



Office Use Only Application Number:

APPLICATION FOR RESOURCE CONSENT OR FAST-TRACK RESOURCE CONSENT

(Or Associated Consent Pursuant to the Resource Management Act 1991 (RMA))

(If applying for a Resource Consent pursuant to Section 87AAC or 88 of the RMA, this form can be used to satisfy the requirements of Form 9)

Prior to, and during, completion of this application form, please refer to Resource Consent Guidance Notes and Schedule of Fees and Charges – both available on the Council’s web page.

1. Pre-Lodgement Meeting

Have you met with a Council Resource Consent representative to discuss this application prior to lodgement? Yes / **No**

2. Type of Consent being applied for (more than one circle can be ticked):

- Land Use
- Fast Track Land Use*
- Subdivision
- Discharge
- Extension of time (s.125)
- Change of conditions (s.127)
- Change of Consent Notice (s.221(3))
- Consent under National Environmental Standard (e.g. Assessing and Managing Contaminants in Soil)
- Other (please specify) _____

***The fast track for simple land use consents is restricted to consents with a controlled activity status and requires you provide an electronic address for service.**

3. Would you like to opt out of the Fast Track Process? Yes / **No**

4. Applicant Details:

Name/s: Gemscott King Limited

Electronic Address for Service (E-mail): _____

Phone Numbers: _____

Postal Address: _____
(or alternative method of service under section 352 of the Act)

Post Code: 2144

5. Address for Correspondence: Name and address for service and correspondence (if using an Agent write their details here).

Name/s: CKL NZ Limited

Electronic Address for Service (E-mail): _____

Phone Numbers: _____

Postal Address: _____
(or alternative method of service under section 352 of the Act)

Post Code: 1149

All correspondence will be sent by email in the first instance. Please advise us if you would prefer an alternative means of communication.

6. Details of Property Owner/s and Occupier/s: Name and Address of the Owner/Occupiers of the land to which this application relates (where there are multiple owners or occupiers please list on a separate sheet if required)

Name/s: Gemscott King Limited

Property Address/
Location: 4 King Street, Kerikeri

7. Application Site Details:

Location and/or Property Street Address of the proposed activity:

Site Address/
Location: 4 King Street, Kerikeri

Legal Description: Lot 3 DP 585331 Val Number: _____

Certificate of Title: 1139284
Please remember to attach a copy of your Certificate of Title to the application, along with relevant consent notices and/or easements and encumbrances (search copy must be less than 6 months old)

Site Visit Requirements:

Is there a locked gate or security system restricting access by Council staff? Yes / **No**

Is there a dog on the property? Yes / **No**

Please provide details of any other entry restrictions that Council staff should be aware of, e.g. health and safety, caretaker's details. **This is important to avoid a wasted trip and having to re-arrange a second visit.**

Please contact CKL or Gemscott for a site visit.

8. Description of the Proposal:

Please enter a brief description of the proposal here. Attach a detailed description of the proposed activity and drawings (to a recognized scale, e.g. 1:100) to illustrate your proposal. Please refer to Chapter 4 of the District Plan, and Guidance Notes, for further details of information requirements.

Six-lot fee simple subdivision around an approved Land Use Consent 2240011-RMALUC (note there is a s133A decision).

If this is an application for an Extension of Time (s.125); Change of Consent Conditions (s.127) or Change or Cancellation of Consent Notice conditions (s.221(3)), please quote relevant existing Resource Consents and Consent Notice identifiers and provide details of the change(s) or extension being sought, with reasons for requesting them.

9. Would you like to request Public Notification

Yes/**No**

10. Other Consent required/being applied for under different legislation (more than one circle can be ticked):

- Building Consent (BC ref # if known) Regional Council Consent (ref # if known)
- National Environmental Standard consent Other (please specify)

11. National Environmental Standard for Assessing and Managing Contaminants in Soil to Protect Human Health:

The site and proposal may be subject to the above NES. In order to determine whether regard needs to be had to the NES please answer the following (further information in regard to this NES is available on the Council's planning web pages):

Is the piece of land currently being used or has it historically ever been used for an activity or industry on the Hazardous Industries and Activities List (HAIL) yes no don't know

Is the proposed activity an activity covered by the NES? (If the activity is any of the activities listed below, then you need to tick the 'yes' circle). yes no don't know

- Subdividing land Changing the use of a piece of land
- Disturbing, removing or sampling soil Removing or replacing a fuel storage system

12. Assessment of Environmental Effects:

Every application for resource consent must be accompanied by an Assessment of Environmental Effects (AEE). This is a requirement of Schedule 4 of the Resource Management Act 1991 and an application can be rejected if an adequate AEE is not provided. The information in an AEE must be specified in sufficient detail to satisfy the purpose for which it is required. Your AEE may include additional information such as Written Approvals from adjoining property owners, or affected parties.

Please attach your AEE to this application.

13. Billing Details:

This identifies the person or entity that will be responsible for paying any invoices or receiving any refunds associated with processing this resource consent. Please also refer to Council's Fees and Charges Schedule.

Name/s: (please write all names in full) Gemscott King Limited

Email: 

Postal Address: 

Post Code: 2144

Phone Numbers: Work: _____ Home: _____ Fax: _____

Fees Information: An instalment fee for processing this application is payable at the time of lodgement and must accompany your application in order for it to be lodged. Please note that if the instalment fee is insufficient to cover the actual and reasonable costs of work undertaken to process the application you will be required to pay any additional costs. Invoiced amounts are payable by the 20th of the month following invoice date. You may also be required to make additional payments if your application requires notification.

Declaration concerning Payment of Fees: I/we understand that the Council may charge me/us for all costs actually and reasonably incurred in processing this application. Subject to my/our rights under Sections 357B and 358 of the RMA, to object to any costs, I/we undertake to pay all and future processing costs incurred by the Council. Without limiting the Far North District Council's legal rights if any steps (including the use of debt collection agencies) are necessary to recover unpaid processing costs I/we agree to pay all costs of recovering those processing costs. If this application is made on behalf of a trust (private or family), a society (incorporated or unincorporated) or a company in signing this application I/we are binding the trust, society or company to pay all the above costs and guaranteeing to pay all the above costs in my/our personal capacity.

Name: _____ (please print)

Signature: _____ (signature of bill payer – **mandatory**) Date: _____

14. Important Information:

Note to applicant

You must include all information required by this form. The information must be specified in sufficient detail to satisfy the purpose for which it is required.

You may apply for 2 or more resource consents that are needed for the same activity on the same form.

You must pay the charge payable to the consent authority for the resource consent application under the Resource Management Act 1991.

Fast-track application

Under the fast-track resource consent process, notice of the decision must be given within 10 working days after the date the application was first lodged with the authority, unless the applicant opts out of that process at the time of lodgement. A fast-track application may cease to be a fast-track application under section 87AAC(2) of the RMA.

Privacy Information:

Once this application is lodged with the Council it becomes public information. Please advise Council if there is sensitive information in the proposal. The information you have provided on this form is required so that your application for consent pursuant to the Resource Management Act 1991 can be processed under that Act. The information will be stored on a public register and held by the Far North District Council. The details of your application may also be made available to the public on the Council's website, www.fndc.govt.nz. These details are collected to inform the general public and community groups about all consents which have been issued through the Far North District Council.

Declaration: The information I have supplied with this application is true and complete to the best of my knowledge.

Name: Zita Talaic-Burgess (please print)

Signature: _____ (signature)

Date: 30/05/2024

(A signature is not required if the application is made by electronic means)

Checklist (please tick if information is provided)

- Payment (cheques payable to Far North District Council)
- A current Certificate of Title (Search Copy not more than 6 months old)
- Copies of any listed encumbrances, easements and/or consent notices relevant to the application
- Applicant / Agent / Property Owner / Bill Payer details provided
- Location of property and description of proposal
- Assessment of Environmental Effects
- Written Approvals / correspondence from consulted parties
- Reports from technical experts (if required)
- Copies of other relevant consents associated with this application
- Location and Site plans (land use) AND/OR
- Location and Scheme Plan (subdivision)
- Elevations / Floor plans
- Topographical / contour plans

Please refer to Chapter 4 of the District Plan for details of the information that must be provided with an application. Please also refer to the RC Checklist available on the Council's website. This contains more helpful hints as to what information needs to be shown on plans.

Only one copy of an application is required, but please note for copying and scanning purposes, documentation should be:

UNBOUND

SINGLE SIDED

NO LARGER THAN A3 in SIZE



Planning | Surveying | Engineering | Environmental

RESOURCE CONSENT APPLICATION

6 Residential Lot Fee-Simple Subdivision around an approved
land use consent

Gemscott King Limited

4 King Street, Kerikeri

APPLICATION PRÉCIS

APPLICANT	Gemscott King Ltd
SITE LOCATION	4 King Street, Kerikeri
LEGAL DESCRIPTION	Lot 3 DP 585331 (1139284)
LANDOWNER	Gemscott King Limited
TOTAL LAND AREA	1043m ²
FAR NORTH DISTRICT PLAN (OPERATIVE)	<u>Zone:</u> Residential (4 King Street) <u>Overlays:</u> None <u>Designations:</u> None
PROPOSED FAR NORTH DISTRICT PLAN	<u>Zone:</u> Mixed Use <u>Overlays:</u> None <u>Designations:</u> None
ROAD HIERARCHY	Local Road
PROPOSAL	6 residential lot fee-simple subdivision around an approved land use consent
ACTIVITY CATEGORY	Non-Complying Activity

DOCUMENT CONTROL

CKL REFERENCE	A22047		
REVISION NO.	2		
FILE LOCATION	Synergy12d://CKL-AZU-SYN-1/Projects/A22047/CI 1 - Subdivision/01 Resource Consents/4 King Street (Resource Consent Application)/		
AUTHOR	Zita Talaic-Burgess		
AUTHORISED BY	Daniella Holschier		
OFFICE OF ORIGIN	Auckland		
DISTRIBUTION	Far North District Council	May 2024	Rev. 2
	Gemscott King Ltd	May 2024	Rev. 2

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APPENDICES

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APPENDIX 2: TOPOGRAPHICAL SURVEY

APPENDIX 3:SCHEME PLAN

APPENDIX 4:DISTRICT PLAN ASSESSMENT

APPENDIX 5: APPROVED LUC 2240011-RMALUC DECISION AND STAMPED PLANS

APPENDIX 6: DRAINAGE BUILDING CONSENT (EBC-2024-717/0)

1 INTRODUCTION

This application for resource consent is made pursuant to Section 88 of the Resource Management Act 1991 (the Act). The following report and supporting information present an assessment of environmental effects as required by the Act.

The site subject to this application is located at 4 King Street in Kerikeri. Under the Far North District Plan (hereafter referred to as the District Plan), the site is zoned Residential.

This application seeks subdivision consent for 6 residential lots, six car park lots and one Commonly-Owned Access Lot (COAL) around an approved land use consent. Resource consent for a **Non-Complying Activity** is required.

It is considered that any actual or potential effects on the environment that may result from granting consent to the proposed subdivision will be less than minor. It is submitted that no person has the potential to be adversely affected by the proposal in a minor or more than minor manner (i.e. effects less than minor) and that the application will not be contrary to the objectives and policies of the District Plan. As such, we request that the application be processed on a non-notified basis.

2 BACKGROUND

A land use consent for six residential dwellings and associated services in the residential zone at 4 King Street, Kerikeri (2240011-RMALUC) was granted by the Far North District Council on 9 February 2024, with a s133A decision approved on 4 March 2024. Please see Appendix 5 for the decision and approved plans.

The Engineering Plan Approval (2240011-RMAEPA/A) was lodged with FNDC on 12 February 2024 and the Building Consent (EBC-2024-717/0) for private drainage was approved on 27 March 2024. Please see Appendix 6 for the approved plans and documentation.

3 DESCRIPTION OF SITE & SURROUNDS

3.1 Legal Description

The subject site is legally described as Lot 3 DP 585331 and is held in Computer Freehold Register 1139284. This record of title has been recently created from a boundary adjustment with the adjacent site at 3 Clark Road (approved on 1 June 2023). There are no interests on the title. A copy of the above title is enclosed as Appendix 1.

3.2 Site Location & Surrounding Neighbourhood

The subject site is located at 4 King Street, Kerikeri which has various buildings located on the site including a detached dwelling, a minor dwelling, a shed and two sleepouts which are located in the rear yard. The site has various large trees located along the front boundary. The title has an area of 1043m².

The site is near rectangular in shape aside from the south-west boundary which has a dog-leg from the abovementioned boundary adjustment. The site has vehicular and pedestrian access directly to King Street. Please refer to Figure 1 over-page.

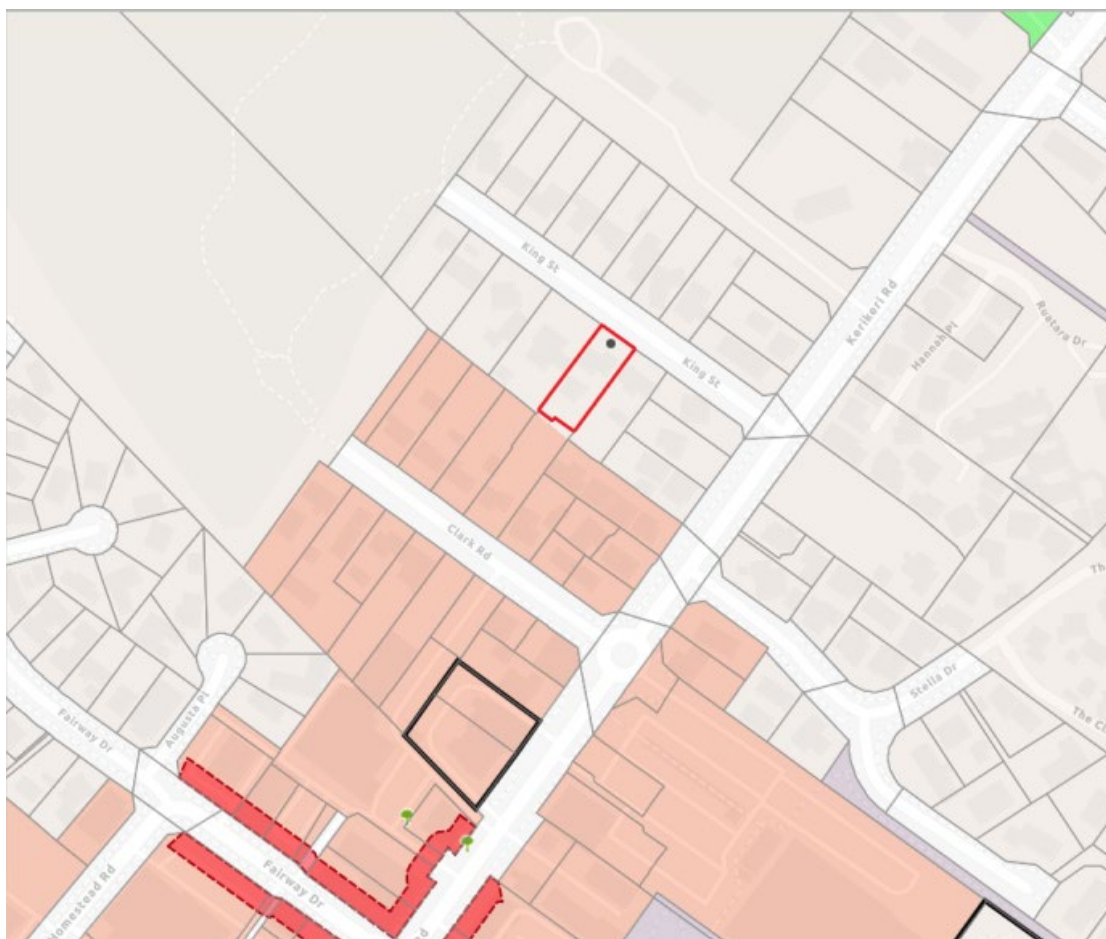


Figure 1: The location of the site outlined in red and surrounding zoning (Source: Far North Maps, 2024)

The directly adjoining properties are residential in character, primarily containing single storey detached dwellings on sites larger than 1,000m². All properties accessed off King Street are zoned Residential. Properties further to the south contain a mix of commercial and residential uses, with the commercial activities consisting of big box retail (Rebel Sports) and office buildings (an engineering consultancy, accountancy etc).

The site is within walking distance of the main town centre, a New World supermarket, a medical centre, Kerikeri High School, childcare facilities, and numerous commercial activities, please refer to Figure 2 over-page. Overall, the location of the subject site provides ease of access to services and facilities and therefore, it is reasonable to consider that the subject site is well suited for intensification.

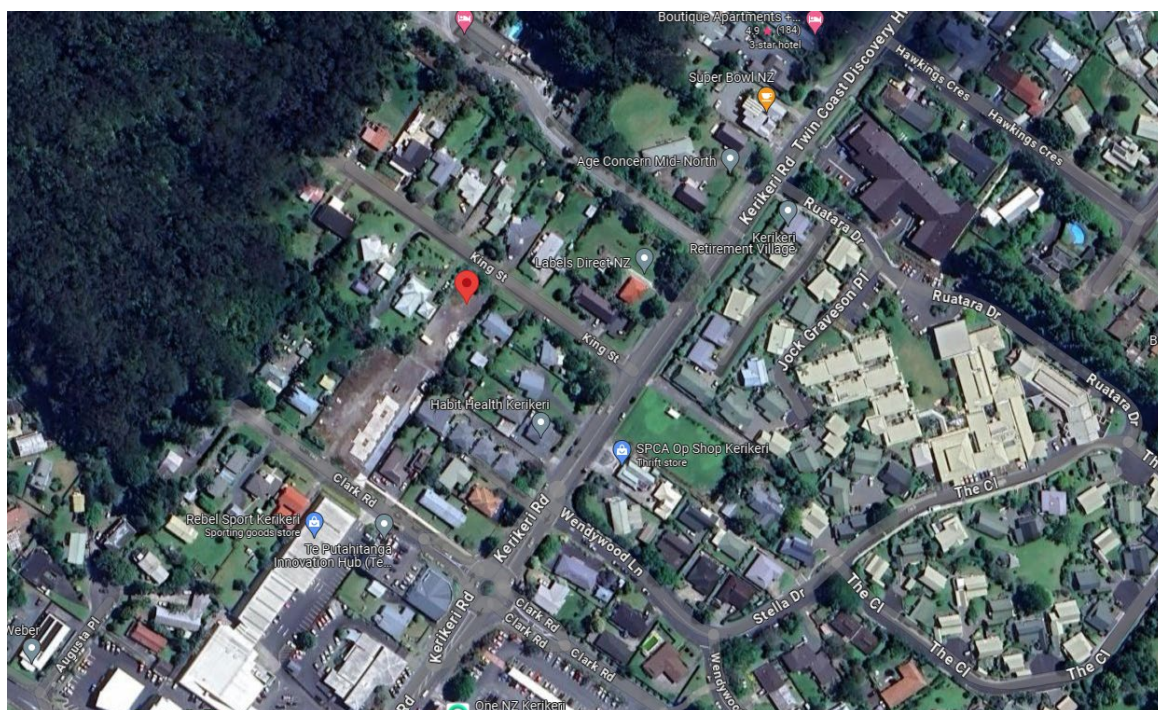


Figure 2: The location of the site and environment (Source: Google, 2024)

3.3 Existing Development & Topography

The site’s topography is considered flat with approximately 300mm level change across the site.

The site adjoins a generous road berm onto King Street, with a depth of approximately 5.4m between the site and the edge of the road carriageway. There are no known flooding hazards affecting the site as shown on Figure 3 below.

Please refer to the topographical survey plan, enclosed as Appendix 2 for further detail.

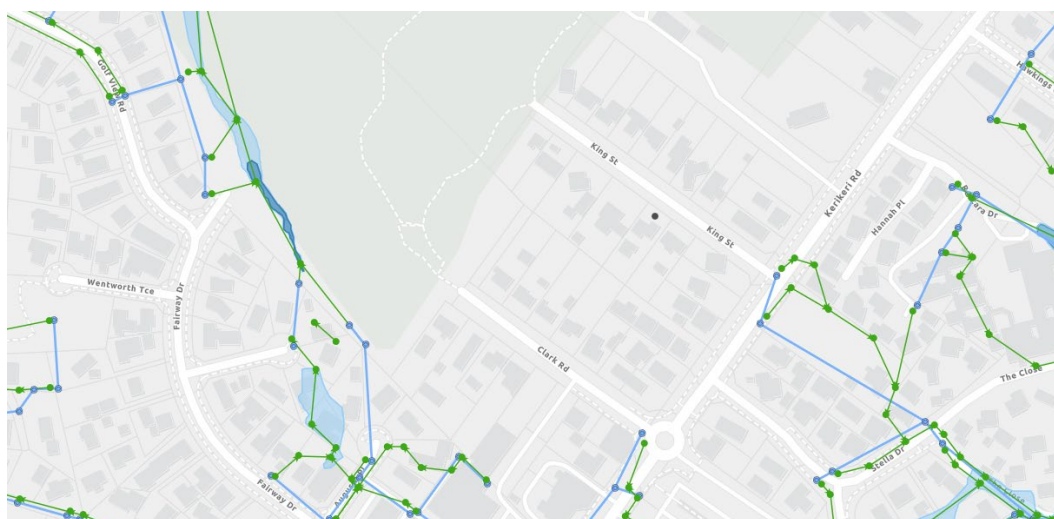


Figure 3: Flood modelling by GHD, 2007 (Source: Far North Maps, 2023)

3.4 Existing Services

Wastewater, Stormwater and Water

Far North Maps (water services) shows existing public wastewater connections along the road. The reticulated stormwater network does not extend along King Street, however

there are table drains along the street. Please refer to Figure 4 below. This was confirmed by the Topographical Survey in Appendix 2.

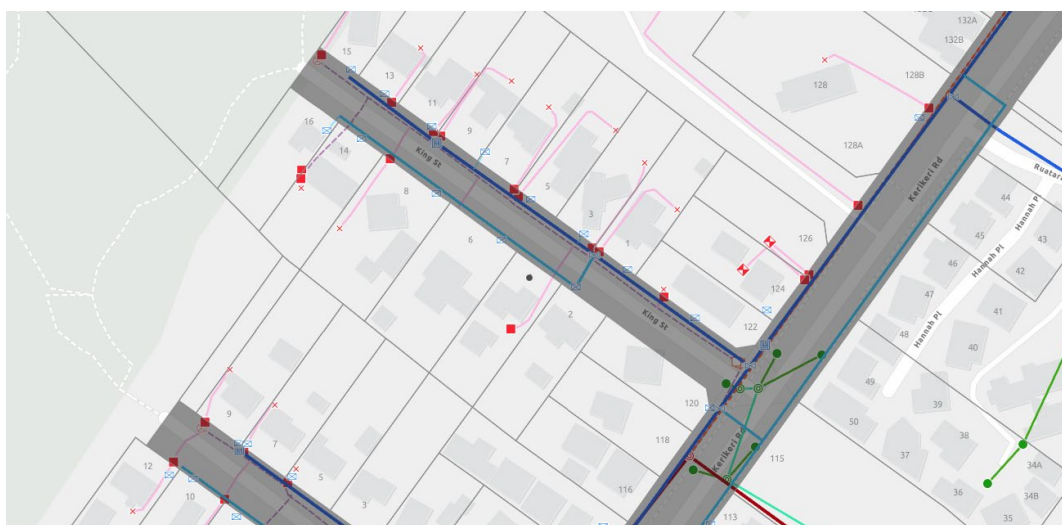


Figure 4: Existing Water Services (Source: Far North Maps, 2024)

There are public water pipelines along King Road. There is a fire hydrant located directly adjacent to 9 King Street, which is accessible from the subject site.

Telecommunications and Electricity

The site can be connected to the underground electrical and telecommunication networks available in the adjacent road berm.

3.5 Hazards

3.5.1 Potential Contamination

As shown on Figure 5, there are no HAIL activities present across the site and therefore a contamination assessment is not required.



Figure 5: HAIL sites (Source: Far North District Maps, 2023)

3.5.2 Instability

The site is considered stable, and the subsoil properties are appropriate for residential development.

3.5.3 Overland Flow Paths and Flooding

There are no known flooding hazards affecting the site.

3.6 Heritage Sites and Places of Significance to Maori

There are no heritage site or places of significance to Maori located on, or in the vicinity of, the site. As such, it is submitted that the proposal will not generate any effects in this regard, and Council's ability to grant consent will not be affected.

4 PROPOSAL

4.1 Subdivision

This application seeks to undertake a fee simple subdivision around an approved land use consent for residential development.

It is proposed that the site is to be subdivided into 6 fee-simple residential lots and one COAL to be held in common ownership. Details of the proposed subdivision are provided below:

- Proposed Lots 1-6 will be residential lots to contain Units 1-6, as specified in the approved architectural plans in Appendix 5;
- Additional fee simple lots, being Lots 7-12 will contain parking spaces that will be amalgamated with the respective residential lot;
- Lot 100 will be a COAL with an area of 294m²;
- Proposed Lots 1-6 will each own 1/6 share of the COAL;
- All rubbish storage and communal landscaped areas shall be contained within the COAL; and
- There are various easements for party walls, right of ways, rights to convey services and rights to drain sewage and water. These are all depicted on the proposed scheme plan.

Please refer to the scheme plan attached as Appendix 3 for further details.

4.2 Servicing

4.2.1 Wastewater

All units will be connected to the public network within Clark Road to the south.

Please refer to the approved resource consent, processing engineering approval and approved building consent within the appendices for further details.

4.2.2 Stormwater

A new private stormwater network will be installed to service the proposed development for any surface runoff that is not infiltrated into the ground. Attenuation tanks, in the form of individual tanks for each dwelling, will be provided to capture roof run-off to limit the peak flows for the development. All stormwater will be discharged to the table drain

along Clark Road, via the stormwater system proposed in 3 Clark Road (refer to the approved RC application 2230381-RMACOM).

Please refer to the approved resource consent, processing engineering approval and approved building consent within the appendices for further details.

4.2.3 Telecommunications, Electricity and Water Supply

New underground connections to the existing electrical, telecommunications and water services, located within the road reserve, will be extended to serve each unit. All services will be laid within the accessway area and extended to the building.

4.2.4 Water Supply and Firefighting

It is proposed to connect the development to 200mm dia. watermains within King Street as approved under the underlying land use consent.

As demonstrated on Far North Maps, there is an existing fire hydrant located between 9 and 11 King Street.

4.3 Discovery Protocols

In the event that previously unrecorded cultural heritage items are unearthed, accidental discovery protocols will be followed.

5 REASON FOR RESOURCE CONSENT

5.1 Far North District Council

A detailed assessment against the rules of the District Plan has been undertaken and can be found in Appendix 4. In summary, resource consent is required for the following:

Subdivision (s11)

Chapter 13 Subdivision

- 13.7.2.1 Minimum Area for Vacant New Lots And Lots Which Already Contain Structures – The six fee simple lots proposed will be less than 300m² (sewered) with sites varying between 77m² and 176m² - **Non-Complying Activity**.
- 13.7.2.2 Allotment Dimensions – The six fee simple lots will not be able to meet the allotment dimension of 14 metres as the sites will have widths of between 4.5m and 9.4m – **Non-Complying Activity**.
- 13.7.3.1 Property Access – The proposal will not comply with the transportation requirements under Chapter 15 – **Discretionary Activity**.

Overall, the application is to be assessed as a **Non-Complying Activity** under the District Plan, being the most onerous activity status.

5.2 Permitted Activities

Schedule 4, Part 3(a) of the Resource Management Act 1991 states: *“if any permitted activity is part of the proposal to which the application relates, a description of the permitted activity that demonstrates that it complies with the requirements, conditions, and permissions for the permitted activity (so that a resource consent is not required for that activity under section 87A(1))”*.

There are no relevant permitted activities given the land use consent has already been approved.

6 ASSESSMENT OF ENVIRONMENTAL EFFECTS

In accordance with Section 88(2)(b) and the Fourth Schedule of the Act, an assessment of effects has been provided below which outlines the actual and potential adverse effects of the proposal, and incorporates the positive effects generated from the proposal. In making this assessment the following matters have been addressed:

- The standards and terms of the District Plan;
- The matters contained in the Fourth Schedule of the Act;
- The purpose and principles of the Act; and
- Any other relevant matters.

The actual and potential effects of the proposal are outlined in this section below.

The proposal is to subdivide the site into 6 residential lots, 6 car parking lots and one COAL around an approved land use consent. The reasons for consent are identified in section 5 of the report, which determined the proposal is a **Non-Complying Activity**. The sections below provide an assessment of the environmental effects anticipated by the proposal.

6.1 Permitted Baseline

The permitted baseline refers to the effects of permitted activities on the subject site. The permitted baseline may be taken into account and the council has the discretion to disregard those effects where an activity is not fanciful.

Due to the proposed lot sizes being below 300m², there is no relevant permitted baseline, although it is noted that resource consent has been approved for the proposed development.

6.1.1 Receiving environment

The receiving environment includes the existing, established residential development as discussed in Section 3.2 and 3.3 of this report.

In addition, the reasonably foreseeable environment within the relevant zones, being a residential character of one or two dwellings per site that may be up to two storeys in height within the residential zone.

Historically, the typical character of the residential area has been lots of greater than 500m² which contain a single dwelling. The lot sizes created through recent developments at 307 Kerikeri Road range between 139m² and 198m². Furthermore, at 309 Kerikeri Road and along the private access Dennis Yates Way, lots range between 192m² and 383m² in area which has created a unique, more intensive residential character around the periphery of the town centre. This level of density isn't reflective of historic development within the Kerikeri area but maximises the potential of residential land within walking distance of Kerikeri Township. Two and three storey developments are seen within the Kerikeri township such as the John Butler Centre which is a three-storey office block and 1 Hobson Avenue which is a two-storey commercial building. The

proposed development reflects the level of intensity created through recent developments more than the existing character of historic development elsewhere in the Kerikeri area.

Commercial activities are located just south of the proposal in the form of a Rebel Sport and Briscoes, along with office buildings. These nearby commercial activities are important to consider in regard to the intensity proposed on the subject site.

A consent (2230381-RMACOM) for a two-storey, 8-unit walk-up apartment building containing 2-bedroom units at 3 Clark Road was approved by FNDC on the 1st June 2023. Therefore, as this consent has been approved, the development becomes apart from the receiving environment and is required to be considered in the assessment of this resource consent application. This consent changes the existing environment.

6.2 Assessment of Environmental Effects and s95D Assessment

The proposal generally complies with the applicable rules under the District Plan. The specific non-compliances are assessed below.

Subdivision and Infrastructure Effects

The proposal will create 6 fee-simple residential lots, 6 parking lots and one COAL to be held in common ownership.

The size of the proposed fee simple titles (Lots 1-6) is less than the required minimum lot size of 300m² for sewered lots and they do not meet the minimum required dimensions of 14m by 14m. However, the size and shape of the proposed lots correspond to the proposed residential development, and will provide adequate outdoor living space and yards. The duplex design ensures there is sufficient sunlight access to the outdoor living spaces and primary living room of each unit and provides for daylight access to all aspects of each dwelling. Lots 5 and 6 have been designed to provide an active street frontage and surveillance over King Street, while providing a distinct separation between the public and private realm. Furthermore, the proposed layout will ensure that private outdoor living spaces will be provided for each unit comprising landscaping, fencing and appropriate decking. It is also noted that, with the exception of Lot 5, the sites do not contain a carparking space, and these are provided as separate lots which will be amalgamated with the residential lots. As such, the area of each residential lot is comprised solely of indoor and outdoor living spaces, exclusive of parking and access, which indicates the appropriateness of their size and dimensions. Whilst Lot 5 contains carparking spaces within the Lot, this Lot is significantly greater in size than the other 5 lots which comprise the development.

The proposed site is well connected to the public roading network, with a vehicle access previously approved onto King Street through two vehicle crossings; one connecting the COAL to King Street, and one for the carparks for Lot 5. The transportation aspects of the proposal have been assessed under the approved land use consent.

The site will utilise existing wastewater and water connections to the respective public networks. It has been confirmed that there will be sufficient capacity in the public wastewater network to cater for the new six dwellings. Stormwater management has been considered across the subject site as the impervious area exceeds the maximum set out in the plan. The use of permeable concrete along with the proposed stormwater

tanks will ensure the flow of water is kept to pre-development levels. Please refer to the approved resource consent, and drainage building consent for further details.

The proposed subdivision is located within walking distance of essential services in Kerikeri Township. Additionally, there is good access to public facilities, which are located within close proximity of all lots, being numerous kindergartens, schools, restaurants and shops. The proposed subdivision is considered to be a suitable use for underutilised land in a prime location for intensification and reflects sustainable use of land that goes some way to reduce pressure on other areas, i.e., where land has production value. It is considered that the proposed site layout is suitable for the Residential Zone that the potential adverse effects on the environment will be no more than minor.

With regard to Section 106 of the Act, there are no hazards affecting the site that should preclude subdivision from occurring.

6.3 Positive Effects

The expected positive effects resulting from the development of the site are considered to outweigh any likely adverse effects. The proposed subdivision is in line with the objectives and policies of the zones, and will create six fee simple lots around newly constructed, healthy and warm dwellings to provide for the urban growth of the Kerikeri township.

The sites will be landscaped and maintained, and any potential effects from future development of the lots, including impermeable surfaces, will therefore be softened and broken up by the proposed vegetative planting. Aesthetically, the overall site will positively contribute to the wider area. Internally, the site will provide quality onsite amenity and healthy living conditions.

6.4 Objectives and Policies

An assessment against the relevant Objectives and Policies of the **Operative District Plan** is included below.

It is considered the proposal is consistent with the objectives and policies of the District Plan, and any actual and potential effects will be less than minor.

Chapter 13 – Subdivision	
Objectives	Response
13.3.1 To provide for the subdivision of land in such a way as will be consistent with the purpose of the various zones in the Plan, and will promote the sustainable management of the natural and physical resources of the District, including airports and roads and the social, economic and cultural well being of people and communities.	The proposal will provide for efficient use of land while achieving quality onsite amenity and avoiding adverse effects on adjoining neighbours. The proposal will allow residents to provide for the social, economic and cultural well beings.
13.3.2 To ensure that subdivision of land is appropriate and is carried out	The proposed subdivision will not compromise the life-supporting capacity of

<p>in a manner that does not compromise the life-supporting capacity of air, water, soil or ecosystems, and that any actual or potential adverse effects on the environment which result directly from subdivision, including reverse sensitivity effects and the creation or acceleration of natural hazards, are avoided,10eveloed or mitigated.</p>	<p>air, water, soil or ecosystems. There are no natural hazards affecting the site.</p>
<p>13.3.3 To ensure that the subdivision of land does not jeopardise the protection of outstanding landscapes or natural features in the coastal environment.</p>	<p>N/A</p>
<p>13.3.4 To ensure that subdivision does not adversely affect scheduled heritage resources through alienation of the resource from its immediate setting/context.</p>	<p>N/A</p>
<p>13.3.5 To ensure that all new subdivisions provide a reticulated water supply and/or on-site water storage and include storm water management sufficient to meet the needs of the activities that will establish all year round.</p>	<p>The development will be connected to the reticulated water supply. A suitable stormwater management approach will be employed to service the development, in accordance with the previously approved land use consent.</p>
<p>13.3.6 To encourage innovative development and integrated management of effects between subdivision and land use which results in superior outcomes to more traditional forms of subdivision, use and development, for example the protection, enhancement and restoration of areas and features which have particular value or may have been compromised by past land management practices.</p>	<p>The proposal is considered to be an integrated development that proposes subdivision around a quality residential design to achieve a higher density that what traditional occurs in the Far North. No protection of natural features is proposed.</p>
<p>13.3.7 To ensure the relationship between Maori and their ancestral lands, water, sites, wahi tapu and other taonga is recognised and provided for.</p>	<p>There are no known waahi tapu or cultural features on the site.</p>

<p>13.3.8 To ensure that all new subdivision provides an electricity supply sufficient to meet the needs of the activities that will establish on the new lots created.</p>	<p>The proposed development will connect to the existing services provided within King Street or Clark Road.</p>
<p>13.3.9 To ensure, to the greatest extent possible, that all new subdivision supports energy efficient design through appropriate site layout and orientation in order to maximise the ability to provide light, heating, ventilation and cooling through passive design strategies for any buildings developed on the site(s).</p>	<p>The proposed subdivision is around previously approved development. Having previously been approved, it is considered that such matters have been considered and deemed acceptable.</p>
<p>13.3.10 To ensure that the design of all new subdivision promotes efficient provision of infrastructure, including access to alternative transport options, communications and local services.</p>	<p>Higher density within the area of benefit supports efficient use of infrastructure. The site is within walking distance of all essential services which will encourage use of alternative transport options.</p>
<p>13.3.11 To ensure that the operation, maintenance, development and upgrading of the existing National Grid is not compromised by incompatible subdivision and land use activities</p>	<p>N/A</p>
<p><i>Policies</i></p>	<p><i>Response</i></p>
<p>13.4.1 That the sizes, dimensions and distribution of allotments created through the subdivision process be determined with regard to the potential effects including cumulative effects, of the use of those allotments on: (a) natural character, particularly of the coastal environment; (b) ecological values; (c) landscape values; (d) amenity values; (e) cultural values; (f) heritage values; and (g) existing land uses.</p>	<p>The subdivision layout has been informed by the proposed residential activity. The amenity effects have been considered elsewhere in the table above.</p>
<p>13.4.2 That standards be imposed upon the subdivision of land to require safe and effective vehicular and pedestrian access to new properties.</p>	<p>Safe and effective vehicle access will be achieved.</p>

<p>13.4.3 That natural and other hazards be taken into account in the design and location of any subdivision.</p>	<p>N/A</p>
<p>13.4.4 That in any subdivision where provision is made for connection to utility services, the potential adverse visual impacts of these services are avoided.</p>	<p>There are no anticipated visual impacts anticipated as a result of new connections to utility services.</p>
<p>13.4.5 That access to, and servicing of, the new allotments be provided for in such a way as will avoid, remedy or mitigate any adverse effects on neighbouring property, public roads (including State Highways), and the natural and physical resources of the site caused by silt runoff, traffic, excavation and filling and removal of vegetation.</p>	<p>All potential effects on adjoining neighbours have been addressed in the approved land use consent.</p>
<p>13.4.6 That any subdivision proposal provides for the protection, restoration and enhancement of heritage resources, areas of significant indigenous vegetation and significant habitats of indigenous fauna, threatened species, the natural character of the coastal environment and riparian margins, and outstanding landscapes and natural features where appropriate.</p>	<p>N/A</p>
<p>13.4.7 That the need for a financial contribution be considered only where the subdivision would: (a) result in increased demands on car parking associated with non-residential activities; or (b) result in increased demand for esplanade areas; or (c) involve adverse effects on riparian areas; or (d) depend on the assimilative capacity of the environment external to the site.</p>	<p>Noted – no financial contributions are considered necessary in this case.</p>
<p>13.4.8 That the provision of water storage be taken into account in the design of any subdivision.</p>	<p>Noted. Onsite detention is proposed to mitigate increased runoff generated by the proposal.</p>

13.4.9 That bonus development donor and recipient areas be provided for so as to minimise the adverse effects of subdivision on Outstanding Landscapes and areas of significant indigenous flora and significant habitats of fauna	N/A
13.4.10 The Council will recognise that subdivision within the Conservation Zone that results in a net conservation gain is generally appropriate.	N/A
13.4.11 That subdivision recognises and provides for the relationship of Maori and their culture and traditions, with their ancestral lands, water, sites, waahi tapu and other taonga and shall take into account the principles of the Treaty of Waitangi.	There are no known waahi tapu or cultural features on the site. Consideration has been given to the principles of the treaty.
13.4.12 That more intensive, innovative development and subdivision which recognises specific site characteristics is provided for through the management plan rule where this will result in superior environmental outcomes.	N/A
13.4.13 Subdivision, use and development shall preserve and where possible enhance, restore and rehabilitate the character of the applicable zone in regards to s6 matters.	N/A
13.4.14 That the objectives and policies of the applicable environment and zone and relevant parts of Part 3 of the Plan will be taken into account when considering the intensity, design and layout of any subdivision.	Please see the tables above.
13.4.15 That conditions be imposed upon the design of subdivision of land to require that the layout and orientation of all new lots and building platforms created include,	Noted.

as appropriate, provisions for achieving the following: ...	
13.4.16 When considering proposals for subdivision and development within an existing National Grid Corridor the following will be taken into account: ...	N/A

An assessment against the relevant Objectives and Policies of the **Proposed District Plan** is included below. Under section 104(1)(b)(vi) of the RMA, in considering a resource consent application, the Council must have regard to the objectives and policies of the proposed district plan.

Subdivision	
Objectives	Response
<p>SUB-O1 Subdivision results in the efficient use of land, which:</p> <ul style="list-style-type: none"> a. achieves the objectives of each relevant zone, overlays and district wide provisions; b. contributes to the local character and sense of place; c. avoids reverse sensitivity issues that would prevent or adversely affect activities already established on land from continuing to operate; d. avoids land use patterns which would prevent land from achieving the objectives and policies of the zone in which it is located; e. does not increase risk from natural hazards or risks are mitigated and existing risks reduced; and f. manages adverse effects on the environment. 	<p>The proposal will provide for efficient use of land while achieving quality onsite amenity and avoiding adverse effects on adjoining neighbours. The proposal will allow residents to provide for their social, economic and cultural well being.</p>
<p>SUB-O2 Subdivision provides for the:</p> <ul style="list-style-type: none"> a. Protection of highly productive land; and b. Protection, restoration or enhancement of Outstanding Natural Features, Outstanding Natural Landscapes, Natural Character of the 	N/A

<p>Coastal Environment, Areas of High Natural Character, Outstanding Natural Character, wetland, lake and river margins, Significant Natural Areas, Sites and Areas of Significance to Māori, and Historic Heritage.</p>	
<p>SUB-O3 Infrastructure is planned to service the proposed subdivision and development where:</p> <ul style="list-style-type: none"> a. there is <ul style="list-style-type: none"> existing infrastructure connection , infrastructure should provided in an integrated, efficient, coordinated and future-proofed manner at the time of subdivision; and b. where no existing connection is available infrastructure should be planned and consideration be given to connections with the wider infrastructure network. 	<p>The proposal will use existing infrastructure along with new connections and infrastructure previously approved by LUC and Engineering Approval (currently processing).</p>
<p>SUB-O4 Subdivision is accessible, connected, and integrated with the surrounding environment and provides for:</p> <ul style="list-style-type: none"> a. public open spaces; b. esplanade where land adjoins the coastal marine area; and c. esplanade where land adjoins other qualifying waterbodies. 	<p>N/A</p>
<i>Policies</i>	<i>Response</i>
<p>SUB-P1 Enable boundary adjustments that:</p> <ul style="list-style-type: none"> i. do not alter: <ul style="list-style-type: none"> the degree of non compliance with District Plan rules and standards; the number and location of any access; and the number of certificates of title; and b. are in accordance with the minimum lot sizes of the zone and comply with 	<p>The proposed lots are smaller than the minimum lot sizes outlined in the plan, however this is becoming more frequent within Kerikeri in order to increase intensification and housing intensity. Please refer to section 6.2 for further details.</p>

<p>access, infrastructure and esplanade provisions.</p>	
<p>SUB-P2 Enable subdivision for the purpose of public works, infrastructure, reserves or access.</p>	<p>N/A</p>
<p>SUB-P3 Provide for subdivision where it results in allotments that:</p> <ul style="list-style-type: none"> a. are consistent with the purpose, characteristics and qualities of the zone; b. comply with the minimum allotment sizes for each zone; c. have an adequate size and appropriate shape to contain a building platform; and d. have legal and physical access. 	<p>The lots are consistent with the surrounding Kerikeri area, however, will not comply with the minimum lot sizes. Please refer to section 6.1.1 examples in the receiving environment of similar developments with smaller lot sizes. The lots are in accordance with approved development, previously deemed appropriate.</p>
<p>SUB-P4 Manage subdivision of land as detailed in the district wide, natural environment values, historical and cultural values and hazard and risks sections of the plan.</p>	<p>Noted.</p>
<p>SUB-P5 Manage subdivision design and layout in the General Residential, Mixed Use and Settlement zone to provide for safe, connected and accessible environments by:</p> <ul style="list-style-type: none"> a. minimising vehicle crossings that could affect the safety and efficiency of the current and future transport network; b. avoid cul-de-sac development unless the site or the topography prevents future public access and connections; c. providing for development that encourages social interaction, neighbourhood cohesion, a sense of place and is well connected to public spaces; d. contributing to a well connected transport network that safeguards future roading connections; and e. maximising accessibility, connectivity by creating walkways, cycleways and an interconnected transport network. 	<p>Two vehicle crossings have been approved for the site, being the entrance to the COAL and the other being to the carparks for Lot 5.</p> <p>High quality landscaping along with plenty of open space has been included within the proposal.</p> <p>King Street is located off Kerikeri Rd providing access to major transport networks.</p>

<p>SUB-P6 Require infrastructure to be provided in an integrated and comprehensive manner by:</p> <ul style="list-style-type: none"> a. demonstrating that the subdivision will be appropriately serviced and integrated with existing and planned infrastructure if available; and b. ensuring that the infrastructure is provided is in accordance the purpose, characteristics and qualities of the zone. 	<p>All lots will be adequately serviced with water supply, stormwater and wastewater. Please refer to the approved land use consent and approved drainage building consent.</p>
<p>SUB-P7 Require the vesting of esplanade reserves when subdividing land adjoining the coast or other qualifying waterbodies.</p>	<p>N/A</p>
<p>SUB-P8 Avoid rural lifestyle subdivision in the Rural Production zone unless the subdivision:</p> <ul style="list-style-type: none"> a. will protect a qualifying SNA in perpetuity and result in the SNA being added to the District Plan SNA schedule; and b. will not result in the loss of versatile soils for primary production activities. 	<p>N/A</p>
<p>SUB-P9 Avoid subdivision rural lifestyle subdivision in the Rural Production zone and Rural residential subdivision in the Rural Lifestyle zone unless the development achieves the environmental outcomes required in the management plan subdivision rule.</p>	<p>N/A</p>
<p>SUB-P10 To protect amenity and character by avoiding the subdivision of minor residential units from principal residential units where resultant allotments do not comply with minimum allotment size and residential density.</p>	<p>N/A</p>
<p>SUB-P11 Manage subdivision to address the effects of the activity requiring resource consent including (but not limited to) consideration of the following matters where relevant to the application:</p>	<p>Already addressed in the policies above.</p>

<ul style="list-style-type: none"> a. consistency with the scale, density, design and character of the environment and purpose of the zone; b. the location, scale and design of buildings and structures; c. the adequacy and capacity of available or programmed development infrastructure to accommodate the proposed activity; or the capacity of the site to cater for on-site infrastructure associated with the proposed activity; d. managing natural hazards; e. Any adverse effects on areas with historic heritage and cultural values, natural features and landscapes, natural character or indigenous biodiversity values; and f. any historical, spiritual, or cultural association held by tangata whenua, with regard to the matters set out in Policy TW-P6. 	
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7 STATUTORY FRAMEWORK

The statutory planning framework that applies to the land development is set out in the Resource Management Act 1991.

7.1 Section 88 – Application

This application for land use consent is submitted pursuant to Section 88 of the Resource Management Act 1991. The purpose of the Resource Management Act is to promote the sustainable development of natural and physical resources as set out in Part II of the Act. When considering an application, Council is required to have regard to the purposes and principles set out in Part II, Sections 5-8 of the Act. The actual or potential effects of the proposal on the environment are discussed in Section 5 of this report above.

Based on the assessment undertaken it is submitted that the proposal will not have an adverse effect on the sustainable management of natural and physical resources, meaning that the proposal is in alignment with the Section 5 of the Act.

7.2 Resource Management Act

The Resource Management Act 1991 (RMA) provides the statutory framework for the management of natural and physical resources. The purpose of the Act is to “*promote*

the sustainable management of natural and physical resources” where sustainable management means:

“managing the use, development, and protection of natural and physical resources in a way, or at a rate, which enables people and communities to provide for the social, economic and cultural well-being and for their health and safety while –

- (a) Sustaining the potential of natural and physical resources (excluding minerals) to meet the reasonably foreseeable needs of future generations; and*
- (b) Safeguarding the life-supporting capacity of air, water, soil and ecosystems; and*
- (c) Avoiding, remedying, or mitigating any adverse effects of activities on the environment.”*

Section 104 and Sections 105 to 108 apply to applications for resource consent and set out the matters, subject to Part 2, which must be considered when deciding an application.

7.3 Section 104B Assessment

The following section analyses the relevant statutory provisions that apply to the application and locality. Significantly, these are the provisions of the Resource Management Act 1991 (RMA) that relate to resource consents. The RMA sets out the statutory framework within which resource consents are managed in New Zealand.

Section 104 of the RMA sets out the matters for consideration when assessing resource consent. Under Section 104(1) of the RMA, when considering an application for resource consent and any submissions received, the consent authority must, subject to Part 2, have regard to:

- (i) Any actual or potential effects on the environment of allowing the activity
- (ii) any measure proposed or agreed to by the applicant for the purpose of ensuring positive effects on the environment to offset or compensate for any adverse effects on the environment that will or may result from allowing the activity
- (iii) The relevant provisions of a National Policy Statement
- (iv) A New Zealand Coastal Policy Statement
- (v) A Regional Policy Statement
- (vi) A plan or proposed plan; and
- (vii) Any other matter that the consent authority considers relevant and reasonably necessary to consider the application.

Overall, the proposed is to be considered as a non-complying activity. Section 104B states that a consent authority may grant or refuse the application, and if it grants the application, may impose conditions under Section 108 of the RMA. The following assessment addresses the relevant provisions.

7.3.1 Section 104(1)(a) - Actual and potential effects on the environment

The actual and potential effects of the proposal on the environmental have been considered in Section 6 of this report, where it was concluded that the overall actual or potential effects on the environment will, subject to conditions, be no more than minor.

7.3.2 Section 104(1)(ab) – Positive Effects and Offsetting or Compensation

The adverse effects associated with the proposal are considered to no more than minor therefore no offsetting or compensation is proposed.

7.3.3 Section 104(1)(b)(iv) – National Policy Documents and Standards

National Policy Statement on Urban Development 2020

The proposal strongly supports the objectives and policies of NPS:UD. Specific consideration has been given to those matters which are of particular importance below:

“Objective 1: New Zealand has well-functioning urban environments that enable all people and communities to provide for their social, economic, and cultural wellbeing, and for their health and safety, now and into the future.”

Response: The proposal supports compact housing in close proximity to essential services to provide for residents social and economic wellbeing.

“Objective 2: Planning decisions improve housing affordability by supporting competitive land and development markets.”

Response: The proposal provides housing variety and supports affordability through increased opportunity in a location with high demand.

“Objective 3: Regional policy statements and district plans enable more people to live in, and more businesses and community services to be located in, areas of an urban environment in which one or more of the following apply:

- a. the area is in or near a centre zone or other area with many employment opportunities*
- b. the area is well-served by existing or planned public transport*
- c. there is high demand for housing or for business land in the area, relative to other areas within the urban environment.”*

Response: The proposal increases opportunity for people to live within a growing urban environment, close to employment and where reliance on vehicles can be reduced through use of alternative transportation such as walking and biking.

“Objective 4: New Zealand’s urban environments, including their amenity values, develop and change over time in response to the diverse and changing needs of people, communities, and future generations.”

Response: The proposal will create a compact, high-quality environment that adheres to the amenity values traditionally applied to suburban residential areas while providing for the changing needs of urban areas in New Zealand. The proposal reflects the need to promote density in locations that are suitable to prevent urban sprawl.

“Objective 5: Planning decisions relating to urban environments, and FDSs, take into account the principles of the Treaty of Waitangi (Te Tiriti o Waitangi).”

Response: The principles of the treaty have been taken into account, noting that there are no natural features on the site such as waterways or indigenous vegetation.

“Objective 6: *Local authority decisions on urban development that affect urban environments are:*

- a. *integrated with infrastructure planning and funding decisions; and*
- b. *strategic over the medium term and long term; and*
- c. *responsive, particularly in relation to proposals that would supply significant development capacity.”*

Response: The proposal provides housing supply while achieving a high-quality design that will contribute positively to the wider environment and integrate with the recent residential development that has occurred along Kerikeri Road.

“Objective 7: *Local authorities have robust and frequently updated information about their urban environments and use it to inform planning decisions.”*

“Objective 8: *New Zealand’s urban environments: support reductions in greenhouse gas emissions; and are resilient to the current and future effects of climate change.”*

Response: The proposal supports the reduction of greenhouse gas emissions by encouraging walking and use of bicycles.

New Zealand Coastal Policy Statement

The New Zealand Coastal Policy Statement (NZCPS) is not considered relevant to this application. The purpose of the NZCPS is to state policies in order to achieve the purpose of the RMA, in relation to the coastal environment of New Zealand.

The application site is not located within the coastal environment and does not include any part of the Coastal Marine Area. However, the potential for adverse effects on the downstream coastal environment have been considered through this application and to avoid sediments entering the marine environment adequate sediment control will be provided on site. Accordingly, the proposal is not inconsistent with the NZCPS.

7.4 Section 104D Assessment

Pursuant to Section 104D of the RMA, if a proposal is a non-complying activity, then it must pass at least one of the tests of either Section 104D(1)(a) or Section 104D(1)(b) before an application can be assessed to make a decision under Section 104B of the Act. If the application fails both tests of Section 104D then the application must be declined.

Section 104(1)(a) – Adverse effects on the environment will be minor

Section 104D(1)(a) of the RMA requires that Council have regard to any adverse effects on the environment of allowing the activity.

Pursuant to Section 104(2), when forming an opinion for the purposes of Section 104D(1)(a), a Council may disregard any adverse effect of the activity on the environment if the plan or a National Environmental Standards permits an activity with that effect (i.e.

the Council may consider the 'permitted baseline'). In this case, no subdivision can take place on the site without resource consent, and so no permitted baseline is considered to exist, please refer to Section 6.1 of this Report for further details.

Under Section 104(3)(a)(ii) of the RMA, when forming an opinion for the purposes of Section 104D(1)(a), a Council must not have regard to any effect on a person who had given written approval to the proposal. No persons have given their written approval to the application.

Having regard to the above, the adverse effects on the environment of allowing the activity have been considered in Section 6.2 of this report and are considered to be no more than minor. The below provides a brief summary of the potential adverse effects associated with the proposed subdivision and associated mitigation:

- Infrastructure and Subdivision Effects – The proposal will be suitably serviced with sufficient capacity in the public wastewater and water networks and attenuation proposed to mitigate the increased impermeable surfaces. The subdivision layout responds to the approved residential development and will ensure that all dwellings will have usable outdoor living space to meet the day to day needs of future residents.

Section 104D(1)(b) – Proposal will not be contrary to the objectives and policies of the District Plan

The proposal has been assessed against the relevant objectives and policies of the District Plan in Section 6.4 of this report.

Overall, it is considered that the proposal will not be contrary to the relevant objectives and policies of the Operative District Plan.

Section 104D Conclusion

It is considered that the proposal meets both tests of Section 104D, and that accordingly an assessment against the requirements of Section 104B is warranted.

7.5 Regional Policy Statement for Northland 2016

It is considered that this proposal is in accordance with the high-level policy matters set out in the Regional Policy Statement for Northland. Specific consideration has been given to those matters which are of particular importance below:

Section 3.11 – Regional form

“Northland has sustainable built environments that effectively integrate infrastructure with subdivision, use and development, and have a sense of place, identity and a range of lifestyle, employment and transport choices.”

Response: The proposal is considered to positively contribute to providing a sustainable urban environment, providing for higher density where there are services and infrastructure, employment choice and opportunities to utilize alternative transportation options (*reducing* reliance on cars). The proposed development has been architectural design and includes quality landscaping to create a sense of place within the Residential Zone.

7.6 The Matters in Part II of the Resource Management Act

The purpose of the Resource Management Act is “to promote the sustainable development of natural and physical resources” as set out in Part II of the Act. When considering an application, Council is required to have regard to the purpose and principals set out under Part II and Sections 5 – 8 of the Act.

Section 5 of the Act sets out the overarching purpose of the Act, which is the sustainable management of natural and physical resources, in a manner which ensures that effects on the environment are avoided, remedied, or mitigated. It is considered that the proposal enables a sustainable use of resource, infrastructure, and land, and does not contradict Section 5.

Section 6 sets out matters of national importance. The following comments are in regard to the matters listed in Section 6:

- No coastal environment, streams or wetlands are associated with the subject site.
- There are no identified outstanding natural features or landscapes relevant to the subject property.
- There are no areas of significant indigenous vegetation or significant habitats of indigenous fauna on the land.
- No public access issues are associated with the land.
- No areas of cultural or historic heritage value, or protected customary rights are identified as being associated with the land.
- The site is not subject to any known natural hazards.

Section 7 sets out “other matters” that need to be given regard. It is considered that the proposal is not contrary to the achievement of any of the matters listed in Section 7, as:

- The proposal will enable an efficient use and development of the residential zoned land.
- The proposal will have minor and temporary effects on the amenity values associated with the immediate area. These are considered acceptable.
- There are no significant ecological values associated with the site.

Section 8 requires the principles of the Treaty of Waitangi to be upheld. It is considered that the proposal is not contrary to any of the matters in Section 8.

Based on the assessment undertaken, it is submitted that the proposal will promote the sustainable management of natural and physical resources, meaning that the proposal is in alignment with the purpose of the RMA.

8 CONCLUSION

It is proposed to subdivide the site at 4 King Street, Kerikeri into 6 residential lots around an approved land use consent. The application is assessed as a **Non-Complying Activity**, for the reasons outlined in section 5.

Based on the discussion under Section 6 and 7 above, it is considered that any actual or potential environmental effects on the environment that may result from granting consent to the proposal will be no more than minor, and that no external parties will be adversely affected.

Therefore, with respect, we ask that Council grants consent for the proposed land use activity on a non-notified basis subject to appropriate conditions.

*** END ***



**RECORD OF TITLE
UNDER LAND TRANSFER ACT 2017
FREEHOLD
Search Copy**




R. W. Muir
Registrar-General
of Land

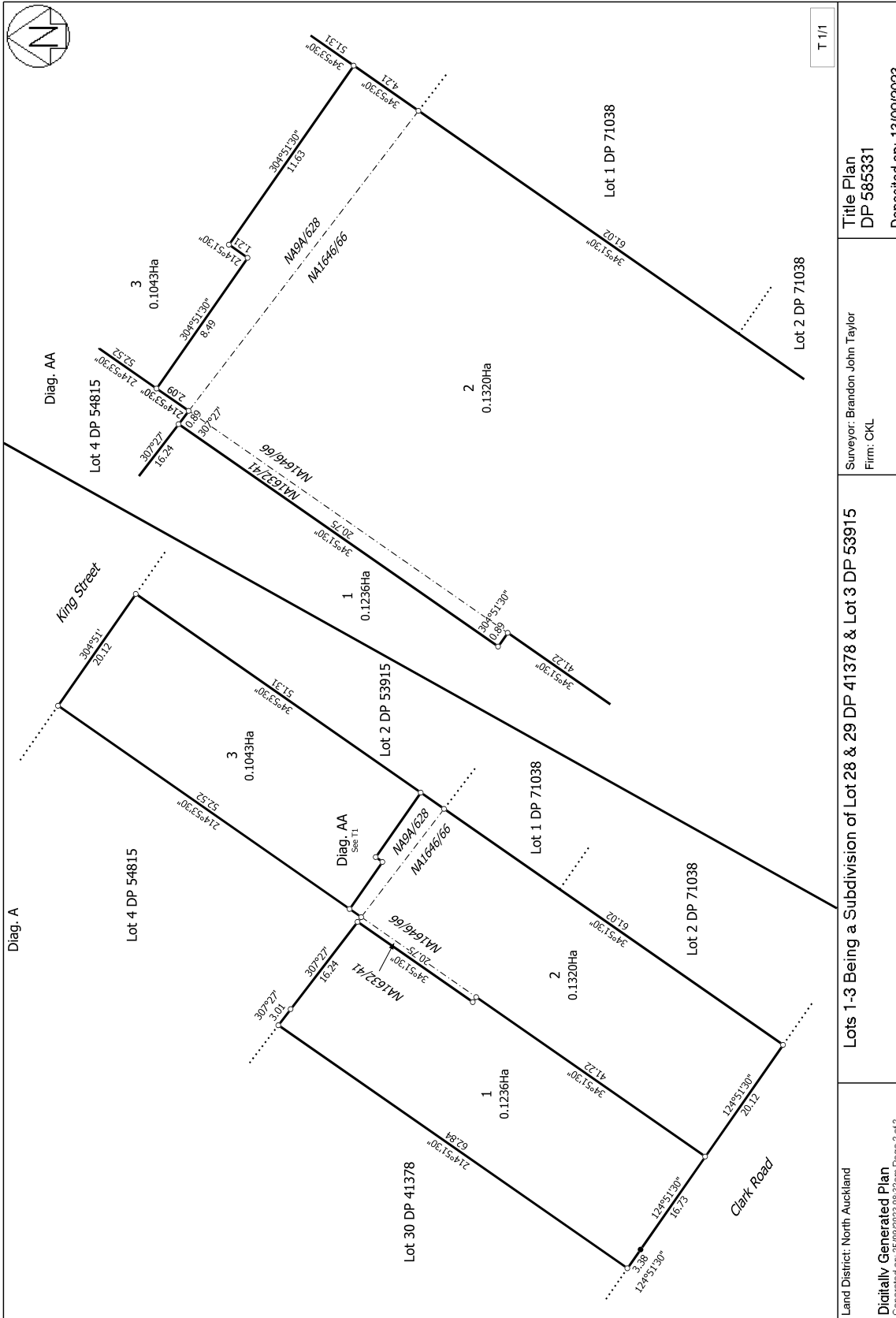
Identifier 1139284
Land Registration District North Auckland
Date Issued 13 September 2023

Prior References
NA9A/628

Estate Fee Simple
Area 1043 square metres more or less
Legal Description Lot 3 Deposited Plan 585331

Registered Owners
Gemscott King Limited

Interests



T 1/1

<p>Land District: North Auckland</p> <p>Digitally Generated Plan</p> <p>Generated on: 25/09/2023 08:32am Page 2 of 2</p>	<p>Lots 1-3 Being a Subdivision of Lot 28 & 29 DP 41378 & Lot 3 DP 53915</p>	<p>Surveyor: Brandon John Taylor Firm: CKL</p>	<p>Title Plan DP 585331</p> <p>Deposited on: 13/09/2023</p>
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Notes:

- Bearing & Coordinate Datum: Geodetic 2000
- Mt Eden Circuit Coordinates: 800 000.00mN
400 000.00mE
- Origin of Coordinates: RM 45 SO 55465 (C30F)
983335.269mN
325999.763mE
LINZ value as of 05.08.22
- Height Datum: One Tree Point Vertical Datum 1964
- Origin of Levels: RM 45 SO 55465 (C30F)
RL = 69.66m (converted from NZVD 2016)
LINZ value as of 05.08.22
- Contour Intervals: Major = 1.0m
Minor = 0.2m
- Boundary data adopted from underlying plans DP 41378 & DP 53915
- See AutoCAD model for entire limits of survey.

Disclaimer:

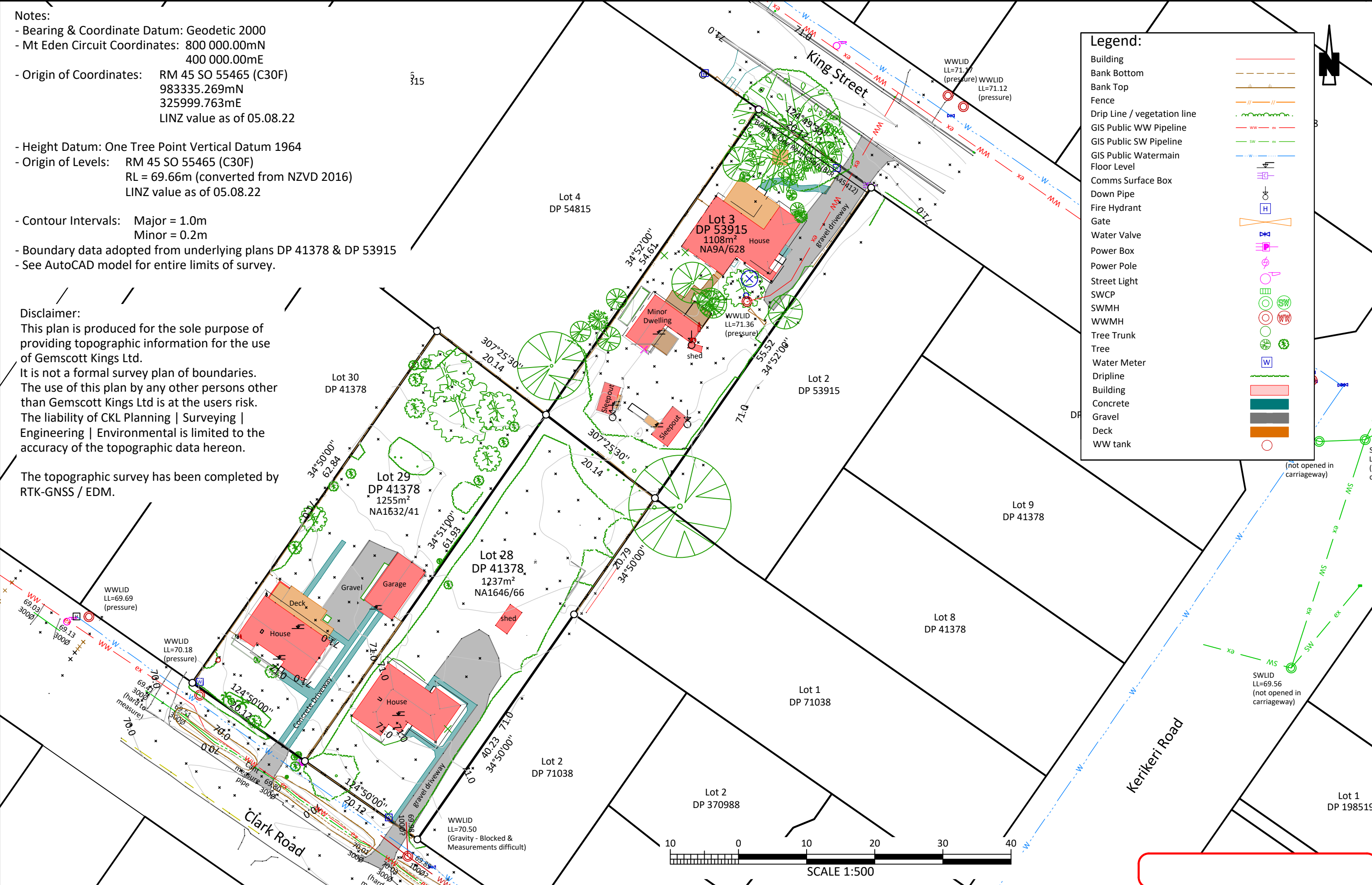
This plan is produced for the sole purpose of providing topographic information for the use of Gemscott Kings Ltd. It is not a formal survey plan of boundaries. The use of this plan by any other persons other than Gemscott Kings Ltd is at the users risk. The liability of CKL Planning | Surveying | Engineering | Environmental is limited to the accuracy of the topographic data hereon.

The topographic survey has been completed by RTK-GNSS / EDM.

Legend:

- Building
- Bank Bottom
- Bank Top
- Fence
- Drip Line / vegetation line
- GIS Public WW Pipeline
- GIS Public SW Pipeline
- GIS Public Watermain
- Floor Level
- Comms Surface Box
- Down Pipe
- Fire Hydrant
- Gate
- Water Valve
- Power Box
- Power Pole
- Street Light
- SWCP
- SWMH
- WWMH
- Tree Trunk
- Tree
- Water Meter
- Dripline
- Building
- Concrete
- Gravel
- Deck
- WW tank

C:\ProgramData\12DSynergy\data\CKL-AZU-SYN-1\1.1 - Subdivision_21275102 Topographic Survey\Modelling\CAD DWGs\A22047-TS-SURVDATA-100.dwg



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Gemscott Kings Ltd
3 & 5 Clark Rd & 4 King St, Kerikeri

TOPOGRAPHICAL SURVEY

Issue	Description	Checked	Date	Designed	Date	Scale:
0	Original Issue	CV	11.08.22			1:500
01	5 Clark Road added			Drawn: AHH	10.08.22	(A3 Original)
				Checked: CV	11.08.22	
		Job No:	Dwg No:	Rev:		
		A22047	100	1		



Applicant: Gemscott King Ltd
Comprised In: 1139284
Local Authority: Far North District Council
Total Area: 1043m2

Legend:

Building	
Bank Bottom	
Bank Top	
Fence	
Drip Line / vegetation line	
GIS Public WW Pipeline	
GIS Public SW Pipeline	
GIS Public Watermain	
Floor Level	
Comms Surface Box	
Down Pipe	
Fire Hydrant	
Gate	
Water Valve	
Power Box	
Power Pole	
Street Light	
SWCP	
SWMH	
WWMH	
Tree Trunk	
Tree	
Water Meter	
Dripline	
Building	
Concrete	
Gravel	
Deck	

- NOTES:**
- Contour Intervals:
Major = 1.0m
Minor = 0.2m
 - Existing stormwater, sewer and water lines have been positioned using a combination of field survey and tracing from council GIS records.
 - All existing structures and vegetation are to be removed unless otherwise shown.

- Notes:**
- Changes may occur to the layout of the proposal shown as a result of the Resource Consent Conditions.
 - Areas and dimensions on this plan may be subject to change following field survey.
 - The copyright and intellectual property rights for the information shown on this plan remain the property of CKL NZ Ltd.
 - This plan has been prepared only for the purpose of illustrating an application for resource consent. It should not be used for any other purpose.

FOR RESOURCE CONSENT

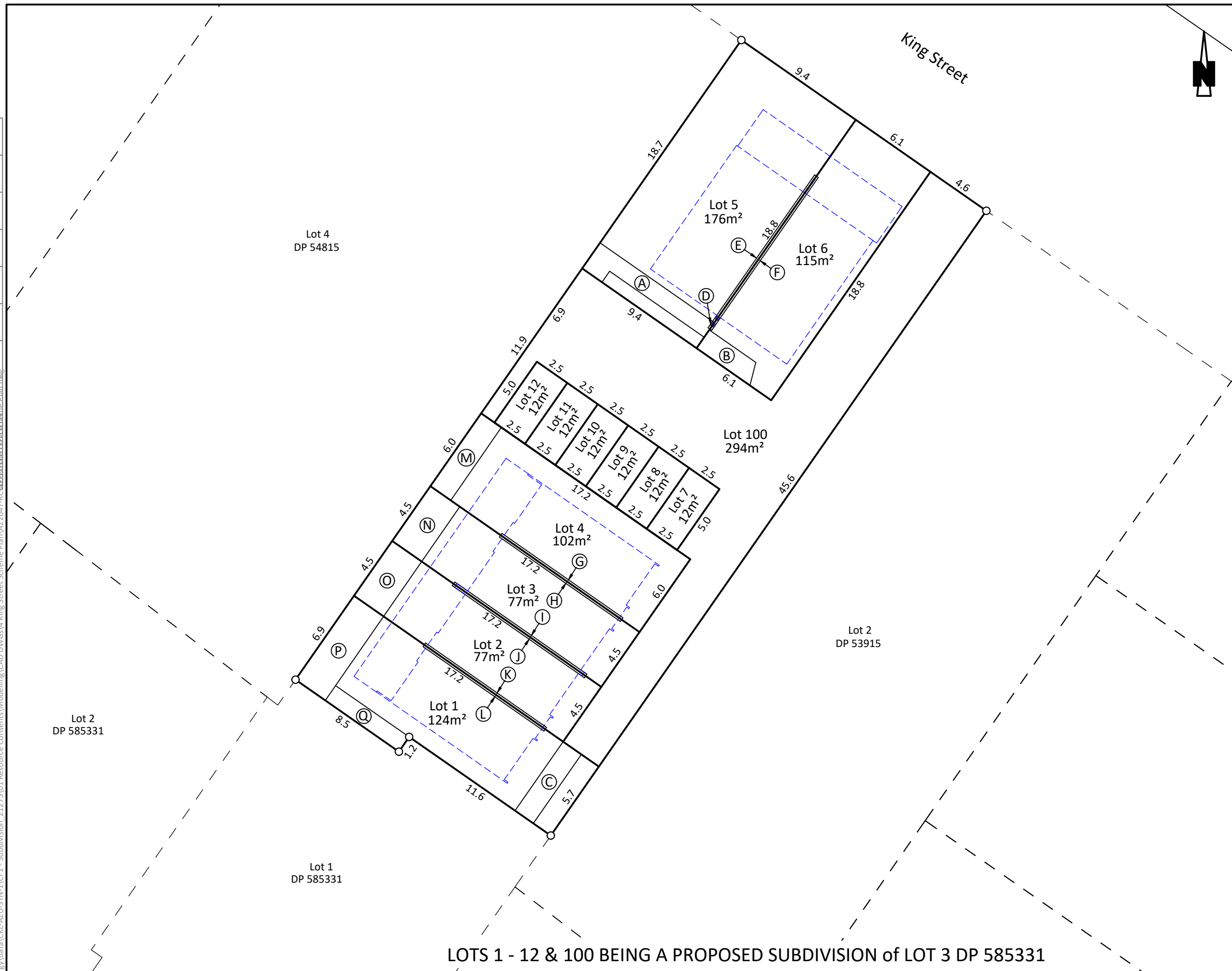
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 P: 09 524 7029
 E: Auckland@ckl.co.nz

GEMSCOTT KING LTD
TE TIRA
4 KING ST, KERIKERI

APPLICATION PLAN
SUBDIVISION CONSENT
EXISTING LAYOUT

Issue	Description	Checked	Date	Date	Scale:
0	Original Issue	CV	2023.02.10	Designed: 2023.02.10 Drawn: CV 2023.02.10 Checked: CV 2023.02.10	1:250 (A3 Original)
				Job No: A22047	Dwg No: 1520
				Rev: 0	

C:\ProgramData\12DSynergy\data\CKL-AZU-SYN-1\CI 1 - Subdivision_21275\01_Resource Consents\Modelling\CAD\DWGS\4 King Street Scheme Plan\A22047-RC\1520\1520.dwg



Applicant: Gemscott King Ltd
Comprised In: 1139284
Local Authority: Far North District Council
Total Area: 1043m²

- NOTES:**
- All existing structures and vegetation are to be removed unless otherwise shown.
 - Boundary bearings and distances are subject to final survey.
 - Refer to separate engineering drawings for the proposed drainage & water supply details.
 - Refer to architects drawings for further details eg: site coverage and height to boundary calculations.

- Notes:**
- Changes may occur to the layout of the proposal shown as a result of the Resource Consent Conditions.
 - Areas and dimensions on this plan may be subject to change following field survey.
 - The copyright and intellectual property rights for the information shown on this plan remain the property of CKL NZ Ltd.
 - This plan has been prepared only for the purpose of illustrating an application for resource consent. It should not be used for any other purpose.

FOR RESOURCE CONSENT

LOTS 1 - 12 & 100 BEING A PROPOSED SUBDIVISION of LOT 3 DP 585331



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Planning | Surveying | Engineering | Environmental

GEMSCOTT KING LTD
TE TIRA
4 KING ST, KERIKERI

APPLICATION PLAN
SUBDIVISION CONSENT
PROPOSED SITE LAYOUT

Issue	Description	Checked	Date	Designed:	Date	Scale:
1	New site bdys & revised layout	CV	2024.05.01	Drawn: CV	2023.02.10	1:250 (A3 Original)
0	Original Issue	CV	2023.02.10	Checked: CV	2023.02.10	
Job No: A22047 Dwg No: 1521 Rev: 1						

Land Registration District
North Auckland

Plan Number

Land Registration District
North Auckland

Plan Number

Territorial Authority (the Council)
Far North District Council

CKL Ref#
A22047

Territorial Authority (the Council)
Far North District Council

CKL Ref#
A22047

Applicant: Gemscott King Ltd

Comprised In: 1139284

Local Authority: Far North District Council

Total Area: 1043m2

Schedule of Easements			
Purpose	Shown	Burdened Land (Servient Tenement)	Benefited Land (Dominant Tenement)
Right of Way, Right to Convey Electricity, Water, Telecommunications, Right to Drain Sewage, Right to Drain Water	Lot 100	Lot 100	Lots 1 – 6
Right to Convey Electricity, Water, Telecommunications, Right to Drain Sewage, Right to Drain Water	Lots 7 - 12	Lots 7 - 12	Lots 1 – 6
Party Wall	D & E	Lot 5	Lot 6
	F	Lot 6	Lot 5
	G	Lot 4	Lot 3
	H	Lot 3	Lot 4
	I	Lot 3	Lot 2
	J	Lot 2	Lot 3
	K	Lot 2	Lot 1
	L	Lot 1	Lot 2

Easements in gross for power and telecommunications may be added if requested by the service providers.

Schedule of Easements			
Purpose	Shown	Burdened Land (Servient Tenement)	Benefited Land (Dominant Tenement)
Right to Drain Sewage	A & D	Lot 5	Lot 6
	M	Lot 4	Lots 5 & 6
	N	Lot 3	Lots 4 - 6
	O	Lot 2	Lots 3 - 6
	P	Lot 1	Lots 2 - 6
Right to Drain Water	B	Lot 6	Lot 5
	C	Lot 1	Lots 5 - 12
	N	Lot 3	Lot 4
	O	Lot 2	Lots 3 - 4
	P & Q	Lot 1	Lots 2 - 4

Proposed Amalgamation Conditions

That Lot 100 (legal access) be held as to six undivided 1/6th shares by the owners of Lots 1 – 6 hereon as tenants in common in the said shares and that individual records of titles be issued in accordance therewith.

- That Lots 1 & 7 hereon be held in the same record of title.
- That Lots 2 & 8 hereon be held in the same record of title.
- That Lots 3 & 9 hereon be held in the same record of title.
- That Lots 4 & 10 hereon be held in the same record of title.
- That Lots 6, 11 & 12 hereon be held in the same record of title.

- Notes:
- Changes may occur to the layout of the proposal shown as a result of the Resource Consent Conditions.
 - Areas and dimensions on this plan may be subject to change following field survey.
 - The copyright and intellectual property rights for the information shown on this plan remain the property of CKL NZ Ltd.
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FOR RESOURCE CONSENT



Planning | Surveying | Engineering | Environmental

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GEMSCOTT KING LTD
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APPLICATION PLAN
SUBDIVISION CONSENT
SCHEDULES

Issue	Description	Checked	Date	Designed	Date	Scale:
1	New site bdys & revised layout	CV	2024.05.01	Drawn: CV	2023.02.10	NTS (A3 Original)
0	Original Issue	CV	2023.02.10	Checked: CV	2023.02.10	
Job No: A22047 Dwg No: 1522 Rev: 1						

ASSESSMENT UNDER THE OPERATIVE FAR NORTH DISTRICT PLAN 2009

Subdivision Consents (s11)

TABLE 1

Chapter 13 – Subdivision

RULE	PROVISION	PROPOSAL				
13.7	<p>CONTROLLED (SUBDIVISION) ACTIVITIES</p> <p><i>Subdivision is a controlled activity where it complies with the following standards and the standards set out in rules under 13.7.1, 13.7.2 and 13.7.3.</i></p> <p><i>Under s106(1) the Council may refuse to grant a subdivision consent if it considers that either:</i></p> <ul style="list-style-type: none"> <i>a) any land in respect of which a consent is sought, or any structure on that land, is or is likely to be subject to material damage by erosion, falling debris, subsidence, slippage, or inundation from any source; or</i> <i>b) any subsequent use that is likely to accelerate, worsen, or result in material damage to that land, other land, or structure, by erosion, falling debris, subsidence, slippage, or inundation from any source; or</i> <i>c) sufficient provision has not been made for legal and physical access to each allotment to be created by the subdivision.</i> 	<p>The proposal is not a controlled activity as it cannot comply with the minimum lot size standard (13.7.2.1), allotment dimensions (13.7.2.2), and property access (13.7.3.1).</p>				
13.7.2	ALLOTMENT SIZES, DIMENSIONS AND OTHER STANDARDS					
13.7.2.1	<p>MINIMUM AREA FOR VACANT NEW LOTS AND NEW LOTS WHICH ALREADY ACCOMMODATE STRUCTURES</p> <p><i>Every allotment to be created by a subdivision shall comply either with the conditions of a resource consent or with the minimum standards specified as follows in Table 13.7.2.1, and shall comply with all other relevant zone rules, except as provided for in Rules 13.7.2.4, 13.7.2.5, 13.7.2.6 and 13.7.2.7 below.</i></p>	<p>The proposal will comply with the approved land use resource consent conditions.</p>				
TABLE 13.7.2.1	<p>MINIMUM LOT SIZES</p> <p>(v) RESIDENTIAL ZONE</p> <table border="1" style="width: 100%;"> <thead> <tr> <th>Controlled Activity Status (Refer also to 13.7.3)</th> <th>Discretionary Activity Status (Refer also to 13.9)</th> </tr> </thead> <tbody> <tr> <td>The minimum lot sizes are 3,000m² (unsewered) and 600m² (sewered).</td> <td>The minimum lot sizes are 2,000m² (unsewered) and 300m² (sewered).</td> </tr> </tbody> </table>	Controlled Activity Status (Refer also to 13.7.3)	Discretionary Activity Status (Refer also to 13.9)	The minimum lot sizes are 3,000m ² (unsewered) and 600m ² (sewered).	The minimum lot sizes are 2,000m ² (unsewered) and 300m ² (sewered).	<p>The 6 fee simple lots proposed within the residential zone will be less than 300m² (sewered) with sites varying between 77m² and 176m². However, the carparking spaces serving Units 1 – 4 and 6 are contained within a separate title which will be held with the residential title of each Unit.</p> <p>Non-Complying Activity.</p>
Controlled Activity Status (Refer also to 13.7.3)	Discretionary Activity Status (Refer also to 13.9)					
The minimum lot sizes are 3,000m ² (unsewered) and 600m ² (sewered).	The minimum lot sizes are 2,000m ² (unsewered) and 300m ² (sewered).					
13.7.2.2	<p>ALLOTMENT DIMENSIONS</p> <p><i>Any allotment created in terms of these rules must be able to accommodate a square building envelope of the minimum dimensions specified below; which does not encroach into the permitted activity boundary setbacks for the relevant zones:</i></p>	<p>The proposed lots will not be able to meet the allotment dimension as the sites will have widths of between 4.5 metres and 9.4 metres.</p>				

	Zone	Minimum Dimension	
	Residential, Coastal Residential, Russell Township	14m x 14m	Proposal does not comply.
	Rural Production, Minerals, General Coastal, Coastal Living, South Kerikeri Inlet, Rural Living, Waimate North, Point Veronica and Carrington Estate	30m x 30m	
	<p><i>Any allotment created in terms of these rules shall comprise one contiguous parcel of land, except that in the case of land subdivided under the Unit Titles Act 2010, the principal unit and any accessory units shall be deemed to be a contiguous area if they are contained within the same site.</i></p>		
13.7.3	<p>CONTROLLED (SUBDIVISION) ACTIVITIES: OTHER MATTERS TO BE TAKEN INTO ACCOUNT <i>Any application for a controlled (subdivision) activity resource consent must also make provision (where relevant) for the matters listed under Rules 13.7.3.1 to 13.7.3.12 (inclusive), and the Council shall take account of these matters in reaching a decision on the application.</i></p>		Noted.
13.7.3.1	<p>PROPERTY ACCESS A controlled (subdivision activity application must comply with rules for property access in Chapter 15, namely Rules 15.1.6C.1.1 – 15.1.6C.1.11 (inclusive).</p>		<p>The proposal will not comply with the access rules of the transportation section. The transportation aspects have been assessed and dealt with in the approved land use consent (2240011-RMALUC).</p> <p>Proposal does not comply.</p>
13.7.3.2	<p>NATURAL AND OTHER HAZARDS <i>Any proposed subdivision shall avoid, remedy or mitigate any adverse effects of natural hazards</i></p>		<p>The proposal meets the standard for the following reasons:</p> <ul style="list-style-type: none"> - The site is not subject to erosion; - The site does not contain any overland flow paths, flooding or inundation; - The site does not contain any unconsolidated fill; - The site is not subject to sea level rise. <p>Proposal complies.</p>
13.7.3.3	<p>WATER SUPPLY <i>All new allotments shall be provided with the ability to connect to a safe potable water supply with an adequate capacity for the respective potential land uses, except where the allotment is for a utility, road, reserve or access purposes, by means of one of the following:</i></p> <ol style="list-style-type: none"> <i>a) a lawfully established reticulated water supply system; or</i> <i>b) where no reticulated water supply is available, the ability to provide an individual water supply on the respective allotment.</i> 		<p>The site can be serviced by a suitable water supply.</p> <p>Please refer to the approved resource consent and approved drainage building consent for further details.</p> <p>Proposal complies.</p>
13.7.3.4	<p>STORMWATER DISPOSAL</p> <ol style="list-style-type: none"> <i>a) All allotments shall be provided, within their net area, with a means for the disposal of collected stormwater from the roof of all potential or existing</i> 		<p>The proposal involves appropriate stormwater disposal into the table drain within Clark Road (which will</p>

	<p><i>buildings and from all impervious surfaces, in such a way so as to avoid or mitigate any adverse effects of stormwater runoff on receiving environments, including downstream properties. This shall be done for a rainfall event with a 10% Annual Exceedance Probability (AEP).</i></p> <p><i>b) The preferred means of disposal of collected stormwater in urban areas will be by way of piping to an approved outfall, each new allotment shall be provided with a piped connection to the outfall laid at least 600mm into the net area of the allotment. This includes land allocated on a cross lease or company lease. The connection should be at the lowest point of the site to enable water from driveways and other impervious surfaces to drain to it. Where it is not practical to provide stormwater connections for each lot then the application for subdivision shall include a report detailing how stormwater from each lot is to be disposed of without adversely affecting downstream properties or the receiving environment.</i></p> <p><i>c) The provision of grass swales and other water retention devices such as ponds and depressions in the land surface may be required by the Council in order to achieve adequate mitigation of the effects of stormwater runoff.</i></p> <p><i>d) All subdivision applications creating sites 2ha or less shall include a detailed report from a Chartered Professional Engineer or other suitably qualified person addressing stormwater disposal.</i></p> <p><i>e) Where flow rate control is required to protect downstream properties and/or the receiving environment then the stormwater disposal system shall be designed in accordance with the onsite control practices as contained in “Technical Publication 10, Stormwater Management Devices – Design Guidelines Manual” Auckland Regional Council (2003).</i></p>	<p>be sort within a consent lodged concurrently).</p> <p>Please refer to the approved resource consent and approved drainage building consent for further details.</p> <p>Proposal complies.</p>
<p>13.7.3.5</p>	<p>SANITARY SEWAGE DISPOSAL</p> <p><i>a) Where an allotment is situated within a duly gazetted district or drainage area of a lawfully established reticulated sewerage scheme, or within an area to be serviced by a private reticulated sewerage scheme for which Northland Regional Council has issued a consent, each new allotment shall be provided with a piped outfall connected to that scheme and shall be laid at least 600mm into the net area of the allotment.</i></p> <p><i>b) Where connection is not available, all allotments in urban, rural and coastal zones shall be provided with a means of disposing of sanitary sewage within the net area of the allotment, except where the allotment is for a road, or for access purposes, or for a purpose or activity for which sewerage is not necessary (such as a transformer).</i></p> <p><u>Note:</u></p>	<p>The site can be serviced by the public reticulated sewerage system.</p> <p>Please refer to the approved resource consent and note the engineering approval is presently processing.</p> <p>Proposal complies.</p>

	<i>Allotments include additional vacant sites on cross lease or unit titles</i>	
13.7.3.6	ENERGY SUPPLY <i>All urban allotments (Residential, Commercial, Industrial Zones) including the Coastal Residential, Russell Township, and Rural Living Zones, shall be provided with the ability to connect to an electrical utility system and applications for subdivision consent should indicate how this could be done.</i>	The site can be serviced by electricity. Proposal complies.
13.7.3.7	TELECOMMUNICATIONS <i>All urban allotments (Residential, Commercial, Industrial Zones) including the Coastal Residential, Russell Township, and Rural Living Zones, shall be provided with the ability to connect to a telecommunications system at the boundary of the site.</i>	The site can be serviced by telecommunication services. Proposal complies.
13.7.3.8	EASEMENTS FOR ANY PURPOSE <i>Easements shall be provided where necessary for public works and utility services</i>	Appropriate easements are proposed within the common accessway to provide for the required services. Please refer to the Scheme Plan within Appendix 3 for further information. Proposal complies.
13.7.3.9	PRESERVATION OF HERITAGE RESOURCES, VEGETATION, FAUNA AND LANDSCAPE, AND LAND SET ASIDE FOR CONSERVATION PURPOSES	N/A
13.7.3.10	ACCESS TO RESERVES AND WATERWAYS <i>Where appropriate and relevant, public access shall be provided in proposed subdivisions, to public reserves, waterways and esplanade reserves. The Council may decide, on application, that public access to reserves or public areas may be provided in lieu of, or partially in lieu of, any reserves or financial contribution that is required in respect of the subdivision.</i>	N/A. There are no public reserves, waterways or esplanade reserves within the vicinity of the site.
13.7.3.11	LAND USE COMPATIBILITY <i>Subdivision shall avoid, remedy or mitigate any adverse effects of incompatible land uses (reverse sensitivity).</i>	There will be no reverse sensitivity effects as the adjacent properties are all currently residential. Proposal complies.
13.7.3.12	PROXIMITY TO AIRPORTS	N/A
13.9	DISCRETIONARY (SUBDIVISION) ACTIVITIES <i>Subdivision is a discretionary activity where:</i> a) <i>it does not comply with one or more of the standards for controlled or restricted-discretionary (subdivision) activities set out in rules under 13.7 and 13.8, but</i> b) <i>it complies with the rules under 13.9.1, 13.9.2 or 13.9.3;</i> c) <i>it is located in the Pouerua Heritage Precinct</i>	The proposal is not a discretionary activity as it does not comply with the minimum net area for vacant new lots and new lots which already accommodate structures (13.7.2.1), allotment dimensions (13.7.2.2) and property access (13.7.3.1). Proposal does not comply.

13.9.1	MINIMUM NET AREA FOR VACANT NEW LOTS AND NEW LOTS WHICH ALREADY ACCOMMODATE STRUCTURES <i>Refer to Table 13.7.2.1 under Rule 13.7.2.1 column headed “Discretionary Activity Status”.</i>	The proposal does not comply with this standard. Proposal does not comply.
13.9.2	MANAGEMENT PLANS	N/A
13.9.3	DEVELOPMENT BONUS	N/A
13.11	NON-COMPLYING (SUBDIVISION) ACTIVITIES <i>Subdivision is a non-complying activity where:</i> <ul style="list-style-type: none"> <i>a) If a subdivision activity does not comply with the standards for a discretionary (subdivision) activity; or</i> <i>b) the subdivision is in a Coastal Hazard 1 Area, as shown on the Coastal Hazard Maps;</i> <i>c) the subdivision is in the Recreational Activities and Conservation Zones. Any application for a subdivision in the Recreational Activities and Conservation Zones will be publicly notified; or</i> <i>d) a new boundary line passes through the Outstanding Natural Feature (Appendix 1A) or Outstanding Landscape Feature (Appendix 1B) or a lot is created which results in the only building site and/or access to it being located in the feature unless it is for creation of a reserve under the Reserves Act 1977. This clause does not apply within the Pouerua Heritage Precinct.</i> <i>e) if a subdivision activity does not comply with the standards of Rule 13.8.1 (National Grid Corridor).</i> <i>The Council will use the assessment criteria in 13.10 as a guide when assessing non-complying subdivision activities in conjunction with the matters set out in Sections 104, 104B, 104D and 106 of the Act.</i>	The proposal does not comply with the standards for a discretionary activity due to the minimum net area an allotment dimensions for new lots. Non-Complying Activity.

*** END ***



DECISION ON LAND USE CONSENT APPLICATION UNDER THE RESOURCE MANAGEMENT ACT 1991

Amended pursuant to s133A

Decision

Pursuant to section 34(1) and sections 104, 104B and Part 2 of the Resource Management Act 1991 (the Act), the Far North District Council **grants** land use resource consent for a Discretionary activity, subject to the conditions listed below, to:

Applicant:	Gemscott King Limited
Council Reference:	2240011-RMALUC
Property Address:	4 King Street, Kerikeri 0230
Legal Description:	Lot 3 DP 53915 (RT 4948736)

The activities to which this decision relates are listed below:

To construct six residential townhouse units in the Residential Zone, breaching the Residential Intensity, Sunlight, Stormwater Management, Traffic Intensity, On-site Car Parking Spaces and Vehicle Crossing Standard rules of the District Plan as a Discretionary Activity under Rule 7.6.5.4 DISCRETIONARY ACTIVITIES, 15.1.6A.5 DISCRETIONARY ACTIVITIES, 15.1.6B.3 DISCRETIONARY ACTIVITIES and 15.1.6C.2 DISCRETIONARY ACTIVITIES.

Conditions

Pursuant to sections 108 of the Act, this consent is granted subject to the following conditions:

1. The activity shall be carried out in accordance with:
 - a) The approved plans prepared by A Studio Architects, referenced Project No 2212 as listed below:

Resource Consent Drawing List - 4 King Street			
Sheet Number	Sheet Name	Current Revision	Current Revision Date
RC-100	Cover Page	C	2023-09-11
RC-102	Soft and Hard Landscaping Legend	B	2023-09-11
RC-105	Exterior Material and Colour Schemes 2 & 3	A	2023-02-09
RC-110	Location Plan	A	2023-02-09
RC-111	Existing Context Plan	B	2023-06-21
RC-112	Proposed Context Plan	C	2023-09-11
RC-115	Survey Plan by CKL	B	2023-06-21
RC-130	Typology Reference Plan	C	2023-09-11
RC-135	Overall Site Coverage Plan	C	2023-09-11
RC-150	Ground Floor Landscape Plan	D	2024-01-24
RC-152	Ground Floor Plan	C	2023-09-11
RC-154	First Floor Plan	C	2023-09-11
RC-158	Roof Plan	C	2023-09-11
RC-170	Elevations - North and South	C	2024-01-24
RC-171	Elevations - East and West	C	2023-09-11
RC-172	Internal Elevations	C	2024-01-24
RC-180	Cross Sections	B	2023-06-21
RC-185	Long Section	B	2023-06-21
RC-190	HIRB Section 1	B	2023-06-21
RC-191	730apm - Sun Study - 6 King Street - Summer Solstice	A	2023-09-11
RC-192	9am - Sun Study - 6 King Street - Summer Solstice	A	2023-09-11
RC-193	1030am - Sun Study - 6 King Street - Summer Solstice	A	2023-09-11
RC-194	730am - Sun Study - 6 King Street - Spring and Autumn Equinox	A	2023-09-11
RC-195	9am - Sun Study - 6 King Street - Spring and Autumn Equinox	A	2023-09-11
RC-196	1030am - Sun Study - 6 King Street - Spring and Autumn Equinox	A	2023-09-11
RC-197	830am - Sun Study - 6 King Street - Winter Solstice	A	2023-09-11
RC-198	9am - Sun Study - 6 King Street - Winter Solstice	A	2023-09-11
RC-199	1030am - Sun Study - 6 King Street - Winter Solstice	A	2023-09-11
Grand total: 28			

Resource Consent Drawing List - Typologies			
RC-1250	Terrace House Type 2A - Floor Plans	B	2023-06-21
RC-1255	Terrace House Type 2A - END - Floor Plans	B	2023-06-21
RC-1300	Terrace House Type 3D - Floor Plans	B	2023-06-21
Grand Total: 3			

- b) The engineering plans prepared by CKL reference A22047 dated September 2023 as listed below:

DRAWING INDEX		
Sheet Number	Sheet Title	REVISION AND ISSUE DATE
		13.09.23
A22047-000-B	TITLE PAGE & INDEX SHEET	3
A22047-030-B	SAFETY IN DESIGN RISK REGISTER	1
A22047-100	TOPO SURVEY PLAN	0
A22047-200-B	EARTHWORKS FINISHED CONTOURS PLAN	3
A22047-210-B	EARTHWORKS CUT FILL PLAN	3
A22047-220-B	EROSION AND SEDIMENT CONTROL PLAN	2
A22047-230-B	EROSION AND SEDIMENT CONTROL STANDARD DETAILS SHEET 1	1
A22047-231-B	EROSION AND SEDIMENT CONTROL STANDARD DETAILS SHEET 2	1
A22047-240-B	EARTHWORKS LONG-SECTION	2
A22047-300-B	JOAL LAYOUT PLAN	3
A22047-301-B	FOOTPATH LAYOUT PLAN	1
A22047-310-B	JOAL LONG-SECTION	2
A22047-320-B	TYPICAL JOAL CROSS-SECTION	2
A22047-390-B	ROADING STANDARD CONSTRUCTION DETAILS	1
A22047-400-B	DRAINAGE OVERALL PLAN	4
A22047-401-B	DRAINAGE LAYOUT PLAN	3
A22047-420-B	STORMWATER LONG-SECTION	3
A22047-430-B	WASTEWATER LONG-SECTION	3
A22047-490-B	DRAINAGE STANDARD CONSTRUCTION DETAILS SHEET 1	1
A22047-491-B	DRAINAGE STANDARD CONSTRUCTION DETAILS SHEET 2	1
A22047-600-B	WATER SUPPLY LAYOUT PLAN	3
A22047-690-B	WATER STANDARD CONSTRUCTION DETAILS	1

- c) The landscape plans prepared by Greenwood Associates reference 1419/02 to 09 dated 22/06/2023, 14/09/2023 and 24/01/2024.
- d) The landscape assessment report prepared by Greenwood Associates reference J001800-LA dated 7 December 2023.
- e) The engineering and infrastructure report prepared by CKL reference A22047 dated June 2023.
- f) The stormwater management plan prepared by CKL reference A22047 dated October 2022.
- g) The transportation assessment report prepared by CKL reference A22047 dated February 2023.
- h) Geotechnical and Stormwater Soakage Investigation report by Soil and Rock reference NL220142 dated October 2022.
- i) The acoustic fencing report prepared by Earcon dated 13 May 2019.
- j) The lighting plan prepared by Advanced Lighting Technologies dated 12/09/2023.

Landscaping Conditions

2. No excavation or building work shall be left unfinished or shall be allowed to fall into such a condition; and no land shall be allowed to deteriorate or to remain in such a

condition that it would, in the opinion of the Council, visually detract from the amenities of the property, or adjoining properties, or the neighbourhood.

3. The consent holder shall ensure that all hard landscaping and fencing and cycle parking is completed prior to occupation of the townhouse units in accordance with the details provided in the plans prepared by Greenwood Associates reference 1419/02, 05 and 06 and 08 and 09 dated 14/09/2023, 22/06/2023 and 24/01/2024. The consent holder shall submit confirmation of compliance from a qualified landscape architect or equivalent.
4. The consent holder shall implement landscape mitigation within the first planting season following construction of the townhouse units in accordance with the plans prepared by Greenwood Associates reference 1419/02 to 04 and 07 dated 22/06/2023, 14/09/2023 and 24/1/2024 and the plan prepared by A Studio Architects plan RC-102 Rev B dated 2023-09-11. The consent holder shall submit confirmation of compliance from a qualified landscape architect or equivalent.
5. Exterior fencing shall be constructed using Boundaryline Smart Wall acoustic fencing with specifications detailed in the report by Earcon dated 13 May 2019.
6. All hard and soft landscaping implemented under conditions 3 and 4 shall be maintained in perpetuity by the consent holder and future property owners. All dead or dying plants shall be replaced with equivalent species and paving, fencing and rubbish bin enclosures shall be repaired or replaced if subject to damage.
7. All exterior colours and materials used for buildings, fencing and structures shall be finished in accordance with the plan prepared by A Studio Architects plan RC-105 Rev A dated 2023-02-09.

Engineering Conditions

8. Submit plans and details of all works, that have been certified by a Chartered Professional Engineer by way of Producer Statement (PS1), for the approval of Far North District Council prior to construction. Such works are to be designed in accordance with the updated engineering plans prepared by CKL reference A22047 dated September 2023, the Far North District Council: Engineering Standards & Guidelines 2004 – Revised 2009 and NZS 4404:2010 to the approval of the Development Engineering Officer or their delegated representative. These plans are to be approved prior to works commencing on-site.

Plans are to include but are not limited to:

- a) Provide Detailed engineering designs, plans and drawings of all new wastewater infrastructure in accordance with the requirements of the FNDC Engineering Standards 2004-Revised 2009. The drawings are to include details of all new connection and discharge points to the existing public wastewater network. Wastewater designs shall reference the recommendations of the CKL engineering and infrastructure report reference A22047 dated June 2023 and submitted with the application. Minimum pipe gradients, alignments, and material specifications in accordance with the requirements of the FNDC Engineering Standards shall be included in the design of the wastewater system.

Note: Wastewater connection to Council gravity network at Clark Road has been assessed as part of resource consent for 3 Clark Road and engineering plan

approval (2230381). Wastewater reticulation for each King Street unit shall be connected to the wastewater reticulation network located within the proposed development at 3 Clark Road and discharged directly to the gravity sewer network on Clark Road.

- b) Provide detailed engineering designs, plans and drawings of all new water supply infrastructure in accordance with the requirements of the FNDC Engineering Standards 2004-Revised 2009. The drawings are to include details of connection to council water main. Water supply designs shall reference the recommendations of the CKL engineering and infrastructure report reference A22047 dated June 2023 submitted with the application.

Note: Alternative firefighting water supplies are to be specifically approved by an authorized representative of Fire and Emergency NZ.

- c) Provide detailed engineering designs, plans and drawings of all new stormwater infrastructure in accordance with the requirements of the FNDC Engineering Standards 2004-Revised 2009. The drawings are to include details of all new connection and discharge points to the existing public stormwater network showing low impact design principles are incorporated into the design of the parking areas and other impermeable surfaces. Stormwater management and attenuation designs shall reference the recommendations of the CKL engineering and infrastructure report reference A22047 dated June 2023 and stormwater management plan prepared by CKL reference A22047 dated October 2022 submitted with the application.

Note: Disposal of stormwater run-off to roadside drain located at Clark Road has been assessed as part of resource consent for 3 Clark Road and engineering plan approval (2230381). This includes capacity assessment of the existing swale drains on Clark Road for up to and including the 1% AEP storm event plus an allowance for climate change.

Note: Overland/secondary flowpaths capable of accommodating the 1% AEP storm event (including existing downstream flowpaths of the proposed development) are to be provided. Designs of the flowpaths are to be prepared by a Chartered Professional Engineer and submitted for Council approval. Diversion or filling in of existing overland flowpaths shall not cause or worsen flooding effects on downstream properties. Overland/secondary flowpaths shall not cause nuisance or flooding to surrounding properties.

- d) Detailed engineering designs, plans and drawings of new vehicle crossings from King Street. Vehicle crossings shall be designed and constructed to FNDC S/2 standards (single width commercial crossing) and include a 1.2m footpath that is to be flush to the accessway denoted with different material, finish, and/or colour and is designed to provide access to 3 Clark Road. Footpath design is to reference the updated engineering plans prepared by CKL (reference A22047) dated September 2023 submitted with this application. Minimum gradients, alignments and material specifications are to be included within the construction drawings.

Note: the footpath connection through to 3 Clark Road is to be in line with the requirements to provide access as detailed in RC 230381.

- e) Detailed engineering designs, plans and drawings for secured and covered parking for bicycles to be located on site.
- f) Detailed engineering designs, plans and drawings for street and site lighting.

9. Construction Management Plan

That, prior to commencing any physical site works, a construction management plan shall be submitted to and approved by the Council. The plan shall contain information on, and site management procedures, for the following:

- (i) The timing of building demolition and construction works, including hours of work, key project and site management personnel.
 - (ii) The transportation of demolition and construction materials from and to the site and associated controls on vehicles through sign-posted site entrance/exits and the loading and unloading of materials.
 - (iii) The excavation works, including retaining structures and any necessary dewatering facilities, prepared by a suitably qualified geotechnical engineer.
 - (iv) Control of dust and noise on-site and any necessary avoidance or remedial measures.
 - (v) Prevention of earth and other material being deposited on surrounding roads from vehicles and remedial actions should it occur.
 - (vi) Publicity measures and safety measures, including signage, to inform adjacent landowners and occupiers, pedestrians and other users of King Street.
 - (vii) Erosion and sediment control measures to be in place for the duration of the works.
10. All existing underground services within the road reserve shall be located, marked and adequately protected prior to works commencing. The consent holder shall be liable for any damage to buried assets or Council roading infrastructure.
11. An approved TMP/CAR application shall be obtained prior to commencing any works within Council Road reserve.
12. The consent holder shall organise new connections to the existing wastewater and water supply reticulation. Connections shall be undertaken by Council's operations contractor at the consent holder's cost.
13. Provide a formed and concreted entrance to carparking areas which complies with the Council's Engineering Standard FNDC/S/2 and section 3.3.7.1 of the Engineering Standards and NZS 4404:2004 and the updated engineering plans prepared by CKL (reference A22047) dated September 2023.
14. Provide a formed and concreted footpath along King Street which complies with the Council's Engineering Standards and in accordance with NZTA pedestrian guidance and the plans approved under Condition 8. The footpath is to be constructed from the consent holder's vehicle crossing and connect to the existing footpath on Kerikeri Road as shown in the updated engineering plans prepared by CKL (reference A22047) dated September 2023 and submitted with this application.

15. Provide streetlighting on King Street in accordance with the plan prepared by Advanced Lighting Technologies dated 12/09/2023.
16. A Chartered Professional Engineer shall determine the level of construction monitoring (CM1-CM5) required prior to the commencement of works and certify that the works has been completed in accordance with the approved plans by way of producer statement (PS 4). The construction monitoring level determination shall be done in accordance with the Engineering New Zealand Construction Monitoring Services Guidelines.
17. As-built information and test results in accordance with the requirements of the FNDC Engineering Standards and Guidelines 2004-Revised 2009 and NZS 4404:2004 are to be submitted to Council on completion of the works.
18. The consent holder is to submit a Maintenance Management Plan for all private assets within the development including the following to the satisfaction of the Council's Development Engineer or delegated representative:
 - i. The permeable paving system and drainage;
 - ii. Internal stormwater reticulation;
 - iii. Internal wastewater system;
 - iv. Internal water service connections from multi box.

The Management Plan shall apply to the private assets in perpetuity.

19. The consent holder must enter into a section 108 of the Resource Management Act 1991 covenant in favour of Far North District Council for Lot 3 DP 53915. The consent holder must contact Far North District Council to initiate the preparation of the covenant.
 - i. The covenant must:
 - a) be drafted by the Council's nominated solicitor at the consent holder's cost.
 - b) be registered against the record of title to the affected land by the consent holder at their cost.
 - c) require the landowner to inform any prospective purchasers of the land of the presence of the private assets detailed in condition 18 above and the requirement that the landowner must maintain their individual assets; and
 - d) Specify that the consent holder is responsible for all legal fees, disbursements and other expenses incurred by the council in connection with the covenant, and procure its solicitor to give an undertaking to the Council for payment of the same; and indemnify the council for costs,

- fees, disbursements, and other expenses incurred by the council as a direct or indirect result of the council being a party to this covenant.
- ii. A copy of the updated record of title showing that the covenant required by this consent has been registered on the title for Lot 3 DP 53915 must be provided to Far North District Council within 6 months of practical completion of the townhouse units.
20. No building works must proceed beyond the roof framing stage until a registered surveyor or licensed cadastral surveyor, engaged by the consent holder, has provided written certification to Council that the works completed:
- i. have been completed in accordance with the approved plans as referred to in condition 1 a) of this consent, or
 - ii. do not exceed the vertical or horizontal extent of any breach, infringement, or non-compliance approved under this consent in regard to height in relation to boundary.

Advice Note: The purposes of certification at the roof framing stage of construction are to:

- a) provide assurance that the building works, to that point, have been undertaken in accordance with the consent;
- b) reduce the risk of non-compliance as the works are completed.

Written certification should include the following:

- i. the finished ground level is clearly marked on the subject site;
- ii. the relevant consent reference number and site address;
- iii. levels, calculations, plans and drawings of the structure(s) that are the subject of certification;
- iv. the quantification of the extent of any breach, infringement or noncompliance identified at the time of survey, where this has occurred.

Advice Notes

Lapsing of Consent

1. *Pursuant to section 125 of the Act, this resource consent will lapse 5 years after the date of commencement of consent unless, before the consent lapses;*
 - a) *The consent is given effect to; or*
 - b) *An application is made to the Council to extend the period of consent, and the council decides to grant an extension after taking into account the statutory considerations, set out in section 125(1)(b) of the Act.*

Right of Objection

2. *If you are dissatisfied with the decision or any part of it, you have the right (pursuant to section 357A of the Act) to object to the decision. The objection must be in writing, stating reasons for the objection and must be received by Council within 15 working days of the receipt of this decision.*

Archaeological Sites

3. *Archaeological sites are protected pursuant to the Heritage New Zealand Pouhere Taonga Act 2014. It is an offence, pursuant to the Act, to modify, damage or destroy an archaeological site without an archaeological authority issued pursuant to that Act. Should any site be inadvertently uncovered, the procedure is that work should cease, with the Trust and local iwi consulted immediately. The New Zealand Police should also be consulted if the discovery includes koiwi (human remains). A copy of Heritage New Zealand's Archaeological Discovery Protocol (ADP) is attached for your information. This should be made available to all person(s) working on site.*

Reasons for the Decision

1. By way of an earlier report that is contained within the electronic file of this consent, it was determined that pursuant to sections 95A and 95B of the Act the proposed activity will not have, and is not likely to have, adverse effects on the environment that are more than minor, there are also no affected persons and no special circumstances exist. Therefore, under delegated authority, it was determined that the application be processed without notification.
2. The application is for a Discretionary activity resource consent as such under section 104 the Council can consider all relevant matters.
3. In regard to section 104(1)(a) of the Act the actual and potential effects of the proposal will be acceptable as:
 - a) The proposal involves residential development of residential zoned land consistent with the mixed character of central Kerikeri.
 - b) Visual effects will be less than minor subject to building design and finishing and proposed amenity planting as concluded by the landscape assessment supplied with the application.
 - c) Each townhouse unit will be provided with sufficient outdoor living space.
 - d) The sunlight breach on the boundary with 6 King Street is minimal and will be managed by building design.
 - e) Privacy of adjoining properties will be maintained via obscured side windows.
 - f) Specific stormwater design is provided and has been approved by Council engineers.
 - g) There is sufficient capacity in the roading network including street parking to support the townhouse development.
 - h) Safe and practicable vehicle and pedestrian access will be provided.
 - i) Capacity of Council services (wastewater and water supply) has been confirmed with Council.
 - j) The proposal will also result in positive effects, including the provision of additional private rental accommodation in Kerikeri within walking distance of services and amenities, and the economic and social well-being of the applicants.

4. In regard to section 104(1)(ab) of the Act there are offsetting or environmental compensation measures proposed or agreed to by the applicant for the activity, being landscape amenity planting.

5. In regard to section 104(1)(b) of the Act the following statutory documents are considered to be relevant to the application:

a) National Policy Statement for Urban Development Capacity

Kerikeri is a Tier 3 urban environment. The proposal is consistent with the NPS as it will create a compact, high-quality townhouse development that adheres to the amenity values of the existing urban environment while providing for the changing needs of urban areas in New Zealand. The development is supported by existing services and will enable easy access to services and amenities.

b) National Policy Statement for Freshwater

The proposal will connect to Council wastewater services and an appropriate stormwater design is proposed to ensure no effects on nearby freshwater receiving environments.

c) National Environmental Standard for Assessing Contaminants in Soil to Protect Human Health (NESCS)

The subject site has previously been used as an orchard (circa 1950). As such, the site is classified as a piece of land under the NES Contaminated Soils. As part of a previous subdivision application (RC 2190402-RMASUB), a Detailed Site Investigation Report (DSI) was provided which concluded that there were no contaminants of interest present at higher levels than the applicable standards for residential use. Consent was granted for a controlled activity under Regulation 8(4) of the NESCS for the subdivision of a piece of land.

Regulation 5(9) of the NESCS specifies that regulations do not apply when a DSI has demonstrated that any contaminants in or on the piece of land are at or below background concentrations. Given the conclusion of the previous DSI, it is considered that the subject site is not a piece of land, and the NESCS is not applicable in this instance.

d) National Environmental Standard for Freshwater (NESFW)

Consent is not required under the NESFW.

e) Northland Regional Policy Statement

The Northland Regional Policy Statement is relevant to this proposal, in particular the following objectives:

- Objective 3.2 Region-Wide Water Quality
- Objective 3.11 Regional Form

The proposal will connect to Council wastewater services and an appropriate stormwater design is proposed. The proposal is considered to positively contribute to the urban environment, providing for higher density where there are services and infrastructure within walking and cycling distance. Design and landscaping will mitigate visual effects on the neighbourhood.

f) New Regional Plan

Consent is not required under the Regional Plan.

g) Objectives and policies of the District Plan:

The following objectives and policies of the Operative District Plan have been considered:

Chapter 7: Urban Environment

7.3.1 To ensure that urban activities do not cause adverse environmental effects on the natural and physical resources of the District.

7.3.3 To avoid, remedy or mitigate the adverse effects of activities on the amenity values of existing urban environments.

7.3.4 To enable urban activities to establish in areas where their potential effects will not adversely affect the character and amenity of those areas.

7.3.5 To achieve the development of community services as an integral and complementary component of urban development.

7.4.1 That amenity values of existing and newly developed areas be maintained or enhanced.

7.4.4 That stormwater systems for urban development be designed to minimise adverse effects on the environment.

7.4.5 That new urban development avoid:

(a) adversely affecting the natural character of the coastal environment, lakes, rivers, wetlands or their margins;

(b) adversely affecting areas of significant indigenous vegetation or significant habitats of indigenous fauna;

(c) adversely affecting outstanding natural features, landscapes and heritage resources;

(d) adversely affecting the relationship of Maori and their culture and traditions with their ancestral lands, water, sites, waahi tapu, and other taonga;

(e) areas where natural hazards could adversely affect the physical resources of urban development or pose risk to people's health and safety;

(f) areas containing finite resources which can reasonably be expected to be valuable for future generations, where urban development would adversely affect their availability;

(g) adversely affecting the safety and efficiency of the roading network;

(h) the loss or permanent removal of highly productive and versatile soils from primary production due to subdivision and development for urban purposes.

7.4.6 That the natural and historic heritage of urban settlements in the District be protected (refer to Chapter 12).

7.4.7 That urban areas with distinctive characteristics be managed to maintain and enhance the level of amenity derived from those characteristics.

Chapter 7.6: Residential

7.6.3.1 To achieve the development of new residential areas at similar densities to those prevailing at present.

7.6.4.4 That the Residential Zone provide for a range of housing types and forms of accommodation.

7.6.4.6 That activities with net effects that exceed those of a typical single residential unit, be required to avoid, remedy or mitigate those effects with respect to the ecological and amenity values and general peaceful enjoyment of adjacent residential activities.

7.6.4.7 That residential activities have sufficient land associated with each household unit to provide for outdoor space, planting, parking and manoeuvring.

7.6.4.8 That the portion of a site or of a development that is covered in buildings and other impermeable surfaces be limited so as to provide open space around buildings to enable planting, and to reduce adverse hydrological, ecological and amenity effects.

7.6.4.9 That sites have adequate access to sunlight and daylight.

7.6.4.10 That provision be made to ensure a reasonable level of privacy for inhabitants of buildings on a site.

Chapter 15: Transportation

15.1.3.1 To minimise the adverse effects of traffic on the natural and physical environment.

15.1.3.3 To ensure that appropriate provision is made for on-site car parking for all activities, while considering safe cycling and pedestrian access and use of the site.

15.1.3.4 To ensure that appropriate and efficient provision is made for loading and access for activities.

15.1.3.5 To promote safe and efficient movement and circulation of vehicular, cycle and pedestrian traffic, including for those with disabilities.

15.1.4.1 That the traffic effects of activities be evaluated in making decisions on resource consent applications.

15.1.4.3 That parking spaces be provided at a location and scale which enables the efficient use of parking spaces and handling of traffic generation by the adjacent roading network.

15.1.4.4 That existing parking spaces are retained or replaced with equal or better capacity where appropriate, so as to ensure the orderly movement and control of traffic.

15.1.4.6 That the number, size, gradient and placement of vehicle access points be regulated to assist traffic safety and control, taking into consideration the requirements of both the New Zealand Transport Agency and the Far North District Council.

15.1.4.7 That the needs and effects of cycle and pedestrian traffic be taken into account in assessing development proposals.

The following objectives and policies of the Proposed District Plan have been considered:

Mixed Use Zone

MUZ-02

Development in the Mixed-Use zone is of a form, scale, density and design quality that contributes positively to the vibrancy, safety and amenity of the zone.

MUZ-O4

The adverse environmental effects generated by activities within the zone are managed, in particular at zone boundaries.

MUZ-P1

Enable a range of commercial, community, civic and residential activities in the Mixed-Use zone where:

- a. it supports the function, role, sense of place and amenity of the existing environment; and there is:*
 - i. existing infrastructure to support development and intensification, or*
 - ii. additional infrastructure capacity can be provided to service the development and intensification.*

MUZ-P3

Require development in the Mixed-Use zone to contribute positively to:

- a. high quality streetscapes;*
- b. pedestrian amenity;*
- c. safe movement of people of all ages and abilities;*
- d. community well-being, health and safety; and*
- e. traffic, parking and access needs.*

MUZ-P5

Restrict activities that are likely to have an adverse effect on the function, role, sense of place and amenity of the Mixed-Use zone, including:

- a. residential activity, retirement facilities and visitor accommodation on the ground floor of buildings, except where a site adjoins an Open Space zone;*
- b. light or heavy industrial activity;*
- c. storage and warehousing;*
- d. large format retail activity over 400 m²; and*
- e. waste management activity.*

MUZ-P7

Consider the following effects when assessing applications to establish residential, early childhood, retirement and education facilities:

- a. the level of ambient noise;*

- b. *reduced privacy;*
- c. *shadowing and visual domination; and*
- d. *light spill.*

MUZ-P8

Manage land use and subdivision to address the effects of the activity requiring resource consent, including (but not limited to) consideration of the following matters where relevant to the application:

- a. *consistency with the scale, density, design, amenity and character of the mixed-use environment;*
- b. *the location, scale and design of buildings or structures, outdoor storage areas, parking and internal roading;*
- c. *at zone interfaces:*
 - i. *any setbacks, fencing, screening or landscaping required to address potential conflicts;*
 - ii. *any adverse effects on the character and amenity of adjacent zones;*
- d. *the adequacy and capacity of available or programmed development infrastructure to accommodate the proposed activity; including:*
 - i. *opportunities for low impact design principles;*
 - ii. *management of three waters infrastructure and trade waste;*
 - iii. *managing natural hazards;*
- e. *the adequacy of roading infrastructure to service the proposed activity;*
- f. *any adverse effects on historic heritage and cultural values, natural features and landscapes or indigenous biodiversity, and*
- g. *any historical, spiritual, or cultural association held by tangata whenua, with regard to the matters set out in Policy TW-P6.*

Assessment against District Plans

The proposal is not contrary to the relevant objectives and policies of both versions of the District Plan. The townhouse development will enable residential development on land zoned for this purpose in a central location with a mixed use and built form character and good pedestrian access to services and amenities. Each townhouse will be provided with appropriate indoor and outdoor living space and privacy. Landscaping will provide internal and external amenity to the townhouse development.

The landscape and residential amenity outcome of the finished works will be somewhat in character with the emerging density pattern and form of the surrounding area and in line with the expectations of the Proposed District Plan. Two storey units are consistent with permitted activity standards for the existing and proposed zoning and the single level-built form of King Street is not static. The effects of the

development on the receiving environment have been carefully considered in the landscape assessment.

Under the Operative Plan policy requires development at a similar density to the prevailing environment, however there are examples of multi-unit development close to King Street (110 and 114 Kerikeri Road and the Kerikeri Retirement Village). The wider receiving environment contains commercial development, including big box retail, and limited multi-unit development comprising a variety of buildings and structures.

The built form visual effects of the townhouses will be carefully managed by exterior design and finishing and proposed landscape planting. Less than minor effects are anticipated as confirmed by a landscape visual assessment. The privacy of adjoining properties on King Street will be maintained.

Wastewater capacity has been confirmed and connections will be provided. A detailed stormwater design is proposed which has been accepted by Council engineers and will not result in downstream effects on infrastructure, receiving environments or neighbours. An appropriate standard of vehicle access is proposed and no concerns were raised regarding roading capacity. Sufficient parking is provided on site given the central location and street parking resource. Provision is made for pedestrians and cyclists.

The Mixed-Use Zone in the Proposed District Plan does not provide for ground floor accommodation, and therefore the outcomes sought are different under the operative and proposed plan frameworks. Therefore, it is necessary to consider the weight to be given to each framework and which outcome should prevail.

The Proposed Plan has only been recently notified, no decision has been made following submissions, and as such there is potential for change as the plan goes through the statutory process. As such despite the different outcomes anticipated by the Proposed Plan little weight is given to these provisions.

6. In regard to section 104(1)(c) of the Act following matter is relevant and reasonably necessary to determine the application:

Proposed District Plan Submissions

It is noted that Council has not received any submissions specifically opposed to the Mixed-Use zoning on King Street.

7. Based on the assessment above the activity will be consistent with Part 2 of the Act.
The activity will avoid, remedy or mitigate any potential adverse effects on the environment while providing for the sustainable management of natural and physical resources and is therefore in keeping with the Purpose and Principles of the Act. There are no matters under section 6 that are relevant to the application. The proposal is an efficient use and development of the site that will maintain existing amenity values without compromising the quality of the environment. The activity is not considered to raise any issues in regard to Te Tiriti o Waitangi.

8. Overall, for the reasons above it is appropriate for consent to be granted subject to the imposed conditions.

Approval

This resource consent has been prepared by Katrina Roos, Associate Principal Planner, Boffa Miskell. I have reviewed this and the associated information (including the application and electronic file material) and for the reasons and subject to the conditions above, and under delegated authority, grant this resource consent.



Name: Barry Mosley

Date: 09/02/2024

**Title: Independent Hearing
Commissioner**

Amended version pursuant to s133A granted under delegated authority by:



Name: Whitney Peat

Date: 4th March 2024

Title: Senior Resource Planner

**Planner: Trish Routley
pp: ERamsay
RC: 2240011-RMALUC
Date: 04/03/2024**



Image shown is the existing street frontage for 4 King Street

Resource Consent Drawing List - 4 King

RC-100	Cover Page
RC-102	Soft and Hard Landscaping Legend
RC-105	Exterior Material and Colour Schemes 2 & 3
RC-110	Location Plan
RC-111	Existing Context Plan
RC-112	Proposed Context Plan
RC-115	Survey Plan by CKL
RC-130	Typology Reference Plan
RC-135	Overall Site Coverage Plan
RC-150	Ground Floor Landscape Plan
RC-152	Ground Floor Plan
RC-154	First Floor Plan
RC-158	Roof Plan
RC-170	Elevations - North and South
RC-171	Elevations - East and West
RC-172	Internal Elevations
RC-180	Cross Sections
RC-185	Long Section
RC-190	HIRB Section 1
RC-191	730apm - Sun Study - 6 King Street - Summer Solstice
RC-192	9am - Sun Study - 6 King Street - Summer Solstice
RC-193	1030am - Sun Study - 6 King Street - Summer Solstice
RC-194	730am - Sun Study - 6 King Street - Spring and Autumn Equinox
RC-195	9am - Sun Study - 6 King Street - Spring and Autumn Equinox
RC-196	1030am - Sun Study - 6 King Street - Spring and Autumn Equinox
RC-197	830am - Sun Study - 6 King Street - Winter Solstice
RC-198	9am - Sun Study - 6 King Street - Winter Solstice
RC-199	1030am - Sun Study - 6 King Street - Winter Solstice
Grand total: 28	

Drawing List - Typologies

RC-1250	Terrace House Type 2A - Floor Plans
RC-1255	Terrace House Type 2A - END - Floor Plans
RC-1300	Terrace House Type 3D - Floor Plans
Grand Total: 3	

Project Name:

4 King Street Development

Project Address:

4 King Street, 0230, Kerikeri

Client Name:

for Gemscott Limited

Project Number: 2212

Project Date: September 2023

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**A STUDIO
ARCHITECTS**





RESOURCE CONSENT

Revision & Date







A Resource Consent	2023-02-09
B Resource Consent	2023-06-21
C Section 92	2023-09-11

Planner: Trish Routley
pp: ERamsay
RC: 2240011-RMALUC
Date: 04/03/2024

Hard Landscape Reference Legend





- Surfaces**
-  Permeable Standard Concrete
 -  Permeable Exposed Aggregate
 -  Permeable Oxidised Aggregate
 -  Timber Decking

Utility Component

-  Washing Line
-  Wheel Stops
-  Bikes
-  Bins
-  Letterboxes
-  Above ground water tanks. Refer to CKL plans for specifications

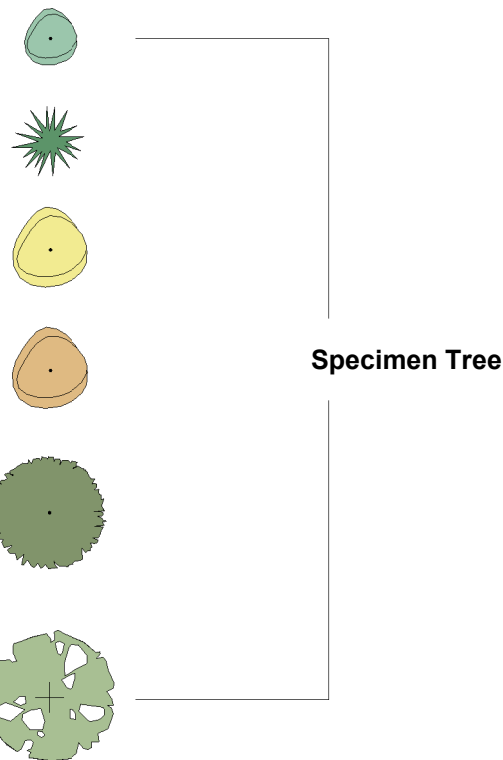
Fencing and Barriers




Note on Safety Fencing:
 All falls of 500mm or more require a 1100mm high safety from falling barrier. Where a fence is acting as a safety from falling barrier, all fixings, max openings and loading requirements are to meet NZBC F4.

-  0.9m Fence
-  1.5m Fence
-  1.8m Fence
-  2m Fence

Note: All hard and soft landscape elements are shown indicatively on plans. Please refer to Greenwood's documentation and drawings for further information

Soft Landscaping Reference Legend



-  Low Level Planting
-  Grass (Planted lawn or Permeable artificial grass)
-  Hedge

Note: All hard and soft landscape elements are shown indicatively on plans. Please refer to Greenwood's documentation and drawings for further information

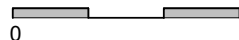
Bin Enclosures

- On free draining concrete pad
- Timber Board enclosure, 1.5m high
- Please refer to **Greenwood's** documents for further information for bin enclosures
- Please refer to the **Waste Management** Documents for further information for bins

These drawings, and all parts thereof, are copyright. Final design and detail may vary.
 1 Written dimensions are to be used
 2 Do not scale dimensions from drawings
 3 Verify all dimensions and levels on site prior to commencing any work
 4 All discrepancies are to be referred to the design office for clarification

Project Name
4 King Street Development
 for Gemscott Limited
 Drawing Title
Soft and Hard Landscaping Legend

Project Address
 4 King Street, 0230, Kerikeri

Drawing Scale @ A1 =
 1 : 100
 Half scale for reduced A3 drawings


Revision & Date
 A Resource Consent 2023-02-09
 B Section 92 2023-09-11

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Drawing No: **RC-102** Revision **B**
 Project No: 2212
A STUDIO ARCHITECTS

Planner: Trish Routley
 pp: ERamsay
 RC: 2240011-RMALUC
 Date: 04/03/2024



Exterior Materials & Colours - Scheme 2

Roof
1 Metal roofing, corrugated or trapezoidal profile selected to suit the roof pitch.
 Finish: **Colorsteel or equivalent**
 Colour: **Iron Sand or equivalent**
Integrated continuous metal fascia and spouting system including downpipes in the same colour and finish to match roofing.

Cladding

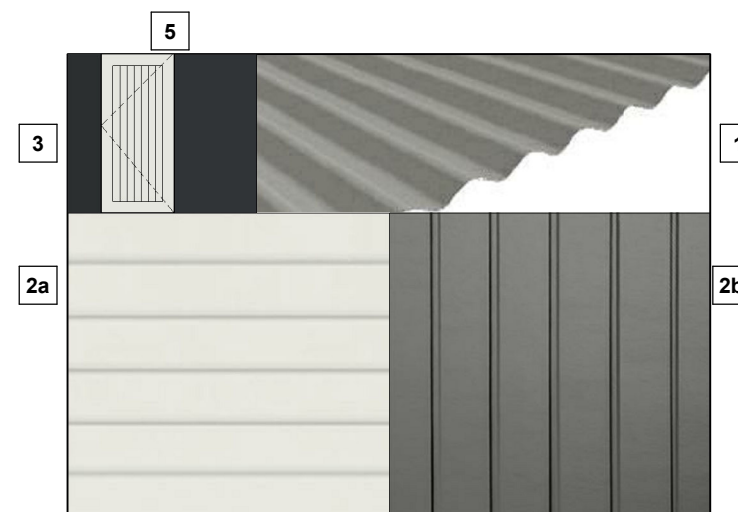
2a Type: Vertical weatherboards
 Colour: **Resene 'Bokara Grey' or equivalent**

2b Type: Horizontal weatherboards
 Colour: **Resene 'Triple Sea Fog' or equivalent**

2c Type: Brick Veneer
 Colour: **Light shade**
 Grout: Rolled, grey mortar

Joinery
3 Nominal 40mm aluminum joinery suite with clear double glazing to living spaces and bedrooms and obscure glazing to Bathrooms & Ensuites. (Opalucet or Etchlite or similar)
 Finish: **Powder coated**
 Colour: **Matt Black**

Door
5 Solid core timber paint finish or aluminium powder coated with a minimum leaf width of 910mm
 Colour: **Resene 'Iron Sand' or 'Sea Fog' or equivalent**



Exterior Materials & Colours - Scheme 3

Roof
1 0.55 BMT Metal roofing, corrugated or trapezoidal selected profile to suit the roof pitch.
 Finish: **Colorsteel or equivalent**
 Colour: **Thunder Grey or equivalent**
Integrated continuous metal fascia and spouting system including downpipes in the same colour to match roofing.

Cladding

2a Type: Horizontal weatherboards
 Colour: **Resene 'Alabaster' or equivalent**

2b Type: Vertical weatherboards
 Colour: **Resene 'Half Gravel' or equivalent**

Joinery
3 Nominal 40mm aluminum joinery suite with clear double glazing to living spaces and bedrooms and obscure glazing to Bathrooms & Ensuites. (Opalucet or Etchlite or similar)
 Finish: **Powder coated**
 Colour: **Flaxpod**

5 Stellar Doors, Powdercoated metal front entry doors with a maximum leaf size of 860mm x 2100mm.
 Door: **Nulook Stellar doors - style SR9**
 Colour: **Resene 'Grey Friars' or equivalent**

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Project Name
4 King Street Development
 for Gemscott Limited
 Drawing Title
Exterior Material and Colour Schemes 2 & 3

Project Address
 4 King Street, 0230, Kerikeri

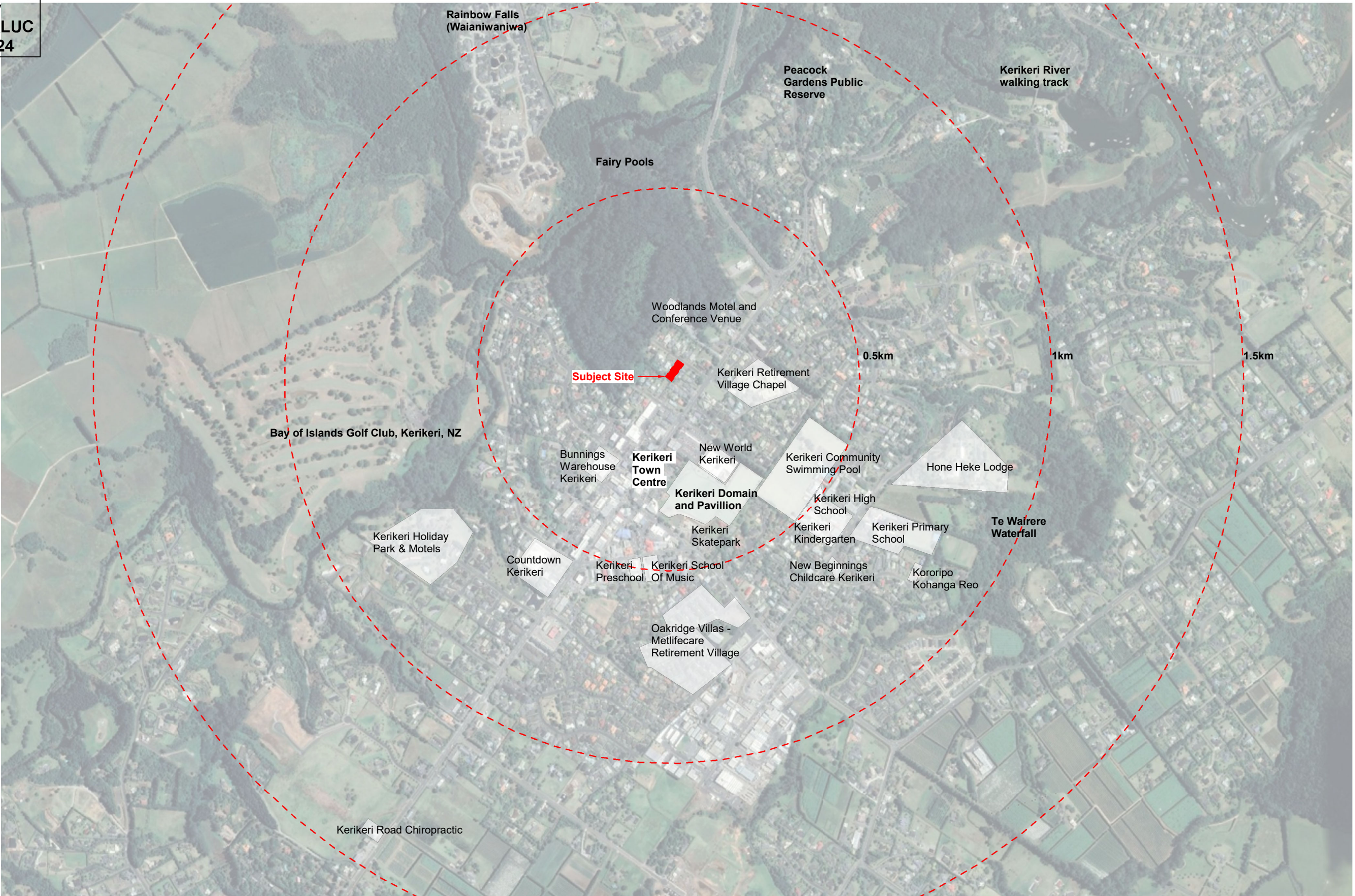
Drawing Scale @ A1 =
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 Half scale for reduced A3 drawings

Revision & Date
 A Resource Consent 2023-02-09

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Drawing No: **RC-105** Revision **A**
 Project No: 2212
A STUDIO ARCHITECTS

Planner: Trish Routley
 pp: ERamsay
 RC: 2240011-RMALUC
 Date: 04/03/2024



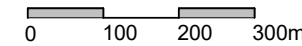
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Project Name
4 King Street Development
 for Gemscott Limited
 Drawing Title
Location Plan

Project Address
 4 King Street, 0230, Kerikeri

Drawing Scale @ A1 =
 1 : 5000
 Half scale for reduced A3 drawings
 Scale: 1:10000 @ A3



Revision & Date
 A Resource Consent 2023-02-09

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Drawing No: **RC-110** Revision **A**
 Project No: 2212

A STUDIO ARCHITECTS

Planner: Trish Routley
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RC: 2240011-RMALUC
Date: 04/03/2024



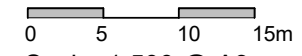
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Project Name
4 King Street Development
for Gemscott Limited
Drawing Title
Existing Context Plan

Project Address
4 King Street, 0230, Kerikeri

Drawing Scale @ A1 =
1 : 250
Half scale for reduced A3 drawings
Scale: 1:500 @ A3



Revision & Date
A Resource Consent 2023-02-09
B Resource Consent 2023-06-21

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Drawing No: **RC-111** Revision **B**
Project No: 2212

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Planner: Trish Routley
pp: ERamsay
RC: 2240011-RMALUC
Date: 04/03/2024



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Project Name
4 King Street Development
for Gemscott Limited
Drawing Title
Proposed Context Plan

Project Address
4 King Street, 0230, Kerikeri

Drawing Scale @ A1 =
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Half scale for reduced A3 drawings
0 5 10 15m
Scale: 1:500 @ A3

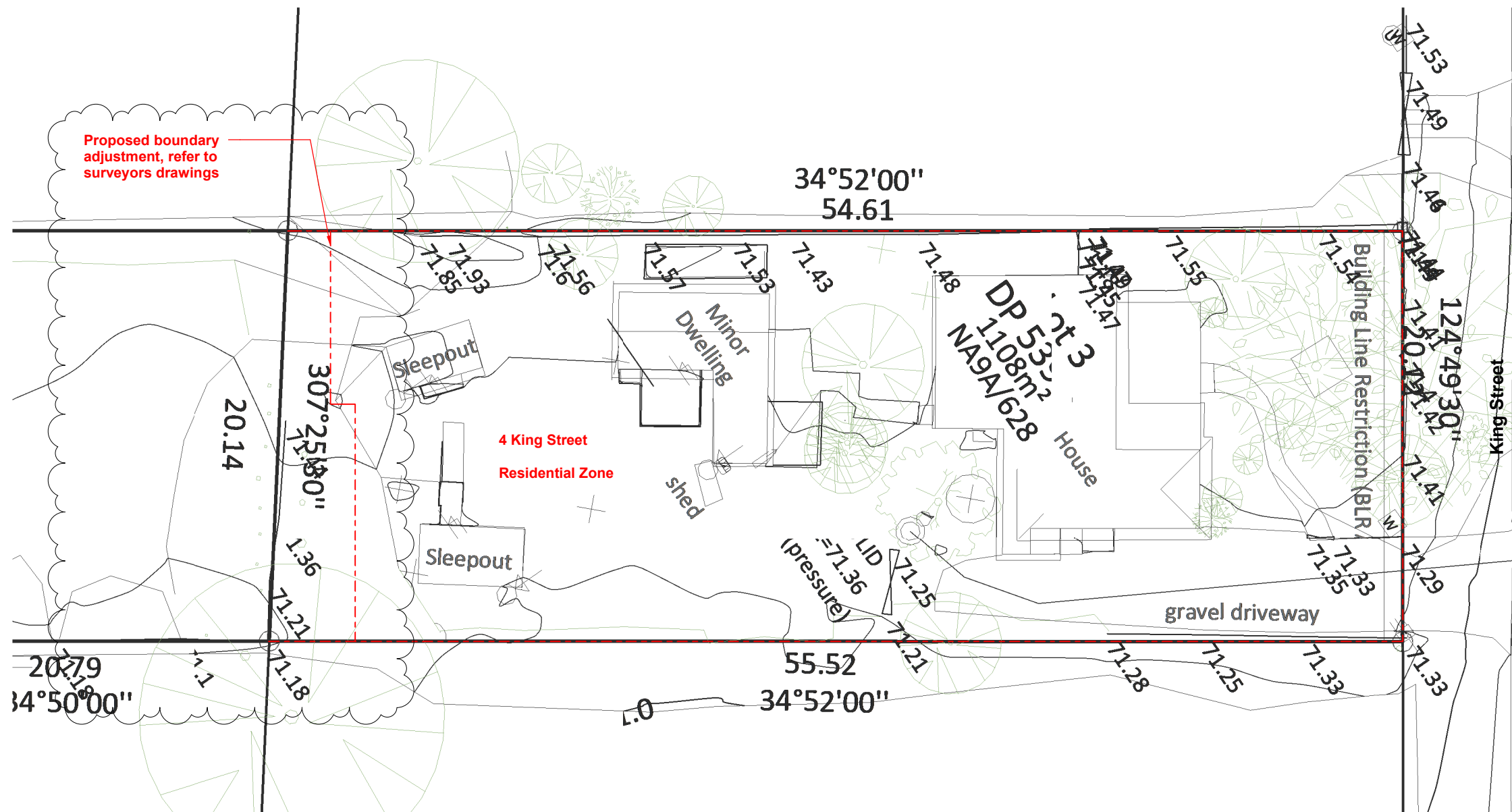


Revision & Date
A Resource Consent 2023-02-09
B Resource Consent 2023-06-21
C Section 92 2023-09-11

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Drawing No: **RC-112** Revision **C**
Project No: 2212

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Town Planning Summary	
Far North Council District Plan Urban Environment - Residential Zone (7.6)	
7.6.5.1.4 Building height	8m Maximum Height
7.6.5.1.5 Sunlight	2m + 45° Recession plane
7.6.5.1.7 Yards	Front 3m Side 1.2m Rear 1.2m
7.6.5.1.6 Maximum impervious area	50% Maximum
7.6.5.1.17 Building Coverage	45% Maximum
Legal Description	
4 King Street, Kerikeri 0230 Lot 3 DP 53915 1107m ²	

1 1:125 Plan
Existing Site Plan - 4 King Street

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Project Name
4 King Street Development
 for Gemscott Limited
 Drawing Title
Survey Plan by CKL

Project Address
 4 King Street, 0230, Kerikeri

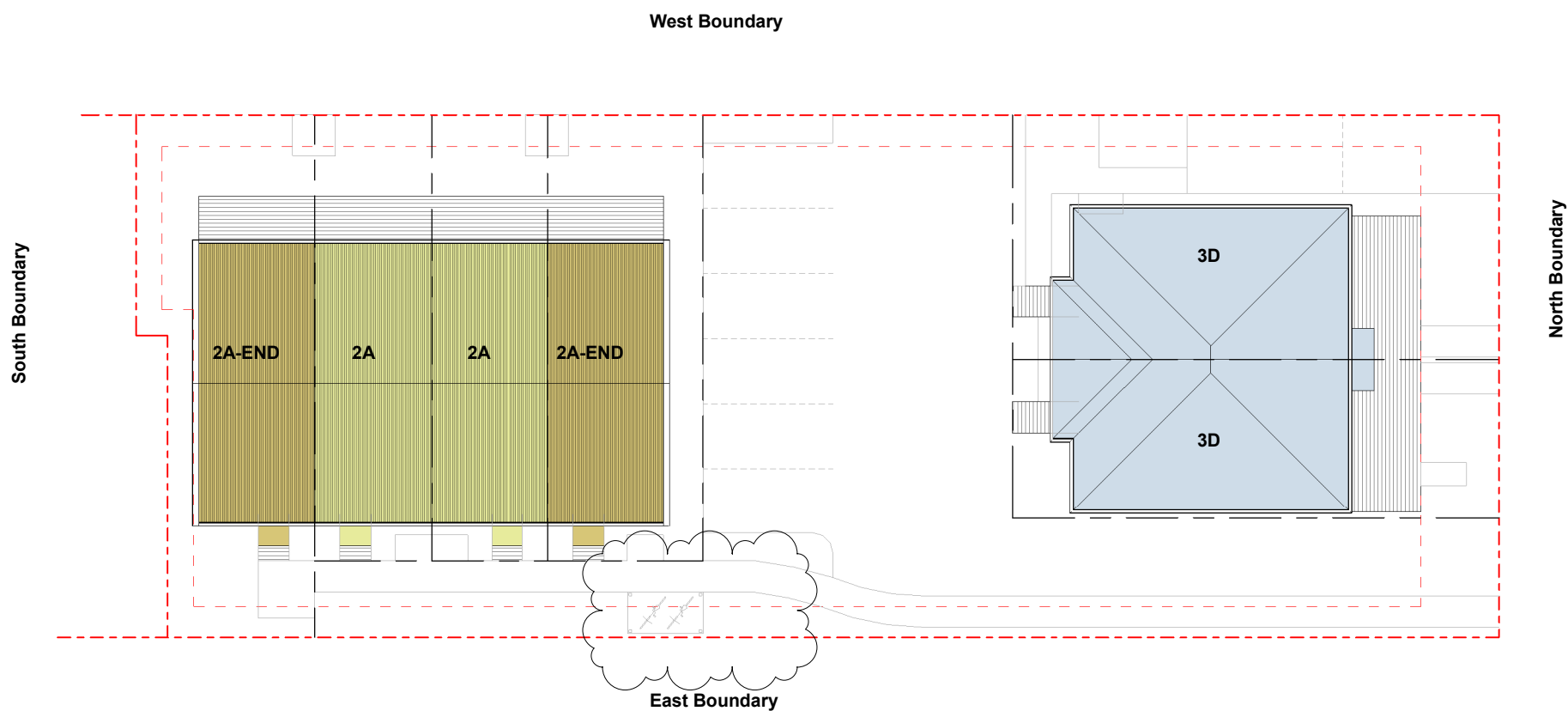
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 Scale: 1:250 @ A3

Revision & Date
 A Resource Consent 2023-02-09
 B Resource Consent 2023-06-21

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Drawing No: **RC-115** Revision **B**
 Project No: 2212
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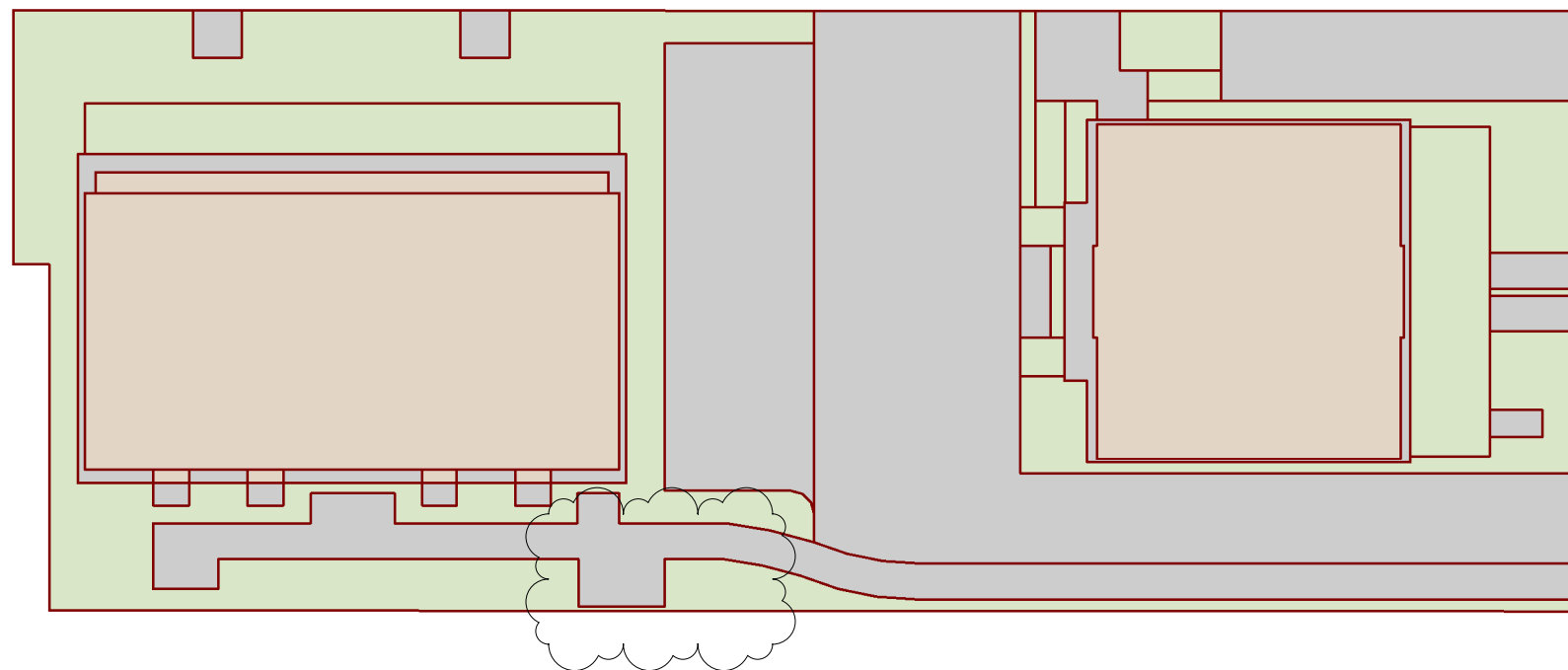


1 1 : 125 Plan
 RC-270 Proposed Typology Reference Plan - 4 King Street

Typology Reference Summary		Number
Terraces		
	Terrace Type 2A 2 Bedrooms Refer to RC-1250	2
	Terrace Type 2A - END 2 Bedrooms Refer to RC-1255	2
Duplex		
	Duplex Type 3D 3 Bedrooms Refer to RC-1300	2
Total number of units		6
Carpark		
Total number of carparks		8

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	Drawing Title Typology Reference Plan				A STUDIO ARCHITECTS		



- Building
- Impervious
- Landscape

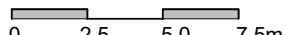
4 King Street Site Coverage			4 King Street Site Coverage Breakdown		
Impervious	727.05 m ²	69.8%	Building	295.27 m ²	28.3%
Landscaped	315.18 m ²	30.2%	Impervious	431.78 m ²	41.4%
	1042.23 m ²	100.0%	Landscape	315.18 m ²	30.2%
				1042.23 m ²	100.0%

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Project Name
4 King Street Development
 for Gemscott Limited
 Drawing Title
Overall Site Coverage Plan

Project Address
 4 King Street, 0230, Kerikeri

Drawing Scale @ A1 =
 1 : 125
 Half scale for reduced A3 drawings

 Scale: 1:250 @ A3



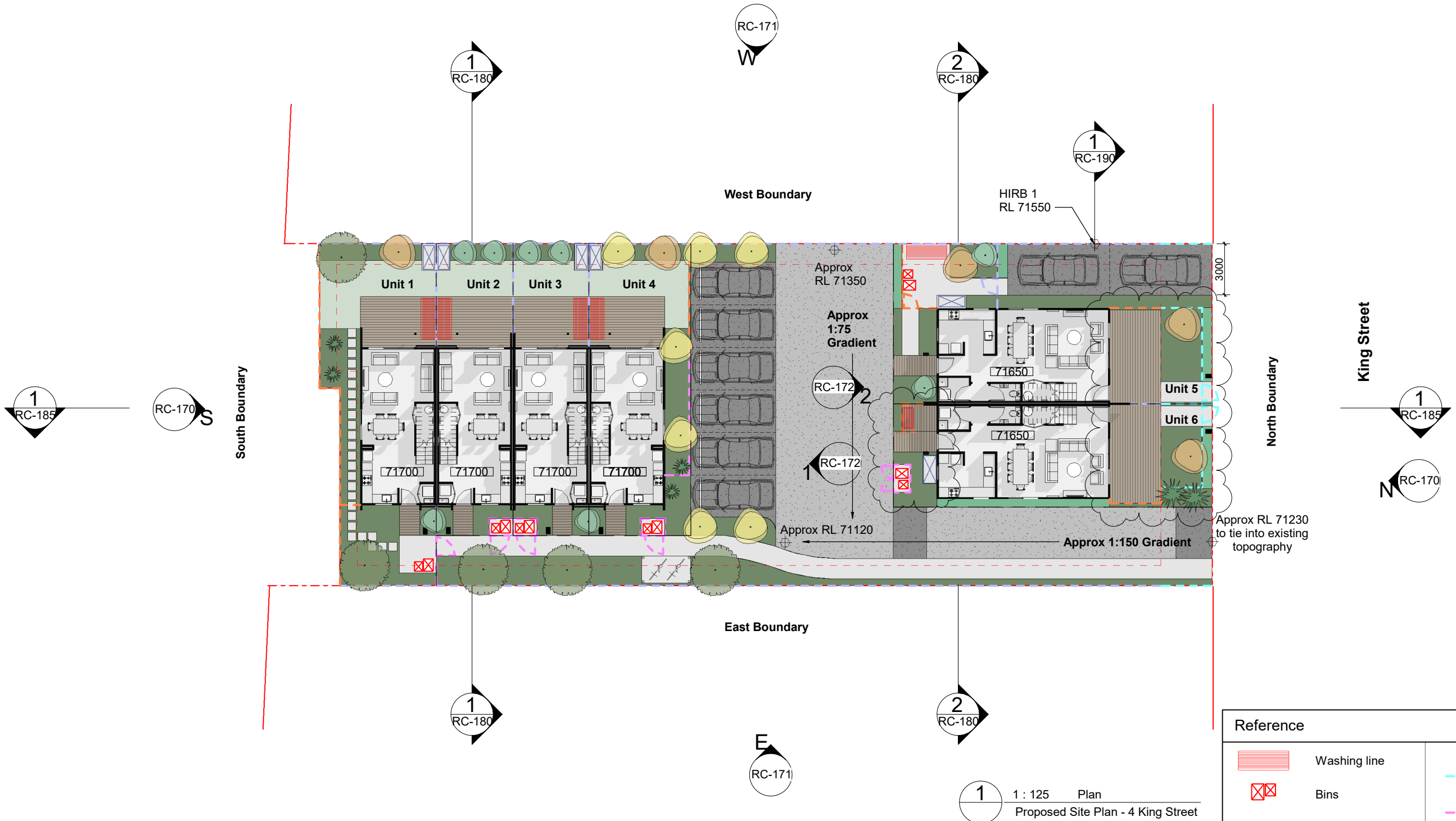
Revision & Date	
A Resource Consent	2023-02-09
B Resource Consent	2023-06-21
C Section 92	2023-09-11

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Drawing No: **RC-135** Revision **C**
 Project No: 2212

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Planner: Trish Routley
 pp: ERamsay
 RC: 2240011-RMALUC
 Date: 04/03/2024



1 1:125 Plan
 Proposed Site Plan - 4 King Street

Reference	
	Washing line
	Bins
	Letterbox
	Accessible Carpark
	Water Tanks
	0.9m Fence
	1.5m Fence
	1.8m Fence
	2m Fence

Note: all hard and soft landscape elements are shown indicatively on plans. Please refer to Greenwood's documentation and drawings for further information.

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Project Name
4 King Street Development
 for Gemscott Limited
 Drawing Title
Ground Floor Landscape Plan

Project Address
 4 King Street, 0230, Kerikeri

Drawing Scale @ A1 =
 As indicated
 Half scale for reduced A3 drawings

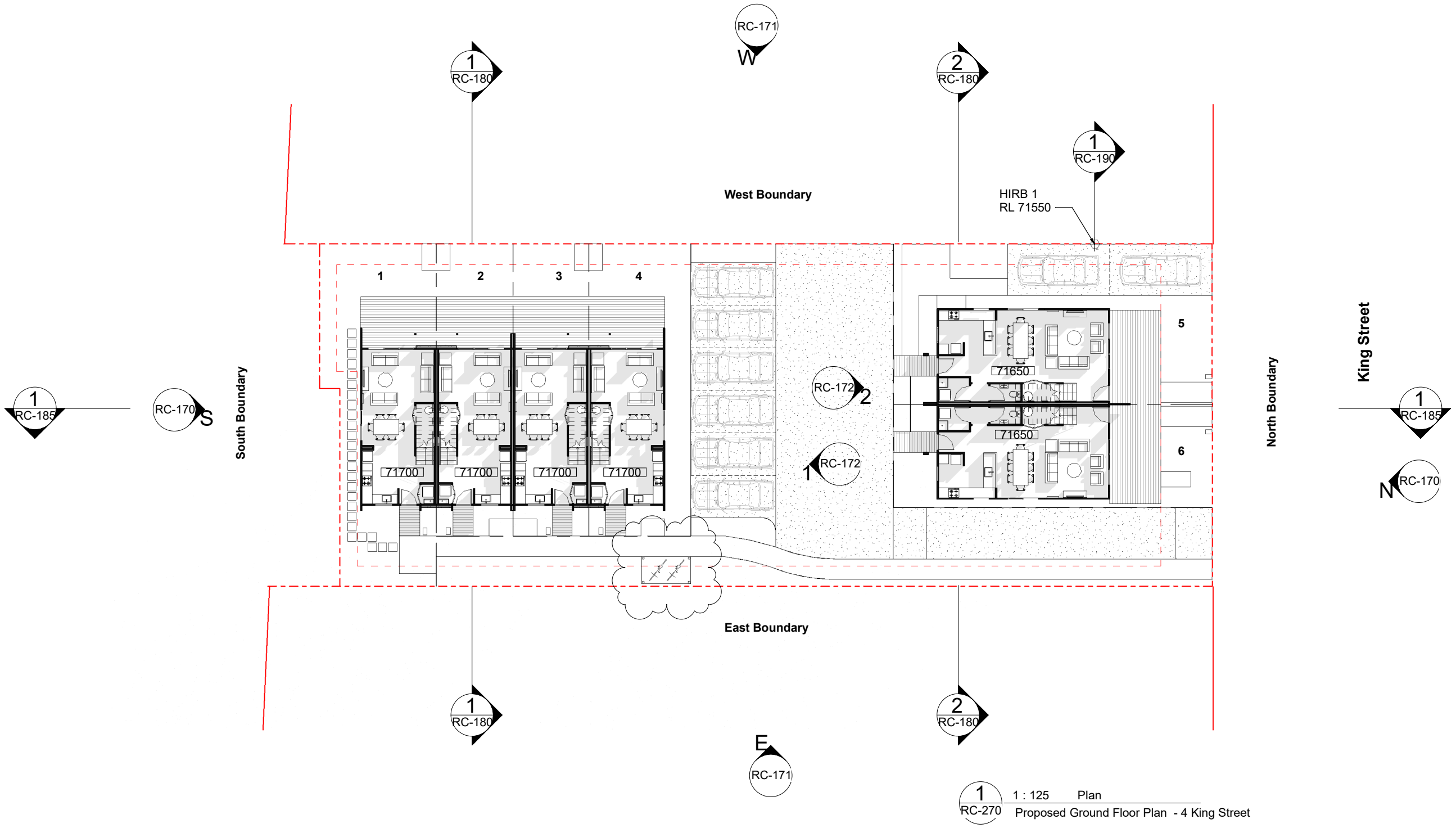
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Revision & Date
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 B Resource Consent 2023-06-21
 C Section 92 2023-09-11
 D Section 92 2024-01-24

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Drawing No: **RC-150** Revision **D**
 Project No: 2212
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Planner: Trish Routley
 pp: ERamsay
 RC: 2240011-RMALUC
 Date: 04/03/2024



1 : 125 Plan
 RC-270 Proposed Ground Floor Plan - 4 King Street

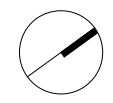
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Project Name
4 King Street Development
 for Gemscott Limited
 Drawing Title
Ground Floor Plan

Project Address
 4 King Street, 0230, Kerikeri

Drawing Scale @ A1 =
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 Half scale for reduced A3 drawings
 Scale: 1:250 @ A3

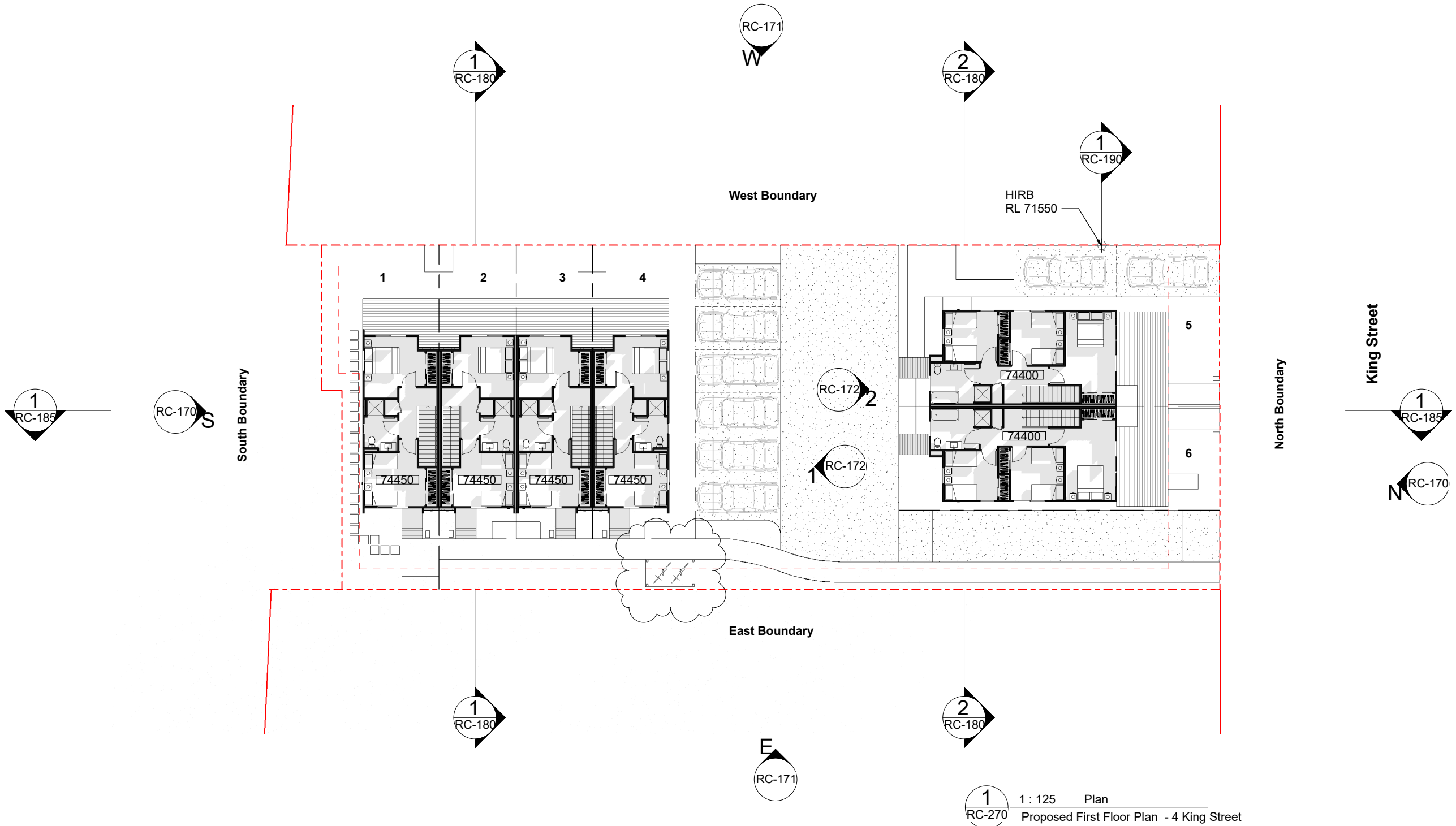


Revision & Date
 A Resource Consent 2023-02-09
 B Resource Consent 2023-06-21
 C Section 92 2023-09-11

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Drawing No: **RC-152** Revision **C**
 Project No: 2212
A STUDIO ARCHITECTS

Planner: Trish Routley
 pp: ERamsay
 RC: 2240011-RMALUC
 Date: 04/03/2024



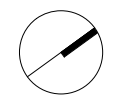
1 : 125 Plan
 RC-270 Proposed First Floor Plan - 4 King Street

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Project Name
4 King Street Development
 for Gemscott Limited
 Drawing Title
First Floor Plan

Project Address
 4 King Street, 0230, Kerikeri

Drawing Scale @ A1 =
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 Half scale for reduced A3 drawings
 Scale: 1:250 @ A3



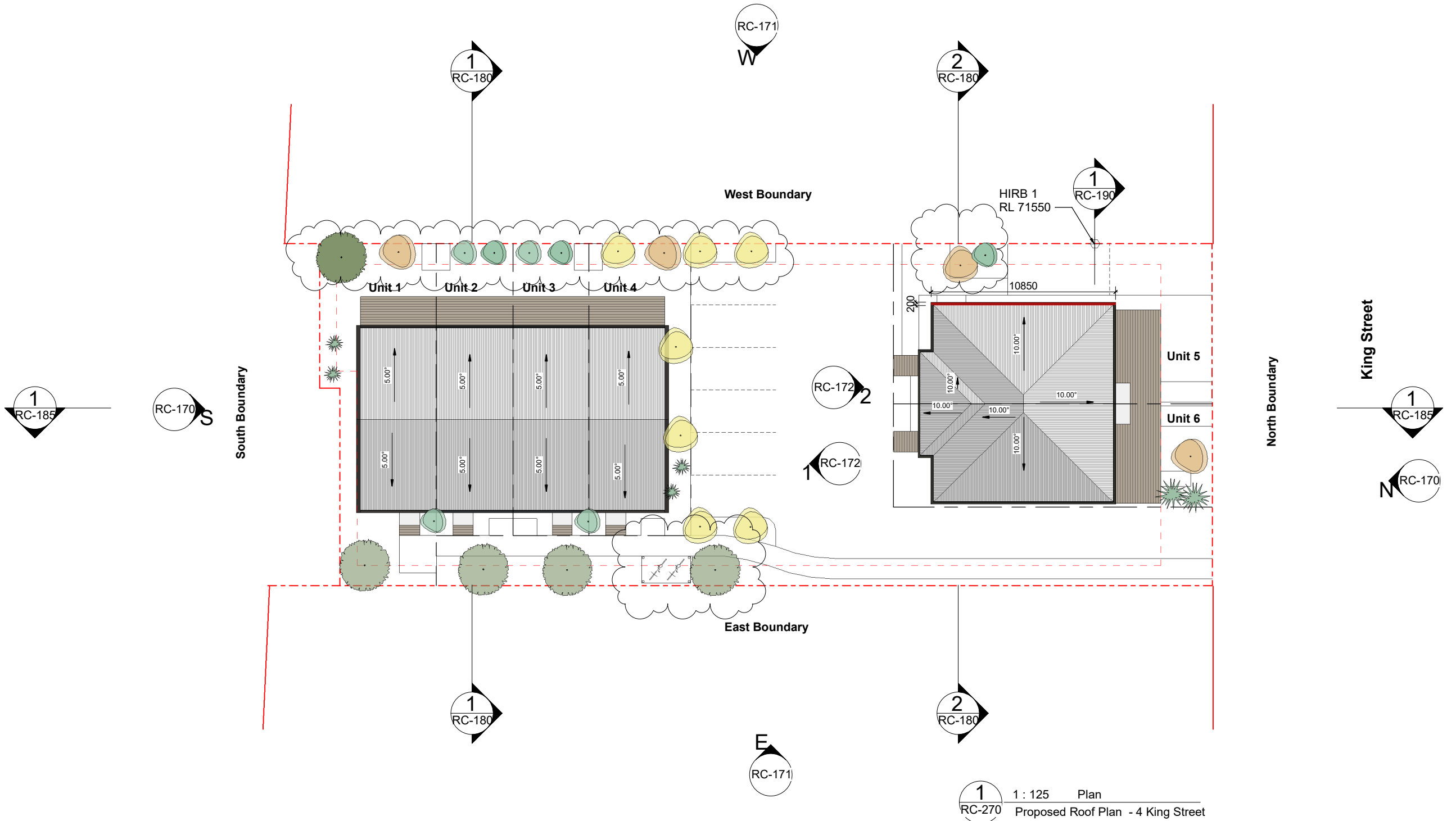
Revision & Date
 A Resource Consent 2023-02-09
 B Resource Consent 2023-06-21
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Drawing No: **RC-154** Revision **C**
 Project No: 2212
A STUDIO ARCHITECTS

RESOURCE CONSENT

Planner: Trish Routley
 pp: ERamsay
 RC: 2240011-RMALUC
 Date: 04/03/2024



1 1 : 125 Plan
 RC-270 Proposed Roof Plan - 4 King Street

HIRB Infringements	
	Area of Building over the 2m + 45° Height in relation to Boundary Control

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Project Name
4 King Street Development
 for Gemscott Limited
 Drawing Title
Roof Plan

Project Address
 4 King Street, 0230, Kerikeri

Drawing Scale @ A1 =
 As indicated
 Half scale for reduced A3 drawings

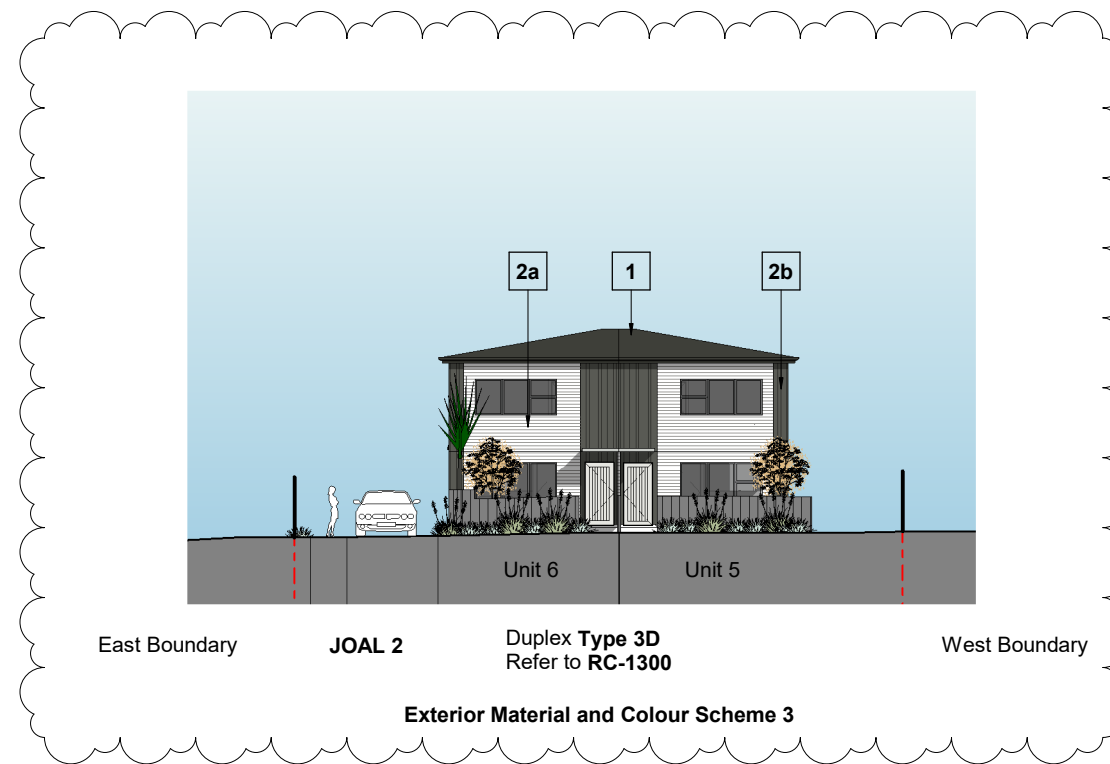
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Revision & Date
 A Resource Consent 2023-02-09
 B Resource Consent 2023-06-21
 C Section 92 2023-09-11

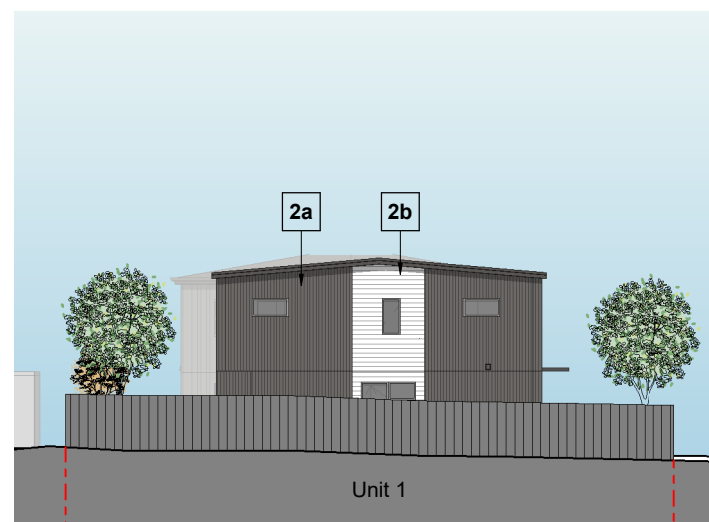
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Drawing No: **RC-158** Revision **C**
 Project No: 2212
A STUDIO ARCHITECTS

Planner: Trish Routley
pp: ERamsay
RC: 2240011-RMALUC
Date: 04/03/2024



N 1 : 125 Elevation
 RC-150 Elevation - North - - 4 King Street



West Boundary Terrace **Type 2A - END** East Boundary
 Refer to **RC-1255**

Exterior Material and Colour Scheme 2

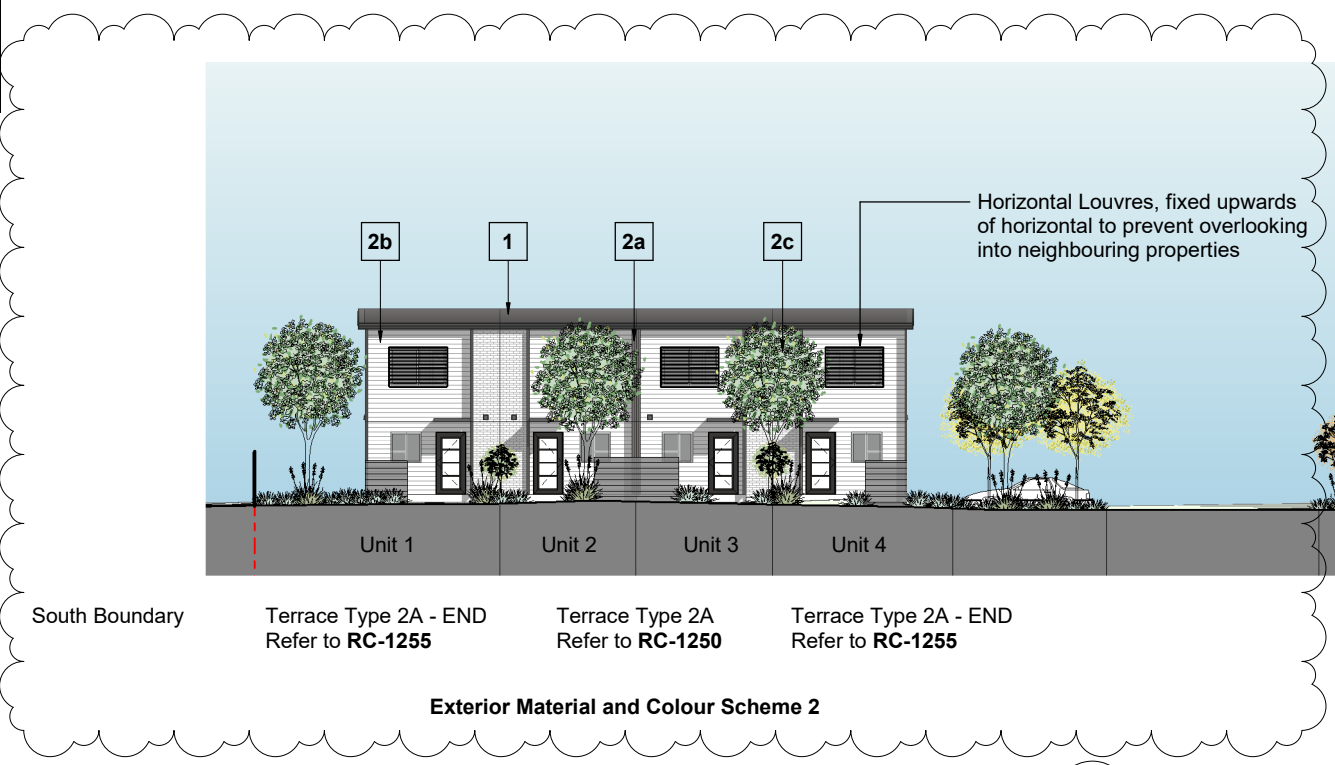
S 1 : 125 Elevation
 RC-150 Elevation - South - - 4 King Street

Exterior Material and Colour Schemes
 Refer to RC-105 for Exterior Material and Colour Scheme Descriptions

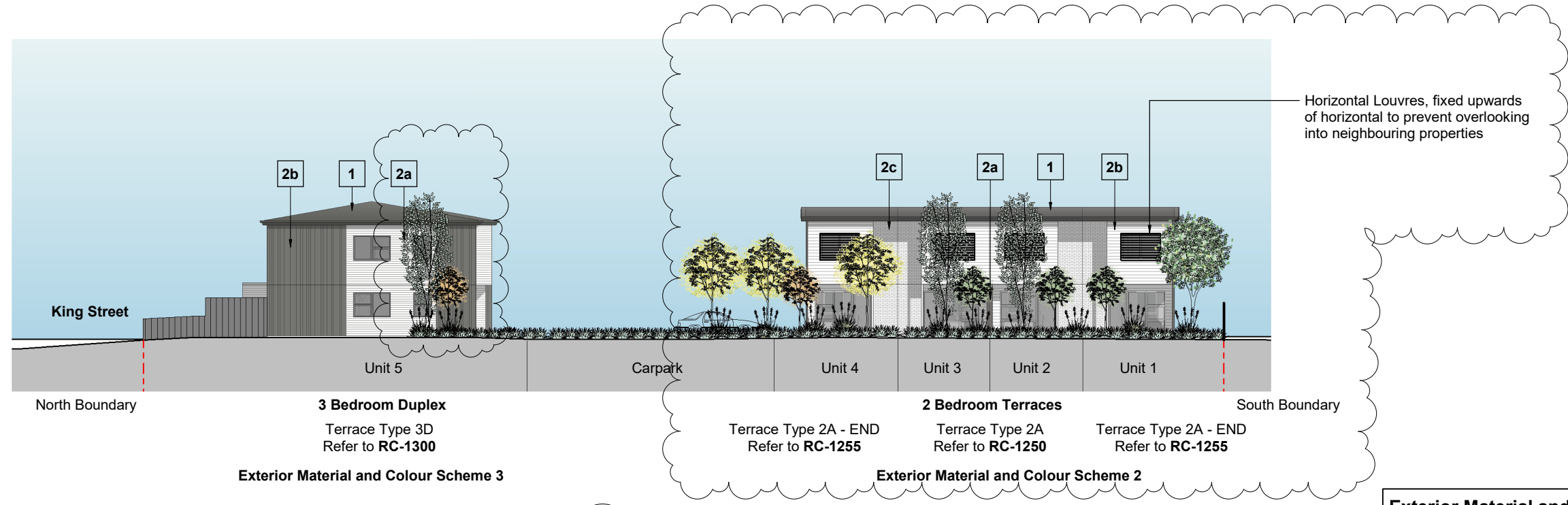
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	Drawing Title Elevations - North and South		A STUDIO ARCHITECTS				

Planner: Trish Routley
pp: ERamsay
RC: 2240011-RMALUC
Date: 04/03/2024



E 1 : 125 Elevation
 RC-040 Elevation - East - 4 King Street



W 1 : 125 Elevation
 RC-040 Elevation - West - 4 King Street

Exterior Material and Colour Schemes
 Refer to RC-105 for Exterior Material and Colour Scheme Descriptions

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Project Name
4 King Street Development
 for Gemscott Limited
 Drawing Title
Elevations - East and West

Project Address
 4 King Street, 0230, Kerikeri

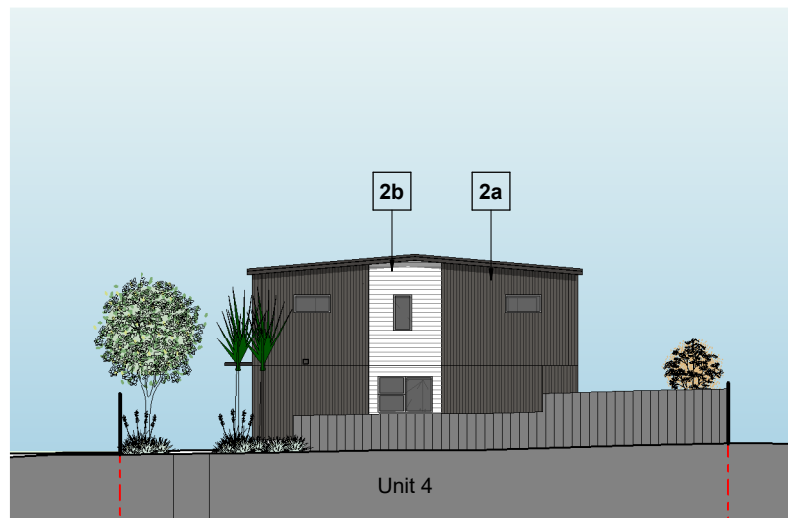
Drawing Scale @ A1 =
 As indicated
 Half scale for reduced A3 drawings
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 Scale: 1:250 @ A3

Revision & Date
 A Resource Consent 2023-02-09
 B Resource Consent 2023-06-21
 C Section 92 2023-09-11

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Drawing No: **RC-171** Revision **C**
 Project No: 2212
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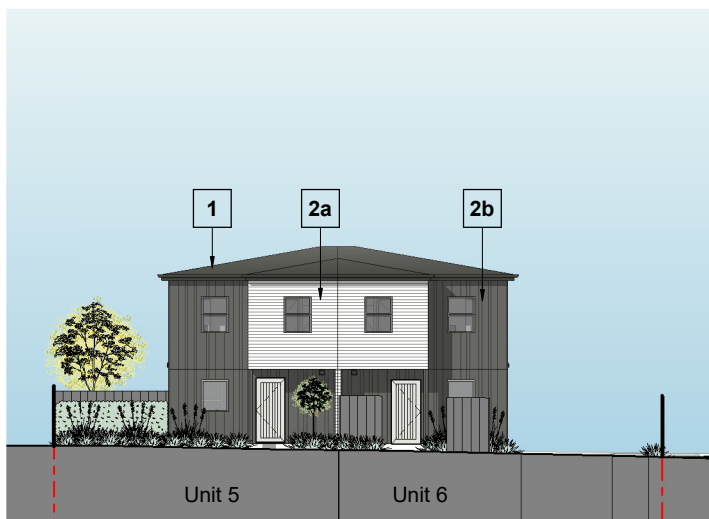
Planner: Trish Routley
pp: ERamsay
RC: 2240011-RMALUC
Date: 04/03/2024



East Boundary Terrace **Type 2A - END** West Boundary
 Refer to **RC-1255**

Exterior Material and Colour Scheme 2

1 1 : 125 Elevation
 RC-150 Internal Elevation - North - 4 King Street



West Boundary Terrace **Type 3D** East Boundary
 Refer to **RC-1300**

Exterior Material and Colour Scheme 3

2 1 : 125 Elevation
 RC-150 Internal Elevation - South - 4 King Street

Exterior Material and Colour Schemes

Refer to RC-105 for Exterior Material and Colour Scheme Descriptions

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Project Name
4 King Street Development
 for Gemscott Limited
 Drawing Title
Internal Elevations

Project Address
 4 King Street, 0230, Kerikeri

Drawing Scale @ A1 =
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 Half scale for reduced A3 drawings

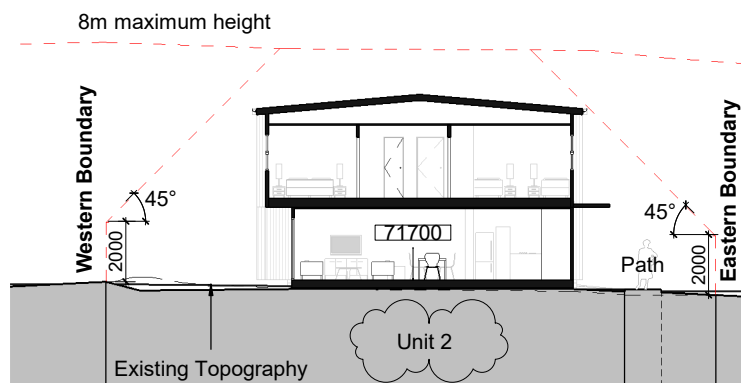
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Revision & Date
 A Resource Consent 2023-02-09
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 C Section 92 2024-01-24

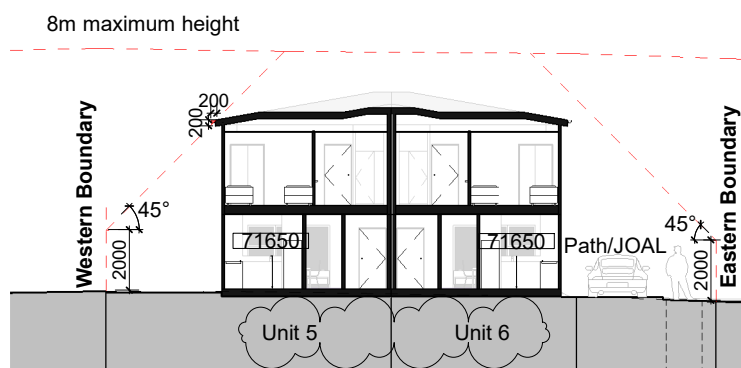
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Drawing No: **RC-172** Revision **C**
 Project No: 2212
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Planner: Trish Routley
 pp: ERamsay
 RC: 2240011-RMALUC
 Date: 04/03/2024



1 1 : 125 Cross Section
 RC-150 Cross Section 1 - 4 King Street

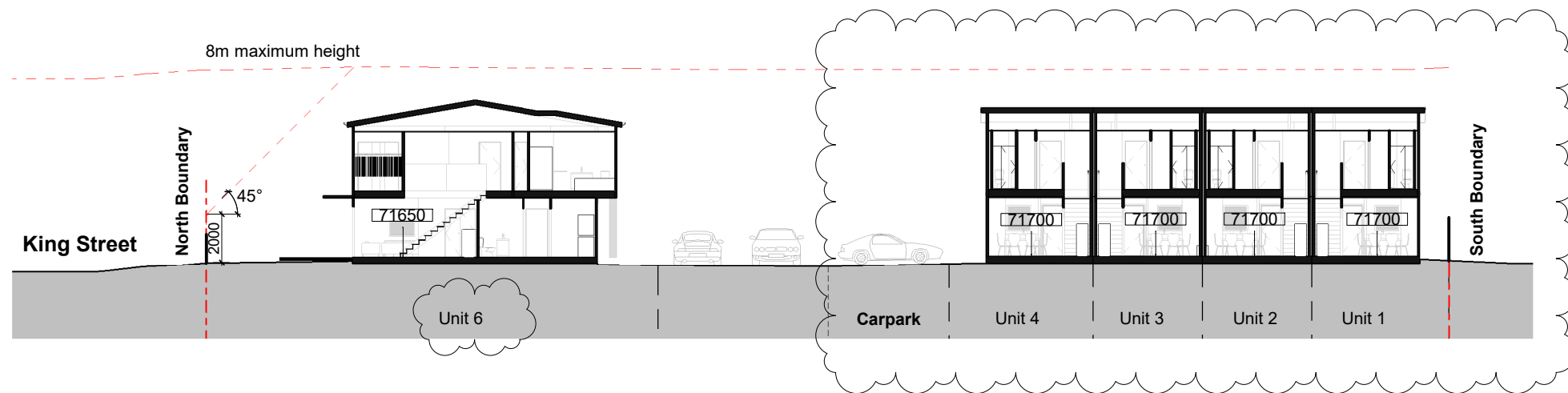


2 1 : 125 Cross Section
 RC-150 Cross Section 2 - 4 King Street

HIRB Infringements	
	Area of Building over the 2m + 45° Height in relation to Boundary Control

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	for Gemscott Limited		Half scale for reduced A3 drawings			Project No: 2212		
	Drawing Title Cross Sections		0 2.5 5.0 7.5m	Scale: 1:250 @ A3				
							A STUDIO ARCHITECTS	

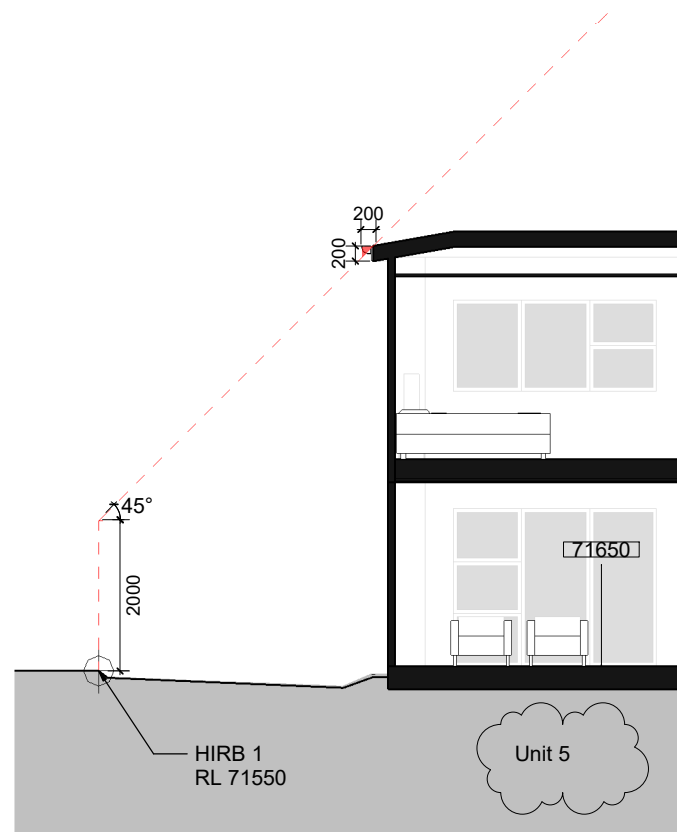


1 1 : 125 Longitudinal Section
 RC-150 Long Section - 4 King Street

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	Drawing Title Long Section		A STUDIO ARCHITECTS				

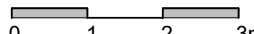
Planner: Trish Routley
 pp: ERamsay
 RC: 2240011-RMALUC
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1 1 : 50 Cross Section
 RC-150 HIRB - Duplex




HIRB Infringements	
	Area of Building over the 2m + 45° Height in relation to Boundary Control

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	HIRB Section 1		A STUDIO ARCHITECTS			

Planner: Trish Routley
pp: ERamsay
RC: 2240011-RMALUC
Date: 04/03/2024



Reference	
	Approximate location of Buildings on 6 King Street site. Information gathered from Far North District Council
	Approximate location of Outdoor Living Areas on 6 King Street site. Information gathered from Far North District Council.
	Shaded area cast from proposed buildings onto 6 King Street.

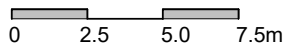
1 1 : 125 Plan
Proposed Context Plan - 4 King 730am Summer Solstice

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Project Name
4 King Street Development
for Gemscott Limited
Drawing Title
730apm - Sun Study - 6 King Street - Summer Solstice

Project Address
4 King Street, 0230, Kerikeri

Drawing Scale @ A1 =
1 : 125
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Scale: 1:250 @ A3




Revision & Date
A Section 92
2023-09-11

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Drawing No: **RC-191** Revision **A**
Project No: 2212
A STUDIO ARCHITECTS

Planner: Trish Routley
pp: ERamsay
RC: 2240011-RMALUC
Date: 04/03/2024



Reference	
	Approximate location of Buildings on 6 King Street site. Information gathered from Far North District Council
	Approximate location of Outdoor Living Areas on 6 King Street site. Information gathered from Far North District Council.
	Shaded area cast from proposed buildings onto 6 King Street.

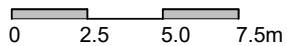
1 1 : 125 Plan
Proposed Context Plan - 4 King 9am Summer Solstice

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Project Name
4 King Street Development
for Gemscott Limited
Drawing Title
9am - Sun Study - 6 King Street - Summer Solstice

Project Address
4 King Street, 0230, Kerikeri

Drawing Scale @ A1 =
1 : 125
Half scale for reduced A3 drawings

 Scale: 1:250 @ A3




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Drawing No: **RC-192** Revision **A**
Project No: 2212
A STUDIO ARCHITECTS

Planner: Trish Routley
pp: ERamsay
RC: 2240011-RMALUC
Date: 04/03/2024



Reference	
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	Approximate location of Outdoor Living Areas on 6 King Street site. Information gathered from Far North District Council.
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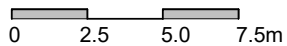
1 1 : 125 Plan
Proposed Context Plan - 4 King 1030am Summer Solstice

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Project Name
4 King Street Development
for Gemscott Limited
Drawing Title
1030am - Sun Study - 6 King Street - Summer Solstice

Project Address
4 King Street, 0230, Kerikeri

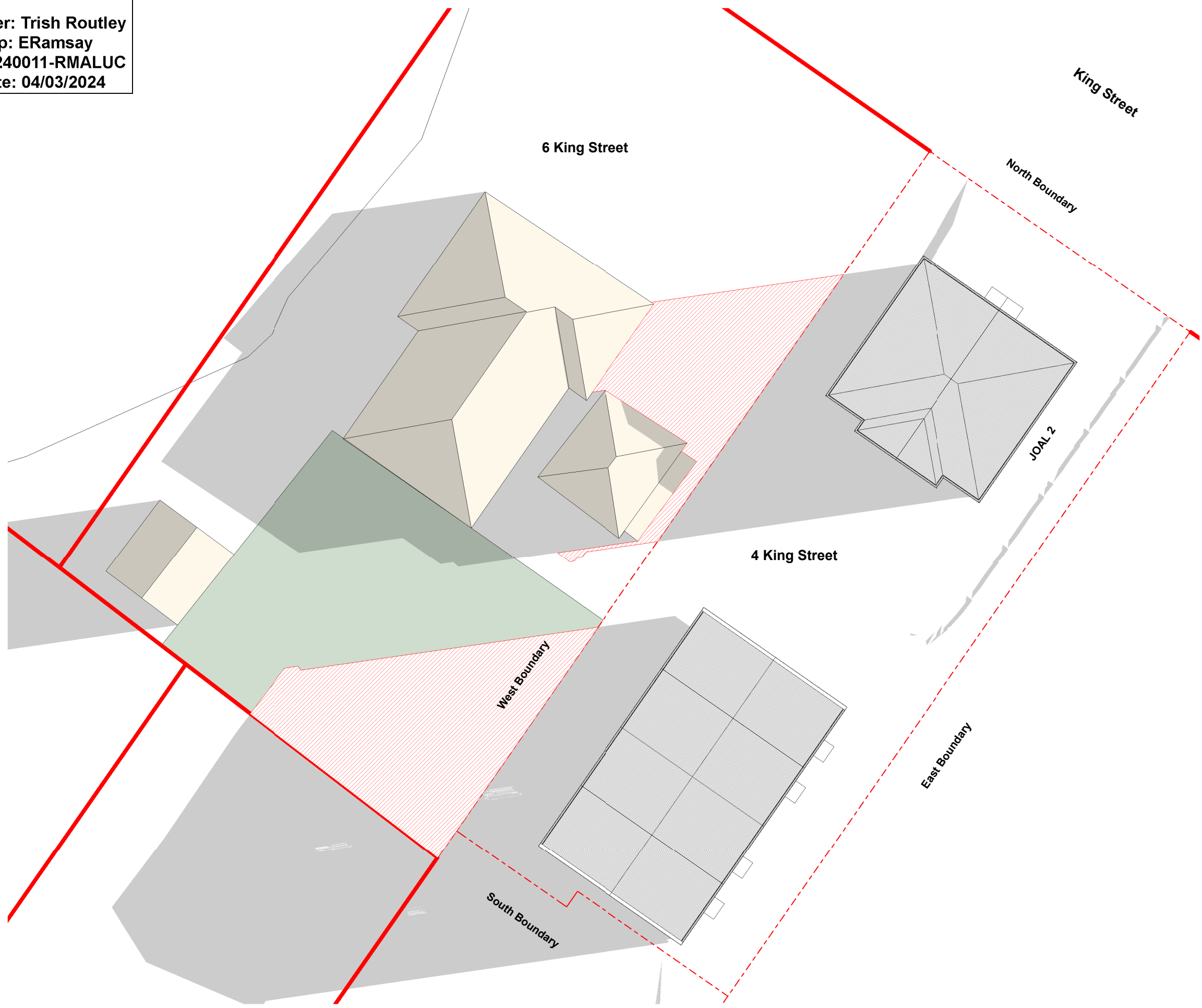
Drawing Scale @ A1 =
1 : 125
Half scale for reduced A3 drawings

 Scale: 1:250 @ A3




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Drawing No: **RC-193** Revision **A**
Project No: 2212
A STUDIO ARCHITECTS

Planner: Trish Routley
pp: ERamsay
RC: 2240011-RMALUC
Date: 04/03/2024



Reference	
	Approximate location of Buildings on 6 King Street site. Information gathered from Far North District Council
	Approximate location of Outdoor Living Areas on 6 King Street site. Information gathered from Far North District Council.
	Shaded area cast from proposed buildings onto 6 King Street.

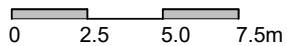
1 1 : 125 Plan
 Proposed Context Plan - 4 King 730am
 Spring/Autumn Equinox

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Project Name
4 King Street Development
 for Gemscott Limited
 Drawing Title
730am - Sun Study - 6 King Street - Spring and Autumn Equinox

Project Address
 4 King Street, 0230, Kerikeri

Drawing Scale @ A1 =
 1 : 125
 Half scale for reduced A3 drawings

 Scale: 1:250 @ A3




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Drawing No: **RC-194** Revision **A**
 Project No: 2212
A STUDIO ARCHITECTS

Planner: Trish Routley
 pp: ERamsay
 RC: 2240011-RMALUC
 Date: 04/03/2024



Reference	
	Approximate location of Buildings on 6 King Street site. Information gathered from Far North District Council
	Approximate location of Outdoor Living Areas on 6 King Street site. Information gathered from Far North District Council.
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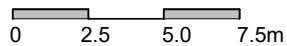
1 1 : 125 Plan
 Proposed Context Plan - 4 King 9am Spring/Autumn Equinox

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Project Name
4 King Street Development
 for Gemscott Limited
 Drawing Title
9am - Sun Study - 6 King Street - Spring and Autumn Equinox

Project Address
 4 King Street, 0230, Kerikeri

Drawing Scale @ A1 =
 1 : 125
 Half scale for reduced A3 drawings

 Scale: 1:250 @ A3




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Drawing No: **RC-195** Revision **A**
 Project No: 2212
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Planner: Trish Routley
 pp: ERamsay
 RC: 2240011-RMALUC
 Date: 04/03/2024



Reference	
	Approximate location of Buildings on 6 King Street site. Information gathered from Far North District Council
	Approximate location of Outdoor Living Areas on 6 King Street site. Information gathered from Far North District Council.
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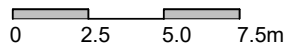
1 1 : 125 Plan
 Proposed Context Plan - 4 King 1030am
 Spring/Autumn Equinox

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Project Name
4 King Street Development
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 Drawing Title
1030am - Sun Study - 6 King Street - Spring and Autumn Equinox

Project Address
 4 King Street, 0230, Kerikeri

Drawing Scale @ A1 =
 1 : 125
 Half scale for reduced A3 drawings

 Scale: 1:250 @ A3

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Drawing No: **RC-196** Revision **A**
 Project No: 2212
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Planner: Trish Routley
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RC: 2240011-RMALUC
Date: 04/03/2024



Reference

- Approximate location of Buildings on 6 King Street site. Information gathered from Far North District Council
- Approximate location of Outdoor Living Areas on 6 King Street site. Information gathered from Far North District Council.
- Shaded area cast from proposed buildings onto 6 King Street.

1 1 : 125 Plan
Proposed Context Plan - 4 King 830am Winter Solstice

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Project Name
4 King Street Development
for Gemscott Limited
Drawing Title
830am - Sun Study - 6 King Street - Winter Solstice

Project Address
4 King Street, 0230, Kerikeri

Drawing Scale @ A1 =
1 : 125
Half scale for reduced A3 drawings
0 2.5 5.0 7.5m
Scale: 1:250 @ A3

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Drawing No: **RC-197** Revision **A**
Project No: 2212
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Planner: Trish Routley
 pp: ERamsay
 RC: 2240011-RMALUC
 Date: 04/03/2024



Reference

- Approximate location of Buildings on 6 King Street site. Information gathered from Far North District Council
- Approximate location of Outdoor Living Areas on 6 King Street site. Information gathered from Far North District Council.
- Shaded area cast from proposed buildings onto 6 King Street.

1 1 : 125 Plan
 Proposed Context Plan - 4 King 9am Winter Solstice

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Project Name
4 King Street Development
 for Gemscott Limited
 Drawing Title
9am - Sun Study - 6 King Street - Winter Solstice

Project Address
 4 King Street, 0230, Kerikeri

Drawing Scale @ A1 =
 1 : 125
 Half scale for reduced A3 drawings
 0 2.5 5.0 7.5m
 Scale: 1:250 @ A3




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Drawing No: **RC-198** Revision **A**
 Project No: 2212
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Planner: Trish Routley
pp: ERamsay
RC: 2240011-RMALUC
Date: 04/03/2024



Reference	
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	Shaded area cast from proposed buildings onto 6 King Street.

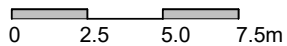
1 1 : 125 Plan
 Proposed Context Plan - 4 King 1030am Winter Solstice

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Project Name
4 King Street Development
 for Gemscott Limited
 Drawing Title
1030am - Sun Study - 6 King Street - Winter Solstice

Project Address
 4 King Street, 0230, Kerikeri

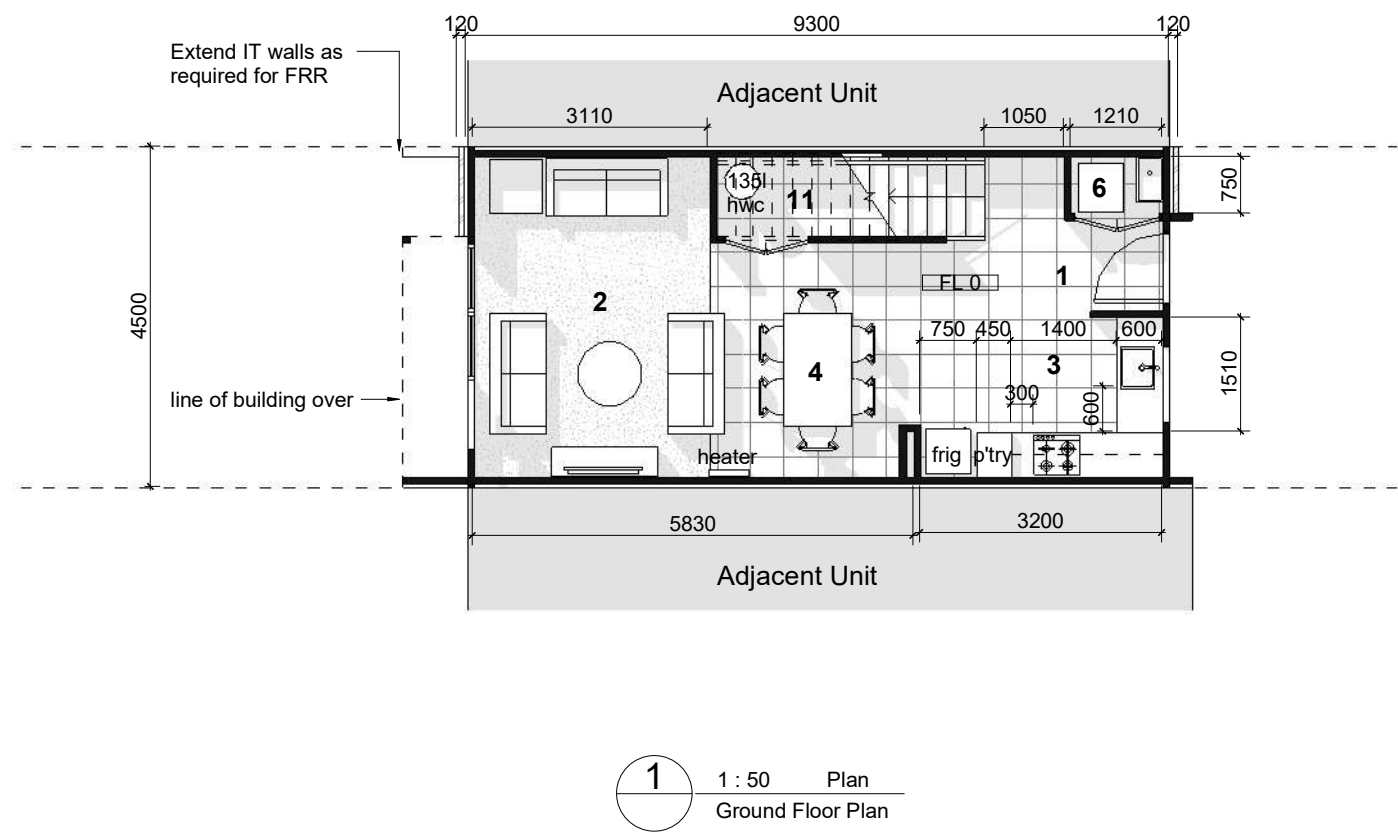
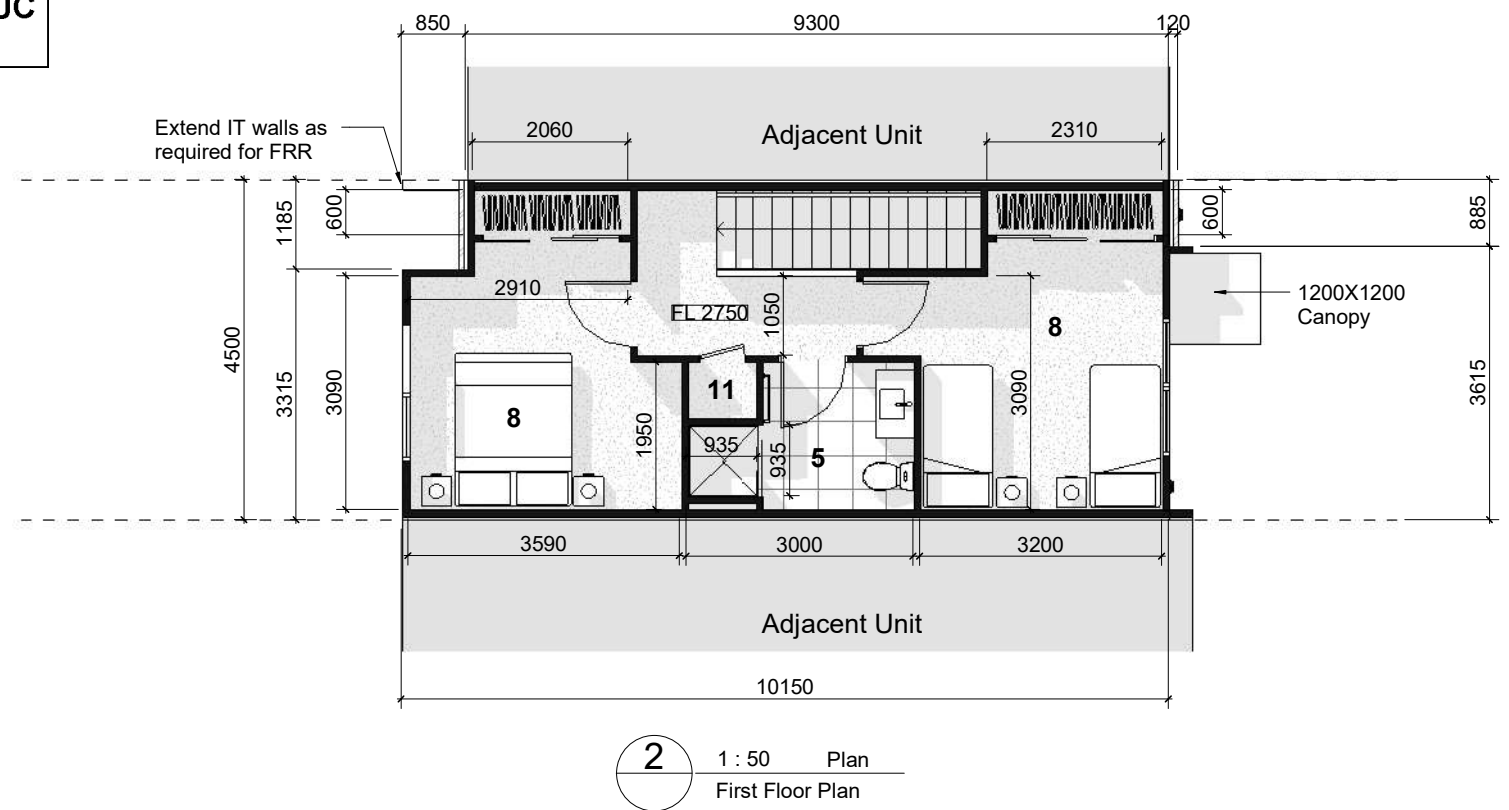
Drawing Scale @ A1 =
 1 : 125
 Half scale for reduced A3 drawings

 Scale: 1:250 @ A3

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 A Section 92 2023-09-11

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Drawing No: **RC-199** Revision **A**
 Project No: 2212
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Planner: Trish Routley
 pp: ERamsay
 RC: 2240011-RMALUC
 Date: 04/03/2024



Floor Finishes		
Level	Name	Floor Finish
Ground Floor	Living	Carpet
Ground Floor	Kitchen, Dining	Vinyl
Ground Floor	Laundry	Vinyl
Ground Floor	Storage	Vinyl
First Floor	Bedroom	Carpet
First Floor	Bedroom	Carpet
First Floor	Bathroom	Vinyl
First Floor	Robe	Carpet
First Floor	Storage	Carpet
First Floor	Hall	Carpet
First Floor	Robe	Carpet

Room Areas		
Level	Name	Area
Ground Floor	Living	13.2 m ²
Ground Floor	Kitchen, Dining	20.5 m ²
Ground Floor	Laundry	0.9 m ²
Ground Floor	Storage	2.4 m ²
First Floor	Bedroom	11.2 m ²
First Floor	Bedroom	11.7 m ²
First Floor	Bathroom	4.8 m ²
First Floor	Robe	1.2 m ²
First Floor	Storage	0.7 m ²
First Floor	Hall	8.0 m ²
First Floor	Robe	1.4 m ²

Terrace House Type 2A

- 2 Storey
- 2 Bedrooms
- 1 Bathroom

Space Legend

- 1 Entry
- 2 Lounge
- 3 Kitchen
- 4 Dining
- 5 Bathroom
- 6 Laundry
- 8 Bedroom
- 11 Storage

Floor Plan orientation to North may vary. Plans may mirror and/or rotate. Refer to the master plan for individual lot context

Floor Area Schedule		
Level	Name	Area
Ground Floor	Brick Zone	0.25 m ²
Ground Floor	Unit	41.85 m ²
First Floor	Brick Zone	0.25 m ²
First Floor	Unit	44.67 m ²
		87.02 m ²

1 x 1.5 kW Heater is to be provided in living space

All main interior doors are 860mm wide leafs

Front door is 910mm wide leaf

A Deck or Patio area of minimum 10m² with a minimum width of 2.0m is to be provided

Floor to Floor Height is 2750mm.

Stair Design is 1050mm wide, 15 risers, 14 treads, NZBC Main Private Stair (190mm maximum riser 280 minimum tread) with a 25mm nosing

This plan is prepared for the purpose of concept design only, it is subject to design development, council requirements and site specific engineering reports and surveys. Final dimensions & areas may vary.

The external wall & IT wall thicknesses are to be determined at the detail design stage.

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Project Name
4 King Street Development
 for Gemscott Limited
 Drawing Title
Terrace House Type 2A - Floor Plans

Project Address
 4 King Street, 0230, Kerikeri

Drawing Scale @ A1 =
 As indicated
 Half scale for reduced A3 drawings

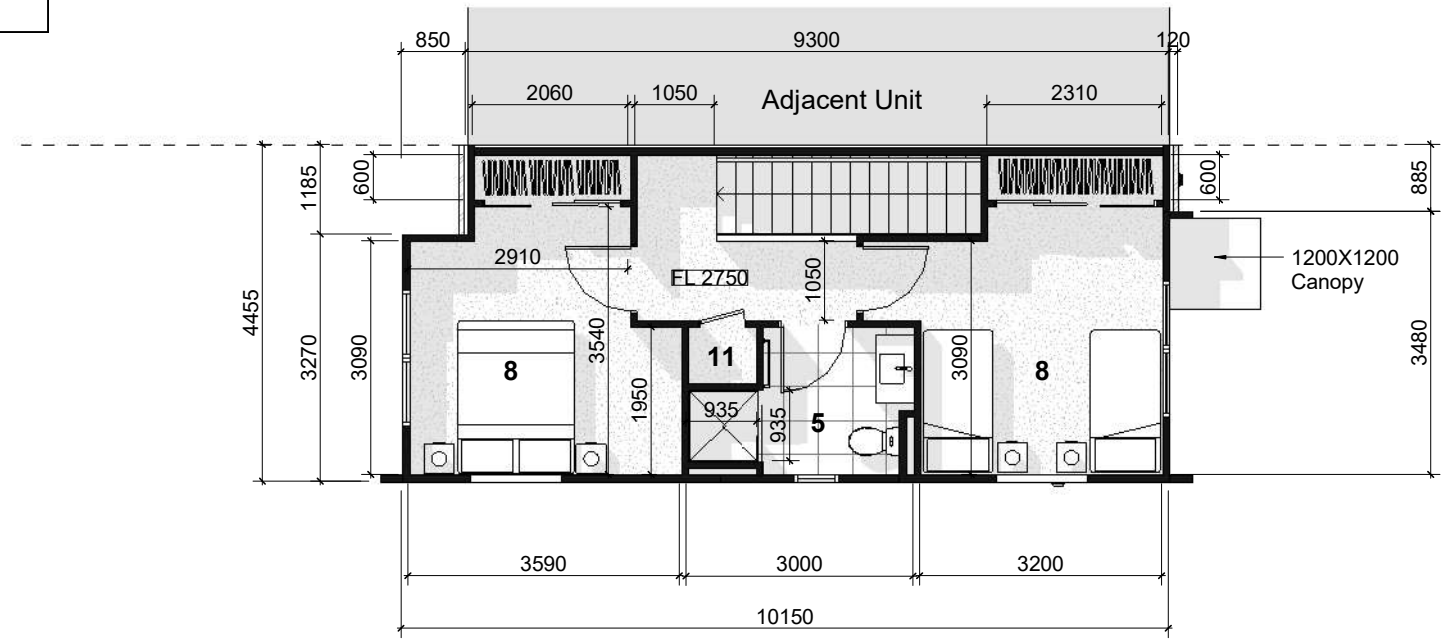
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Revision & Date
 A Resource Consent 2023-02-09
 B Resource Consent 2023-06-21

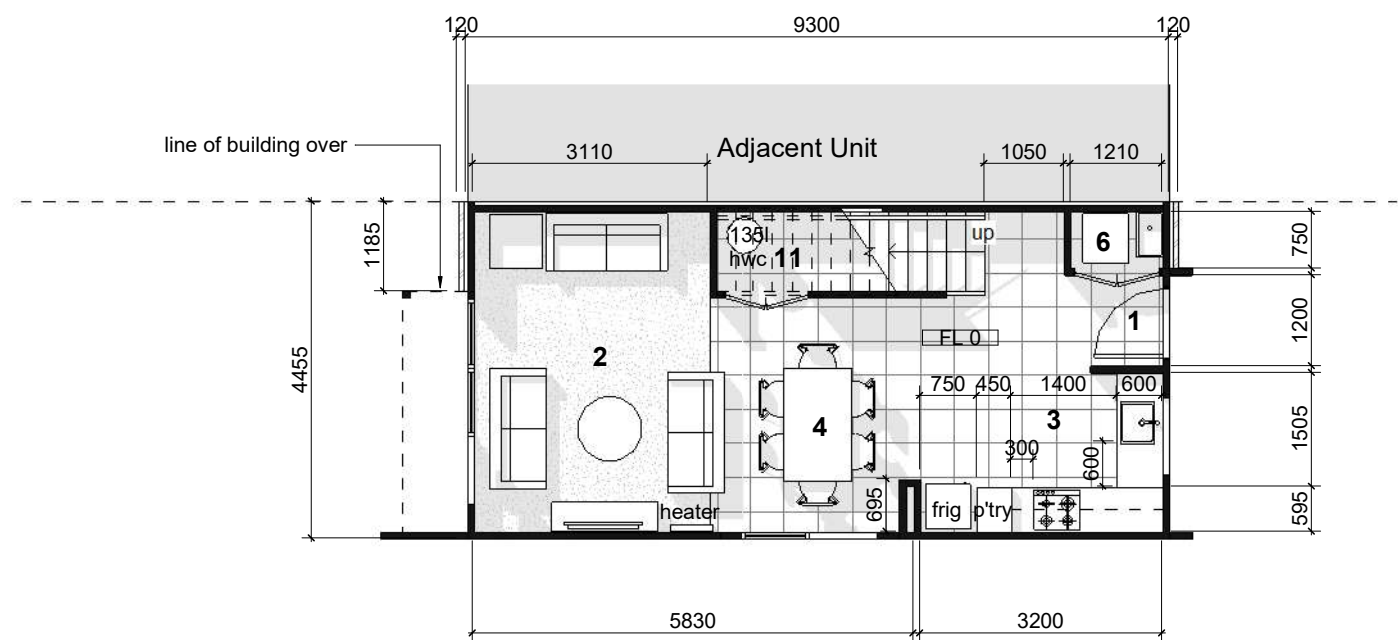
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Drawing No: **RC-1250** Revision **B**
 Project No: 2212
A STUDIO ARCHITECTS

Planner: Trish Routley
 pp: ERamsay
 RC: 2240011-RMALUC
 Date: 04/03/2024



2 1 : 50 Plan
 First Floor Plan



1 1 : 50 Plan
 Ground Floor Plan

Floor Finishes		
Level	Name	Floor Finish
Ground Floor	Living	Carpet
Ground Floor	Kitchen, Dining	Vinyl
Ground Floor	Laundry	Vinyl
Ground Floor	Storage	Vinyl
First Floor	Bedroom	Carpet
First Floor	Bedroom	Carpet
First Floor	Bathroom	Vinyl
First Floor	Robe	Carpet
First Floor	Storage	Carpet
First Floor	Hall	Carpet
First Floor	Robe	Carpet

Room Areas		
Level	Name	Area
Ground Floor	Living	13.2 m ²
Ground Floor	Kitchen, Dining	20.5 m ²
Ground Floor	Laundry	0.9 m ²
Ground Floor	Storage	2.4 m ²
First Floor	Bedroom	11.2 m ²
First Floor	Bedroom	11.7 m ²
First Floor	Bathroom	4.7 m ²
First Floor	Robe	1.2 m ²
First Floor	Storage	0.7 m ²
First Floor	Hall	8.0 m ²
First Floor	Robe	1.4 m ²

Terrace House Type 2A - END

- 2 Storey
- 2 Bedrooms
- 1 Bathroom

Space Legend

- 1 Entry
- 2 Lounge
- 3 Kitchen
- 4 Dining
- 5 Bathroom
- 6 Laundry
- 8 Bedroom
- 11 Storage

Floor Plan orientation to North may vary. Plans may mirror and/or rotate. Refer to the master plan for individual lot context

Floor Area Schedule		
Level	Name	Area
Ground Floor	Brick Zone	0.25 m ²
Ground Floor	Unit	41.48 m ²
First Floor	Brick Zone	0.25 m ²
First Floor	Unit	44.27 m ²
		86.24 m ²

1 x 1.5 kW Heater is to be provided in living space

All main interior doors are 860mm wide leafs

Front door is 910mm wide leaf

A Deck or Patio area of minimum 10m² with a minimum width of 2.0m is to be provided

Floor to Floor Height is 2750mm.

Stair Design is 1050mm wide, 15 risers, 14 treads, NZBC Main Private Stair (190mm maximum riser 280 minimum tread) with a 25mm nosing

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Project Name
4 King Street Development
 for Gemscott Limited
 Drawing Title
Terrace House Type 2A - END - Floor Plans

Project Address
 4 King Street, 0230, Kerikeri

Drawing Scale @ A1 =
 As indicated
 Half scale for reduced A3 drawings

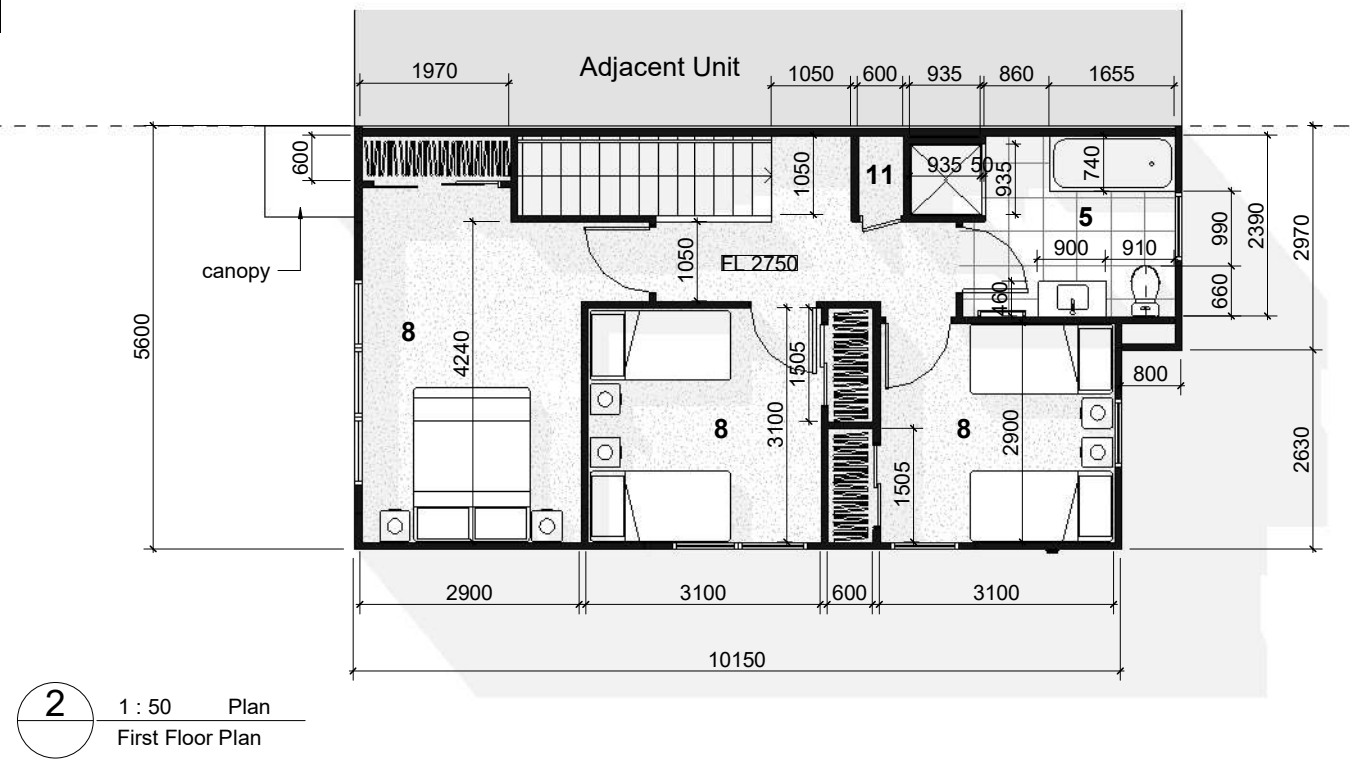
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Revision & Date
 A Resource Consent 2023-02-09
 B Resource Consent 2023-06-21

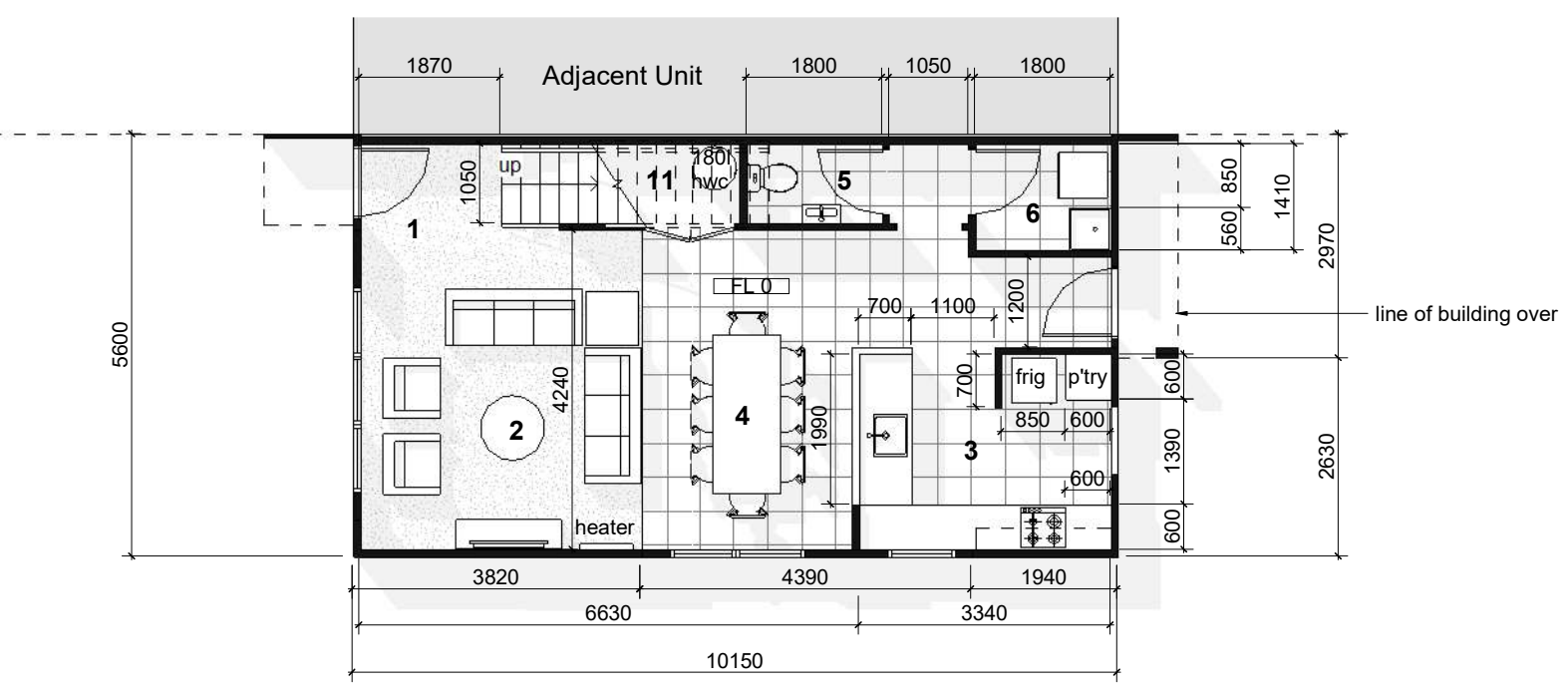
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Drawing No: **RC-1255** Revision **B**
 Project No: 2212
A STUDIO ARCHITECTS

Planner: Trish Routley
 pp: ERamsay
 RC: 2240011-RMALUC
 Date: 04/03/2024



2 1:50 Plan
 First Floor Plan



1 1:50 Plan
 Ground Floor Plan

Nett Area - Room & Floor Finishes

Name	Area	Floor Finish
Bathroom	7.3 m ²	Vinyl
Bathroom	1.9 m ²	Vinyl
Bedroom	14.1 m ²	Carpet
Bedroom	9.0 m ²	Carpet
Bedroom	9.6 m ²	Carpet
Hall	1.1 m ²	Vinyl
Hall	9.1 m ²	Carpet
Kitchen, Dining	25.3 m ²	Vinyl
Laundry	2.5 m ²	Vinyl
Living	18.5 m ²	Carpet
Robe	0.9 m ²	Carpet
Robe	1.2 m ²	Carpet
Robe	0.9 m ²	Carpet
Storage	2.8 m ²	Vinyl
Storage	0.6 m ²	Carpet

Nett Area - Storage

Name	Area	Store Height	Volume
Storage	2.8 m ²	1.2m	3.36 m ³
Storage	0.6 m ²	2.4m	1.51 m ³
Grand total	3.4 m ²		4.88 m ³

Nett Area - Robe

Name	Area	Robe Height	Volume
Robe	0.9 m ²	2.4m	2.17 m ³
Robe	1.2 m ²	2.4m	2.84 m ³
Robe	0.9 m ²	2.4m	2.17 m ³
Grand total	3.0 m ²		7.17 m ³

House Type 3D

2 Storey
 3 Bedrooms
 2 Bathroom

Space Legend

- 1 Entry
- 2 Lounge
- 3 Kitchen
- 4 Dining
- 5 Bathroom
- 6 Laundry
- 8 Bedroom
- 11 Storage

Floor Plan orientation to North may vary.
 Plans may mirror and/or rotate. Refer to the master plan for individual lot context

Floor Area Schedule

Level	Name	Area
Ground Floor	Unit	56.84 m ²
First Floor	Unit	59.10 m ²
		115.94 m ²

1 x 2 kW Heater is to be provided in living space
 All main interior doors are 860mm wide leaves
 Front door is 910mm wide leaf
 Back door is 860mm wide leaf

A Deck or Patio area of minimum 10m² with a minimum width of 2.5m is to be provided

Floor to Floor Height is 2750mm.

Stair Design is 1050mm wide, 15 risers, 14 treads, NZBC Main Private Stair (190mm maximum riser 280 minimum tread) with a 25mm nosing

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Project Name
4 King Street Development
 for Gemscott Limited
 Drawing Title
House Type 3D - Floor Plans

Project Address
 4 King Street, 0230, Kerikeri

Drawing Scale @ A1 =
 As indicated
 Half scale for reduced A3 drawings

 Scale: 1:100 @ A3

Revision & Date
 A Resource Consent 2023-02-09
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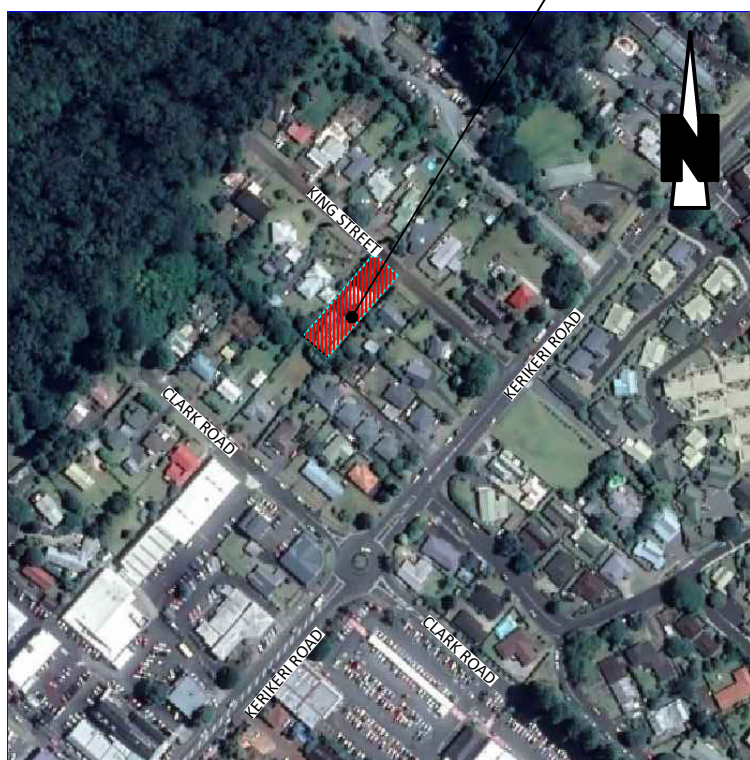
Drawing No: **RC-1300** Revision **B**
 Project No: 2212
A STUDIO ARCHITECTS

Planner: Trish Routley
 App: ERamsay
 RC: 2240011-RMALUC
 Date: 04/03/2024

GEMSCOTT LIMITED

4 KING STREET, KERIKERI CIVIL ENGINEERING DRAWINGS

SITE LOCATION



LOCALITY PLAN
 N.T.S.

DRAWING INDEX

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		13.09.23
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A22047-600-B	WATER SUPPLY LAYOUT PLAN	3
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CKL PROJECT NUMBER : **A22047**
 DATE OF ISSUE : **SEPTEMBER 2023**
 ISSUED FOR : **RESOURCE CONSENT**

Planner: Trish Routley
 pp: ERamsay
 RC: 2240011-RMALUC
 Client: GEMSCOTT LIMITED
 Project: 4 King Street
 Date: 04/03/2024

RISK REGISTER

Works Site: 4 King Street
 Author: Ash Vodnala
 Reviewed by: Jay Moyo
 Version: 1
 Date: 10.02.23

RISKS ASSOCIATED WITH DESIGN ELEMENT						STAGE			DESIGN MITIGATION MEASURES AND RESIDUAL RISK							
No.	Activity	Hazard	WHO IS AT RISK?		Location/ Design Element	Demolition	Construction	Operation and Maintenance	Design Mitigation Measures	Residual Hazards and Management	Likelihood	Consequence	Residual Risk	Risk Owner	Expected Date to Complete Action	Comments
			Principal/ Contractor	Public												
1	Working in a residential area	Collisions between construction traffic and pedestrians or structures	Y	Y	Drainage lines/watermain	Y	Y	N/A	Minimise construction activities at public interface where possible.	Designated and well marked site entrance/exit. Site fenced off to create a safe working area for contractors.	2	4	3	Contractor		
2	Working on live roads	Construction workers struck by oncoming traffic	Y	Y	Drainage lines/watermain	Y	Y	N/A	Minimise construction activities within the road corridor. Shutdown of Clark Road/King Street to be effected under approved TMP from FNDC.	Ensure appropriate traffic management measures are in place and adhered to during construction. Wear appropriate hi-viz PPE clothing/protection as per SSSP.	2	5	3	Contractor		
3	Working in public spaces	Injury to members of public when entering the construction site	Y	Y	Drainage lines/watermain	Y	Y	N/A	Minimise construction within public spaces, avoid disruption to pedestrians, vehicles etc.	Site well fenced off/barriered to prevent public pedestrian and vehicular access.	2	5	4	Contractor		
4	Trenching	Trench collapse causing injury or death, or falling into open trenches.	Y	Y	Drainage lines/watermain	N/A	Y	N/A	Minimise depth of drainage lines where possible.	Notify with Worksafe all excavations >1.5m depth and work space > horizontal width at top. Shore/bench trenches where required. Pipe trench and manhole excavation to be undertaken within fenced off areas. Undertake trenching works in fine weather. Backfill trenches as soon as possible.	2	5	4	Contractor		
5	Utilities services	Electric shock from contact with live services during excavations.	Y	Y	Drainage lines/watermain	Y	Y	N/A	Minimise works required near existing live services.	Register with www.beforeUdig.co.nz, obtain utilities service providers asbuilt plans, locate/pilot and mark out existing services prior to excavations.	2	5	4	Contractor		

*GUIDELINES FOR RISK ASSESSMENT & CONTROL

RISK MATRIX	CONSEQUENCE				
	SUPERFICIAL No injuries	MINOR First aid treatment only	MODERATE Medical treatment required	MAJOR Extensive injuries	CATASTROPHIC Death/permanent disability
ALMOST CERTAIN Expected in most circumstances	MEDIUM	MEDIUM	HIGH	EXTREME	EXTREME
LIKELY Will occur in most circumstances	LOW	MEDIUM	HIGH	HIGH	EXTREME
POSSIBLE Might occur at some time	LOW	MEDIUM	HIGH	HIGH	HIGH
UNLIKELY Could occur at some time	LOW	LOW	MEDIUM	MEDIUM	HIGH
RARE May occur in exceptional circumstances	LOW	LOW	LOW	LOW	MEDIUM

HIERARCHY OF CONTROL		
MOST EFFECTIVE LEAST EFFECTIVE	1. ELIMINATE:	
	1. Eliminate the hazard: remove the hazard completely from the workplace or activity	If this isn't reasonably practicable, then...
	2. MINIMISE:	
	2. Substitute the hazard (wholly or partly) with a safer alternative: isolate the hazard using physical barriers, time or distance • Use Engineering controls adapt tools or equipment to reduce the risk	Minimise the risk, so far as reasonably practicable, by taking one or more of these actions that is the most appropriate
	3. Use administrative controls develop methods of work, processes and procedures	If a risk then remains, you must minimise the remaining risk, so far as reasonably practicable
	4. Use personal protective equipment (PPE) this is the last option after you have considered all the other options	If a risk then remains, you must minimise the remaining risk by using PPE

ASSESSED RISK LEVEL	DESCRIPTION OF RISK LEVEL	ACTIONS
LOW	If an accident were to occur, there would be little likelihood that an injury would result.	Undertake the activity with the existing controls in place.
MEDIUM	If an accident were to occur, there would be some chance that an injury requiring First Aid would result.	Additional controls may be needed.
HIGH	If an accident were to occur, it would be likely that an injury requiring medical treatment would result.	Controls will need to be in place before the activity is undertaken.
EXTREME	In an incident were to occur, it would be likely that a permanent, debilitating injury or death would result.	Consider alternatives to doing the activity. Significant control measures will need to be implemented to ensure safety.

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 4 KING STREET
 KERIKERI, NORTHLAND

**SAFETY IN DESIGN
 RISK REGISTER**

Issue	Description	Checked	Date	Date	Scale:
1	FOR RESOURCE CONSENT	JM	10.02.23	Designed: AV 30.09.22 Drawn: AV 30.09.22 Checked: JM 10.02.23	NTS (A3 Original)
				Job No: A22047	Dwg No: 030-B
				Rev: 1	

Notes:
 - Bearing & Coordinate Datum: Geodetic 2000
 - Mit Edm Circuit Coordinates: 800 000.00mN
 400 000.00mE
 Figure Coordinates: RM 45 SO 55465 (C30F)
 983335.269mN
 325999.763mE
 LINZ value as of 05.08.22

- Height Datum: One Tree Point Vertical Datum 1964
 - Origin of Levels: RM 45 SO 55465 (C30F)
 RL = 69.66m (converted from NZVD 2016)
 LINZ value as of 05.08.22

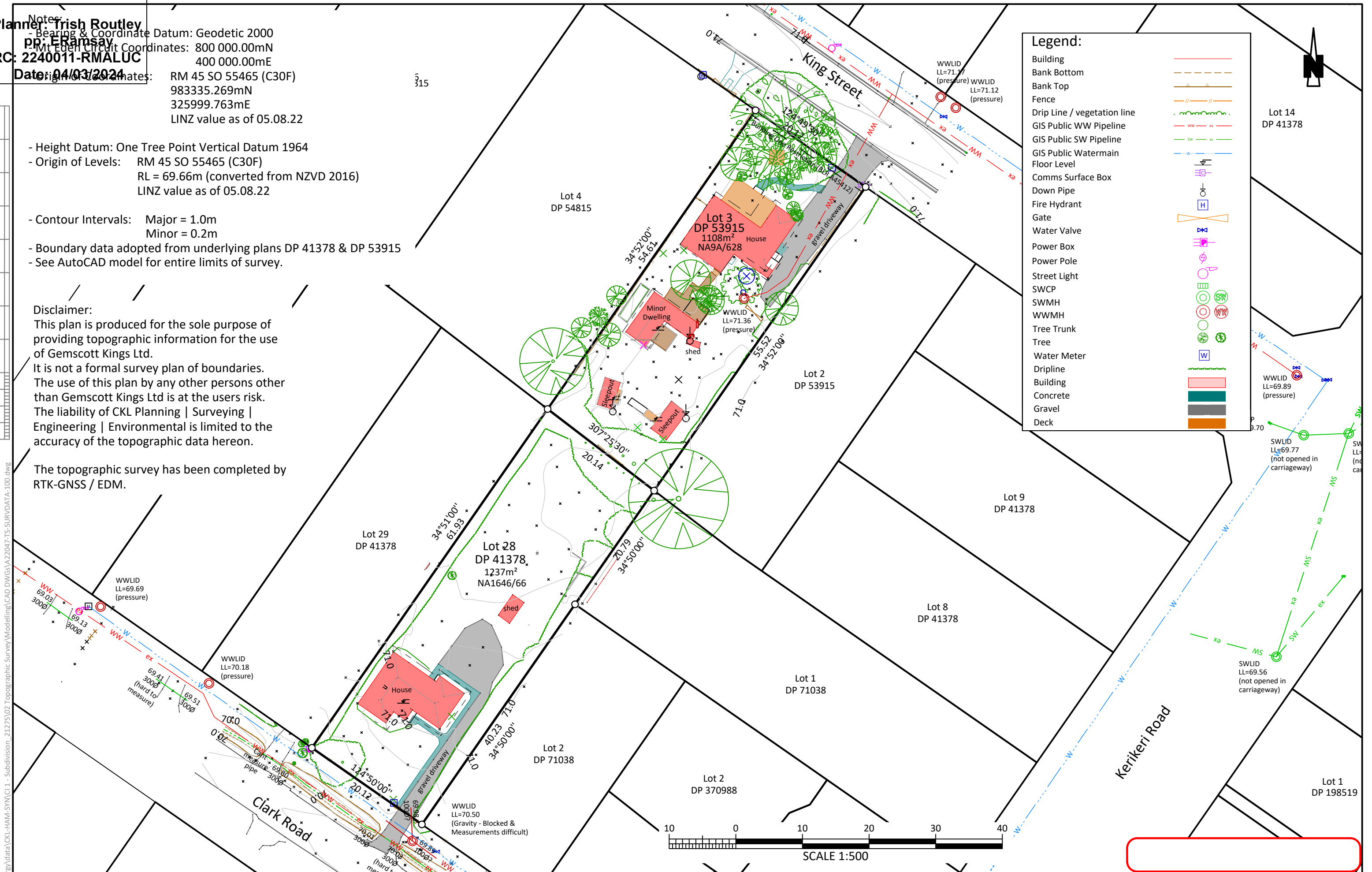
- Contour Intervals: Major = 1.0m
 Minor = 0.2m
 - Boundary data adopted from underlying plans DP 41378 & DP 53915
 - See AutoCAD model for entire limits of survey.

Disclaimer:
 This plan is produced for the sole purpose of providing topographic information for the use of Gemscott Kings Ltd.
 It is not a formal survey plan of boundaries. The use of this plan by any other persons other than Gemscott Kings Ltd is at the users risk. The liability of CKL Planning | Surveying | Engineering | Environmental is limited to the accuracy of the topographic data hereon.

The topographic survey has been completed by RTK-GNSS / EDM.

Legend:

- Building
- Bank Bottom
- Bank Top
- Fence
- Drip Line / vegetation line
- GIS Public WW Pipeline
- GIS Public SW Pipeline
- GIS Public Watermain
- Floor Level
- Comms Surface Box
- Down Pipe
- Fire Hydrant
- Gate
- Water Valve
- Power Box
- Power Pole
- Street Light
- SWCP
- SWMH
- WWMH
- Tree Trunk
- Tree
- Water Meter
- Dripline
- Building
- Concrete
- Gravel
- Deck



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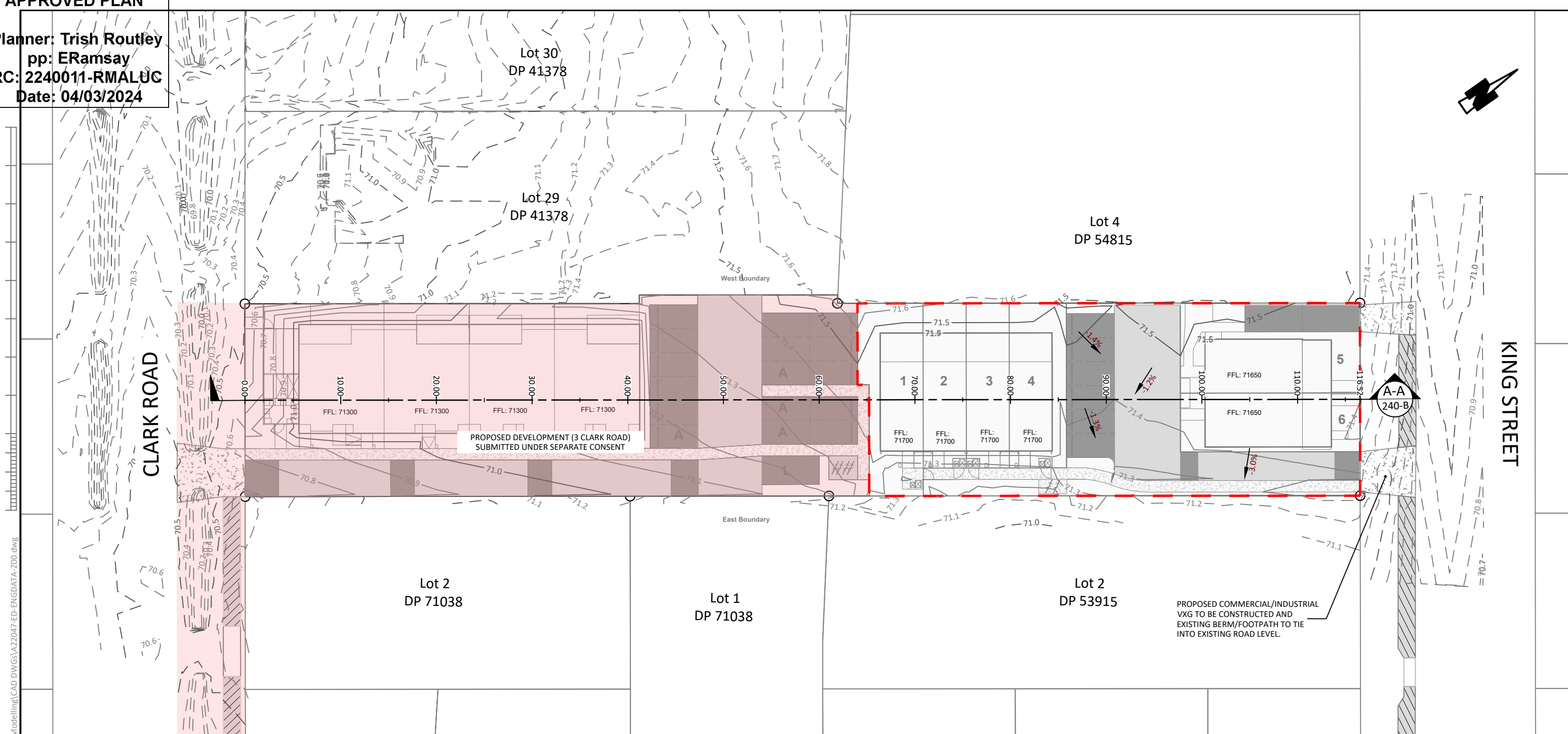
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Gemscott Kings Ltd
 3 Clark Road & 4 King Street, Kerikeri

TOPOGRAPHICAL SURVEY

Issue	Description	Checked	Date	Designed:	Date	Scale:
0	Original Issue	CV	11.08.22			1:500
				Drawn: AHH	10.08.22	(A3 Original)
				Checked: CV	11.08.22	
		Job No:	Dwg No:	Rev:		
		A22047	100	0		

Planner: Trish Routley
 pp: ERamsay
 RC: 2240011-RMALUC
 Date: 04/03/2024



PROPOSED DEVELOPMENT (3 CLARK ROAD)
 SUBMITTED UNDER SEPARATE CONSENT

PROPOSED COMMERCIAL/INDUSTRIAL
 VXG TO BE CONSTRUCTED AND
 EXISTING BERM/FOOTPATH TO TIE
 INTO EXISTING ROAD LEVEL.

EARTHWORKS NOTES:

- ALL WORKS TO COMPLY WITH THE RELEVANT LOCAL AUTHORITY STANDARDS.
- ALL EROSION AND SEDIMENT CONTROL MEASURES MUST BE OPERATIONAL PRIOR TO ANY WORKS COMMENCING AND SHALL BE INSTALLED IN ACCORDANCE WITH AC GD005 'EROSION AND SEDIMENT CONTROL GUIDE FOR LAND DISTURBING ACTIVITIES'.
- THE LOCATIONS OF ALL STOCKPILES ARE WHOLLY THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL BE LOCATED CLEAR OF ALL EARTHWORKS OPERATIONS AND AWAY FROM GEOTECHNICALLY UNSTABLE LAND. NO PAYMENT SHALL BE MADE FOR RELOCATION OF ANY STOCKPILES THAT HAVE BEEN FOUND TO HAVE BEEN PLACED IN THE INCORRECT LOCATION.
- ALL SETOUT TO BE UNDERTAKEN BY THE CONTRACTOR.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE ALL SERVICES PRIOR TO ANY EXCAVATION.
- IT IS THE CONTRACTORS RESPONSIBILITY FOR HEALTH & SAFETY & SECURITY ON SITE, APPROPRIATE FENCING AND SIGNAGE SHALL BE ERECTED AND MAINTAINED AT ALL TIMES TO KEEP THE GENERAL PUBLIC OFF SITE.

- LEGEND:**
- 49.5 --- EXISTING CONTOURS - MAJOR (0.5m)
 - 49.9 --- EXISTING CONTOURS - MINOR (0.1m)
 - FINISHED CONTOURS - MAJOR (0.5m)
 - FINISHED CONTOURS - MINOR (0.1m)
 - FFL 22.00 FINISH FLOOR LEVELS
 - ➔ FINISH SURFACE FALL DIRECTION
 - - - - - PROPOSED EARTHWORKS BOUNDARY

FOR CONSENT



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**EARTHWORKS
 FINISHED CONTOURS PLAN**

Issue	Description	Checked	Date	Designed:	Date	Scale:
1	FOR RESOURCE CONSENT	JM	10.02.23	AV	30.09.22	1:400 (A3 Original)
2	FOR RESOURCE CONSENT	JM	23.06.23	AV	30.09.22	
3	FOR RESOURCE CONSENT	JM	13.09.23	JM	10.02.23	
				Job No:	Dwg No:	Rev:
				A22047	200-B	3

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Planner: Trish Routley
 pp: ERamsay
 RC: 2240011-RMALUC
 Date: 04/03/2024



EARTHWORKS NOTES:

- ALL WORKS TO COMPLY WITH THE RELEVANT LOCAL AUTHORITY STANDARDS.
- ALL EROSION AND SEDIMENT CONTROL MEASURES MUST BE OPERATIONAL PRIOR TO ANY WORKS COMMENCING AND SHALL BE INSTALLED IN ACCORDANCE WITH AC GD005 'EROSION AND SEDIMENT CONTROL GUIDE FOR LAND DISTURBING ACTIVITIES'.
- THE LOCATIONS OF ALL STOCKPILES ARE WHOLLY THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL BE LOCATED CLEAR OF ALL EARTHWORKS OPERATIONS AND AWAY FROM GEOTECHNICALLY UNSTABLE LAND. NO PAYMENT SHALL BE MADE FOR RELOCATION OF ANY STOCKPILES THAT HAVE BEEN FOUND TO HAVE BEEN PLACED IN THE INCORRECT LOCATION.
- ALL SETOUT TO BE UNDERTAKEN BY THE CONTRACTOR.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE ALL SERVICES PRIOR TO ANY EXCAVATION.
- IT IS THE CONTRACTORS RESPONSIBILITY FOR HEALTH & SAFETY & SECURITY ON SITE, APPROPRIATE FENCING AND SIGNAGE SHALL BE ERECTED AND MAINTAINED AT ALL TIMES TO KEEP THE GENERAL PUBLIC OFF SITE.

PROPOSED OVERALL EARTHWORK VOLUMES			
AREA (m ²)	CUT (m ³)	FILL (m ³)	BALANCE (m ³)
1042	48	68	20 (FILL)

LEGEND:

- 0.10 ISOPACH CUT CONTOUR 0.1m INTERVAL
- 0.10 ISOPACH FILL CONTOUR 0.1m INTERVAL
- PROPOSED EARTHWORKS BOUNDARY

FOR CONSENT



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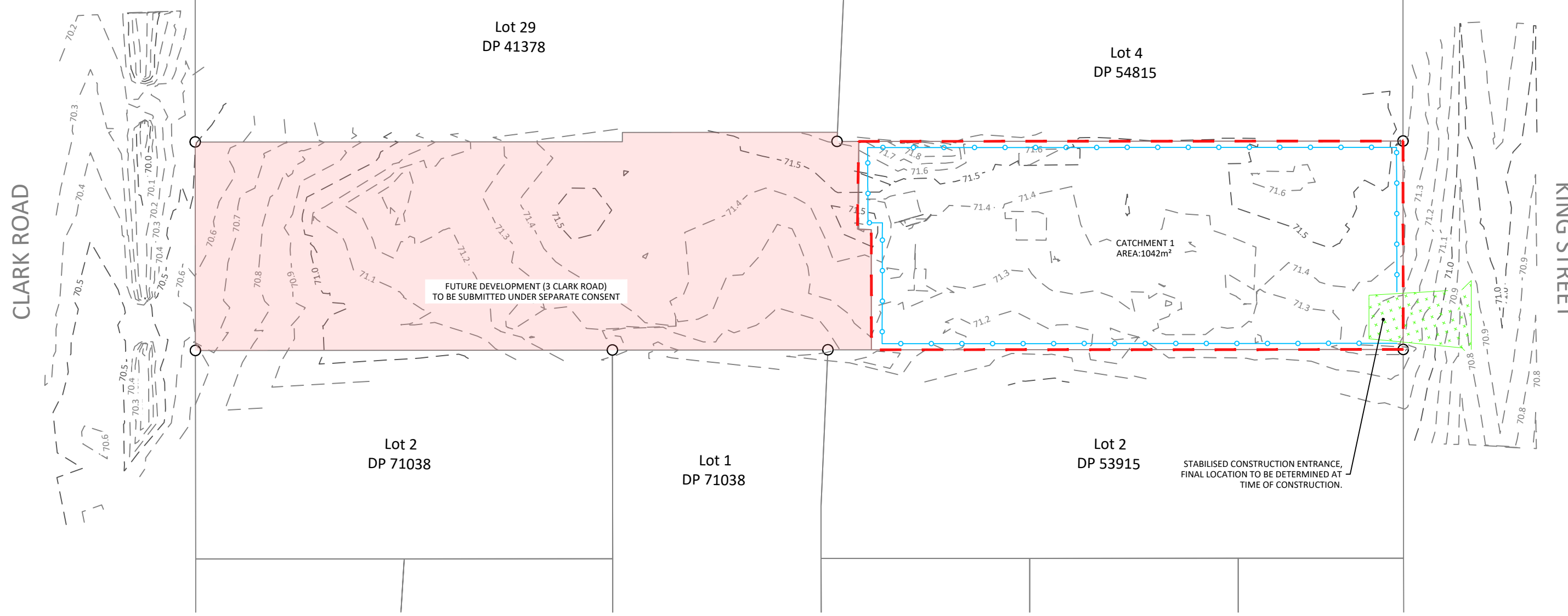
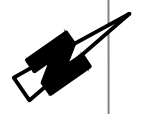
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 KERIKERI, NORTHLAND

**EARTHWORKS
 CUT AND FILL PLAN**

Issue	Description	Checked	Date	Designed	Date	Scale:
1	FOR RESOURCE CONSENT	JM	10.02.23	AV	30.09.22	1:400 (A3 Original)
2	FOR RESOURCE CONSENT	JM	23.06.23	AV	30.09.22	
3	FOR RESOURCE CONSENT	JM	13.09.23	JM	10.02.23	
				Job No:	Dwg No:	Rev:
				A22047	210-B	3

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Planner: Trish Routley
 pp: ERamsay
 RC: 2240011-RMALUC
 Date: 04/03/2024



EROSION AND SEDIMENT CONTROL NOTES:

- ALL EROSION AND SEDIMENT CONTROL SHALL COMPLY WITH THE 'EROSION AND SEDIMENT CONTROL GUIDE FOR LAND DISTURBING ACTIVITIES IN THE AUCKLAND REGION' AC GUIDELINE DOCUMENT GD005 AND ANY AMENDMENTS.
- ALL EROSION AND SEDIMENT CONTROL MEASURES MUST BE OPERATIONAL AND ASBUILT PROVIDED AND APPROVED BY THE ENGINEER/SITE E.M.A PRIOR TO ANY OTHER WORKS COMMENCING ON SITE. THE CONTRACTOR SHALL ARRANGE FOR AND ATTEND A PRE-COMMENCEMENT MEETING ON-SITE WITH THE ENGINEER AND THE COUNCIL E.M.A./COMPLIANCE OFFICER.
- A COPY OF THE EROSION & SEDIMENT CONTROL MANAGEMENT PLAN SHALL BE AVAILABLE ON THE SITE DURING WORK HOURS AND ALL PERSONNEL INVOLVED IN EARTHWORK ACTIVITIES ON THE SITE (INCLUDING OF SUB-CONTRACTORS) SHALL BE FAMILIAR WITH THE CONSENT AND PLAN REQUIREMENTS AS THEY RELATE TO EROSION AND SEDIMENT CONTROL.
- THE CONTRACTOR IS SOLELY RESPONSIBLE FOR ENSURING THAT THE SITE HAS EFFECTIVE EROSION & SEDIMENT CONTROLS OPERATING AT ALL TIMES AND COMPLIES WITH ALL APPLICABLE CONDITIONS OF THE RESOURCE CONSENT.

- ALL CLEANWATER RUNOFF FROM STABILISED SURFACES INCLUDING CATCHMENT AREAS ABOVE THE SITE SHALL BE DIVERTED AWAY FROM EARTHWORK AREAS VIA STABILISED SYSTEM, SO AS TO PREVENT SURFACE EROSION.
- THE FINAL POSITIONS FOR THE SEDIMENT RETENTION POND(S) SHALL BE SELECTED ONSITE BY THE COUNCIL COMPLIANCE OFFICER, THE ENGINEER AND THE CONTRACTOR WITH DUE CONSIDERATION TO EXISTING VEGETATION, TOPOGRAPHY AND ANY OTHER SPECIFIC REQUIREMENTS.
- MAINTENANCE OF ALL SEDIMENT CONTROL FACILITIES TO ENSURE THEIR ON-GOING PERFORMANCE SHALL BE UNDERTAKEN AS REQUIRED OVER THE COURSE OF THE CONSTRUCTION WORKS.
- FURTHER SEDIMENT CONTROL WORKS MAY BE REQUIRED BY THE ENGINEER AS THE PROJECT ADVANCES. THESE ARE TO BE INSTALLED BY THE CONTRACTOR AS AND WHERE DIRECTED BY THE ENGINEER AND/OR COUNCIL COMPLIANCE OFFICER.

EROSION & SEDIMENT CONTROL LEGEND:

- SILT FENCE
- STABILISED AREA
- EXISTING CONTOURS MAJOR (2.0m)
- EXISTING CONTOURS MINOR
- PROPOSED EARTHWORKS BOUNDARY

FOR CONSENT



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EROSION AND SEDIMENT CONTROL PLAN

Issue	Description	Checked	Date	Designed:	Date	Scale:
1	FOR RESOURCE CONSENT	JM	10.02.23	AV	05.10.22	1:400 (A3 Original)
2	FOR RESOURCE CONSENT	JM	23.06.23	AV	05.10.22	
				Checked:	JM	10.02.23
				Job No:	Dwg No:	Rev:
				A22047	220-B	2

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Planner: **Trish Routley**
 App: **ERamsay**
 RC: **2240011-RMALUC**
 Date: **04/03/2024**

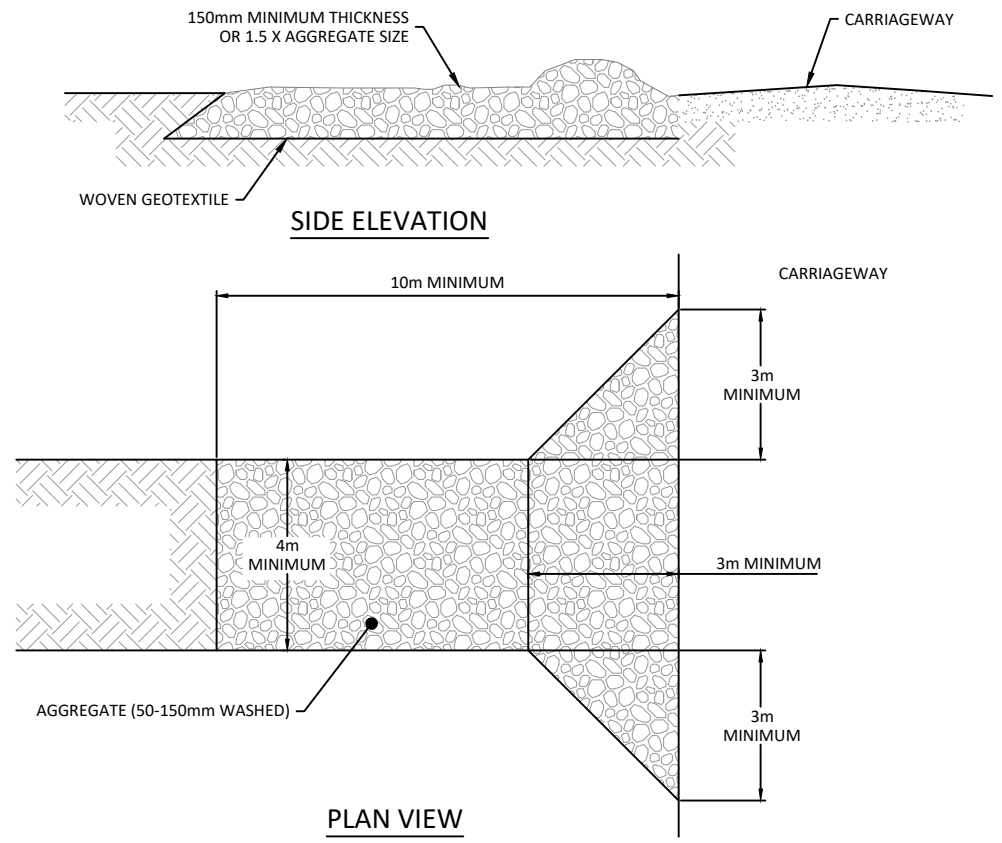
USE OF STABILISED CONSTRUCTION ENTRANCE AT ALL POINTS OF CONSTRUCTION SITE INGRESS AND EGRESS WITH A CONSTRUCTION PLAN LIMITING TRAFFIC TO THESE ENTRANCES ONLY. THEY ARE PARTICULARLY USEFUL ON SMALL CONSTRUCTION SITES BUT CAN BE UTILISED FOR ALL PROJECTS.

- DESIGN:
- CLEAR THE ENTRANCE AND EXIT AREA OF ALL VEGETATION, ROOTS AND OTHER UNSUITABLE MATERIAL AND PROPERLY GRADE IT.
 - LAY WOVEN GEOTEXTILE; PIN DOWN EDGES AND OVERLAP JOINTS.
 - PROVIDE DRAINAGE TO CARRY RUNOFF FROM THE STABILISED CONSTRUCTION ENTRANCE TO A SEDIMENT CONTROL MEASURE.
 - PLACE AGGREGATE TO THE SPECIFICATIONS BELOW AND SMOOTH IT.

STABILISED CONSTRUCTION ENTRANCE AGGREGATE SPECIFICATIONS:

AGGREGATE SIZE	5-150mm WASHED AGGREGATE
THICKNESS	150mm MINIMUM OR 1.5 X AGGREGATE SIZE
LENGTH	10m MINIMUM
WIDTH	4m MINIMUM

- MAINTENANCE
- MAINTAIN THE STABILISED CONSTRUCTION ENTRANCE IN A CONDITION TO PREVENT SEDIMENT FROM LEAVING THE CONSTRUCTION SITE. AFTER EACH RAINFALL INSPECT ANY STRUCTURE USED TO TRAP SEDIMENT FROM THE STABILISED CONSTRUCTION ENTRANCE AND CLEAN OUT AS NECESSARY.
 - WHEN WHEEL WASHING IS ALSO REQUIRED, ENSURE THIS IS DONE ON AN AREA STABILISED WITH AGGREGATE WHICH DRAINS TO AN APPROVED SEDIMENT RETENTION FACILITY.



STABILISATION NOTES:

GRASSING - STABILISATION ACHIEVED @ 80% GRASS COVER

- MIN. 100mm TOPSOIL
- TEMPORARY SEEDING:
 - ANNUAL RYEGRASS
 - SEED APPLICATION @ 100-250 kg/Ha
- PERMANENT SEEDING:
 - PERENIAL RYEGRASS - 70%
 - FESCUES/COCKSFOOT - 20%
 - CLOVER/LOTUS & BROWNTOP - 5% EACH (10%)
 - SEED @ 200-400 kg/Ha
- FERTILISER:
 - N:P:K (15:10:10)
 - FERT APPLICATION @ 200-800 kg/Ha

MULCHING

- STRAW OR HAY MULCH TO BE APPLIED AT 4,000 - 6,000 kg/Ha

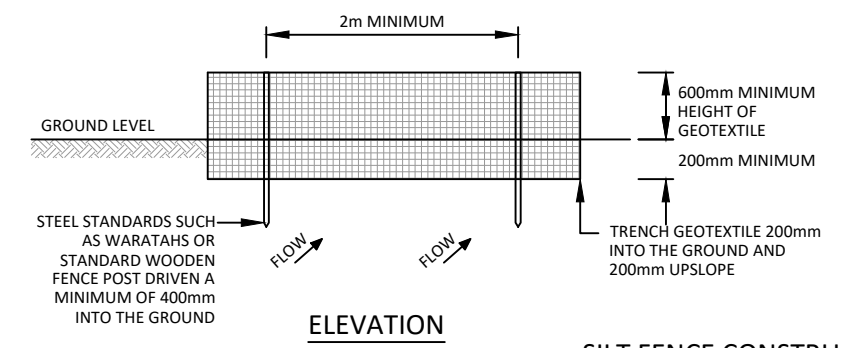
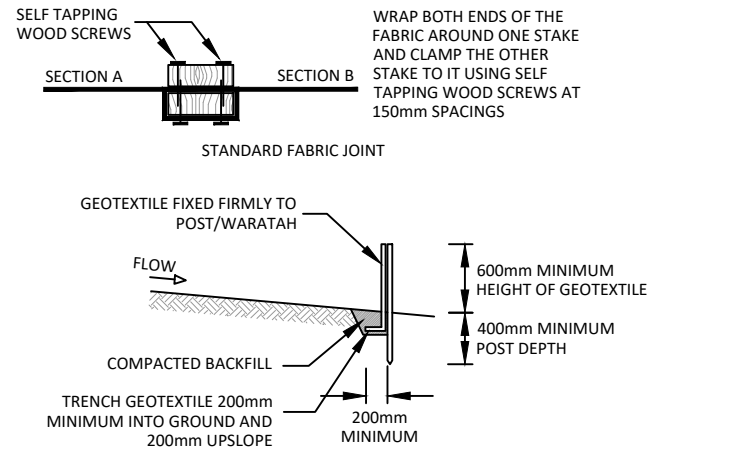
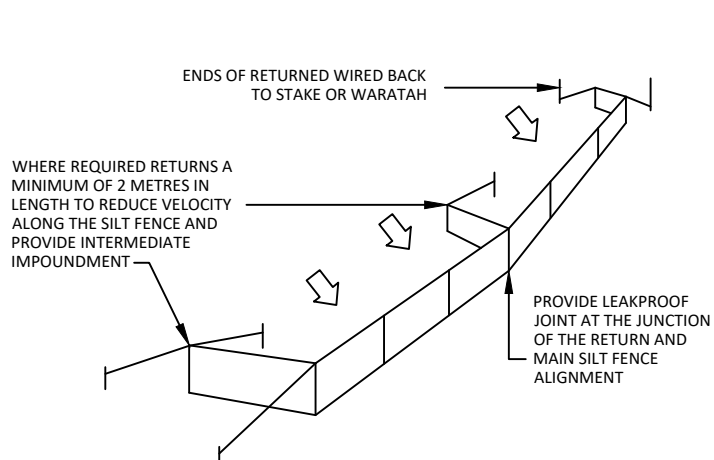
GENERAL NOTES:

- ALL EROSION AND SEDIMENT CONTROLS SHALL COMPLY WITH THE AUCKLAND COUNCIL GUIDELINE DOCUMENT GD005 'EROSION AND SEDIMENT CONTROL GUIDE FOR LAND DISTURBING ACTIVITIES IN THE AUCKLAND REGION' (FORMERLY TP90) AND ANY AMENDMENTS.
- A COPY OF THE EROSION AND SEDIMENT CONTROL PLAN SHALL BE AVAILABLE ON THE SITE AT ALL TIMES AND ALL PERSONNEL INVOLVED IN LAND DISTURBANCE ACTIVITIES ON THE SITE (INCLUSIVE OF SUB-CONTRACTORS) SHALL BE FAMILIAR WITH THE CONSENT AND PLAN REQUIREMENTS AS THEY RELATE TO EROSION AND SEDIMENT CONTROL.
- A PRESTART MEETING SHALL BE HELD BETWEEN THE CONTRACTOR, THE ENGINEER AND THE COUNCIL MONITORING ADVISER/OFFICER PRIOR TO COMMENCEMENT OF EARTHWORKS.
- ALL EROSION AND SEDIMENT CONTROL MEASURES MUST BE OPERATIONAL PRIOR TO WORKS COMMENCING ON SITE, UNLESS OTHERWISE AGREED.
- THE CONTRACTOR SHALL SUBMIT ASBUILTS FOR THE COMPLETED SEDIMENT CONTROL MEASURES TO THE ENGINEER/COUNCIL WITHIN 7 DAYS FOLLOWING THE CONSTRUCTION OF THE CONTROLS.
- WHERE POSSIBLE, ALL CLEANWATER RUNOFF FROM STABILISED SURFACES INCLUDING CATCHMENT AREAS ABOVE THE SITE SHALL BE DIVERTED AWAY FROM EARTHWORK AREAS VIA STABILISED SURFACES OR THE STORMWATER SYSTEM, SO AS TO PREVENT SURFACE EROSION.
- THE FINAL LOCATIONS OF ALL SEDIMENT RETENTION PONDS AND DECANTING EARTH BUNDS SHALL BE SELECTED ONSITE BY THE CONTRACTOR IN AGREEMENT WITH THE ENGINEER AND THE COUNCIL MONITORING ADVISER/OFFICER. ALL LOCATIONS SHALL HAVE DUE CONSIDERATION TO NATIVE VEGETATION, TOPOGRAPHY AND ANY OTHER SPECIFIC REQUIREMENTS AS APPLICABLE.
- THE CONTRACTOR IS SOLELY RESPONSIBLE FOR THE OPERATION AND MAINTENANCE OF ALL EROSION AND SEDIMENT CONTROLS THROUGHOUT THE WORKS AS REQUIRED AND ENSURING COMPLIANCE WITH THE RESOURCE CONSENT.
- THE SITE SHALL BE STABILISED WITH TOPSOIL AND GRASS AND/OR MULCH AS SOON AS PRACTICABLE AND IN A PROGRESSIVE MANNER AS EARTHWORKS/SITE WORKS ARE FINISHED OVER VARIOUS AREAS OF THE SITE. STABILISATION IS TO BE COMPLETED BY 30 APRIL OF THE CONSTRUCTION SEASON, UNLESS A LATER DATE IS APPROVED IN WRITING BY THE AUCKLAND COUNCIL.
- EROSION AND SEDIMENT CONTROL MEASURES SHALL NOT BE REMOVED WITHOUT THE APPROVAL OF THE ENGINEER AND/OR COUNCIL MONITORING ADVISER/OFFICER. SEDIMENT CONTROL MEASURES MUST REMAIN IN PLACE UNTIL ALL SURFACES ARE STABILISED SUFFICIENTLY WITH 80% GRASS STRIKE, TOPSOIL AND MULCH OR AGGREGATE ON ROADWAYS/ACCESSWAYS.



CATCH PIT E&S PROTECTION VIA SILT FENCE

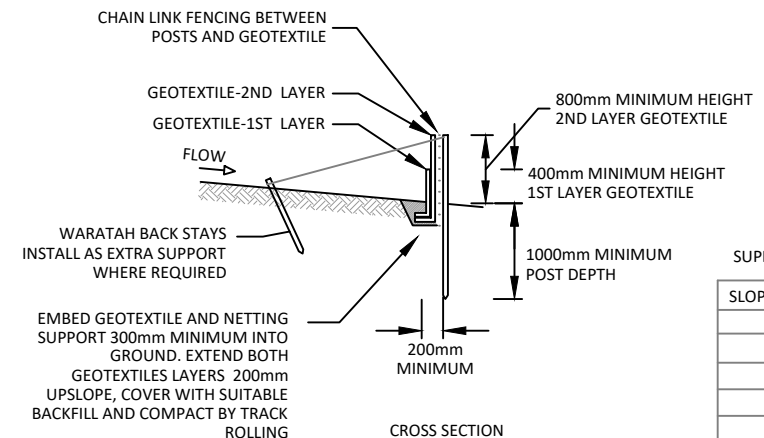
STABILISED CONSTRUCTION ENTRANCE



SILT FENCE DESIGN CRITERIA:

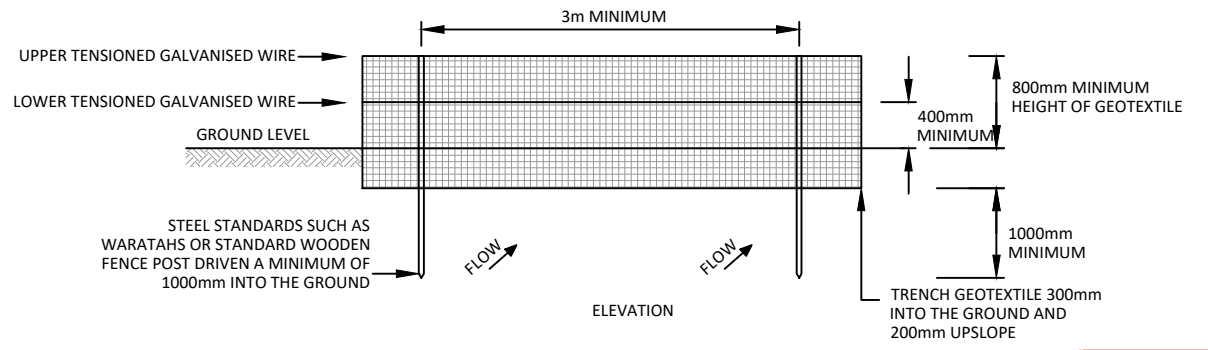
SLOPE STEEPNESS %	SLOPE LENGTH (m) (MAXIMUM)	SPACING OF RETURNS (m)
< 2%	N/A	UNLIMITED
2-10%	40	60
10-20%	30	50
20-33%	20	40
33-50%	15	30
>50%	6	20

GRAB TENSILE STRENGTH: >440N (ASTM D4632)
 TENSILE MODULUS: 0.140 pa (MINIMUM)
 APPARENT OPENING SIZE: 0.1-0.5mm (ASTM D4751)



SUPER SILT FENCE DESIGN CRITERIA:

SLOPE STEEPNESS %	SLOPE LENGTH (m) (MAXIMUM)	SPACING OF RETURNS (m)
0-10%	UNLIMITED	60
10-20%	60	50
20-33%	30	40
33-50%	30	30
>50%	15	20



FOR CONSENT

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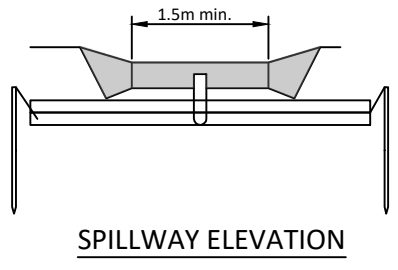
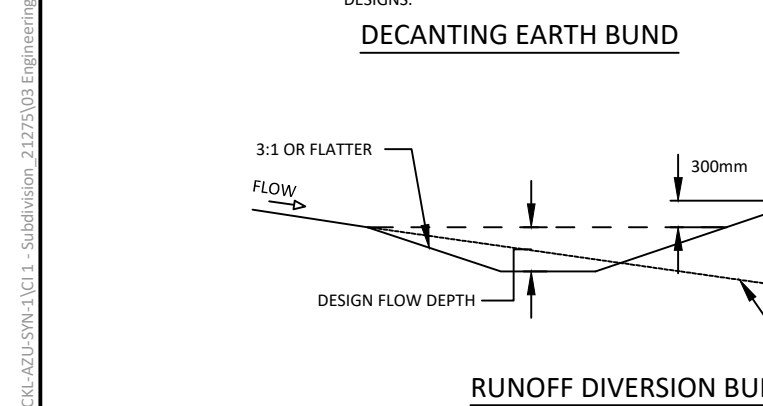
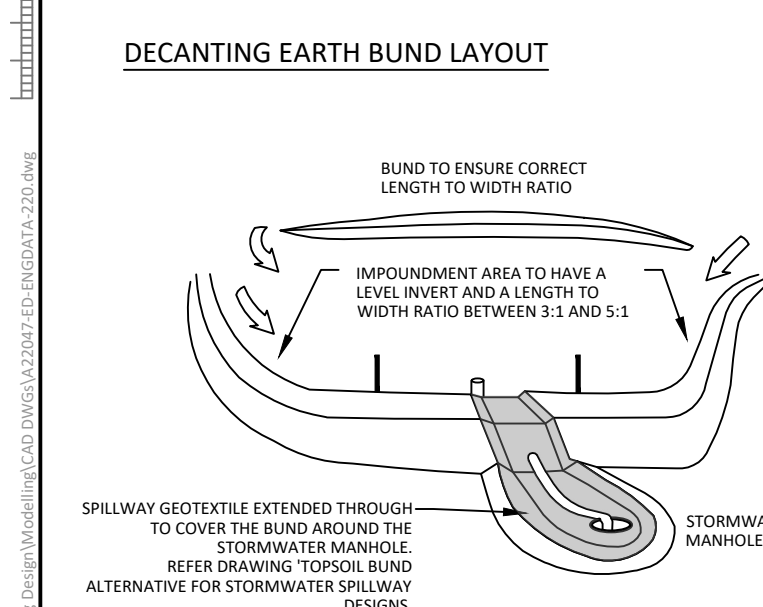
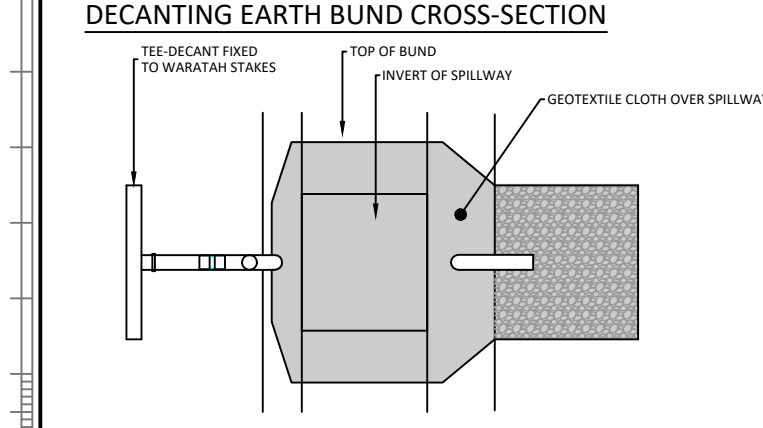
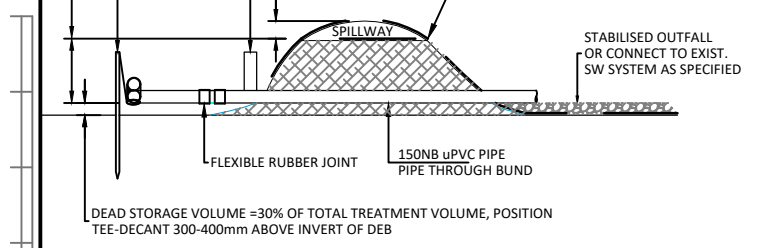
GEMSCOTT LIMITED
 4 KING STREET
 KERIKERI, NORTHLAND

EROSION AND SEDIMENT CONTROL STANDARD DETAILS
 SHEET 1

Issue	Description	Checked	Date	Designed:	Date	Scale:
1	FOR RESOURCE CONSENT	JM	10.02.23	AV	05.10.22	NTS
				AV	05.10.22	(A3 Original)
				JM	10.02.23	

Job No: **A22047** Dwg No: **230-B** Rev: **1**

Planner: **Irish Routley**
 pp: **E Ramsay**
 RC: **2240011-RMALUC**
 Date: **04/03/2024**

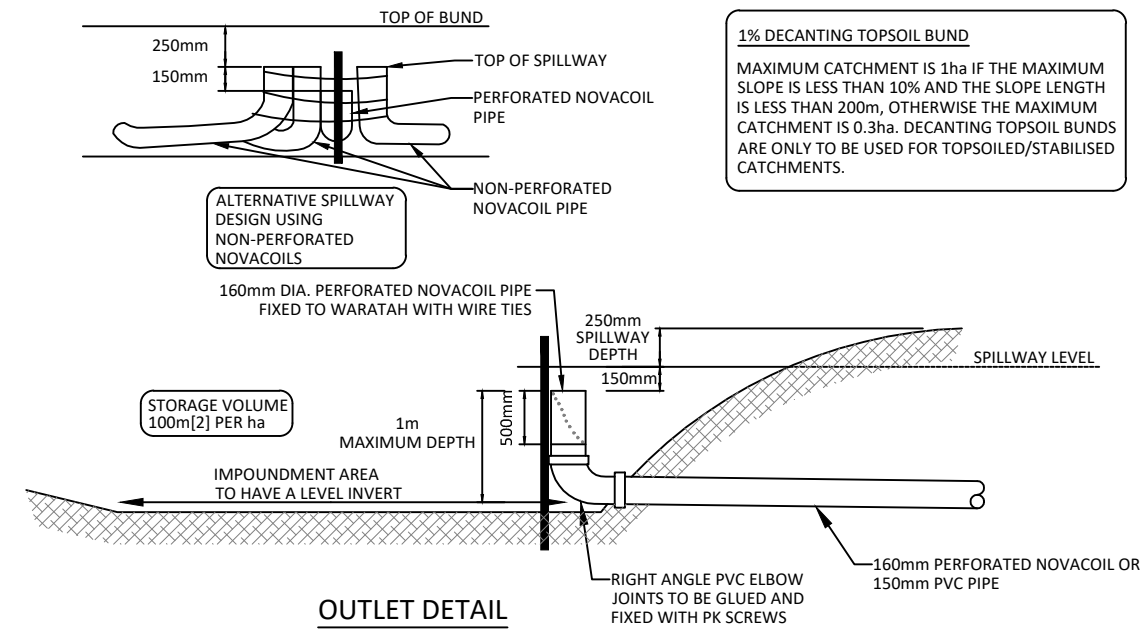
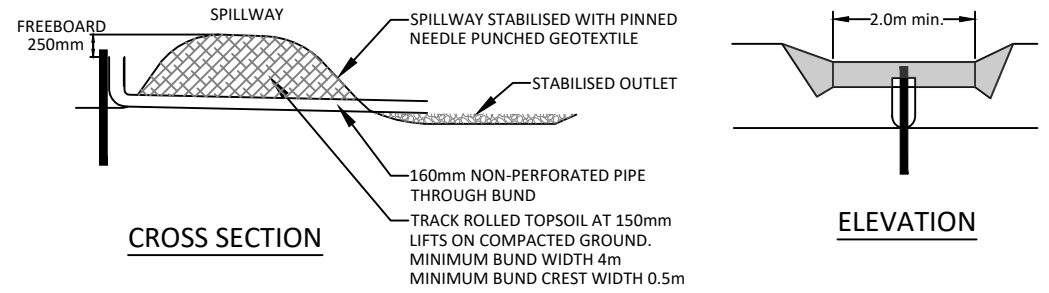
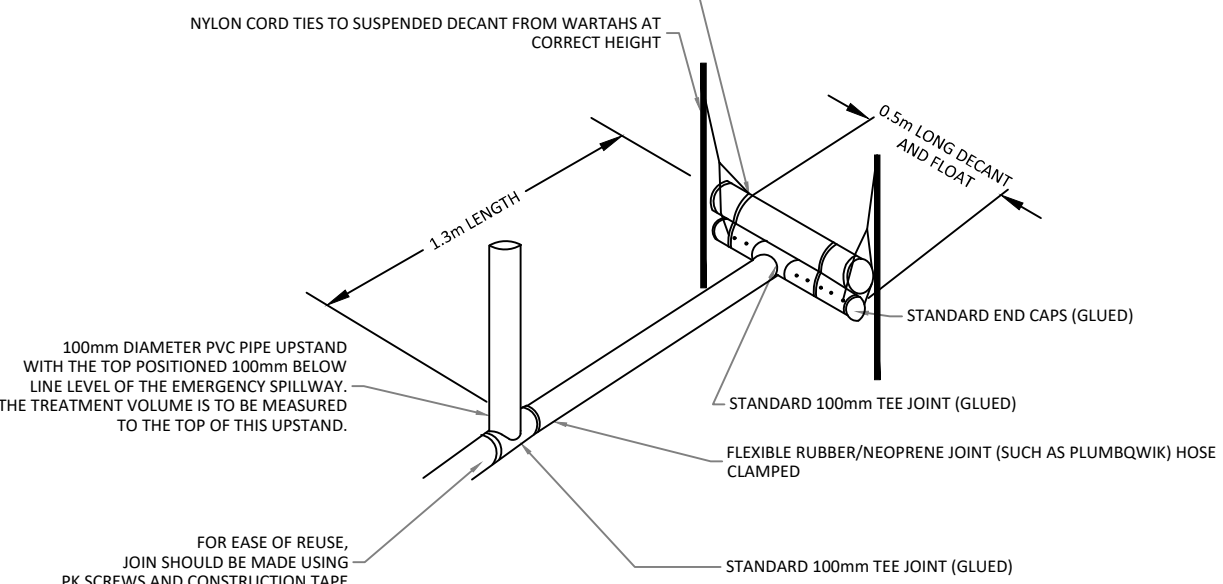


DECANTING EARTH BUND
 MAXIMUM CATCHMENT 0.3ha
 2% VOLUME (60m³ PER 0.3ha CATCHMENT)

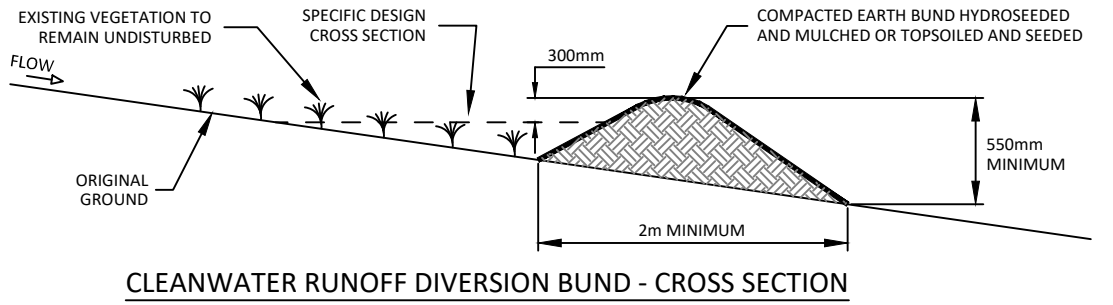
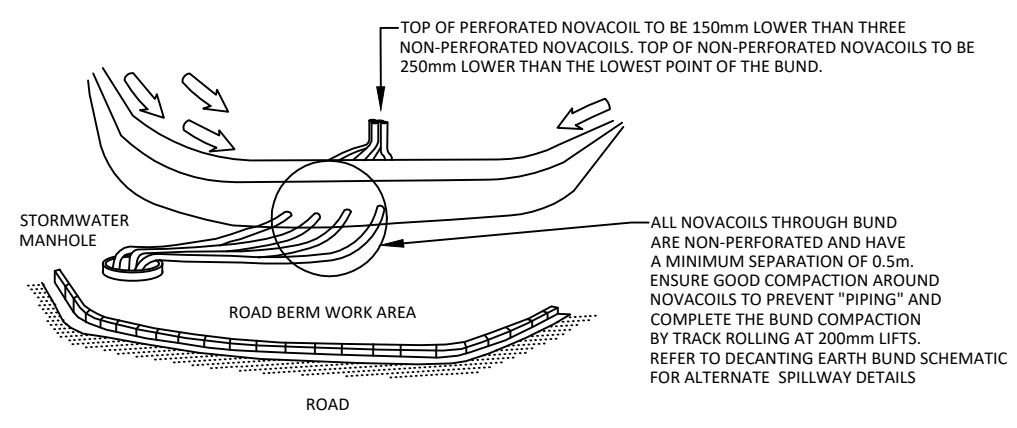
NOTE:
 THE 100mm DIAMETER PVC PIPE UPSTAND IS ONLY REQUIRED WHERE THE 2m WIDE EMERGENCY SPILLWAY DISCHARGES TO VULNERABLE AREA OR WHERE THE DISCHARGE IS REQUIRED TO BE PIPED TO A SAFE OUTFALL SUCH AS A STORMWATER MANHOLE. IF THE UPSTAND IS NOT REQUIRED THE DECANT CAN BE CONNECTED DIRECT TO A 100mm DIAMETER OUTFALL PIPE AND THE TREATMENT VOLUME IS MEASURED TO THE INVERT OF THE EMERGENCY SPILLWAY.

NOTE: THE DECANT HAS A 100mm DIAMETER PVC PIPE WITH A 1.3m LONG ARM (INCLUDING FLEXIBLE JOINT), A 0.5m LONG DECANT AND 20 x 10mm DIAMETER EQUALLY SPACED HOLES POSITIONED HORIZONTALLY AT 10 AND 2 O'CLOCK

0.5m LONG 100mm DIAMETER PVC FLOAT WITH STAND 100mm END CAPS. THE FLOAT IS STRAPPED TO THE PVC DECANT PIPE WITH STAINLESS STEEL STRAPS OR ZIP TIES.



1% DECANTING TOPSOIL BUND
 MAXIMUM CATCHMENT IS 1ha IF THE MAXIMUM SLOPE IS LESS THAN 10% AND THE SLOPE LENGTH IS LESS THAN 200m, OTHERWISE THE MAXIMUM CATCHMENT IS 0.3ha. DECANTING TOPSOIL BUNDS ARE ONLY TO BE USED FOR TOPSOILED/STABILISED CATCHMENTS.



FOR CONSENT

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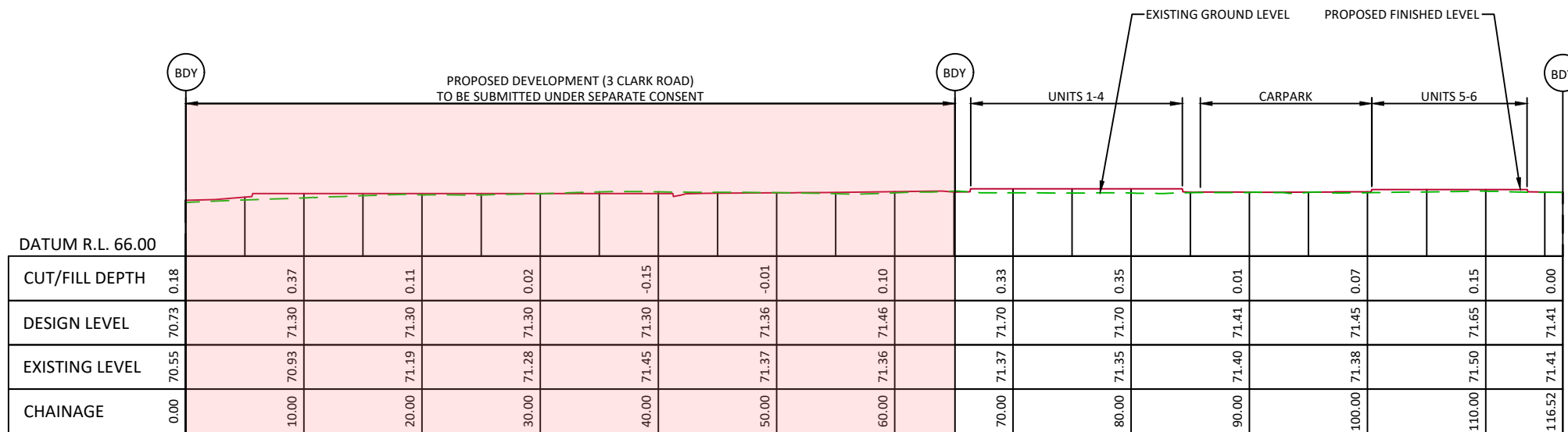
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EROSION AND SEDIMENT CONTROL STANDARD DETAILS
 SHEET 2

Issue	Description	Checked	Date	Date	Scale:
1	FOR RESOURCE CONSENT	JM	10.02.23	Designed: AV 05.10.22 Drawn: AV 05.10.22 Checked: JM 10.02.23	NTS (A3 Original)
				Job No: A22047	Dwg No: 231-B
				Rev: 1	

Planner: Trish Routley
 pp: ERamsay
 RC: 2240011-RMALUC
 Date: 04/03/2024



LONGITUDINAL SECTION FOR EARTHWORKS A-A
 SEE SHEET 200-B

FOR CONSENT



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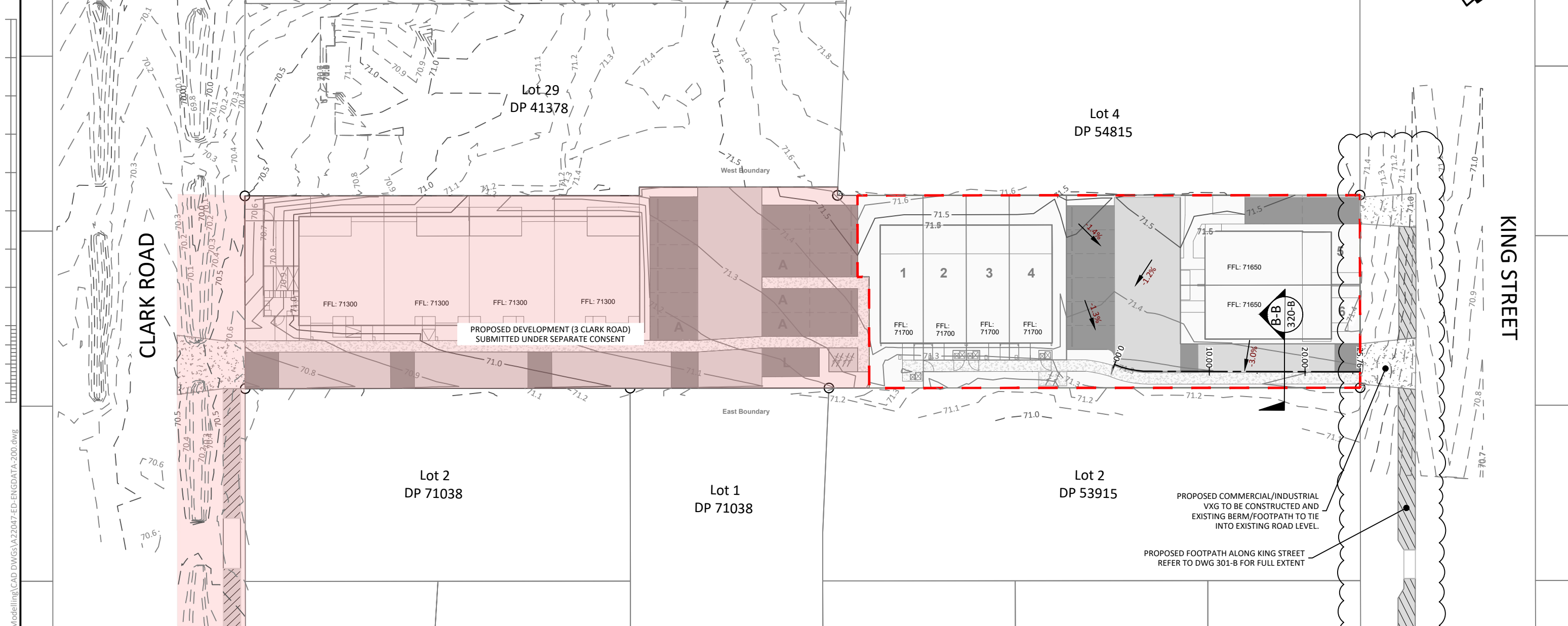
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EARTHWORKS
 LONG-SECTION

Issue	Description	Checked	Date	Date	Scale:
1	FOR RESOURCE CONSENT	JM	10.02.23	30.09.22	1:500 (A3 Original)
2	FOR RESOURCE CONSENT	JM	23.06.23	30.09.22	
				Job No: A22047	
				Dwg No: 240-B	
				Rev: 2	

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Planner: Trish Routley
 pp: ERamsay
 RC: 2240011-RMALUC
 Date: 04/03/2024



ROADING/ACCESSWAY NOTES:

- ALL WORKS TO BE CARRIED OUT IN ACCORDANCE WITH FAR NORTH DISTRICT COUNCIL (FNDC) ENGINEERING STANDARDS.
- ALL EXTRUDED/INSITU CONCRETE TO BE MIN. 20 MPa STRENGTH AT 28 DAYS.
- ANY REINFORCING REQUIRED SHALL BE PLACED ON APPROVED CHAIRS AND IS TO BE PLACED CENTRALLY OR AS PER DESIGN PLANS.
- ALL FOOTPATH/ACCESSWAY SAWCUTS ARE TO COINCIDE WITH KERB SAWCUTS AT 3m CRS TYP. UNLESS NOTED OTHERWISE.
- PAVEMENT DESIGN IS PROVISIONAL ONLY AND INSITU SUBGRADE STRENGTH SHALL BE CONFIRMED VIA SCALA PENETROMETER TESTING FOLLOWING GULLETING OF THE CARRIAGEWAYS TO CONFIRM FINAL PAVEMENT THICKNESS AND ANY SUBGRADE IMPROVEMENT WORKS i.e. UNDERCUTTING OR STABILISATION. THE ENGINEER IS TO INSPECT, TEST AND APPROVE ALL SUBGRADES PRIOR TO AGGREGATE PLACEMENT.
- ALL SUBGRADES SHALL BE TRIMMED WITHIN +/- 10mm TOLERANCE TO DESIGN LEVELS AND SHALL BE STRUNG AND APPROVED PRIOR TO METAL COURSE PLACEMENT.

LEGEND:

- 49.5 — EXISTING CONTOURS - MAJOR (0.5m)
- 49.9 — EXISTING CONTOURS - MINOR (0.1m)
- FINISHED CONTOURS - MAJOR (0.5m)
- FINISHED CONTOURS - MINOR (0.1m)
- FFL: 22.00 FINISH FLOOR LEVELS
- FINISH SURFACE FALL DIRECTION
- PROPOSED EARTHWORKS BOUNDARY
- PROPOSED JOAL PERMEABLE CONCRETE (8kg BLACK OXIDE PER m³)
- PROPOSED JOAL PERMEABLE CONCRETE (4kg BLACK OXIDE PER m³)
- PROPOSED JOAL PERMEABLE CONCRETE (STANDARD AGGREGATE, NO OXIDE)
- PROPOSED FOOTPATH CONCRETE (STANDARD BROOM FINISH)

FOR CONSENT



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JOAL LAYOUT PLAN

Issue	Description	Checked	Date	Date	Scale:
1	FOR RESOURCE CONSENT	JM	10.02.23	Designed: AV	1:400 (A3 Original)
2	FOR RESOURCE CONSENT	JM	23.06.23	Drawn: AV	
3	FOR RESOURCE CONSENT	JM	13.09.23	Checked: JM	
				Job No:	Dwg No:
				A22047	300-B
				Rev:	3

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Planner: Trish Routley
 pp: ERamsay
 RC: 2240011-RMALUC
 Date: 04/03/2024



- ROADING/ACCESSWAY NOTES:**
- ALL WORKS TO BE CARRIED OUT IN ACCORDANCE WITH FAR NORTH DISTRICT COUNCIL (FNDC) ENGINEERING STANDARDS.
 - ALL EXTRUDED/INSITU CONCRETE TO BE MIN. 20 MPa STRENGTH AT 28 DAYS.
 - ANY REINFORCING REQUIRED SHALL BE PLACED ON APPROVED CHAIRS AND IS TO BE PLACED CENTRALLY OR AS PER DESIGN PLANS.
 - ALL FOOTPATH/ACCESSWAY SAWCUTS ARE TO COINCIDE WITH KERB SAWCUTS AT 3m CRS TYP. UNLESS NOTED OTHERWISE.
 - PAVEMENT DESIGN IS PROVISIONAL ONLY AND INSITU SUBGRADE STRENGTH SHALL BE CONFIRMED VIA SCALA PENETROMETER TESTING FOLLOWING GULLETTING OF THE CARRIAGEWAYS TO CONFIRM FINAL PAVEMENT THICKNESS AND ANY SUBGRADE IMPROVEMENT WORKS i.e. UNDERCUTTING OR STABILISATION. THE ENGINEER IS TO INSPECT, TEST AND APPROVE ALL SUBGRADES PRIOR TO AGGREGATE PLACEMENT.
 - ALL SUBGRADES SHALL BE TRIMMED WITHIN +/- 10mm TOLERANCE TO DESIGN LEVELS AND SHALL BE STRUNG AND APPROVED PRIOR TO METAL COURSE PLACEMENT.

- LEGEND:**
- 49.5 --- EXISTING CONTOURS - MAJOR (0.5m)
 - 49.9 --- EXISTING CONTOURS - MINOR (0.1m)
 - FINISHED CONTOURS - MAJOR (0.5m)
 - FINISHED CONTOURS - MINOR (0.1m)
 - FFL 22.00 FINISH FLOOR LEVELS
 - FINISH SURFACE FALL DIRECTION
 - - - - - PROPOSED EARTHWORKS BOUNDARY
 - PROPOSED JOAL PERMEABLE CONCRETE (8kg BLACK OXIDE PER m³)
 - PROPOSED JOAL PERMEABLE CONCRETE (4kg BLACK OXIDE PER m³)
 - PROPOSED JOAL PERMEABLE CONCRETE (STANDARD AGGREGATE, NO OXIDE)
 - PROPOSED FOOTPATH CONCRETE (STANDARD BROOM FINISH)

FOR CONSENT

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FOOTPATH LAYOUT PLAN

Issue	Description	Checked	Date	Designed:	Date	Scale:
1	FOR RESOURCE CONSENT	JM	13.09.23	AV	12.09.23	1:500
				Drawn: AV	12.09.23	(A3 Original)
				Checked: JM	13.09.23	
				Job No:	Dwg No:	Rev:
				A22047	301-B	1

Planner: Trish Routley
 pp: ERamsay
 RC: 2240011-RMALUC
 Date: 04/03/2024



DATUM R.L. 66.00							
VERTICAL GEOMETRY		0.50% 25.76m					
HORIZ GEOMETRY		R=9.22 A=3.891		21.87 35°04'31"			
CUT/FILL DEPTH	0.04		-0.01		0.06		0.10
DESIGN LEVEL	71.30	71.30	71.32	71.35	71.40	71.40	71.43
EXISTING LEVEL	71.26	71.33	71.29	71.30	71.30	71.21	71.21
CHAINAGE	0.00	3.89	10.00	20.00	25.76		

LONGITUDINAL SECTION FOR JOAL 2
 SEE SHEET 300-B

FOR CONSENT

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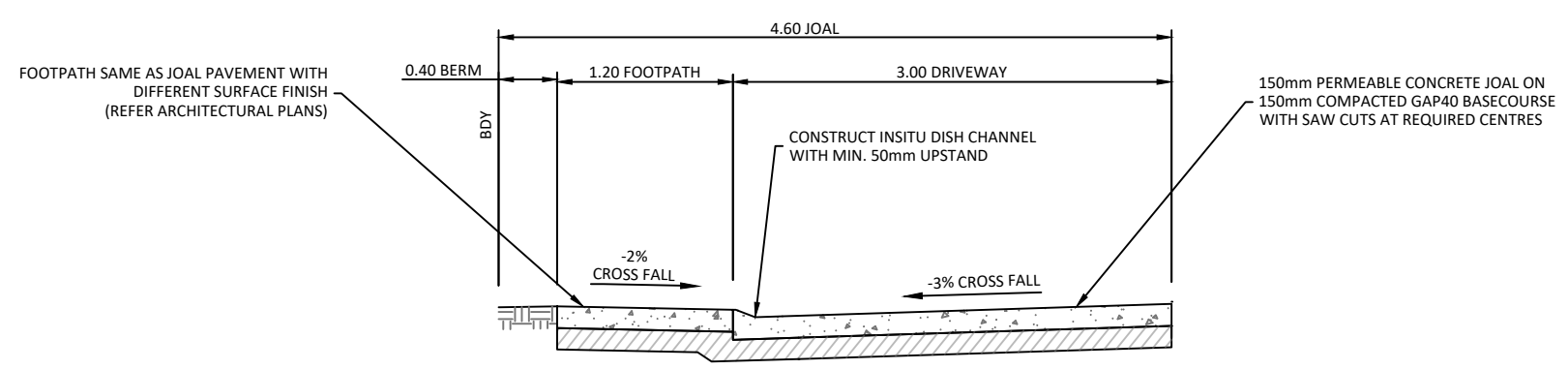
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JOAL LONG-SECTION

Issue	Description	Checked	Date	Designed:	Date	Scale:
1	FOR RESOURCE CONSENT	JM	10.02.23	AV	05.10.22	1:250 (A3 Original)
2	FOR RESOURCE CONSENT	JM	23.06.23	AV	05.10.22	
				Checked:	JM	10.02.23
				Job No:	Dwg No:	Rev:
				A22047	310-B	2

Planner: Trish Routley
 pp: ERamsay
 RC: 2240011-RMALUC
 Date: 04/03/2024



B-B JOAL 2 TYPICAL CROSS-SECTION
300-B SCALE 1:50

FOR CONSENT

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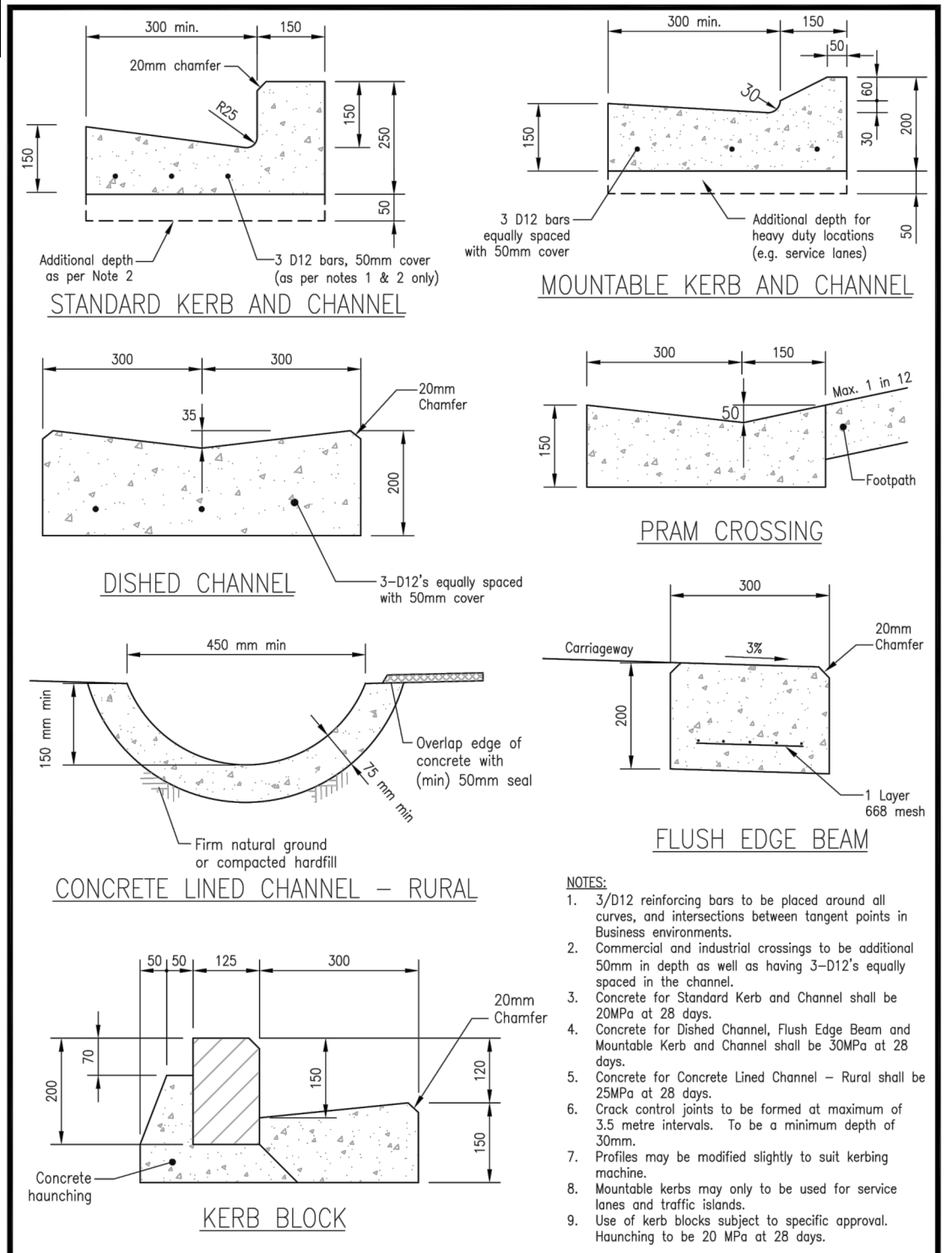
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TYPICAL JOAL
CROSS-SECTIONS

Issue	Description	Checked	Date	Designed:	Date	Scale:
1	FOR RESOURCE CONSENT	JM	10.02.23	AV	30.09.22	1:50 (A3 Original)
2	FOR RESOURCE CONSENT	JM	23.06.23	AV	30.09.22	
				Checked: JM	10.02.23	
				Job No:	Dwg No:	Rev:
				A22047	320-B	2

Planner: Trish Routley
 pp: ERamsay
 RC: 2240011-RMALUC
 Date: 04/03/2024

Sheet 13 Kerb & Channel Details

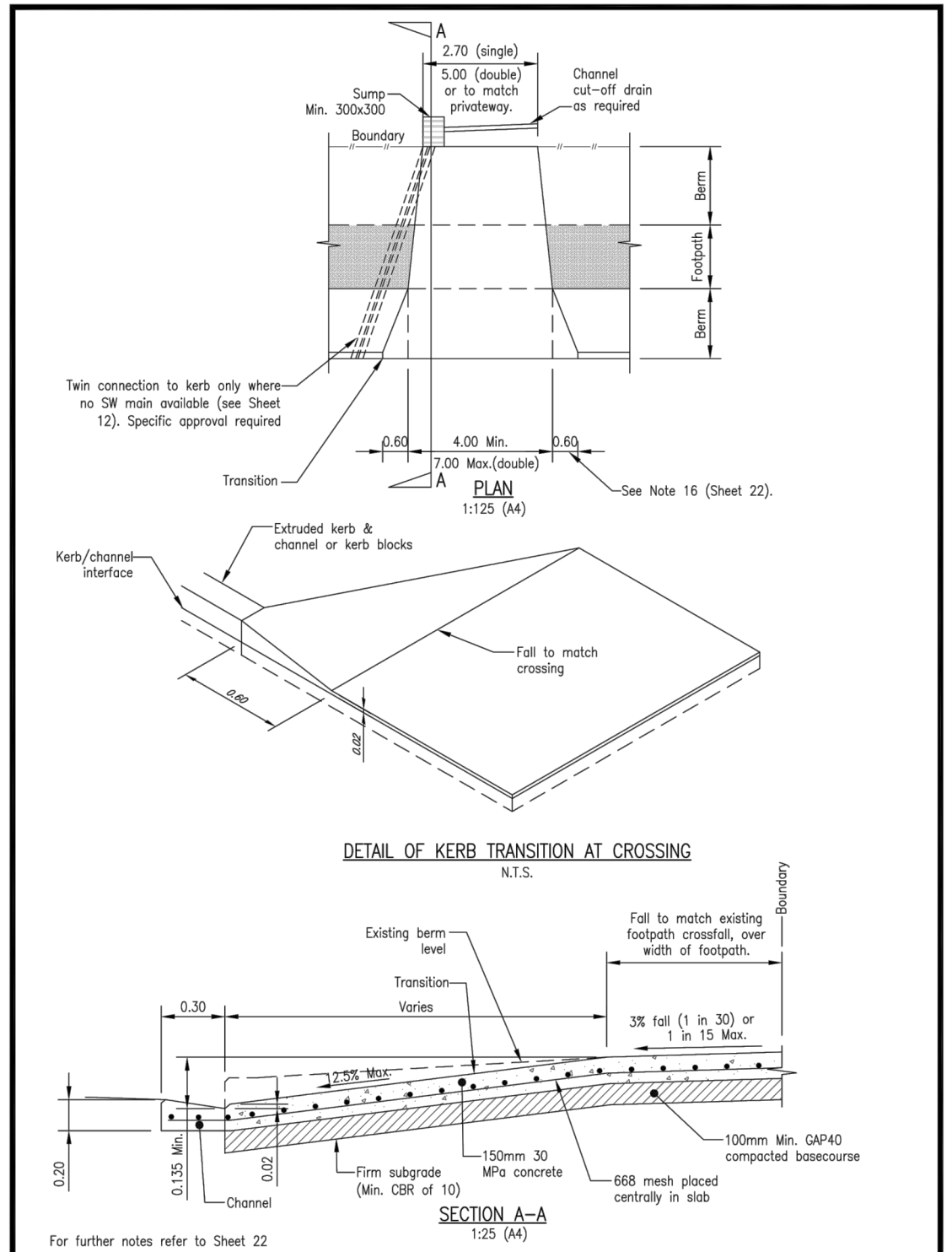


KERB & CHANNEL DETAILS FOR ALL ENVIRONMENTS

FAR NORTH DISTRICT COUNCIL ENGINEERING STANDARDS

Date:	JAN 2021
Revision:	0.1
Scale:	NTS
SHEET No.	13

Sheet 19 Vehicle Crossing - Commercial/ Industrial



VEHICLE CROSSING - COMMERCIAL/ INDUSTRIAL

FAR NORTH DISTRICT COUNCIL ENGINEERING STANDARDS

Date:	JAN 2021
Revision:	0.1
Scale:	AS SHOWN
SHEET No.	19

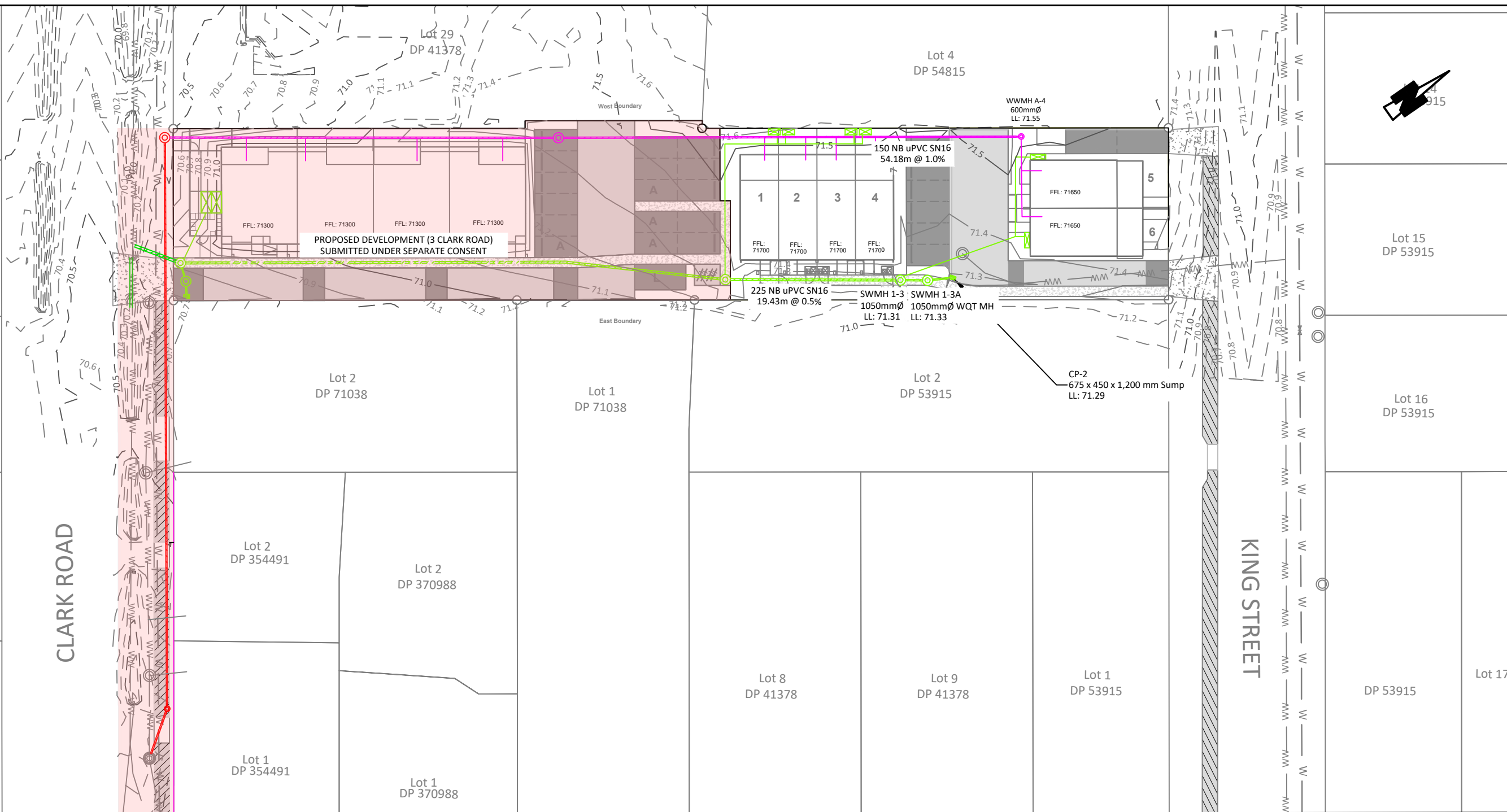
FOR CONSENT

Issue	Description	Checked	Date	Date	Scale:
A	FOR RESOURCE CONSENT	JM	10.02.23	Designed: JM	NTS
				Drawn: AV	22.11.22
				Checked: JM	10.02.23
				Job No:	Dwg No:
				A22047	390-B
				Rev:	1

(A3 Original)

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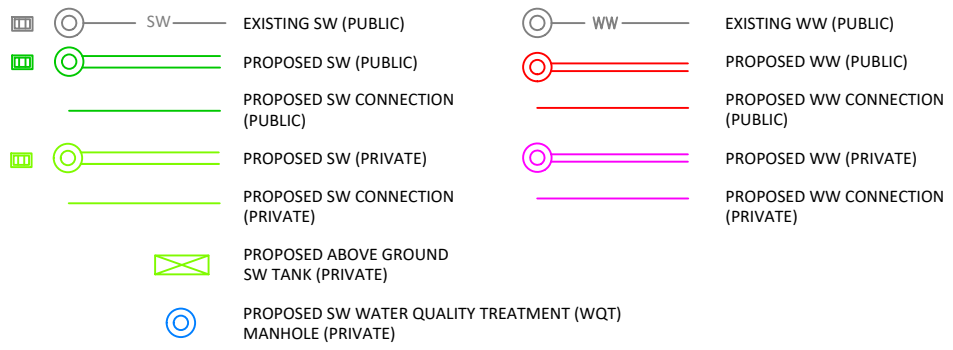
Planner: Trish Routley
 pp: ERamsay
 RC: 2240011-RMALUC
 Date: 04/03/2024



DRAINAGE NOTES:

- ALL PUBLIC DRAINAGE WORKS TO BE UNDERTAKEN IN ACCORDANCE WITH FAR NORTH DISTRICT COUNCIL (FNDC) ENGINEERING STANDARDS.
- ALL PRIVATE DRAINAGE WORKS TO BE UNDERTAKEN IN ACCORDANCE WITH THE NEW ZEALAND BUILDING CODE (NZBC) AND APPLICABLE STANDARDS.
- ALL WASTEWATER AND STORMWATER LOT CONNECTIONS WILL BE uPVC SN16.
- ALL PIPELINES UNDER TRAFFICABLE AREAS TO BE HARDFILL BACKFILLED WITH GAP40/65 AS SPECIFIED. ALL PIPE CROSS-OVERS <250mm ARE TO BE POLYSTYRENE PACKED.
- ALL DRAINAGE WORKS SHALL BE CARRIED OUT UNDER THE SUPERVISION OF A REGISTERED DRAIN LAYER AND IN ACCORDANCE WITH CURRENT HEALTH AND SAFETY PRACTICES. WHERE REQUIRED, DRAINAGE WORKS TO BE UNDERTAKEN BY AN APPROVED LICENSED CONTRACTOR (A.L.C.).
- THE CONTRACTOR SHALL LIAISE WITH THE UTILITY PROVIDER FOR THE STANDARD CLEARANCE REQUIREMENTS. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY ALL EXISTING SERVICES WITHIN THE EXTENT OF THE WORKS PRIOR TO WORKS COMMENCEMENT. ALL TESTING AND POTHOLING SHALL BE AT THE CONTRACTOR'S EXPENSE.
- ALL EXISTING BERMS, CARRIAGEWAYS AND CROSSINGS TO BE RE-INSTATED AS PER COUNCIL/CONTROLLING AUTHORITY REQUIREMENTS.
- A COPY OF THE SITE SPECIFIC HEALTH AND SAFETY PLAN SHALL BE AVAILABLE ON SITE.
- ALL TRAFFIC MANAGEMENT AND CORRIDOR ACCESS PERMIT(S) SHOULD BE OBTAINED BY THE CONTRACTOR PRIOR TO CONSTRUCTION WITH THE ROAD CORRIDOR/RESERVE.
- 45-DEGREE WYE JUNCTIONS TO BE USED FOR ALL LOT CONNECTIONS TO MAIN DRAINAGE LINES AS PER NZBC E1 AND G13.
- INSPECTION POINTS AND RISERS MUST BE INSTALLED AT WASTEWATER WYE JUNCTIONS AS PER NZBC G13.

DRAINAGE LEGEND:



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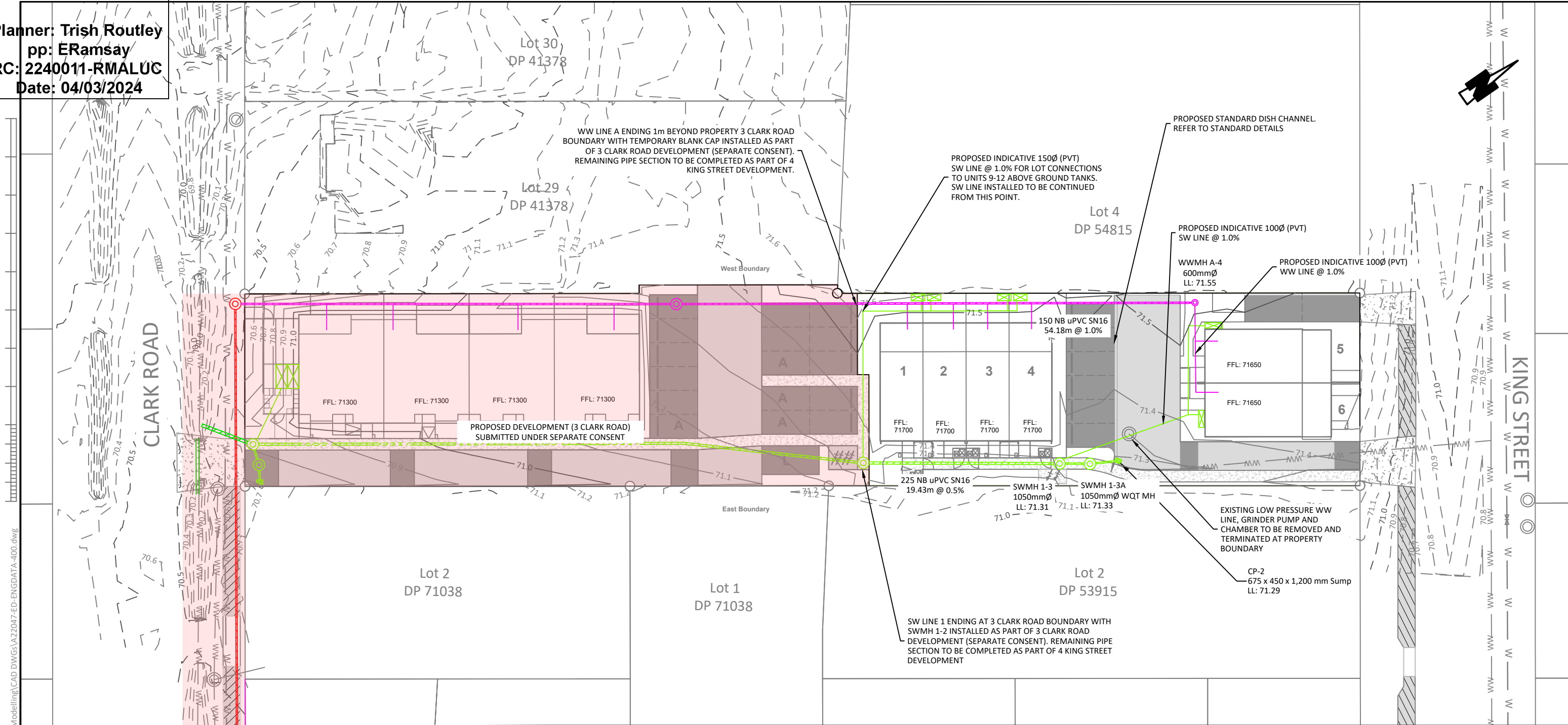
DRAINAGE OVERALL PLAN

Issue	Description	Checked	Date	Date	Scale:	
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2	FOR RESOURCE CONSENT	JM	17.03.23	Drawn: AV		
3	FOR RESOURCE CONSENT	JM	23.06.23	Checked: JM		
4	FOR RESOURCE CONSENT	JM	13.09.23	Checked: JM		
				Job No:	Dwg No:	Rev:
				A22047	400-B	4

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Planner: Trish Routley
 pp: ERamsay
 RC: 2240011-RMALUC
 Date: 04/03/2024

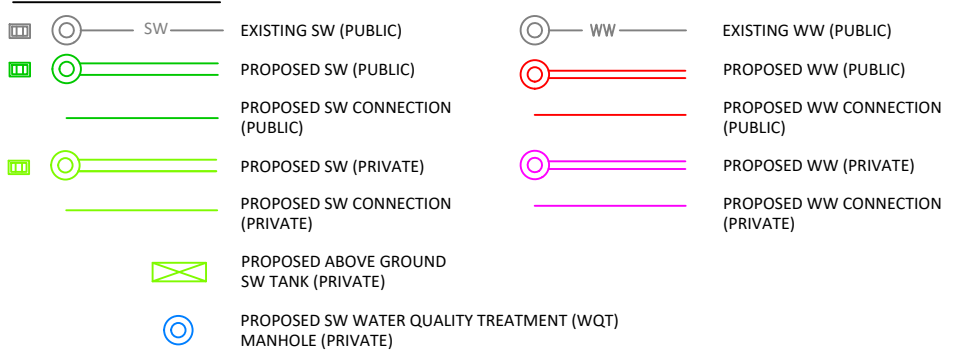
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DRAINAGE NOTES:

- ALL PUBLIC DRAINAGE WORKS TO BE UNDERTAKEN IN ACCORDANCE WITH FAR NORTH DISTRICT COUNCIL (FNDC) ENGINEERING STANDARDS.
- ALL PRIVATE DRAINAGE WORKS TO BE UNDERTAKEN IN ACCORDANCE WITH THE NEW ZEALAND BUILDING CODE (NZBC) AND APPLICABLE STANDARDS.
- ALL WASTEWATER AND STORMWATER LOT CONNECTIONS WILL BE uPVC SN16.
- ALL PIPELINES UNDER TRAFFICABLE AREAS TO BE HARDFILL BACKFILLED WITH GAP40/65 AS SPECIFIED. ALL PIPE CROSS-OVERS <250mm ARE TO BE POLYSTYRENE PACKED.
- ALL DRAINAGE WORKS SHALL BE CARRIED OUT UNDER THE SUPERVISION OF A REGISTERED DRAIN LAYER AND IN ACCORDANCE WITH CURRENT HEALTH AND SAFETY PRACTICES. WHERE REQUIRED, DRAINAGE WORKS TO BE UNDERTAKEN BY AN APPROVED LICENSED CONTRACTOR (A.L.C.).
- THE CONTRACTOR SHALL LIAISE WITH THE UTILITY PROVIDER FOR THE STANDARD CLEARANCE REQUIREMENTS. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY ALL EXISTING SERVICES WITHIN THE EXTENT OF THE WORKS PRIOR TO WORKS COMMENCEMENT. ALL TESTING AND POT-HOLING SHALL BE AT THE CONTRACTOR'S EXPENSE.
- ALL EXISTING BERMS, CARRIAGEWAYS AND CROSSINGS TO BE RE-INSTATED AS PER COUNCIL/CONTROLLING AUTHORITY REQUIREMENTS.
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- INSPECTION POINTS AND RISERS MUST BE INSTALLED AT WASTEWATER WYE JUNCTIONS AS PER NZBC G13.

DRAINAGE LEGEND:



FOR CONSENT



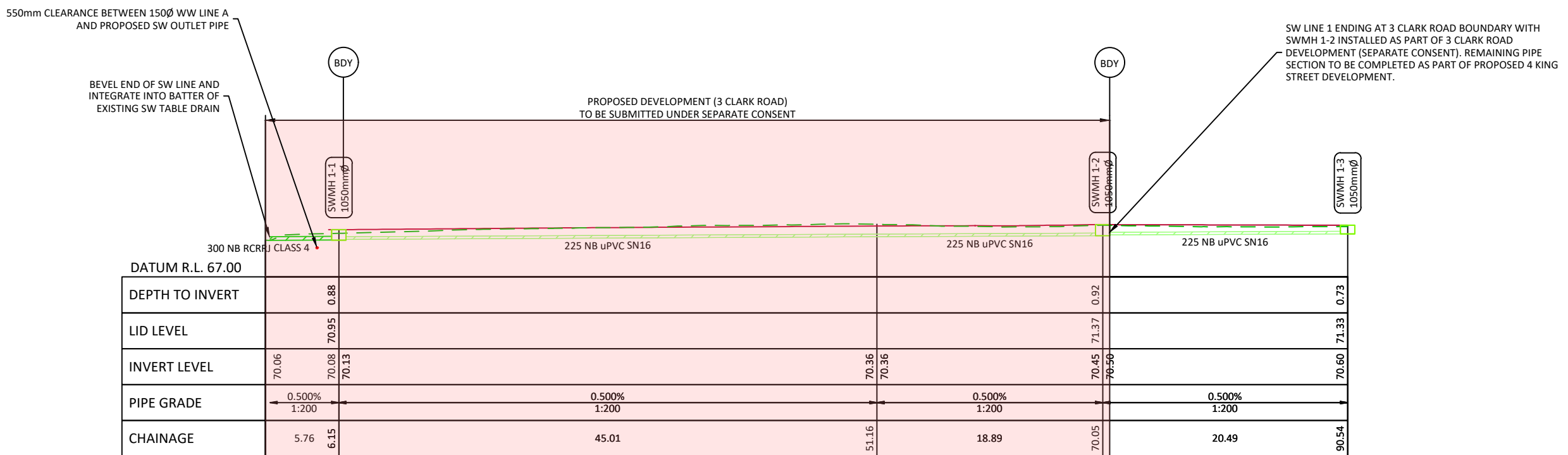
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Te Awamutu Office:
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 P: 07 871 6144

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DRAINAGE LAYOUT PLAN

Issue	Description	Checked	Date	Date	Scale:	
1	FOR RESOURCE CONSENT	JM	17.03.23	Designed: AV	1:400 (A3 Original)	
2	FOR RESOURCE CONSENT	JM	23.06.23	Drawn: AV		
3	FOR RESOURCE CONSENT	JM	13.09.23	Checked: JM		
				Job No:	Dwg No:	Rev:
				A22047	401-B	3

Planner: Trish Routley
 pp: ERamsay
 RC: 2240011-RMALUC
 Date: 04/03/2024

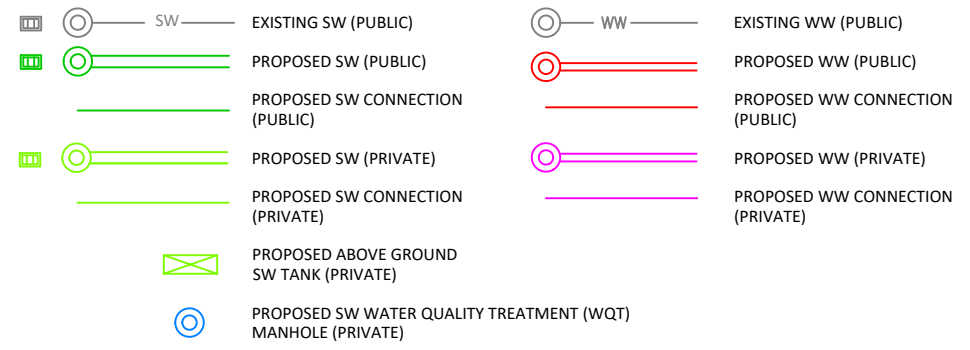


LONGITUDINAL SECTION FOR SW LINE

DRAINAGE NOTES:

- ALL PUBLIC DRAINAGE WORKS TO BE UNDERTAKEN IN ACCORDANCE WITH FAR NORTH DISTRICT COUNCIL (FNDC) ENGINEERING STANDARDS.
- ALL PRIVATE DRAINAGE WORKS TO BE UNDERTAKEN IN ACCORDANCE WITH THE NEW ZEALAND BUILDING CODE (NZBC) AND APPLICABLE STANDARDS.
- ALL WASTEWATER AND STORMWATER LOT CONNECTIONS WILL BE uPVC SN16.
- ALL PIPELINES UNDER TRAFFICABLE AREAS TO BE HARDFILL BACKFILLED WITH GAP40/65 AS SPECIFIED. ALL PIPE CROSS-OVERS <250mm ARE TO BE POLYSTYRENE PACKED.
- ALL DRAINAGE WORKS SHALL BE CARRIED OUT UNDER THE SUPERVISION OF A REGISTERED DRAIN LAYER AND IN ACCORDANCE WITH CURRENT HEALTH AND SAFETY PRACTICES. WHERE REQUIRED, DRAINAGE WORKS TO BE UNDERTAKEN BY AN APPROVED LICENSED CONTRACTOR (A.L.C.).
- THE CONTRACTOR SHALL LIAISE WITH THE UTILITY PROVIDER FOR THE STANDARD CLEARANCE REQUIREMENTS. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY ALL EXISTING SERVICES WITHIN THE EXTENT OF THE WORKS PRIOR TO WORKS COMMENCEMENT. ALL TESTING AND POTHOLING SHALL BE AT THE CONTRACTOR'S EXPENSE.
- ALL EXISTING BERMS, CARRIAGEWAYS AND CROSSINGS TO BE RE-INSTATED AS PER COUNCIL/CONTROLLING AUTHORITY REQUIREMENTS.
- A COPY OF THE SITE SPECIFIC HEALTH AND SAFETY PLAN SHALL BE AVAILABLE ON SITE.
- ALL TRAFFIC MANAGEMENT AND CORRIDOR ACCESS PERMIT(S) SHOULD BE OBTAINED BY THE CONTRACTOR PRIOR TO CONSTRUCTION WITH THE ROAD CORRIDOR/RESERVE.
- 45-DEGREE WYE JUNCTIONS TO BE USED FOR ALL LOT CONNECTIONS TO MAIN DRAINAGE LINES AS PER NZBC E1 AND G13.
- INSPECTION POINTS AND RISERS MUST BE INSTALLED AT WASTEWATER WYE JUNCTIONS AS PER NZBC G13.

DRAINAGE LEGEND:



FOR CONSENT



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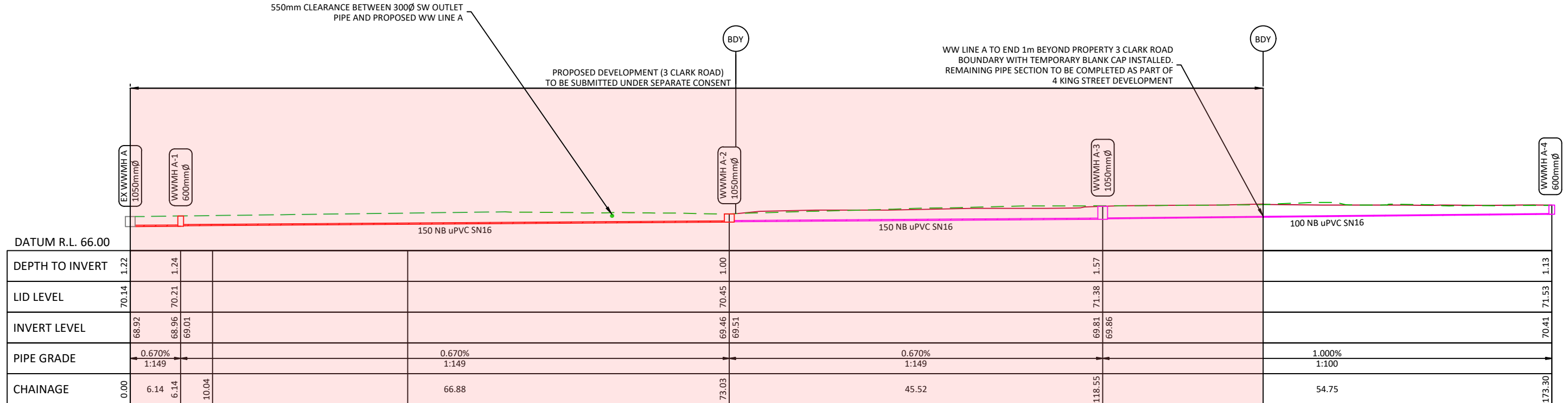
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STORMWATER
LONG SECTION

Issue	Description	Checked	Date	Designed:	Date	Scale:
1	FOR RESOURCE CONSENT	JM	10.02.23	AV	30.09.22	1:400 (A3 Original)
2	FOR RESOURCE CONSENT	JM	17.03.23	AV	30.09.22	
3	FOR RESOURCE CONSENT	JM	23.06.23	JM	10.02.23	
				Job No:	Dwg No:	Rev:
				A22047	420-B	3

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Planner: Trish Routley
 pp: ERamsay
 RC: 2240011-RMALUC
 Date: 04/03/2024

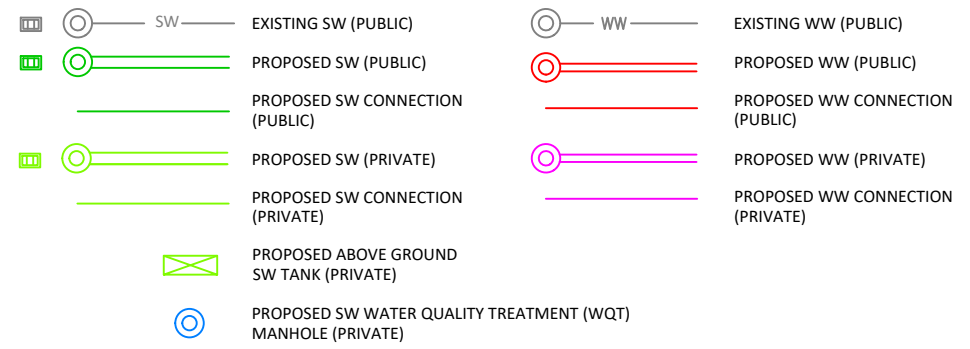


LONGITUDINAL SECTION FOR WW LINE A

DRAINAGE NOTES:

- ALL PUBLIC DRAINAGE WORKS TO BE UNDERTAKEN IN ACCORDANCE WITH FAR NORTH DISTRICT COUNCIL (FNDC) ENGINEERING STANDARDS.
- ALL PRIVATE DRAINAGE WORKS TO BE UNDERTAKEN IN ACCORDANCE WITH THE NEW ZEALAND BUILDING CODE (NZBC) AND APPLICABLE STANDARDS.
- ALL WASTEWATER AND STORMWATER LOT CONNECTIONS WILL BE uPVC SN16.
- ALL PIPELINES UNDER TRAFFICABLE AREAS TO BE HARDFILL BACKFILLED WITH GAP40/65 AS SPECIFIED. ALL PIPE CROSS-OVERS <250mm ARE TO BE POLYSTYRENE PACKED.
- ALL DRAINAGE WORKS SHALL BE CARRIED OUT UNDER THE SUPERVISION OF A REGISTERED DRAIN LAYER AND IN ACCORDANCE WITH CURRENT HEALTH AND SAFETY PRACTICES. WHERE REQUIRED, DRAINAGE WORKS TO BE UNDERTAKEN BY AN APPROVED LICENSED CONTRACTOR (A.L.C.).
- THE CONTRACTOR SHALL LIAISE WITH THE UTILITY PROVIDER FOR THE STANDARD CLEARANCE REQUIREMENTS. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY ALL EXISTING SERVICES WITHIN THE EXTENT OF THE WORKS PRIOR TO WORKS COMMENCEMENT. ALL TESTING AND POTHOLING SHALL BE AT THE CONTRACTOR'S EXPENSE.
- ALL EXISTING BERMS, CARRIAGEWAYS AND CROSSINGS TO BE RE-INSTATED AS PER COUNCIL/CONTROLLING AUTHORITY REQUIREMENTS.
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- ALL TRAFFIC MANAGEMENT AND CORRIDOR ACCESS PERMIT(S) SHOULD BE OBTAINED BY THE CONTRACTOR PRIOR TO CONSTRUCTION WITH THE ROAD CORRIDOR/RESERVE.
- 45-DEGREE WYE JUNCTIONS TO BE USED FOR ALL LOT CONNECTIONS TO MAIN DRAINAGE LINES AS PER NZBC E1 AND G13.
- INSPECTION POINTS AND RISERS MUST BE INSTALLED AT WASTEWATER WYE JUNCTIONS AS PER NZBC G13.

DRAINAGE LEGEND:



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**WASTEWATER
 LONG SECTION**

Issue	Description	Checked	Date	Date	Scale:
1	FOR RESOURCE CONSENT	JM	17.03.23	Designed: AV	1:500 (A3 Original)
2	FOR RESOURCE CONSENT	SJ	21.03.23	Drawn: AV	
3	FOR RESOURCE CONSENT	JM	23.06.23	Checked: JM	
				Job No:	Rev:
				A22047	430-B 3

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Planner: Trish Routley
 pp: ERamsay
 RC: 2240011-RMALUC
 Date: 04/03/2024

Sheet 31 Pipe Bedding and Backfill

CONCRETE, DUCTILE IRON, STEEL OR VITRIFIED CLAY PIPE
 (Where specifically approved)

PVC, PE & PP PIPE
 (PVC & PP not approved for water supply)

ADDITIONAL BACKFILL REQUIREMENTS UNDER CARRIAGEWAYS
 (All types of pipe)

W	TYPE OF PIPE
D + 600	Steel, DI
D + 450	Concrete
D + 450	Vitrified clay
D + 400	uPVC, PE & PP

Variations in W require additional design compensation.

NOTES

- Concrete pipes to be RCRRJ to AS/ NZS 4058 installed to manufacturers requirements.
- Ordinary backfill shall be free from stones or rocks greater than 150mm nominal diameter compacted in 300mm layers.
- Replace topsoil to original depth as necessary.
- Existing sealed roadway excavations are to be resurfaced with 50mm of asphaltic concrete.
- Clegg Hammer test:
 0-300mm depth range Clegg reading not less than 45.
 300mm-1.5m depth range Clegg reading not less than 30.
 1.5m-top of pipe bedding material Clegg reading not less than 25.
- PRIVATEWAY base course metalling within pipe trenches may be in accordance with the Privateway Standards.
- Trench width shall not exceed W at the pipe crown level.
- Unsatisfactory trench material is to be undercut and replaced with compacted hardfill.
 In poor soils such as swamp, peat, and in rock the minimum depth of granular bedding material below the invert is to be 200mm or specific design as necessary.
- Pipelines at 1:8 gradient or steeper shall have cement stabilised bedding and/or surrounds.
- Pipelines at 1:3 gradient or steeper shall have weak mix concrete bedding (10MPa) in accordance with Sheet 32. Large pipes will require specific pier design.
- Concrete bedding shall be allowed to cure for 48 hours prior to backfilling.
- Backfilling - carriageways may be with 'flowable fill' (low strength fly-ash concrete).
- Granular bedding is to satisfy N.Z.S. 7643 Appendix B.
- Minimum cover over pipes (unless specifically designed or protected in accordance with sheet 32).
 A. 600mm if not subjected to traffic loading
 B. 900mm under carriageways and trafficed areas.
- Sand is not permitted as PE Pipe Bedding

PIPE BEDDING & BACKFILL (FOR ALL ENVIRONMENTS)	Date: FEB 2022
	Revision: 0.2
	Scale: AS SHOWN
FAR NORTH DISTRICT COUNCIL ENGINEERING STANDARDS	SHEET No. 31

Sheet 34 Catch-Pit Details

SECTION A-A SINGLE CATCH-PIT

SECTION X-X DOUBLE CATCH-PIT

ALTERNATIVE CAST IRON GRATE CONFIGURATION
 (perpendicular slots) for cycle routes

SECTION B-B FIELD CATCH-PIT DETAIL

NOTES:

- Concrete to be ordinary grade (20MPa) in accordance with NZS 3104:2021
- Catch-pit outlet pipes to be 1:100 min gradient.
- Mega catch-pits require specific design and approval.
- Grates to be cycle friendly. Refer Section 3.2.14.6.

CATCH-PIT DETAILS FOR ENVIRONMENTS LIVING 1 AND 2, AND BUSINESS 1-5	Date: FEB 2022
	Revision: 0.2
	Scale: AS SHOWN
FAR NORTH DISTRICT COUNCIL ENGINEERING STANDARDS	SHEET No. 34

FOR CONSENT



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DRAINAGE STANDARD
CONSTRUCTION DETAILS
SHEET 1

Issue	Description	Checked	Date	Date	Scale:
1	FOR RESOURCE CONSENT	JM	10.02.23		NTS
	Designed:				(A3 Original)
	Drawn: AV		08.11.22		
	Checked: JM		10.02.23		
	Job No:	Dwg No:	Rev:		
	A22047	490-B	1		

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Planner: Trish Routley
 pp: ERamsay
 RC: 2240011-RMALUC
 Date: 04/03/2024

Sheet 37 Stormwater and Sewer Connections

ELEVATION

100 x 50 H4 Marker post, painted red for sanitary, green for stormwater.

300 min. 600 max.

Depth to inspection shall not be less than 600mm and generally not exceed 1200mm and to serve buildable area.

Saw cut hole (smooth cut edge) ensuring section of pipe does not fall into system. Epoxy over cut section.

Short pipe

Saddle connection bonded over hole with epoxy mortar

Stainless steel straps around pipe

Flow direction

Existing wastewater or stormwater main

SADDLE CONNECTION
If main > 225mm

45° bend

Terminal inspection

Wye junction

Concrete bedding (20MPa)

Straight pipe where necessary to extend connection into property being serviced.

PLAN STANDARD CONNECTION

NOTES:

- The terminal inspection shall be located not less than 300mm inside the property being serviced and be free of obstructions
- For stormwater connections, junctions to be: (in order of preference)
 - Prefabricated standard wye junctions,
 - Prefabricated factory special connection, epoxy mortared saddled flange connection with appropriate insert adapter > DN 225.
- Terminal blank end required for stormwater connections.
- Pipes and fittings are to be sewer grade uPVC, or concrete to relevant NZ Standard
- Pipelines that are likely to carry commercial or industrial waste are to satisfy the manufacturers requirements.
- Specific design may be required in potentially unstable areas.
- Joint flexibility is to be maintained where pipelines are in contact with concrete. Pipes shall be separated from concrete using DPC.
- AS-BUILT plans are required for all connections.

100 x 50 H4 Marker post, painted red for sanitary, green for stormwater.

300 min. 600 max.

Depth to inspection shall not be less than 600mm and generally not exceed 1200mm and to serve the "buildable" area

Straight pipe where necessary to extend connection into property being serviced

Terminal inspection

Fill as specified (See Sheets 31 and 32)

Granular bedding & surround

45° bend

Riser pipe (Supported by concrete)

45° bend

Wye junction (See Note 2)

Concrete bedding (20MPa on gradients steeper than 1:3)

Sewer main

RAMPED RISER CONNECTION

STORMWATER AND SEWER CONNECTIONS FOR ALL ENVIRONMENTS

Date: JAN 2021
 Revision: 0.1
 Scale: AS SHOWN
 SHEET No. 37

FAR NORTH DISTRICT COUNCIL ENGINEERING STANDARDS

Sheet 39 Standard Precast Manhole

Opening to be over outlet for sanitary sewer only.

200 for pipes up to 300 dia. 600 for pipes over 300 dia

Short no longer than 1000mm for uP.V.C.

Ceramic joints in half pipe channels to be filled with epoxy mortar

Concrete to finish 25mm below rim

Concrete haunching around frame (Field manhole to have 150mm conc surround flush with surface)

Frame & ring risers to be bedded on mortar

Mortar finish around opening

Ring risers to be used where necessary to raise frame to ground level.

Surface to be rendered with cement mortar & finished smooth with a steel tool & neat cement (1:3 gradient)

20MPa concrete

250 min

150 min

20MPa concrete

Level with soffit

Half pipe channel, uPVC or ceramic, for sewers, and concrete for stormwater.

SECTION CC

NOTES:

- This detail is applicable for pipe diameters up to 600mm & for manhole depths up to 5.0m.
- 150mm thick reinforced concrete lids with heavy duty ductile iron frames & covers to be used in driveways, carriageways & berms. 100mm thick concrete lids with light duty cast iron frames & covers may be used elsewhere.
- Precast manhole bases shall be used in all instances with minimum sized holes cut for pipe entry.
- No additional thin plastering of benching or benching of inverts is permitted.
- All concrete to be 20MPa.
- Where non-concrete pipe connections are made to concrete manholes, then a gritted starter pipe shall be installed to allow bond between manhole and pipe material. Also, a 3flexible joint should be specified as part of gritted starter pipe (as standard).
- All manholes >1.2m in depth shall be provided with manhole step rungs. These shall follow the requirements on sheet 40

PRECAST BASE

INSITU BASE
(only permitted for pipes larger than 600mm)

SECTION BB

200mm max

London junction

Epoxy mortar around pipe

Short - no longer than 1000mm

Dropper pipe for sewer only (single piece)

Where the height of drop exceeds 1.5m the dropper pipe shall be rigidly attached to the wall of the manhole with approved Grade 316 SS or plastic supports at 1.5m centres max.

88° bend set in benching

Half pipe channel (ceramic or uPVC)

Ductile iron manhole frame & cover to be flush with ground surface

Approved rubber/bitumen or epoxy sealing strip (mortar finish both sides of joint)

Standard stepped rungs at 300mm centres. Bolt holes to be mortar sealed. Refer Sheet 40 for detail.

Mortar around pipe

50mm layer of 20MPa concrete

Standard 1050dia precast manhole riser. Use maximum height available to minimise number of joints

Make water-tight joint by coating uPVC for full embedment length with solvent cement then coating wet cement with dry sand & allowed to set.

SECTION A-A INTERNAL DROP

SECTION AA

Note:

- This detail is applicable for pipe diameters up to 250mm & for manhole depth up to 5.0m & for manhole diameters > 1200mm.
- External drops shall not be used

STANDARD PRECAST MANHOLE SEWER AND STORMWATER FOR ALL ENVIRONMENTS

Date: FEB 2022
 Revision: 0.2
 Scale: AS SHOWN
 SHEET No. 39

FAR NORTH DISTRICT COUNCIL ENGINEERING STANDARDS

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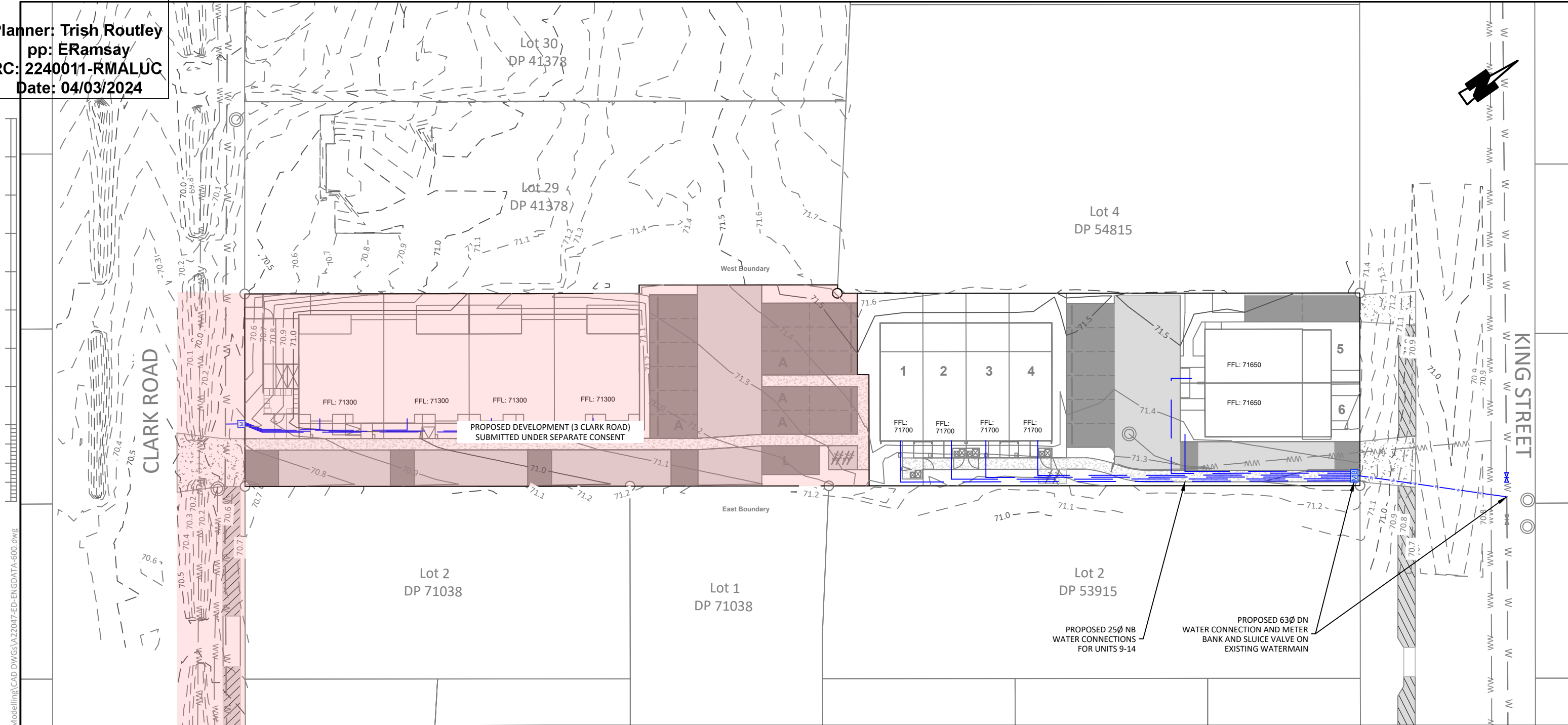
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DRAINAGE STANDARD
CONSTRUCTION DETAILS
SHEET 2

Issue	Description	Checked	Date	Date	Scale:
1	FOR RESOURCE CONSENT	JM	10.02.23		N
				Designed: AV	08.11.22
				Checked: JM	10.02.23
				Job No:	Dwg No: Rev:
				A22047	491-B 1

Planner: Trish Routley
 pp: ERamsay
 RC: 2240011-RMALUC
 Date: 04/03/2024

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WATER SUPPLY NOTES:

1. ALL WORKS AND MATERIALS TO COMPLY WITH WATERCARE SERVICES LIMITED CODE OF PRACTICE FOR LAND DEVELOPMENT AND SUBDIVISION AND ANY AMENDMENTS.
2. ALL WATERMANS ARE TO BE POSITIONED IN ACCORDANCE WITH COMMON SERVICES TRENCH DETAILS UNLESS SHOWN OTHERWISE.
3. ALL WATERMANS SHALL HAVE MIN. 600mm COVER IN BERMS AND MIN. 900mm COVER IN CARRIAGEWAYS.
4. ALL WORKS ON THE EXISTING WATER NETWORK IS TO BE UNDERTAKEN BY THE CONTRACTOR UNDER THE SUPERVISION OF PINE HARBOUR WATER REPRESENTATIVES FOLLOWING PRESSURE TESTING, AS-BUILTS & CERTIFICATIONS.
5. ALL SERVICE CONNECTIONS TO BE DN 20 UNLESS SHOWN OTHERWISE.
6. ALL RIDERMAINS/WATERMANS DN 50-355 TO COMPRISE PE80B/PE100 AS/NZS 4130/2003 PN12.5 SDR11/SDR13.6 COLOURED BLUE AND INCLUDE TRACER WIRE.
7. THE CONTRACTOR IS TO FIX BY SURVEY ALL CHANGES IN DIRECTION AND OR DEPTH OF THE PROPOSED WATERMAIN.
8. ALL TRENCHES UNDER THE CARRIAGEWAY ARE TO BE BACKFILLED HARDFILL. ALL ROAD CROSSINGS SHALL HAVE MINIMUM 900mm COVER.
9. ALL FITTINGS ARE TO BE PE. NO DI FITTINGS PERMITTED.
10. ALL VALVES ARE TO BE LAID IN GRASS BERMS, WHERE VALVE/HYDRANT BOXES ARE REQUIRED LIDS TO BE FLUSH WITH CONCRETE FINISHED LEVEL.
11. THE DRAWINGS DO NOT NECESSARILY SHOW ALL EXISTING SERVICES. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ACCURATELY LOCATE AND PROTECT ALL EXISTING SERVICES DURING THE CONSTRUCTION PERIOD.

WATER SUPPLY LEGEND:

- LOT CONNECTION
- PRIVATE LOT CONNECTION
- PROPOSED BULK METER
- PROPOSED WATER METER BANK
- PROPOSED SLUICE VALVE
- PROPOSED WATER MAIN
- EXISTING WATER MAIN
- EXISTING SLUICE VALVE

FOR CONSENT



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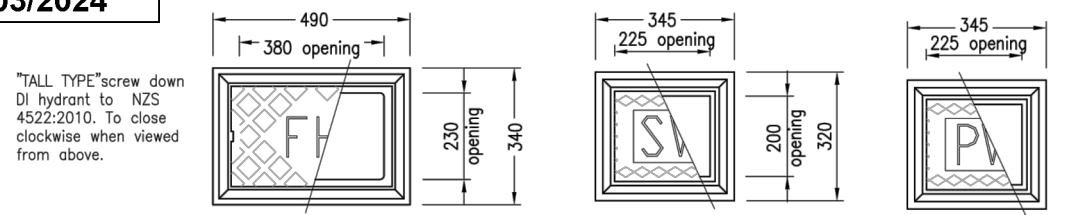
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WATER SUPPLY LAYOUT PLAN

Issue	Description	Checked	Date	Date	Scale:
1	FOR RESOURCE CONSENT	JM	10.02.23	Designed: AV	1:400 (A3 Original)
2	FOR RESOURCE CONSENT	JM	23.06.23	Drawn: AV	
3	FOR RESOURCE CONSENT	JM	13.09.23	Checked: JM	
				Job No: A22047	Dwg No: 600-B
				Rev: 3	

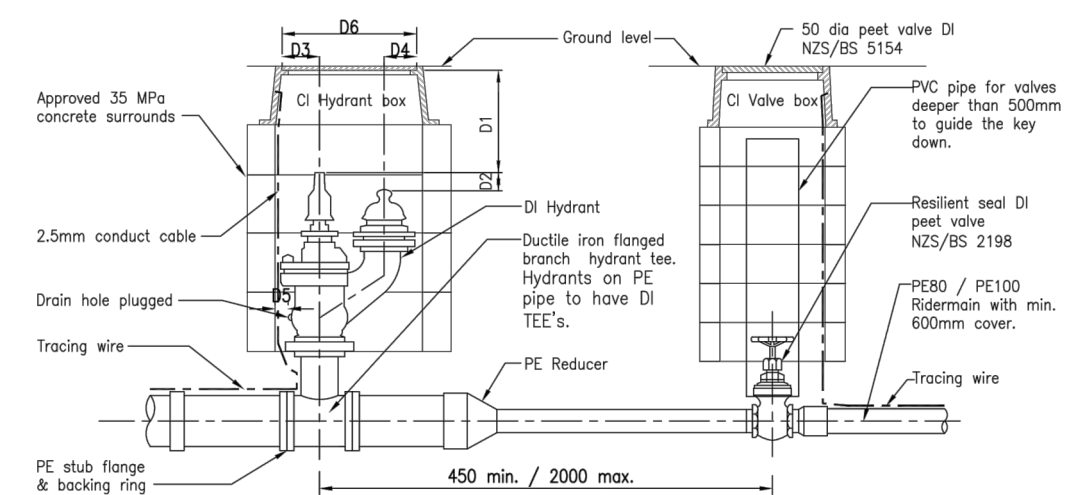
Planner: Trish Routley
 pp: ERamsay
 RC: 224001
 Date: 04/03/2024

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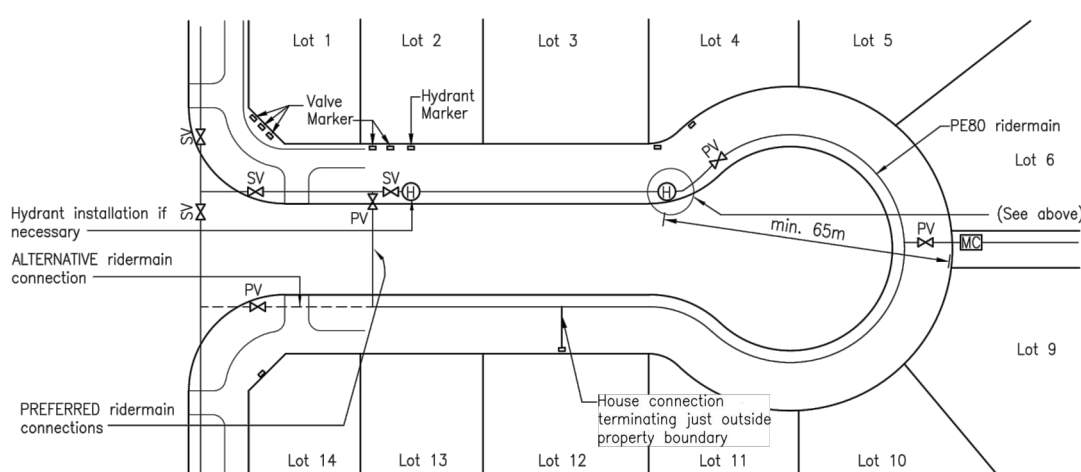
PLAN CAST IRON HYDRANT BOX

PLAN CAST IRON VALVE BOX



ELEVATION

- Notes
- Deflection of joints is not to exceed the manufacturers recommendation.
 - Where there are more than 15 connections from a rider main, an isolating peet valve should be provided in the middle of the rider main.
 - All underground bolts to be stainless steel and wrapped with denso tape, mastic and polytape.
 - Service connections to terminate just outside from boundary with an approved manifold, meter box (including base) and diaphragm valve including dual check valve.
 - Allowable dimensions (D1 to D6) in accordance with Table 1 of NZS 4522:2010. Dimensions to be supplied with as-builts.

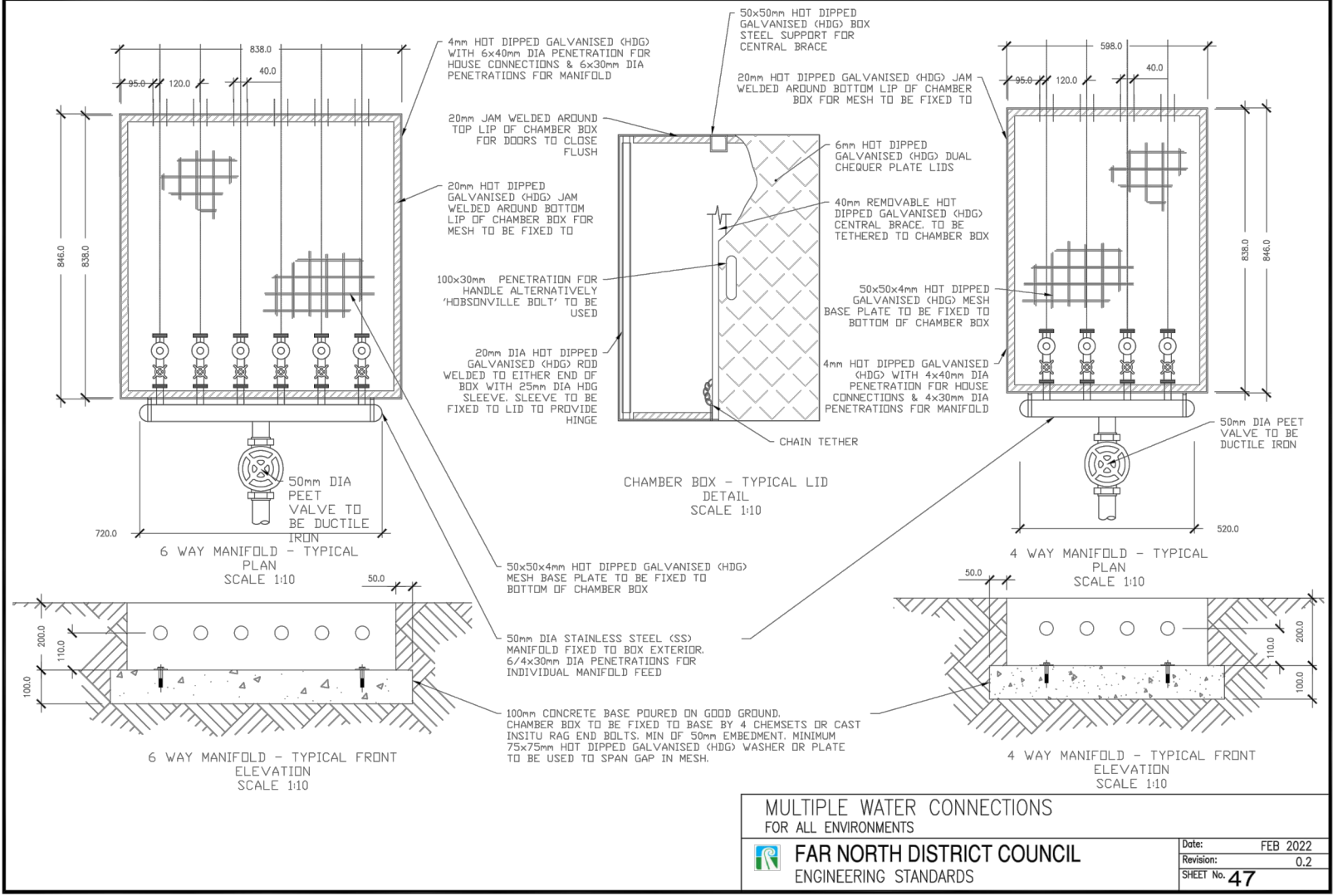


WATER PIPELINE DETAILS
 (FOR ALL ENVIRONMENTS)

FAR NORTH DISTRICT COUNCIL
 ENGINEERING STANDARDS

Date: JAN 2021
 Revision: 0.1
 Scale: AS SHOWN
 SHEET No. 45

Sheet 47 Multiple Water Connections



MULTIPLE WATER CONNECTIONS
 FOR ALL ENVIRONMENTS
FAR NORTH DISTRICT COUNCIL
 ENGINEERING STANDARDS

Date: FEB 2022
 Revision: 0.2
 SHEET No. 47

FOR CONSENT



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WATER SUPPLY STANDARD
CONSTRUCTION DETAILS

Issue	Description	Checked	Date	Designed:	Date	Scale:
1	FOR RESOURCE CONSENT	JM	10.02.23	Drawn: AV	08.11.22	NTS
				Checked: JM	10.02.23	(A3 Original)
			Job No:	Dwg No:	Rev:	
			A22047	690-B	1	










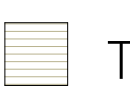





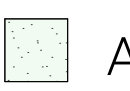

Specimen upright trees providing screening of architecture from neighbouring properties

Fruit trees in rear yards

Avenue of trees to layer, and create focus on entry to units.

Bike storage with cycle hoops for securing bikes.

Contrasting JOAL treatments to slow vehicle movements.

- | | | | | | |
|---|---|---|--|---|--|
|  Native specimen trees |  Native palm trees |  Shade Mix Planting |  Ground Cover Mix |  Permeable Concrete with Oxide |  Fencing < 1.2m |
|  Fruiting trees |  Low screening hedge |  Large Fill Planting |  Timber Deck |  Permeable Standard Concrete |  Fencing > 1.2m |
|  Native screening shrubs |  Flowering hedge |  Low Fill Planting |  Artificial turf |  Gates | |



AE
Alectryon excelsa



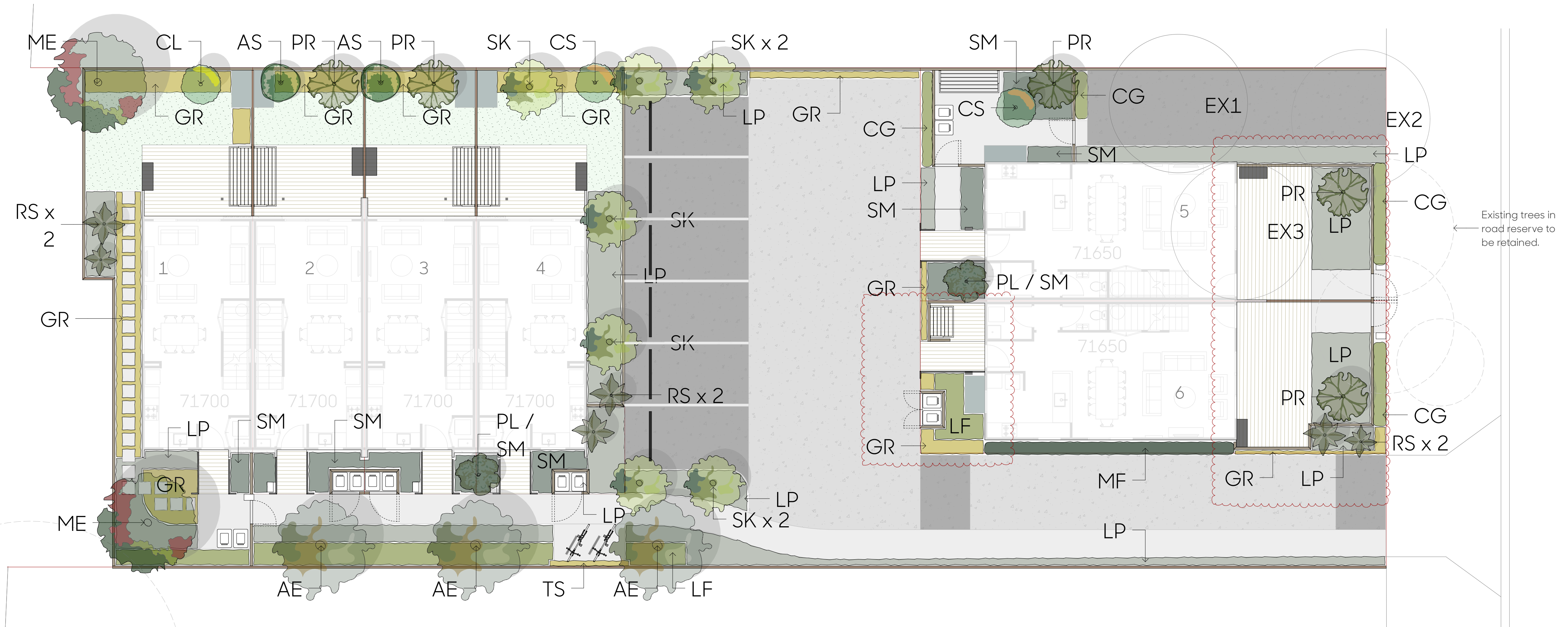
RS
Rhapalostylis sapida



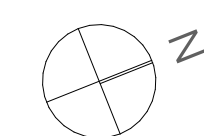
SK
Sophora microphylla

Code	Name	Common Name	Grade	Spacing	Quantity	Height @ Install	Height @ 5 Years
CG	<i>Carokia x virgata</i> 'geenty's green'	geenty's green	10L	700mm	15	0.6m	2.0m
MF	<i>Michelia figo</i>	portwine magnolia	3L	800mm	12	0.5m	3.0m
AE	<i>Alectryon excelsus</i>	titoki	45L	As Marked	5	2-2.5m	6.0m
AS	<i>Acca sellowiana</i>	fejjoa	7L	As Marked	2	0.8m	2.0m
CL	<i>Cirtus x latifolia</i>	tahitian lime	7L	As Marked	1	0.7m	3.0m
CS	<i>Citrus x senensis</i>	orange navel	7L	As Marked	3	0.7m	3.0m
PL	<i>Pseudopanax lessonii</i>	cyril watson	18L	As Marked	2	0.8m	3.0m
PR	<i>Plagianthus reigus</i>	ribbon wood	80L	As Marked	3	2.5m	7.0m apx
ME	<i>Lagerstroemia indica</i>	crepe myrtle	25L	As Marked	2	1.5-2m	4.0m
RS	<i>Rhapalostylis sapida</i>	nikau	12L	As Marked	6	1m	4.0m
SK	<i>Sophora microphylla</i>	kōwhai	35L	As Marked	5	1.5-1.8m	6.0m
TS	<i>Tecomanthe speciosa</i>	three kings vine	10L	800mm	3	0.8m	1.5m
SM	Shade Mix Planting						
	30% <i>Astella chathamica</i> 'silver spear'	silver spear	2L	800mm	14	0.5m	1.0m
	30% <i>Athrapodium cirratum</i>	rengarenga	1L	500mm	37	0.4m	1.0m
	40% <i>Dianella</i> 'little rev'	little rev	2L	700mm	25	0.4m	0.5m
LF	Large Fill Planting						
	50% <i>Dietes grandiflora</i>	fortnight lily	1L	500mm	61	0.4m	0.7m
	30% <i>Phormium cookianum</i>	emerald gem	3L	1000mm	10	0.4m	1.5m
	20% <i>Carex virgata</i>	sedge	0.5L	700mm	12	0.3m	1.0m
LP	Low Fill Planting						
	50% <i>Lomandra longifolia</i> 'ever green baby'	ever green baby	1L	1000mm	37	0.2m	0.4m
	30% <i>Hebe</i> 'emerald green'	emerald green	2L	1000mm	22	0.5m	0.5m
	20% <i>Libertia peregrinans</i>	NZ Iris	0.5L	500mm	60	0.3m	0.5m
GR	Ground Cover Mix						
	70% <i>Muehlenbeckia axillaris</i> **	pohuhue	1L	700mm	37	0.2m	0.2m
	30% <i>Libertia ixoides</i>	NZ iris	0.5L	800mm	13	0.2m	0.3m
EX#	Existing Trees						
EX1	<i>Meyra sinclairii</i>	puka tree	-	-	Removed		
EX2	unknown ssp.	-	-	-	Removed		
EX3	<i>Albizia julibrissin</i>	persian silk tree	-	-	Removed		

* Trees in common space to be crown lifted.
 ** Indicates ground covers



Existing trees in road reserve to be retained.



Tree, shrub, & Hedging palette



Corokia 'geentys green'
corokia



Michelia figo
port wine magnolia



Alectryon excelsus
titoki



Acca sellowiana
fejjoa



Citrus x latifolia
tahitian lime



Citrus x senensis
orange navel



Lagerstroemia indica
crepe myrtle



Plagianthus reigus
ribbonwood



Pseudopanax lessonii
houpara



Rhopalostylis sapida
nikau



Sophora microphylla
kowhai



Tecomanthe speciosa
three kings vine

Shade Mix Planting

Large Fill Planting



Astelia chathamica
astella silver spear



Arthropodium cirratum
rengarenga lily



Dianella 'Little rev'
dianella



Dietes grandiflora
fortnight lily



Phormium cookianum
'emerald green'
dwarf flax



Carex virgata
swamp sedge

Low Fill Planting

Ground Cover Mix



Lomandra 'evergreen baby'
lomandra evergreen baby



Hebe 'emerald gem'
hebe emerald gem



Libertia peregrinans
mikoikoi



Muehlenbeckia axillaris
pohuehue



Libertia ixioides
mikoikoi,



AT
Artificial Turf



CC
Compact Clothes Line



EC
Permeable Concrete with Black Oxide



KC
Keter Storage Box



PL
Post Mounted Letterbox



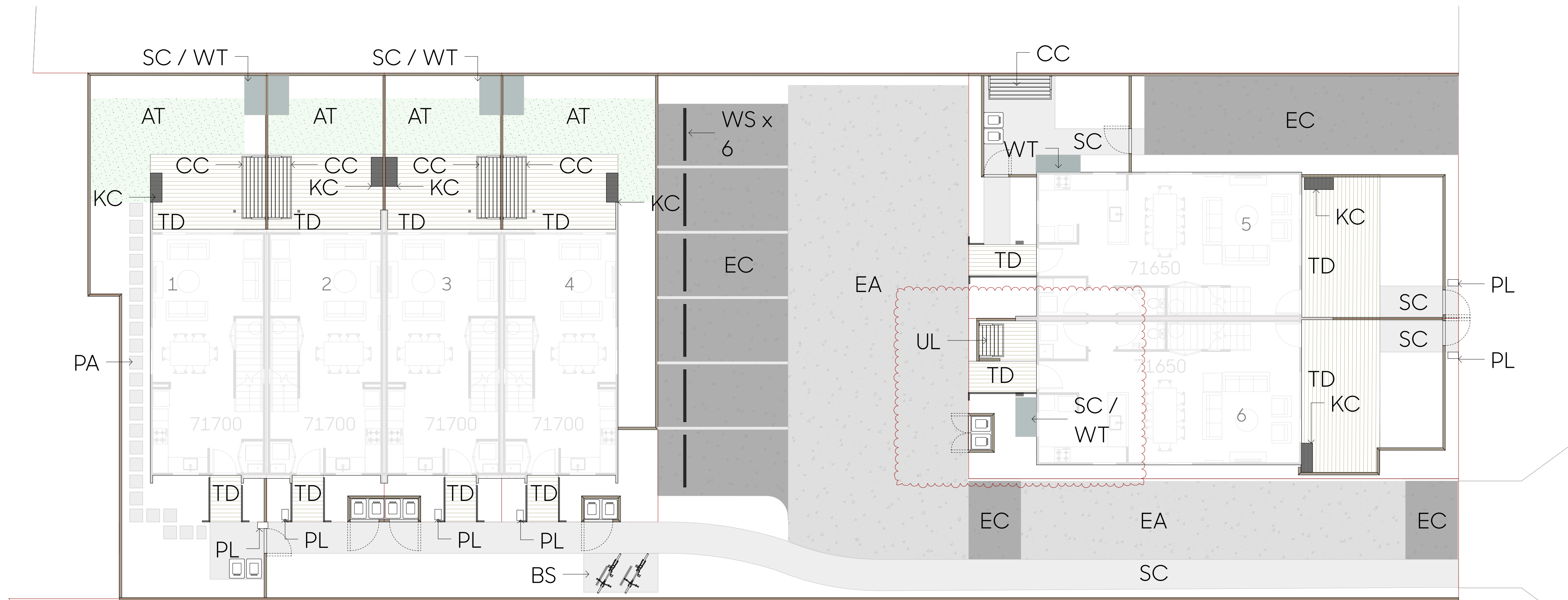
SC
Permeable Standard Concrete



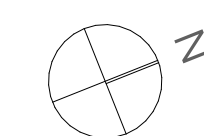
TD
Timber Deck



WS
Wheel Stop, black



Code	Name	Specification
AT	Artificial Turf	Tiger Turf Summer Envy 35 XWR
BS	Bike Storage	x 2 cycle rack hoops
CC	Compact Clothesline	Austral Compact Fold Down AUC28WG (2.4mx0.9m)
UL	Compact Clothesline	Austral unit line Fold Down clothesline (1.3mx0.9m)
EA	Permeable Concrete	Permeable, no oxide exposed, refer to CKL civil set
EC	Permeable Concrete with Oxide	Permeable, 8kg black oxide per m ³ , refer to CKL civil set
KC	Keter Storage Box	Keter Comfy Storage Box 270L
PA	Pavers	450 x 450 drycast pavers, natural
PL	Post Mounted Letterbox	Mail Boss Colville letterbox (H170mmXD400mmXW250mm),
SC	Permeable Standard Concrete	Permcon, Standard aggregate, no oxide - refer to CKL civil set
TD	Timber Deck	90x21mm watershed profile, SS screw fixed
WS	Wheel Stop	Vanguard rubber wheel stop, 1650mm, recycled
WT	Water Tank	Above ground water tanks, 3500L, 700L, 950L Refer to CKL plans for specifications.





SW
 2.0m Boundaryline smart wall



LF
 0.9m Timber paling fence



BA
 1.8m Timber batten fence

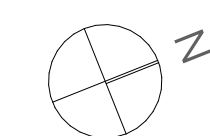
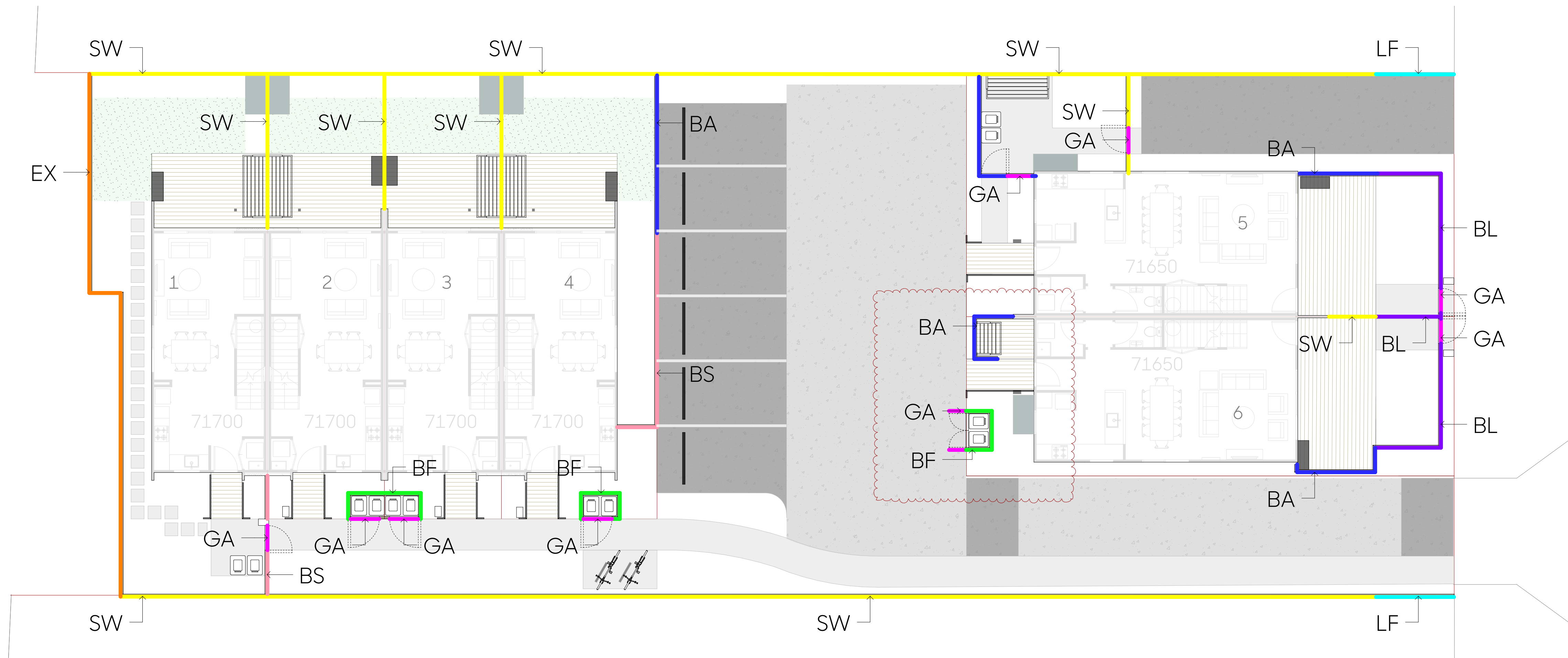


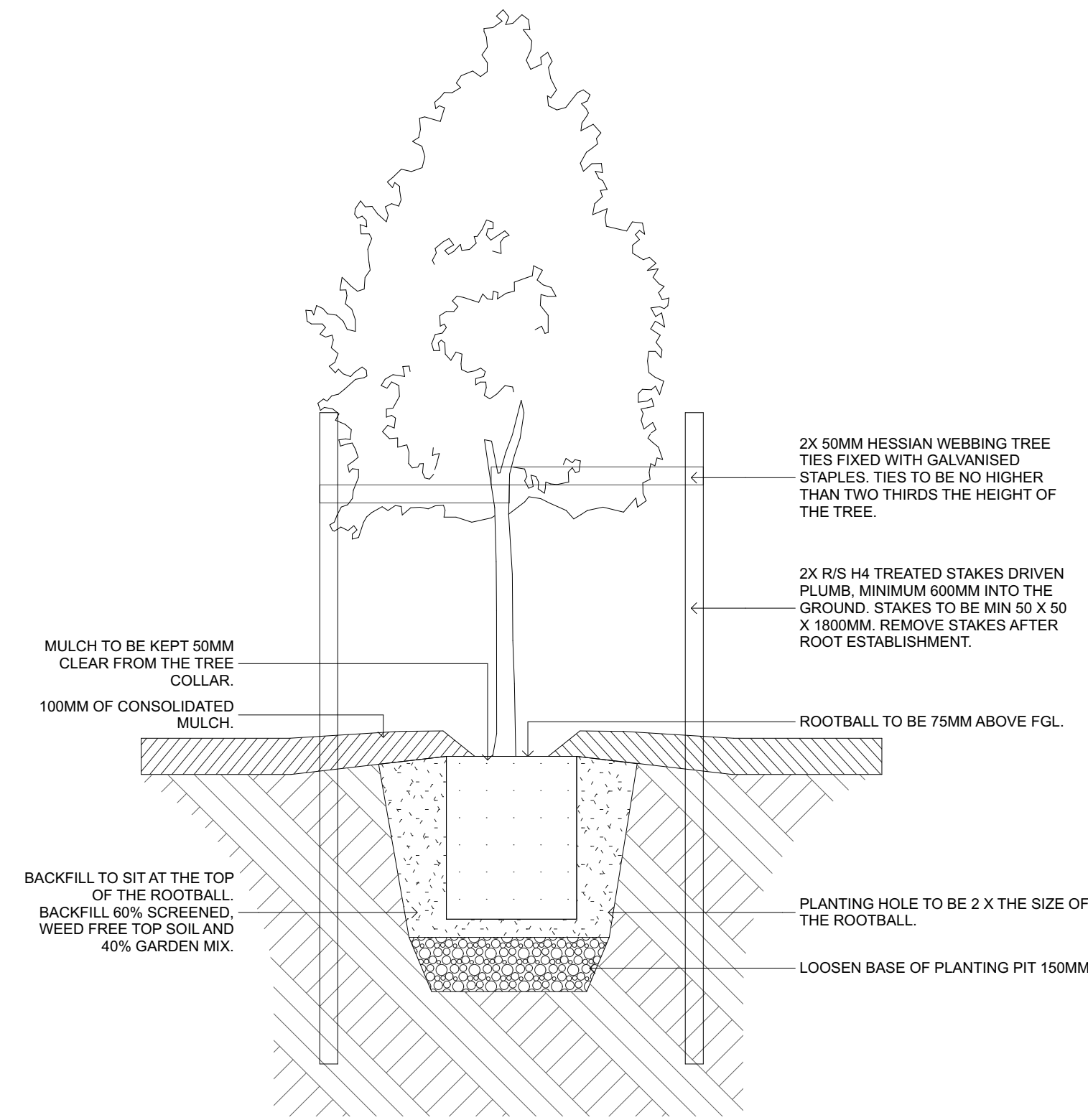
BF
 1.5m Timber batten fence



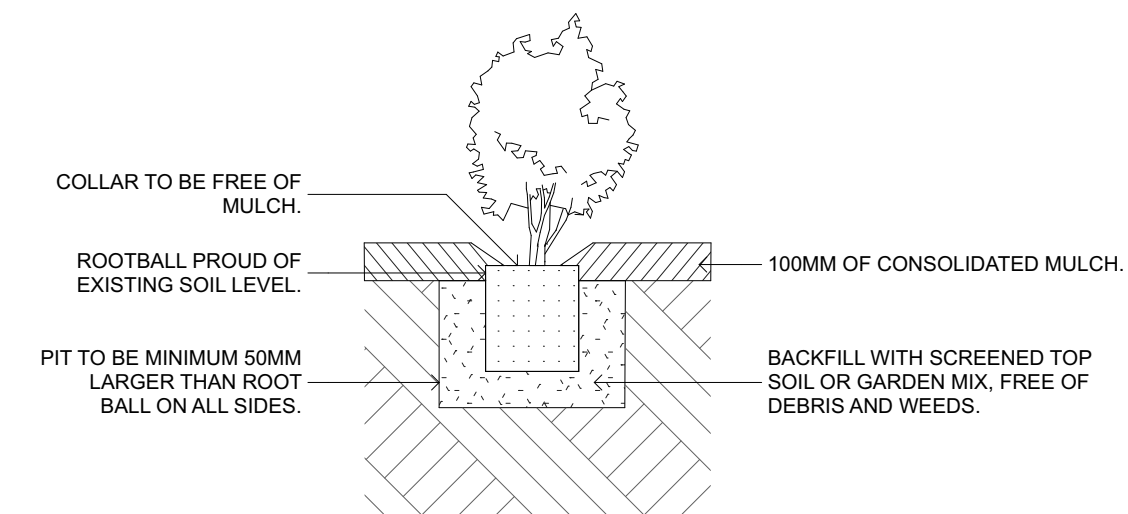
BS / BL
 1.2m / 0.9m Timber batten fence

Code	Name	Specification
SW	Boundaryline Smartwall	2.0m high, Boundaryline smart wall, vertical pailings, Acoustic fence.
LF	Timber paling fence	0.9m high, 150mm H3.2 vertical paling, no spacing, Stained with Resene Woodsman 'Smokey Ash'
BA	Timber batten fence	1.8m high, 50X50mm H3.2 D4S vertical battens, 25mm spacing, Stained with Resene Woodsman 'Smokey Ash'
BF	Timber batten fence	1.5m high, 50X50mm H3.2 D4S vertical battens, 25mm spacing, Stained with Resene Woodsman 'Smokey Ash'
BS	Timber batten fence	1.2m high, 50X50mm H3.2 D4S vertical battens, 25mm spacing, Stained with Resene Woodsman 'Smokey Ash'
BL	Timber batten fence	0.9m high, 50X50mm H3.2 D4S vertical battens, 25mm spacing, Stained with Resene Woodsman 'Smokey Ash'
GA	Gate	To match intersecting fence height
EX	Existing Fence	Refer to 3 Clark Road RC for fence type.

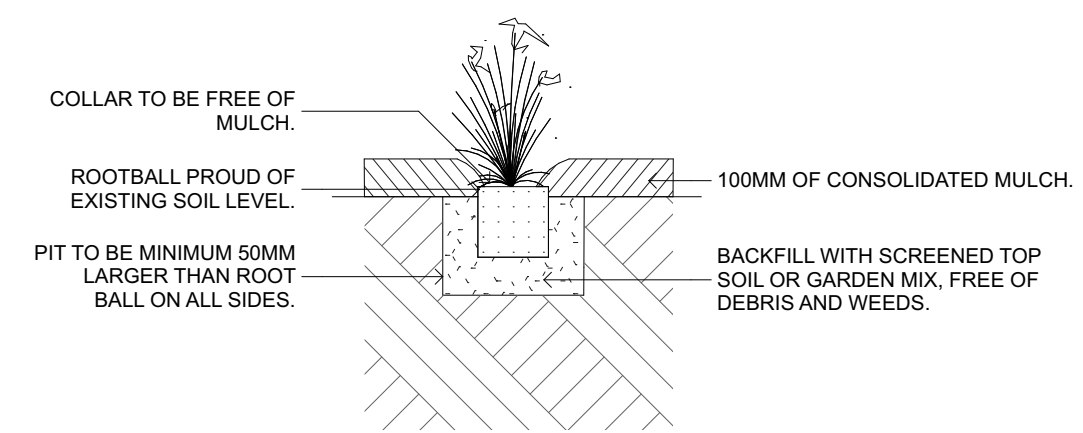




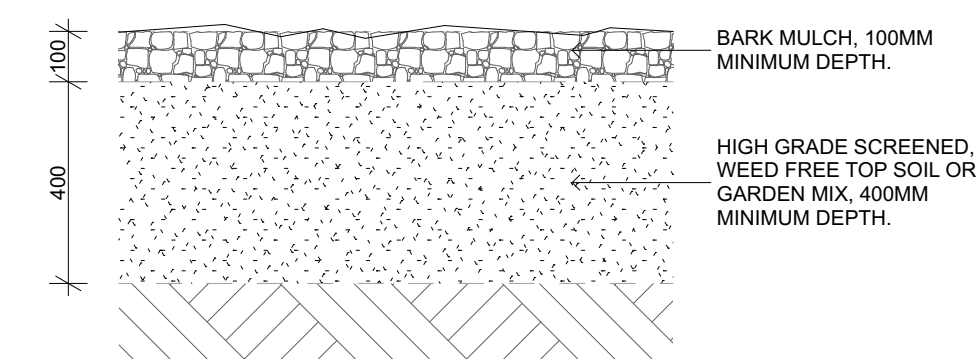
PD-01: TREE IN GARDEN 1:15 @ A1, 1:30 @ A3



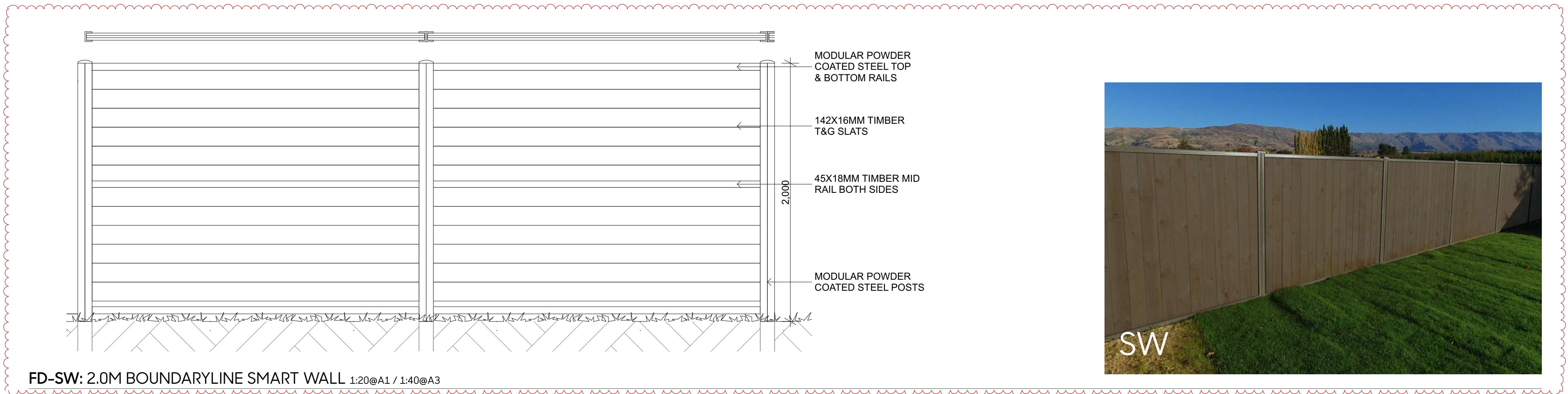
PD-02: SHRUB IN GARDEN 1:15 @ A1, 1:30 @ A3



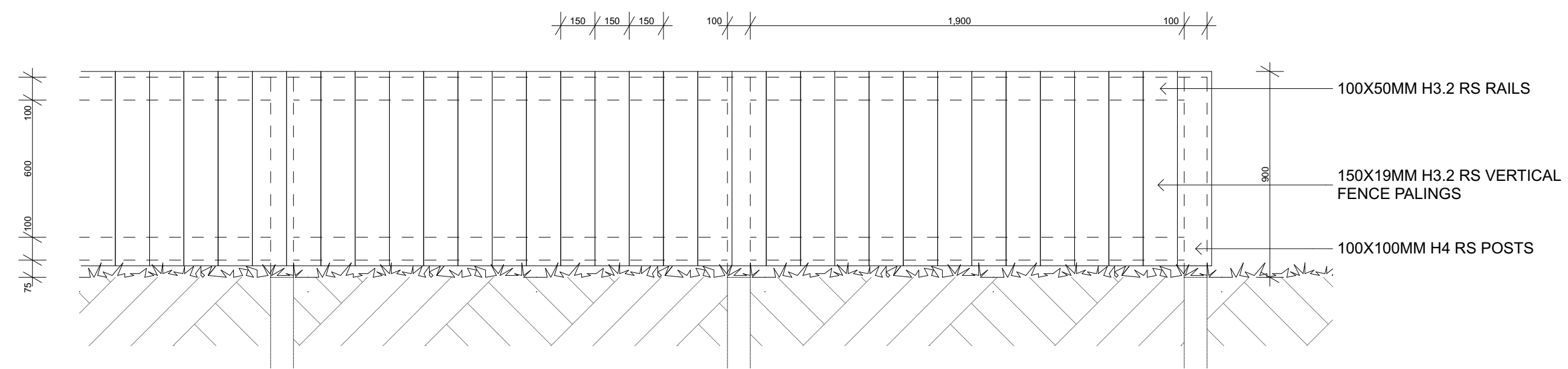
PD-03: GRASSES IN GARDEN 1:15 @ A1, 1:30 @ A3



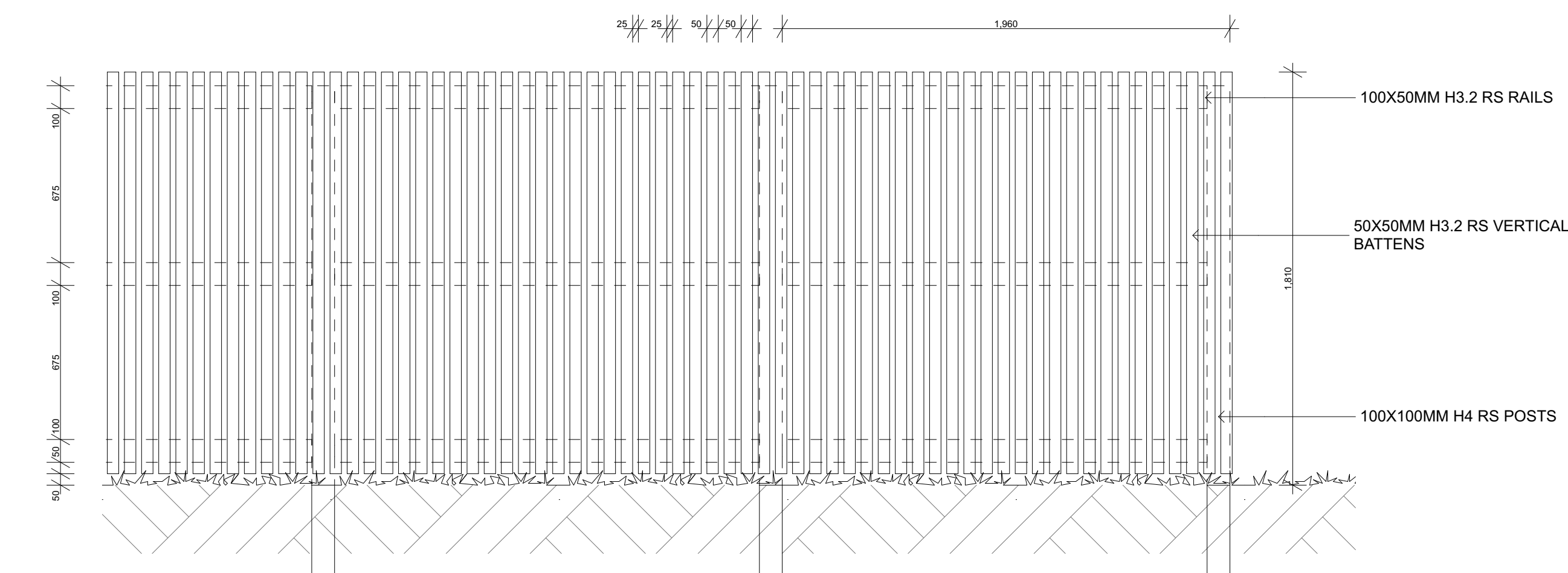
PD-04: GARDEN BEDS 1:15 @ A1, 1:30 @ A3



FD-SW: 2.0M BOUNDARYLINE SMART WALL 1:20@A1 / 1:40@A3

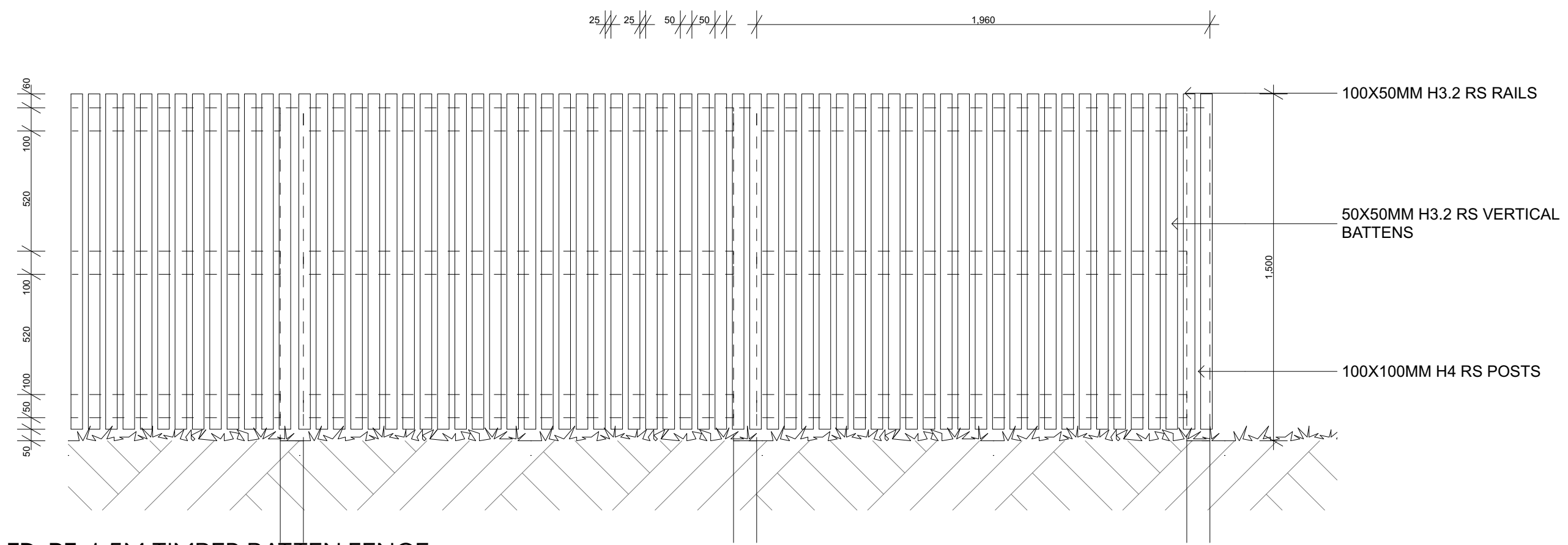


FD-LF: 0.9M TIMBER PALING FENCE 1:20@A1 / 1:40@A3

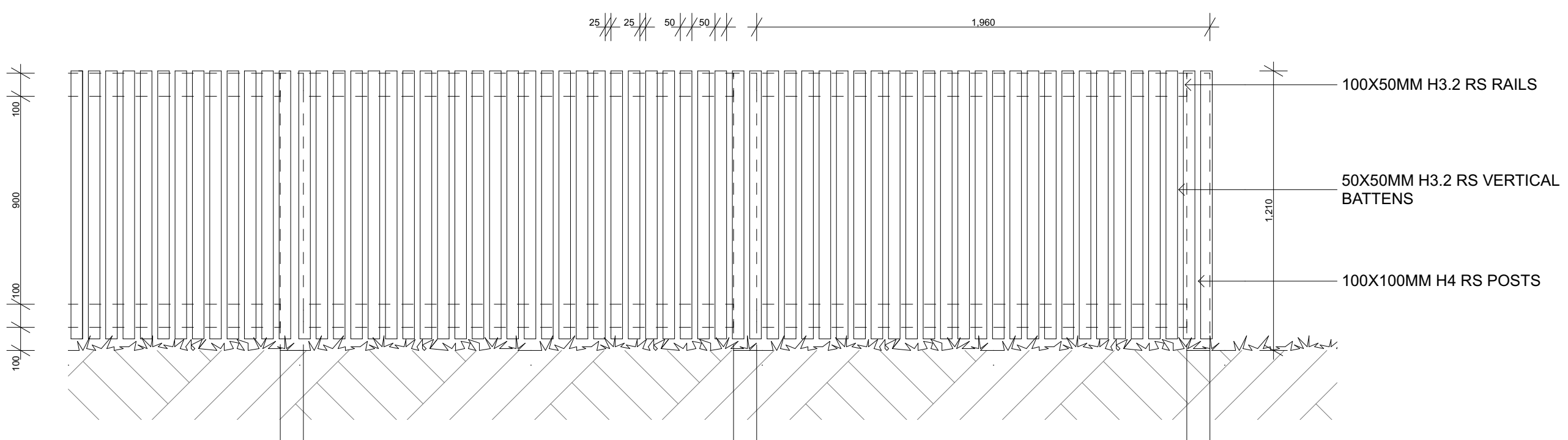


FD-BA: 1.8M TIMBER BATTEN FENCE 1:20@A1 / 1:40@A3

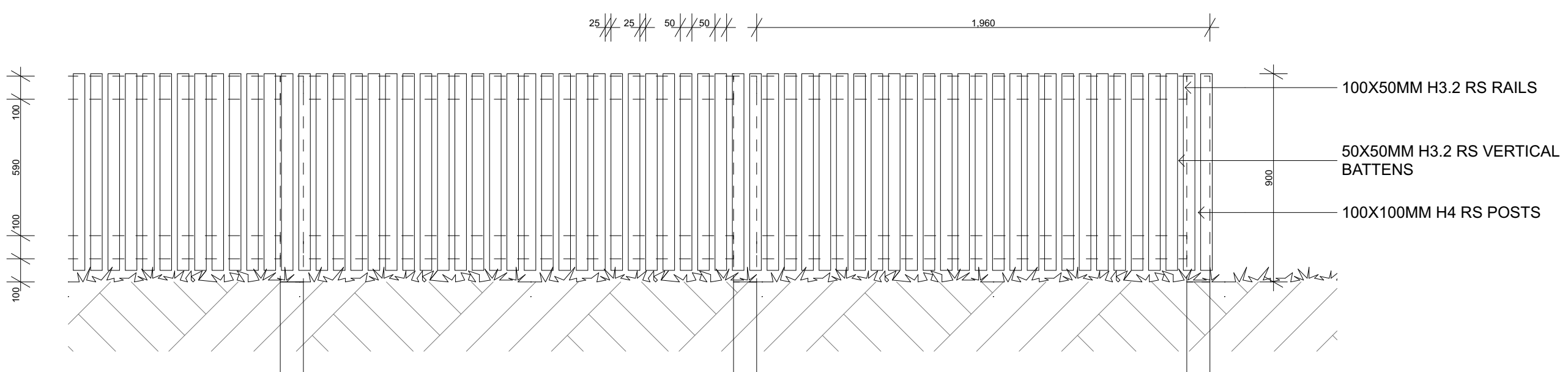
NOTE: ALL FENCE POSTS TO BE IN 300MM DIAMETER CONCRETE ENCASEMENT TO A MINIMUM DEPTH THAT IS 1/3 OF THE TOTAL FENCE HEIGHT UNLESS OTHERWISE SPECIFIED



FD-BF: 1.5M TIMBER BATTEN FENCE 1:20@A1 / 1:40@A3



FD-BS: 1.2M TIMBER BATTEN FENCE 1:20@A1 / 1:40@A3

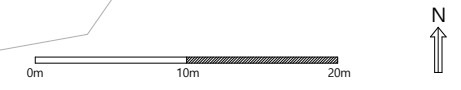


FD-BL: 0.9M TIMBER BATTEN FENCE 1:20@A1 / 1:40@A3

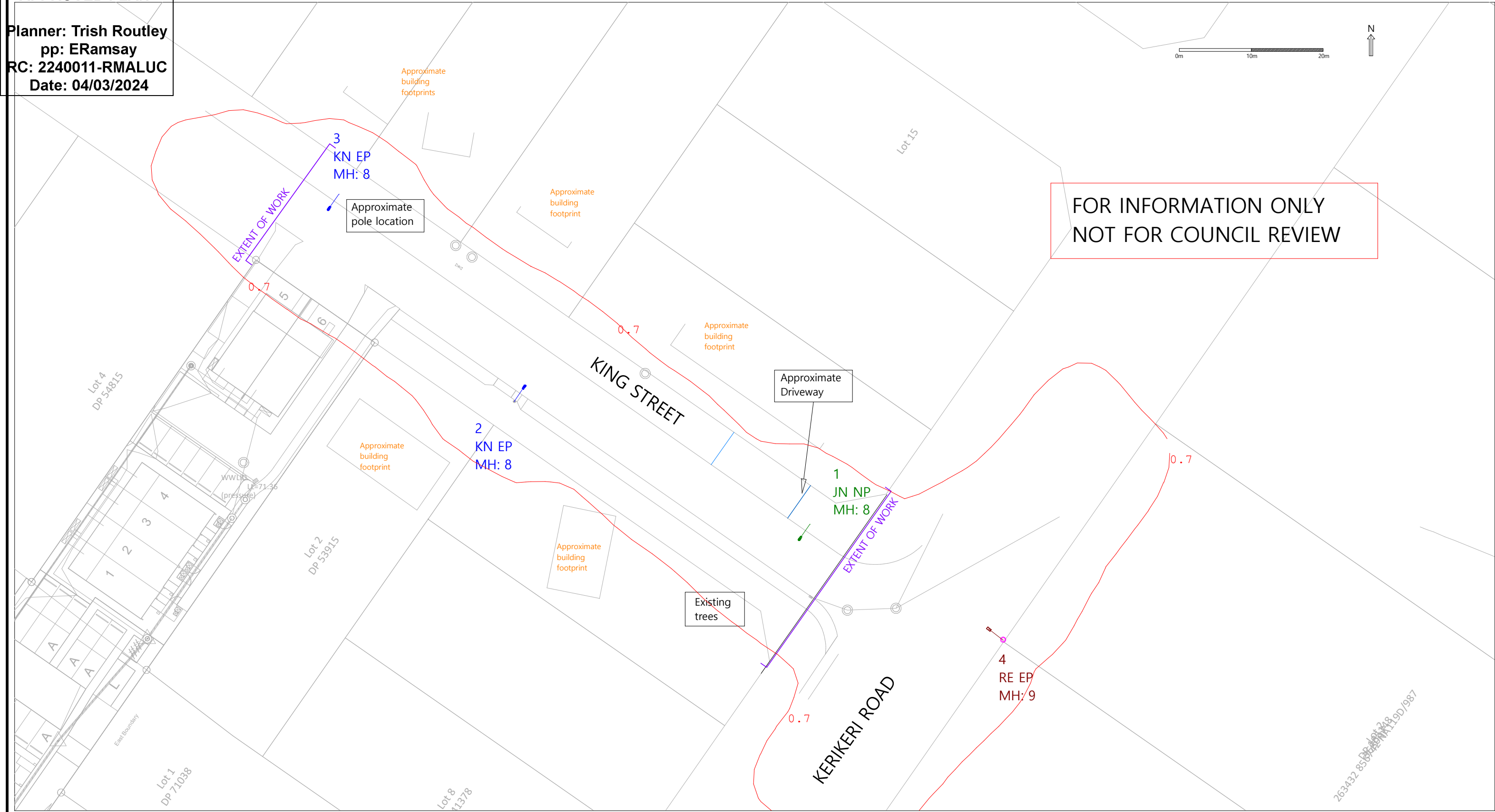


NOTE: ALL FENCE POSTS TO BE IN 300MM DIAMETER CONCRETE ENCASEMENT TO A MINIMUM DEPTH THAT IS 1/3 OF THE TOTAL FENCE HEIGHT UNLESS OTHERWISE SPECIFIED

Planner: Trish Routley
 pp: ERamsay
 RC: 2240011-RMALUC
 Date: 04/03/2024



FOR INFORMATION ONLY
 NOT FOR COUNCIL REVIEW



MAINTAINED ISOLINES (LIGHT LEVELS AT END OF LIFE)

Luminaire Schedule				
Symbol	Qty	Label	LLF	Description
	1	JN NP	0.800	New (N) Cree Energy Uno SCP 8L 30W 4000K on Vicpole Portland HDG New Pole (NP) at 8m height 2m arm 0deg tilt (2.2m setback from kerb)
	2	KN EP	0.800	New (N) Cree Energy Uno SCP 8L 30W 4000K on Existing Pole (EP) at 8m height 2m arm 0deg tilt (setback - existing location) (approximate location)
	1	RE EP	0.800	Existing AEC Italo 2 0F2 STA 4_7-7M 134W 4000K on Existing Pole (EP) at 9m height 2m arm 0deg tilt (existing location - approximate) (luminaire info an estimate)

Isoline Legend	
Illuminance (Lux)	
Color	Value
	0.7

Revision	#	Date	Comments
	1	12/09/2023	For Info/Co-ordination only. Not for Council review.



27 March 2024

Gemscott King Limited
Level 1 - The Promendae Building
1 Ara Tai Road
Half Moon Bay
Auckland 2012

Reference Number: EBC-2024-717/0
Property Address: 4 King Street, Kerikeri 0230
Property ID # 3364785
Description: Civil Infrastructure for Storm Water, Waste Water and Water Supply connections to service each lot.

Dear Sir / Madam,

Issue of Building Consent

We are pleased to advise that your application has been approved and the Building Consent has been issued. The approved plans and specifications are Attached.

To assist you further in the Building Consent process, the following points should be noted: -

- **Building Consent Documents**

It is your responsibility to ensure:

- **A printed copy of the issued Building Consent documentation is on site at every inspection. Failure to do so could result in a failed inspection.**
- Plans must be printed in colour and be at least A3 size. Specifications may be printed in black and white.
- Ensure all Documentation is kept in order and filed safe free from damage for your inspector to view at each inspection throughout the build.
- Ensure any emailed inspection summaries are available for the next inspection either via electronic or printed copy.

- **Building Consent conditions**

It is important you understand the conditions of the consent and seek any additional information required before you start building (e.g., you may require the help of other professional services such as an engineer). If you do not understand the conditions, have your consent number handy and contact the building team for assistance.

- **Building inspections**

A list of the required inspections for this project is also enclosed. All inspections must be booked with the customer services team on 0800 920 029 or 09 401 5200.

- **Building inspection block**

An inspection block may apply to your project. This means that inspections cannot take place yet. Blocks may be applied if: -

- A Resource Consent, Discharge Consent, or Outline Plan is required. The applicable consent must be issued before the inspection block can be lifted.
- You have not nominated a Licensed Building Practitioner (LBP) to carry out restricted building works. The name(s) of the LBPs to work on your project must be supplied in writing prior to any building works commencing.

- **Additional building inspections**

If additional inspections are required to complete the project, you will be invoiced as per our Fees & Charges Schedule.

- **Final Inspection**

Please make sure your building consent pack is on site and all LBP certificates and statements are available and have been completed in full. If you have not already applied for your CCC please do so and provide your completed application to the inspector at the time of the final inspection.

- **Code Compliance Certificate (CCC)**

When all the nominated inspections have successfully been completed, the owner or their agent/builder can book a Final inspection online or contact our Call Centre on 0800 920029 or 09 4015200.

- **Timeframes**

- Building work should **start within 12 months** of the Building Consent being issued. Failure to do so may result in your application lapsing and you will need to reapply for a new building application. If the work cannot be completed within this timeframe you can apply for an Extension of Time – a fee will apply.
- Building work should be **completed within two years** of the Building Consent being granted. Failure to do so may result in your CCC application being refused. If the work cannot be completed within this timeframe you can apply for an Extension of Time – a fee will apply.

We would like to take this opportunity to thank you for choosing to build in the Far North and look forward to working with you towards a compliant building. Please do not hesitate to contact the Building Team on 0800 920029 or 09 401 5200 if you have any questions or need further assistance.

Yours sincerely,



Trent Blakeman
Manager Building Services
Delivery and Operations

GEMSCOTT LIMITED

4 KING STREET, KERIKERI CIVIL ENGINEERING DRAWINGS

SITE LOCATION



LOCALITY PLAN
N.T.S.

DRAWING INDEX

Sheet Number	Sheet Title	REVISION AND ISSUE DATE
		01.08.23
A22047-000-B	TITLE PAGE & INDEX SHEET	
A22047-401-B	DRAINAGE LAYOUT PLAN	A
A22047-420-B	STORMWATER LONG-SECTION	A
A22047-421-B	STORMWATER CP-2 LONG-SECTION	A
A22047-430-B	WASTEWATER LONG-SECTION	A
A22047-440-B	STORMWATER WATER QUALITY TREATMENT DEVICE TYPICAL DETAIL	A
A22047-490-B	DRAINAGE STANDARD CONSTRUCTION DETAILS SHEET 1	A
A22047-491-B	DRAINAGE STANDARD CONSTRUCTION DETAILS SHEET 2	A
A22047-600-B	WATER SUPPLY LAYOUT PLAN	A

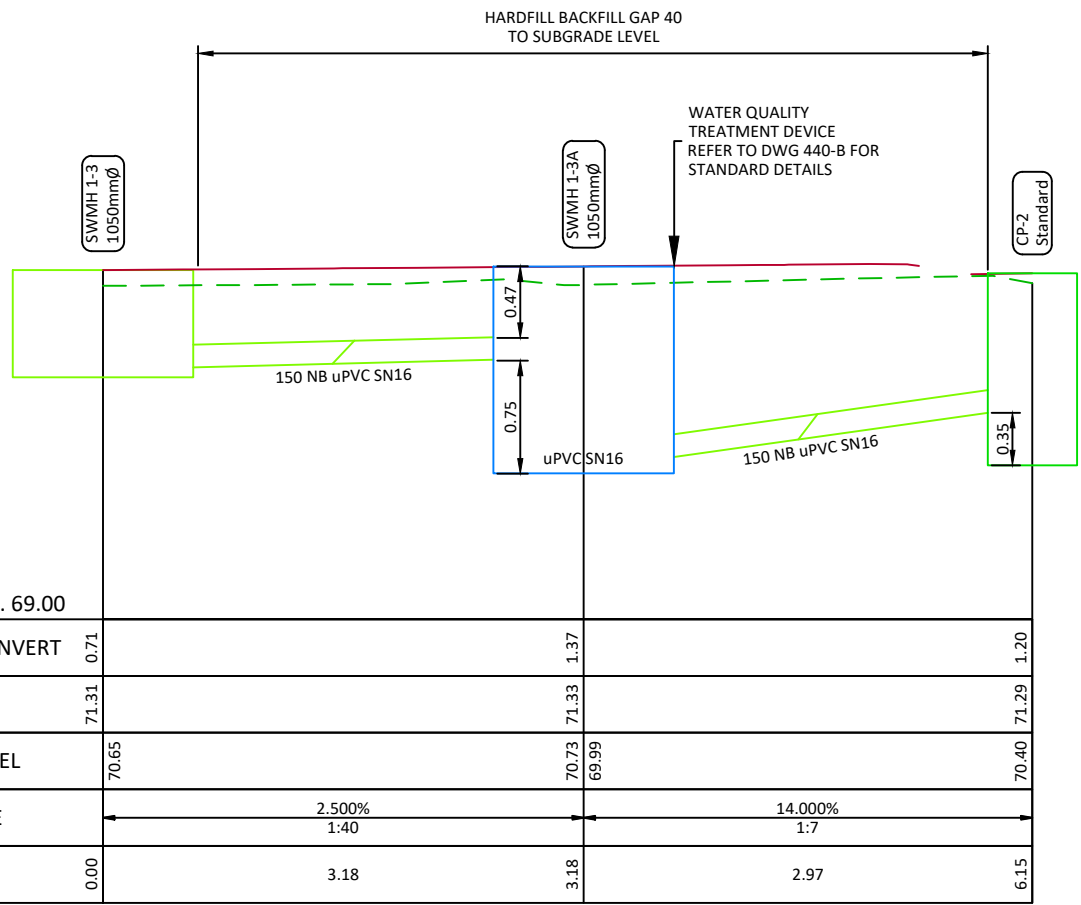


Planning | Surveying | Engineering | Environmental

Auckland Office
A: 25 Broadway, Newmarket
P: 09 524 7029
E: Auckland@ckl.co.nz

CKL PROJECT NUMBER : **A22047**
DATE OF ISSUE : **AUGUST 2023**
ISSUED FOR : **BUILDING CONSENT**

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LONGITUDINAL SECTION FOR SW CP-2

DRAINAGE NOTES:

- ALL PUBLIC DRAINAGE WORKS TO BE UNDERTAKEN IN ACCORDANCE WITH FAR NORTH DISTRICT COUNCIL (FNDC) ENGINEERING STANDARDS.
- ALL PRIVATE DRAINAGE WORKS TO BE UNDERTAKEN IN ACCORDANCE WITH THE NEW ZEALAND BUILDING CODE (NZBC) AND APPLICABLE STANDARDS.
- ALL WASTEWATER AND STORMWATER LOT CONNECTIONS WILL BE uPVC SN16.
- ALL PIPELINES UNDER TRAFFICABLE AREAS TO BE HARDFILL BACKFILLED WITH GAP40/65 AS SPECIFIED. ALL PIPE CROSS-OVERS <250mm ARE TO BE POLYSTYRENE PACKED.
- ALL DRAINAGE WORKS SHALL BE CARRIED OUT UNDER THE SUPERVISION OF A REGISTERED DRAIN LAYER AND IN ACCORDANCE WITH CURRENT HEALTH AND SAFETY PRACTICES. WHERE REQUIRED, DRAINAGE WORKS TO BE UNDERTAKEN BY AN APPROVED LICENSED CONTRACTOR (A.L.C.).
- THE CONTRACTOR SHALL LIAISE WITH THE UTILITY PROVIDER FOR THE STANDARD CLEARANCE REQUIREMENTS. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY ALL EXISTING SERVICES WITHIN THE EXTENT OF THE WORKS PRIOR TO WORKS COMMENCEMENT. ALL TESTING AND POTHOLING SHALL BE AT THE CONTRACTOR'S EXPENSE.
- ALL EXISTING BERMS, CARRIAGEWAYS AND CROSSINGS TO BE RE-INSTATED AS PER COUNCIL/CONTROLLING AUTHORITY REQUIREMENTS.
- A COPY OF THE SITE SPECIFIC HEALTH AND SAFETY PLAN SHALL BE AVAILABLE ON SITE.
- ALL TRAFFIC MANAGEMENT AND CORRIDOR ACCESS PERMIT(S) SHOULD BE OBTAINED BY THE CONTRACTOR PRIOR TO CONSTRUCTION WITH THE ROAD CORRIDOR/RESERVE.
- 45-DEGREE WYE JUNCTIONS TO BE USED FOR ALL LOT CONNECTIONS TO MAIN DRAINAGE LINES AS PER NZBC E1 AND G13.
- INSPECTION POINTS AND RISERS MUST BE INSTALLED AT WASTEWATER WYE JUNCTIONS AS PER NZBC G13.

DRAINAGE LEGEND:

	EXISTING SW (PUBLIC)		EXISTING WW (PUBLIC)
	PROPOSED SW (PUBLIC)		PROPOSED WW (PUBLIC)
	PROPOSED SW CONNECTION (PUBLIC)		PROPOSED WW CONNECTION (PUBLIC)
	PROPOSED SW (PRIVATE)		PROPOSED WW (PRIVATE)
	PROPOSED SW CONNECTION (PRIVATE)		PROPOSED WW CONNECTION (PRIVATE)
	PROPOSED ABOVE GROUND SW TANK (PRIVATE)		
	PROPOSED SW WATER QUALITY TREATMENT (WQT) MANHOLE (PRIVATE)		

FOR CONSTRUCTION



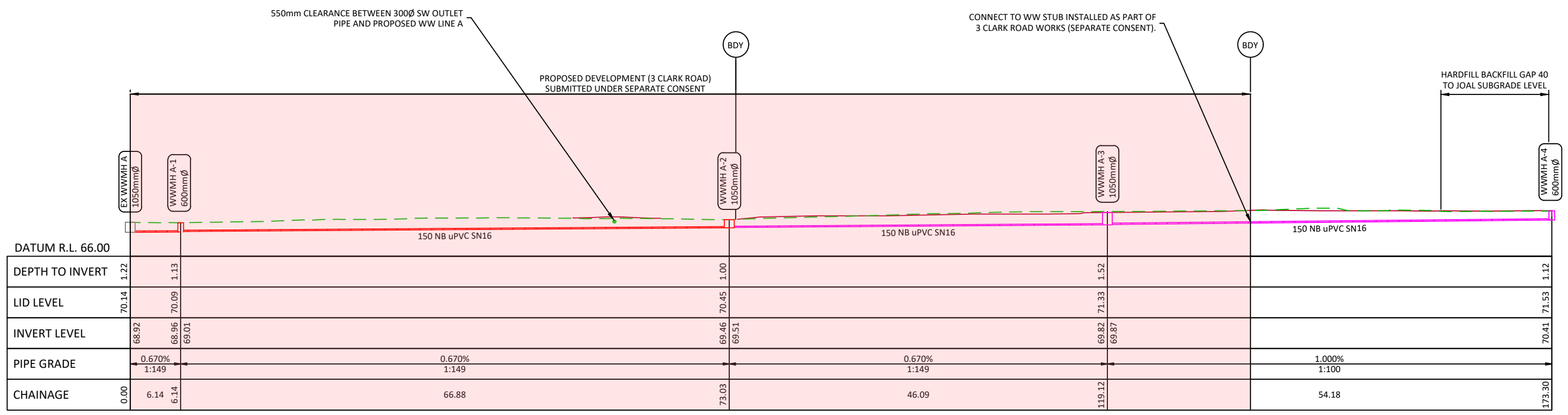
Auckland Office:
A: 25 Broadway, Newmarket
P: 09 524 7029
Hamilton Office:
A: 58 Church Road, Hamilton
P: 07 849 9921
Te Awamutu Office:
A: 103 Market Street, Te Awamutu
P: 07 871 6144

GEMSCOTT LIMITED
4 KING STREET
KERIKERI, NORTHLAND

STORMWATER CP-2
LONG SECTION

Issue	Description	Checked	Date	Date	Scale:
A	FOR BUILDING CONSENT	JM	01.08.23	Designed: AV Drawn: AV Checked: JM	13.06.23 13.06.23 01.08.23
				Job No: A22047	Dwg No: 421-B
				Rev: A	(A3 Original)

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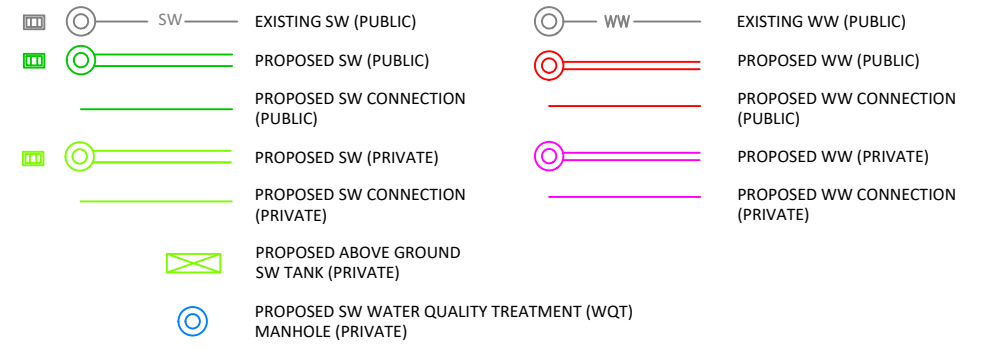


LONGITUDINAL SECTION FOR WW LINE A

DRAINAGE NOTES:

- ALL PUBLIC DRAINAGE WORKS TO BE UNDERTAKEN IN ACCORDANCE WITH FAR NORTH DISTRICT COUNCIL (FNDC) ENGINEERING STANDARDS.
- ALL PRIVATE DRAINAGE WORKS TO BE UNDERTAKEN IN ACCORDANCE WITH THE NEW ZEALAND BUILDING CODE (NZBC) AND APPLICABLE STANDARDS.
- ALL WASTEWATER AND STORMWATER LOT CONNECTIONS WILL BE uPVC SN16.
- ALL PIPELINES UNDER TRAFFICABLE AREAS TO BE HARDFILL BACKFILLED WITH GAP40/65 AS SPECIFIED. ALL PIPE CROSS-OVERS <250mm ARE TO BE POLYSTYRENE PACKED.
- ALL DRAINAGE WORKS SHALL BE CARRIED OUT UNDER THE SUPERVISION OF A REGISTERED DRAIN LAYER AND IN ACCORDANCE WITH CURRENT HEALTH AND SAFETY PRACTICES. WHERE REQUIRED, DRAINAGE WORKS TO BE UNDERTAKEN BY AN APPROVED LICENSED CONTRACTOR (A.L.C.).
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- INSPECTION POINTS AND RISERS MUST BE INSTALLED AT WASTEWATER WYE JUNCTIONS AS PER NZBC G13.

DRAINAGE LEGEND:



FOR CONSTRUCTION



Auckland Office:
A: 25 Broadway, Newmarket
P: 09 524 7029
Hamilton Office:
A: 58 Church Road, Hamilton
P: 07 849 9921
Te Awamutu Office:
A: 103 Market Street, Te Awamutu
P: 07 871 6144

GEMSCOTT LIMITED
4 KING STREET
KERIKERI, NORTHLAND

**WASTEWATER
LONG SECTION**

Issue	Description	Checked	Date	Date	Scale:
A	FOR BUILDING CONSENT	JM	01.08.23	Designed: AV 14.03.23 Drawn: AV 14.03.23 Checked: JM 01.08.23	1:500 (A3 Original)
				Job No: A22047	Dwg No: 430-B
				Rev: A	

CONCRETE, DUCTILE IRON, STEEL OR VITRIFIED CLAY PIPE
(Where specifically approved)

PVC, PE & PP PIPE
(PVC & PP not approved for water supply)

ADDITIONAL BACKFILL REQUIREMENTS UNDER CARRIAGEWAYS
(All types of pipe)

W	TYPE OF PIPE
D + 600	Steel, DI
D + 450	Concrete
D + 450	Vitrified clay
D + 400	uPVC, PE & PP

Variations in W require additional design compensation.

NOTES

- Concrete pipes to be RCRRJ to AS/ NZS 4058 installed to manufacturers requirements.
- Ordinary backfill shall be free from stones or rocks greater than 150mm nominal diameter compacted in 300mm layers.
- Replace topsoil to original depth as necessary.
- Existing sealed roadway excavations are to be resurfaced with 50mm of asphaltic concrete.
- Clegg Hammer test:
0-300mm depth range Clegg reading not less than 45.
300mm-1.5m depth range Clegg reading not less than 30.
1.5m-top of pipe bedding material Clegg reading not less than 25.
- PRIVATEWAY base course metalling within pipe trenches may be in accordance with the Privateway Standards.
- Trench width shall not exceed W at the pipe crown level.
- Unsatisfactory trench material is to be undercut and replaced with compacted hardfill.
In poor soils such as swamp, peat, and in rock the minimum depth of granular bedding material below the invert is to be 200mm or specific design as necessary.
- Pipelines at 1:8 gradient or steeper shall have cement stabilised bedding and/or surrounds.
- Pipelines at 1:3 gradient or steeper shall have weak mix concrete bedding (10MPa) in accordance with Sheet 32. Large pipes will require specific pier design.
- Concrete bedding shall be allowed to cure for 48 hours prior to backfilling.
- Backfilling - carriageways may be with 'flowable fill' (low strength fly-ash concrete).
- Granular bedding is to satisfy N.Z.S. 7643 Appendix B.
- Minimum cover over pipes (unless specifically designed or protected in accordance with sheet 32).
A. 600mm if not subjected to traffic loading
B. 900mm under carriageways and trafficed areas.
- Sand is not permitted as PE Pipe Bedding

PIPE BEDDING & BACKFILL (FOR ALL ENVIRONMENTS)	Date: FEB 2022
	Revision: 0.2
	Scale: AS SHOWN
FAR NORTH DISTRICT COUNCIL ENGINEERING STANDARDS	SHEET No. 31

SECTION A-A SINGLE CATCH-PIT

SECTION X-X DOUBLE CATCH-PIT

ALTERNATIVE CAST IRON GRATE CONFIGURATION
(perpendicular slots) for cycle routes

SECTION B-B FIELD CATCH-PIT DETAIL

NOTES:

- Concrete to be ordinary grade (20MPa) in accordance with NZS 3104:2021
- Catch-pit outlet pipes to be 1:100 min gradient.
- Mega catch-pits require specific design and approval.
- Grates to be cycle friendly. Refer Section 3.2.14.6.

CATCH-PIT DETAILS FOR ENVIRONMENTS LIVING 1 AND 2, AND BUSINESS 1-5	Date: FEB 2022
	Revision: 0.2
	Scale: AS SHOWN
FAR NORTH DISTRICT COUNCIL ENGINEERING STANDARDS	SHEET No. 34

FOR CONSTRUCTION

C:\ProgramData\1205synergy\data\CKL-AZU-SVN-1\1 - Surveys\1205synergy\Design\Engineering Standards\1205synergy\CKL-AZU-SVN-1\1 - Surveys\1205synergy\Design\Engineering Standards\FNDC - Approved Building Consent Document - EBC-2024-117 - Pg 7 of 9 - 25/3/24 - MW



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GEMSCOTT LIMITED
4 KING STREET
KERIKERI, NORTHLAND

DRAINAGE STANDARD
CONSTRUCTION DETAILS
SHEET 1

Issue	Description	Checked	Date	Designed:	Date	Scale:
A	FOR BUILDING CONSENT	JM	01.08.23	Drawn: AV	08.11.22	NTS (A3 Original)
				Checked: JM	01.08.23	
				Job No:	Dwg No:	Rev:
				A22047	490-B	A

ELEVATION

PLAN STANDARD CONNECTION

SADDLE CONNECTION
If main > 225mm

RAMPED RISER CONNECTION

NOTES:

- The terminal inspection shall be located not less than 300mm inside the property being serviced and be free of obstructions
- For stormwater connections, junctions to be: (in order of preference)
 - Prefabricated standard wye junctions,
 - Prefabricated factory special connection, epoxy mortared saddled flange connection with appropriate insert adapter > DN 225.
- Terminal blank end required for stormwater connections.
- Pipes and fittings are to be sewer grade uPVC, or concrete to relevant NZ Standard
- Pipelines that are likely to carry commercial or industrial waste are to satisfy the manufacturers requirements.
- Specific design may be required in potentially unstable areas.
- Joint flexibility is to be maintained where pipelines are in contact with concrete. Pipes shall be separated from concrete using DPC.
- AS-BUILT plans are required for all connections.

STORMWATER AND SEWER CONNECTIONS FOR ALL ENVIRONMENTS

FAR NORTH DISTRICT COUNCIL
ENGINEERING STANDARDS

Date: JAN 2021
Revision: 0.1
Scale: AS SHOWN
SHEET No. **37**

SECTION CC

SECTION BB

SECTION AA

NOTES:

- This detail is applicable for pipe diameters up to 600mm & for manhole depths up to 5.0m.
- 150mm thick reinforced concrete lids with heavy duty ductile iron frames & covers to be used in driveways, carriageways & berms. 100mm thick concrete lids with light duty cast iron frames & covers may be used elsewhere.
- Precast manhole bases shall be used in all instances with minimum sized holes cut for pipe entry.
- No additional thin plastering of benching or benching of inverts is permitted.
- All concrete to be 20MPa.
- Where non-concrete pipe connections are made to concrete manholes, then a gritted starter pipe shall be installed to allow bond between manhole and pipe material. Also, a 3flexible joint should be specified as part of gritted starter pipe (as standard).
- All manholes >1.2m in depth shall be provided with manhole step rungs. These shall follow the requirements on sheet 40

STANDARD PRECAST MANHOLE SEWER AND STORMWATER FOR ALL ENVIRONMENTS

FAR NORTH DISTRICT COUNCIL
ENGINEERING STANDARDS

Date: FEB 2022
Revision: 0.2
Scale: AS SHOWN
SHEET No. **39**

FOR CONSTRUCTION

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FNDC - Approved Building Consent Document - EBC-2024-117 - Pg 8 of 9 - 25/8/24 - MW

Document Transmittal:

4 King Street - SUB RC Application Documents

Please find attached the following files, which were issued by Zita Talaic-Burgess on 5/30/2024 11:32:30 AM.
Files

File Name	Version	Change Description	Issue Status
A22047-RC-SUB-AEE Report.pdf	1	Added File	Approved
A22047-RC-SUB-Appendix 1 - RoT.pdf	1	Updated file	Received
A22047-RC-SUB-Appendix 2 - Topo Plan.pdf	2	Renamed	Approved
A22047-RC-SUB-Appendix 3 - Scheme Plan.pdf	2	Renamed	Approved
A22047-RC-SUB-Appendix 4 - DP Assessment.pdf	1	Added File	Approved
A22047-RC-SUB-Appendix 5 - Approved LUC 2240011.pdf	1	Added File	Received
A22047-RC-SUB-Appendix 6 - Approved Drainage BC.pdf	2	Updated file	Received
A22047-RC-SUB-Resource-consent-application-form.pdf	1	Added File	Approved

Issued Notes