



Office Use Only Application Number:

APPLICATION FOR RESOURCE CONSENT OR FAST-TRACK RESOURCE CONSENT

(Or Associated Consent Pursuant to the Resource Management Act 1991 (RMA))

(If applying for a Resource Consent pursuant to Section 87AAC or 88 of the RMA, this form can be used to satisfy the requirements of Form 9)

Prior to, and during, completion of this application form, please refer to Resource Consent Guidance Notes and Schedule of Fees and Charges – both available on the Council’s web page.

1. Pre-Lodgement Meeting

Have you met with a Council Resource Consent representative to discuss this application prior to lodgement? Yes / **No**

2. Type of Consent being applied for (more than one circle can be ticked):

- Land Use Fast Track Land Use* Subdivision Discharge
- Extension of time (s.125) Change of conditions (s.127) Change of Consent Notice (s.221(3))
- Consent under National Environmental Standard (e.g. Assessing and Managing Contaminants in Soil)
- Other (please specify) _____

***The fast track for simple land use consents is restricted to consents with a controlled activity status and requires you provide an electronic address for service.**

3. Would you like to opt out of the Fast Track Process? Yes / No

4. Applicant Details:

Name/s: **Keynote Construction Limited**

Electronic Address for Service (E-mail): _____

Phone Numbers: _____

Postal Address: _____
(or alternative method of service under section 352 of the Act)

5. Address for Correspondence: Name and address for service and correspondence (if using an Agent write their details here).

Name/s: **Bay of Islands Planning Ltd**

Electronic Address for Service (E-mail): _____

Phone Numbers: _____

Postal Address: _____
(or alternative method of service under section 352 of the Act)

Post Code: _____

All correspondence will be sent by email in the first instance. Please advise us if you would prefer an alternative means of communication.

6. Details of Property Owner/s and Occupier/s: Name and Address of the Owner/Occupiers of the land to which this application relates (where there are multiple owners or occupiers please list on a separate sheet if required)

Name/s: Traverse Limited

Property Address/
Location: 7 Te Uru Lane

Kerikeri

7. Application Site Details:

Location and/or Property Street Address of the proposed activity:

Site Address/
Location: 7 Te Uru Lane

Kerikeri

Legal Description: Lot 8 DP 596768 Val Number: _____

Certificate of Title: 1156108

Please remember to attach a copy of your Certificate of Title to the application, along with relevant consent notices and/or easements and encumbrances (search copy must be less than 6 months old)

Site Visit Requirements:

Is there a locked gate or security system restricting access by Council staff? Yes / No

Is there a dog on the property? Yes / No

Please provide details of any other entry restrictions that Council staff should be aware of, e.g. health and safety, caretaker's details. **This is important to avoid a wasted trip and having to re-arrange a second visit.**

vacant site, no need to contact prior to site visit

8. Description of the Proposal:

Please enter a brief description of the proposal here. Attach a detailed description of the proposed activity and drawings (to a recognized scale, e.g. 1:100) to illustrate your proposal. Please refer to Chapter 4 of the District Plan, and Guidance Notes, for further details of information requirements.

Residential unit

If this is an application for an Extension of Time (s.125); Change of Consent Conditions (s.127) or Change or Cancellation of Consent Notice conditions (s.221(3)), please quote relevant existing Resource Consents and Consent Notice identifiers and provide details of the change(s) or extension being sought, with reasons for requesting them.

9. Would you like to request Public Notification

Yes/ No

10. Other Consent required/being applied for under different legislation (more than one circle can be ticked):

- Building Consent (BC ref # if known) Regional Council Consent (ref # if known)
- National Environmental Standard consent Other (please specify)

11. National Environmental Standard for Assessing and Managing Contaminants in Soil to Protect Human Health:

The site and proposal may be subject to the above NES. In order to determine whether regard needs to be had to the NES please answer the following (further information in regard to this NES is available on the Council's planning web pages):

Is the piece of land currently being used or has it historically ever been used for an activity or industry on the Hazardous Industries and Activities List (HAIL) yes no don't know

Is the proposed activity an activity covered by the NES? (If the activity is any of the activities listed below, then you need to tick the 'yes' circle). yes no don't know

- Subdividing land Changing the use of a piece of land
- Disturbing, removing or sampling soil Removing or replacing a fuel storage system

12. Assessment of Environmental Effects:

Every application for resource consent must be accompanied by an Assessment of Environmental Effects (AEE). This is a requirement of Schedule 4 of the Resource Management Act 1991 and an application can be rejected if an adequate AEE is not provided. The information in an AEE must be specified in sufficient detail to satisfy the purpose for which it is required. Your AEE may include additional information such as Written Approvals from adjoining property owners, or affected parties.

Please attach your AEE to this application.

13. Billing Details:

This identifies the person or entity that will be responsible for paying any invoices or receiving any refunds associated with processing this resource consent. Please also refer to Council's Fees and Charges Schedule.

Name/s: (please write all names in full)

Keynote Construction Limited

Email:

Postal Address:

Phone Numbers:

Fees Information: An instalment fee for processing this application is payable at the time of lodgement and must accompany your application in order for it to be lodged. Please note that if the instalment fee is insufficient to cover the actual and reasonable costs of work undertaken to process the application you will be required to pay any additional costs. Invoiced amounts are payable by the 20th of the month following invoice date. You may also be required to make additional payments if your application requires notification.

Declaration concerning Payment of Fees: I/we understand that the Council may charge me/us for all costs actually and reasonably incurred in processing this application. Subject to my/our rights under Sections 357B and 358 of the RMA, to object to any costs, I/we undertake to pay all and future processing costs incurred by the Council. Without limiting the Far North District Council's legal rights if any steps (including the use of debt collection agencies) are necessary to recover unpaid processing costs I/we agree to pay all costs of recovering those processing costs. If this application is made on behalf of a trust (private or family), a society (incorporated or unincorporated) or a company in signing this application I/we are binding the trust, society or company to pay all the above costs and guaranteeing to pay all the above costs in my/our personal capacity.

Name: Adam Partridge (please print)

Signature:  (signature of bill payer – **mandatory**) Date: 15-08-24

14. Important Information:

Note to applicant

You must include all information required by this form. The information must be specified in sufficient detail to satisfy the purpose for which it is required.

You may apply for 2 or more resource consents that are needed for the same activity on the same form.

You must pay the charge payable to the consent authority for the resource consent application under the Resource Management Act 1991.

Fast-track application

Under the fast-track resource consent process, notice of the decision must be given within 10 working days after the date the application was first lodged with the authority, unless the applicant opts out of that process at the time of lodgement.

A fast-track application may cease to be a fast-track application under section 87AAC(2) of the RMA.

Privacy Information:

Once this application is lodged with the Council it becomes public information. Please advise Council if there is sensitive information in the proposal. The information you have provided on this form is required so that your application for consent pursuant to the Resource Management Act 1991 can be processed under that Act. The information will be stored on a public register and held by the Far North District Council. The details of your application may also be made available to the public on the Council's website, www.fndc.govt.nz. These details are collected to inform the general public and community groups about all consents which have been issued through the Far North District Council.

Declaration: The information I have supplied with this application is true and complete to the best of my knowledge.

Name: _____ (please print)

Signature: _____ (signature)

Date: _____

(A signature is not required if the application is made by electronic means)

Checklist (please tick if information is provided)

- Payment (cheques payable to Far North District Council)
- A current Certificate of Title (Search Copy not more than 6 months old)
- Copies of any listed encumbrances, easements and/or consent notices relevant to the application
- Applicant / Agent / Property Owner / Bill Payer details provided
- Location of property and description of proposal
- Assessment of Environmental Effects
- Written Approvals / correspondence from consulted parties
- Reports from technical experts (if required)
- Copies of other relevant consents associated with this application
- Location and Site plans (land use) AND/OR
- Location and Scheme Plan (subdivision)
- Elevations / Floor plans
- Topographical / contour plans

Please refer to Chapter 4 of the District Plan for details of the information that must be provided with an application. Please also refer to the RC Checklist available on the Council's website. This contains more helpful hints as to what information needs to be shown on plans.

Only one copy of an application is required, but please note for copying and scanning purposes, documentation should be:

UNBOUND

SINGLE SIDED

NO LARGER THAN A3 in SIZE

BAY OF ISLANDS PLANNING (2022) LIMITED

**Kerikeri House
Suite 3, 88 Kerikeri Road
Kerikeri**

office@bayplan.co.nz Website - www.bayplan.co.nz

19 August 2024

Far North District Council
John Butler Centre
Kerikeri

Dear Team Leaders,

Re: Proposed dwelling – 7 Te Uru Lane, Kerikeri

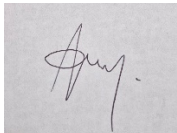
Our client Keynote Construction Limited is seeking a resource consent to build a dwelling on a vacant lot at 7 Te Uru Lane, Kerikeri. The site is zoned Residential within the Operative Far North District Plan (**ODP**), and General Residential under the Proposed Far North District Plan (**PDP**). Resource consent is required to accommodate the proposed dwelling.

The application is a **Restricted Discretionary activity** under the ODP and requires resource consent in respect of Sunlight and Stormwater Management breaches. We attach information required to be included in this application by the relevant statutory documents as follows:

- Appendix A – Record of Titles & Relevant Instruments
- Appendix B – Application Plans & Elevations (Platinum Homes)
- Appendix C – Stormwater Mitigation Report (Wilton Joubert Consulting Engineers)
- Appendix D – Earthworks Permit

Please do not hesitate to contact me should you require any further information.

Yours sincerely,



Andrew McPhee
Consultant Planner

1. Introduction

The applicant is seeking a land use consent to construct a dwelling on the property at 7 Te Uru Lane in Kerikeri. The site is legally described as Lot 8 DP 596768 and comprises a land area of 604m². A copy of the relevant Records of Title is attached at **Appendix A**.

2. Site Description

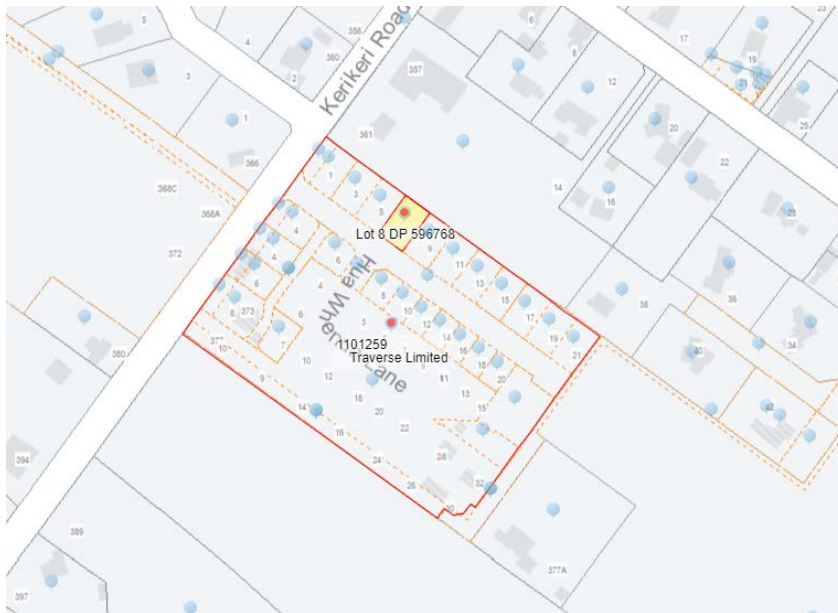


Figure 1 – Site (Source: Prover)



Figure 2 – Site Aerial (Source: Google Earth)

The site is in a recent subdivision at 373 Kerikeri Road and is on the northern side of the recently constructed Te Uru Lane. The site comprises a total land area of 604m², is vacant and can be described as level.



Figure 3 – Photograph from the northeastern corner of the site looking towards the entrance to the subdivision at Kerikeri Road (Source: Bay of Island Planning)

The site is currently grass covered and bordered by like sized properties to the east, south and west. The site to the north is also zone Residential and is occupied by the St John Kerikeri Ambulance Station.



Figure 4 – Photograph from the road frontage of the site at Te Uru Lane facing north (Source: Bay of Island Planning)

The site is not subject to Resource Management (National Environmental Standard for Assessing and Managing Contaminants in Soil to Protect Human Health) Regulations 2011 (HAIL) as the use of the site is

not changing from residential. In any case, the recent subdivision that created this and the surrounding sites would have been subject to HAIL consideration and no consent notices have been applied to the titles in this regard.

The site is not subject to Natural Hazards.

Far North Maps indicate that soil type is of high versatile value (LUC 2s1), however the site is zoned Residential and was part of a wider subdivision application creating smaller residential sites. The National Policy Statement for Highly Productive Land does not apply to the Residential zone.

3. Record of Title, Consent Notices and Land Covenants

The site Record of Title is attached at **Appendix A**. The following consent notices apply:

12965271.5

- Condition (i) Prior to the construction of a dwelling, the owner shall construct a vehicle crossing in accordance with the Far North District Councils engineering standards. Where a crossing is proposed onto a council road, a vehicle crossing permit approval is required from the council.
- Condition (ii) Any development shall comply with the restrictions and recommendations identified in the Geotechnical Report for Proposed Subdivision prepared by Hawthorn Geddes Limited dated 28 February 2022.
- Condition (iii) At the time of lodgement of a building consent for a dwelling on the lots, the owner shall provide a design prepared by a suitably qualified professional for an on-site stormwater soakage pit capable of providing suitable soakage for rainfall events up to and including a 5 year Annual Return Interval. Overflows from the soakage pits are to be discharged via the reticulated stormwater network. Once approved, the soakage pit is to be constructed and maintained in accordance with the approved design.

These conditions will be adhered to at the appropriate times. Condition (iii) has been considered in the Stormwater Mitigation Report found in **Appendix C**.

4. Description of the Proposal

The applicant proposes to construct a single storey four-bedroom dwelling on the site at 7 Te Uru Lane, Kerikeri. The proposed dwelling will be in accordance with the site layout, floor plan and elevations prepared by Platinum Homes and attached at **Appendix B**.

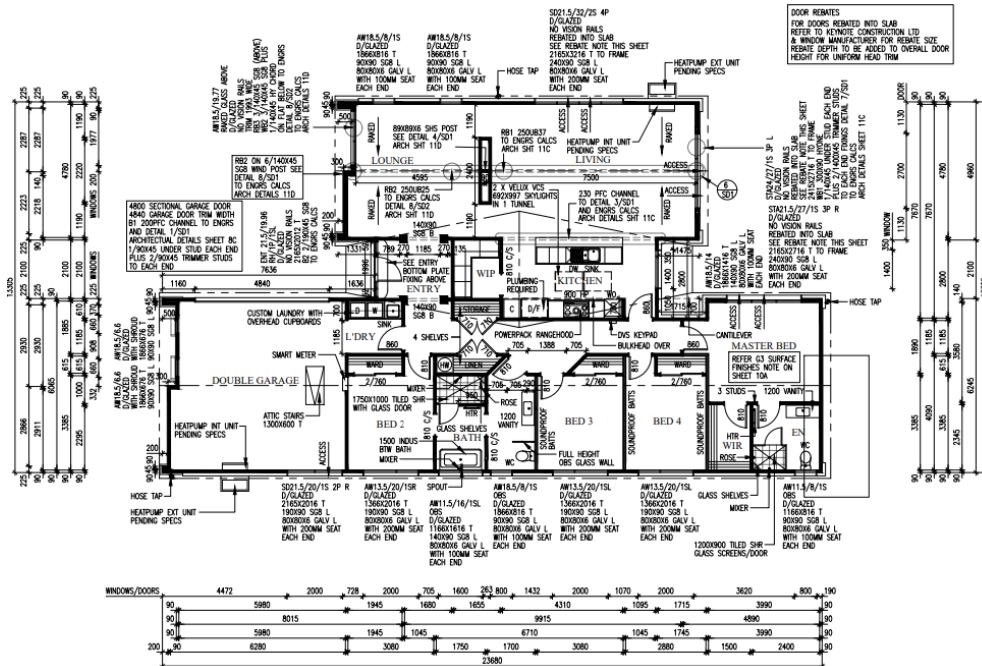


Figure 5 - Proposed floor plan (Source: Platinum Homes)

The total impermeable areas on the property would be 326m² or 54% of the site area. Total building coverage area would comprise 237.62m² or 39.34% of the site area.

A 73m² driveway and path area will provide access to the proposed dwelling.

There are connections for electricity, telecommunications, sewerage, water supply and stormwater at the boundary of the site.

Proposed earthworks include a cut/fill volume of 66m³ which is within the permitted limits for this zone. There are no cut or filled faces exceeding 1.5m in height. An earthworks permit is sought which is found in **Appendix D**.

5. Reasons for Consent

1. The Far North District Plan zones the site **Residential Zone (RZ)**. There are no identified Resource Features.



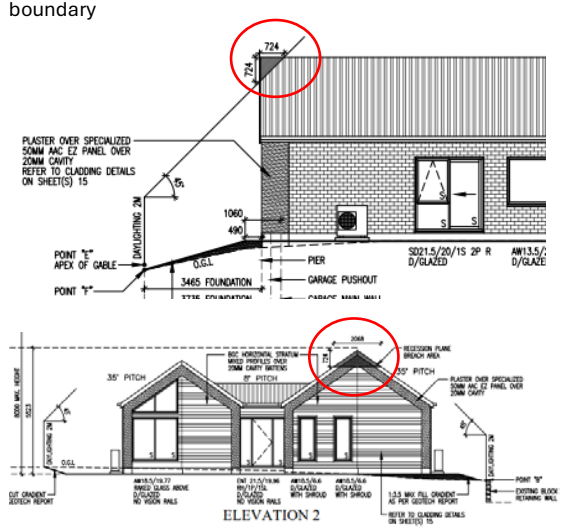
Figure 6 – ODP Map – Residential zone (Source: Far North Maps)



Figure 7 – PDP Map – General Residential zone (Source: PDP Maps)

The following tables set out the applicable permitted development standards for the RZ and District Wide performance standards. Table 1 and 2 identifies the applicable rules and provides comment on compliance with those rules. An assessment against the PDP rules with immediate legal effect have also been provided (Table 3).

Table 1 – Residential Zone – Performance Standards

RESIDENTIAL ZONE STANDARDS		
Rule #	PERMITTED STANDARDS	PERFORMANCE/COMMENTS
7.6.5.1.1 Relocated Buildings	Permitted – Where the building is a relocated building all work required to reinstate the exterior including painting and repair of joinery shall be completed within six months of the building being delivered to the site	The dwelling will be a new build. Complies
7.6.5.1.2 Residential Intensity	Permitted – Each residential unit for a single household shall have available to it a minimum net site area of: Sewered sites: 600m ²	The site is 604m ² Complies
7.6.5.1.3 Scale of Activities	Permitted – The total number of people engaged at any one period of time in activities on a site, including employees and persons making use of any facilities, but excluding people who normally reside on the site or are members of the household shall not exceed 2 persons per 600m ² (sewered)	The proposal is for a dwelling, those residing on site are excluded from this rule. Complies
7.6.5.1.4 Building Height	Permitted – Maximum height 8 metres.	The proposed single-story dwelling will not exceed the permitted height standard. Complies
7.6.5.1.5 Sunlight	Permitted - No part of any building shall project beyond a 45-degree recession plane as measured inwards from any point 2m vertically above ground level on any site boundary. Restricted Discretionary - No part of any building shall project beyond a 45 degree recession plane as measured inwards from any point 3m vertically above ground level on any site boundary.	The roof of the proposed dwelling will be within the sunlight recession plane when measured 2m vertically above ground level on the northern boundary. There is no breach when measured 3m vertically above ground level on the northern boundary  Restricted Discretionary

RESIDENTIAL ZONE STANDARDS		
Rule #	PERMITTED STANDARDS	PERFORMANCE/COMMENTS
7.6.5.1.6 Stormwater Management	<p>Permitted - Maximum proportion of the gross site area covered by buildings and other impermeable surfaces shall be 50%</p> <p>Controlled - Maximum proportion or amount of the gross site area covered by buildings and other impermeable surfaces shall be 60% or 600m², whichever is the lesser</p>	<p>Total Impermeable surfaces on the site will be 326m² or 54%.</p> <p>Controlled</p>
7.6.5.1.7 Setback from boundaries	<p>Permitted - No building within 1.2m of boundary, other than a road boundary where the setback shall be 3m.</p>	<p>The proposed dwelling is not within the identified setback controls.</p> <p>Complies</p>
7.6.5.1.8 Screening for Neighbours - Non-Residential Activities	N/A	N/A
7.6.5.1.9 Outdoor Activities	N/A	N/A
7.6.5.1.10 Visual Amenity	N/A	N/A
7.6.5.1.12 Site Intensity - Non-Residential activities	N/A	N/A
7.6.5.1.13 Hours of Operation - Non-Residential Activities	N/A	N/A
7.6.5.1.14 Keeping of Animals	N/A	N/A
7.6.5.1.15 Noise	<p>Permitted - Noise from the site shall not exceed the following noise limits as measured at or within the boundary of any other site in this zone: 0700 to 2200 hours 50 dBA L10 2200 to 0700 hours 45 dBA L10 and 70 dBA Lmax</p>	<p>Dwelling is for a residential activity and is not anticipated to exceed specified limits.</p> <p>Complies</p>

RESIDENTIAL ZONE STANDARDS		
Rule #	PERMITTED STANDARDS	PERFORMANCE/COMMENTS
7.6.5.1.16 Helicopter Landing Area	N/A	N/A
7.6.5.1.17 Building Coverage	Permitted - Any new building or alteration/addition to an existing building is a permitted activity if the total Building Coverage of a site does not exceed 45% of the gross site area.	The proposed building coverage is 237.62m ² or 39.34%. Complies

Table 2 – District Wide Performance Standards

PART 3 – DISTRICT WIDE STANDARDS		
Rule #	STANDARDS	PERFORMANCE/COMMENTS
Chapter 12 – Natural and Physical Resources		
12.1 Landscape & Natural Features	12.1.6.1.1 Protection of Outstanding Landscape Features 12.1.6.1.2 Indigenous Vegetation Clearance in Outstanding landscapes 12.1.6.1.3 Tree Planting in Outstanding Landscapes 12.1.6.1.4 Excavation and/or filling within an outstanding landscape 12.1.6.1.5 Buildings within outstanding landscapes 12.1.6.1.6 Utility Services in Outstanding Landscapes	N/A
12.2 Indigenous Flora and Fauna	12.2.6.1.1 Indigenous Vegetation Clearance Permitted Throughout the District 12.2.6.1.2 Indigenous Vegetation Clearance in the rural Production and Minerals Zones 12.2.6.1.3 Indigenous Vegetation Clearance in the General Coastal Zone 12.2.6.1.4 Indigenous Vegetation Clearance in Other Zones	N/A
12.3 Earthworks	12.3.6.1.3 Excavation and/or filling, excluding mining and quarrying, in the residential, industrial, horticultural processing, coastal residential and russell township zones Permitted – Maximum of 200m ³ within a 12-month period and cannot be higher than 1.5m cut or fill.	66m ³ of earthworks are required. Cut and Fill faces will be less than the permitted maximum. Complies
12.4 Natural Hazards	12.4.6.1.1 Coastal Hazard 2 Area 12.4.6.1.2 Fire Risk to Residential Units	N/A

PART 3 – DISTRICT WIDE STANDARDS		
Rule #	STANDARDS	PERFORMANCE/COMMENTS
12.5 Heritage	<p>12.5.6.1.1 Notable Trees</p> <p>12.5.6.1.2 Alterations to/and maintenance of historic sites, buildings and objects</p> <p>12.5.6.1.3 Registered Archaeological Sites</p>	N/A
12.5A Heritage Precincts	There are no Heritage Precincts that apply to the site.	N/A
12.6 Air	N/A	N/A
12.7 Lakes, Rivers, Wetlands and the Coastline	<p>12.7.6.1.1 Setback from lakes, rivers and the coastal marine area</p> <p>12.7.6.1.2 Setback from smaller lakes, rivers and wetlands</p> <p>Permitted = for rivers minimum setback of 10 x the average width of the river where it passes through or past the site provided that the minimum setback is 10m and the maximum is no more than minimum required by Rule 12.7.6.1.1</p> <p>12.7.6.1.3 Preservation of indigenous wetlands</p> <p>12.7.6.1.4 Land Use Activities involving the Discharges of Human Sewage Effluent</p> <p>12.7.6.1.5 Motorised Craft</p> <p>12.7.6.1.6 Noise</p>	<p>N/A</p> <p>N/A</p> <p>N/A</p> <p>N/A</p> <p>N/A</p> <p>N/A</p>
12.8 Hazardous Substances	N/A	N/A
12.9 Renewable Energy and Energy Efficiency	N/A	N/A
Chapter 15 – Traffic, Parking and Access		
15.1.6A Traffic	<p>15.1.6A.2.1 Traffic Intensity:</p> <p>Maximum Daily One-Way Traffic Movements Residential</p> <p>Permitted – 20</p>	<p>The first residential unit on a site is exempt from this rule</p> <p>Complies</p>
15.1.6B Parking	<p>15.1.6B.1.1 On-site Car Parking Spaces:</p> <p>Residential</p> <p>Permitted – 2 per residential unit</p>	<p>The double garage and concrete driveway can accommodate more than 2 vehicles.</p> <p>Complies</p>

PART 3 – DISTRICT WIDE STANDARDS		
Rule #	STANDARDS	PERFORMANCE/COMMENTS
15.1.6C Access	<p>15.1.6C.1.1 Private Accessway in all zones: Permitted</p> <ul style="list-style-type: none"> 3m wide carriageway No steeper than 1:8 gradient <p>15.1.6C.1.2 Private Accessway in Urban Zones: Permitted – The private accessway from the road boundary to any parking or loading space shall be no less than 3m wide and have a minimum overhead clearance of 4m.</p> <p>15.1.6C.1.4 Access Over Footpaths:</p> <p>15.1.6C.1.6 Vehicle Crossing Standards In Urban Zones: Permitted – Private access off streets in the urban zones the vehicle crossing is to be constructed in accordance with Council’s “Engineering Standards and Guidelines” (June 2004 – Revised 2009).</p> <p>15.1.6C.1.7 General Access Standards:</p>	<p>The access off Te Uru Lane is 4m wide constructed in accordance with the Councils engineering standards.</p> <p>The transition from the road is a grade no steeper than 1:8</p> <p>There is no overhead obstruction over the private accessway.</p> <p>There is no footpath on the side of the road to access the site.</p> <p>The vehicle crossing will be constructed in accordance with Councils engineering standards</p> <p>The proposed access can meet the required standards.</p> <p>Complies</p>

In terms of the ODP the application falls to be considered as a Restricted Discretionary Activity in accordance with Section 104A of the Resource Management Act 1991 (RMA).

Table 3 – PDP performance standards with immediate legal effect

Proposed District Plan				
Matter	Rule/Std Ref	Relevance	Compliance	Evidence
Hazardous Substances Majority of rules relates to development within a site that has heritage or cultural items scheduled and mapped however Rule HS-R6 applies to any development within an SNA – which is not mapped	Rule HS-R2 has immediate legal effect but only for a new significant hazardous facility located within a scheduled site and area of significance to Māori, significant natural area or a scheduled heritage resource HS-R5, HS-R6, HS-R9	N/A		Not relevant as no such substances proposed.
Heritage Area Overlays (Property specific) This chapter applies only to properties within identified heritage area overlays (e.g. in the operative plan they are called precincts for example)	All rules have immediate legal effect (HA-R1 to HA-R14) All standards have immediate legal effect (HA-S1 to HA-S3)	N/A		Not indicated on Far North Proposed District Plan
Historic Heritage (Property specific and	All rules have immediate legal effect (HH-R1 to HH-	N/A		Not indicated on Far North Proposed District

<p>applies to adjoining sites (if the boundary is within 20m of an identified heritage item)).</p> <p>Rule HH-R5 Earthworks within 20m of a scheduled heritage resource.</p> <p>Heritage resources are shown as a historic item on the maps)</p> <p>This chapter applies to scheduled heritage resources – which are called heritage items in the map legend</p>	<p>R10)</p> <p>Schedule 2 has immediate legal effect</p>			Plan
<p>Notable Trees (Property specific)</p> <p>Applied when a property is showing a scheduled notable tree in the map</p>	<p>All rules have immediate legal effect (NT-R1 to NT-R9)</p> <p>All standards have legal effect (NT-S1 to NT-S2)</p> <p>Schedule 1 has immediate legal effect</p>	N/A		Not indicated on Far North Proposed District Plan
<p>Sites and Areas of Significance to Māori (Property specific)</p> <p>Applied when a property is showing a site / area of significance to Maori in the map or within the Te Oneroa-a Tohe Beach Management Area (in the operative plan they are called site of cultural significance to Maori)</p>	<p>All rules have immediate legal effect (SASM-R1 to SASM-R7)</p> <p>Schedule 3 has immediate legal effect</p>	N/A		Not indicated on Far North Proposed District Plan
<p>Ecosystems and Indigenous Biodiversity SNA are not mapped – will need to determine if indigenous vegetation on the site for example</p>	<p>All rules have immediate legal effect (IB-R1 to IB-R5)</p>	N/A		Not indicated on Far North Proposed District Plan. No vegetation clearance proposed.
<p>Activities on the Surface of Water</p>	<p>All rules have immediate legal effect (ASW-R1 to ASW-R4)</p>	N/A		Not indicated on Far North Proposed District Plan
<p>Earthworks</p> <p>all earthworks (refer to new definition) need to comply with this</p>	<p>The following rules have immediate legal effect: EW-R12, EW-R13</p> <p>The following standards have immediate legal effect: EW-S3, EW-S5</p>	Yes	Complies	Proposed earthworks will be in accordance with the relevant standards including GD-05 and will have an ADP applied.
<p>Signs (Property specific) as rules only relate to situations where a sign is on a scheduled heritage resource (heritage item), or within the Kororareka Russell or Kerikeri Heritage Areas</p>	<p>The following rules have immediate legal effect: SIGN-R9, SIGN-R10</p> <p>All standards have immediate legal effect but only for signs on or attached to a scheduled heritage resource or heritage area</p>	N/A		Not indicated on Far North Proposed District Plan
<p>Orongo Bay Zone (Property specific as rule relates to a zone only)</p>	<p>Rule OBZ-R14 has partial immediate legal effect because RD-1(5) relates to</p>	N/A		Not indicated on Far North Proposed District Plan

	water			
Comments:				
No consents are required under the PDP.				

Overall, the application would fall to be considered as a **Restricted Discretionary Activity**.

6. Statutory Considerations

Section 104C of the RMA governs the determination of applications for restricted discretionary activities:

104C Determination of applications for restricted discretionary activities

- (1) When considering an application for a resource consent for a restricted discretionary activity, a consent authority must consider only those matters over which—
 - (a) a discretion is restricted in national environmental standards or other regulations:
 - (b) it has restricted the exercise of its discretion in its plan or proposed plan.
- (2) The consent authority may grant or refuse the application.
- (3) However, if it grants the application, the consent authority may impose conditions under [section 108](#) only for those matters over which—
 - (a) a discretion is restricted in national environmental standards or other regulations:
 - (b) it has restricted the exercise of its discretion in its plan or proposed plan.

Section 104C: replaced, on 1 October 2009, by [section 85](#) of the Resource Management (Simplifying and Streamlining) Amendment Act 2009 (2009 No 31).

Council may grant or refuse an application for a Restricted Discretionary Activity. When Council is considering the application, they can only consider those matters it has restricted the exercise of its discretion in the district plan. Council may then impose conditions for those matters it has restricted its discretion to.

Section 104 of the RMA sets out matters to be considered when assessing an application for a resource consent.

104 Consideration of applications

- (1) When considering an application for a resource consent and any submissions received, the consent authority must, subject to [Part 2](#) and [section 77M](#), have regard to—
 - (a) any actual and potential effects on the environment of allowing the activity; and
 - (ab) any measure proposed or agreed to by the applicant for the purpose of ensuring positive effects on the environment to offset or compensate for any adverse effects on the environment that will or may result from allowing the activity; and
 - (b) any relevant provisions of—
 - (i) a national environmental standard;
 - (ii) other regulations;
 - (iii) a national policy statement;
 - (iv) a New Zealand coastal policy statement;
 - (v) a regional policy statement or proposed regional policy statement;
 - (vi) a plan or proposed plan; and
 - (c) any other matter the consent authority considers relevant and reasonably necessary to determine the application.

In the determination of this application, those considerations include the actual and potential effects of

an activity on the environment, the relevant provisions of the Northland Regional Policy Statement (or other relevant statutory document), the Far North District Plan and any other matter the consent authority considers relevant and reasonably necessary to determine the application.

The following assessment addresses all of the relevant considerations under s104 of the RMA.

Assessment of Effects on The Environment

The RMA (section 3) meaning of effect includes:

3 Meaning of effect

In this Act, unless the context otherwise requires, the term **effect** includes—

- (a) any positive or adverse effect; and
- (b) any temporary or permanent effect; and
- (c) any past, present, or future effect; and
- (d) any cumulative effect which arises over time or in combination with other effects—
regardless of the scale, intensity, duration, or frequency of the effect, and also includes—
- (e) any potential effect of high probability; and
- (f) any potential effect of low probability which has a high potential impact.

Section 104(2) of the RMA states that:

“when forming an opinion for the purposes of subsection (1)(a), a consent authority may disregard an adverse effect of the activity on the environment if a national environmental standard or the plan permits an activity with that effect.”

This is referred to as the “permitted baseline”, which is based on the permitted performance standards and development controls that form part of a district plan. For an effects-based plan such as the Far North District Plan where specified activities are not regulated, determining the permitted baseline is a useful tool for determining a threshold of effects that are enabled by the zone.

Ordinarily the placement of dwelling on a site created under the subdivision controls in the ODP is a permitted activity. The size and location of the site often determines the ability to fit development within the permitted bulk and location controls in the district plan. In this case there is a minor breach to the sunlight control on the northern boundary, which is attributed to the apex of the roof for two metres in width, 0.7m in depth and 0.7m in height (restricted discretionary activity). There is also a minor breach to stormwater management, which is 4% in excess of the permitted standard (controlled activity).

The focus of this assessment is on addressing the matters of control and discretion within the ODP for the breaches identifies on the site for this application. A brief overview of the degree to which this application achieves the objectives and policies of the Northland Regional Policy Statement, ODP and PDP is also provided.

Positive effects

The applicant will benefit from the positive effects of being able to build a dwelling on the property which can be used for personal purposes or accommodation.

Stormwater Management effects

A comprehensive Stormwater Mitigation Report has been prepared by Wilton Joubert and supplied in **Appendix C**. The mitigation report has been prepared in accordance with:

- The Far North District Council Engineering Standards 2023
- The operative Far North District Council District Plan

The report concludes, provided that the recommendations within this report are adhered to, the effects of stormwater runoff resulting from the unattenuated proposed impermeable surfaces (302m² total) are considered to have **less than minor effects on the receiving environment**, equivalent to conditions that would result from development proposals falling within the Permitted Activity coverage threshold. An assessment of effects is provided in the Stormwater Mitigation Report addressing the matters over which Council will restrict its exercise of discretion in rule 7.6.5.2.1 (matters a – i). A soakpit is proposed as the primary mitigation measure before discharging to the available stormwater connection. All design has considered the relevant consent notice requirements.

Sunlight

The roof apex on the northern aspect of the dwelling breaches the permitted standard for two metres in width, 0.7m in depth and 0.7m in height. It does however fall within the restricted discretionary standard of a 45 degree recession plane as measured inwards from any point 3m vertically above ground level on that site boundary. The following assessment is of the matters listed in Rule 7.6.5.3.4.

(a) the extent to which adjacent properties will be adversely affected in terms of visual domination, overshadowing, loss of privacy and loss of access to sunlight and daylight;

Approximately half of the dwelling on the northern elevation is setback over 3.6 metres from the site boundary, which is over three times the permitted setback control of 1.2 metres. Further, the other half of the dwelling on the northern aspect is setback over eight metres from the northern boundary. The height of the building is just over 5.5m, which is significantly lower than the eight-metre permitted limit provided in the ODP. As such it is considered that the any effects associated with visual domination, loss of privacy and loss of access to sunlight and daylight will be no more than minor.

Given the minor nature of the sunlight breach, being two metres wide at the base up to the apex of the roof, it is considered that any overshadowing effects will be less than minor on the northern boundary. It is noted that the sunlight rule requiring a 45-degree angle on all boundaries is a reasonably blunt instrument in terms of assessing the effects of overshadowing. The PDP has introduced a more nuanced approach and considers more accurate effects in terms of height in relation to boundary, in cognisance of our location in the southern hemisphere. In the PDP the northern boundary would be assessed at 55 degrees at 2m above ground level, which would likely remove the sunlight breach.

(b) the location and proximity of adjacent residential units, and the outdoor space used by those units;

There are no dwellings within proximity of the northern boundary. The site to the north of the proposed dwelling is the location of the St Johns Ambulance Station, which consists of a shed (approximately 40m

from the northern boundary) and a building used by St Johns to run the ambulance service (approximately 60m from the northern boundary).

(c) the ability to mitigate any adverse effects of loss of sunlight.

As previously identified it is not considered that there is any discernible loss of sunlight on the northern boundary for the neighbouring property, and any adverse effects are considered less than minor.

Effects Conclusion

The site at 7 Te Uru Lane is 604m² and was created to accommodate a dwelling. The permitted standard for stormwater management on this site is 302m², which needs to accommodate all impervious surfaces, including the dwelling and access. A Stormwater Mitigation Report has been prepared to support the application (see **Appendix C**) and concludes that the effects will be less than minor for a breach of 24m². In terms of sunlight, the offending quantum of the building breach is minor and limited to the apex of the roof on the northern boundary. It is not considered to incur an effect that is more than minor on the neighbouring property currently, or at a later juncture if developed in a residential capacity.

Statutory Plan Considerations

A National Policy Statement

While Councils current position through the PDP process is that Kerikeri is not subject to the National Policy Statement for Urban Development (NPS-UD), the proposal is consistent with the approach in the NPS-UD in so far that development in this location contributes to a well-functioning urban environment supported by appropriate development infrastructure (being roading, water supply, wastewater and stormwater).

National Environmental Standards

The site is not considered a HAIL, an assessment would have also been undertaken as part of the subdivision consent which created the site, therefore the National Environmental Standard for Assessing and Managing Contaminants in Soil to Protect Human Health does not apply.

The National Environmental Standard for Freshwater does not apply to this proposal as there are no natural wetlands or other related features on or near this site.

New Zealand Coastal Policy Statement

The New Zealand Coastal Policy Statement is not relevant to this application.

A Regional Policy Statement

The subject site is within the Northland region and is subject to the governing objectives and policies of the operative Northland Regional Policy Statement (RPS), operative May 2016. Although the jurisdiction for land use and subdivision activities is governed by the Far North District Council and the policy

framework for land use activities and the management of potential adverse effects is set out in the ODP.

The ODP is subject to the governing regional policy framework set out in the RPS. With respect to any identified features, the site is not within any area of ‘High’ or ‘Outstanding’ Natural Area, or the Coastal Environment boundary. Considering the above, the following table considers the relevant objectives and policies.

Table 4 – RPS Assessment

REGIONAL POLICY STATEMENT FOR NORTHLAND		PERFORMANCE OF PROPOSAL
OBJECTIVES & POLICIES		
3.1, 4.1-4.8	Integrated Catchment Management	The proposal considers the wider stormwater catchment and proposes appropriate mitigation measures from the increase of stormwater from the site.
3.2, 5.1-5.4	Region Wide Water Quality	The proposal will be utilising Councils networks resources enabling more value out of those resources for the Far North ratepayers.
3.3	Ecological Flows	No water take is proposed as part of the application.
3.4	Indigenous Ecosystems and Biodiversity	The proposal is in an urban area and no vegetation removal is proposed.
3.5	Enabling Economic Wellbeing	The proposal provides for a dwelling on a site created for residential purposes.
3.6	Economic Activities – Reverse Sensitivity and Sterilisation	The proposal provides for a dwelling on a site created for residential purposes.
3.7	Regionally Significant Infrastructure	There is no such infrastructure being affected by the proposal.
3.8, 6.1	Efficient and Effective Infrastructure	The proposal is optimising the use of existing infrastructure including Councils three waters assets.
3.9	Security of Energy Supply	The proposal will require Top Energy power use.
3.10	Use and Allocation of Common Resources	No water takes, or other takes are required.
3.11	Regional Form	The proposal provides for a dwelling on a site created for residential purposes.
3.12, 8.1-8.3	Tangata Whenua Role in Decision Making	No issues resulted from the underlying subdivision.
3.13, 7.1-7.2	Natural Hazard Risk	No other risks are relevant.
3.14	Natural Character, ONF, ONL and Historic Heritage	No such features exist on the site.
3.15	Active Management	The proposal provides for a dwelling on a site created for residential purposes.

Overall, it is considered that the development proposal would not be contrary to any RPS objective or policy and can be managed adequately by the ODP.

A Plan or Proposed Plan

The objectives and policies in the ODP that are relevant to this application are those related to the Urban Environment in general, and the RZ. These are discussed as follows:

Table 5 Objectives and Policies for the Urban Environment

OBJECTIVE OR POLICY		PERFORMANCE OF PROPOSAL
OBJECTIVES		
7.3.1	To ensure that urban activities do not cause adverse environmental effects on the natural and physical resources of the District	The site is currently vacant as it was recently subdivided. The proposal is for a residential building, which is anticipated on the site and will be using Councils reticulated services.
7.3.2	To enable the continuing use of buildings and infrastructure in urban areas, particularly where these are under-utilised.	The proposal is for a residential building, which is anticipated on the site and will be using Councils reticulated services.
7.3.3	To avoid, remedy or mitigate the adverse effects of activities on the amenity values of existing urban environments.	The proposal is for a residential building, which is anticipated on the site and will be using Councils reticulated services.
7.3.4	To enable urban activities to establish in areas where their potential effects will not adversely affect the character and amenity of those areas.	The proposal is for a residential building, which is anticipated on the site and will be using Councils reticulated services.
7.3.5	To achieve the development of community services as an integral and complementary component of urban development.	This is a function of Council.
7.3.6	To ensure that sufficient water storage is available to meet the needs of the community all year round.	This is a function of Council.
POLICIES		
7.4.1	That amenity values of existing and newly developed areas be maintained or enhanced.	The site is currently vacant as it was recently subdivided. The proposal is for a residential building, which is anticipated on the site.
7.4.2	That the permissible level of effects created or received in residential areas reflects those appropriate for residential activities.	An assessment of effects is provided in this report with the conclusion that the effects will be less than minor.
7.4.3	That adverse effects on publicly-provided facilities and services be avoided or remedied by new development, through the provision of additional services.	The proposal is for a residential building, which is anticipated on the site and will be using Councils reticulated services, which is an effective and efficient method of providing for three waters services in this zone.
7.4.4	That stormwater systems for urban development be designed to minimise adverse effects on the environment.	A Stormwater Mitigation Report is provided in Appendix C addressing stormwater matters, concluding that the effects will be less than minor.

OBJECTIVE OR POLICY		PERFORMANCE OF PROPOSAL
7.4.5	That new urban development avoid: (a) adversely affecting the natural character of the coastal environment, lakes, rivers, wetlands or their margins; (b) adversely affecting areas of significant indigenous vegetation or significant habitats of indigenous fauna; (c) adversely affecting outstanding natural features, landscapes and heritage resources; (d) adversely affecting the relationship of Maori and their culture and traditions with their ancestral lands, water, sites, waahi tapu, and other taonga; (e) areas where natural hazards could adversely affect the physical resources of urban development or pose risk to people's health and safety; (f) areas containing finite resources which can reasonably be expected to be valuable for future generations, where urban development would adversely affect their availability; (g) adversely affecting the safety and efficiency of the roading network; (h) the loss or permanent removal of highly productive and versatile soils from primary production due to subdivision and development for urban purposes.	The matters requiring assessment have been undertaken above in this report, concluding that the effects of the proposed dwelling on the site will be less than minor.
7.4.6	That the natural and historic heritage of urban settlements in the District be protected (refer to Chapter 12).	No natural or historic heritage matters have been identified for the site.
7.4.7	That urban areas with distinctive characteristics be managed to maintain and enhance the level of amenity derived from those characteristics.	The site is not identified as containing distinctive characteristics.
7.4.8	That infrastructure for urban areas be designed and operated in a way which: (a) avoids remedies or mitigates adverse effects on the environment; (b) provides adequately for the reasonably foreseeable needs of future generations; and (c) safeguards the life-supporting capacity of air, water, soil and ecosystems.	The proposal is for a residential building, which is anticipated on the site and will be using Councils reticulated services, which is an effective and efficient method of providing for three waters services in this zone.
7.4.9	That the need for community services in urban areas is recognised and provided for.	This is a function of Council.

Table 6 Objectives and Policies for the RZ

OBJECTIVE OR POLICY	PERFORMANCE OF PROPOSAL
OBJECTIVES	

7.6.3.1	To achieve the development of new residential areas at similar densities to those prevailing at present.	The site is commensurate with that anticipated in the RZ.
7.6.3.2	To enable development of a wide range of activities within residential areas where the effects are compatible with the effects of residential activity.	The application is for a dwelling, which is a residential activity.
7.6.3.3	To protect the special amenity values of residential sites on the urban fringe, specifically Lot 1 DP 28017, Lot 1 DP 46656, Lot 1 DP 404507, Lot 1 DP 181291, Lot 2 DP 103531, Lot 1 DP 103531, Lot 2 DP 58333, Pt Lot 1 DP 58333 (and any sites created as a result of a subdivision of these lots), and those having frontage to Kerikeri Road between its intersection with SH10 and Cannon Drive.	Not applicable.
POLICIES		
7.6.4.1	That the Residential Zone be applied to those parts of the District that are currently predominantly residential in form and character.	The site is zoned RZ.
7.6.4.2	That the Residential Zone be applied to areas which are currently residential but where there is scope for new residential development.	The site is zoned RZ.
7.6.4.3	That the Residential Zone be applied to areas where expansion would be sustainable in terms of its effects on the environment.	The site is currently zoned RZ
7.6.4.4	That the Residential Zone provide for a range of housing types and forms of accommodation.	The type of housing proposed fits the needs of the landowner.
7.6.4.5	That non-residential activities only be allowed to establish within residential areas where they will not detract from the existing residential environment.	Not applicable.
7.6.4.6	That activities with net effects that exceed those of a typical single residential unit, be required to avoid, remedy or mitigate those effects with respect to the ecological and amenity values and general peaceful enjoyment of adjacent residential activities.	Not applicable.
7.6.4.7	That residential activities have sufficient land associated with each household unit to provide for outdoor space, planting, parking and manoeuvring.	The site has been created through a previous subdivision and is a size commensurate with the controlled activity threshold.

7.6.4.8	That the portion of a site or of a development that is covered in buildings and other impermeable surfaces be limited so as to provide open space around buildings to enable planting, and to reduce adverse hydrological, ecological and amenity effects.	Minor infringements to stormwater management and sunlight have been identified and assessed in this application, concluding that the effects will be less than minor.
7.6.4.9	That sites have adequate access to sunlight and daylight.	An infringement for the sunlight control has been identified on the northern boundary, the effects of which are considered to be less than minor.
7.6.4.10	That provision be made to ensure a reasonable level of privacy for inhabitants of buildings on a site.	The dwelling is considered to have appropriate measures ensuring a reasonable level of privacy.
7.6.4.11	That the built form of development allowed on residential sites on the urban fringe, specifically Lot 1 DP 28017, Lot 1 DP 46656, Lot 1 DP 404507, Lot 1 DP 181291, Lot 2 DP 103531, Lot 1 DP 103531, Lot 2 DP 58333, Pt Lot 1 DP 58333 (and any sites created as a result of a subdivision of these lots), and those with frontage to Kerikeri Road between its intersection with SH10 and Cannon Drive remains small in scale, set back from the road, relatively inconspicuous and in harmony with landscape plantings and shelter belts.	Not applicable.

Assessment of Objectives and Policies Conclusion

The proposal is consistent relevant objectives and policies considered above.

In terms of district wide matters such as those that affect biophysical elements and physical elements such as infrastructure and transport, the proposal is not impacted by biophysical characteristics that require any consideration, and from an infrastructure perspective the proposal can be serviced through Councils reticulated infrastructure. The proposal is therefore consistent with the aims and intents of the ODP.

Table 7 Objectives and Policies for the Rural Residential zone (PDP)

Objectives	Assessment
GRZ-O1 - The General Residential zone provides a variety of densities, housing types and lot sizes that respond to: <ul style="list-style-type: none"> a. housing needs and demand; b. the adequacy and capacity of available or programmed development infrastructure; c. the amenity and character of the receiving residential environment; and d. historic heritage. 	The proposal is for a single dwelling on a vacant site to be used as a residential activity, which is anticipated in this zone.
GRZ-O2 - The General Residential zone consolidates urban residential development around available or programmed development infrastructure to improve the	The proposal is for a single dwelling on a vacant site in the General Residential zone using Councils reticulated services.

function and resilience of the receiving residential environment while reducing urban sprawl.	
GRZ-O3 - Non-residential activities contribute to the well-being of the community while complementing the scale, character and amenity of the General Residential zone.	Not applicable.
GRZ-O4 - Land use and subdivision in the General Residential zone is supported where there is adequacy and capacity of available or programmed development infrastructure.	The proposal is for a single dwelling on a vacant site in the General Residential zone using Councils reticulated services.
GRZ-O5 - Land use and subdivision in the General Residential zone provides communities with functional and high amenity living environments.	The proposal is for a single dwelling on a vacant site to be used as a residential activity which is anticipated in the General Residential zone.
GRZ-O6 - Residential communities are resilient to changes in climate and are responsive to changes in sustainable development techniques.	No hazards are identified for the site. The proposal is for a single dwelling on a vacant site in the General Residential zone using Councils reticulated services.
Policy	Assessment
GRZ-P1 - Enable land use and subdivision in the General Residential zone where: <ul style="list-style-type: none"> a. there is adequacy and capacity of available or programmed development infrastructure to support it; and b. it is consistent with the scale, character and amenity anticipated in the residential environment. 	The proposed dwelling is connecting to Council reticulated services and is of scale anticipated in the General Residential zone.
GRZ-P2 - Require all subdivision in the General Residential zone to provide the following reticulated services to the boundary of each lot: <ul style="list-style-type: none"> a. telecommunications: <ul style="list-style-type: none"> i. fibre where it is available; or ii. copper where fibre is not available; b. local electricity distribution network; and c. wastewater, potable water and stormwater where they are available. 	These services are being provided.
GRZ-P3 - Enable multi-unit developments within the General Residential zone, including terraced housing and apartments, where there is adequacy and capacity of available or programmed development infrastructure.	A multi-unit development is not being proposed.
GRZ-P4 - Enable non-residential activities that: <ul style="list-style-type: none"> a. do not detract from the vitality and viability of the Mixed Use zone; b. support the social and economic well-being of the community; c. are of a residential scale; and d. are consistent with the scale, character and amenity of the General Residential zone. 	Not applicable.
GRZ-P5 - Provide for retirement villages where they: <ul style="list-style-type: none"> a. compliment the character and amenity values of the surrounding area; b. contribute to the diverse needs of the community; c. do not adversely affect road safety or the efficiency of the transport network; and d. can be serviced by adequate development infrastructure. 	Not applicable.
GRZ-P6 - Encourage and support the use of on-site water storage to enable sustainable and efficient use of water resources.	The proposed dwelling is connecting to Councils reticulated services.
GRZ-P7 - Encourage energy efficient design and the use of small-scale renewable electricity generation in the construction of residential development.	The dwelling is modern and constructed in accordance with the building code. Any future owner has the option of installing renewable energy generation.
GRZ-P8 - Manage land use and subdivision to address	The assessment of effects undertaken for this application has been

<p>the effects of the activity requiring resource consent, including (but not limited to) consideration of the following matters where relevant to the application:</p> <ol style="list-style-type: none"> a. consistency with the scale, design, amenity and character of the residential environment; b. the location, scale and design of buildings or structures, potential for shadowing and visual dominance; c. for residential activities: <ol style="list-style-type: none"> i. provision for outdoor living space; ii. privacy for adjoining sites; iii. access to sunlight; d. for non-residential activities: <ol style="list-style-type: none"> i. scale and compatibility with residential activities ii. hours of operation e. at zone interfaces, any setbacks, fencing, screening or landscaping required to address potential conflicts; f. the adequacy and capacity of available or programmed development infrastructure to accommodate the proposed activity, including: <ol style="list-style-type: none"> i. opportunities for low impact design principles ii. ability of the site to address stormwater and soakage; g. managing natural hazards; and h. any historical, spiritual, or cultural association held by tangata whenua, with regard to the matters set out in Policy TW-P6. 	<p>undertaken above and has concluded that the effects will be less than minor.</p>
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Proposed Far North District Plan Objectives & Policies & Weighting

Section 88A(2) provides that “any plan or proposed plan which exists when the application is considered must be had regard to in accordance with section 104(1)(b).” This requires applications to be assessed under both the operative and proposed objective and policy frameworks from the date of notification of the proposed district plan.

In the event of differing directives between objective and policy frameworks, it is well established by case law that the weight to be given to a proposed district plan depends on what stage the relevant provisions have reached, the weight generally being greater as a proposed plan move through the notification and hearing process. In *Keystone Ridge Ltd v Auckland City Council*, the High Court held that the extent to which the provisions of a proposed plan are relevant should be considered on a case by case basis and might include:

- The extent (if any) to which the proposed measure might have been exposed to testing and independent decision making;
- Circumstances of injustice; and
- The extent to which a new measure, or the absence of one, might implement a coherent pattern of objectives and policies in a plan.

In my view the PDP has not gone through the sufficient process to allow a considered view of the objectives

and policies for the General Residential Zone overlay, however this has still been provided.

The activity is considered to be consistent with the objectives and policies of both the ODP and PDP.

7. Notification Assessment (s95matters)

The Council will need to determine the basis on which the application will be processed. These include public notification, limited notification, or non-notification. Sections 95A and 95B provide a step-by-step process that Council must follow when determining whether to publicly or limited notify an application.

Public Notification (s95A)

Section 95A outlines the steps that must be followed to determine whether an application should be publicly notified.

Step 1 – Details requirements for mandatory public notification. None of these apply to the proposal.

Step 2 – Details situations where public notification is precluded (if not required under step 2). The application is for a residential activity but includes an infringement that is not a boundary activity, therefore public notification is not precluded under this step.

Step 3 – Details requirements for public notification in certain circumstances. This includes applications that are determined to be publicly notified under s95D. For this application, it is concluded that any potential adverse effects on the environment would not be less than minor.

Step 4 – Details requirements in special circumstances. It is considered that there are no special circumstances that would warrant notification.

Limited Notification (s95B)

S95B includes steps to be followed when deciding whether an application should be subject to limited notification.

Step 1 – relates to the consideration of certain affected groups and affected persons including any protected customary rights groups or affected marine title groups. There are no such groups affected by this application.

Step 2 – details requirements for limited notification where the application is for one or more activities that is precluded from limited notification by a rule or standard or is a controlled or prescribed activity. This step does not preclude this application from limited notification.

Step 3 – relates to boundary adjustments, where an owner of an infringed boundary is to be notified or a

prescribed activity. Also relates to any other activity where it is required to determine if a person is an affected person in accordance with s95E. For the purpose of limited notifying an application, a person is an affected person if a consent authority decides that the activity's adverse effects on the person are minor or more than minor (but are not less than minor). It is assessed in this report that the effects are less than minor.

Step 4 – relates to requirements to notify where special circumstances exist. There are no special circumstances that would warrant limited notification of this application.

8. PART II – Resource Management Act 1991

Purpose of the RMA

The proposal can promote the sustainable management of natural and physical resources, as current and future owners and users of the land are able to provide for their social, cultural and economic wellbeing and their health and safety. The proposal will provide a single-story dwelling on a vacant site within the RZ, which is wholly anticipated and enabled within the zone.

Development of this site will contribute to the local economy, community wellbeing, utilise local services and infrastructure for residential activities at a scale anticipated by Council. Any effects on the environment are anticipated to be less than minor.

Matters of National Importance

Māori are not considered to be adversely affected by this proposal, nor is any historic heritage likely to be impacted.

Other Matters

The proposal will result in an efficient use of resources with the development occurring in an urban zone with development infrastructure available. Amenity values will be maintained because the proposal is of a nature anticipated in the Residential zone. There will be no adverse impact on local ecosystems or overall.

Treaty of Waitangi

The Far North District Council is required to take into account the principles of the Treaty of Waitangi when processing this consent. This consent application may be sent to local iwi and hapū who may have an interest in this application.

9. Conclusion

This application seeks a **Restricted Discretionary Activity** resource consent to undertake construction of a single-story dwelling on a vacant site within the RZ. The assessment of effects on the environment concludes that for the reasons outlined in the application, the effects of undertaking this proposal will be less than minor on the surrounding environment. There are considered to be no adversely affected persons.

No currently gazetted National Environmental Standards or National Policy Statements including the New Zealand Coastal Policy Statement were considered to be relevant to this proposal.

The Regional Policy Statement for Northland was reviewed as part of this application. The proposal was considered to be consistent with the aims of this document.

In terms of the ODP and the PDP, the proposal was deemed to be consistent with the objectives and policies for the Urban Environment in general, the RZ and the General Residential zone (PDP).

An assessment of Part II of the RMA has also been completed with the proposal able to satisfy this higher order document.

We look forward to receiving acknowledgment of the application and please advise if any additional information is required.



Andrew McPhee
Consultant Planner



**RECORD OF TITLE
UNDER LAND TRANSFER ACT 2017
FREEHOLD
Search Copy**




R. W. Muir
Registrar-General
of Land

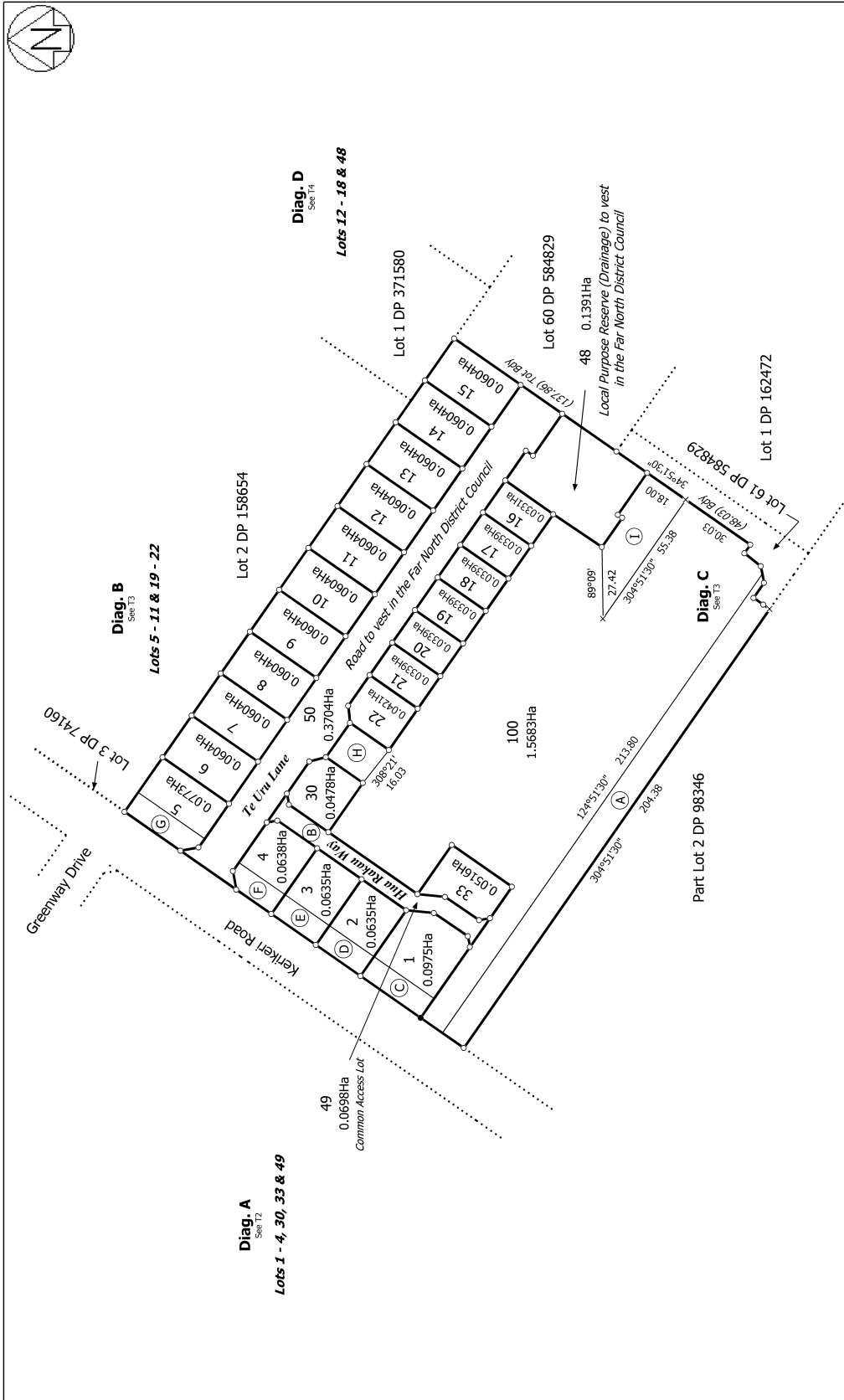
Identifier **1156108**
Land Registration District **North Auckland**
Date Issued 29 July 2024

Prior References
1101259

Estate Fee Simple
Area 604 square metres more or less
Legal Description Lot 8 Deposited Plan 596768
Registered Owners
Traverse Limited

Interests

Appurtenant hereto is a water right created by Transfer 570870 - 14.3.1956 at 2:20 pm
Appurtenant hereto is a right to drain sewage created by Easement Instrument 12674566.8 - 20.4.2023 at 2:43 pm
The easements created by Easement Instrument 12674566.8 are subject to Section 243 (a) Resource Management Act 1991
12674566.10 Mortgage to David John Kingdom - 20.4.2023 at 2:43 pm
12674566.11 Mortgage to Rex Stanley Rackham and Kenneth Edgar Rackham - 20.4.2023 at 2:43 pm
12893937.1 Variation of Mortgage 12674566.11 - 31.1.2024 at 1:01 pm
12965271.5 Consent Notice pursuant to Section 221 Resource Management Act 1991 - 29.7.2024 at 4:43 pm
Land Covenant in Covenant Instrument 12965271.10 - 29.7.2024 at 4:43 pm



T 1/4

<p>16655 Traverse Stage 2 Ip/ig Land District: North Auckland</p>	<p>Surveyor: Christopher Gordon Knapp Firm: Reyburn & Bryant 1999 Ltd</p>	<p>Title Plan LT 596768 Approved on: 25/07/2024</p>
<p>Lots 1 to 22, 30, 33, 48 to 50 and Lot 100 being a subdivision of Lot 62 DP 584829</p>		
<p>Digitally Generated Plan Generated on: 25/07/2024 2:46pm Page 5 of 6</p>		

View Instrument Details



Instrument No 12965271.5
Status Registered
Date & Time Lodged 29 July 2024 16:43
Lodged By Summerton, Vaughn
Instrument Type Consent Notice under s221(4)(a) Resource Management Act 1991



Affected Records of Title	Land District
1156101	North Auckland
1156102	North Auckland
1156103	North Auckland
1156104	North Auckland
1156105	North Auckland
1156106	North Auckland
1156107	North Auckland
1156108	North Auckland
1156109	North Auckland
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1156118	North Auckland
1156119	North Auckland
1156120	North Auckland
1156121	North Auckland
1156122	North Auckland
1156123	North Auckland
1156124	North Auckland

Annexure Schedule Contains 3 Pages.

Signature

Signed by Vaughn Summerton as Territorial Authority Representative on 29/07/2024 03:51 PM

*** End of Report ***



Private Bag 751, Teahāpua 0408 New Zealand

0800 822 822

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THE RESOURCE MANAGEMENT ACT 1991

SECTION 221: CONSENT NOTICE

REGARDING RC-2220850-RMACOM

Being the Subdivision of Lot 1 DP 25752, Pt Lot 2 DP 86081 and Lot 1 DP 162472
North Auckland Registry

PURSUANT to Section 221 and for the purpose of Section 224 (c) (ii) of the Resource Management Act 1991, this Consent Notice is issued by the **FAR NORTH DISTRICT COUNCIL** to the effect that conditions described in the schedule below are to be complied with on a continuing basis by the subdividing owner and the subsequent owners after the deposit of the survey plan, and these are to be registered on the titles of the allotments specified below.

SCHEDULE

Lots 1-22, 30 and 33 DP 596768

- (i). Prior to construction of a dwelling, the owner shall construct a vehicle crossing in accordance with Far North District Councils engineering standards. Where a crossing is proposed onto a council road, a vehicle crossing permit approval is required from the council.
- (ii). Any development shall comply with the restrictions and recommendations identified in the Geotechnical Report for Proposed Subdivision prepared by Hawthorn Geddes Limited dated 28 February 2022.
- (iii). At the time of lodgement of a building consent for a dwelling on the lots, the owner shall provide a design prepared by a suitably qualified professional for an on-site stormwater soakage pit capable of providing suitable soakage for rainfall events up to and included a 5 year Annual Return Interval. Overflows from the soakage pits are to be discharged via the reticulated stormwater network. Once approved, the soakage pit is to be constructed and maintained in accordance with the approved design.

Lots 2-5 DP 596768

- (iv). Shall not form nor utilise any vehicle crossing access onto Kerikeri Road.



HE ARA TĀMATA
CREATING GREAT PLACES
Supporting our people

Private Bag 751, Te Kōhiri 0400, New Zealand

info@fndc.govt.nz

0800 524 074

fndc.govt.nz

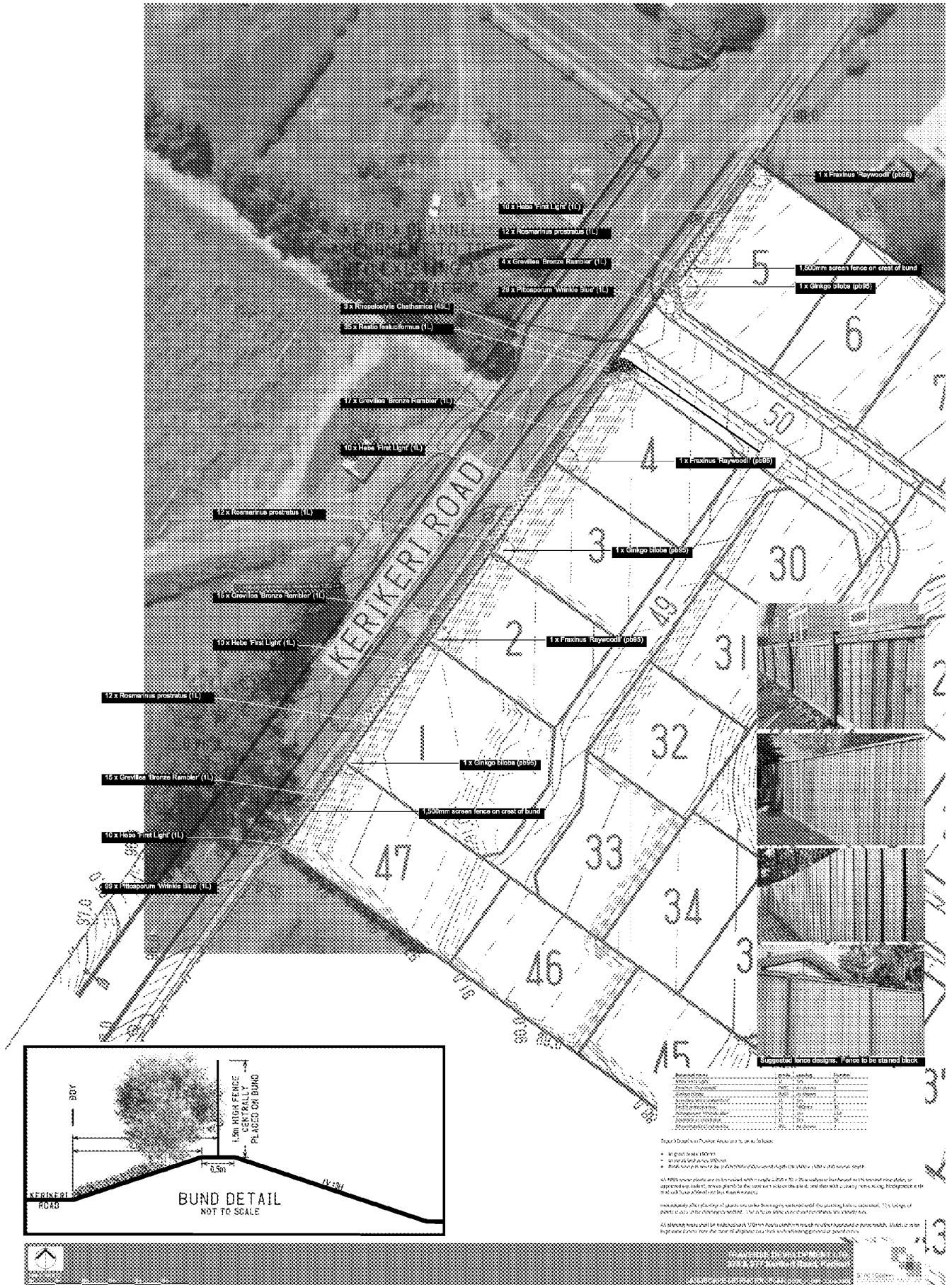
Lots 1-5 DP 596768

- (v). The earth bund, fence and landscaping implemented under Condition 3. (i) in accordance with the plan prepared by Simon Cocker Landscape Architecture Limited entitled 'Landscape Mitigation Plan' dated 3rd June 2022 shall be maintained in perpetuity by the owners of Lots 1 – 5. A copy of the Plan shall be attached to this consent notice.

A handwritten signature in black ink, appearing to read 'Tianxu Huang'.

SIGNED: Mr Tianxu Huang- Authorised Officer
By the FAR NORTH DISTRICT COUNCIL
Under delegated authority:
TEAM LEADER – RESOURCE CONSENTS

DATED at **KERIKERI** this 25th day of July 2024

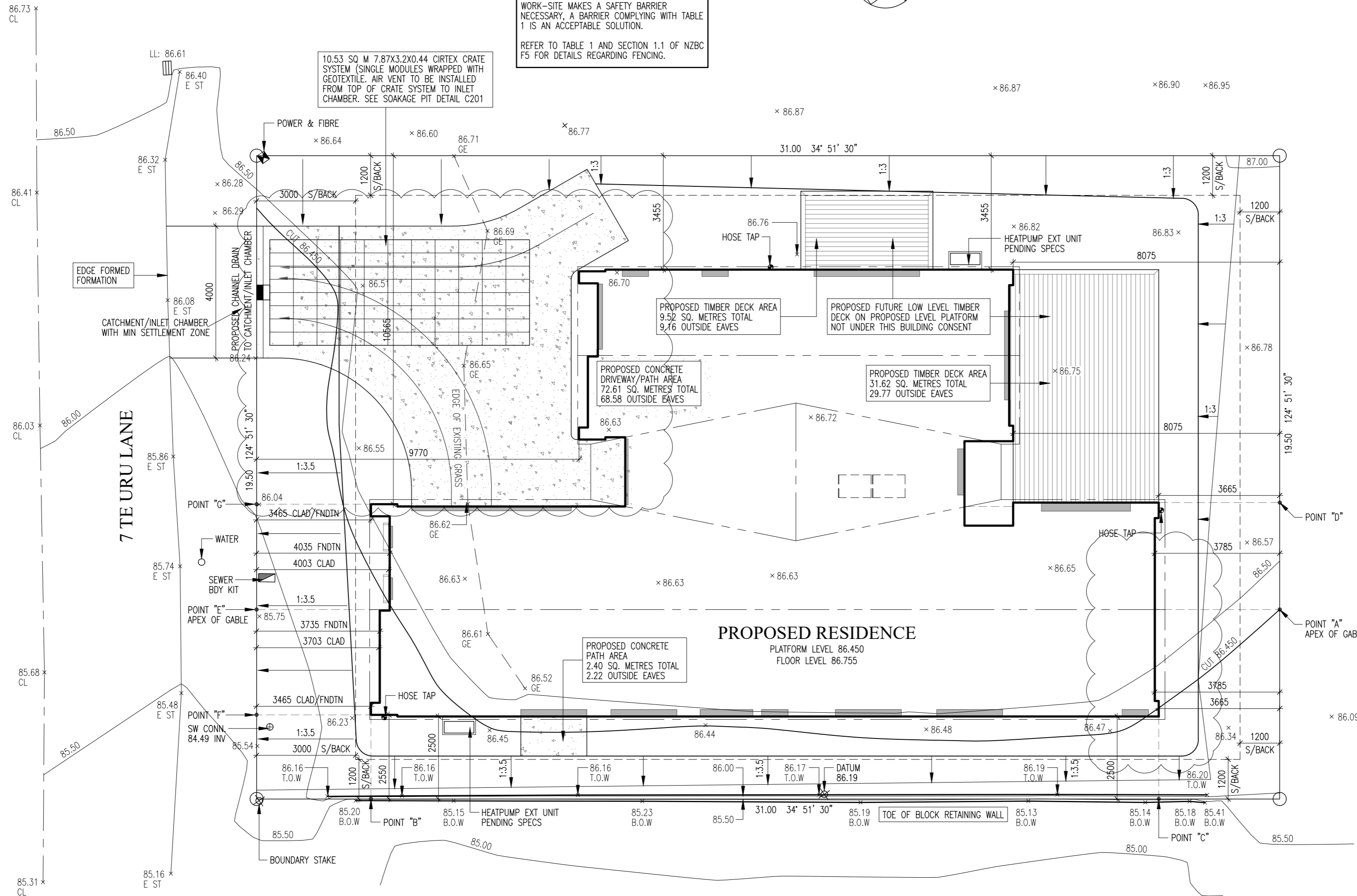
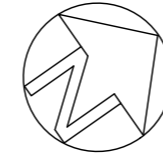


**GEOTECH ENGINEERS
SIGN-OFF OF
SCHEME REQUIRED**

SEDIMENT CONTROL:
SEDIMENT AND RUNOFF CONTROL SHALL BE DESIGNED AND INSTALLED BY THE LICENSED BUILDING PRACTITIONER PRIOR TO OR DURING EARTHWORKS FOR THE PROJECT. SEDIMENT CONTROLS SHALL BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF THE LOCAL CITY COUNCILS BUILDING AUTHORITY

ACCESS PATHS-PATIOS (D1/AS1)
1. WHERE THE SURFACE OF SUBJECT TO WETTING THE SURFACE SHALL HAVE CROSSFALL OF MIN 1:100. THE MAX CROSSFALL SHALL BE 1:50
2. PREFERRED SLOPE OF RAMPS/PATHS SHALL BE BETWEEN 0°-7° (123MM PER METRE) WITH A MAX OF 18° (325MM PER METRE)
3. COEFFICIENT OF SLIP SHALL BE 0.55-0.90 FOR WETTED SURFACES
IE BROOMED CONCRETE CLASS 5 OR 6 OR COATED AND SAND GRIT IMPREGNATED

NZBC F5 WORK-SITE BARRIERS
1.0.1 THE NECESSITY FOR BARRIERS WILL DEPEND MAINLY ON THE SITE LOCATION. THE NEED WILL BE GREATER IN AREAS WITH HIGH LEVELS OF PEDESTRIAN TRAFFIC (I.E. IN CENTRAL BUSINESS DISTRICTS), THAN IN INDUSTRIAL OR RURAL AREAS. BARRIERS ARE NOT NECESSARY FOR DOMESTIC DWELLINGS UP TO 2 STOREYS ABOVE GROUND LEVEL UNLESS SPECIFIC HAZARDS EXIST. (SEE COMMENTS UNDER SECTION 1.0.1 OF NZBC F5)
1.0.2 IF A WORK-SITE IS NOT COMPLETELY ENCLOSED, AND UNAUTHORISED ENTRY BY CHILDREN IS LIKELY, IT IS ACCEPTABLE FOR SPECIFIC HAZARDS TO BE FENCED ONLY WHEN WORKERS ARE ABSENT FROM THE IMMEDIATE VICINITY.
1.0.3 WHERE THE POTENTIAL HAZARD AT A WORK-SITE MAKES A SAFETY BARRIER NECESSARY, A BARRIER COMPLYING WITH TABLE 1 IS AN ACCEPTABLE SOLUTION.
REFER TO TABLE 1 AND SECTION 1.1 OF NZBC F5 FOR DETAILS REGARDING FENCING.



PROPOSED RESIDENCE	
PLATFORM	86.450
FLOOR	86.755
FLOOR AREA	234.83 SQ M
FLOOR INCL ALL ROOF COVERED OUTDOOR AREAS	237.62 SQ M
SITE AREA	604.00 SQ M
% COVERAGE (FLOOR)	38.88%
% COVERAGE (COVERED)	39.34%
MAX SITE COVERAGE	45.00%
SOIL MOVEMENT	
CUT VOLUME:	62 M ³ APPROX
FILL VOLUME:	4 M ³ APPROX
IMPERVIOUS AREAS	
DRIVEWAY & PATH AREA (NOT INCLUDING CROSSING)	73 SQ M
PATIO AREAS	003 SQ M
<small>NOTE: DRIVEWAY, PATH, PATIO AREAS BELOW ARE CALCULATED BY NOT INCLUDING THESE AREAS UNDER THE SOFFIT, AS THIS AREA IS COVERED BY THE ROOF AREA.</small>	
ROOF AREA	254 SQ M
DRIVEWAY & PATH AREA	69 SQ M
PATIO AREAS	003 SQ M
TOTAL IMPERVIOUS AREAS	326 SQ M
SITE AREA	604 SQ M
% COVERAGE	53.97%
MAX IMPERVIOUS AREA	50.00%



**BSP
NOTES**

1. PLATFORM PREPARATIONS ARE TO COMPLY WITH ENGINEERS FOUNDATION DESIGN.
2. REFER TO GEOTECH REPORT FOR ALL SITE SPECIFIC RECOMMENDATIONS. NOTIFY THE DESIGNER AND ENGINEERS IF YOU FIND ANY DISCREPANCIES ONSITE REGARDING THESE RECOMMENDATIONS.
3. ALL SERVICE TRENCHES SHALL BE PROPERLY BACKFILLED AND COMPACTED.
4. ENSURE ALL INSPECTIONS AS REQUIRED BY THE ENGINEERS AND/OR THE BUILDING CONSENT AUTHORITY ARE ADHERED TO.
5. IF APPLICABLE CONFIRM POSITION & DEPTH OF ALL SOAKPITS, UNDERGROUND TANKS AND ALL PUBLIC PIPES ON THE SITE, PRIOR TO ANY WORKS. IF DIFFERENT TO THE SITE PLAN THEN THE DESIGNER SHALL BE CONTACTED.
6. SURFACE WATER TO BE REDIRECTED AWAY FROM HOME AS PER E1/AS1 CONFIRM ON SITE.

LEGAL DESCRIPTION

LOT NO	08
DP	596768
AREA	604 SQ. METRES
STREET NO	7 TE URU LANE

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SALES NIGEL	
DRAWN STEPHEN	DATE 03/07/2024
REVISED	8/8/2024
REVISED	

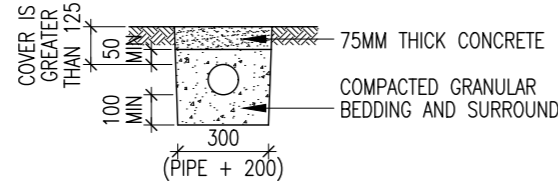
NLD504 SITE PLAN

KEYNOTE CONSTRUCTION LTD
7 TE URU LANE
LOT 8 DP 596768, KERIKERI
SCALE 1:100 ON A2 SHEET 1A

DISCHARGE UNIT CALCULATOR			
1 X 50MM T.V. CAN SERVICE 11-30 DISCHARGE UNITS			
FIXTURE TYPE	DISCHARGE UNITS	NO. OF FIXTURES	TOTAL
VANITY	1	2	2
BATH	4	1	4
SHOWER	2	2	4
TUB INC. W/M	5	1	5
WC	4	2	8
SINK	3	1	3
DISHWASHER	3	1	3
TOTAL			29
NUMBER OF 50MM TERMINAL VENTS REQUIRED			1

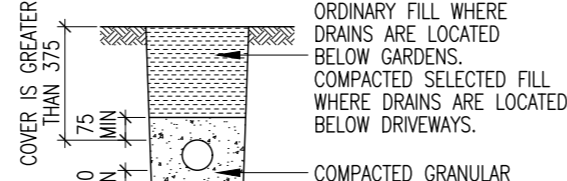
ACCEPTABLE MATERIALS

- BEDDING MATERIAL OF CLEAN GRANULAR NON-COHESIVE MATERIAL WITH A MAXIMUM PARTICLE SIZE OF 20MM
- SELECTED COMPACTED FILL OF ANY FINE-GRAINED SOIL OR GRANULAR MATERIAL WHICH IS FREE FROM TOPSOIL AND RUBBISH AND HAS A MAXIMUM PARTICLE SIZE OF 20MM
- ORDINARY FILL WHICH MAY COMPRISE ANY FILL OR EXCAVATED MATERIAL



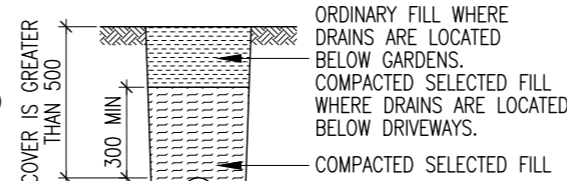
**DRAIN COVER
GREATER THAN 125MM**

SCALE 1:25
E1/AS1 FIGURE 13C



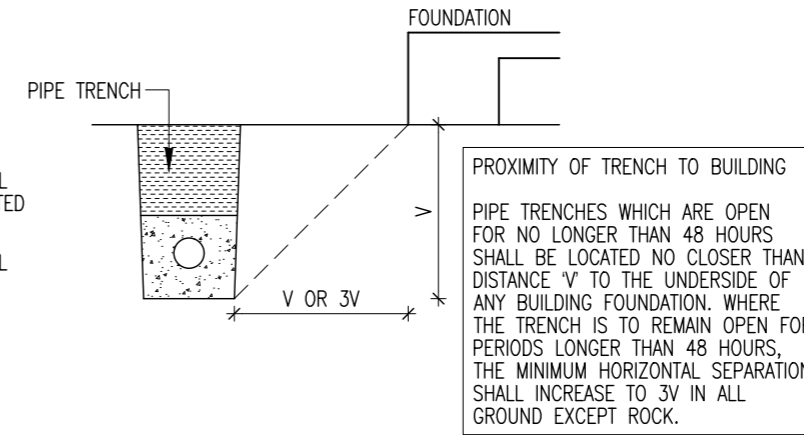
**DRAIN COVER
GREATER THAN 375MM**

SCALE 1:25
E1/AS1 FIGURE 13B



**DRAIN COVER
GREATER THAN 500MM**

SCALE 1:25
E1/AS1 FIGURE 13A



MINIMUM GRADES OF DISCHARGE PIPES		
SIZE OF GRADED SECTION OF PIPE	MIN GRADE %	GRADIENT
40	2.50	1 IN 40
50	2.50	1 IN 40
65	2.50	1 IN 40
80	1.65	1 IN 60
100	1.65	1 IN 60
125	1.25	1 IN 80
150	1.00	1 IN 100
225	0.65	1 IN 150
300	0.40	1 IN 250

DRAINAGE LEGEND

50MM WASTE PIPE SIZES SHOWN

IN-FLOOR DRAINS ARE 65MM OR 100MM AS NOTED EXCEPT FOR DRAINS DIRECT TO ORG

PLUMBING STANDARDS

PLUMBING TO AS/NZS 3500.2:2021 NO HORIZONTAL CUTS TO RIBRAFT PODS

UPVC DRAINS TO AS/NZS 1260

COPPER DRAINS TO NZS 3501

100MM UPVC DRAINS GRADIENT 1:60 MIN

65MM UPVC DRAINS GRADIENT 1:40 MIN

ROOF GUTTER CALCS

SPOUTING CROSS-SECTION 6200 SQ MM

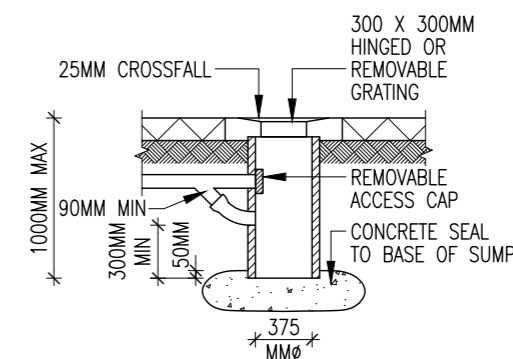
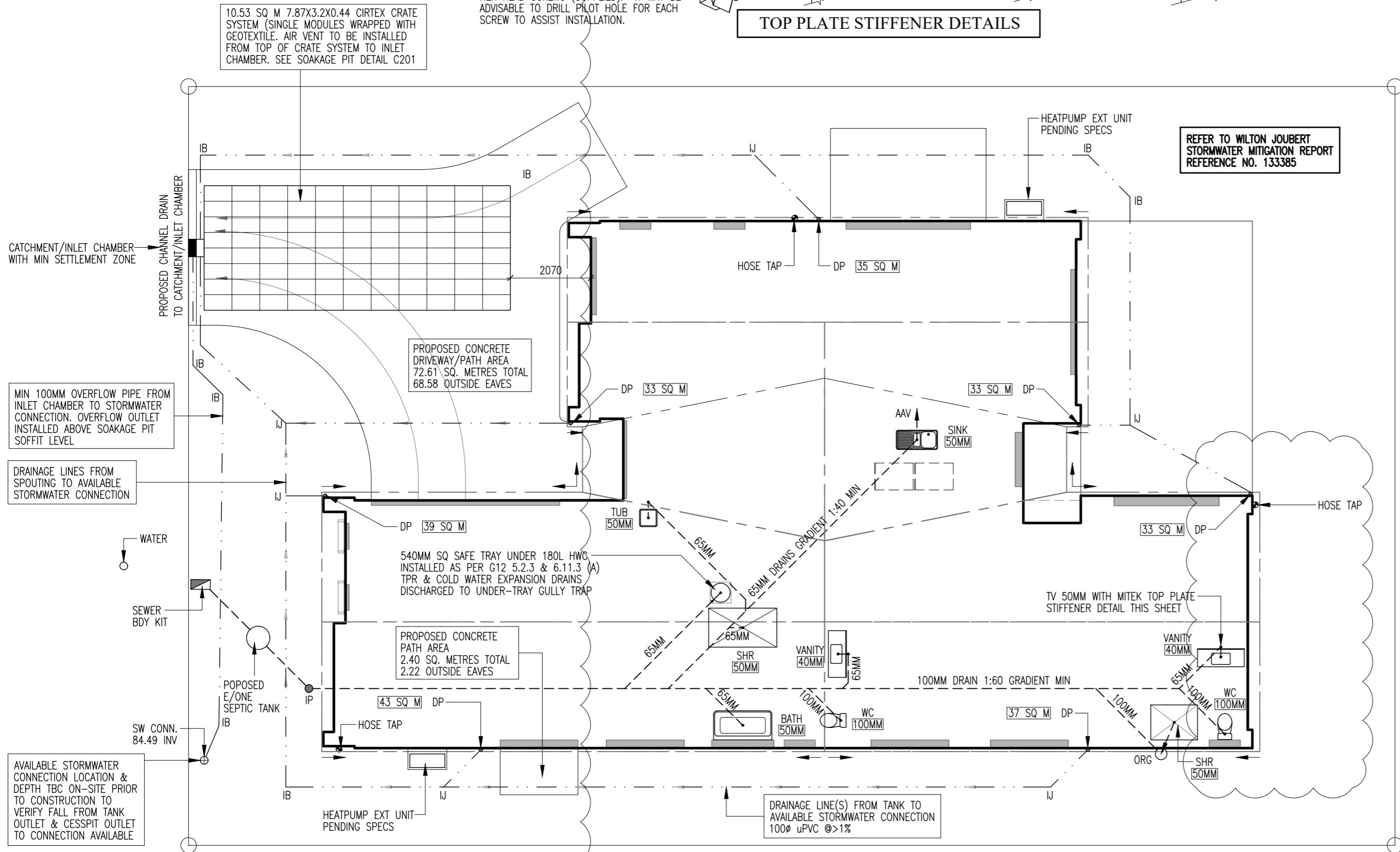
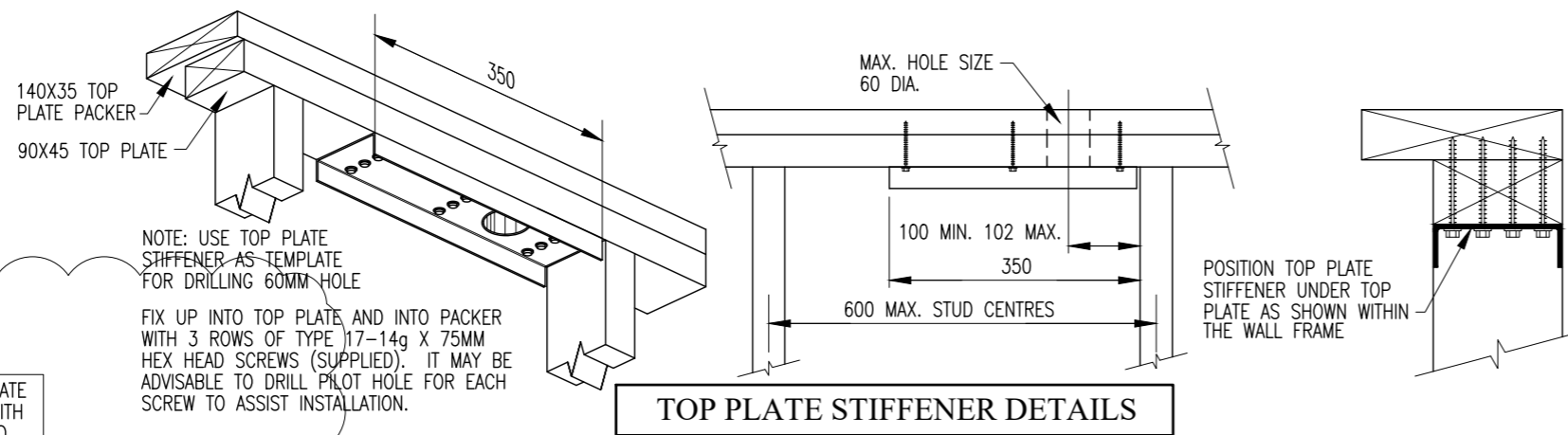
RAINFALL INTENSITY 100MM / HOUR

AS PER FIGURE 15 E1/AS1

43 SQ METRES PER SECTION OF ROOF (A SECTION SHALL COMPRISE THE LENGTH OF GUTTER BETWEEN A DOWNPIPE AND THE ADJACENT HIGH POINT ON ONE SIDE ONLY OF THE DOWNPIPE)

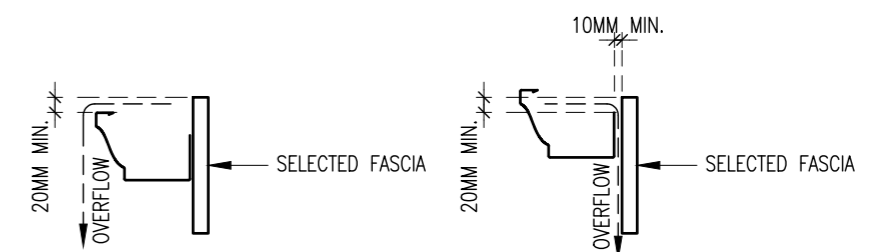
DOWNPIPE SIZE 74MM UP TO 70 SQ M

REFER TABLE 5 E1/AS1



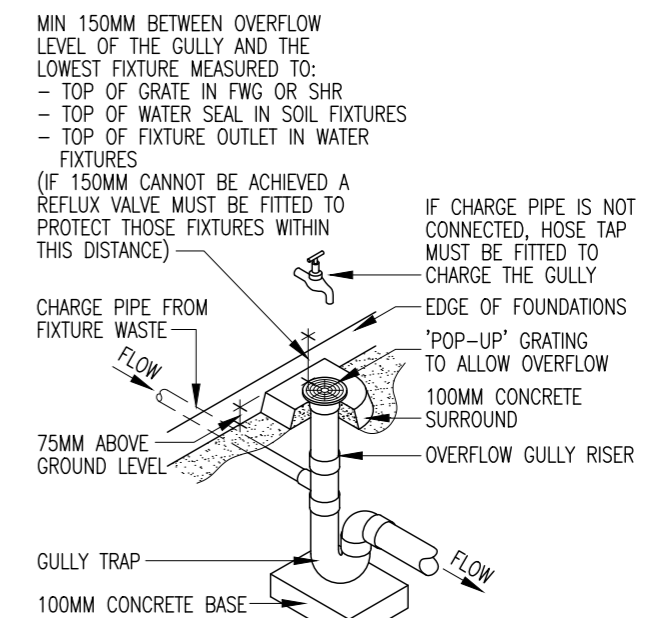
SURFACE WATER SUMP TYPE - ONE

SCALE 1:50



OPTION 1 OPTION 2

GUTTER OVERFLOW
AS/NZS 3500.5-2012 (SHEET 205)



OVERFLOW RELIEF GULLY DETAIL

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BSP NOTES

1. PLUMBER AND DRAIN LAYER TO INSPECT ON-SITE SEWER & STORMWATER CONNECTION INVERT LEVELS TO ENSURE FALLS NOTED ON PLANS CAN BE ACHIEVED. IF THERE IS A DISCREPANCY OR ISSUE THE DESIGNER IS TO BE NOTIFIED PRIOR TO COMMENCEMENT.
2. ALL FLOOR PENETRATIONS TO HAVE ADEQUATE FREEPLAY IN THE EVENT OF AN EARTHQUAKE.
-ALLOW MIN 115MM HOLE FOR 65MM PIPES
-ALLOW MIN 150MM HOLE FOR 100MM PIPE
-ALLOW 90MM FOR 40MM PIPE
HOLES TO BE FORMED BY POLYSTYRENE OR SLEEVE.
3. ALL TRENCHES SHALL BE PROPERLY BACKFILLED AND COMPACTED.
4. STORMWATER AND SURFACE WATER DESIGN TO COMPLY WITH ANY AND ALL RECOMMENDATIONS OUTLINED BY ENGINEERS.

LEGAL DESCRIPTION

LOT NO	08
DP AREA	596768
STREET NO	604 SQ. METRES 7 TE URU LANE

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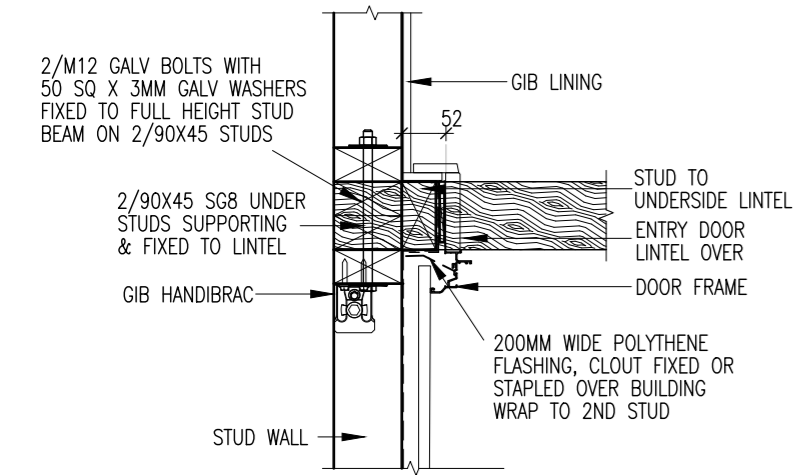
SALES NIGEL

DRAWN STEPHEN	DATE 03/07/2024
REVISED	8/8/2024
REVISED	

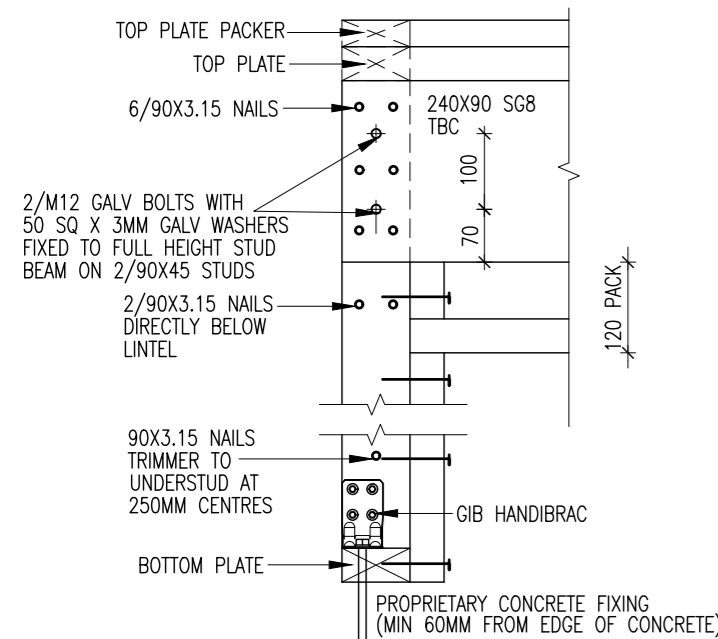
NLD504 DRAINAGE PLAN

KEYNOTE CONSTRUCTION LTD
7 TE URU LANE
LOT 8 DP 596768, KERIKERI
SCALE 1:100 ON A2 SHEET 2A

TO BE READ IN CONJUNCTION WITH ENGINEERS DRAWINGS



BOTTOM PLATE IN ENTRY
SCALE 1:10



DETAIL 1 (6KN)
SCALE 1:10

WALL FRAMING NOTE
EXTERNAL WALL FRAMING
2.605M HIGH TO TOP OF TOP PLATE PACKER
90X45MM SGB H1.2 STUDS AT 400MM C-C
UP TO 4.200 MAX. RAKED GABLE WALLS
140X45MM SGB H1.2 STUDS AT 300MM C-C
WALL FRAMING NOG SPACINGS
NOGS AT 850MM C-C FOR BRICK
NOGS AT 800MM C-C FOR EZ PANEL
NOGS AT 800MM C-C FOR STRATUM PANELS
INTERNAL WALL FRAMING
2.605M HIGH TO TOP OF TOP PLATE PACKER
90X45MM SGB H1.2 STUDS AT 600MM C-C

INSULATION NOTE
EXTERNAL WALL INSULATION
R2.6 BRADFORD GOLD WALL INSULATION
INTERNAL WALL BETWEEN HOUSE AND GARAGE IS ALSO TO BE INSULATED
CEILING INSULATION
BOTTOM LAYER R1.8 BRADFORD GOLD
TOP LAYER R5.2 BRADFORD GOLD
CEILING PERIMETER 2 X LAYER R1.8
REFER TO DETAIL ON SHEET 0B
RAKING CEILING INSULATION
R7.0 PINK BATTS ULTRA (265MM MAX THICK)

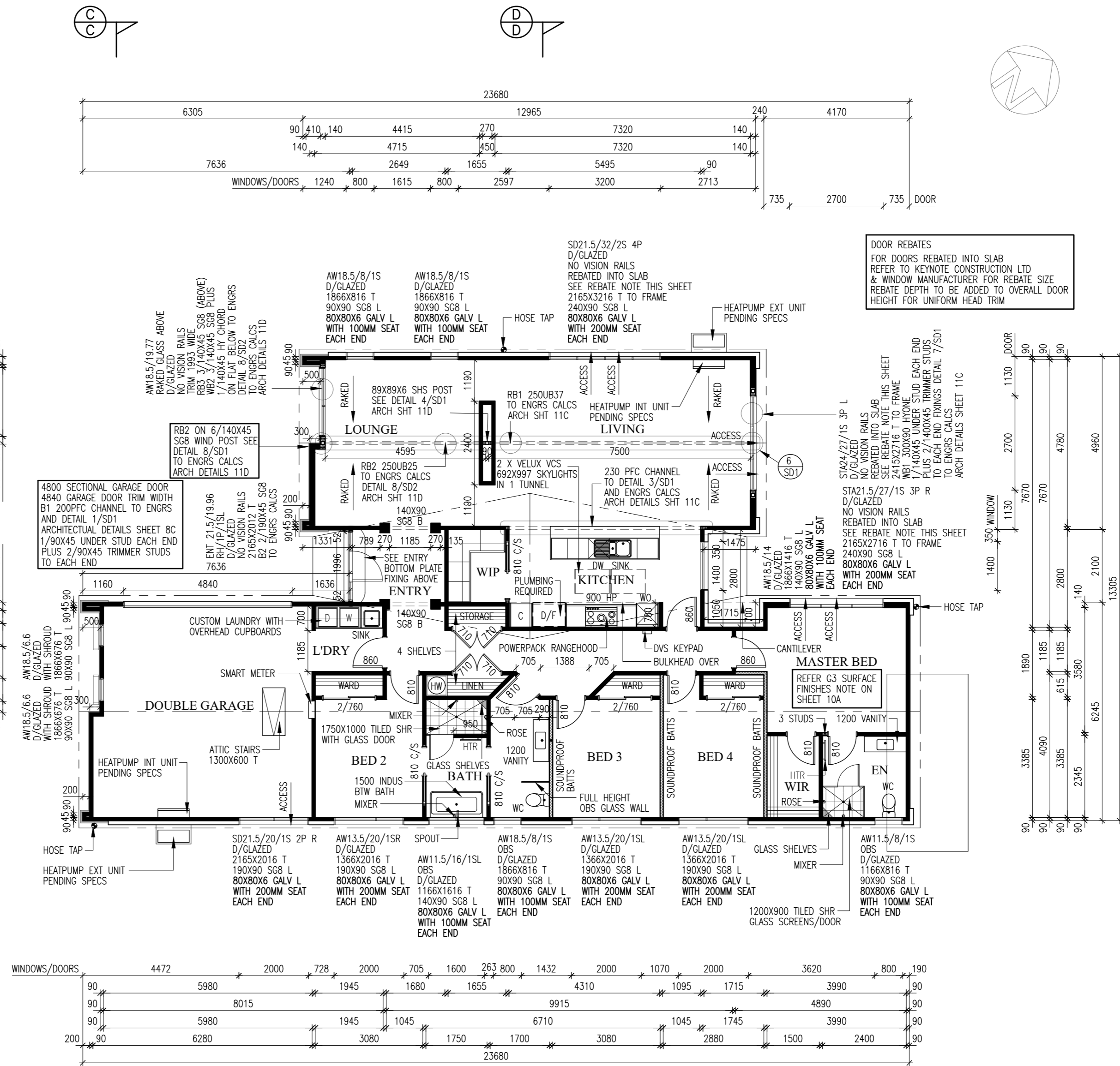
ENGINEERING INFO
REFER ENGINEERING TO WILTON JOUBERT DESIGN & CALCS ATTACHED WITH PLANS
- LINTELS AND BEAMS AS SPECIFIED ON THIS FLOOR PLAN
- FOUNDATIONS AS SPECIFIED ON SHEETS 6 AND TO BE READ IN CONJUNCTION WITH ENGINEERS DRAWINGS

REFER TO SHEET(S) 7 FOR LINTEL FIXINGS

NZBC F5 CONSTRUCTION & DEMO HAZARDS NOTE
ENSURE NZBC CLAUSE F5 IS FOLLOWED FOR CONSTRUCTION AND DEMOLITION WORK ON BUILDINGS. TO SAFEGUARD PEOPLE FROM INJURY, AND OTHER PROPERTY FROM DAMAGE, CAUSED BY CONSTRUCTION OR DEMOLITION SITE HAZARDS

CONTROL JOINTS
FOR GIB WALL & CEILING CONTROL JOINT RECOMMENDATIONS REFER TO DETAILS & NOTES ON SHEET 10B

JOINERY NOTE
R0.46 TO ALL JOINERY:
- THERMALLY BROKEN ALUMINUM JOINERY
- DOUBLE GLAZED
- THERMAL SPACERS BETWEEN GLAZING
- LOW E GLASS (MID PERFORMANCE)
- ARGON GAS FILLED



2570 STUD THROUGHOUT UNLESS NOTED OTHERWISE
2150 TRIM INTERIOR DOORS

LINTEL NOTE
ALL SGB LINTELS MAY BE SUBSTITUTED WITH GLB GLULAM LINTELS OF SAME SIZE



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BSP NOTES

- FOR SAFETY GLAZING REFER TO ELEVATIONS FOR SAFETY GLASS PLACEMENT IN ACCORDANCE WITH NZS:4223.3:2016.
- REFER BC F4/AS1 SECTION 2.0 FOR WINDOWS REQUIRING SECURITY STAYS FOR SAFETY FROM FALLING.
- REFER BC D1/AS1 FOR WINDOWS REQUIRING SECURITY STAYS THAT OPEN ONTO MAIN THOROUGH FAIRS/WALK WAYS. INSTALLED/ DETERMINED BY JOINERY MANUFACTURER.
- ALL ASPECTS OF THIS PROJECT MUST FULLY COMPLY WITH NZS 3604 & ALL RELEVANT RELATED APPROVED DOCUMENTS AND PROVISIONS OF THE NZ BUILDING CODE WHETHER OR NOT DETAILED IN THESE PLANS.
- GARAGE TO BE LINED AND PAINTED.
- FOR ANY AND ALL WET AREA DETAILS REFER TO SHEET(S) 16.

ZONES

WIND ZONE	HIGH
EXPOSURE ZONE	C
EARTHQUAKE ZONE	1
SNOW LOADING	NO

TIMBER GRADING
ALL STRUCTURAL TIMBER USED ARE TO BE MIN. STRUCTURAL GRADE 8 H1.2 TIMBER UNLESS SPECIFIED BY DESIGNER/PRE-CUT/ENGINEER.

WINDOW CODES

AW12/20/1SL	WINDOW TYPE AND SIZE
1216X2016 T	TRIM SIZE FOR PRECUT
190X90 SGB L	LINTEL SIZE

AREAS

FLOOR AREA HOUSE	191.00 SQ. METRES
DOUBLE GARAGE	43.83 SQ. METRES
TOTAL AREA	234.83 SQ. METRES
PERIMETER FRAME	82.98 METRES
SOFFIT/GABLE LENGTH	83.19 METRES
ROOF AREA	253.53 SQ. METRES

LEGAL DESCRIPTION

LOT NO	08
DP	596768
AREA	604 SQ. METRES
STREET NO	7 TE URU LANE

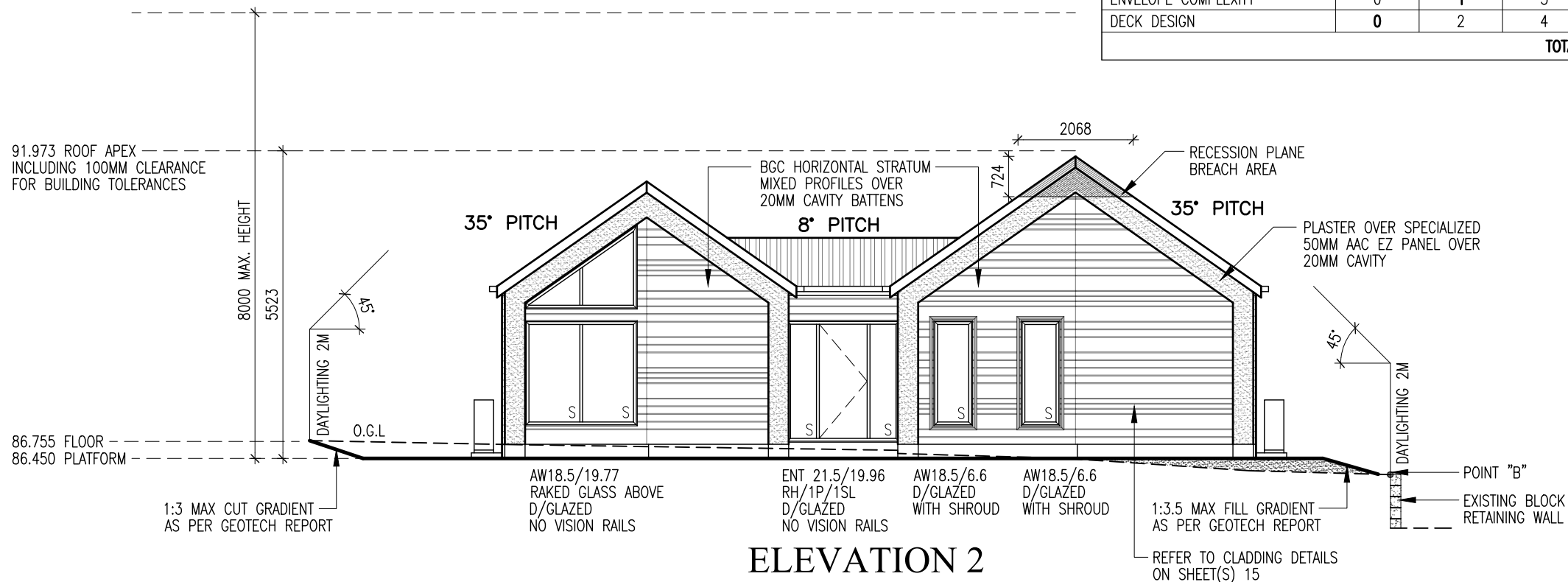
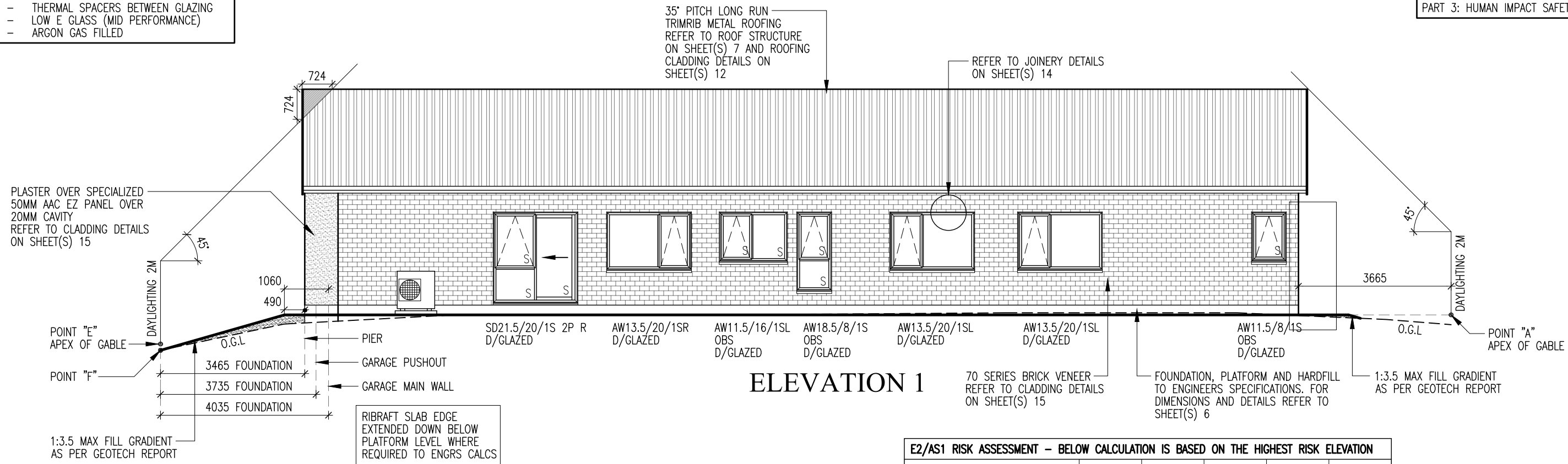
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SALES NIGEL

DRAWN STEPHEN	DATE 03/07/2024
ENGINEER DT 135042	
REVISED	8/8/2024
NLD504	FLOOR PLAN
KEYNOTE CONSTRUCTION LTD	
7 TE URU LANE	
LOT 8 DP 596768, KERIKERI	
SCALE 1:100 ON A2	SHEET 3A

JOINERY NOTE
 R0.46 TO ALL JOINERY:
 - THERMALLY BROKEN ALUMINUM JOINERY
 - DOUBLE GLAZED
 - THERMAL SPACERS BETWEEN GLAZING
 - LOW E GLASS (MID PERFORMANCE)
 - ARGON GAS FILLED

JOINERY GLAZING NOTE
 S = SAFETY GLAZING REFER TO ELEVATIONS FOR SAFETY GLASS PLACEMENT IN ACCORDANCE WITH NZS4223.3:2016 GLAZING IN BUILDINGS - PART 3: HUMAN IMPACT SAFETY REQUIREMENTS.



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BSP

NOTES

- REFER BC F4/AS1 SECTION 2.0 FOR WINDOWS REQUIRING SECURITY STAYS FOR SAFETY FROM FALLING.
- REFER BC D1/AS1 FOR WINDOWS REQUIRING SECURITY STAYS THAT OPEN ONTO MAIN THOROUGH FAIRS/WALK WAYS. INSTALLED/ DETERMINED BY JOINERY MANUFACTURER.
- IF AT ANY POINT DURING THE DESIGN AND/OR BUILD THERE IS A CHANGE IN CLADDING THE DESIGNER AND ENGINEER ARE TO BE NOTIFIED IMMEDIATELY.

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REVISED	

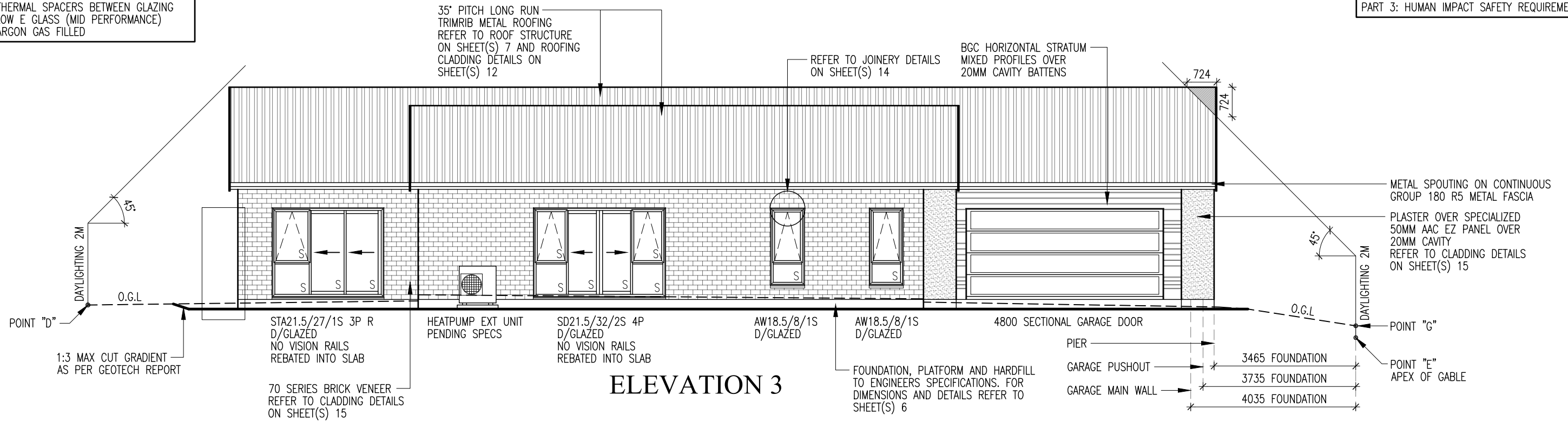
NLD504 ELEVATIONS

KEYNOTE CONSTRUCTION LTD
 7 TE URU LANE
 LOT 8 DP 596768, KERIKERI

SCALE 1:100 ON A3 SHEET 4A

JOINERY NOTE
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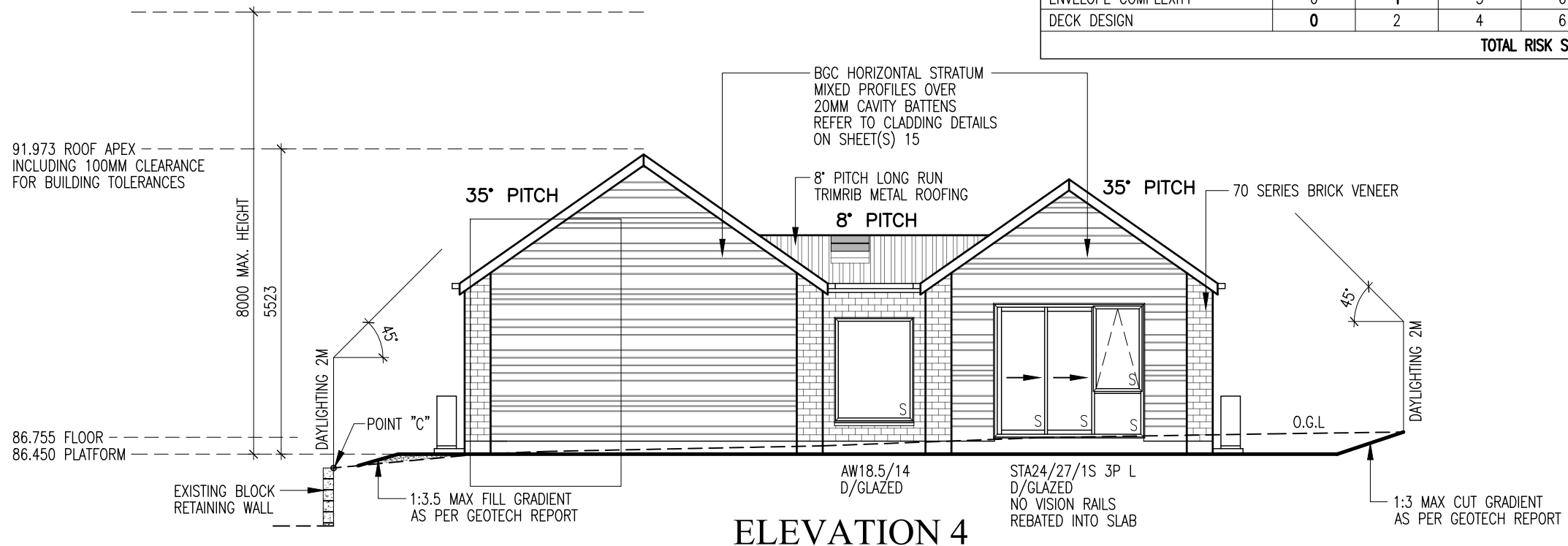
JOINERY GLAZING NOTE
 S = SAFETY GLAZING REFER TO ELEVATIONS
 FOR SAFETY GLASS PLACEMENT IN ACCORDANCE
 WITH NZS4223.3:2016 GLAZING IN BUILDINGS -
 PART 3: HUMAN IMPACT SAFETY REQUIREMENTS.



REFER "X" POINTS TO DAYLIGHTING POINTS ON SITE PLAN

E2/AS1 RISK ASSESSMENT - BELOW CALCULATION IS BASED ON THE HIGHEST RISK ELEVATION

RISK FACTOR	LOW	MEDIUM	HIGH	VERY HIGH	SUBTOTALS
WIND ZONE (PER NZS 3604)	0	0	1	2	1
NUMBER OF STOREYS	0	1	2	4	0
ROOF/WALL INTERSECTION DESIGN	0	1	3	5	1
EAVES WIDTH	0	1	2	5	2
ENVELOPE COMPLEXITY	0	1	3	6	1
DECK DESIGN	0	2	4	6	2
TOTAL RISK SCORE:					7



BSP NOTES

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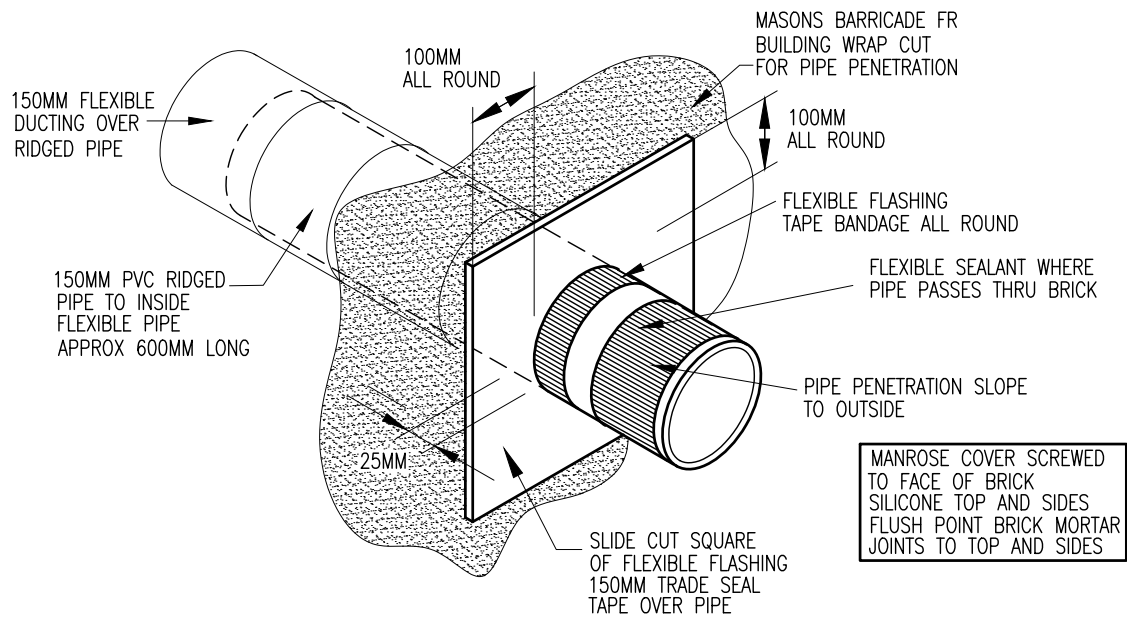
DRAWN STEPHEN	DATE 03/07/2024
REVISED	[8/8/2024]
REVISED	

NLD504	ELEVATIONS
KEYNOTE CONSTRUCTION LTD	
7 TE URU LANE	
LOT 8 DP 596768, KERIKERI	
SCALE 1:100 ON A3	SHEET 4B

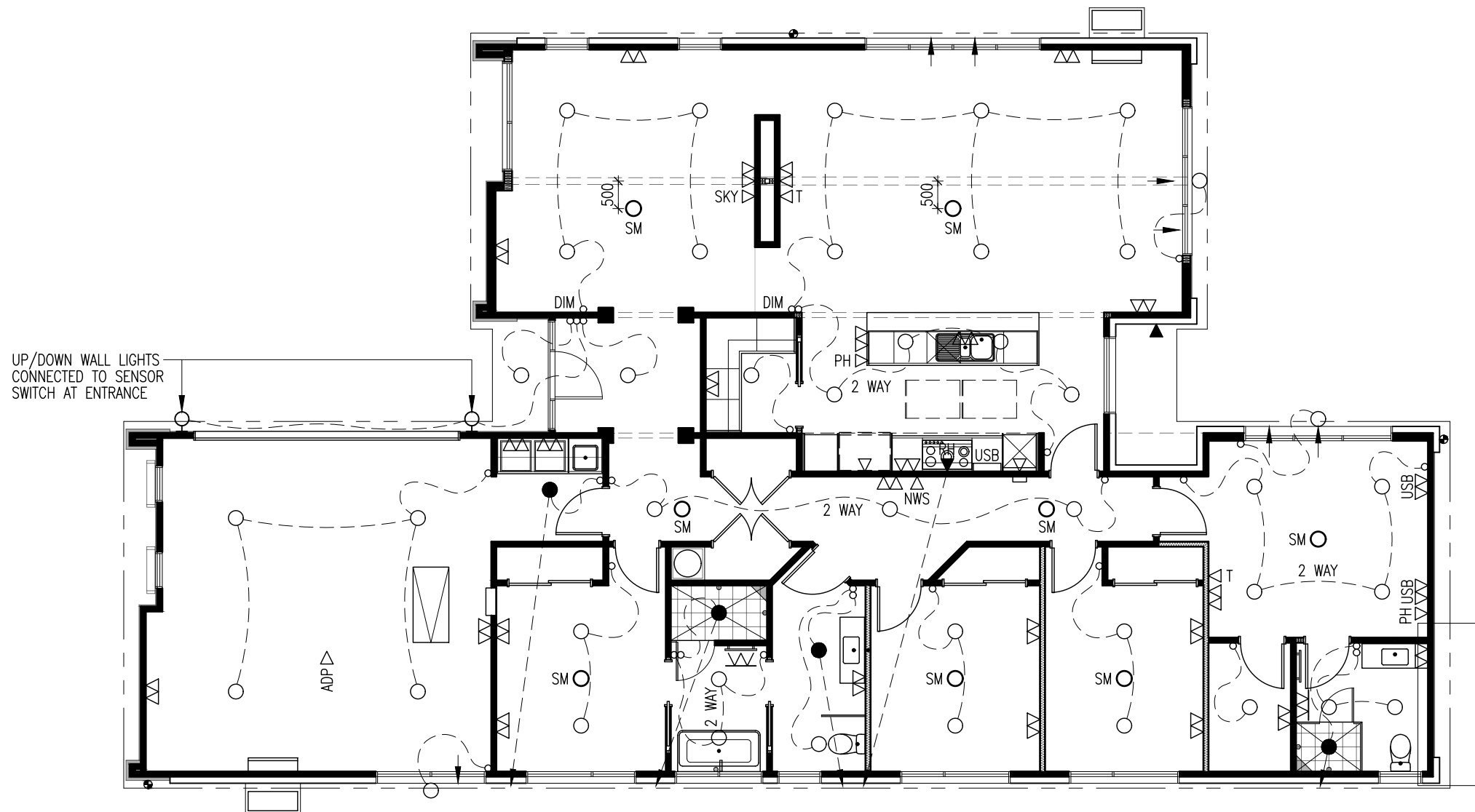
ELECTRICAL LEGEND

ALLOW TO CONFIRM POSITION OF FITTINGS ON SITE IN CONSULTATION WITH CLIENTS. ALLOW FOR HOBBS, OVEN AND HW CYLINDER WIRING. ALLOW FOR TEMPORARY BUILDERS SUPPLY. ALLOW FOR CONNECTIONS AND INSPN. FEES.

○	RECESSED LIGHT (CA RATED) (CA80 OR CO135 RATED)	43
●	2 IN 1 FAN LIGHT DUCTED TO SOFFIT GRATE MINIMUM 25L PER SECOND	4
⊕	UP/DOWN WALL LIGHT CONNECTED TO SENSOR	2
○	LIGHT SWITCH	26
DIM ○	DIMMER LIGHT SWITCH (PUSH BUTTON)	2
2 WAY	2 WAY LIGHT CIRCUIT	4
3 WAY	3 WAY LIGHT CIRCUIT	0
▽	DOUBLE POWER POINT	25
USB	DOUBLE POWER POINT WITH USB PORTS	2
USB	USB CHARGING STATION WITH SHELF	1
▽	SINGLE POWER POINT	2
NWS	NIGHT WALK SENSOR LIGHT WITH POWER POINT	1
▼	EXTERNAL POWER POINT	1
—	HEATED TOWEL RAILS	2
∇	BATHROOM WALL HEATER	2
ADP▷	AUTO DOOR POINT	1
SKY▷	SKY CONNECTION	1
T▷	TV POINT	2
PH▷	PHONE/DATA JACK	2
RH▷	RANGE HOOD DUCTING/P.P DUCTED TO SOFFIT GRATE MINIMUM 50L PER SECOND	1
SM ○	SMOKE ALARM HARD WIRED OR BATTERY	8
	MAINS	20M
	METER BOX	1
	DVS SYSTEM	1
	PREWIRE EV CHARGING STATION IN GARAGE	1
	ALARM (3 SENSORS, 1 PANIC, 1 KEYPAD, INT/EXT SIRENS)	1



EXTRACTOR VENT DUCT FLASHING



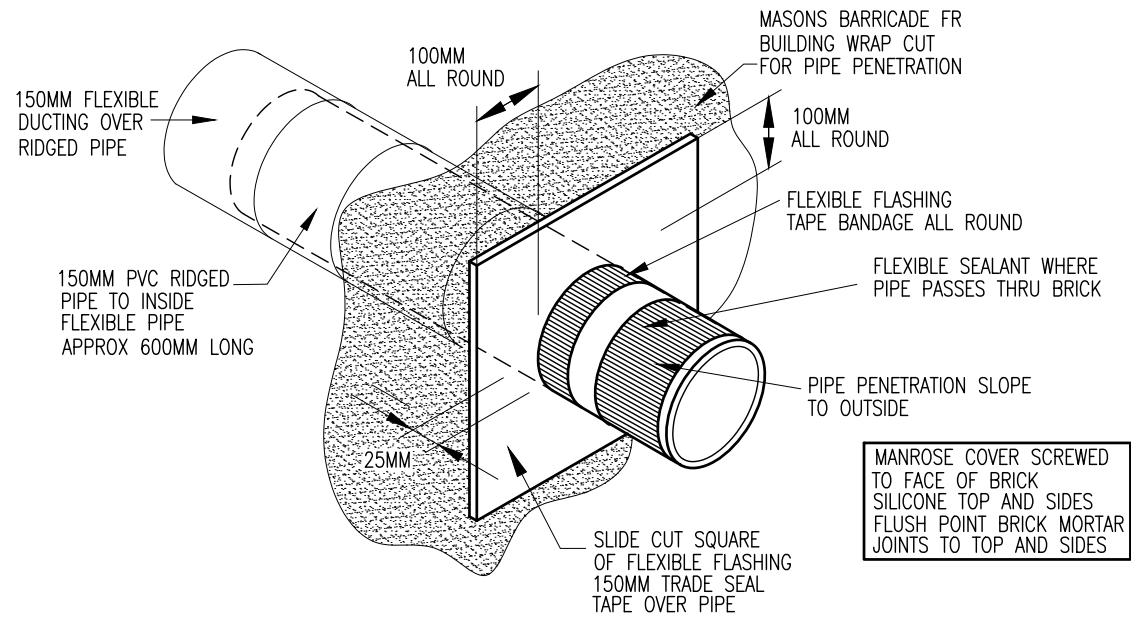
BRACING ELEMENT NOTE
ELECTRICIANS TO ENSURE THAT ALL POWER POINTS AND LIGHT SWITCHES ARE MIN 90MM FROM EDGE OF ALL BRACE WALLS. AS PER GIB EZYBRACE SYSTEMS GUIDE.

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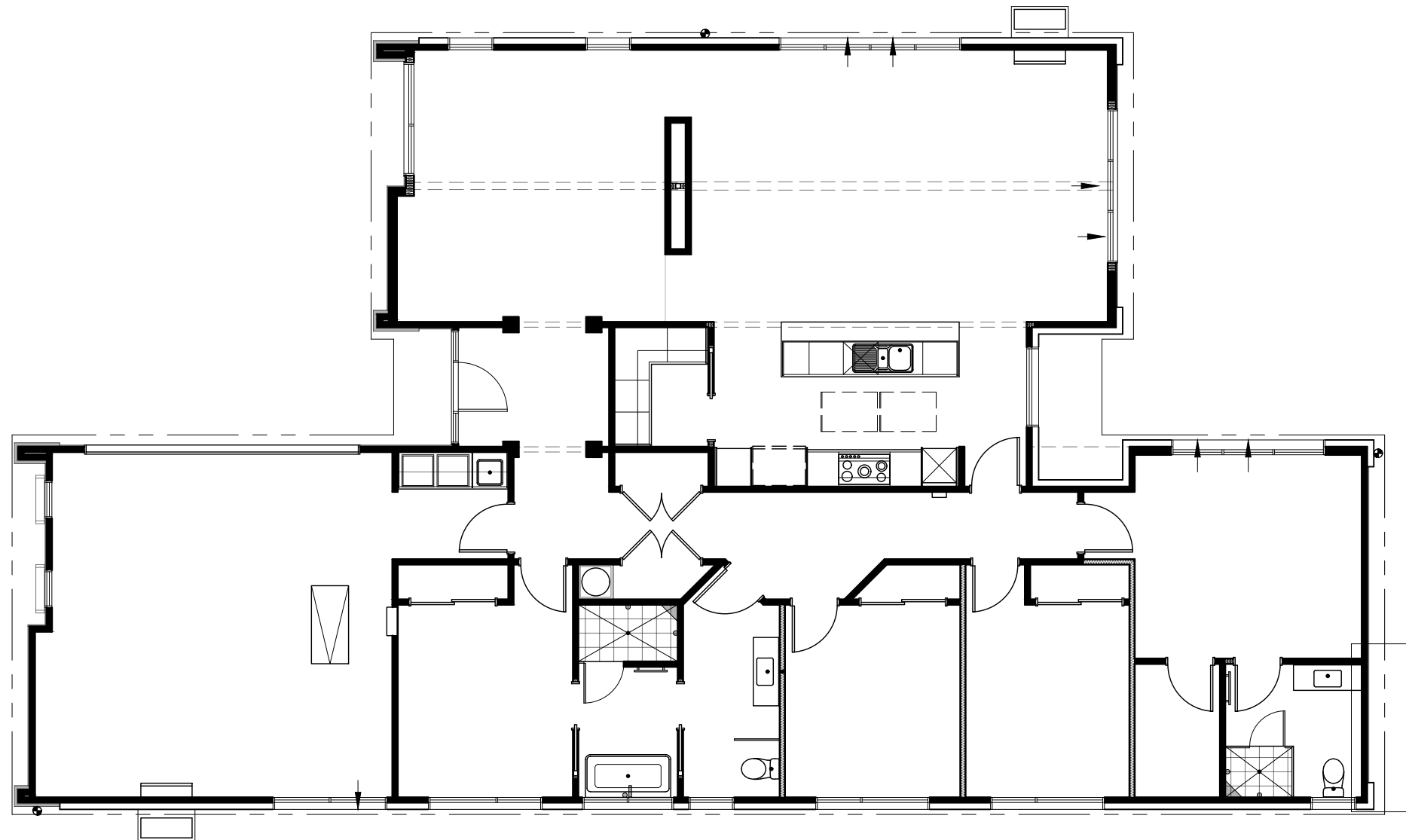
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SALES NIGEL	
DRAWN STEPHEN	DATE 03/07/2024
REVISED	8/8/2024
REVISED	

NLD504	ELECTRICAL
KEYNOTE CONSTRUCTION LTD	
7 TE URU LANE	
LOT 8 DP 596768, KERIKERI	
SCALE 1:100 ON A3	SHEET 5A



EXTRACTOR VENT DUCT FLASHING



BRACING ELEMENT NOTE
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BSP

ELECTRICAL LEGEND

ALLOW TO CONFIRM POSITION OF FITTINGS ON SITE IN CONSULTATION WITH CLIENTS. ALLOW FOR HOB'S, OVEN AND HW CYLINDER WIRING. ALLOW FOR TEMPORARY BUILDERS SUPPLY. ALLOW FOR CONNECTIONS AND INSPN. FEES.

○	RECESSED LIGHT (CA RATED) (CA80 OR CO135 RATED)	43
●	2 IN 1 FAN LIGHT DUCTED TO SOFFIT GRATE MINIMUM 25L PER SECOND	4
⊕	UP/DOWN WALL LIGHT CONNECTED TO SENSOR	2
○	LIGHT SWITCH	26
DIM ○	DIMMER LIGHT SWITCH (PUSH BUTTON)	2
2 WAY	2 WAY LIGHT CIRCUIT	4
3 WAY	3 WAY LIGHT CIRCUIT	0
▽	DOUBLE POWER POINT	25
USB ▽	DOUBLE POWER POINT WITH USB PORTS	2
USB	USB CHARGING STATION WITH SHELF	1
▽	SINGLE POWER POINT	2
NWS ▽	NIGHT WALK SENSOR LIGHT WITH POWER POINT	1
▼	EXTERNAL POWER POINT	1
—	HEATED TOWEL RAILS	2
∇	BATHROOM WALL HEATER	2
ADP▷	AUTO DOOR POINT	1
SKY▷	SKY CONNECTION	1
T▷	TV POINT	2
PH▷	PHONE/DATA JACK	2
RH▶	RANGE HOOD DUCTING/P.P DUCTED TO SOFFIT GRATE MINIMUM 50L PER SECOND	1
SM ○	SMOKE ALARM HARD WIRED OR BATTERY	8
	MAINS	20M
	METER BOX	1
	DVS SYSTEM	1
	PREWIRE EV CHARGING STATION IN GARAGE	1
	ALARM (3 SENSORS, 1 PANIC, 1 KEYPAD, INT/EXT SIRENS)	1

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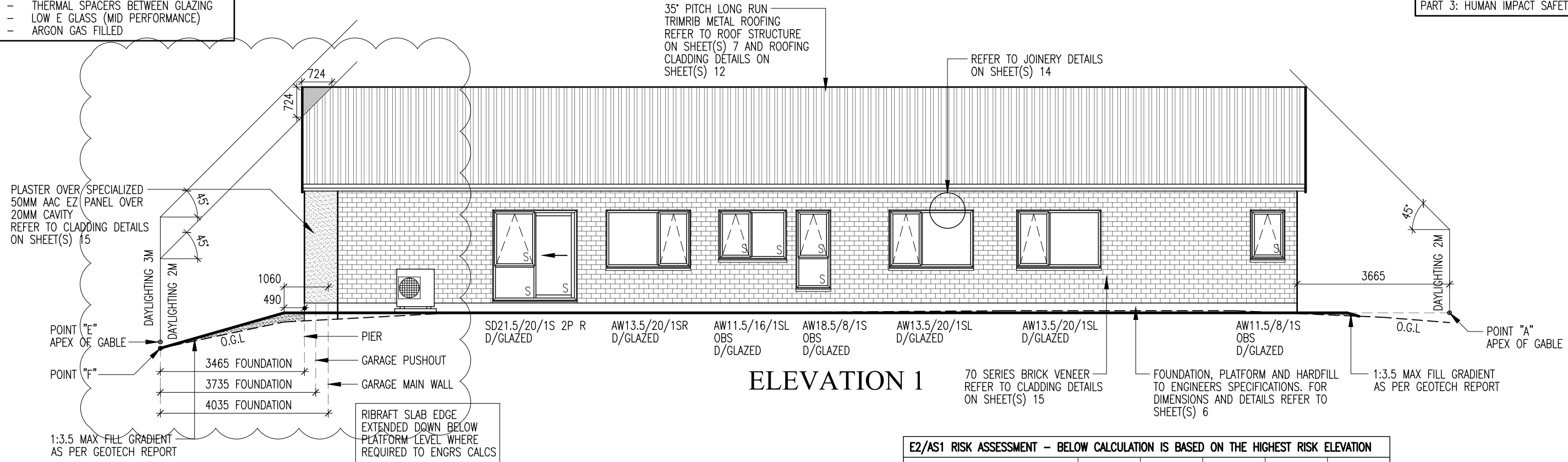
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DRAWN STEPHEN	DATE 03/07/2024
REVISED	8/8/2024
REVISED	

NLD504 ELECTRICAL

KEYNOTE CONSTRUCTION LTD
7 TE URU LANE
LOT 8 DP 596768, KERIKERI

JOINERY NOTE
 RO.46 TO ALL JOINERY:
 - THERMALLY BROKEN ALUMINUM JOINERY
 - DOUBLE GLAZED
 - THERMAL SPACERS BETWEEN GLAZING
 - LOW E GLASS (MID PERFORMANCE)
 - ARGON GAS FILLED

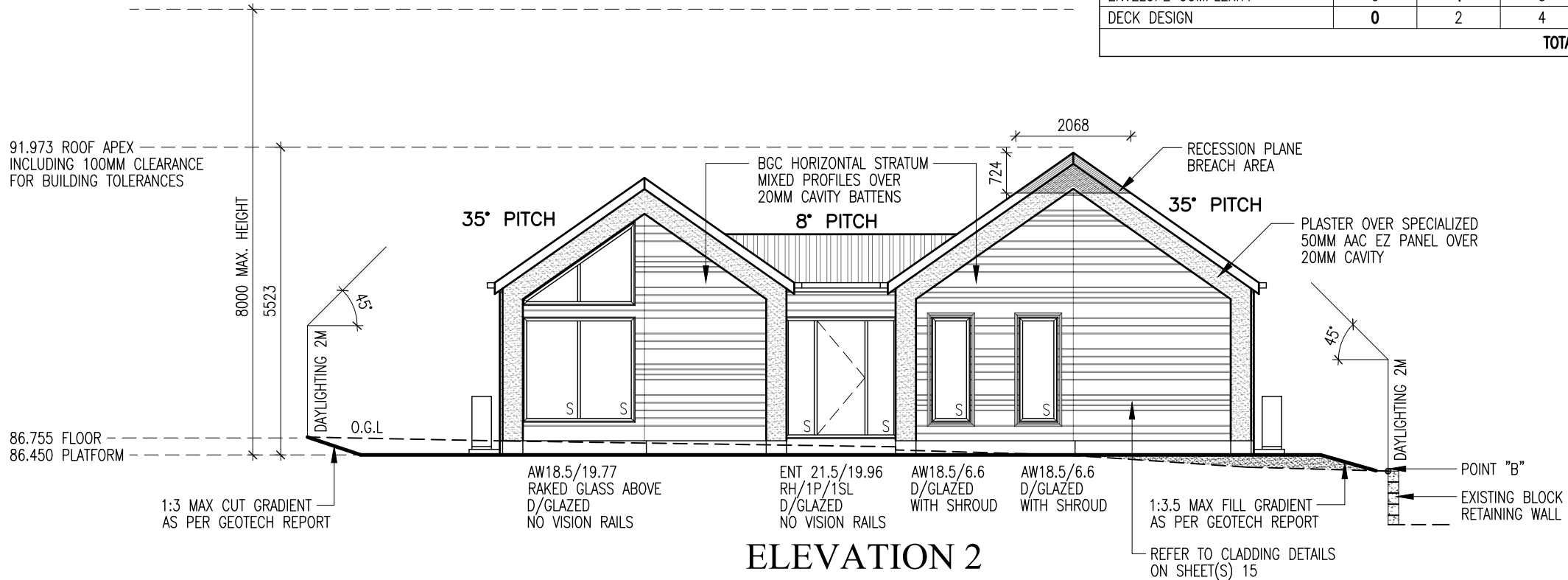
JOINERY GLAZING NOTE
 S = SAFETY GLAZING REFER TO ELEVATIONS FOR SAFETY GLASS PLACEMENT IN ACCORDANCE WITH NZS4223.3:2016 GLAZING IN BUILDINGS - PART 3: HUMAN IMPACT SAFETY REQUIREMENTS.



REFER "X" POINTS TO DAYLIGHTING POINTS ON SITE PLAN

E2/AS1 RISK ASSESSMENT - BELOW CALCULATION IS BASED ON THE HIGHEST RISK ELEVATION

RISK FACTOR	LOW	MEDIUM	HIGH	VERY HIGH	SUBTOTALS
WIND ZONE (PER NZS 3604)	0	0	1	2	1
NUMBER OF STOREYS	0	1	2	4	0
ROOF/WALL INTERSECTION DESIGN	0	1	3	5	1
EAVES WIDTH	0	1	2	5	2
ENVELOPE COMPLEXITY	0	1	3	6	1
DECK DESIGN	0	2	4	6	2
TOTAL RISK SCORE:					7



Platinum Homes

BSP

NOTES

- REFER BC F4/AS1 SECTION 2.0 FOR WINDOWS REQUIRING SECURITY STAYS FOR SAFETY FROM FALLING.
- REFER BC D1/AS1 FOR WINDOWS REQUIRING SECURITY STAYS THAT OPEN ONTO MAIN THOROUGH FAIRS/WALK WAYS. INSTALLED/ DETERMINED BY JOINERY MANUFACTURER.
- IF AT ANY POINT DURING THE DESIGN AND/OR BUILD THERE IS A CHANGE IN CLADDING THE DESIGNER AND ENGINEER ARE TO BE NOTIFIED IMMEDIATELY.

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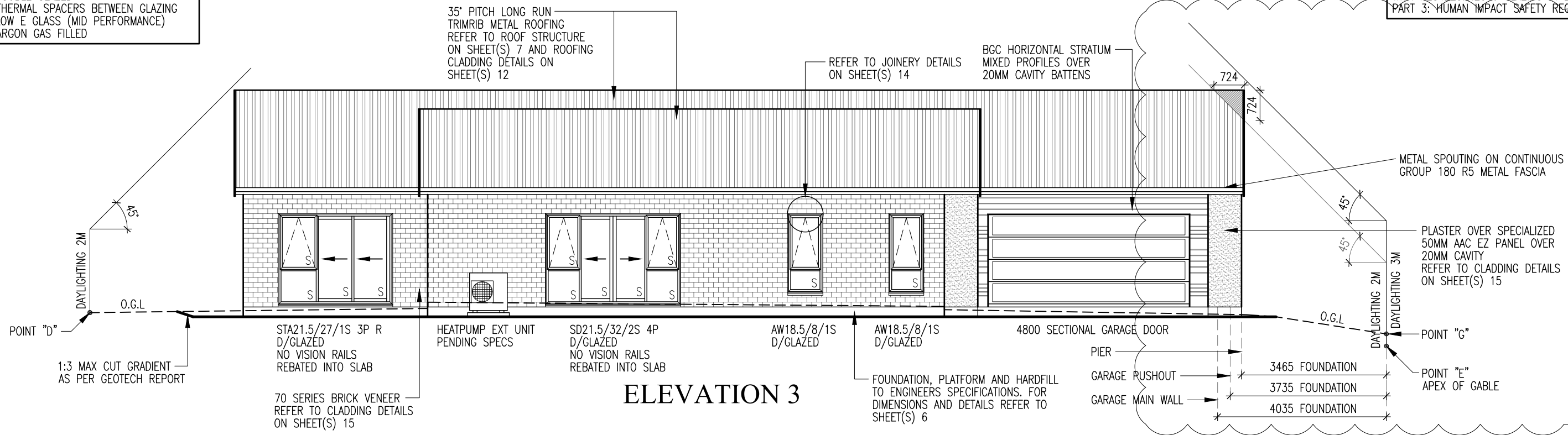
NLD504 ELEVATIONS

KEYNOTE CONSTRUCTION LTD
 7 TE URU LANE
 LOT 8 DP 596768, KERIKERI

SCALE 1:100 ON A3 SHEET 4A

JOINERY NOTE
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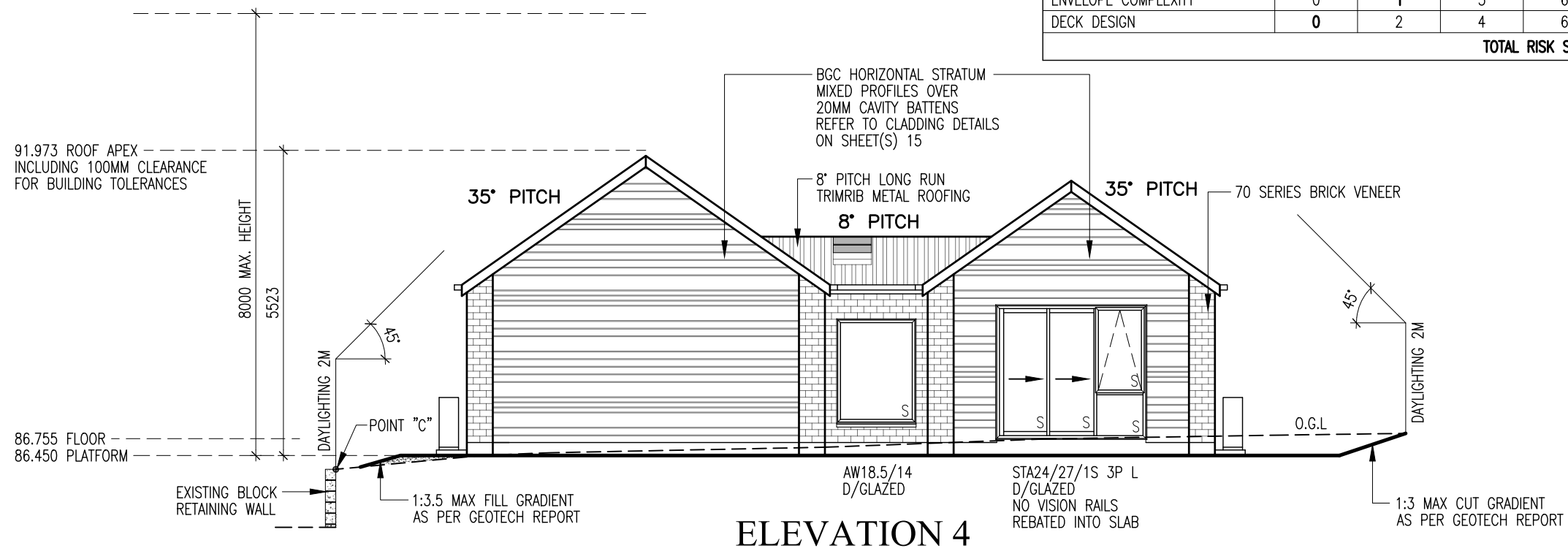
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REFER "X" POINTS TO DAYLIGHTING POINTS ON SITE PLAN

E2/AS1 RISK ASSESSMENT - BELOW CALCULATION IS BASED ON THE HIGHEST RISK ELEVATION

RISK FACTOR	LOW	MEDIUM	HIGH	VERY HIGH	SUBTOTALS
WIND ZONE (PER NZS 3604)	0	0	1	2	1
NUMBER OF STOREYS	0	1	2	4	0
ROOF/WALL INTERSECTION DESIGN	0	1	3	5	1
EAVES WIDTH	0	1	2	5	2
ENVELOPE COMPLEXITY	0	1	3	6	1
DECK DESIGN	0	2	4	6	2
TOTAL RISK SCORE:					7



BSP
NOTES

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REVISED	15/8/2024

NLD504 ELEVATIONS
KEYNOTE CONSTRUCTION LTD
 7 TE URU LANE
 LOT 8 DP 596768, KERIKERI
 SCALE 1:100 ON A3 SHEET 4B

SITE 7 Te Uru Lane, Kerikeri
 LEGAL DESCRIPTION Lot 8 DP 596768
 PROJECT Proposed Residential Dwelling
 CLIENT Platinum Homes (Northland)
 REFERENCE NO. 133385
 DOCUMENT Stormwater Mitigation Report
 STATUS/REVISION No. B
 DATE OF ISSUE 6 August 2024

Report Prepared For	Email
Platinum Homes	Nigel.Turner@platinumhomes.co.nz

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Approved by	B. Steenkamp (CPEng, BEng Civil, CMEngNZ, BSc (Geology))	Senior Civil Engineer	BenS@wjl.co.nz	

1. EXECUTIVE SUMMARY

The following table is intended to be a concise summary which must be read in conjunction with the relevant report sections as referenced herein.

Legal Description:	Lot 8 DP 596768	
Site Area:	604m ²	
Development Type:	Proposed Residential Dwelling	
Development Proposals Supplied:	Plan Set provided by Platinum Homes (Ref No: NLD504, dated: 2023.03.11)	
District Plan Zone:	Residential	
Permitted Activity Coverage:	<u>50%</u>	
	Post-Development Impermeable Areas	
Impermeable Coverage:	Proposed Roof Area	254m ²
	Total Uncovered Hardstand	72m ²
	Total impermeable area = 326m ² or 54% of the site area	
Activity Status:	<u>Controlled Activity</u>	
Consent Conditions:	On-site stormwater soakage pit capable of providing suitable soakage for rainfall events up to and including the 5-year Annual Return Interval to be provided. Overflow from the soakage pit is to be discharged via the reticulated stormwater network.	
Attenuation Requirements:	Soakpit for the MPD to manage the 20% AEP Storm Event (as per consent conditions). Upper section of soakpit used for 10% and 1% AEP Storm Attenuation for impervious areas over the permitted threshold.	
Soakage pit Specifications:	<p>Inlet Chamber Minimum 1.2m deep chamber with grated inlet cover to be installed in proposed driveway. Fitted with:</p> <ul style="list-style-type: none"> • <u>100mmØ Soakage Pit Outlet</u> installed level at or less than 350mm above base of crates. • Minimum 100mmØ outlet pipe to the stormwater connection. Outlet to be below the Soakage Pit Outlet invert level and fitted with a bend and riser pipe with 18mm orifice at 350mm above crate base level and overflow above crate soffit level. <p>Soakage Pit</p> <ul style="list-style-type: none"> • 88 x single module CIRTEX RAINSMART crates. Total storage volume 10.53m³ • Minimum Pit Dimensions – 7.87m long x 3.2m wide x 0.44m deep with minimum 600mm cover. • Soakage Pit to be lined with geotextile filter cloth. • Air vent connected to the top of the crate system to be installed. 	
Point of Discharge:	To available stormwater connection.	

2. SCOPE OF WORK

Wilton Joubert Ltd. (WJL) was engaged by the client, **Platinum Homes (Northland)**, to produce an on-site stormwater mitigation assessment at the above site.

At the time of report writing, we have been supplied the following documents:

- Plan Set supplied by Platinum Homes including site plan, floor plan and elevations (Ref No: NLD504, dated: 03.07.2024)

Should any changes be made to the provided plans with stormwater management implications, WJL must be contacted for review.

3. SITE DESCRIPTION

The 604m² property is legally described as Lot 8 DP 596768 and is part of the subdivision of 373 Kerikeri Road.

The plan set provided by Platinum Homes (Ref No: NLD504, dated: 03.07.2024) indicates that the property is to be serviced by public stormwater, wastewater and potable water reticulation, with connections along the lot's south-western boundary.

4. DEVELOPMENT PROPOSALS

The development proposal, obtained from the client, is to construct a residential dwelling and associated hardstand areas on-site as depicted in the plan set provided by Platinum Homes (Ref No: NLD504, dated: 03.07.2024).

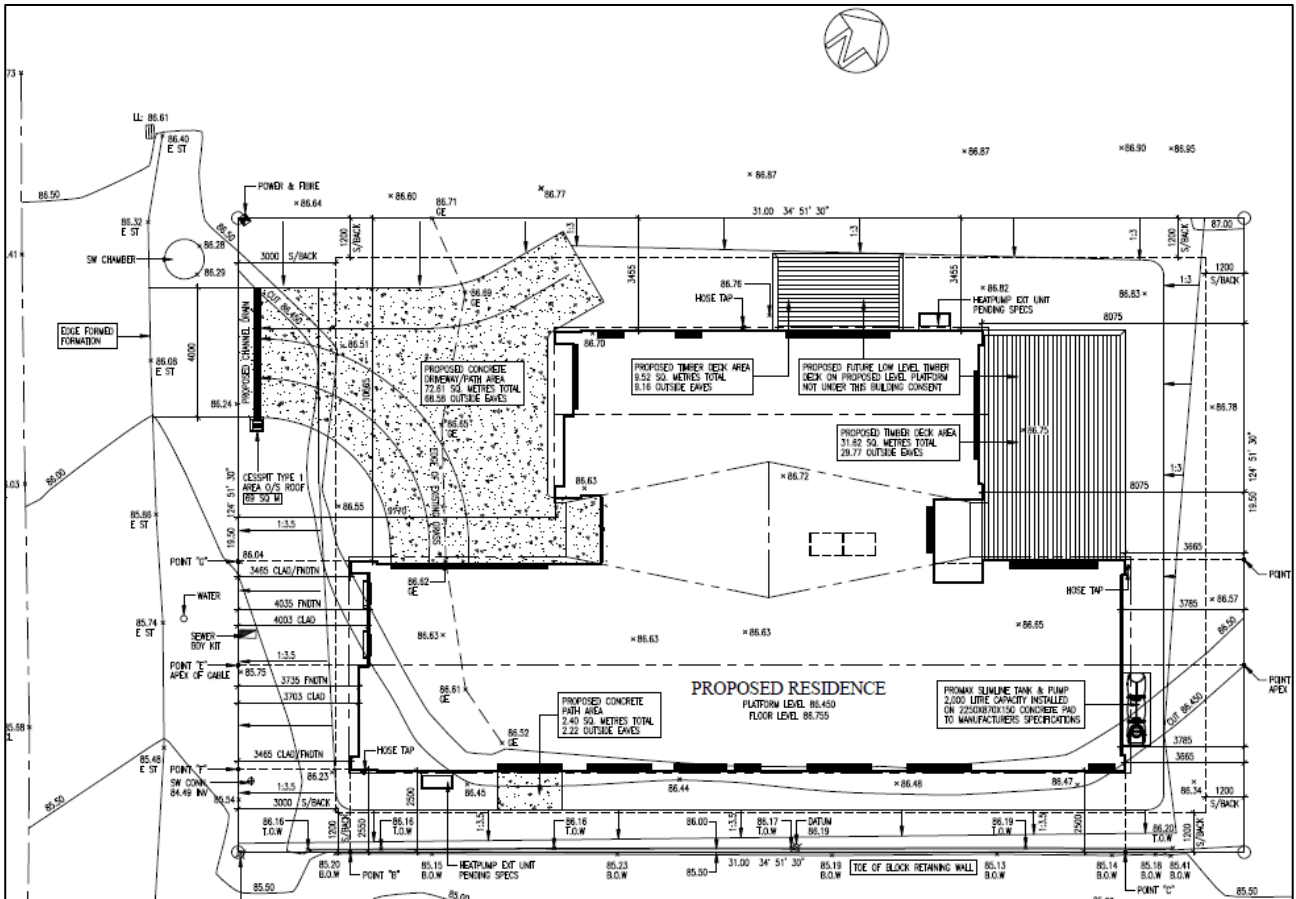


Figure 1: Snip of Proposed Site Plan Provided by Platinum Homes (Ref No: NLD504, dated: 03.07.2024)

The principal objective of this assessment is to provide an indicative stormwater disposal design which will manage runoff generated from the proposed impermeable areas resulting from the proposed development.

5. ASSESSMENT CRITERIA

Impermeable Areas

The calculations for the development's stormwater system are based on a gross site area of 604m² and the below areas extracted from the supplied plans:

	Pre-Development	Post-Development	Total Change
Proposed Roof Area	0 m ²	254 m ²	254 m ²
Total Uncovered Hardstand	0 m ²	72 m ²	72 m ²
Proposed Driveway	0 m ²	69 m ²	
Proposed Patio Area	0 m ²	3 m ²	
Pervious	604 m ²	278 m ²	-326 m ²

The total amount of impermeable area on site, post-development, equates to 326m² or 54% of the site area. Should any changes be made to the current proposal, the on-site stormwater mitigation design must be reviewed.

District Plan Rules

The site is zoned Residential. The following rules apply under the FNDC District Plan:

7.6.5.1.6 – **Permitted Activities – Stormwater Management** - The maximum proportion of the gross site area covered by buildings and other impermeable surfaces shall be 50%.

7.6.5.2.1 – **Controlled Activities – Stormwater Management** - The maximum proportion or amount of the gross site area covered by buildings and other impermeable surfaces shall be 60% or 600m², whichever is the lesser.

The total proposed impermeable area for the development exceeds 50% of the site area and does not comply with Permitted Activity Rule (7.6.5.1.6). Therefore, the proposal is considered to be a Controlled Activity. Additional considerations for stormwater management as outlined in the FNDC District Plan Section 7.6.5.2.1 are required. A District Plan Assessment has been included in Section 8 of this report.

Consent Conditions

A stormwater management report for the parent subdivision was completed by Hawthorn Geddes. The report recommends on-lot stormwater disposal via soakage with overflows directed to the reticulated network. The following excerpt from the consent conditions imposed by the FNDC pertaining to RC Number 2220850 contains a condition for the provision of a soakage pit design at building consent stage:

- (iii). At the time of lodgement of a building consent for a dwelling on the lots, the owner shall provide a design prepared by a suitably qualified professional for an on-site stormwater soakage pit capable of providing suitable soakage for rainfall events up to and included a 5 year Annual Return Interval. Overflows from the soakage pits are to be discharged via the reticulated stormwater network. Once approved, the soakage pit is to be constructed and maintained in accordance with the approved design.

Figure 2: Excerpt from consent conditions pertaining to RC Number 2220850.

Design Requirements

The outlined design and recommendations contained within this report are in general accordance with the following documentation:

- *The Far North District Council Engineering Standards 2023 (FNDC EES)*
- *The Far North District Council District Plan*

Giving reference to the Hawthorn Geddes Stormwater Report and the FNDC EES Section 4.3.20, the design requirements for the on-site soakage pit can be summarised as follows:

1. *Soakage devices shall be designed for 20% AEP (+CC 20%) flows from impervious areas,*
2. *Capacity adequate for the maximum potential impermeable area per the site's zoning,*
3. *Factored soakage rate of 100mm/hr per the Hawthorn Geddes Stormwater Report,*
4. *Primary and secondary flows exceeding the capacity of the soakage pit are to be directed to the reticulated stormwater network.*

The total impermeable area in exceedance of Permitted Activity Rule 7.6.5.1.6 is **24m²**. Stormwater attenuation for the 10% AEP and 1% AEP storm events with an adjustment for climate change must therefore be provided for this excess impermeable area.

Stormwater Modelling Method

In general accordance with the subdivision stormwater report, a Type 1A rainfall hyetograph has been utilised in the soakage pit sizing as well as the peak flow mitigation calculations. A 20% AEP rainfall value (+20% for climate change factors) of 178mm, 10% AEP rainfall value (+20% for climate change factors) of 209mm and 1% AEP rainfall value (+20% for climate change factors) of 319mm obtained from HIRDS, has been applied.

Provided that the recommendations within this report are adhered to, the effects of stormwater runoff resulting from the unattenuated proposed impermeable surfaces (302m² total) are considered to have less than minor effects on the receiving environment, equivalent to conditions that would result from development proposals falling within the Permitted Activity coverage threshold.

In addition, this design has been completed in general accordance with the recommendations and requirements contained within the Far North District Engineering Standards and the Far North District Council District Plan as well as Clause E1 of the New Zealand Building Code.

6. STORMWATER MITIGATION ASSESSMENT

To meet the requirements outlined in Section 5, the following must be provided:

Dwelling Roof Drainage

A proprietary guttering system is required to collect roof runoff from the proposed dwelling. Litter filters and/or a first flush diverter may be installed in-line between the roof and the soakage pit inlet chamber. Any installed filters will require regular inspection and cleaning to ensure the effective operation of the system. The frequency of cleaning will depend on current and future plantings around the proposed dwelling.

Roof runoff is to be directed from the dwelling downpipes to the soakage pit inlet chamber specified below.

Hardstand Drainage

The proposed driveway is to be shaped to shed runoff to the strip drain and soakpit inlet chamber.

The proposed patio is to be shaped to shed runoff to an equal or greater sized area of lower-lying lawn/planted areas for passive mitigation. Runoff passed through the lawn/planted areas will be naturally filtered of entrained pollutants via filtration and evapotranspiration.

Stormwater sumps and drainage piping should be in accordance with E1 Surface Water of the NZBC. We recommend the use of litter filters within hardstand catchpits as a pre-treatment device to aid in the longevity of the stormwater mitigation system.

Soakage Pit Inlet Chamber

A minimum 1.2m deep chamber with a grated inlet cover is to be installed in the proposed driveway and fitted with a minimum 100mmØ outlet pipe to the proposed soakage pit (Soakage Pit Outlet) and a minimum 100mmØ outlet pipe to the stormwater connection (Overflow Outlet).

The Soakage Pit Outlet pipe is to be installed level at an invert level of <350mm above the crate base level. The Inlet Chamber's Overflow Outlet to the stormwater connection is to be located below the soakage pit outlet pipe, fitted with a bend and overflow riser with a spill level above the soakage pit soffit level. The overflow riser is to have a 18mm orifice drilled at an invert level of 350mm above the base of the crates.

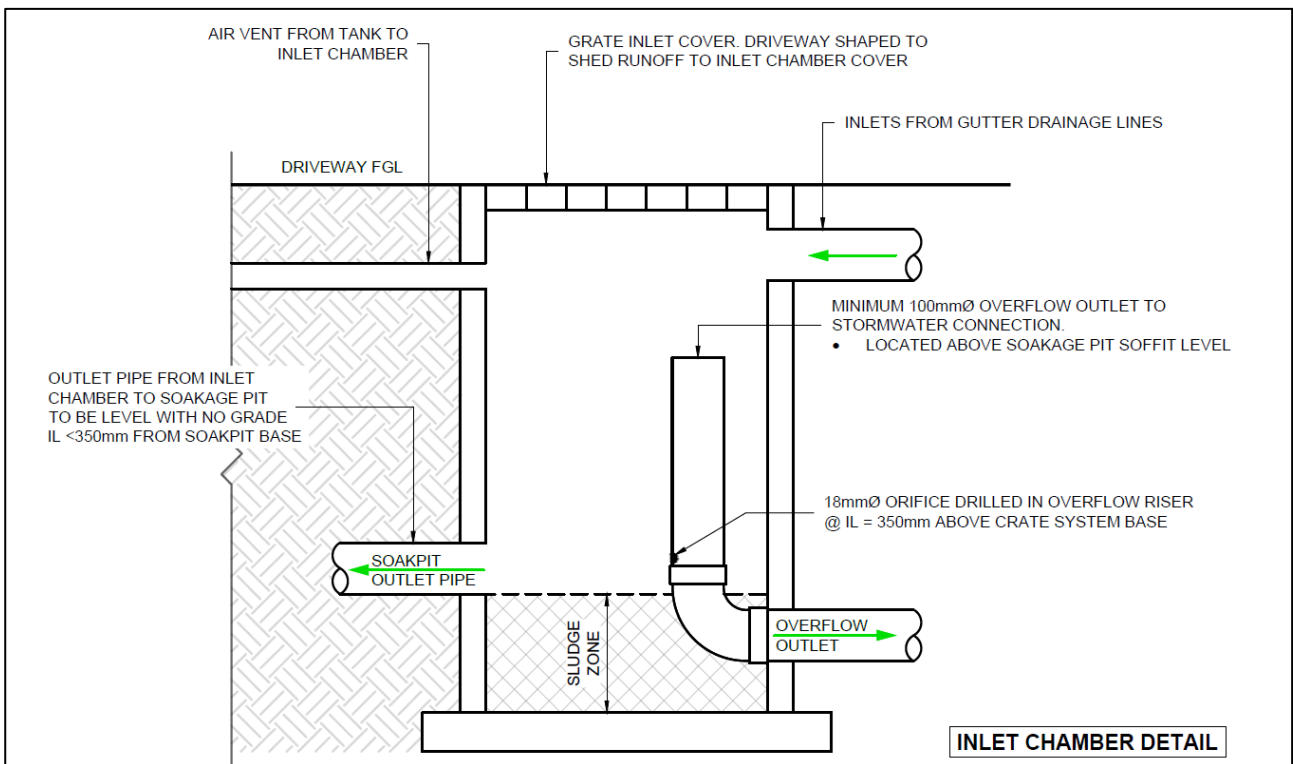


Figure 3: Screenshot of Inlet Chamber / Catchpit

The chamber is to have a sump for debris settlement below the invert level of the outlet pipe to the soakage pit. See the appended Inlet Chamber Detail on 133385-C201.

Soakage Pit

It is recommended to install a soakage pit under the proposed driveway as shown in the appended Site Plan (133385-C200). The soakage pit is to consist of 88 x single module CIRTEX RAINSMART crates (or similar), providing a total nett storage volume of 10.53m³, with the soakage pit having dimensions of 7.87m long x 3.2m wide x 0.44m deep with minimum 600mm cover to accommodate for traffic loads. The soakage pit is to be lined with geotextile filter cloth. An air vent connected to the top of the crate system is to be installed.

7. STORMWATER RUNOFF SUMMARY

Refer to the appended HydroCAD Calculation output.

SOAKAGE - Post-Development Scenario – 20% AEP Storm Event + CCF

Surface	Area	Runoff CN	Volume	Build-up Height
Maximum Probable Development	302m ²	98	8.5m ³	350mm

PERMITTED COVERAGE CONTROL - Pre-Development Scenario – 10% AEP & 1% AEP Storm Events + CCF

Surface	Area	Runoff CN	10% AEP Peak Flow Rate	1% AEP Peak Flow Rate
Greenfields Impermeable Roof Area Exceeding Permitted Activity Threshold	24 m ²	74	0.23ℓ/s	0.41ℓ/s

**PERMITTED COVERAGE CONTROL - Post-Development Scenario – 10% AEP & 1% AEP Storm Events + CCF*

Surface	Area	Runoff CN	10% AEP Peak Flow Rate	1% AEP Peak Flow Rate
Post-Development Impermeable Roof Area Exceeding Permitted Activity Threshold via Detention Tank	24 m ²	98	0.23ℓ/s	0.31ℓ/s

**Assume Crates are filled up to 350mm prior to storm event.*

**No Soakage assumed.*

Given the design parameters, stormwater neutrality has been achieved for the 10% AEP and 1% AEP storm events across the proposed impermeable surfaces over the permitted activity threshold.

8. DISTRICT PLAN ASSESSMENT

As the proposed development is not compliant with Permitted Activity Rule 7.6.5.1.6, it is therefore regarded as a Controlled Activity.

In assessing an application under this provision, the Council will exercise its discretion to review the following matters below, (a) through (i) of FNDCDP Section 7.6.5.2.1.

In respect of matters (a) through (i), we provide the following comments:

<i>(a) the extent to which building site coverage and Impermeable Surfaces contribute to total catchment impermeability and the provisions of any catchment or drainage plan for that catchment;</i>	Impermeable surfaces resulting from the development increase site impermeability by 326m ² . Runoff is to be attenuated to pre-development conditions for the proposed impermeable coverage exceeding the Permitted Activity threshold via an additional detention volume in the proposed Soakage Pit
<i>(b) the extent to which Low Impact Design principles have been used to reduce site impermeability;</i>	Through an attenuation allowance withing the soakpit, the impermeable areas in exceedance of Permitted Activity Rule 7.6.5.1.6 have been attenuated back to pre-development flow rates for the 10% AEP & 1% AEP storm events, adjusted for climate change.

<i>(c) any cumulative effects on total catchment impermeability;</i>	Impervious coverage will increase by 326m ² .
<i>(d) the extent to which building site coverage and Impermeable Surfaces will alter the natural contour or drainage patterns of the site or disturb the ground and alter its ability to absorb water;</i>	Runoff resulting from the proposed impermeable roof area and hardstand areas is to be collected and directed to a soakpit designed to soak the 20% AEP storm event. The soakpit also provides attenuation for the 10% and 1% AEP Storm Events for areas in exceedance of the permitted coverage threshold. Soakpit overflow is directed to the stormwater connection via sealed pipes.
<i>(e) the physical qualities of the soil type;</i>	Kerikeri Volcanic Group – moderate drainage
<i>(f) the availability of land for the disposal of effluent and stormwater on the site without adverse effects on the water quantity and water quality of water bodies (including groundwater and aquifers) or on adjacent sites;</i>	Runoff resulting from the proposed impermeable areas is to be collected and directed to soakpit as per the consent conditions. On-site wastewater disposal is not required due to available wastewater connection.
<i>(g) the extent to which paved, Impermeable Surfaces are necessary for the proposed activity;</i>	The proposed driveway is necessary to provide the proposed dwelling with access and is not considered excessive.
<i>(h) the extent to which landscaping and vegetation may reduce adverse effects of run-off;</i>	Existing vegetation and any plantings introduced by the homeowner during occupancy will aid in reducing surface water velocity and providing treatment. No specific landscaping scheme is proposed as part of the stormwater management system described herein.
<i>(i) the means and effectiveness of mitigating stormwater runoff to that expected by permitted activity threshold.</i>	The impermeable areas in exceedance of Permitted Activity Rule 7.6.5.1.6 have been attenuated back to pre-development flow rates for the 10% AEP & 1% AEP storm events, adjusted for climate change.

9. NOTES

If any of the design specifications mentioned in the previous sections are altered or found to be different than what is described in this report, Wilton Joubert Ltd will be required to review this report. Indicative system details have been provided in the appendices of this report (133385-C200 & 133385-C201).

Care should be taken when constructing the discharge point to avoid any siphon or backflow effect within the stormwater system.

Subsequent to construction, a programme of regular inspection / maintenance of the system should be initiated by the Owner to ensure the continuance of effective function, and if necessary, the instigation of any maintenance required.

Wilton Joubert Ltd recommends that all contractors keep a photographic record of their work.

10. LIMITATIONS

The recommendations and opinions contained in this report are based on information received and available from the client at the time of report writing.

This assignment only considers the primary stormwater system. The secondary stormwater system, Overland Flow Paths (OLFP), vehicular access and the consideration of road/street water flooding is all assumed to be undertaken by a third party.

All drainage design is up to the connection point for each building face of any new structures/slabs; no internal building plumbing or layouts have been undertaken.

During construction, an engineer competent to judge whether the conditions are compatible with the assumptions made in this report should examine the site. In all circumstances, if variations occur which differ from that described or that are assumed to exist, then the matter should be referred to a suitably qualified and experienced engineer.

The performance behaviour outlined by this report is dependent on the construction activity and actions of the builder/contractor. Inappropriate actions during the construction phase may cause behaviour outside the limits given in this report.

This report has been prepared for the particular project described to us and no responsibility is accepted for the use of any part of this report in any other context or for any other purpose.

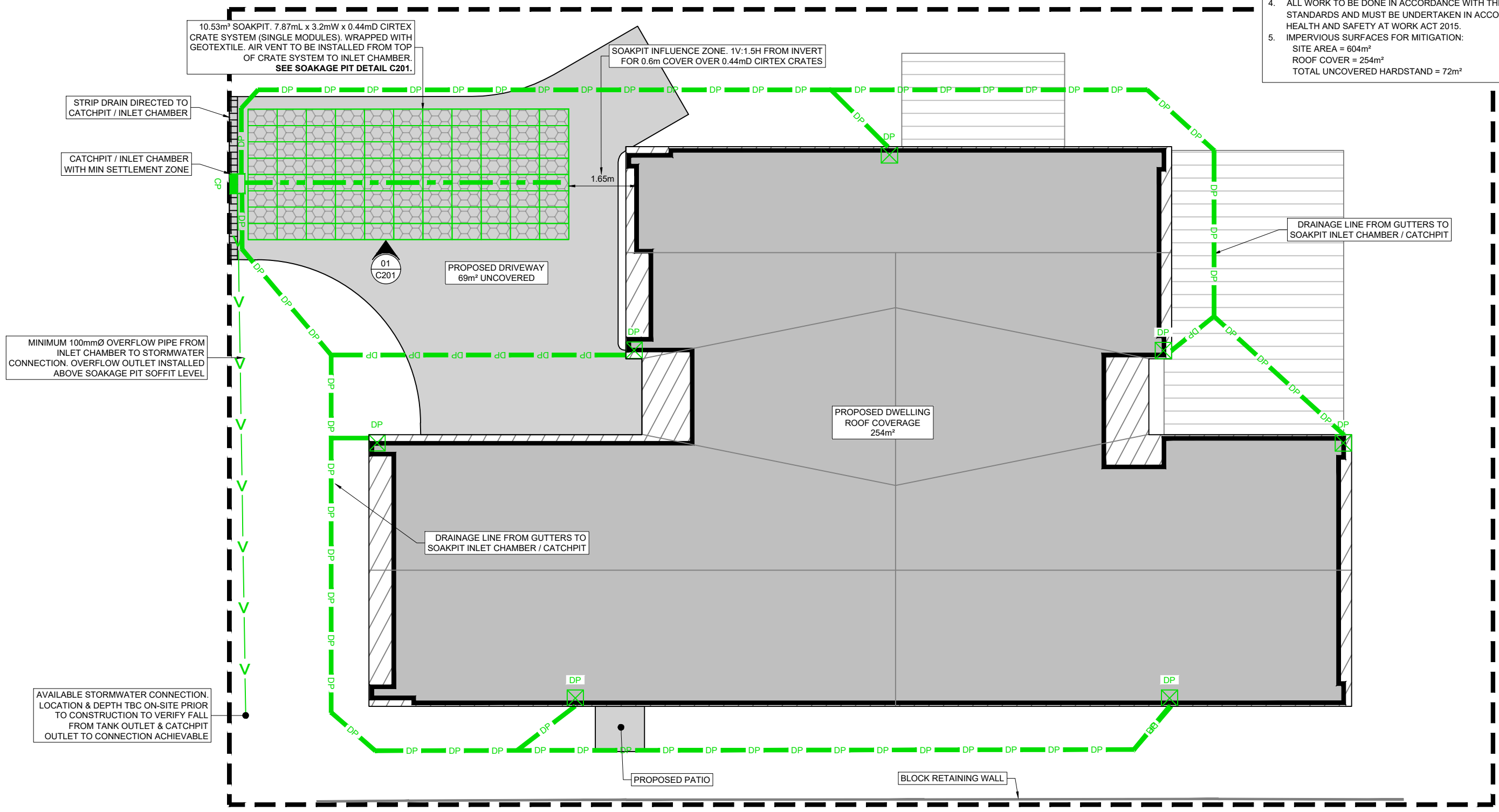
Wilton Joubert Ltd.

REPORT ATTACHMENTS

- Site Plan - C200 (1 sheet)
- Tank Detail – C201 (1 sheet)
- Calculation Set



- NOTES:**
1. SITE PLAN IS ONLY INDICATIVE FOR CONCEPT DESIGN. NO MEASUREMENTS MAY BE TAKEN FROM DRAWING.
 2. BACKGROUND INFORMATION, CONTOURS & LOCAL SERVICES PROVIDED BY THE CLIENT & EXTRACTED FROM LOCAL COUNCIL GIS.
 3. ALL DIMENSION AND LEVELS TO BE CHECKED ON SITE PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. ANY DISCREPANCIES TO BE REPORTED TO THE ENGINEER.
 4. ALL WORK TO BE DONE IN ACCORDANCE WITH THE RELEVANT STANDARDS AND MUST BE UNDERTAKEN IN ACCORDANCE WITH THE HEALTH AND SAFETY AT WORK ACT 2015.
 5. IMPERVIOUS SURFACES FOR MITIGATION:
SITE AREA = 604m²
ROOF COVER = 254m²
TOTAL UNCOVERED HARDSTAND = 72m²



Northland: 09 945 4188
Auckland: 09 527 0196
Christchurch: 021 824 063
Wanaka: 03 443 6209
www.wiltonjoubert.co.nz

ISSUE / REVISION			
No.	DATE	BY	DESCRIPTION
A	APR '24	GMB	STORMWATER MITIGATION REPORT REV A
BGS	AUG '24	BGS	STORMWATER MITIGATION REPORT REV B

DESIGNED BY:
GMB

DRAWN BY:
GMB

CHECKED BY:
BGS

SURVEYED BY:
N/A

SERVICES NOTE

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BUILDING CONSENT

DESIGN / DRAWING SUBJECT TO ENGINEERS APPROVAL

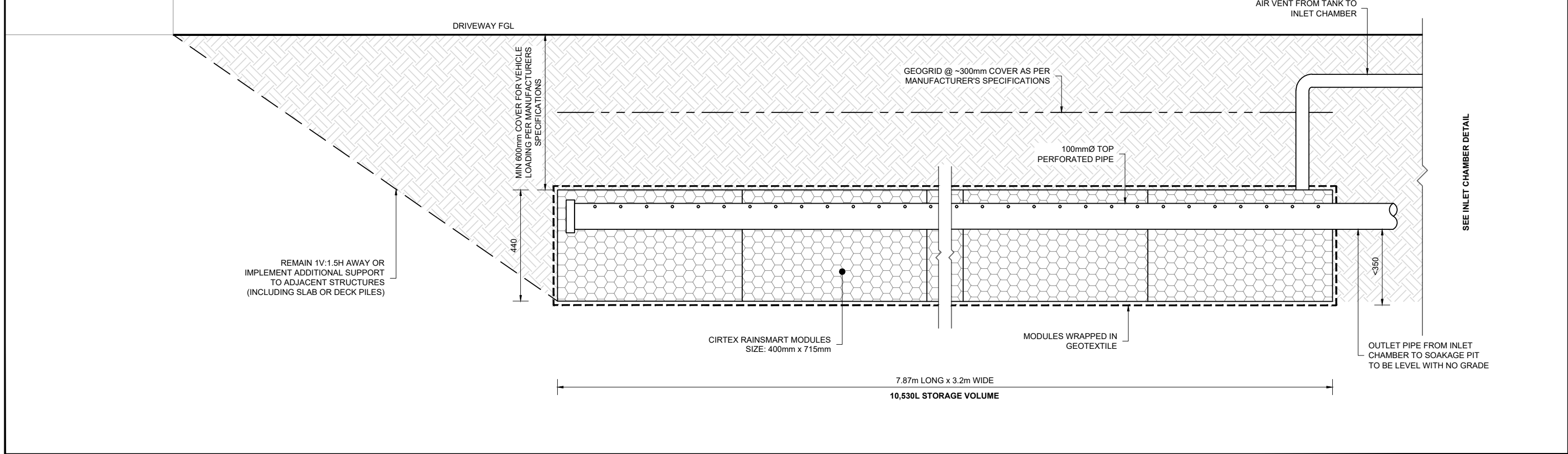
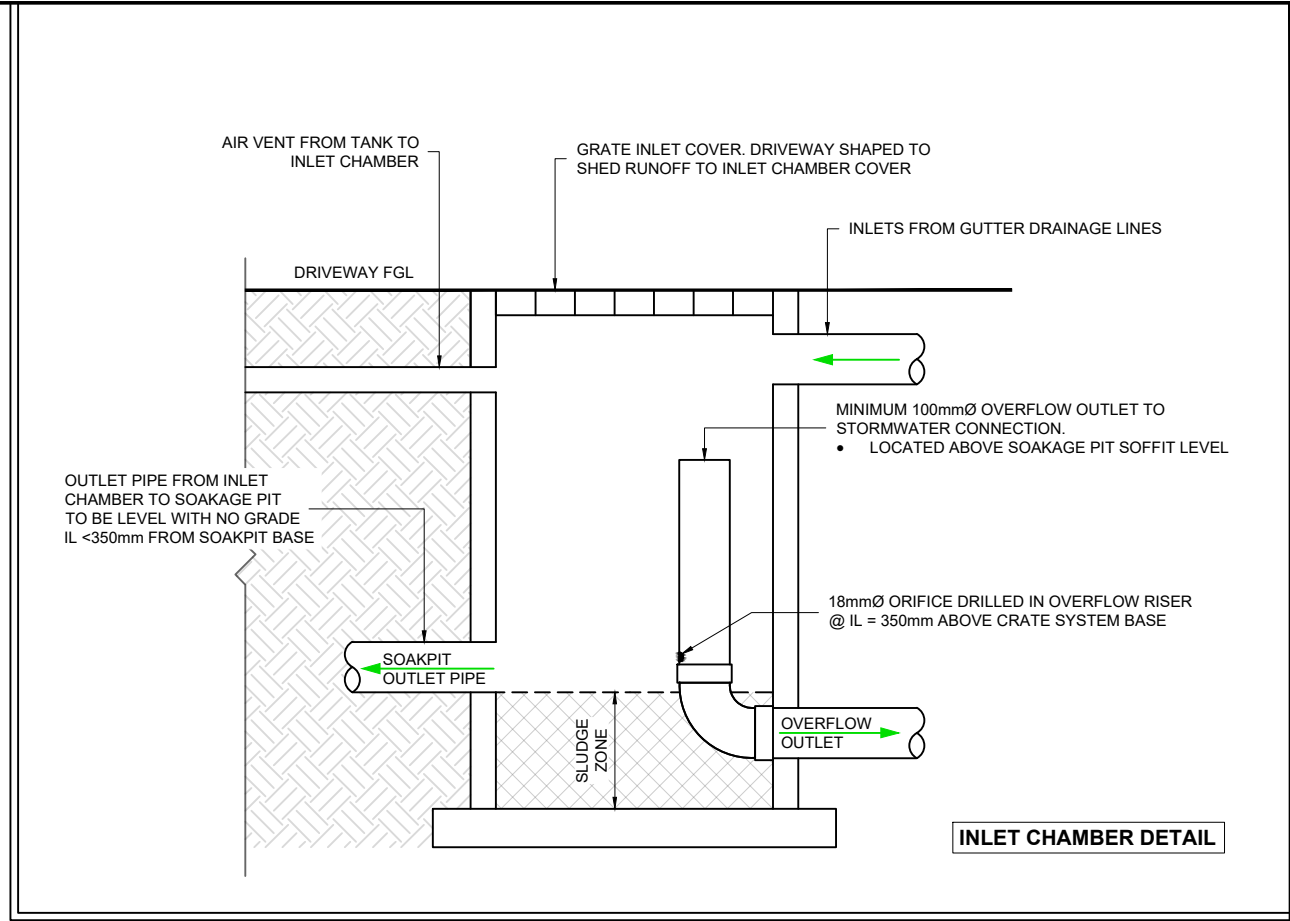
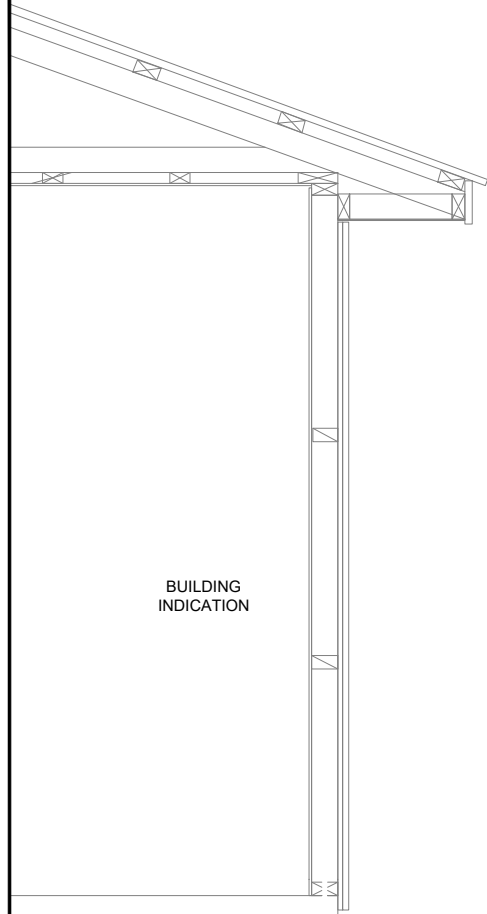
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SITE PLAN

PROJECT DESCRIPTION:
STORMWATER MITIGATION REPORT

PROJECT TITLE:
**LOT 8 DP 596768
TE URU LANE
KERIKERI
NORTHLAND**

ORIGINAL DRAWING SIZE: A3	OFFICE: OREWA
DRAWING SCALE: 1:100	CO-ORDINATE SYSTEM: NOT COORDINATED
DRAWING NUMBER: 133385-C200	ISSUE: B
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- NOTES:**
1. DRAWN INDICATIVELY ONLY. NOT TO SCALE. NO MEASUREMENTS MAY BE TAKEN FROM DRAWING.
 2. ALL DIMENSIONS AND LEVELS TO BE CHECKED ON SITE PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. ANY DISCREPANCIES TO BE REPORTED TO THE ENGINEER.
 3. SITE ENGINEER TO INSPECT PIT EXCAVATION PRIOR TO COMMENCEMENT OF SOAKAGE & DETENTION TANK SYSTEM CONSTRUCTION.
 4. ALL WORK TO BE DONE IN ACCORDANCE WITH THE RELEVANT STANDARDS AND MUST BE UNDERTAKEN IN ACCORDANCE WITH THE HEALTH AND SAFETY AT WORK ACT 2015.



Northland: 09 945 4188
Auckland: 09 527 0196
Christchurch: 021 824 063
Wanaka: 03 443 6209
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ISSUE / REVISION			
No.	DATE	BY	DESCRIPTION
A	APR '24	GMB	STORMWATER MITIGATION REPORT REV A
B	AUG '24	BGS	STORMWATER MITIGATION REPORT REV B

DESIGNED BY:	GMB
DRAWN BY:	GMB
CHECKED BY:	BGS
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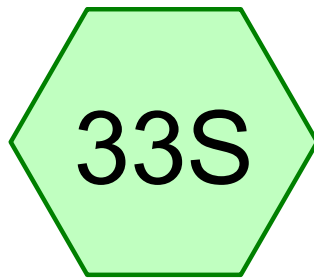
BUILDING CONSENT
DESIGN / DRAWING SUBJECT TO ENGINEERS APPROVAL

DRAWING TITLE:
TANK DETAIL

PROJECT DESCRIPTION:
STORMWATER MITIGATION REPORT

PROJECT TITLE:
**LOT 8 DP 596768
TE URU LANE
KERIKERI
NORTHLAND**

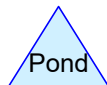
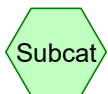
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MPD Area -
Impermeable



Soakage Pit (88 x cirtex
rainsmart single
modules)



Summary for Subcatchment 33S: MPD Area - Impermeable

This subcatchment reproduces the runoff calculation from Sample Job #1 in the TR-20 manual.

Since TR-20 has no CN or Tc calculation procedures, these values have been entered directly, rather than using HydroCAD's built-in CN lookup table and Tc calculation procedures.

The resulting peak flow of 2176cfs is approximately 4% higher than the published TR-20 value of 2097cfs. This difference occurs at small Tc values due to the additional detail provided by the polynomial-based rainfall distributions used in HydroCAD.

If a more exact TR-20 match is desired, an optional "Type II 24-hr Tabular" rainfall definition is available, which produces a peak runoff of 2099cfs, just 0.1% higher than TR-20.

Runoff = 3.54 l/s @ 7.94 hrs, Volume= 52.0 m³, Depth> 172 mm

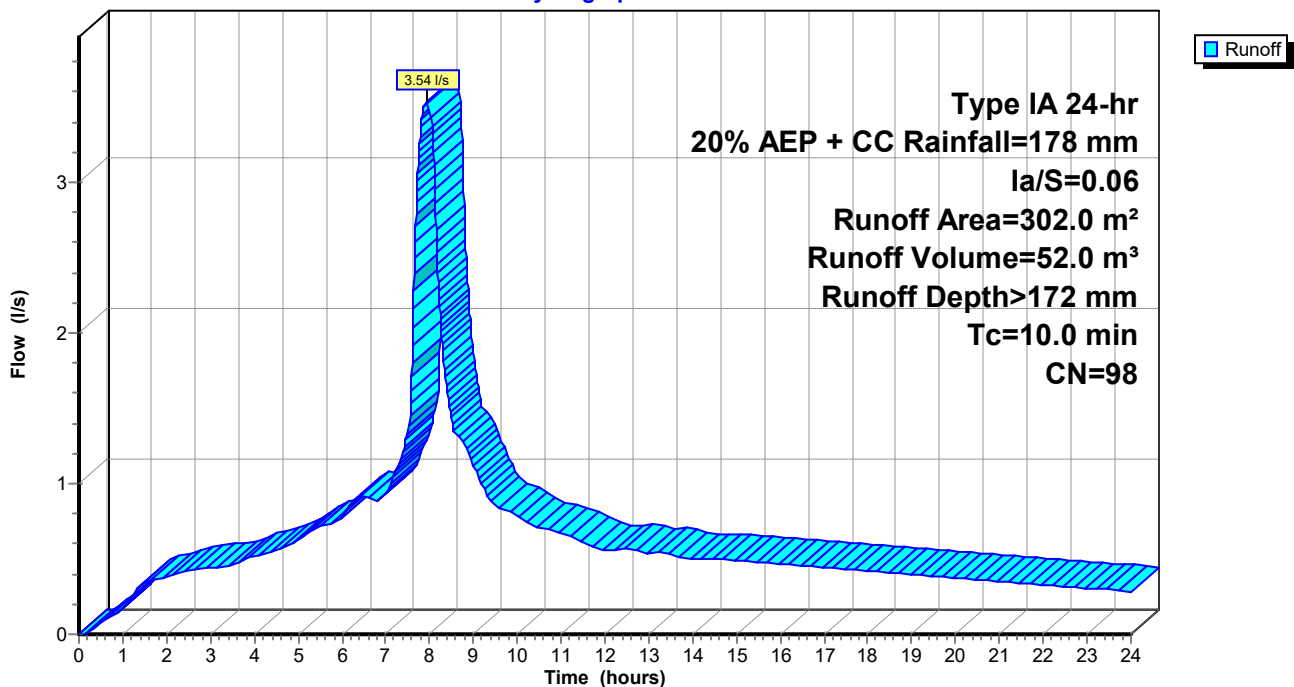
Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-24.00 hrs, dt= 0.01 hrs
 Type IA 24-hr 20% AEP + CC Rainfall=178 mm, Ia/S=0.06

Area (m²)	CN	Description
* 302.0	98	Impermeable
302.0		100.00% Impervious Area

Tc (min)	Length (meters)	Slope (m/m)	Velocity (m/sec)	Capacity (m³/s)	Description
10.0					Direct Entry,

Subcatchment 33S: MPD Area - Impermeable

Hydrograph



Summary for Pond 34P: Soakage Pit (88 x cirtex rainsmart single modules)

Inflow Area = 302.0 m², 100.00% Impervious, Inflow Depth > 172 mm for 20% AEP + CC event
 Inflow = 3.54 l/s @ 7.94 hrs, Volume= 52.0 m³
 Outflow = 0.91 l/s @ 9.34 hrs, Volume= 51.9 m³, Atten= 74%, Lag= 83.9 min
 Discarded = 0.91 l/s @ 9.34 hrs, Volume= 51.9 m³
 Primary = 0.00 l/s @ 0.00 hrs, Volume= 0.0 m³

Routing by Stor-Ind method, Time Span= 0.00-24.00 hrs, dt= 0.01 hrs
 Peak Elev= 0.350 m @ 9.34 hrs Surf.Area= 25.2 m² Storage= 8.5 m³

Plug-Flow detention time= 63.3 min calculated for 51.9 m³ (100% of inflow)
 Center-of-Mass det. time= 62.5 min (710.5 - 648.0)

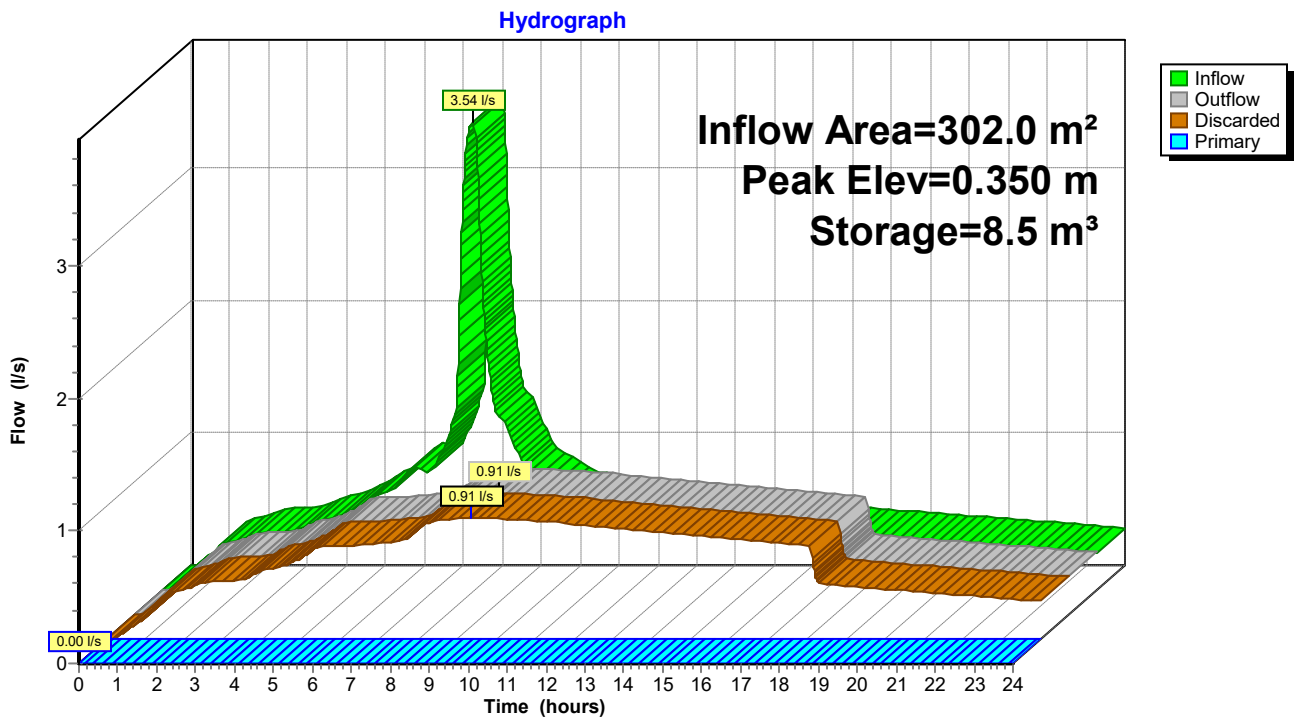
Volume	Invert	Avail.Storage	Storage Description
#1	0.000 m	10.6 m ³	7.87 mW x 3.20 mL x 0.44 mH Prismatoid 11.1 m ³ Overall x 96.0% Voids

Device	Routing	Invert	Outlet Devices
#1	Discarded	0.000 m	100.00 mm/hr Exfiltration over Wetted area
#2	Primary	0.400 m	100 mm Vert. Orifice/Grate C= 0.600

Discarded OutFlow Max=0.91 l/s @ 9.34 hrs HW=0.350 m (Free Discharge)
 ↑1=Exfiltration (Exfiltration Controls 0.91 l/s)

Primary OutFlow Max=0.00 l/s @ 0.00 hrs HW=0.000 m (Free Discharge)
 ↑2=Orifice/Grate (Controls 0.00 l/s)

Pond 34P: Soakage Pit (88 x cirtex rainsmart single modules)

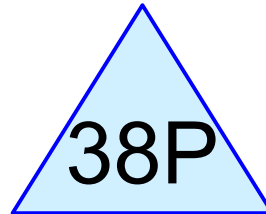
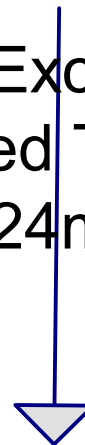




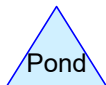
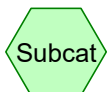
Area Exceeding
Permitted Threshold
(24m²) - PRE



Area Exceeding
Permitted Threshold
(24m²)



Soakage Pit (88 x cirtex
rainsmart single
modules)



7 Te Uru Lane

Type IA 24-hr 1% AEP + CC Rainfall=319 mm, Ia/S=0.06

Prepared by Wilton Joubert Limited

Printed 6/08/2024

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Time span=0.00-24.00 hrs, dt=0.01 hrs, 2401 points
Runoff by SCS TR-20 method, UH=SCS, Weighted-CN
Reach routing by Stor-Ind+Trans method - Pond routing by Stor-Ind method

Subcatchment 37S: Area Exceeding Runoff Area=24.0 m² 100.00% Impervious Runoff Depth>313 mm
Tc=10.0 min CN=98 Runoff=0.51 l/s 7.5 m³

Subcatchment 47S: Area Exceeding Runoff Area=24.0 m² 0.00% Impervious Runoff Depth>243 mm
Tc=10.0 min CN=74 Runoff=0.41 l/s 5.8 m³

Pond 38P: Soakage Pit (88 x cirtex rainsmart) Peak Elev=0.383 m Storage=9.4 m³ Inflow=0.51 l/s 7.5 m³
Outflow=0.31 l/s 7.4 m³

Total Runoff Area = 48.0 m² Runoff Volume = 13.3 m³ Average Runoff Depth = 278 mm
50.00% Pervious = 24.0 m² 50.00% Impervious = 24.0 m²

Summary for Subcatchment 37S: Area Exceeding Permitted Threshold (24m2)

Runoff = 0.51 l/s @ 7.94 hrs, Volume= 7.5 m³, Depth> 313 mm

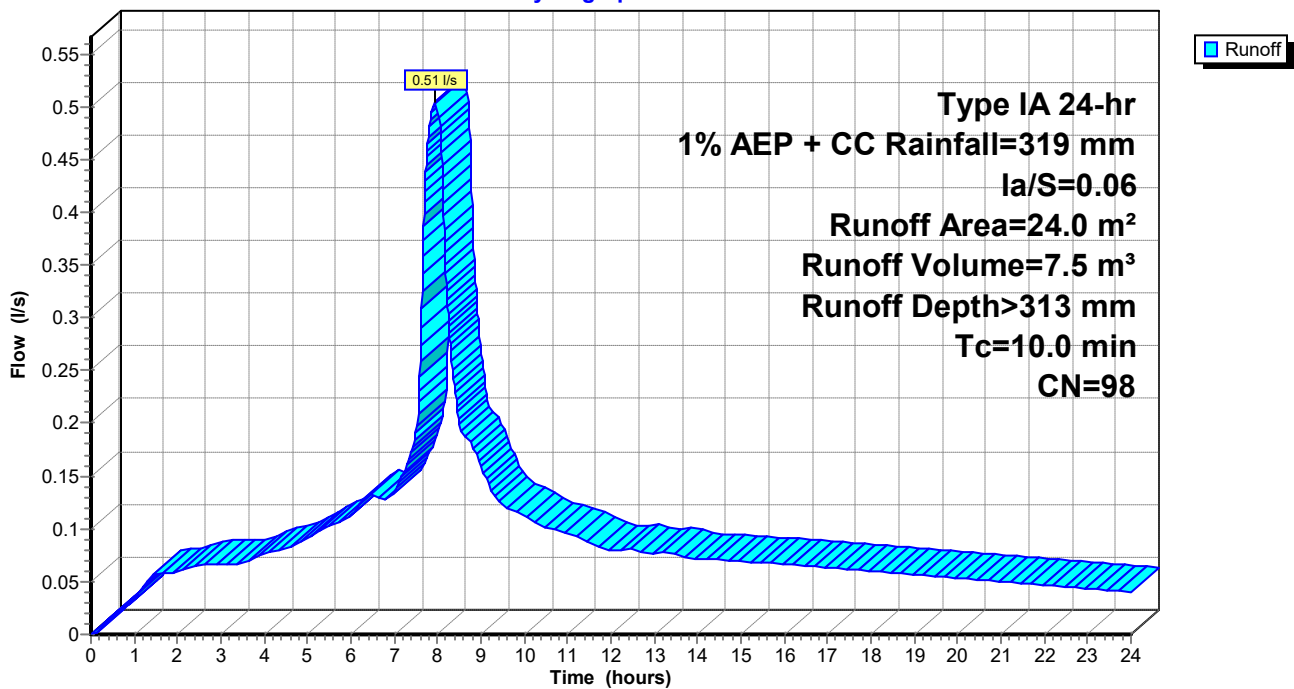
Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-24.00 hrs, dt= 0.01 hrs
 Type IA 24-hr 1% AEP + CC Rainfall=319 mm, Ia/S=0.06

Area (m ²)	CN	Description
* 24.0	98	
24.0		100.00% Impervious Area

Tc (min)	Length (meters)	Slope (m/m)	Velocity (m/sec)	Capacity (m ³ /s)	Description
10.0					Direct Entry,

Subcatchment 37S: Area Exceeding Permitted Threshold (24m2)

Hydrograph



Summary for Subcatchment 47S: Area Exceeding Permitted Threshold (24m2) - PRE

Runoff = 0.41 l/s @ 7.97 hrs, Volume= 5.8 m³, Depth> 243 mm

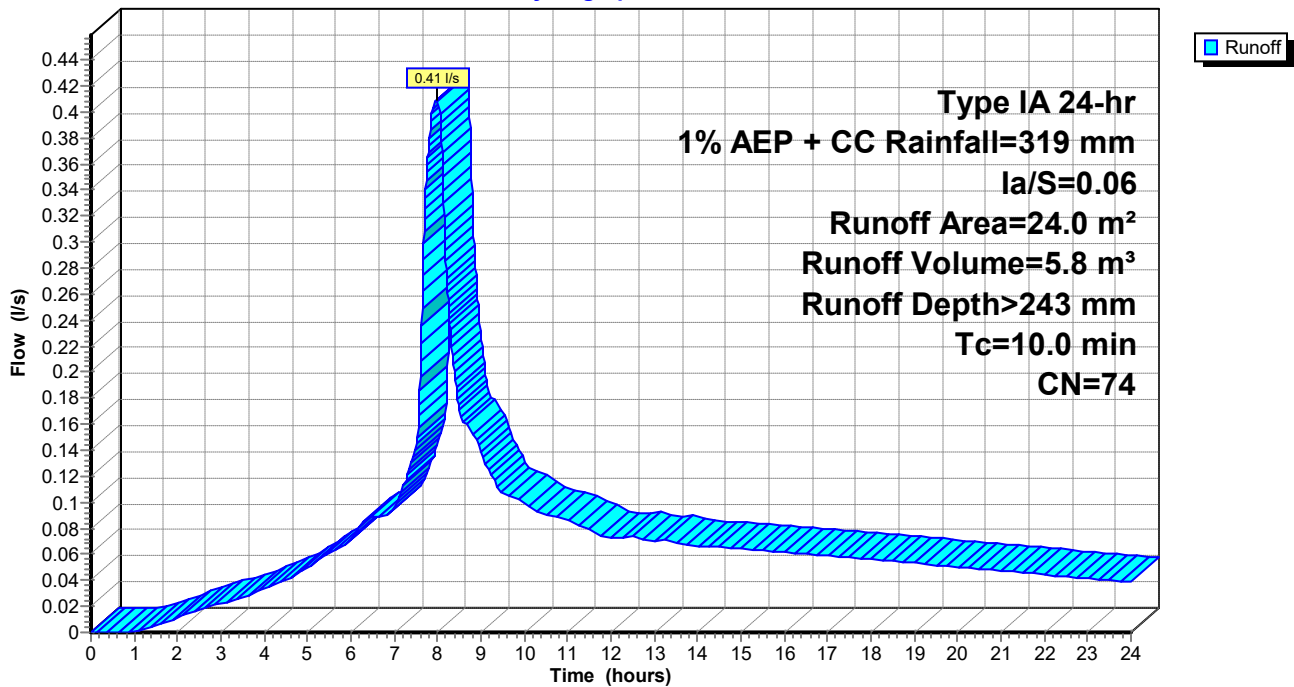
Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-24.00 hrs, dt= 0.01 hrs
 Type IA 24-hr 1% AEP + CC Rainfall=319 mm, Ia/S=0.06

Area (m ²)	CN	Description
* 24.0	74	
24.0		100.00% Pervious Area

Tc (min)	Length (meters)	Slope (m/m)	Velocity (m/sec)	Capacity (m ³ /s)	Description
10.0					Direct Entry,

Subcatchment 47S: Area Exceeding Permitted Threshold (24m2) - PRE

Hydrograph



Summary for Pond 38P: Soakage Pit (88 x cirtex rainsmart single modules)

Inflow Area = 24.0 m², 100.00% Impervious, Inflow Depth > 313 mm for 1% AEP + CC event
 Inflow = 0.51 l/s @ 7.94 hrs, Volume= 7.5 m³
 Outflow = 0.31 l/s @ 8.23 hrs, Volume= 7.4 m³, Atten= 38%, Lag= 17.2 min
 Primary = 0.31 l/s @ 8.23 hrs, Volume= 7.4 m³

Routing by Stor-Ind method, Time Span= 0.00-24.00 hrs, dt= 0.01 hrs
 Starting Elev= 0.350 m Surf.Area= 25.2 m² Storage= 8.5 m³
 Peak Elev= 0.383 m @ 8.23 hrs Surf.Area= 25.2 m² Storage= 9.4 m³ (0.8 m³ above start)
 Flood Elev= 1.000 m Surf.Area= 25.2 m² Storage= 10.7 m³ (2.2 m³ above start)

Plug-Flow detention time= (not calculated: initial storage exceeds outflow)
 Center-of-Mass det. time= 32.1 min (674.0 - 641.9)

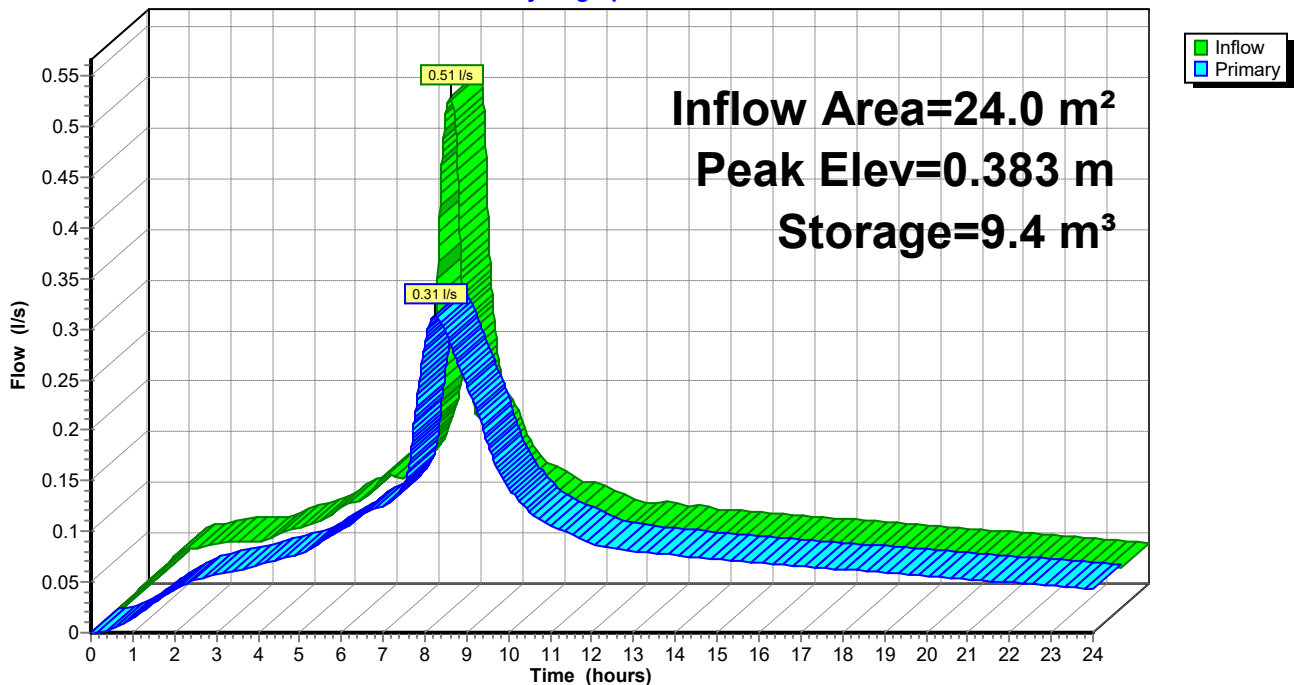
Volume	Invert	Avail.Storage	Storage Description
#1	0.000 m	10.7 m ³	7.87 mW x 3.20 mL x 0.44 mH Prismatoid 11.1 m ³ Overall x 97.0% Voids

Device	Routing	Invert	Outlet Devices
#1	Primary	0.350 m	18 mm Vert. Orifice/Grate X 3.00 C= 0.600

Primary OutFlow Max=0.31 l/s @ 8.23 hrs HW=0.383 m (Free Discharge)
 ←1=Orifice/Grate (Orifice Controls 0.31 l/s @ 0.41 m/s)

Pond 38P: Soakage Pit (88 x cirtex rainsmart single modules)

Hydrograph



7 Te Uru Lane

Type IA 24-hr 10% AEP + CC Rainfall=209 mm, Ia/S=0.06

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Time span=0.00-24.00 hrs, dt=0.01 hrs, 2401 points
Runoff by SCS TR-20 method, UH=SCS, Weighted-CN
Reach routing by Stor-Ind+Trans method - Pond routing by Stor-Ind method

Subcatchment 37S: Area Exceeding Runoff Area=24.0 m² 100.00% Impervious Runoff Depth>203 mm
Tc=10.0 min CN=98 Runoff=0.33 l/s 4.9 m³

Subcatchment 47S: Area Exceeding Runoff Area=24.0 m² 0.00% Impervious Runoff Depth>141 mm
Tc=10.0 min CN=74 Runoff=0.23 l/s 3.4 m³

Pond 38P: Soakage Pit (88 x cirtex rainsmart) Peak Elev=0.372 m Storage=9.1 m³ Inflow=0.33 l/s 4.9 m³
Outflow=0.23 l/s 4.8 m³

Total Runoff Area = 48.0 m² Runoff Volume = 8.3 m³ Average Runoff Depth = 172 mm
50.00% Pervious = 24.0 m² 50.00% Impervious = 24.0 m²

Summary for Subcatchment 37S: Area Exceeding Permitted Threshold (24m2)

Runoff = 0.33 l/s @ 7.94 hrs, Volume= 4.9 m³, Depth> 203 mm

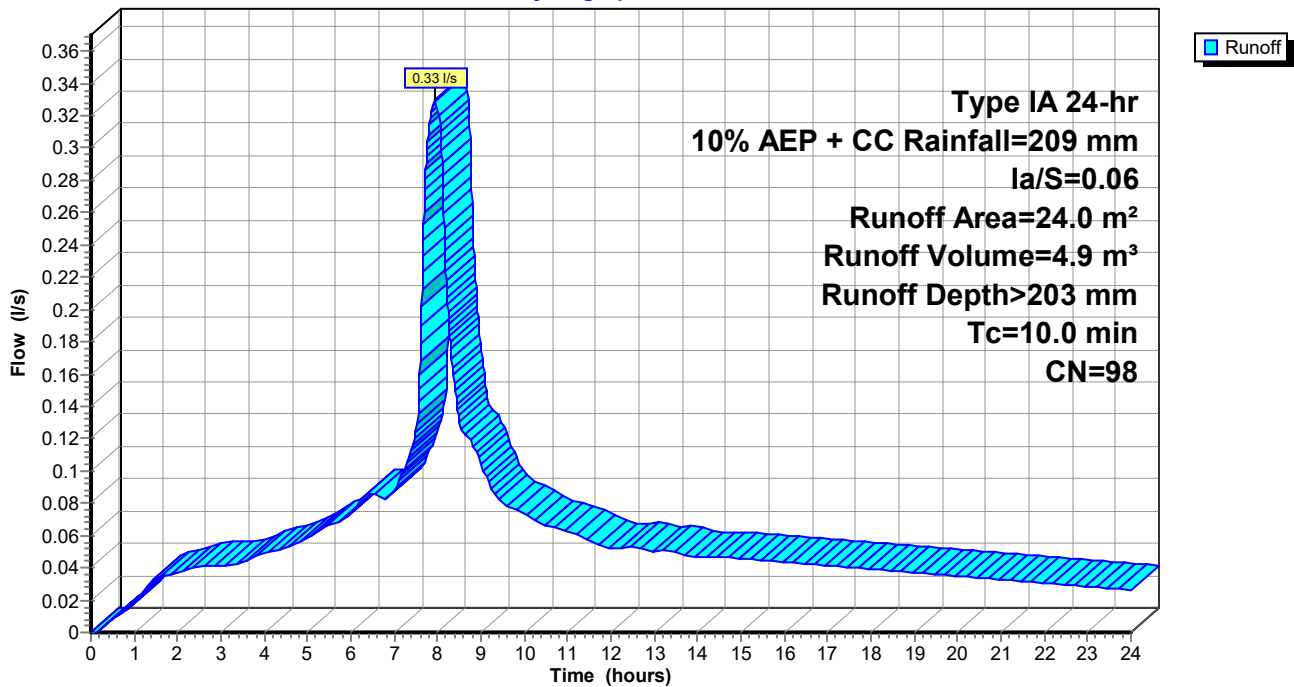
Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-24.00 hrs, dt= 0.01 hrs
 Type IA 24-hr 10% AEP + CC Rainfall=209 mm, Ia/S=0.06

Area (m²)	CN	Description
* 24.0	98	
24.0		100.00% Impervious Area

Tc (min)	Length (meters)	Slope (m/m)	Velocity (m/sec)	Capacity (m³/s)	Description
10.0					Direct Entry,

Subcatchment 37S: Area Exceeding Permitted Threshold (24m2)

Hydrograph



Summary for Subcatchment 47S: Area Exceeding Permitted Threshold (24m2) - PRE

Runoff = 0.23 l/s @ 7.99 hrs, Volume= 3.4 m³, Depth> 141 mm

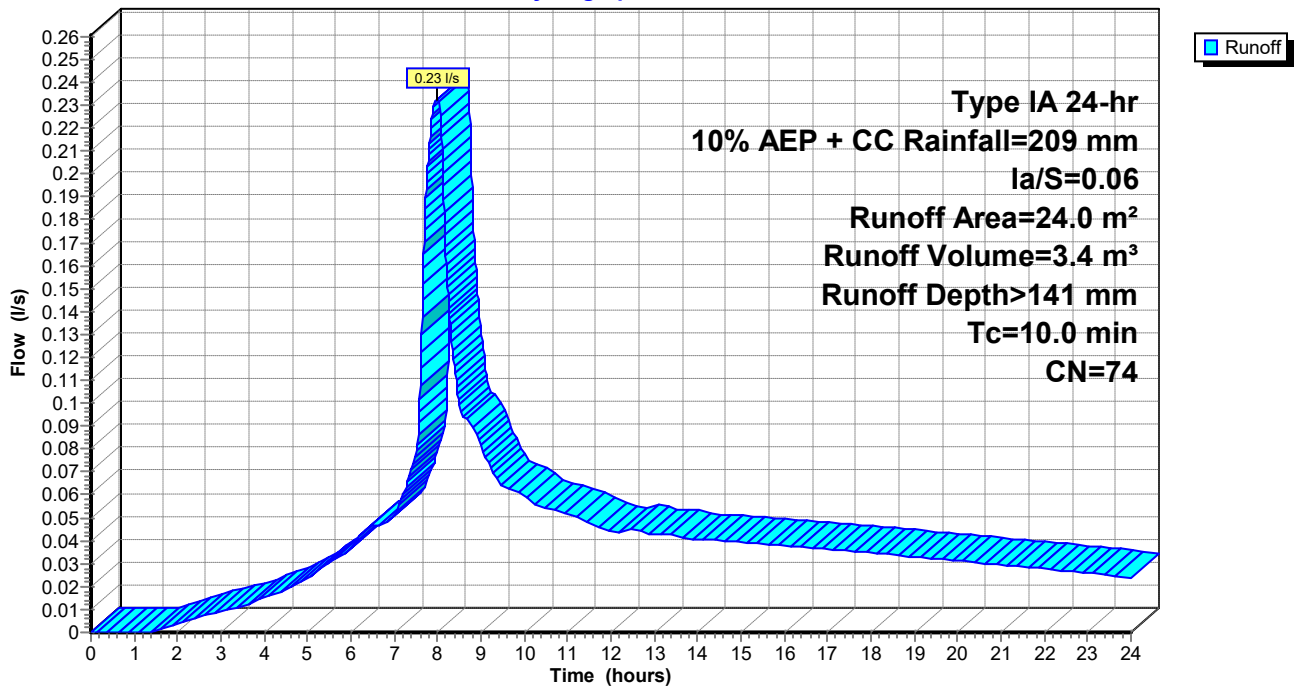
Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-24.00 hrs, dt= 0.01 hrs
 Type IA 24-hr 10% AEP + CC Rainfall=209 mm, Ia/S=0.06

Area (m²)	CN	Description
* 24.0	74	
24.0		100.00% Pervious Area

Tc (min)	Length (meters)	Slope (m/m)	Velocity (m/sec)	Capacity (m³/s)	Description
10.0					Direct Entry,

Subcatchment 47S: Area Exceeding Permitted Threshold (24m2) - PRE

Hydrograph



Summary for Pond 38P: Soakage Pit (88 x cirtex rainsmart single modules)

Inflow Area = 24.0 m², 100.00% Impervious, Inflow Depth > 203 mm for 10% AEP + CC event
 Inflow = 0.33 l/s @ 7.94 hrs, Volume= 4.9 m³
 Outflow = 0.23 l/s @ 8.19 hrs, Volume= 4.8 m³, Atten= 32%, Lag= 14.8 min
 Primary = 0.23 l/s @ 8.19 hrs, Volume= 4.8 m³

Routing by Stor-Ind method, Time Span= 0.00-24.00 hrs, dt= 0.01 hrs
 Starting Elev= 0.350 m Surf.Area= 25.2 m² Storage= 8.5 m³
 Peak Elev= 0.372 m @ 8.19 hrs Surf.Area= 25.2 m² Storage= 9.1 m³ (0.5 m³ above start)
 Flood Elev= 1.000 m Surf.Area= 25.2 m² Storage= 10.7 m³ (2.2 m³ above start)

Plug-Flow detention time= (not calculated: initial storage exceeds outflow)
 Center-of-Mass det. time= 33.3 min (679.3 - 646.1)

Volume	Invert	Avail.Storage	Storage Description
#1	0.000 m	10.7 m ³	7.87 mW x 3.20 mL x 0.44 mH Prismatoid 11.1 m ³ Overall x 97.0% Voids

Device	Routing	Invert	Outlet Devices
#1	Primary	0.350 m	18 mm Vert. Orifice/Grate X 3.00 C= 0.600

Primary OutFlow Max=0.23 l/s @ 8.19 hrs HW=0.372 m (Free Discharge)
 ←1=Orifice/Grate (Orifice Controls 0.23 l/s @ 0.30 m/s)

Pond 38P: Soakage Pit (88 x cirtex rainsmart single modules)

Hydrograph

