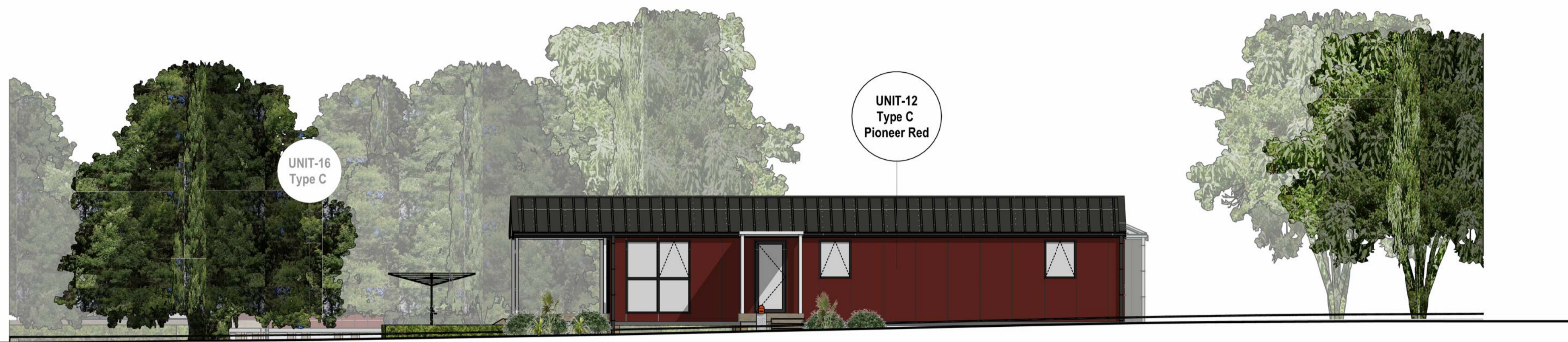
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Section 9, Road 2A - Units 6, 7, 8, 9, 10, 11

Moekoraha Papakāinga Development  
29/07/2024 Job # 2636 30-04  
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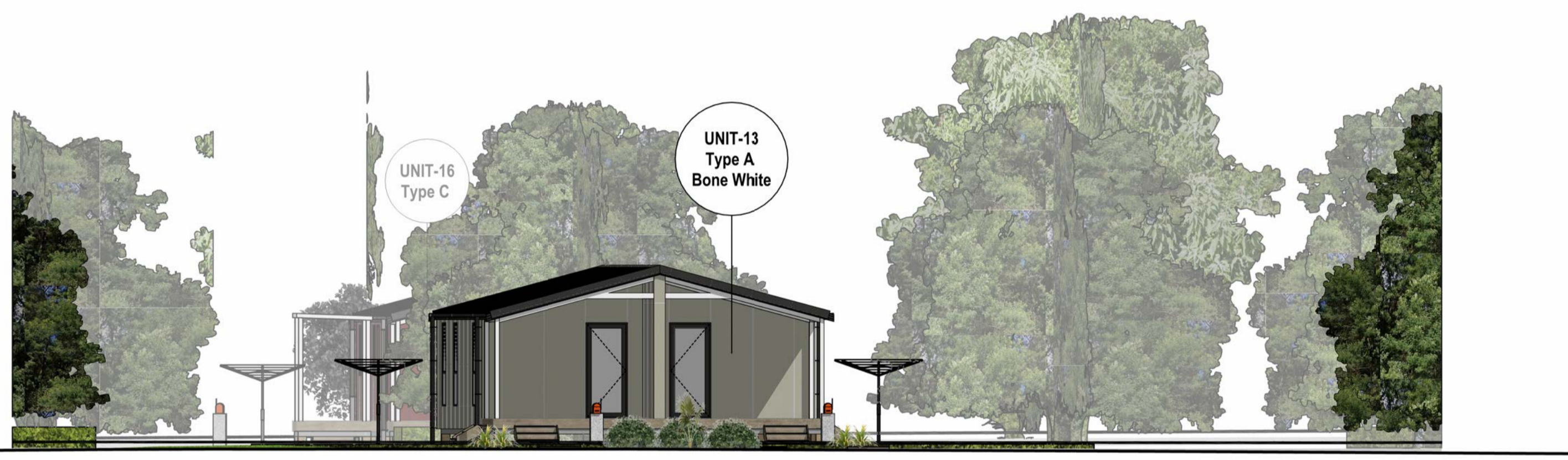


4 Site - Elevation Key  
Scale 1:3000 @ A1

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Type A	2 Bed Duplex (Kuaia Kaumatua Housing)	Bode
Type B	3 Bed	Bode
Type D	3 Bed	Laminata
Type E	4 Bed	Laminata
Type C	4 Bed	Bode

9 9: 12 - Street Elevation  
NTS



10 9: 13 - Street Elevation  
NTS



12 9: 14 - Street Elevation  
NTS

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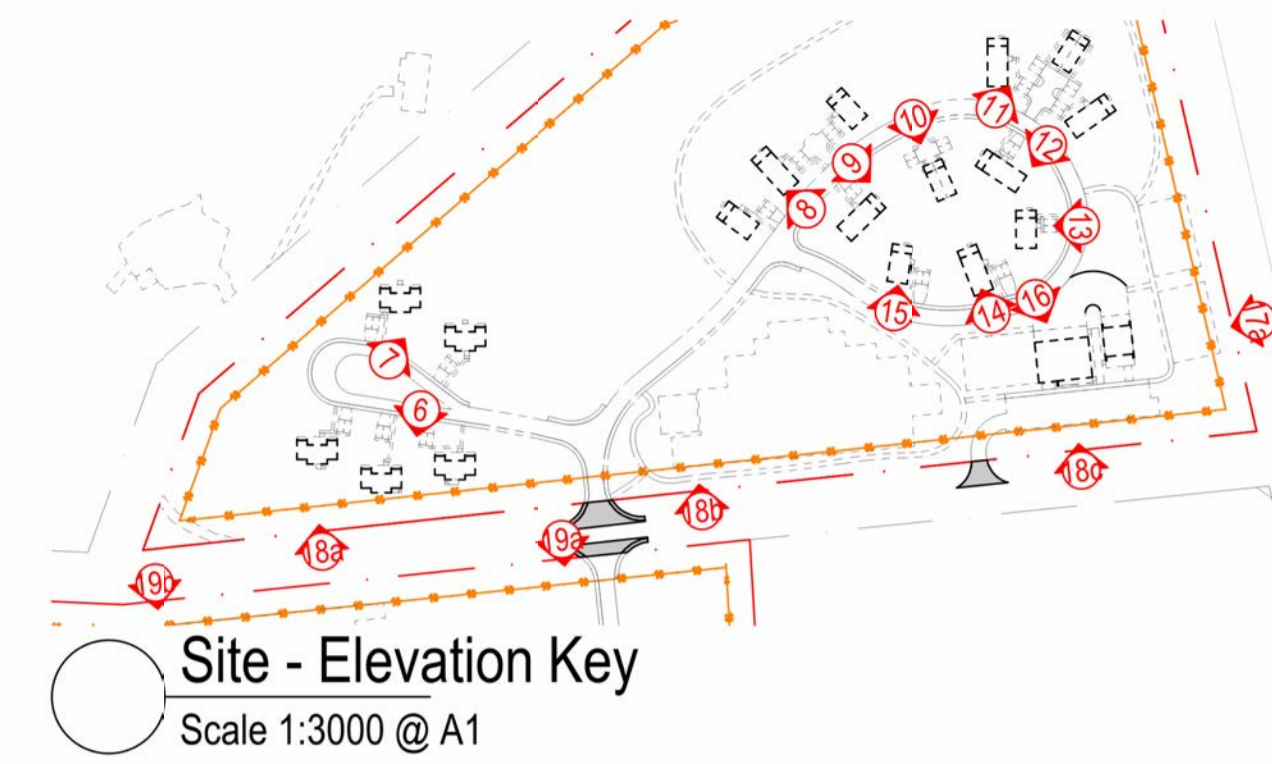
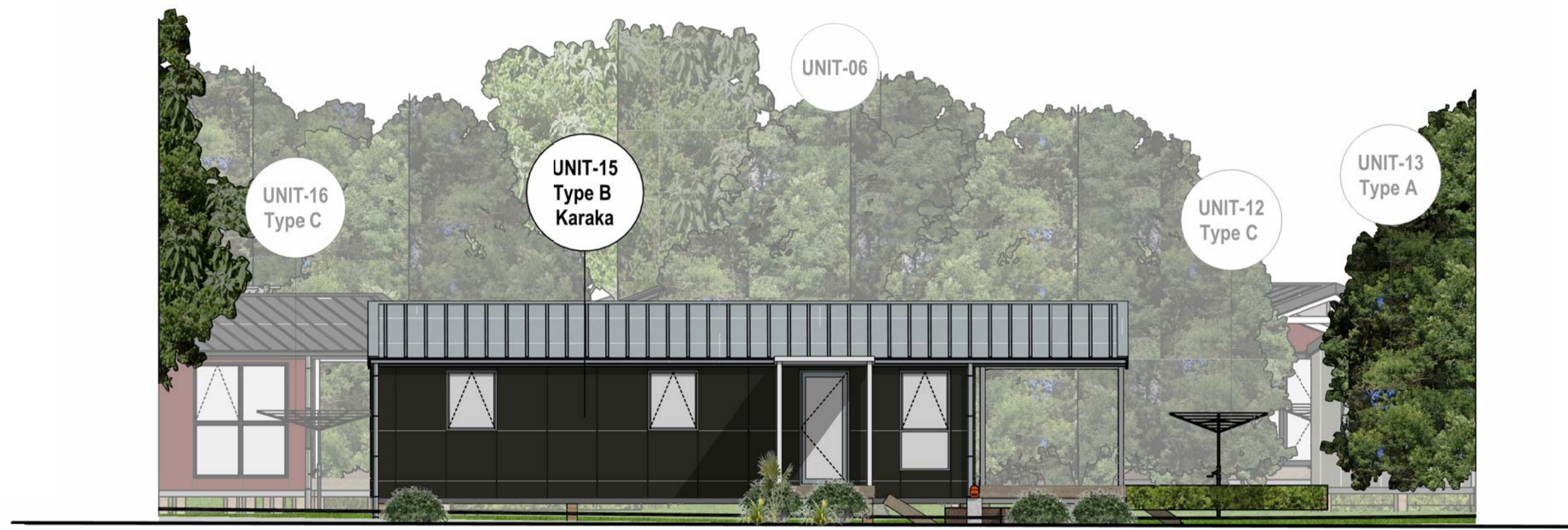
Rev.	Transmittal Set Name	Date
A	RESOURCE CONSENT	29/07/2024

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Section 9, Road 2A - Units 12, 13, 14

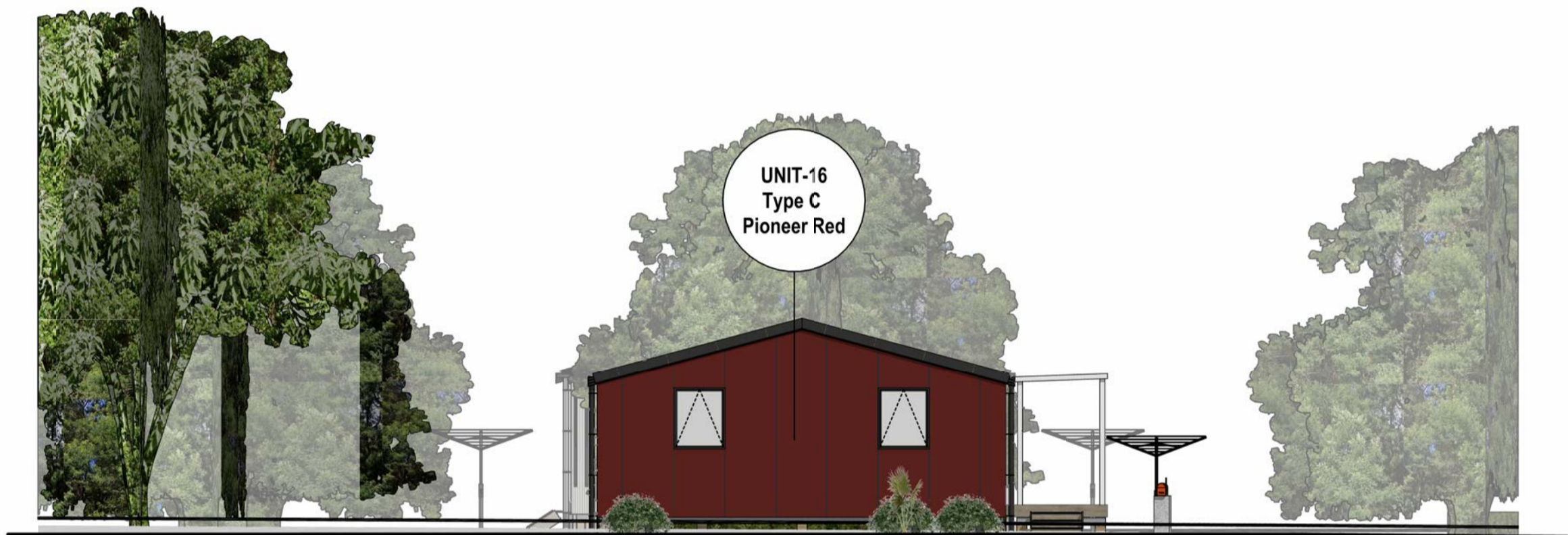
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29/07/2024 Job # 2636 30-05  
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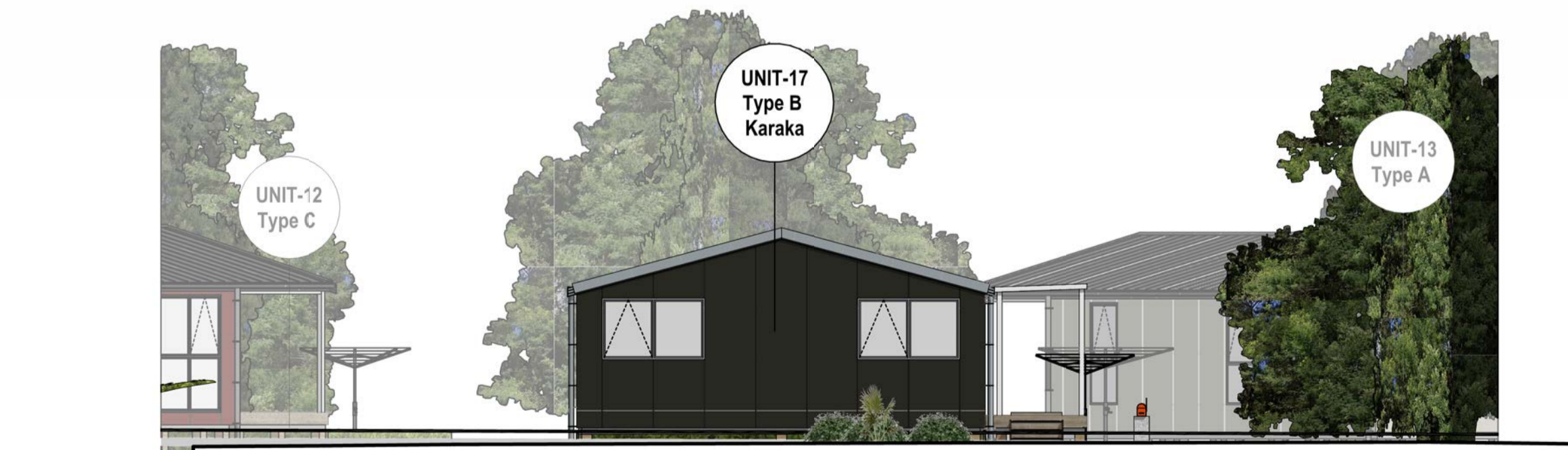
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Type A	2 Bed Duplex (Kuaia Kaumatua Housing)	Bode
Type B	3 Bed	Bode
Type D	3 Bed	Laminata
Type E	4 Bed	Laminata
Type C	4 Bed	Bode

13 9: 15 - Street Elevation  
NTS



14 9: 16 - Street Elevation  
NTS



15 9: 17 - Street Elevation  
NTS

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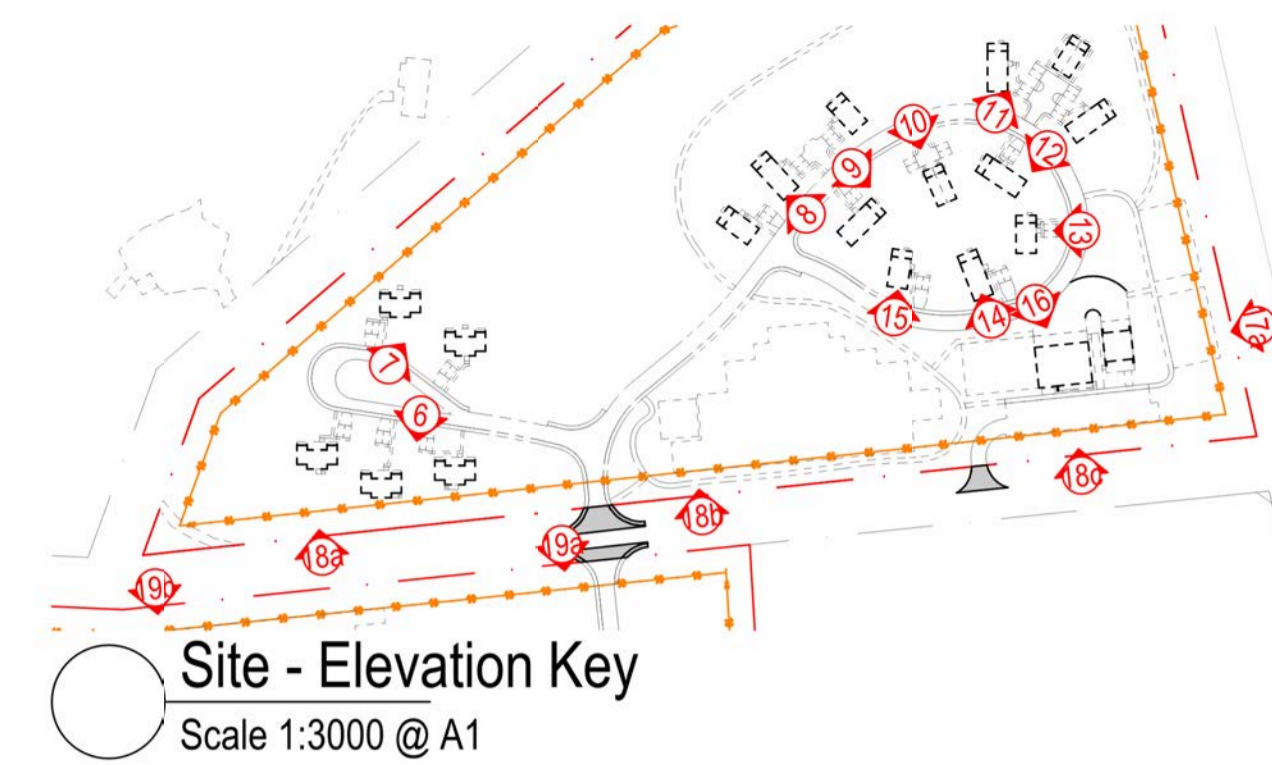
Rev.	Transmittal Set Name	Date
A	RESOURCE CONSENT	29/07/2024

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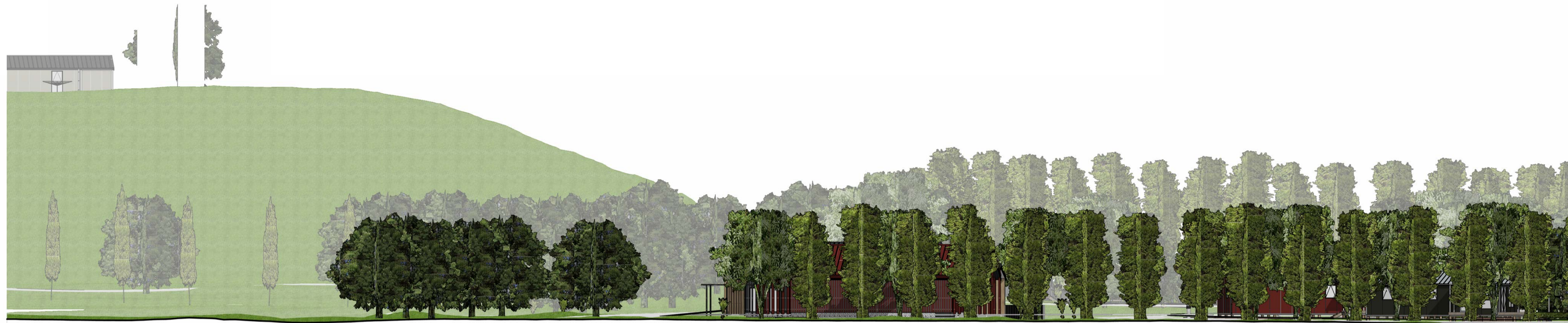
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Section 9, Road 2A - Units 15, 16, 17

Moekoraha Papakāinga Development  
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Scale: 1:100, 1:3000 @A1 Rev: A



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17a Towards Section 9 from Korakanui O Rua Rd  
NTS

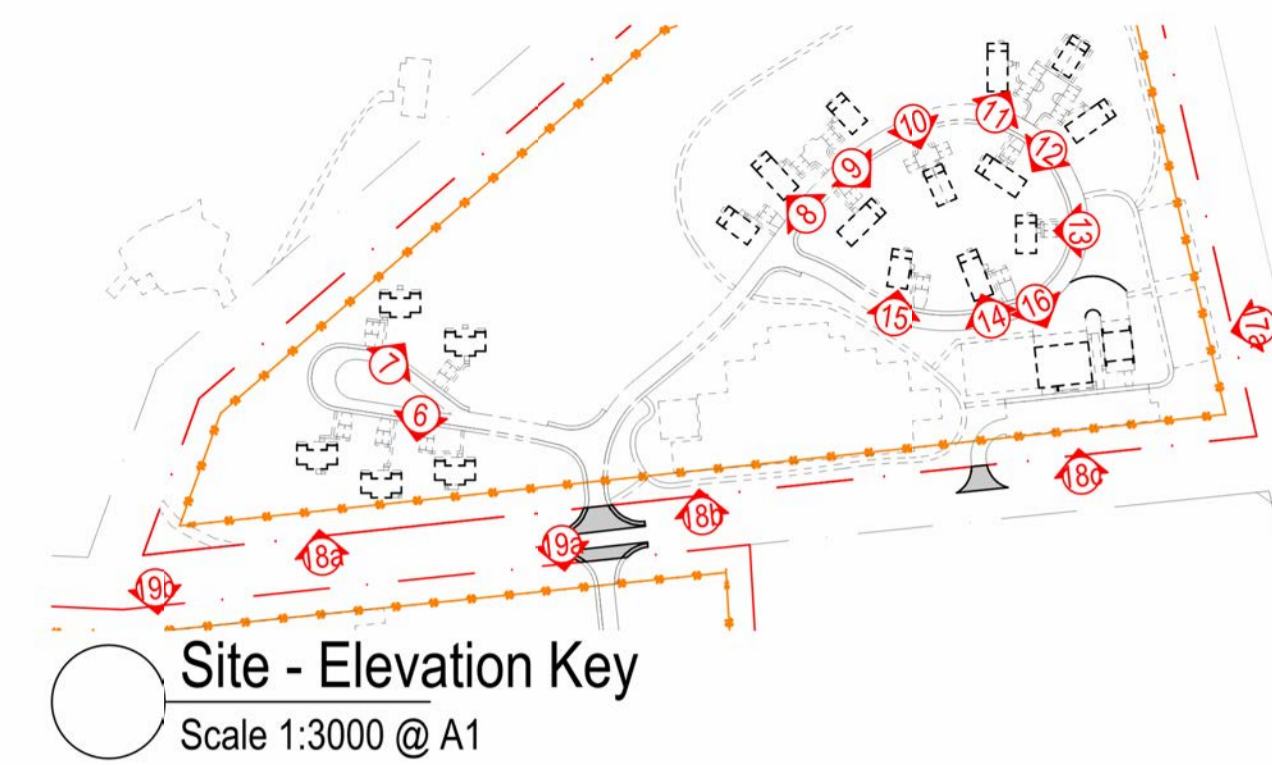


17b Towards Section 9 from Korakanui O Rua Rd  
NTS

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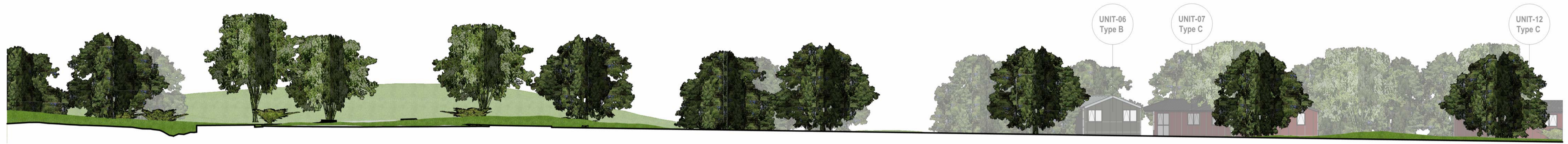
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<b>Towards Section 9 from Korakanui O Rua Road</b>	
Moekoraha Papakāinga Development	
29/07/2024	Job # 2636
Scale: 1:3000 @A1	30-07 Rev: A



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18a Towards Section 9 from Lamb Road  
NTS




18b Towards Section 9 from Lamb Road  
NTS

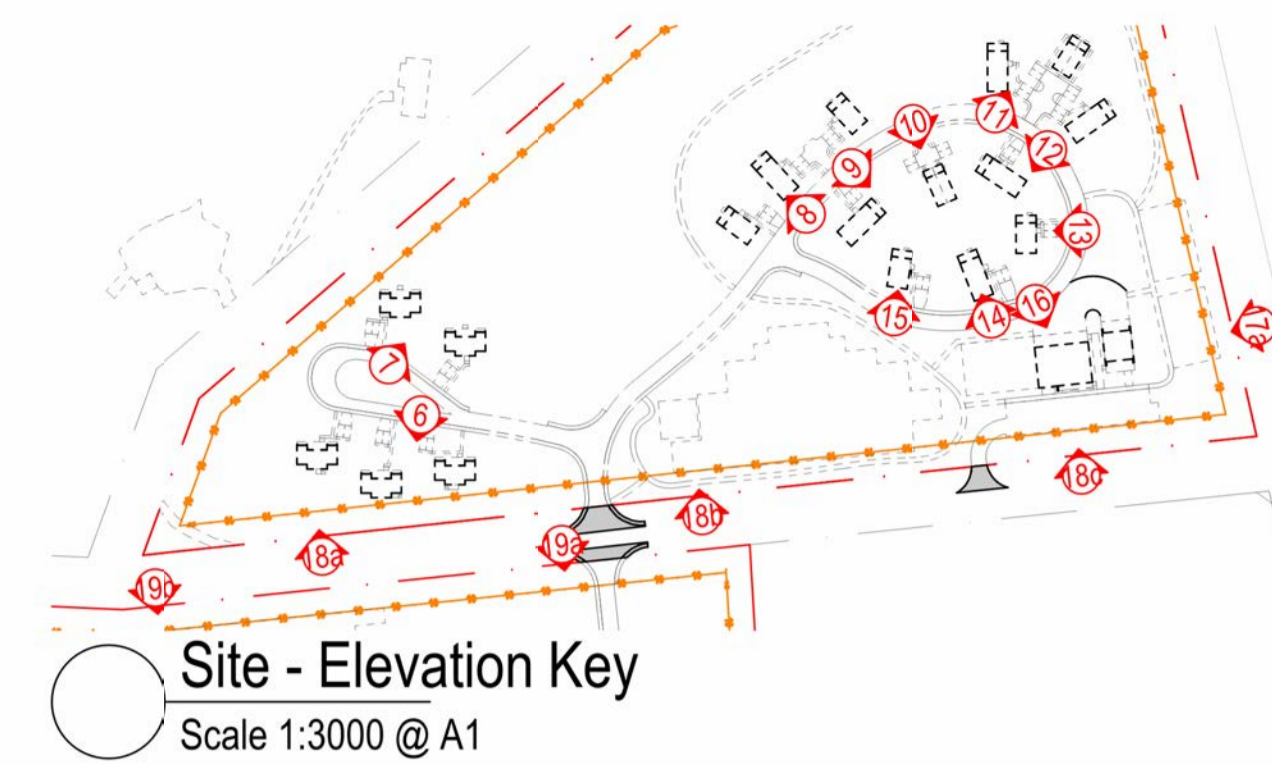


18c Towards Section 9 from Lamb Road  
NTS

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Resource Consent		
		
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Towards Section 9 from Lamb Road		
Moekoraha Papakāinga Development		
29/07/2024	Job # 2636	30-08
Scale: 1:200, 1:3000 @A1		Rev: A



FOR COUNCIL USE ONLY




19a Towards Section 8 from Lamb Road  
NTS



19b Towards Section 8 from Lamb Road  
NTS

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Towards Section 8 from Lamb Road	
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29/07/2024	Job # 2636
Scale: 1:200, 1:3000 @A1	30-09 Rev: A