



<b>Office Use Only</b> Application Number:
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**APPLICATION FOR RESOURCE CONSENT OR FAST-TRACK RESOURCE CONSENT**

**(Or Associated Consent Pursuant to the Resource Management Act 1991 (RMA))**

**(If applying for a Resource Consent pursuant to Section 87AAC or 88 of the RMA, this form can be used to satisfy the requirements of Form 9)**

*Prior to, and during, completion of this application form, please refer to Resource Consent Guidance Notes and Schedule of Fees and Charges – both available on the Council's web page.*

**1. Pre-Lodgement Meeting**

Have you met with a Council Resource Consent representative to discuss this application prior to lodgement? Yes / No

**2. Type of Consent being applied for (more than one circle can be ticked):**

- Land Use
- Extension of time (s.125)
- Consent under National Environmental Standard (e.g. Assessing and Managing Contaminants in Soil)
- Other (please specify) \_\_\_\_\_
- Fast Track Land Use\*
- Change of conditions (s.127)
- Subdivision
- Change of Consent Notice (s.221(3))
- Discharge

**\*The fast track for simple land use consents is restricted to consents with a controlled activity status and requires you provide an electronic address for service.**

**3. Would you like to opt out of the Fast Track Process? Yes /  No**

**4. Applicant Details:**

Name/s: Te Iwi o Ngati Kahu Trust c/o Reuben Waihi

Electronic Address for Service (E-mail):		_____
Phone Numbers:		_____
Postal Address: (or alternative method of service under section 352 of the Act)		_____
Post Code:		_____

**5. Address for Correspondence: Name and address for service and correspondence (if using an Agent write their details here).**

Name/s: Makarena Dalton - Barker & Associates

Electronic Address for Service (E-mail):		_____
Phone Numbers:		_____
Postal Address: (or alternative method of service under section 352 of the Act)		_____
Post Code:		_____

**All correspondence will be sent by email in the first instance. Please advise us if you would prefer an alternative means of communication.**

**6. Details of Property Owner/s and Occupier/s: Name and Address of the Owner/Occupiers of the land to which this application relates (where there are multiple owners or occupiers please list on a separate sheet if required)**

Name/s: Te Iwi o Ngati Kahu Trust

Property Address/  
Location: 21A Parkdale Crescent, Kaitaia 0410

**7. Application Site Details:**

Location and/or Property Street Address of the proposed activity:

Site Address/  
Location: 19 Bonnett Road, Kaitaia

Legal Description: Lot 1 Deposited Plan 210702 Val Number: \_\_\_\_\_

Certificate of Title: NA138C/129  
Please remember to attach a copy of your Certificate of Title to the application, along with relevant consent notices and/or easements and encumbrances (search copy must be less than 6 months old)

Site Visit Requirements:

Is there a locked gate or security system restricting access by Council staff?

Yes /  No

Is there a dog on the property?

Yes /  No

Please provide details of any other entry restrictions that Council staff should be aware of, e.g. health and safety, caretaker's details. **This is important to avoid a wasted trip and having to re-arrange a second visit.**

Please contact Reuben to confirm access to the site: 021686267 or reuben@ngatikahu.iwi.nz

**8. Description of the Proposal:**

Please enter a brief description of the proposal here. Attach a detailed description of the proposed activity and drawings (to a recognized scale, e.g. 1:100) to illustrate your proposal. Please refer to Chapter 4 of the District Plan, and Guidance Notes, for further details of information requirements.

The proposal seeks to relocate two residential units to the application site and undertake a renovation of two existing buildings into n additional two residential units. Resource consent is required as a discretionary activity under rules 7.6.5.1.1 relocated buildings, 7.6.5.1.2 residential intensity, 7.6.5.1.6 stormwater management, 15.1.6A.2.1 traffic intensity, and 15.1.6B.1.1 Onsite parking spaces.

If this is an application for an Extension of Time (s.125); Change of Consent Conditions (s.127) or Change or Cancellation of Consent Notice conditions (s.221(3)), please quote relevant existing Resource Consents and Consent Notice identifiers and provide details of the change(s) or extension being sought, with reasons for requesting them.

**9. Would you like to request Public Notification**

Yes/No

**10. Other Consent required/being applied for under different legislation (more than one circle can be ticked):**

- Building Consent (BC ref # if known)                       Regional Council Consent (ref # if known)
- National Environmental Standard consent                       Other (please specify)

**11. National Environmental Standard for Assessing and Managing Contaminants in Soil to Protect Human Health:**

The site and proposal may be subject to the above NES. In order to determine whether regard needs to be had to the NES please answer the following (further information in regard to this NES is available on the Council's planning web pages):

Is the piece of land currently being used or has it historically ever been used for an activity or industry on the Hazardous Industries and Activities List (HAIL)  yes  no  don't know

Is the proposed activity an activity covered by the NES? (If the activity is any of the activities listed below, then you need to tick the 'yes' circle).  yes  no  don't know

- Subdividing land     Changing the use of a piece of land
- Disturbing, removing or sampling soil                       Removing or replacing a fuel storage system

**12. Assessment of Environmental Effects:**

*Every application for resource consent must be accompanied by an Assessment of Environmental Effects (AEE). This is a requirement of Schedule 4 of the Resource Management Act 1991 and an application can be rejected if an adequate AEE is not provided. The information in an AEE must be specified in sufficient detail to satisfy the purpose for which it is required. Your AEE may include additional information such as Written Approvals from adjoining property owners, or affected parties.*

**Please attach your AEE to this application.**

**13. Billing Details:**

This identifies the person or entity that will be responsible for paying any invoices or receiving any refunds associated with processing this resource consent. Please also refer to Council's Fees and Charges Schedule.

Name/s: (please write all names in full)      Te Iwi o Ngati Kahu Trust

Email:

Postal Address:

Phone Numbers:

**Fees Information:** An instalment fee for processing this application is payable at the time of lodgement and must accompany your application in order for it to be lodged. Please note that if the instalment fee is insufficient to cover the actual and reasonable costs of work undertaken to process the application you will be required to pay any additional costs. Invoiced amounts are payable by the 20<sup>th</sup> of the month following invoice date. You may also be required to make additional payments if your application requires notification.

**Declaration concerning Payment of Fees:** I/we understand that the Council may charge me/us for all costs actually and reasonably incurred in processing this application. Subject to my/our rights under Sections 357B and 358 of the RMA, to object to any costs, I/we undertake to pay all and future processing costs incurred by the Council. Without limiting the Far North District Council's legal rights if any steps (including the use of debt collection agencies) are necessary to recover unpaid processing costs I/we agree to pay all costs of recovering those processing costs. If this application is made on behalf of a trust (private or family), a society (incorporated or unincorporated) or a company in signing this application I/we are binding the trust, society or company to pay all the above costs and guaranteeing to pay all the above costs in my/our personal capacity.

Name: DEE-ANN WOLFERSTAN (please print)

Signature:  (signature of bill payer – **mandatory**)      Date: 27th JULY 2024

## 14. Important Information:

### Note to applicant

You must include all information required by this form. The information must be specified in sufficient detail to satisfy the purpose for which it is required.

You may apply for 2 or more resource consents that are needed for the same activity on the same form.

You must pay the charge payable to the consent authority for the resource consent application under the Resource Management Act 1991.

### Fast-track application


Under the fast-track resource consent process, notice of the decision must be given within 10 working days after the date the application was first lodged with the authority, unless the applicant opts out of that process at the time of lodgement. A fast-track application may cease to be a fast-track application under section 87AAC(2) of the RMA.

### Privacy Information:

Once this application is lodged with the Council it becomes public information. Please advise Council if there is sensitive information in the proposal. The information you have provided on this form is required so that your application for consent pursuant to the Resource Management Act 1991 can be processed under that Act. The information will be stored on a public register and held by the Far North District Council. The details of your application may also be made available to the public on the Council's website, [www.fndc.govt.nz](http://www.fndc.govt.nz). These details are collected to inform the general public and community groups about all consents which have been issued through the Far North District Council.

**Declaration:** The information I have supplied with this application is true and complete to the best of my knowledge.

Name: Makarena Dalton (please print)

Signature:  (signature)

Date: 27/06/2024

(A signature is not required if the application is made by electronic means)

### Checklist (please tick if information is provided)

- Payment (cheques payable to Far North District Council) **please raise invoice and send to applicant**
- A current Certificate of Title (Search Copy not more than 6 months old)
- Copies of any listed encumbrances, easements and/or consent notices relevant to the application
- Applicant / Agent / Property Owner / Bill Payer details provided
- Location of property and description of proposal
- Assessment of Environmental Effects
- Written Approvals / correspondence from consulted parties
- Reports from technical experts (if required)
- Copies of other relevant consents associated with this application
- Location and Site plans (land use) AND/OR
- Location and Scheme Plan (subdivision)
- Elevations / Floor plans
- Topographical / contour plans

*Please refer to Chapter 4 of the District Plan for details of the information that must be provided with an application. Please also refer to the RC Checklist available on the Council's website. This contains more helpful hints as to what information needs to be shown on plans.*

**Only one copy of an application is required, but please note for copying and scanning purposes, documentation should be:**

**UNBOUND**

**SINGLE SIDED**

**NO LARGER THAN A3 in SIZE**





# Relocation of Two New Dwellings and Conversion of Two Existing Buildings

19 Bonnett Road, Kaitiaki

Assessment of Environmental Effects and Statutory Analysis

27 June 2024

**B&A**

Urban & Environmental

Prepared for:

Te Runanga a iwi o Ngati Kahu

B&A Reference:

WNG20509

Status:

Final

Date:

27 June 2024

Prepared by:



**Melissa Hallett**

Senior Planner, Barker & Associates Limited

Reviewed by:



**Melissa McGrath**

Senior Associate, Barker & Associates Limited

# Contents

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<b>1.0</b>	<b>Applicant and Property Details</b>	<b>5</b>
<b>2.0</b>	<b>Background</b>	<b>6</b>
<b>3.0</b>	<b>Site Context</b>	<b>6</b>
3.1	Site Description	6
3.2	Surrounding Locality	7
<b>4.0</b>	<b>Proposal</b>	<b>7</b>
<b>5.0</b>	<b>Reasons for Consent</b>	<b>8</b>
5.1	Far North District Plan	9
5.2	Activity Status	9
<b>6.0</b>	<b>Public Notification Assessment (Sections 95A, 95C and 95D)</b>	<b>9</b>
6.1	Assessment of Steps 1 to 4 (Sections 95A)	9
6.2	Section 95D Statutory Matters	10
6.3	Land Excluded from the Assessment	11
6.4	Assessment of Effects on the Wider Environment	12
6.5	Summary of Effects	15
6.6	Public Notification Conclusion	15
<b>7.0</b>	<b>Limited Notification Assessment (Sections 95B, 95E to 95G)</b>	<b>16</b>
7.1	Assessment of Steps 1 to 4 (Sections 95B)	16
7.2	Section 95E Statutory Matters	17
7.3	Assessment of Effects on Persons	17
7.4	Limited Notification Conclusion	18
<b>8.0</b>	<b>Consideration of Applications (Section 104)</b>	<b>19</b>
8.1	Statutory Matters	19
<b>9.0</b>	<b>Effects on the Environment (Section 104(1)(A))</b>	<b>19</b>
<b>10.0</b>	<b>District Plan and Statutory Documents (Section 104(1)(B))</b>	<b>20</b>
10.1	Objectives and Policies of the FNDP	20
10.2	Objectives and Policies of the Proposed Far North District Plan	21
10.3	Objectives and Policies of the Northland Regional Policy Statement	22
10.4	National Policy Statement Urban Development	23
10.5	Summary	24
<b>11.0</b>	<b>Part 2 Matters</b>	<b>24</b>
<b>12.0</b>	<b>Other Matters (Section 104(1)(C))</b>	<b>25</b>
12.1	Record of Title Interests	25
<b>13.0</b>	<b>Conclusion</b>	<b>25</b>

## Appendices

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- Appendix 1: Record of Title
- Appendix 2: Architectural Drawings
- Appendix 3: Engineering Assessment
- Appendix 4: Site Suitability Report
- Appendix 5: FNDP Rules Assessment



## 1.0 Applicant and Property Details

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To:	Far North District Council ( <b>FNDC</b> )
Site Address:	19 Bonnet Road, Kaitaia
Applicant Name:	Te Runanga a iwi o Ngāti Kahu
Address for Service:	Barker & Associates Ltd 20 Baxter Street Warkworth 0910 Attention: Melissa Hallett
Legal Description:	Lot 1 DP 210702 (refer to Record of Title as <b>Appendix 1</b> )
Site Area:	2128m <sup>2</sup>
Site Owner:	Te Iwi o Ngāti Kahu Trust
District Plan:	Far North Operative District Plan ( <b>FNDP</b> ) Far North Proposed District Plan ( <b>PDP</b> )
FNDP Zoning:	Residential
FNDP Precinct:	None
FNDP Overlays & Controls:	None
Designations:	None
Additional Limitations:	The site is identified within the Northland Regional Council, Regionwide mapping as being subject to 1-50 and 1-100 year River Flood Hazard. The site is not subject to flood hazard within the Northland Regional Council, Priority River Flood Hazard mapping.
Locality Diagram:	Refer to <b>Figure 1</b>
Brief Description of Proposal:	The proposal seeks to relocate two residential units to the application site and undertake a renovation of two existing buildings into an additional two residential units.
Summary of Reasons for Consent:	<b>FNDP:</b> Resource consent for land use to establish four residential units as a discretionary activity including non-compliance with relocated buildings, residential

intensity and stormwater services. A full list of reasons for consent is set out in **Section 5** of this report.

## 2.0 Background

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Te Runanga-a-Iwi o Ngāti Kahu (the Applicant) is the Iwi authority for Ngāti Kahu and includes representatives from every marae and hapu throughout Ngāti Kahu. Te Runanga-a-Iwi o Ngāti Kahu take responsibility for all government related matters including but not limited to the delivery of housing programmes for the people of Ngāti Kahu.

The proposal seeks to establish four dwellings on the application site owned by Te Iwi o Ngāti Kahu Trust as part of their housing delivery programme. The application site contains an existing community hall and a building that has been recently converted to a one-bedroom unit. This application proposes to change the use of both existing buildings to residential units, and the relocation of two additional residential units to site.

## 3.0 Site Context

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### 3.1 Site Description

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The subject site is located at 19 Bonnett Road, Kaitaia and is legally described as Lot 1 DP 210702. The site contains an existing community hall and detached one bedroom residential unit. The rear of the site is vacant and in lawn. The subject site has an area of 2128m<sup>2</sup>, and in terms of topography is relatively flat. The site is located within the area of benefit for three water servicing as identified on Council's GIS mapping. Power and telecommunications connections exist to the boundary. The existing hall and one bed-room unit have existing potable and wastewater connections to Council's reticulated network.

The site has an existing vehicle crossing to Bonnett Road located at the southern edge of the front boundary. Bonnett Road is a low-speed local road running east/west past the subject site with a footpath on the southern side of the road.



Figure 1: Locality plan. Source: Emaps.

### 3.2 Surrounding Locality

The surrounding environment is predominantly residential in nature. Built development typically features one-storey standalone residential units with some variety in architectural style. The site directly adjacent to the application site contains a series of ‘flat’ style residential units including two duplexes and a single detached dwelling on the one site.

In terms of amenities, a local dairy is located within 400m of the site with the commercial centre of Kaitaia being within a 1km walking radius. Mathews Park is within proximity to the site. Existing footpaths along Bonnett Road provides safe pedestrian access to these facilities.

## 4.0 Proposal

A summary of the key elements of the proposal is set out below. More detailed descriptions on particular aspects of the proposal are set out in the specialist reports and plans accompanying the application.

- Residential Units:** It is proposed to relocate two newly built stand-alone residential units, consisting of one two-bedroom dwelling and one three-bedroom dwelling to the site. The existing community hall is also proposed to be converted to a residential unit comprising of 4 bedrooms, in addition to the existing one-bedroom dwelling on site, tallying four residential units. The site layout, including associated access, parking and outdoor amenity areas are as

shown in **Figure 2** below. Further detail of the relocated residential units is provided on the drawings prepared by The Relocatable Home Co, included as **Appendix 2**.

- **Access and Parking:** The site has an existing vehicle crossing from Bonnett Road. The existing crossing will be retained and updated to a double width crossing, with the internal access being widened as necessary. On-site carparking space for each unit will be provided onsite carpark.
- **Traffic:** The development will exceed 20 daily one-way movements by an additional 10 movements as a result of having four dwellings on the subject site.
- **Earthworks:** Earthworks of approximately 64m<sup>3</sup> are proposed across the site to facilitate the proposal as indicated in the Site Plan prepared by The Relocatable Home Co provided as **Appendix 2**. Erosion and Sediment control will be undertaken in accordance with Auckland Council Standard GDO5.



**Figure 2: Site layout. Full scale image provided in Appendix 2.**

- **Servicing:** The servicing strategy for the proposed development is set out in the report by Haigh Workman, included as **Appendix 3**. In summary, it is concluded that all household units can be appropriately serviced in terms of access, stormwater, wastewater and water supply.
- **Site Suitability:** A Site Suitability Report prepared by T&A Structures Ltd has been completed for the site and is attached as **Appendix 4**. The findings of the report concludes that the site is suitable for development.

## 5.0 Reasons for Consent

A rules assessment against the provisions of the Far North District Plan ('FNDP') is attached as **Appendix 5**. The site is zoned Residential Zone and is not subject to any overlays. The proposal requires consent for the following matters.



## 5.1 Far North District Plan

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### 5.1.1 Residential Zone

- **7.6.5.1.1 Relocated Buildings:** The proposed buildings will be relocated to site and all work required to reinstate the exterior of the building will be completed within six months but the proposal does not comply with Rules 7.6.5.1.2 Residential Intensity. **Restricted discretionary activity.**
- **7.6.5.1.2 Residential Intensity:** The site is connected to sewer; the proposal does not comply with the permitted 600m<sup>2</sup> net site area per residential unit and will comply with the restricted discretionary threshold (300m<sup>2</sup> net site area). **Restricted discretionary activity.**
- **7.6.5.1.6 Stormwater Management:** The proposal does not comply with the controlled activity threshold of 600m<sup>2</sup> or 60% net site area as a total impervious area of 1224m<sup>2</sup> is proposed. **Discretionary activity.**

### 5.1.2 15 Transportation

- **15.1.6A.2.1 Traffic Intensity:** The development will exceed 20 daily one-way movements by an additional 10 movements. **Discretionary activity**
- **15.1.6B.1.1 On-site Car Parking Spaces:** Lots 1 & 2 are provided with one carparking space. **Discretionary activity.**

## 5.2 Activity Status

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Overall, this application is for a discretionary activity.

## 6.0 Public Notification Assessment (Sections 95A, 95C and 95D)

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### 6.1 Assessment of Steps 1 to 4 (Sections 95A)

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Section 95A specifies the steps the council is to follow to determine whether an application is to be publicly notified. These are addressed in statutory order below.

#### 6.1.1 Step 1: Mandatory public notification is required in certain circumstances

Step 1 requires public notification where this is requested by the applicant; or the application is made jointly with an application to exchange of recreation reserved land under section 15AA of the Reserves Act 1977.

The above does not apply to the proposal.

#### 6.1.2 Step 2: If not required by step 1, public notification precluded in certain circumstances.

Step 2 describes that public notification is precluded where all applicable rules and national environmental standards preclude public notification; or where the application is for a controlled activity; or a restricted discretionary, discretionary or non-complying boundary activity.

In this case, the applicable rules do not preclude public notification, and the proposal is not a controlled activity or boundary activity. Therefore, public notification is not precluded.

### 6.1.3 Step 3: If not required by step 2, public notification required in certain circumstances.

Step 3 describes that where public notification is not precluded by step 2, it is required if the applicable rules or national environmental standards require public notification, or if the activity is likely to have adverse effects on the environment that are more than minor.

As noted under step 2 above, public notification is not precluded, and an assessment in accordance with section 95A is required, which is set out in the sections below. As described below, it is considered that any adverse effects will be less than minor.

### 6.1.4 Step 4: Public notification in special circumstances

If an application is not required to be publicly notified as a result of any of the previous steps, then the council is required to determine whether special circumstances exist that warrant it being publicly notified.

Special circumstances are those that are:

- Exceptional or unusual, but something less than extraordinary; or
- Outside of the common run of applications of this nature; or
- Circumstances which make notification desirable, notwithstanding the conclusion that the adverse effects will be no more than minor.

The proposal seeks to undertake residential development within a Residential Zone.

It is considered that there is nothing noteworthy about the proposal. It is therefore considered that the application cannot be described as being out of the ordinary or giving rise to special circumstances.

## 6.2 Section 95D Statutory Matters

In determining whether to publicly notify an application, section 95D specifies a council must decide whether an activity will have, or is likely to have, adverse effects on the environment that are more than minor.

In determining whether adverse effects are more than minor:

- Adverse effects on persons who own or occupy the land within which the activity will occur, or any land adjacent to that land, must be disregarded.

The land to be excluded from the assessment is listed in section 6.3 below.

- Adverse effects permitted by a rule in a plan or national environmental standard (the 'permitted baseline') may be disregarded.

Development within the Residential Zone compliant with the performance standards of the Far North District Plan is a permitted activity. The proposed development is in breach of residential density, relocated buildings, stormwater management, parking and traffic generation requirements of the District Plan and has been assessed in relation to these breaches only.

- Trade competition must be disregarded.

This is not considered to be a relevant matter in this case.

- The adverse effects on those persons who have provided their written approval must be disregarded.

No persons have provided their written approval for this proposal.

The sections below set out an assessment in accordance with section 95D, including identification of adjacent properties, and an assessment of adverse effects.

### 6.3 Land Excluded from the Assessment

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In terms of the tests for public notification (but not for the purposes of limited notification or service of notice), the adjacent properties to be excluded from the assessment are shown in **Figure 3** below, and include:

- 16 Bonnett Road;
- 17 Bonnett Road;
- 18, 18B-D Bonnett Road;
- 20 Bonnett Road;
- 21 Bonnett Road;
- 8 Jamieson Road; and
- 15 Melody Lane.

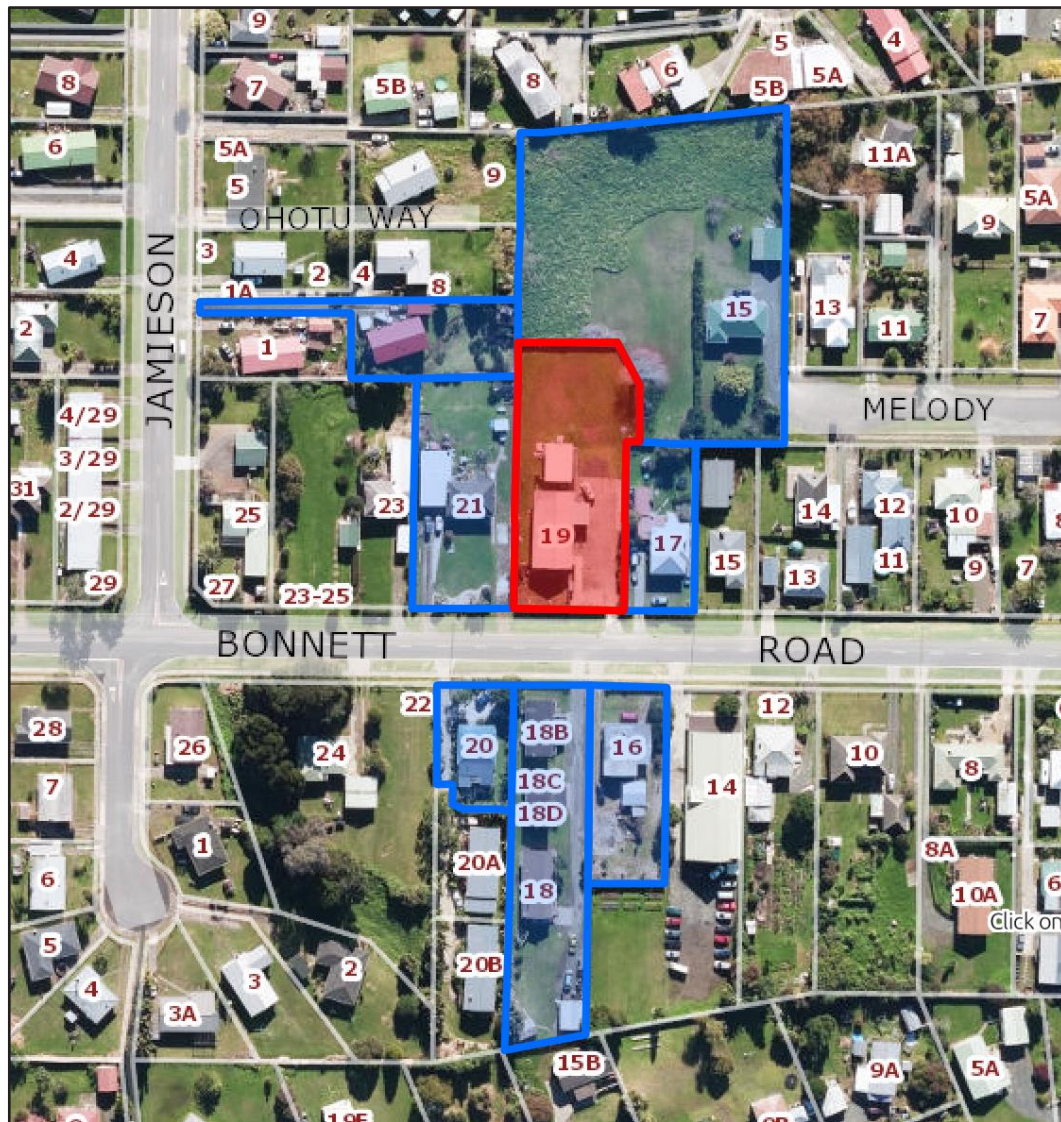


Figure 3: Adjacent properties in relation to subject site. Source: Emaps.

## 6.4 Assessment of Effects on the Wider Environment

The following sections set out an assessment of wider effects of the proposal, and it is considered that effects in relation to the following matters are relevant:

- Built character and amenity;
- Transportation;
- Infrastructure and servicing; and
- Construction activities.

These matters are set out and discussed below.

### 6.4.1 Built Character and Amenity

As described in **section 3.2** above, the surrounding locality is residential in nature, and typically features one-storey residential units with some variety in architectural style. Overall, the existing character of the area can be described as suburban.



Two residential units will be relocated to site following construction off site. Although the residential units will be relocated they are new built, as such it is considered there will be minimal reinstatement works required to the buildings. Any site reinstatement works will be completed within six months of arriving on site. The residential units proposed to be relocated are both stand alone, single level dwellings similar to those already found on Bonnett Road and the surrounding local streets.

While four residential units are proposed onsite, two existing buildings are established within the site. It is considered that the built character and amenity, associated with the proposed density, will appear consistent with the wider environment. The proposed buildings will be situated to the rear of the site and viewed within the context of the existing development on site. Given the size of the subject site, four residential units could be anticipated as a restricted discretionary activity.

The proposed buildings comply with all bulk and location controls for the Residential Zone, with the exception of impervious area) confirming from a built character and amenity perspective, the bulk of this development aligns with what is anticipated in the plan in this zone.

A timber paling fence is existing along the external boundaries providing a degree of privacy, and amenity for the future residents of each dwelling. Additional built form will be located at the rear of the site and will be only partially visible from the adjoining public realm from the location of the vehicle crossing.

The combination of the above factors will ensure that the proposed scale of residential activities will not visually dominate the suburban residential character of the locality. The development will enable the integration of the future residential development within this area which is anticipated to experience ongoing change in accordance with the residential zoning.

Overall, the proposal is considered to feature a carefully designed residential site layout, with residential units that address the street and public realm, and provide a high level of visual amenity. As such, any adverse effects on existing built character and amenity within the wider environment will be less than minor.

#### 6.4.2 Transportation

The proposed site layout provides for safe and efficient vehicle access to and from the site. The proposal seeks to upgrade the existing vehicle crossing from Bonnetts Road, to establish a double vehicle crossing width and an increased internal access width as necessary to comply. The existing crossing complies with the separation requirements from intersections and will comply with the relevant construction and design requirements in the FNDP.

When calculating traffic movements associated with the proposal in accordance with the Traffic Intensity Factors of the FNDP the proposal will result the equivalent of 40 one-way movements. The plan exempts 10 one way movements associated with the first dwelling onsite, therefore the proposal will exceed the permitted limit by an equivalent of 10 one-way movements.

As the larger community building onsite is to be repurposed from a community hall to a residential dwelling, the expected vehicle movements per day is expected to decrease from 45 to 20. Traffic intensity will decrease as a result of the proposed development.

It is considered that the actual traffic movements will be much less than the equivalents anticipated in the FNDP, due to the size and scale of residential units proposed. One single-bedroom and one two-bedroom residential units are proposed, which will result in less traffic

movements than those associated with two larger residential units. Furthermore, it is considered that the proposed upgraded vehicle crossing and the existing roading network can readily absorb the vehicle movements.

Each of the residential units will be provided with one car park, which is considered to be adequate given the size and scale of residential units and should additional parking be required on occasion, road side parking is available within the adjoining local streets.

Overall, it is considered that any adverse effects with respect to transportation-related matters in the wider environment will be less than minor and acceptable.

### 6.4.3 Servicing

The site is within the area of benefit for three waters as identified on Council's GIS mapping system and connection to Council's infrastructure is proposed. Detail regarding the provision of infrastructure has been considered and further detailed in the servicing report prepared by Haigh Workman (**Appendix 4**). The proposed development will be connected to reticulated systems, with sufficient capacity for wastewater and stormwater disposal, and potable water and firefighting water supplies.

The proposal will include an increase in impervious area which will exceed the permitted activity limit, the Servicing Report has analysed the potential increase in stormwater run off from the proposed development and recommended the installation of an onsite stormwater detention tank to manage stormwater flows and mitigate effects.

Section 6.2.3 of the Servicing Report states:

*It is proposed that a standard 10000L HDPE tank (with 2.25m diameter and 2.9m height) be utilised for the detention tank. The intake of the detention tank is to be the roof water collection of the four dwellings (497m<sup>2</sup> total roof area). With a 35mm internal diameter outlet orifice 7.6L/sis attenuated in a 10% AEP event. offsets the runoff effects from the proposed development. Outflows are to be directed to a 150mm stormwater line connecting laterally to the main stormwater line in the Bonnetts Road corridor.*

Subject to compliance with the recommendations of the Servicing Report and compliance with conditions of consent it is considered that the proposal it is considered that the proposed development can be suitably serviced and will not generate any adverse effects on the wider environment in this regard.

### 6.4.4 Construction activities

Minor earthworks of up to 64m<sup>3</sup> are required to facilitate the development as indicated in the Earthworks Plan provided as **Appendix 2**. During construction it is proposed to install sediment and erosion control measures, which will be designed in accordance with the Auckland Council guidelines prescribed in Guideline Document 2016/005 ('GD05'). This will ensure that the appropriate amount of sediment is removed from stormwater runoff prior to discharge from the site. On the basis of the above, it is considered that any adverse effects associated with silt and sediment runoff (and resulting effects on water quality) will be less than minor.

It is anticipated that the construction works will be able to comply with the FNDP noise and vibration standards having regard to the nature of the proposal. It is considered that any adverse effects associated with noise and vibration would be temporary in nature, and are considered to be less than minor.

There is sufficient space on the subject site and within the surrounding road reserves to provide for parking for construction vehicles. Traffic and parking capacity effects of the construction period will be able to be appropriately managed and will be temporary in nature.

Overall, it is considered that any adverse construction effects will be less than minor, as a result of the nature and proposed management of the works.

#### 6.4.5 Impact on Sites of Significance to Māori and Historic Heritage

There are no sites of historic heritage including Sites of Significance to Māori identified on FNDC's GIS system. The proposal will not have any adverse effects on cultural values, historic heritage or the surrounding environment. As such, it is considered that any cultural and historic heritage effects of the proposed subdivision will be less than minor.

#### 6.4.6 Natural Hazards

The subject site is not identified in the Northland Regional Council Priority River hazard maps as subject to flooding. The site is not subject to flooding, however the retention basin to the north of Site does experience ponding in a 1% AEP flood event. Flood mapping shows that the 1% AEP inundation can be expected on the adjacent properties to the west and north of the Site up to 13.0m RL (NZVD 2016).

The Engineering Report has evaluated this risk and recommends that the relocated buildings be established with a minimum floor level of 13.5m RL (NZVD 2016). This allows 500mm freeboard as stipulated in the NZ Building Code. The proposed elevation of the two relocatable dwellings at the northern end of the Lot is 13.7m and exceeds the minimum. The floor level of the existing community building to be repurposed to a residential unit is approximately 500mm above the existing ground level and is expected to exceed the 13.5m RL minimum required.

As discussed in section 6.4.3 the proposal will establish onsite detention and stormwater management to ensure that the proposal will not result in an increase in flooding to adjacent sites.

For these reasons it is considered that the adverse effects on the wider environment to be less than minor.

#### 6.4.7 Summary of Effects

Overall, it is considered that any adverse effects on the wider environment relating to this proposal will be less than minor.

### 6.5 Public Notification Conclusion

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Having undertaken the section 95A public notification tests, the following conclusions are reached:

- Under step 1, public notification is not mandatory;
- Under step 2, public notification is not precluded;
- Under step 3, public notification is not required as it is considered that the activity will result in less than minor adverse effects; and
- Under step 4, there are no special circumstances.

Therefore, based on the conclusions reached under steps 3 and 4, it is recommended that this application be processed without public notification.

## 7.0 Limited Notification Assessment (Sections 95B, 95E to 95G)

### 7.1 Assessment of Steps 1 to 4 (Sections 95B)

If the application is not publicly notified under section 95A, the council must follow the steps set out in section 95B to determine whether to limited notify the application. These steps are addressed in the statutory order below.

#### 7.1.1 Step 1: Certain affected protected customary rights groups must be notified

Step 1 requires limited notification where there are any affected protected customary rights groups or customary marine title groups; or affected persons under a statutory acknowledgement affecting the land.

The above does not apply to this proposal.

#### 7.1.2 Step 2: Certain affected protected customary rights groups must be notified

Step 2 describes that limited notification is precluded where all applicable rules and national environmental standards preclude limited notification; or the application is for a controlled activity (other than the subdivision of land).

In this case, the applicable rules do not preclude limited notification and the proposal is not a controlled activity. Therefore, limited notification is not precluded.

#### 7.1.3 Step 3: If not precluded by step 2, certain other affected persons must be notified

Step 3 requires that, where limited notification is not precluded under step 2 above, a determination must be made as to whether any of the following persons are affected persons:

- In the case of a boundary activity, an owner of an allotment with an infringed boundary;
- In the case of any other activity, a person affected in accordance with s95E.

The application is not for a boundary activity, and therefore an assessment in accordance with section 95E is required and is set out below.

Overall, it is considered that any adverse effects on persons will be less than minor, and accordingly, that no persons are adversely affected.

#### 7.1.4 Step 4: Further notification in special circumstances

In addition to the findings of the previous steps, the council is also required to determine whether special circumstances exist in relation to the application that warrant notification of the application to any other persons not already determined as eligible for limited notification.

In this instance, having regard to the assessment in section 6.1.4 above, it is considered that special circumstances do not apply.



## 7.2 Section 95E Statutory Matters

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If the application is not publicly notified, a council must decide if there are any affected persons and give limited notification to those persons. A person is affected if the effects of the activity on that person are minor or more than minor (but not less than minor).

In deciding who is an affected person under section 95E:

- Adverse effects permitted by a rule in a plan or national environmental standard (the 'permitted baseline') may be disregarded;
- Only those effects that relate to a matter of control or discretion can be considered (in the case of controlled or restricted discretionary activities); and
- The adverse effects on those persons who have provided their written approval must be disregarded.

These matters were addressed in section 6.2 above, and no written approvals have been provided.

Having regard to the above provisions, an assessment is provided below.

## 7.3 Assessment of Effects on Persons

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Adverse effects in relation to character and amenity, visual dominance, shading, privacy, residential intensity and subdivision layout on persons are considered below.

Wider effects, such as built character and amenity, transportation, servicing, construction activities and natural hazards were considered in section 6.4 above, and it is considered that any adverse effects in this regard will be less than minor in terms of the wider environment, the same applies in regards to these matters, where relevant, in the localised context.

### 7.3.1 14, 16, 18, 18A-18D, 20 and 22 Bonnett Road Kaitaia

These sites are located to the south of the subject site on the opposite side of Bonnett Road, the proposed new residential units will be located to the north of the subject site behind existing built form. The proposed development will not result in any visual dominance or loss of privacy of these sites. The proposal will result in a change in the nature of traffic movements from the subject site more akin to the surrounding residential character of Bonnett Road.

### 7.3.2 17 Bonnett Road Kaitaia

17 Bonnett Road Kaitaia, is located to the east of the subject site. The existing residential unit within this site is located centrally within the site, affording a separation of approximately 12m between the existing community building proposed to be converted to residential use and the adjacent residential unit. The proposed relocated residential units will be located to the rear of the subject site and will be well separated from 17 Bonnett Road. The proposal will not change the existing fencing which affords a level of visual separation and privacy for 17 Bonnett Road.

For these reasons it is considered that the proposed development will not result in any visual dominance or loss of privacy for 17 Bonnett Road, Kaitaia. Furthermore, it is considered that the conversion of the community building to a residential use will maintain the residential character and amenity of the subject site improving the amenity of 17 Bonnett Road.

### 7.3.3 21 Bonnett Road Kaitaia

21 Bonnett Road Kaitaia, is located to the west of the subject site. The existing residential unit within this site is located centrally within the site, affording a separation of approximately 10m between the existing community building proposed to be converted to residential use and the adjacent residential unit. The proposed relocated residential units will be located to the rear of the subject site and will be well separated from the residential unit within 21 Bonnett Road. The proposal will not change the existing fencing which affords a level of visual separation and privacy for 21 Bonnett Road.

For these reasons it is considered that the proposed development will not result in any visual dominance or loss of privacy for 21 Bonnett Road, Kaitaia. Furthermore, it is considered that the conversion of the community building to a residential use will maintain the residential character and amenity of the subject site improving the amenity of 21 Bonnett Road.

### 7.3.4 Jamison Road Kaitaia (Lot 5 DP 53857) and 15 Melody Lane Kaitaia

These sites are located to the north of the subject site. Both sites contain existing residential units which are well setback from the subject site. The proposed relocated residential units will be located to the rear of the subject site and visible from these sites. The proposed buildings (relocated residential units) will comply with all minimum building height, setback and sunlight standards and will therefore not result in visual dominance, loss of privacy or sunlight within these adjacent properties. Whilst the additional residential units will be visible from these sites, it is considered that the nature of the development, including the introduction of smaller single and two-bedroom units are akin to that of a single large residential unit.

Furthermore, it is considered that the conversion of the community building to a residential use will maintain the residential character and amenity of the subject site improving the amenity of these adjacent sites.

### 7.3.5 Summary of Effects

Taking the above into account, it is considered that any adverse effects on persons at the aforementioned properties beyond the permitted baseline will be less than minor in relation to visual dominance, residential intensity and traffic movements effects. Wider effects were assessed in section 6.4 above and are considered to be less than minor.

It is considered, therefore, that there are no adversely affected persons in relation to this proposal.

## 7.4 Limited Notification Conclusion

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Having undertaken the section 95B limited notification tests, the following conclusions are reached:

- Under step 1, limited notification is not mandatory;
- Under step 2, limited notification is not precluded;
- Under step 3, limited notification is not required as it is considered that the activity will not result in any adversely affected persons; and
- Under step 4, there are no special circumstances.

Therefore, it is recommended that this application be processed without limited notification.

## 8.0 Consideration of Applications (Section 104)

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### 8.1 Statutory Matters

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Subject to Part 2 of the Act, when considering an application for resource consent and any submissions received, a council must, in accordance with section 104(1) of the Act have regard to:

- Any actual and potential effects on the environment of allowing the activity;
- Any relevant provisions of a national environmental standard, other regulations, national policy statement, a New Zealand coastal policy statement, a regional policy statement or proposed regional policy statement; a plan or proposed plan; and
- Any other matter a council considers relevant and reasonably necessary to determine the application.

As a discretionary activity, section 104B of the Act states that a council:

- (a) may grant or refuse the application; and
- (b) if it grants the application, may impose conditions under section 108.

## 9.0 Effects on the Environment (Section 104(1)(A))

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In the context of the wider environment the following actual and potential effects of the proposed activity were assessed:

- built character and amenity (including visual dominance, intensity and traffic movements);
- transportation;
- infrastructure and servicing;
- construction activities; and
- natural hazards

Having regard to these actual and potential effects on the environment, and the mitigation measures proposed which include carefully considered siting and design, it was concluded in the assessment above that any wider adverse effects relating to the proposal will be less than minor and that no persons would be adversely affected by the proposal.

Further, it is considered that the proposal will also result in positive effects including:

- The development of three residential units in an established residential area that will give effect to the environmental quality and amenity value outcomes sought by the FNDP;
- The housing will provide a positive response to increased demand for housing, and importantly a range of housing typologies. It will provide warm, dry, safe and low maintenance homes that will accommodate residents'; and
- The additional homes will provide living opportunities that are in close proximity to a range of local amenities.

Overall, it is considered that when taking into account the positive effects, any actual and potential adverse effects on the environment of allowing the activity are acceptable.

## 10.0 District Plan and Statutory Documents (Section 104(1)(B))

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### 10.1 Objectives and Policies of the FNDP

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#### 10.1.1 Chapter 7 Urban Environment & Chapter 7.6 Residential Zone

Given the sites location within the Residential Zone, the objectives and policies of Chapter 7 Urban Environment have been considered. Objectives 7.3.1 – 7.3.6 Urban Environment Chapter generally seek to enable a variety of urban activities, particularly where infrastructure is underutilised, where adverse effects on the environment and the character and amenity of the area are not adversely affected.

The policies of relevance (7.4.1-7.4.5, and 7.4.6- 7.4.9) seek to provide for this by ensuring that the level of effect is commensurate with what is appropriate for a residential setting, and that new urban development avoids adversely effecting natural values, areas of natural hazards where it could adversely affect the physical resources of the urban environment or pose a risk to safety. In addition, they seek to ensure that adverse effects on infrastructure are avoided, remedied or mitigated, and that urban areas with distinctive characteristics will be managed to maintain and enhance that value.

Objectives of relevance within Chapter 7.6 Residential Zone (7.6.3.1 ,7.6.3.2 and 7.6.3.3) further refine this by specifying that development of new residential areas should be at similar densities sites to existing residential areas, that a wide range of activities should be enabled where the effects are compatible with residential activities and that special amenity values on urban fringes should be protected.

The policies of particular relevance (7.6.4.4, 7.6.4.7 – 7.6.4.6.10) seek to achieve this by providing for a range of housing types and forms, have sufficient land to provide for on-site amenity, parking and manoeuvring.

It is considered that the proposal generally accords with the objectives and policies of these chapter for the following reasons:

- The only natural hazard applicable to the site is flooding. Fixed floor levels and stormwater management has been designed on the latest available information to ensure that no exacerbation of the flood risk results, and that there are no adverse effects to the safety of future residents;
- The proposal will result in efficient use of infrastructure through intensification within an existing residential area which is considered a sustainable outcome;
- While it is acknowledged that the proposed lot size is slightly smaller to the current lot sizes on Masters Place, the residential intensity and style of buildings proposed is consistent with the surrounding environment. The proposal also makes efficient use of a serviced site while ensuring that the character and amenity of the existing environment (which in this case is not considered to be 'distinctive' or 'special' in anyway) is not adversely affected through sensitive design and site layout;



- Onsite amenity has been carefully considered:
  - Detailed site planning and building design has been applied to ensure that a good level of internal and external amenity is provided for each residential unit. It is considered that future residents will experience a good level of amenity and liveability, and privacy through central placements of the dwellings creating spacious outdoor areas with good solar access.
  - The internal layouts are efficiently designed, and all of the residential units are relatively generous in terms of their floor area, including modest sized bedrooms and living areas as detailed on the floor plans in **Appendix 2**. The living areas of each of the respective units open onto spacious outdoor lawn areas. The outdoor spaces are directly accessible from main living areas, which have reasonably generous areas of glazing to allow for good daylight and solar access.
  - Overall, the size, private open space, daylight access, and ventilation of the proposed units will provide quality living environments for future residents. The proposed landscaping treatment, which includes a variety of hardscape surfaces and planting (including fruit trees), will also provide positive benefits for the residents.
- The development complies with the bulk and location controls and therefore is in keeping with the anticipated built form. Careful consideration has been given to ensuring a level of privacy and peacefulness both internally and externally as assessed earlier and it considered that the potential to adversely affect adjacent residential activities in this regard have been avoided or mitigated through careful placement to ensure that less than minor effects will result when considering the permitted baseline. In summary, the density proposed enables a range of housing that meets the needs of the community while remaining consistent with the general character of the neighbourhood. As such, it is considered that the proposal sits comfortably with policy direction for this zone.

### 10.1.2 Chapter 15 Transportation

The relevant objectives (15.1.3.1, 15.1.3.3, and 15.1.3.5) and policies (15.1.4.1 – 15.1.4.4, 15.1.4.6 -15.1.4.7) generally seek to ensure adverse effects on the existing transportation network are minimised, and that appropriate provision for carparking, pedestrian safety and efficient movement of vehicles is provided for.

The proposal results in some non-compliances with the transportation chapter due to the reduced number of carparks proposed for one unit and the number of vehicle movements generated from the site. However as assessed earlier, this does not compromise the ability for pedestrian safety and efficient movement of vehicles to be accommodated within the site, and at the interface with the wider environment.

The proposal will result in increased traffic movements, but the volume of anticipated traffic movements accords with what is anticipated in this zoned.

In summary, the proposal is in keeping with the objectives and policies of this chapter.

## 10.2 Objectives and Policies of the Proposed Far North District Plan

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The proposed Far North District Plan is operative in part with only limited provisions having immediate legal effect.

### 10.2.1 General Residential Zone

Objectives of the General Residential Zone seek to provide a variety of densities, housing types and lot sizes, consolidate urban residential development where appropriately serviced, functional and high amenity living environments and build resilient communities.

The objectives are met as the proposal is for four new residential units in the General Residential Zone within an existing residential area of Kaitaia. The proposal has adequate connection to development infrastructure and has a high amenity living environment, this supports the role and function of the General Residential Zone.

Policies of the General Residential Zone seek to enable development where it can be appropriately serviced, is consistent with the scale, character and amenity anticipated in the residential environment, incorporates onsite water storage, and provides for high quality residential environments.

The above is met as the proposal is for two new residential dwellings in the General Residential Zone. The proposal has adequate connection to development infrastructure and has a high amenity living environment that has sufficient outdoor living space and access to sunlight, supporting the role and function of the general residential zone.

While the proposed objectives and policies have little relevance as they do not have any immediate effect, it is considered that the proposal achieves the anticipated outcomes sought by the zone.

### 10.3 Objectives and Policies of the Northland Regional Policy Statement

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The Northland Regional Policy Statement (**NRPS**) covers the management of natural and physical resources across the Northland Region. The provisions within the NRPS give guidance at a higher planning level in terms of the significant regional issues. As such it does not contain specific rules that trigger the requirement for consent but rather give guidance to consent applications and the development of District Plans on a regional level.

Amongst other things the RPS presents policies regarding regional form in 5.1.1 which are relevant for the consideration of the proposed development.

#### 5.1.1 Policy – Planned and coordinated development

Subdivision, use and development should be located, designed and built in a planned and co-ordinated manner which:

- (a) Is guided by the 'Regional Form and Development Guidelines' in Appendix 2;
- (b) Is guided by the 'Regional Urban Design Guidelines' in Appendix 2 when it is urban in nature;
- (c) Recognises and addresses potential cumulative effects of subdivision, use, and development, and is based on sufficient information to allow assessment of the potential long-term effects;
- (d) Is integrated with the development, funding, implementation, and operation of transport, energy, water, waste, and other infrastructure;
- (e) Should not result in incompatible land uses in close proximity and avoids the potential for reverse sensitivity;
- (f) Ensures that plan changes and subdivision to / in a primary production zone, do not materially reduce the potential for soil-based primary production on land with highly versatile soils<sup>10</sup>,

or if they do, the net public benefit exceeds the reduced potential for soil-based primary production activities; and

- (g) Maintains or enhances the sense of place and character of the surrounding environment except where changes are anticipated by approved regional or district council growth strategies and / or district or regional plan provisions.
- (h) Is or will be serviced by necessary infrastructure.

Particular consideration has been given to 5.1.1(a) and (b) and it is considered that the proposal is in accordance with the Regional Form Development Guidelines and the Regional Urban Design Guidelines. In particular, the proposed development incorporates quality urban design principles including context, character, choice, connections, creativity custodianship and collaboration.

With specific reference to 5.1.1(d) and (h), the proposal can be adequately serviced in terms of transportation, water, wastewater, and stormwater by existing and proposed infrastructure as highlighted within the Engineering Report (see **Appendix 4**).

In addition, the proposed development is considered to be compatible with the predominantly residential land uses. It is considered that the sense of place and character associated with the surrounding environment will be maintained. It is highlighted that the bulk of the built development complies with what is permitted in this zone and the intensity of development is similar to that which can be anticipated as a restricted discretionary activity in this zone. Thereby, the proposal satisfies 5.1.1(e) and (g).

For these reasons, it is considered that the proposal is consistent with the relevant RPS provisions.

#### 10.4 National Policy Statement Urban Development

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The National Policy Statement Urban Development 2020 (**NPS UD**) requires councils to plan well for growth and ensure a well-functioning urban environment for all people, communities and future generations. The NPS UD also provides Councils the necessary policy direction to allow further urbanisation where it may not have previously been anticipated or supported by operative planning frameworks.

The NPS UD 2020 recognises the national significance of:

- Having well-functioning urban environments that enable all people and communities to provide for their social, economic, and cultural wellbeing, and for their health and safety, now and into the future.
- Providing sufficient development capacity to meet the different needs of people and communities.

Kaitaia is not captured as a tier 1-3 urban environment currently, but could be within the lifetime of this policy statement. Regardless, the general direction of the NPS UD seeks to support the appropriate urbanisation and intensification of land zoned residential land which has high accessibility to open space, schools and commercial centres (as outlined in section 3.1) is considered to be of some relevance. Whilst the density proposed does not meet the minimum requirements of the ODP to be assessed as a controlled activity, the NPS UD further supports the proposed land use and subdivision. In particular, the proposal:

- Provides for additional household units which will result in a more efficient use of the site, as anticipated and required by the NPS UD;

- Allows for greater intensification of residential activities in an area that is already zoned for residential development and that is already serviced by existing infrastructure and a public transport network;
- Contributes to a well-functioning urban environment by enabling a range of homes to meet the needs, in terms of type, price and location, of different households;
- Provides an opportunity for an urban environment, including its amenity value, to develop and change over time; and
- Is generally consistent with Central Governments expectations for forthcoming urban infill developments for urban environments.

For these reasons the proposal is considered consistent with the relevant provisions of the NPS-UD.

## 10.5 Summary

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It is considered that the proposed development is generally in accordance with the objectives and policies of the FNDP, NRPS and NPS UD.

## 11.0 Part 2 Matters

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Section 5 of Part 2 identifies the purpose of the RMA as being the sustainable management of natural and physical resources. This means managing the use, development and protection of natural and physical resources in a way that enables people and communities to provide for their social, cultural and economic well-being and health and safety while sustaining those resources for future generations, protecting the life supporting capacity of ecosystems, and avoiding, remedying or mitigating adverse effects on the environment.

Section 6 of the Act sets out a number of matters of national importance including (but not limited to) the protection of outstanding natural features and landscapes and historic heritage from inappropriate subdivision, use and development.

Section 7 identifies a number of “other matters” to be given particular regard by Council and includes (but is not limited to) Kaitiakitanga, the efficient use of natural and physical resources, the maintenance and enhancement of amenity values, and maintenance and enhancement of the quality of the environment.

Section 8 requires Council to take into account the principles of the Treaty of Waitangi.

Overall, as the effects of the proposal are considered to be less than minor and acceptable, and the proposal accords with the relevant FNDP objectives and policies, it is considered that the proposal will not offend against the general resource management principles set out in Part 2 of the Act.



## 12.0 Other Matters (Section 104(1)(C))

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### 12.1 Record of Title Interests

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The Record of Title for the site is not subject to any interests (refer **Appendix 1**).

## 13.0 Conclusion

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The proposal involves the relocation of two new residential units, and conversion of an existing community building to a residential unit at 19 Bonnetts Road, Kaitaia.

Based on the above report it is considered that:

- Public notification is not required as adverse effects in relation to built character and amenity, transportation, infrastructure and servicing and construction are considered to be less than minor. There are also positive effects including two new residential units within an established residential neighbourhood;
- Limited notification is not required as no persons at adjacent properties are considered to be adversely affected by the proposal. While the density of development is not necessarily consistent with the immediately adjoining properties this on its own does not necessarily generate adverse effects. In this instance, when taking into account the planned built environment, the design, landscaping, and separation distances achieved it considered that effects on adjoining properties will be less than minor;
- The proposal accords with the relevant FNDC, NRPS and NPS UD; and
- The proposal is considered to be consistent with Part 2 of the Act.

It is therefore concluded that the proposal satisfies all matters the consent authority is required to assess, and that it can be granted on a non-notified basis.



**RECORD OF TITLE  
UNDER LAND TRANSFER ACT 2017  
FREEHOLD  
Search Copy**



  
R. W. Muir  
Registrar-General  
of Land

**Identifier** **NA138C/129**  
**Land Registration District** **North Auckland**  
**Date Issued** 01 March 2002

**Prior References**  
NA58C/706

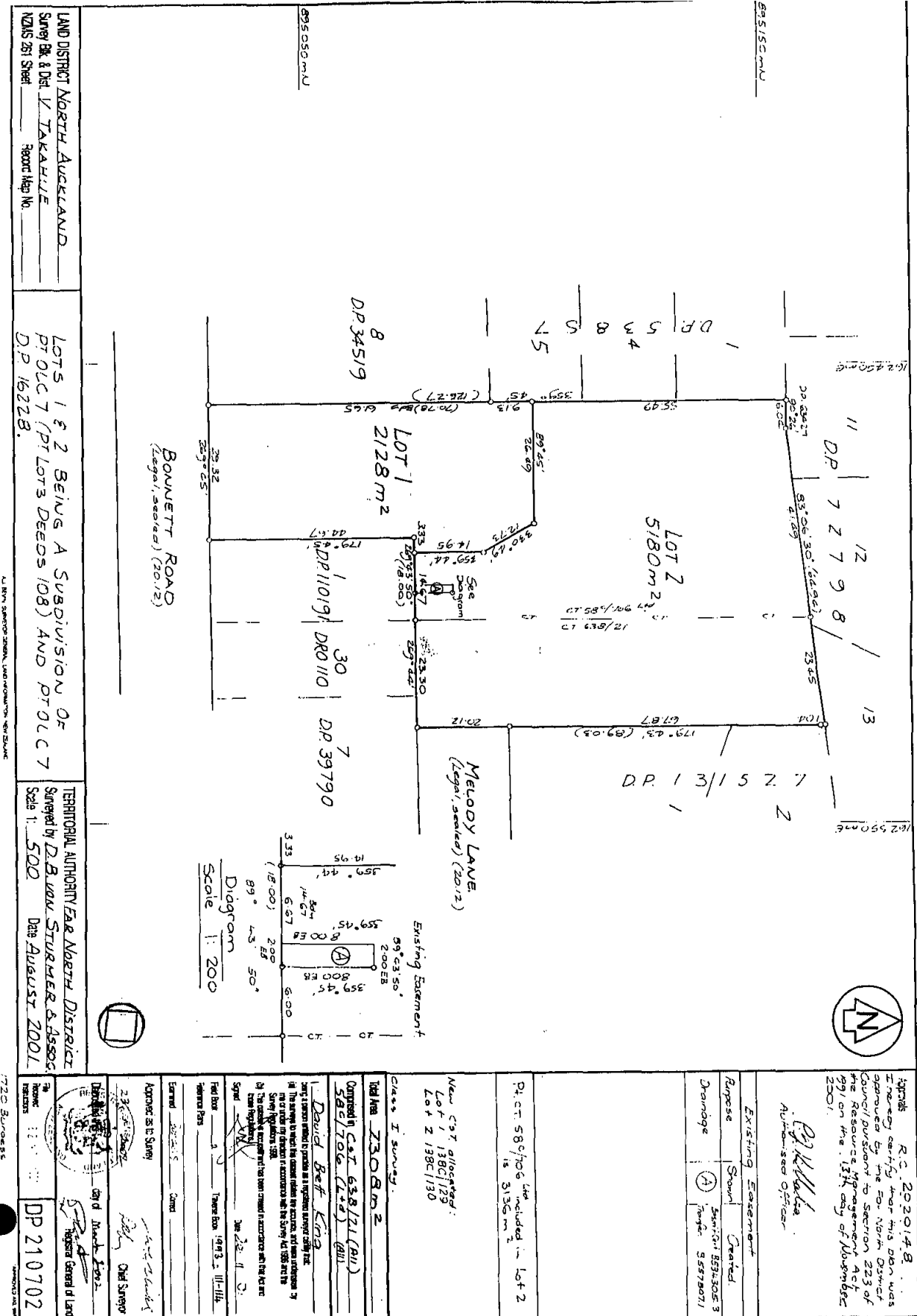
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**Estate** Fee Simple  
**Area** 2128 square metres more or less  
**Legal Description** Lot 1 Deposited Plan 210702

**Registered Owners**  
Te Iwi o Ngati Kahu Trust

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**Interests**



LAND DISTRICT NORTH AUCKLAND  
Survey Plan & Dist. **YAKAHLE**  
NZMS 261 Sheet \_\_\_\_\_ Report Map No. \_\_\_\_\_

LOTS 1 & 2 BEING A SUBDIVISION OF  
PT OLC 7 (PT LOTS DEEDS 108) AND PT OLC 7  
D.P. 162228.

TERRITORIAL AUTHORITY FOR NORTH DISTRICT  
Surveyed by **D.B. VAN STURMER & ASSOC**  
Scale 1:500 Date **AUGUST 2001**

DP 210702

<p>Hydrant R.C. 202014.B I hereby certify that this plan was approved by the North District Council pursuant to Section 223 of the Resource Management Act 1991 on the 13th day of November 2001.</p> <p><i>P. J. W. W. W.</i> Authorised Officer</p>							
<p>Existing Easement</p> <table border="1"> <tr> <th>Purpose</th> <th>Shown</th> <th>Created</th> </tr> <tr> <td>Drainage</td> <td>(A)</td> <td>Survey: 1531/3053 Map: 5537/2071</td> </tr> </table>	Purpose	Shown	Created	Drainage	(A)	Survey: 1531/3053 Map: 5537/2071	<p>Part 58 of 1966 Act included in Lot 2 is 3135 m<sup>2</sup></p> <p>New 397 allocated: Lot 1 138C/129 Lot 2 138C/130</p> <p>Class I Survey.</p> <p>Total Area 1308 m<sup>2</sup></p> <p>Comprised of 3 PT 63.8/21 (B11) 58C/106 (L+P) (B11)</p> <p>1. David Beth King Being a person entitled to practice as a registered surveyor in the North Island of New Zealand under the provisions of the Survey Act 1980 and the Survey Regulations 1981. By the Surveyor General in the presence of the Surveyor General's Deputies. Signed <i>[Signature]</i> on the 22nd day of August 2001.</p> <p>Full name: _____ Thames Road 1993 - 111-113. Thames Road</p> <p>Surveyed: _____ Checked: _____</p> <p>Approved as to Survey: <i>[Signature]</i> Surveyor General</p> <p>23/08/2001 Dated: _____ Signed: _____ Registered General of Land</p>
Purpose	Shown	Created					
Drainage	(A)	Survey: 1531/3053 Map: 5537/2071					

DRAWING INDEX			
Drq No.	Drawing Name	Scale	Revision
A010	OVERALL SITE PLAN	1:500, 1:200	02
A011	PROPOSED SITE PLAN	1:150, 1:200	02
A020	SITE EARTHWORKS & SERVICES PLAN	1:200	02
<b>3 Bedroom Dwelling</b>			
B080	3 BED FOUNDATION PLAN	1:100, 1:20	01
B081	3 BED PLUMBING PLAN	1:100	01
B100	3 BED EXISTING FLOOR PLAN	1:100	01
B101	3 BED PROPOSED FLOOR PLAN	1:100	01
B200	3 BED NORTH ELEVATIONS	1:100	01
B201	3 BED EAST ELEVATIONS	1:100	01
B202	3 BED SOUTH ELEVATIONS	1:100	01
B203	3 BED WEST ELEVATIONS	1:100	01
B300	3 BED CROSS SECTIONS	1:100	01

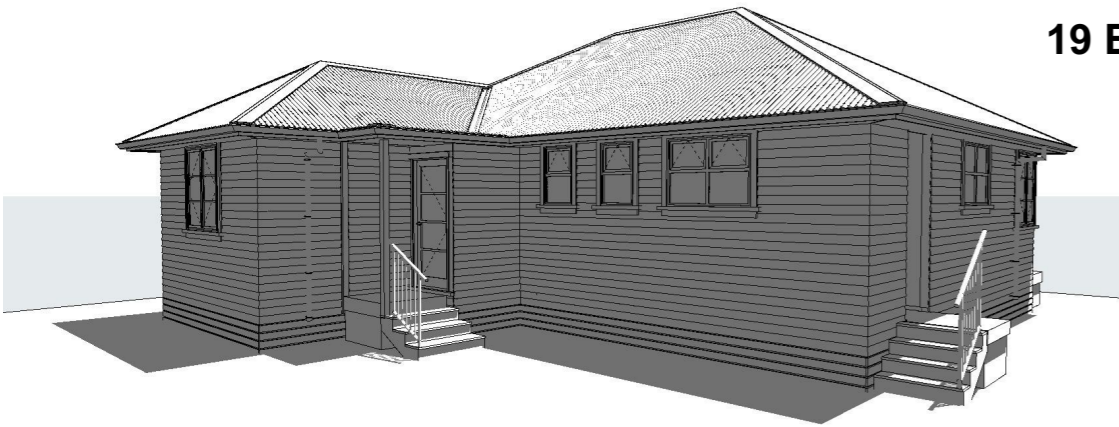
<b>2 Bedroom Dwelling</b>			
C080	2 BED FOUNDATION PLAN	1:100, 1:20	01
C081	2 BED PLUMBING PLAN	1:50, 1:100	01
C100	2 BED EXISTING FLOOR PLAN	1:100	01
C101	2 BED PROPOSED FLOOR PLAN	1:100	01
C200	2 BED NORTH ELEVATIONS	1:100	01
C201	2 BED EAST ELEVATIONS	1:100	01
C202	2 BED SOUTH ELEVATIONS	1:100	01
C203	2 BED WEST ELEVATIONS	1:100	01
C300	2 BED CROSS SECTIONS	1:100	01

<b>Details</b>			
D400	FOUNDATION DETAILS	1:20, 1:10	01
D401	FOUNDATION DETAILS	1:20, 1:5	01
D402	FOUNDATION DETAILS	1:20	01
D410	OUTDOOR/DECK DETAILS	1:5	01
D430	CLADDING DETAILS	1:5	01
D450	WALL DETAILS	1:10, 1:20	01
D451	WALL DETAILS	1:20, 1:10	01
D460	JOINING DETAILS	1:30	01
D470	ROOF DETAILS	1:30	01
D480	E3, G11 & G12 DETAILS	1:5, 1:20	01
D490	GIB AQUALINE DETAILS	1:1	01

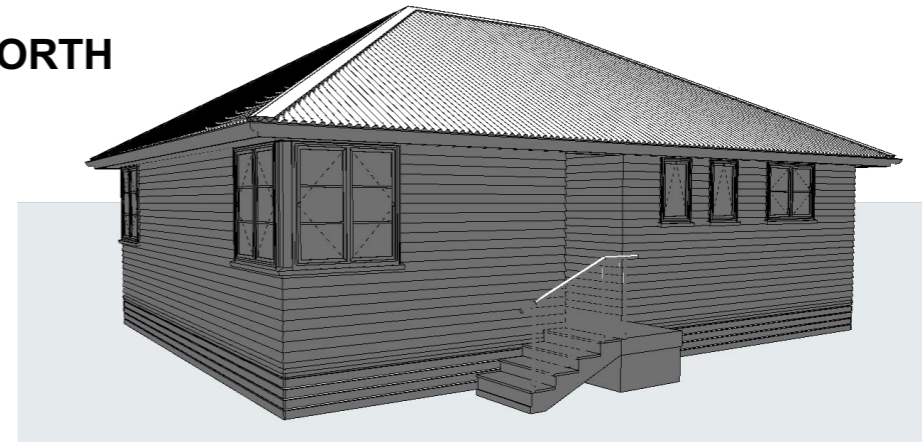
## BUILDING CONSENT

Rev	Date	Description
01	13/05/2024	BC ISSUE
02	27/06/2024	As per RC Application

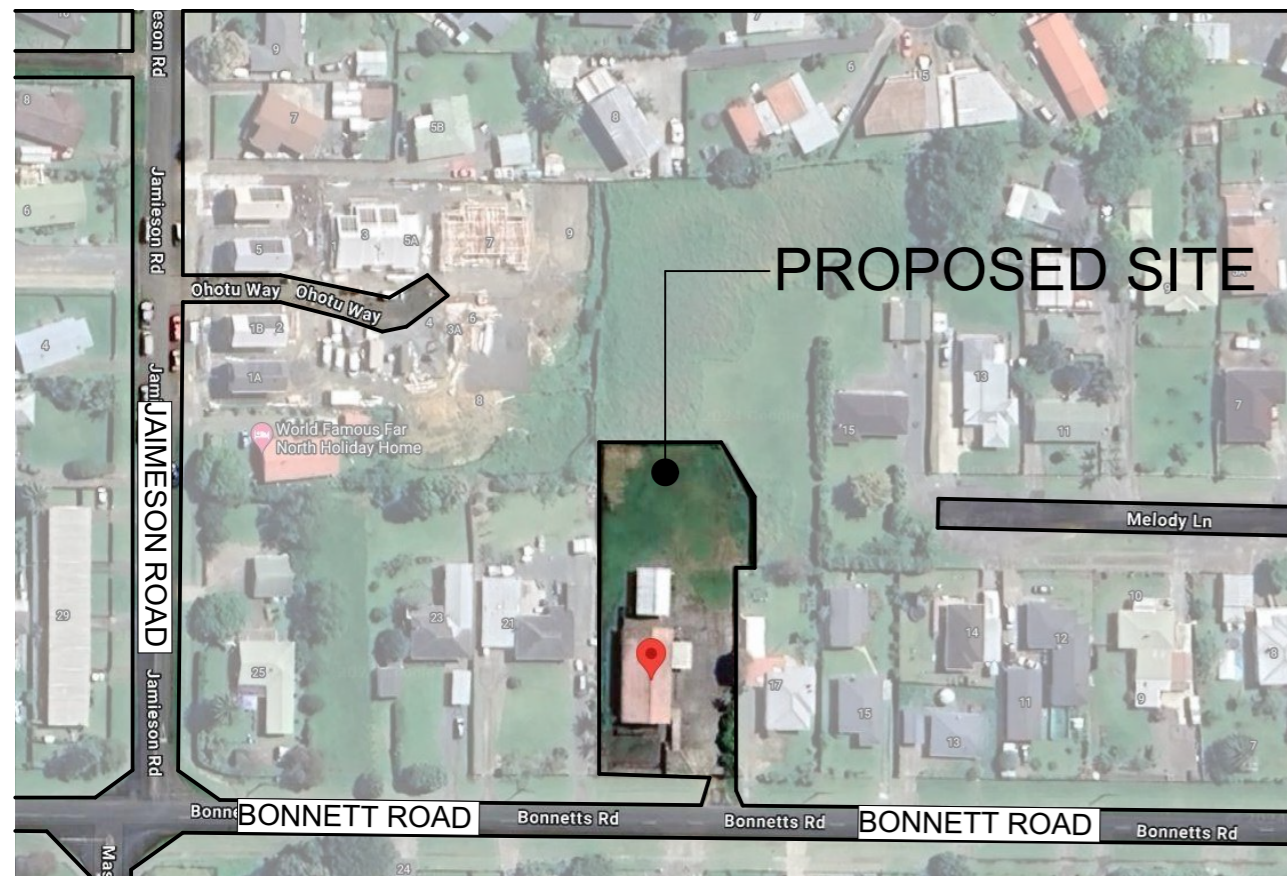
# RELOCATION OF 2 DWELLINGS FOR Hazley Windelborne C/O Te Iwi o Ngati Kahu Trust AT 19 BONNETT ROAD KAITAIA FAR NORTH



3 BEDROOM - ARTIST IMPRESSION (NTS)



2 BEDROOM - ARTIST IMPRESSION (NTS)



LOCATION PLAN (NTS)

### DRAWING NOTATIONS

<p><b>DRAWING TITLE</b></p> <p>DRAWING No. → 01 DRAWING DESCRIPTION → LEVEL 2 PLAN DRAWING SCALE → 1:100 DRAWING CROSS REF No. → A200</p>	<p><b>SECTION TAG</b></p> <p>SECTION NAME → A DRAWING CROSS REF No. → A300</p>	<p><b>DETAIL TAG</b></p> <p>DETAIL No. → [Symbol] DRAWING CROSS REF No. → [Symbol]</p>
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**GENERAL NOTES:**

- ALL WORK TO COMPLY WITH NZBC & ALL RELEVANT NZ BUILDING STANDARDS.
- ARCHITECTURAL DRAWINGS TO BE READ IN CONJUNCTION WITH STRUCTURAL ENGINEERS DRAWINGS AND SPECIFICATION.
- ALL TIMBER STRUCTURE NOT REQUIRING SPECIFIC DESIGN TO COMPLY WITH NZS 3604: 2011.
- ALL GLAZING TO COMPLY WITH NZS 4223.
- ALL TIMBER IN CONTACT WITH CONCRETE TO BE ON CONTINUOUS DPC.
- UNLESS OTHERWISE NOTED ALL DIMENSIONS ARE TO THE FRAMING.
- ALL GIB LINING TO BE TAPED AND STOPPED UNLESS NOTED OTHERWISE. CORNICE TO BE SQUARE STOPPED.
- REFER DOOR & WINDOW SCHEDULE FOR DOOR & WINDOW SPECIFICATIONS.
- REFER TO PLUMBING SPECIFICATION FOR SCHEDULE OF SANITARY FITTINGS.
- CONTRACTOR TO CHECK AND CONFIRM ALL DIMENSIONS, LEVELS ON SITE PRIOR TO CONSTRUCTION.
- ALL TIMBER FRAMING TO BE MSG8 GRADE.



**Hazley Windelborne C/O  
Te Iwi o Ngati Kahu Trust**

RELOCATION OF 2 DWELLINGS  
19 BONNETT ROAD  
KAITAIA  
FAR NORTH

Drawing Title		
<b>COVER SHEET</b>		
Lot: 1	Zoning: RESIDENTIAL	
DP/LT: 210702	Wind Zone: MEDIUM	
Area: 2,127 sqm	Corrosion: C	
Technician: KJ		
Date Printed: Thursday, 27 June 2024		
Scale at A3: 1:1.5308, 1:100, 1:175.0995, 1:1.5307,		
Job No: 1-376.1112		
<b>24-1243</b>	<b>A000</b>	<b>02</b>

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All construction shall be in accordance with NZBC handbook and approved documents, NZS3604:2011 and local territorial authority requirements.

Do not scale off plans.

Contractor must locate relevant boundary pegs before commencing any works.





**TOWN PLANNING:**

Territorial Authority: Western Bay of Plenty District Council  
Zoning: Residential

- (a) The minimum building setback from road boundaries shall be 3m
- (b) The minimum set-back from any boundary other than a road boundary, on all sites shall be 1.2m except that no set-back is required for a maximum total length of 10m along any one such boundary; and
- (c) Not less than 50% of that part of the site between the road boundary and a parallel line 2m there from (i.e. a 2m wide planting strip along the road boundary) shall be landscaped, on all sites.

**Site Coverage:**

**STORMWATER MANAGEMENT** The maximum proportion or amount of the gross site area covered by buildings and other impermeable surfaces shall be 60% or 600m<sup>2</sup>, whichever is the lesser.

**BUILDING COVERAGE** Any new building or alteration/addition to an existing building is a permitted activity if the total Building Coverage of a site does not exceed 45% of the gross site area. The maximum proportion of the gross site area covered by buildings and other impermeable surfaces shall be 50%.

**Sunlight access:**

No part of any building shall project beyond a 45 degree recession plane as measured inwards from any point 2m vertically above ground level on any site boundary (refer to definition of Recession Plane in Chapter 3 - Definitions), except that:

- (a) a building may exceed this standard for a maximum distance of 10m along any one boundary other than a road boundary, provided that the maximum height of any building where it exceeds the standard is 2.7m (refer to Recession Plane Diagram B within the definition of Recession Plane in Chapter 3 - Definitions); and
- (b) where a site boundary adjoins a legally established entrance strip, private way, access lot, or access way serving a rear site, the measurement shall be taken from the farthest boundary of the entrance strip, private way, access lot, or access way.

Max. Height: 8m

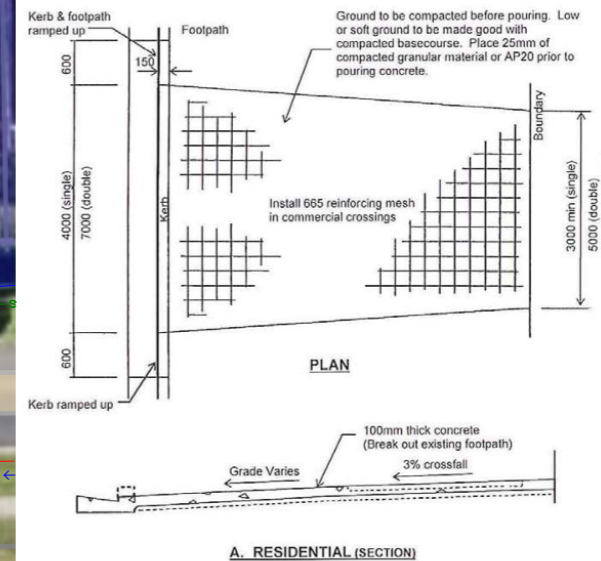
**RELOCATED BUILDINGS**

Buildings are permitted activities provided that they comply with all the standards for permitted activities in the Plan, and further provided that where the building is a relocated building all work required to reinstate the exterior including painting and repair of joinery shall be completed within six months of the building being delivered to the site. Reinstatement work is to include connections to all infrastructure services and closing in and ventilation of the foundations.

Each residential unit for a single household shall have available to it a minimum net site area of: Sewered sites: 600m<sup>2</sup>

**NATURAL HAZARDS ZONING**

**50 and 100-Year Extent River Flood Hazard Zone.** The building platform (AEP + freeboard) shall be measured from the prescribed water level (e.g a 1% or 2% AEP event + freeboard) to either the building platform level, the underside of the floor joists. Flood zone water level = 12.990RL + allowance of 500mm freeboard (as per NZS4404:2010)



**BUILDING CONSENT**

Rev	Date	Description
01	13/05/2024	BC ISSUE
02	27/06/2024	As per RC Application



**Hazley Windelborne C/O  
Te Iwi o Ngati Kahu Trust**

**RELOCATION OF 2 DWELLINGS  
19 BONNETT ROAD  
KAITAIA  
FAR NORTH**

Drawing Title		
<b>OVERALL SITE PLAN</b>		
Site Information		
Lot: 1	Zoning: RESIDENTIAL	
DP/LT: 210702	Wind Zone: MEDIUM	
Area: 2,127 sqm	Corrosion: C	
Technician: KJ		
Date Printed: Thursday, 27 June 2024		
Scale at A3: 1:500, 1:200		
Job No:	Drawing No:	Rev:
<b>24-1243</b>	<b>A010</b>	<b>02</b>

All plans & building work is subject to council approval. All dimensions & underground service locations to be checked prior to commencement of all works. DO-NOT scale off drawings. Cross reference all drawings, confirm site levels, floor heights & restrictions prior to earthworks. If any discrepancies occur, ask the designer or contractor immediately before commencing works or ordering any materials.  
All construction shall be in accordance with NZBC handbook and approved documents, NZS3604:2011 and local territorial authority requirements  
Do not scale off plans  
Contractor must locate relevant boundary pegs before commencing any works.



**GENERAL CONSTRUCTION NOTES:**

1. ALL WORK TO COMPLY WITH THE NEW ZEALAND BUILDING CODE, TERRITORIAL AUTHORITY AND RELEVANT BUILDING STANDARDS.
2. DO NOT SCALE FROM DRAWINGS. CONTRACTOR TO CHECK ALL DIMENSIONS ON SITE. CONTACT DESIGNER WERE ANY CONTRADICTIONS EXIST.
3. DRAWINGS ARE TO BE READ IN CONJUNCTION WITH THE MAIN SPECIFICATION AND THE ADDENDA SPECIFICATION.
4. REFER TO ENGINEERS DOCUMENTATION IF INVOLVED DURING CONSTRUCTION. ANY ELEMENT DESIGNED BY THE ENGINEER MUST BE CHECKED ON SITE BY THAT ENGINEER. IT IS THE CONTRACTORS RESPONSIBILITY TO ENSURE THAT THE ENGINEER INSPECTS THE WORK AND THAT WRITTEN EVIDENCE IS PROVIDED TO THE TERRITORIAL AUTHORITY AS REQUIRED.
5. INSTALL ALL MATERIALS/PRODUCTS/SYSTEMS TO MANUFACTURERS SPECIFICATIONS AND INSTRUCTIONS. CONSULT WITH MANUFACTURER IF REQUIRED.
6. CHECK ANY REQUIREMENTS OF THE APPROVED RESOURCE CONSENT DOCUMENTS IF APPLICABLE.
7. ALL DETAILS TO BE CONSTRUCTED AS DETAILED, ANY VARIATIONS MUST OBTAIN THE COUNCILS AUTHORITY OF ACCEPTANCE.

**ONSITE SERVICES**

IT IS THE RESPONSIBILITY OF THE OWNER TO HAVE ALL EXISTING ON SITE SERVICES LOCATED ON SITE AND ESPECIALLY IN THE PROPOSED BUILDING AREA.

**WASTEWATER SYSTEM**

CONNECT TO PUBLIC SYSTEM

**NETWORK SERVICES**

ARRANGE WITH ALL NETWORK OPERATORS TO DISCONNECT SERVICES AND REMOVE FITTINGS AND EQUIPMENT AS NECESSARY.

**SITE SAFETY**

PREVENT ACCESS BY UNAUTHORISED PERSONS. ILLUMINATE AND PROTECT ALL HOLES, UNSAFE BUILDINGS AND HAZARDS. LEAVE THE SITE AND BUILDINGS SAFE AT THE CLOSE OF EACH DAYS WORK.

**ITEMS FOR SALVAGE OR RE-USE**

CAREFULLY DISMANTLE AND STORE SAFELY ALL SALVAGES ITEMS WHERE DIRECTED; FOR REMOVAL, USE ON SITE OR UNTIL COMPLETION OF THE WORKS.

**DEMOLITION WORK**

CARRY OUT DEMOLITION ONLY UNDER THE SUPERVISION OF A SUITABLY EXPERIENCED PERSON AND USING ONLY EXPERIENCED OPERATORS AND DRIVERS. OBTAIN AND PAY FOR ANY REQUIRED INSPECTION WHICH ARE ADDITIONAL TO THE BUILDING CONSENT. TAKE ALL PRECAUTIONS NECESSARY TO MINIMISE NUISANCE CAUSED BY DUST, DIRT, RUBBISH AND WATER.

**FOUNDATIONS**

THE FOUNDATIONS FOR THE BUILDING ARE TO BE SUPPORTED ON GOOD GROUND WITH AN ULTIMATE BEARING CAPACITY OF 300KPA.

**SITE PREPARATION**

BEFORE A BUILDING IS ERECTED ON ANY SITE, ALL RUBBISH, NOXIOUS AND ORGANIC MATTER SHALL BE REMOVED FROM THE AREA TO BE COVERED BY THE BUILDING

**SITE CONTOURS**

AS TAKEN FROM COUNCIL MAPPING INFORMATION

**BOUNDARY SET OUT**

CLEARLY MARK OUT ALL SITE BOUNDARIES PRIOR TO COMMENCEMENT OF WORK. HAVE A REGISTERED SURVEYOR LOCATE THE POSITION OF THE BUILDING WORK IF NECESSARY

**BUILDING SET OUT**

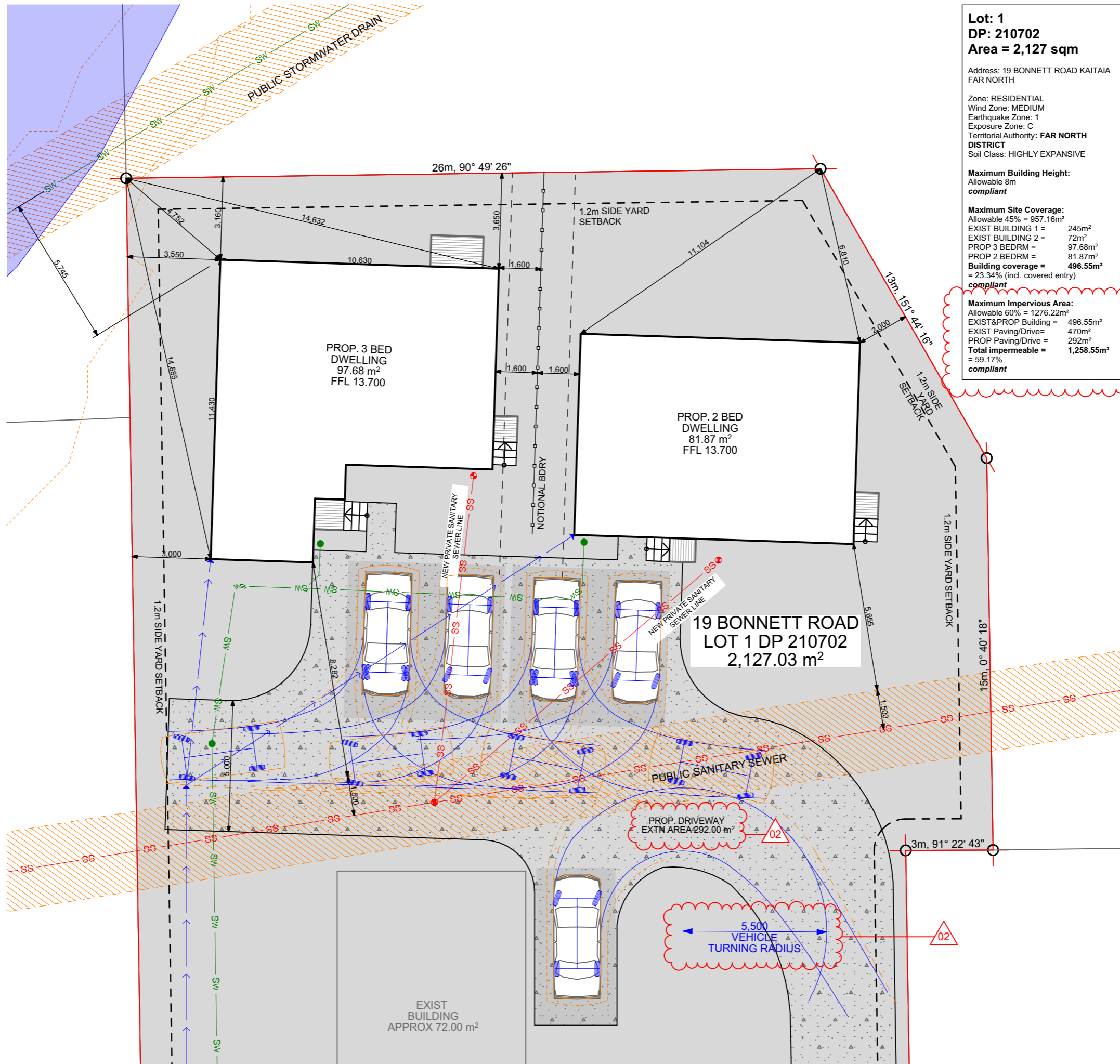
**ALL BUILDING SETOUT DIMENSIONS ARE TO OUTSIDE OF CLADDING**

**PROTECTION OF STEEL FIXINGS - ZONE B&C:**

- ALL STRUCTURAL FIXINGS IN 'EXPOSED' AREAS OR WITHIN 600mm OF GROUND SHALL BE TYPE 304 STAINLESS STEEL.
- ALL STRUCTURAL FIXINGS IN 'SHELTERED' AREAS SHALL BE HOT-DIPPED GALVANISED STEEL.
- NAIL PLATES IN 'CLOSED' AREAS INCLUDING ROOF SPACES SHALL BE CONTINUOUSLY COATED GALVANISED STEEL
- WIRE DOGS & BOLTS IN 'CLOSED' AREAS INCLUDING ROOF SPACES SHALL BE HOT-DIPPED GALVANISED STEEL.

**NATURAL HAZARDS ZONING**

**50 and 100-Year Extent River Flood Hazard Zone.**  
The building platform (AEP + freeboard) shall be measured from the prescribed water level (e.g a 1% or 2% AEP event + freeboard) to either the building platform level, the underside of the floor joists.  
Flood zone water level = 12.990RL + allowance of 500mm freeboard (as per NZS4404:2010)



**Lot: 1**  
**DP: 210702**  
**Area = 2,127 sqm**

Address: 19 BONNETT ROAD KAITAIA FAR NORTH

Zone: RESIDENTIAL  
Wind Zone: MEDIUM  
Earthquake Zone: 1  
Exposure Zone: C  
Territorial Authority: **FAR NORTH DISTRICT**  
Soil Class: HIGHLY EXPANSIVE

**Maximum Building Height:**  
Allowable 8m  
**compliant**

**Maximum Site Coverage:**  
Allowable 45% = 957.16m²  
EXIST BUILDING 1 = 245m²  
EXIST BUILDING 2 = 72m²  
PROP 3 BEDRM = 97.68m²  
PROP 2 BEDRM = 81.87m²  
**Building coverage = 496.55m²**  
= 23.34% (incl. covered entry)  
**compliant**

**Maximum Impervious Area:**  
Allowable 60% = 1276.22m²  
EXIST&PROP Building = 496.55m²  
EXIST Paving/Drive = 470m²  
PROP Paving/Drive = 292m²  
**Total impermeable = 1,258.55m²**  
= 59.17%  
**compliant**

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**BUILDING CONSENT**

Rev	Date	Description
01	13/05/2024	BC ISSUE
02	27/06/2024	As per RC Application

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**Hazley Windelborne C/O**  
**Te Iwi o Ngati Kahu Trust**

RELOCATION OF 2 DWELLINGS  
**19 BONNETT ROAD**  
**KAITAIA**  
**FAR NORTH**

Drawing Title: **PROPOSED SITE PLAN**

Site Information	Lot: 1	Zoning: RESIDENTIAL
	DP/LT: 210702	Wind Zone: MEDIUM
	Area: 2,127 sqm	Corrosion: C
Technician:	KJ	
Date Printed:	Thursday, 27 June 2024	
Scale at A3:	1:150, 1:200	
Job No:	Drawing No:	Rev:
<b>24-1243</b>	<b>A011</b>	<b>02</b>

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Do not scale off plans  
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**1 SITE PLAN**  
A100 Scale 1:150

**SEDIMENT CONTROL PLAN**  
 THE CONTRACTOR MUST PREVENT ANY SEDIMENT WHICH IS A RESULT FROM DEMOLITION OR GROUND WORKS, FROM ENTERING THE EXISTING STORMWATER DRAINAGE SYSTEM.

ALL SEDIMENT CONTROL MEASURES ARE TO BE INSTALLED PRIOR TO ANY EARTHWORKS AND ARE TO BE CHECKED AND MAINTAINED EVERY DAY.

**USE THE FOLLOWING STEPS:**  
 RETAIN VEGETATIVE BUFFER ZONES INSIDE SITE BOUNDARIES, TO ALL SIDES OF PROJECT. OR REPLACE WITH 'SILT SOCKS' OR 'TURF FILLER STRIPS' WHERE NOT POSSIBLE.

**AND**  
 PLACE APPROPRIATE 'SILT' SOCK SEDIMENT CONTROL AT LOCATIONS WITH INCREASED RUN OFF POTENTIAL

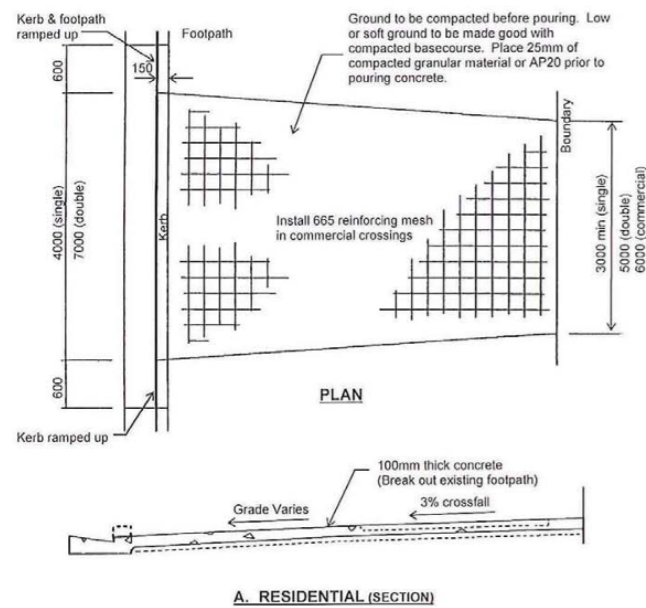
**AND**  
 INSTALL TEMPORARY FILTER CLOTH UNDER THE GRATING OF THE RELEVANT LOCAL CATCH PITS (CARRY OUT WATER RUN OFF TESTS IF NECESSARY TO DETERMINE AFFECTED PITS).

**VEHICLES**  
 PROVIDE STABILISED ENTRY PAD & WASH DOWN AREA FOR CONTRACTOR VEHICLES IN ACCORDANCE WITH ECAN SEDIMENT CONTROL FOR SMALL SITES

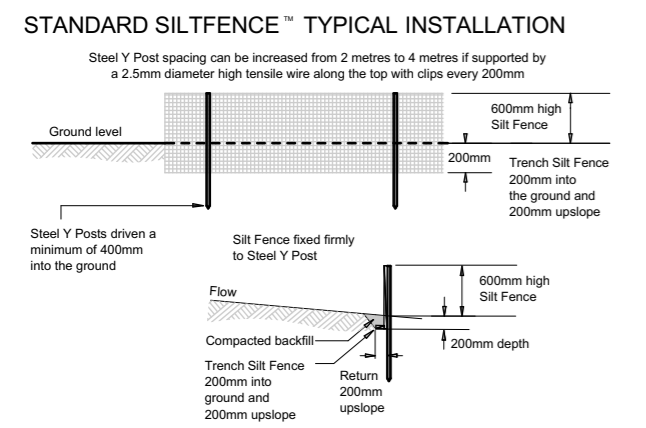
VEHICLES INVOLVED IN THE EXCAVATION WILL BE DELIVERED TO SITE AND THEN REMOVED VIA TRUCK.

**EXCESS SOIL**  
 EXCAVATED TOPSOIL IS TO BE SPREAD AROUND THE SITE AND FLATTENED WHERE POSSIBLE. WHILE STORED ON SITE ALL SOIL IS TO BE COVERED WITH IMPERVIOUS SHEET

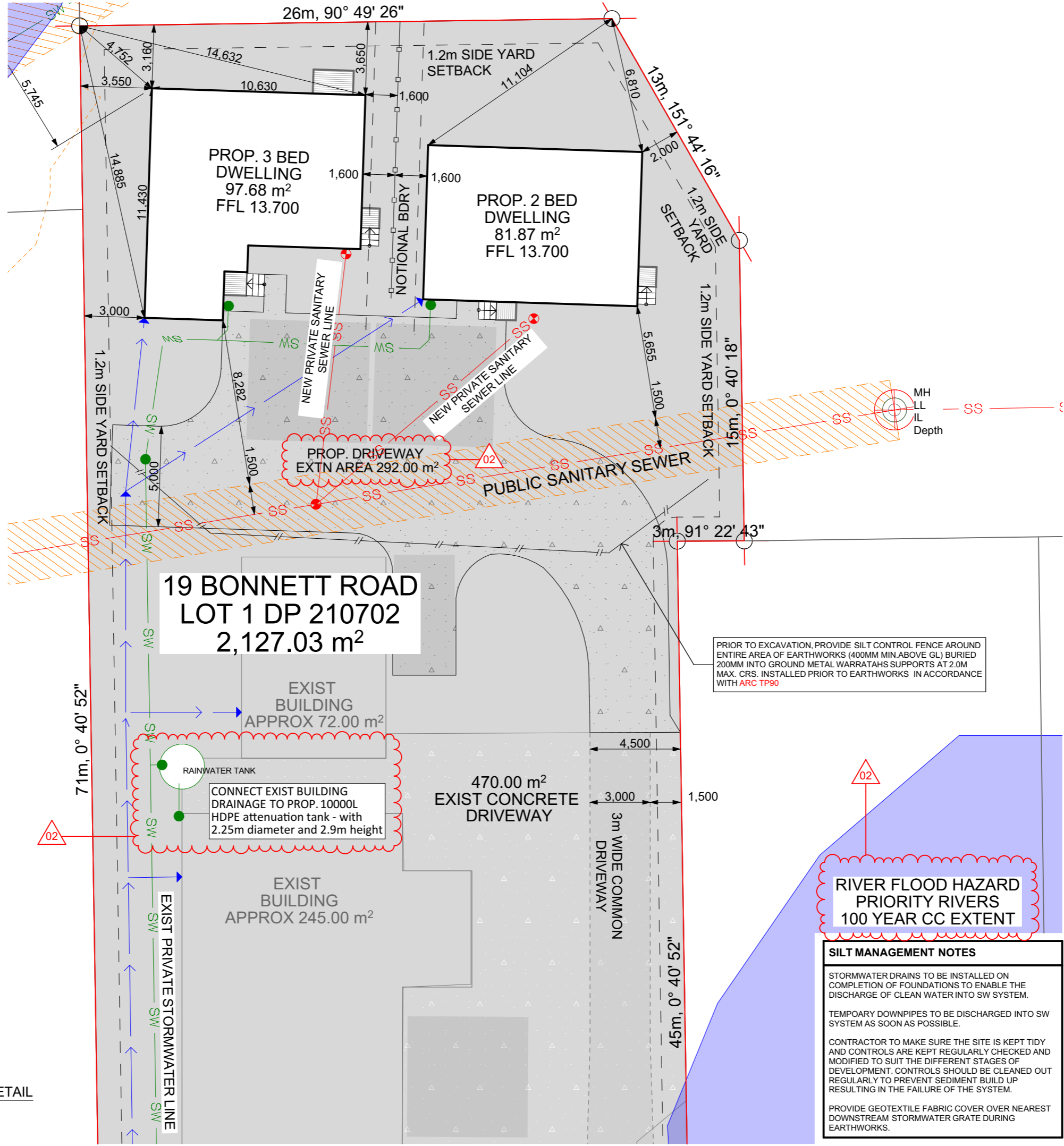
**NZBC F5/AS1 COMPLIANCE**  
 SITE AREA IS FULLY FENCED - 1.8m HIGH TEMPORARY WIRE FENCING TO REMAIN IN PLACE FOR THE DURATION OF THE CONSTRUCTION PERIOD



2 4m DRIVEWAY CONSTRUCTION DETAIL  
 Scale 1:1



3 STANDARD SILTFENCE TYP. INSTALLATION DETAIL  
 N.T.S



PRIOR TO EXCAVATION, PROVIDE SILT CONTROL FENCE AROUND ENTIRE AREA OF EARTHWORKS (400MM MIN. ABOVE GL) BURIED 200MM INTO GROUND METAL WARRATAHS SUPPORTS AT 2.0M MAX. CRS. INSTALLED PRIOR TO EARTHWORKS IN ACCORDANCE WITH ARC TP90

**RIVER FLOOD HAZARD PRIORITY RIVERS 100 YEAR CC EXTENT**

**SILT MANAGEMENT NOTES**

STORMWATER DRAINS TO BE INSTALLED ON COMPLETION OF FOUNDATIONS TO ENABLE THE DISCHARGE OF CLEAN WATER INTO SW SYSTEM.

TEMPORARY DOWNPIPES TO BE DISCHARGED INTO SW SYSTEM AS SOON AS POSSIBLE.

CONTRACTOR TO MAKE SURE THE SITE IS KEPT TIDY AND CONTROLS ARE KEPT REGULARLY CHECKED AND MODIFIED TO SUIT THE DIFFERENT STAGES OF DEVELOPMENT. CONTROLS SHOULD BE CLEANED OUT REGULARLY TO PREVENT SEDIMENT BUILD UP RESULTING IN THE FAILURE OF THE SYSTEM.

PROVIDE GEOTEXTILE FABRIC COVER OVER NEAREST DOWNSTREAM STORMWATER GRATE DURING EARTHWORKS.

**BUILDING CONSENT**

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**EARTHWORKS: CUT INFORMATION:**  
 0.19m<sup>3</sup> - PER PILE  
 3 BEDROOM DWELLING - 54 PILES  
 2 BEDROOM DWELLING - 43 PILES  
 DRIVEWAY AREA AVERAGE 200mm DEEP

PROPOSED DWELLINGS AREA- 179.55m<sup>2</sup>  
 PROPOSED DRIVEWAY AREA- 233.46m<sup>2</sup>  
**TOTAL EARTHWORKS AREA = 413m<sup>2</sup>**

EARTHWORKS DWELLINGS VOLUME- 18.43m<sup>3</sup>  
 DRIVEWAY VOLUME- 46m<sup>3</sup>  
**TOTAL EARTH WORKS VOLUME= 64.4m<sup>3</sup>**

ALLOWABLE EARTHWORKS = 300m<sup>3</sup>  
**NON COMPLIANT**

**TOTAL EARTHWORKS VOLUME = 64.4m<sup>3</sup>**  
 ALLOWABLE VOLUME = 200m<sup>3</sup>  
**COMPLIANT**

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RELOCATION OF 2 DWELLINGS  
 19 BONNETT ROAD  
 KAITAIA  
 FAR NORTH

**SITE EARTHWORKS & SERVICES PLAN**

Lot: 1 Zoning: RESIDENTIAL  
 DP/LT: 210702 Wind Zone: MEDIUM  
 Area: 2,127 sqm Corrosion: C

Technician: KJ  
 Date Printed: Thursday, 27 June 2024  
 Scale at A3: 1:200  
 Job No: 24-1243 Drawing No: A020 Rev: 02

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**FOUNDATION LAYOUT NOTE:**

Ref. GEOTECHNICAL REPORT BY T&A STRUCTURAS LTD.  
 Dated 6th APRIL 2024  
 A SUITABLE REPRESENTATIVE FROM IS TO BE ON SITE AT THE TIME THE PILES ARE BOARDED TO CONFIRM GROUND CONDITION PRIOR TO ANY CONCRETE BEING POURED.  
 CONTACT: Teo Pillapil CPEng, CMEngNZ

The soils on this site are considered to be highly expansive and soft. The soils appeared to have not complied with the definition of "good ground" as noted in NZS3604:2011. It is however, considered that the site is suitable for the proposed development. The following are the recommended foundation options:

- Pile foundation designed according to the requirements of NZS3604:2011,
- provided that the piles are embedded into the ground at least 1200mm. At these depths, it is expected that the soil has at least 300kpa ultimate soil bearing capacity. It is also anticipated that this depth is enough to mitigate the effects of possible seasonal soil movements due soil expansivity.
- Due to being within a flood hazard zone, a shallow type foundation is not recommended for these dwellings.

**PILE NOTE:**  
 SQUARE PILES SHALL HAVE MIN. DIM. OF 125mm AND NOT EXCEED 3.6m IN LENGTH. PILES SHALL MEET THE GRADE LIMITATIONS IN NZS3605:2001.

**REGARDLESS OF THE PILE SPACING STATED, ENSURE TO PLACE PILES AT EXISTING BEARER JOINS**

ANCHOR PILES SHALL BE BRANDED WITH THE LETTER 'A' TO MEET THE REQUIREMENTS OF NZS 3640:2003 AND NZS 3605:2001.

ROUND PILES SHALL HAVE A MIN. DIM. 140Ø AND NOT EXCEED 3.6m IN LENGTH. PILES SHALL MEET THE GRADE LIMITATIONS AS IN NZS3605:2001. ROUND PILES MAY ONLY BE USED AS ORDINARY PILES, CANTILEVERED PILES OR BRACED PILES.

ALL PILES SHALL BE CCA TREATED TO NZTPA HAZARD CLASS H5 OR APPROVED EQUIVALENT.

**BEARER NOTE:**  
 ALL BEARERS SHALL BE CCA TREATED TO NZTPA HAZARD CLASS H3.2. SPLICE BEARERS WITH OPPOSITE DIRECTION CUT, IF TWO BEARERS JOIN AT THE SAME PILE.

BEARERS SHALL BE ATTACHED TO EACH PILE WITH 2 (SKEWED) 100 x 3.75Ø NAILS DRIVEN NAILS + 2 WIRE DOGS. UNLESS OTHERWISE STATED.

BUILDER TO FIX GALV. END CAP TO ALL EXPOSED BEARER ENDS

**IF ANY BEARER IS SHORT OF THE EXTERIOR WALL, CUT BACK TO PREVIOUS PILE & REPLACE WITH NEW BEARER TO MATCH EXISTING. AND ADVISED ARCHITECT / DESIGNER**

**SUBFLOOR BRACE NOTE:**  
 THE BRACE SHALL BE FIXED TO THE BOTTOM OF BRACED PILE, AND EITHER THE TOP OF THE OTHER BRACED PILE, AND EITHER THE TOP OF THE OTHER BRACED PILE, OR TO A BEARER WITHIN 200mm OF THE OTHER PILE, OR TO A JOIST WITHIN 200mm OF THE OTHER PILE.

BRACES SHALL BE EITHER 100 x 75 AND NOT EXCEED 3m IN LENGTH, OR 100 x 100 AND NOT EXCEED 5m IN LENGTH, AS PER NZS3604.  
 MAX BRACE ANGLE = 45° (MAY SKIP A PILE IF REQUIRED)  
 MIN BRACE ANGLE = 10° (MAY SKIP A PILE IF REQUIRED)

**FLOOR FRAMING NOTES:**

**PLUMBING:**  
 POSITION JOISTS TO ALLOW FOR PLUMBING FIXTURES.

**JOIST LAYOUT:**  
 FLOOR JOIST SHALL BE 140 x 45 H1.2 SG8 UNLESS STATED OTHERWISE.

**POINT LOADS:**  
 POINT LOADS MUST BE DIRECTLY SUPPORTED UNDERNEATH BY A PILE IF NOT SUPPORTED ON A BEARER LINE.

**NOGGING:**  
 CONTINUOUS ROW OF SOLID NOGS TO MID SPAN OF JOISTS LARGER THAN 200 X 50 SPANNING MORE THAN 2.5m.  
 SOLID NOG EVERY 1800mm ON TOP OF OR WITHIN 300mm OF BEARERS OR TOP PLATE OF BRACED WALLS.

**JOIST FIXING:**  
 ALL FLOOR JOISTS SHALL BE HANGED WITH 'LUMBERLOK' JOIST HANGERS TO ANY TRIMMERS OR BEAMS AS SHOWN. ATTACH 90mm WIDE TIMBER MEMBERS TO BEAMS WITH 100mm WIDE JOIST HANGERS.

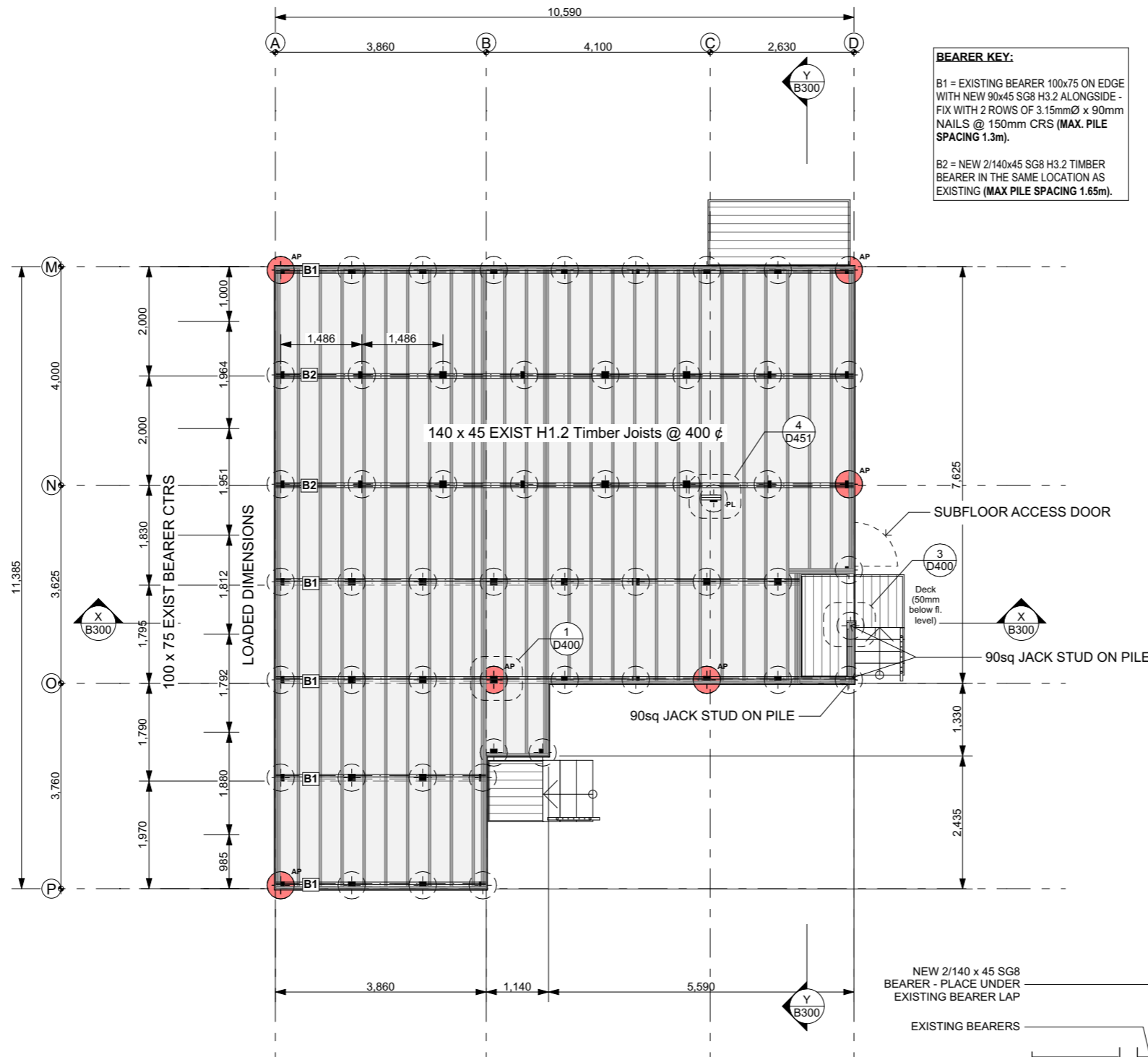
JOISTS SHALL BE ATTACHED TO EACH LOAD BEARING WALL PLATE WITH 2 (SKEWED) 100 X 3.75Ø NAILS DRIVEN NAILS.

**FLOORING:**  
 EX 20mm H.D. PARTICLE BOARD FLOORING SCREWED & GLUED TO JOISTS AS PER MANUFACTURERS SPECIFICATIONS.

19mm PLY BOARD FLOORING SCREWED & GLUED TO JOISTS AS PER MANUFACTURES SPECIFICATIONS.

NEW FLOOR BOARDS THAT DO NOT HAVE MATCHING TONGUED AND GROOVED ENDS SHALL BE CUT SQUARE ON ENDS AND BUTTED TIGHTLY TOGETHER AT END JOINTS. END JOINTS SHALL BE MADE OVER JOISTS, AND END JOINTS IN ADJACENT BOARDS SHALL BE STAGGERED.

**VENTILATIONS:** (NOT LESS THAN 3500mm² PER m²)  
 SPACED REGULARLY, COMMENCING 750mm FROM THE CORNER AND AT MAX. 1.8m INTERVALS.



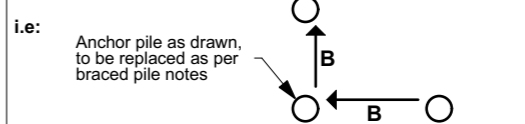
**BEARER KEY:**  
 B1 = EXISTING BEARER 100x75 ON EDGE WITH NEW 90x45 SG8 H3.2 ALONGSIDE - FIX WITH 2 ROWS OF 3.15mmØ x 90mm NAILS @ 150mm CRS (MAX. PILE SPACING 1.3m).  
 B2 = NEW 2/140x45 SG8 H3.2 TIMBER BEARER IN THE SAME LOCATION AS EXISTING (MAX PILE SPACING 1.65m).

**ACCESS:**  
 PROVIDE SUB FLOOR ACCESS DOOR. ACCESS SHALL BE PROVIDED TO PERMIT VISUAL INSPECTION OF ALL SUBFLOOR FRAMING MEMBERS. A CRAWL SPACE FOR THIS PURPOSE SHALL BE NOT LESS THAN 450MM HIGH TO THE UNDERSIDE OF THE FLOOR JOISTS. A CLEAR HORIZONTAL SEPARATION OF NOT LESS THAN 450MM SHALL BE MAINTAINED BETWEEN THE OUTSIDE OF ANY WALL CLADDING AND THE ADJACENT GROUND. (REFER TO NZS 3604:2011, FIGURE 6.21)

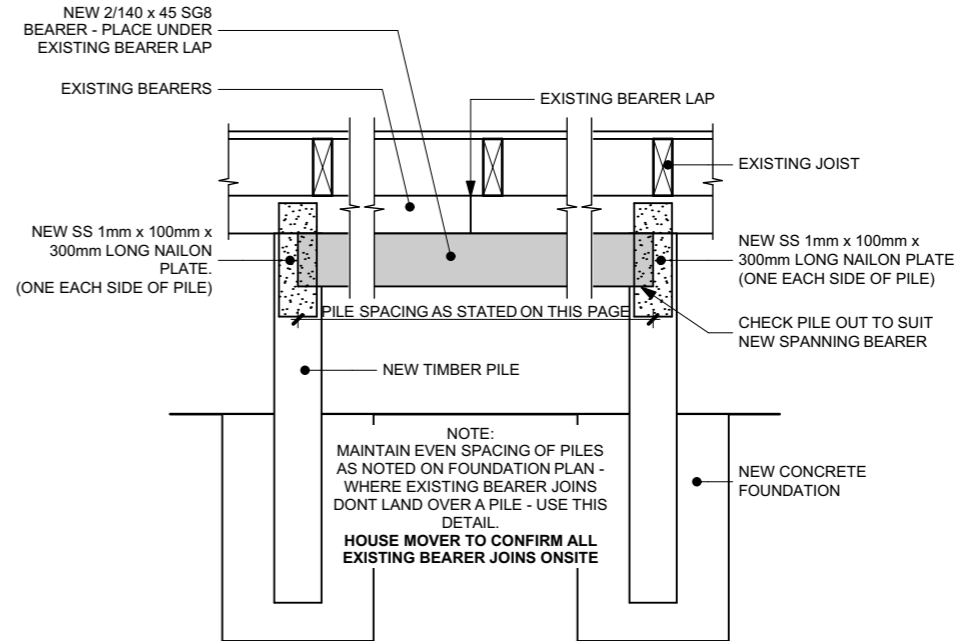
**Key: Pile Types**  
 ○ ORDINARY PILE :125SQ. TIMBER PILE CAST FULLY INTO 450Ø CONCRETE PILE MIN. 1200mm BELOW CGL INTO FIRM NATURAL GROUND.  
 ● BRACED PILE : ARROW HEADS REPRESENT TOP OF BRACE HIGH END OF BRACE. DIAGONAL BRACE ELEMENT AND CONNECTIONS AS PER NZS:3604 6.8 FIG 6.6. 125SQ. TIMBER PILE CAST FULLY INTO 450Ø CONCRETE PILE MIN. 1200mm BELOW CGL INTO FIRM NATURAL GROUND.  
 --- DIAGONAL BRACE: --- top  
 LESS THAN 3.0m = 90mm x 75mm  
 EXCEEDING 3.0m = 90mm x 90mm

BRACE SHALL BE CONNECTED TO BRACED PILES WITH M12 BOLTS AND 50X50X3MM WASHERS. THE UPPER END OF THE BRACE, THE BOLT SHALL BE FIXED WITHIN 90-150MM BELOW BOTTOM OF BEARER THE LOWER END OF THE BRACE, THE BOLT SHALL BE FIXED WITHIN 200-300 MAX FROM CGL.  
 ○ AP ANCHOR PILE: AS PER NZS:3604. 125SQ. TIMBER PILE FULLY CAST INTO 450Ø CONCRETE PILE MIN. 1200mm BELOW CGL INTO FIRM NATURAL GROUND. REFER TO NZS:3604 (FIG. 6.10)

**ANCHOR/BRACED PILES**  
 IF GROUND TO UNDERSIDE OF BEARER IS GREATER THAN 600mm AT ANCHOR PILE, REPLACE WITH A BRACED PILE SYSTEM IN BOTH DIRECTIONS.



**BRACING OF DECKS** (LESS THAN 2.0m FROM THE BUILDING)  
 DECKS WITH STRINGERS AND/OR JOISTS BOLTED TO THE BUILDING ON ONE OR MORE SIDES AND WHICH PROJECT NO MORE THAN 2.0m FROM THE BUILDING, DO NOT REQUIRE SUBFLOOR BRACING.



**5 BEARER LAP DETAIL**  
 Scale 1:20



**BUILDING CONSENT**

Rev	Date	Description
01	13/05/2024	BC ISSUE

**IMPORTANT NOTE**  
 CONTRACTORS TO CONFIRM THE LOCATION OF ALL EXISTING BEARERS ON THE EXISTING DWELLING PRIOR TO COMMENCING THE FINAL LAYOUT OF PILES. ACCESS TO THE EXISTING SUBFLOOR WAS LIMITED



**Hazley Windelborne C/O Te Iwi o Ngati Kahu Trust**  
 RELOCATION OF 2 DWELLINGS  
 19 BONNETT ROAD  
 KAITAIA  
 FAR NORTH

Drawing Title: **3 BED FOUNDATION PLAN**

Lot: 1	Zoning: RESIDENTIAL
DP/LT: 210702	Wind Zone: MEDIUM
Area: 2,127 sqm	Corrosion: C
Technician: KJ	
Date Printed: Tuesday, 14 May 2024	
Scale at A3: 1:100, 1:20	
Job No: 24-1243	Drawing No: B080
Rev: 01	

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**PLUMBING / DRAINAGE NOTE:**

ALL PLUMBING / DRAINAGE SHALL COMPLY WITH NZS 3500.2:2021, ACCEPTABLE SOLUTIONS, AUSTRALIAN PLUMBING STANDARDS.

MINIMUM FIXTURE WASTE PIPE SIZES & GRADIENTS:  
 \*PLUMBER ON SITE TO MAKE THE CALL IF LARGER PIPES ARE REQUIRED TO AVOID FUTURE BLOCKAGES

KITCHEN SINK	65Ø	1:40
BATH	65Ø	1:40
SHOWER	65Ø	1:40
BASINS	65Ø	1:40
LAUNDRY TUB	65Ø	1:40
WC	100Ø	1:60

**NOTE: MAXIMUM LENGTH OF UNVENTED FIXTURE PIPE BEFORE IT ENTERS THE 100Ø UNDERSLAB BRANCH DRAIN IS 2.5m. A 10m MAXIMUM COMBINED LENGTH OF BRANCH DRAIN & FIXTURE DISCHARGE PIPE CAN BE UNVENTED BEFORE IT ENTERS THE MAIN VENTED DRAIN**

ALL CHECKING OR DRILLING OF PIPES THROUGH TIMBER STRUCTURAL MEMBERS TO COMPLY WITH NZS 3604, ALL NOTCHES AND HOLES OUTSIDE THE SCOPE OF NZS 3604 SHALL BE SPECIFIC DESIGN

WHERE BOTTOM PLATES ARE CUT FOR WASTE PIPES FIX BOTTOM PLATE EITHER SIDE WITH 2/100x3.75 NAIL

ENSURE ALL PLUMBING PIPES AND WASTES ARE CONCEALED IN WALL AND FLOOR/CEILING SPACES

ALL PLUMBING AND DRAINAGE ROUTES ARE SHOWN INDICATIVELY, WASTE SIZES AND FIXTURE POSITIONS TO BE CONFIRMED BY PLUMBER/DRAIN LAYER PRIOR TO ANY SLAB/ FOUNDATION WORK COMMENCING.

AAV TO BE INSTALLED TO MANUFACTURES SPECIFICATIONS WHEREVER VENTILATION OF A SANITARY FITTING IS NOT ACHIEVABLE

CONNECT DISHWASHER OUTLET TO ADJACENT KITCHEN SINK

CONNECT WASHING MACHINE OUTLET TO ADJACENT LAUNDRY TUB

ALL CESSPITS TO BE LOCATED AT LOW POINTS WITH POSITIVE FALLS TOWARDS THEM

SANITARY SEWER DRAIN ORG LEVEL TO BE MIN OF 150mm BELOW THE INVERT OF THE LOWEST FIXTURE

DRAIN COILS TO ALL RETAINING WALLS & FOUNDATIONS AS REQUIRED. ALL SUBSOIL DRAINS TO DISCHARGE VIA A SILT TRAP TO STORMWATER DRAINAGE SYSTEM.

**HOT WATER CYLINDER:**  
 PROVIDE DN40 TUNDISH TO ACCEPT ALL HOT WATER UNIT CWEX / TPR DRAINS. ENSURE A 25mm AIR GAP EXISTS BETWEEN THE TOP OF THE TUNDISH AND THE END OF THE DISCHARGE DRAINS. TEST TO ENSURE CWEX / TPR DISCHARGE REMAINS IN THE DRAIN. ALL HOT WATER CYLINDERS TO BE SEISMICALLY RESTRAINED

**VENT:**  
 ALL VENT PIPES SHALL BE UPVC 50Ø UNLESS STATED, TERMINATE STACK VENT 150mm ABOVE ROOF LEVEL WITH AN APPROVED VENT COWL. WATER PROOF PIPE AT ROOF PENETRATION.

CONTRACTOR SHALL LOCATE DRAINS PRIOR COMMENCEMENT OF ANY RELEVANT FOUNDATION WORK

BACK FLOW PREVENTERS TO ALL OUTDOOR TAPS

**NOTES:**

DRAINAGE TO BE CHECKED BY CERTIFIED PLUMBER AND CROSS CHECKED WITH SITE CONDITIONS AND CONFIRMED AS CORRECT AND ACHIEVABLE BEFORE ANY WORK IS UNDERTAKEN

PIPE LOCATIONS SHOWN ARE INDICATIVE ONLY, PLUMBING TO CONFIRM ACTUAL LOCATION ONCE LAID ON SITE.

DRAINAGE IN CONJUNCTION WITH NZBC G13, INSTALLED BY A QUALIFIED TRADESMAN.

THE CONTRACTOR IS TO LOCATE ALL SERVICE CONNECTIONS ON SITE PRIOR TO ANY EARTHWORKS AND CONFIRM BOUNDARY SETBACK AND RESTRICTION COMPLY WITH COUNCIL REGULATIONS, PRIOR TO COMMENCEMENT OF FOUNDATIONS/SUBSTRUCTURE CONSTRUCTION. ALL WASTE PIPE DIMENSIONS, FALL, VENTING & DISCHARGE TO BE CONFIRMED BY A NZ QUALIFIED PLUMBER.

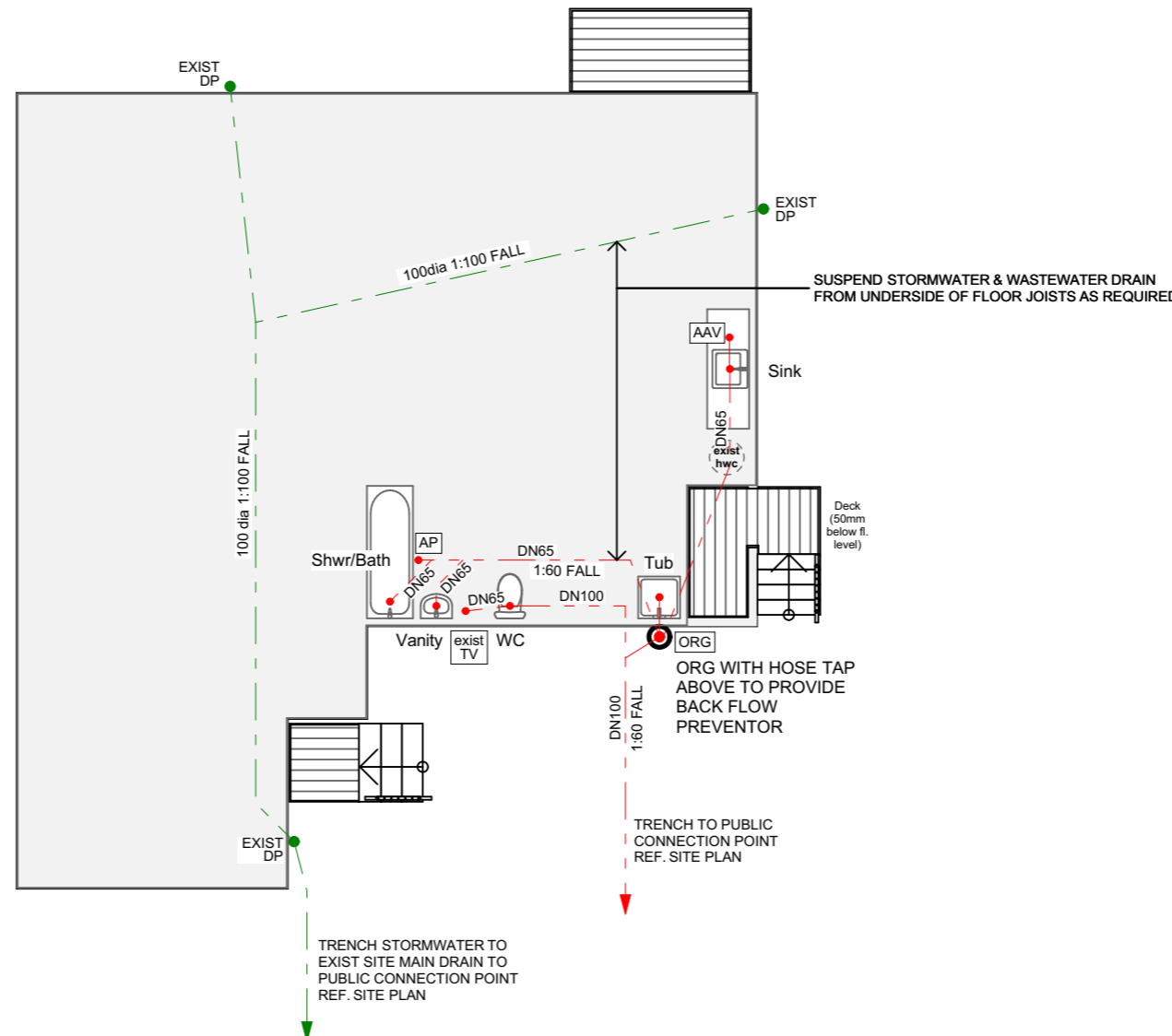
**Plumbing and drainage legend**

	WATER SUPPLY
	STOMR WATER
	FOULWATER
DP	DOWNPIPE
	OVERFLOW RELIEF GULLY
	FLOOR WASTE
	AIR ADMITTANCE VALVE
	ACCESS POINT
	TERMINAL VENT



**BUILDING CONSENT**

Rev	Date	Description
01	13/05/2024	BC ISSUE



**3** PROPOSED PLUMBING PLAN  
 A100 Scale 1:100



**Hazley Windelborne C/O Te Iwi o Ngati Kahu Trust**  
 RELOCATION OF 2 DWELLINGS  
 19 BONNETT ROAD  
 KAITAIA  
 FAR NORTH

Drawing Title  
**3 BED PLUMBING PLAN**

Site Information  
 Lot: 1 Zoning: RESIDENTIAL  
 DP/LT: 210702 Wind Zone: MEDIUM  
 Area: 2,127 sqm Corrosion: C

Technician: KJ  
 Date Printed: Tuesday, 14 May 2024

Scale at A3: 1:100

Job No:	Drawing No:	Rev:
<b>24-1243</b>	<b>B081</b>	<b>01</b>

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**GENERAL NOTES:**  
 READ THESE PLANS IN CONJUNCTION WITH THE FULL DOCUMENT SET.

ALL INFORMATION HAS EQUAL PRECEDENCE. ANY DISCREPANCIES BETWEEN DOCUMENTS MUST BE BROUGHT TO THE DESIGNER'S ATTENTION IMMEDIATELY. ANY DETAILS THAT CONFLICT WITH THE SUPPLIERS OR MANUFACTURERS DETAILS OR REQUIREMENTS MUST BE BROUGHT TO THE DESIGNER'S ATTENTION IMMEDIATELY.

LIAISE WITH MAIN AND RELATIVE SUB-CONTRACTORS WITH REGARDS TO TIMING OF INSTALLATION AND INTEGRATION WITH ALL OTHER TRADES.

ALL WORK SHALL COMPLY WITH NZS 3604:2011, NZS 3602:2003 AND ALL RELEVANT CLAUSES OF THE NEW ZEALAND BUILDING CODE AS NOTATED THROUGHOUT THE DROWN DOCUMENTS.

BUILDING LINES HAVE BEEN OBTAINED FROM EXISTING DRAWINGS, COUNCIL RECORDS AND OR SITE PHOTOS OR INFORMATION SUPPLIED BY THE OWNER. IT IS THEREFORE ESSENTIAL FOR THE CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS, LEVELS AND ANGLES OR SITE BEFORE COMMENCING ANY WORK SHOULD THERE BE ANY VARIATION THE DESIGNER AND CLIENT MUST BE MADE AWARE IMMEDIATELY.


ALL BUILDERS AND TRADESPERSON'S ON-SITE SHOULD BE FAMILIAR WITH BRANZ

**DEMOLITION WORK**

CARRY OUT DEMOLITION ONLY UNDER THE SUPERVISION OF A SUITABLY EXPERIENCED PERSON AND USING ONLY EXPERIENCED OPERATORS AND DRIVERS. OBTAIN AND PAY FOR ANY REQUIRED INSPECTIONS WHICH ARE ADDITIONAL TO THE BUILDING CONSENT. TAKE ALL PRECATUTIONS NECESSARY TO MINIMISE NUISANCE CAUSED BY NOISE, DUST, DIRT, RUBBISH AND WATER.

**ITEMS FOR SALVAGE OR RE-USE**

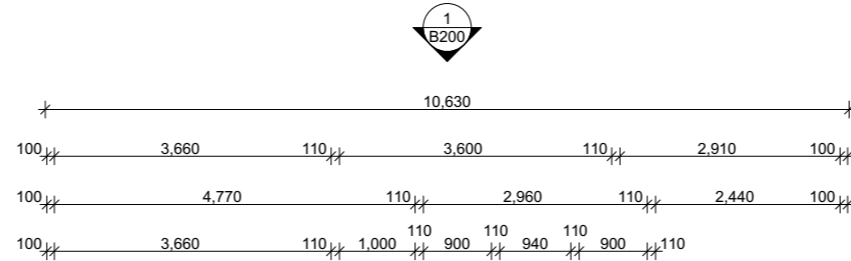
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 **ITEMS FOR REMOVAL / DEMOLITION**

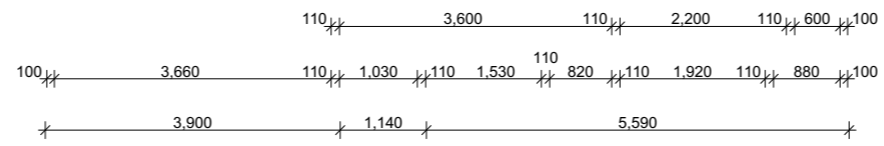
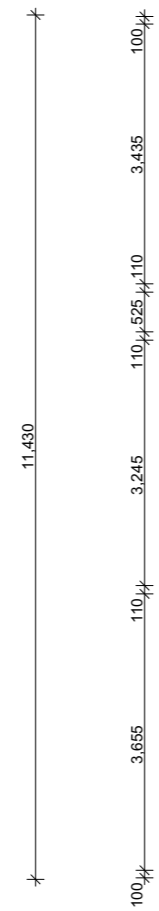
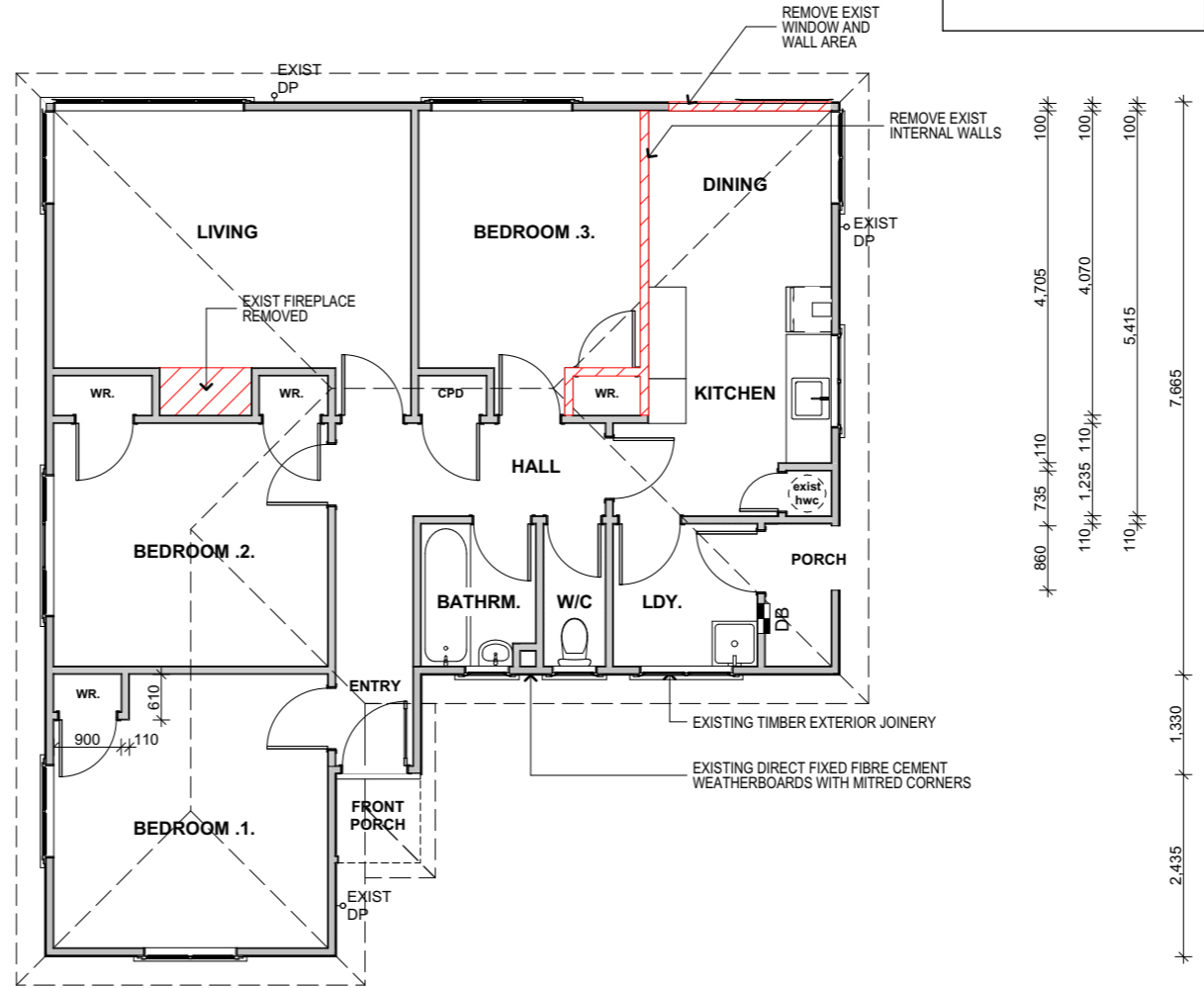


**BUILDING CONSENT**

Rev	Date	Description
01	13/05/2024	BC ISSUE



**Floor Area = 97.68m<sup>2</sup>**  
**FRAMING HEIGHT: 2450**



**Hazley Windelborne C/O**  
**Te Iwi o Ngati Kahu Trust**  
 RELOCATION OF 2 DWELLINGS  
**19 BONNETT ROAD**  
**KAITAIA**  
**FAR NORTH**

Drawing Title  
**3 BED EXISTING FLOOR PLAN**

Site Information  
 Lot: 1      Zoning: RESIDENTIAL  
 DP/LT: 210702      Wind Zone: MEDIUM  
 Area: 2,127 sqm      Corrosion: C

Technician: KJ  
 Date Printed: Tuesday, 14 May 2024

Scale at A3: 1:100

Job No:	Drawing No:	Rev:
<b>24-1243</b>	<b>B100</b>	<b>01</b>

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**WALL FRAMING:**  
 EXISTING TIMBER FRAMED WALLS  
 PROPOSED 90 x 45mm SG8 H1.2 WALL FRAMING, INSULATED AS REQUIRED

**EXTERIOR WALLS & INTERNAL LOADBearing:**  
 2.4m - 90 x 45 STUDS AT 600CRS  
 NOGS @ 800g UNLESS OTHERWISE STATED.

**EXTERIOR & LOAD BEARING FRAMING SHALL HAVE:**  
 - 90 x 45 TOP PLATES WITH AN ADDITIONAL 140 X 35 PLATE.  
 - 90 X 45 BOTTOM PLATE

INSTALL ADDITIONAL DWANGS AS REQUIRED FOR WALL MOUNTED JOINERY, GRAB RAILS, SHOWER SCREENS AND THE LIKE.

**LEGEND:**  
 (SD) TYPE 1 DOMESTIC SMOKE ALARM, INSTALL IN ACCORDANCE WITH NZS 4514:2009 AND F7/AS1  
 (DS) DOUBLE STUDS UNDER ALL POINT LOADS (GIRDER TRUSSES, BEAMS) UNLESS OTHERWISE STATED  
 DS = 2/90 x 45 SG8 STUDS

**WALL LINTEL NOTES**  
 REFER TO SHEET A120 FOR LINTEL SIZES

INSTALL IN ACCORDANCE WITH NZS3604:2011, SECTION 8.6.1.8; EACH LINTEL REQUIRED BY TABLE 8.14 TO BE SECURED AGAINST UPLIFT SHALL BE FIXED AT EACH END TO A TRIMMING STUD WHICH IN TURN SHALL BE FIXED TO THE FLOOR FRAMING. EACH FIXING TO BE AS SHOWN IN FIGURE 8.12, OR AN ALTERNATIVE FIXING OF 7.5KN CAPACITY IN TENSION ALONG THE LINE OF THE TRIMMING STUD. REFER NZS3604:2011 FIGURE 8.12

**LININGS**  
 GENERALLY LINE CEILINGS WITH 13mm GIB BOARD (13mm AQUALINE GIB TO WET AREAS)  
 GENERALLY LINE WALLS WITH 10mm GIB BOARD (10mm AQUALINE GIB TO WET AREAS)  
 REFER TO BRACING SHEET FOR SPECIFIED BRACING ELEMENTS PROVIDE FIXING FOR ALL FIXTURES, LININGS, BRACING PANELS AND TRIM

**MINIMUM THERMAL INSULATION:**  
 WALL: \*REFER TO H1 NOTE  
 CEILING: R6.6 PINK BATTES OR EQUIVALENT  
 UNDERFLOOR: R1.5 PINK BATTES OR EQUIVALENT

**H1 NOTE:**  
 WHEN REMOVING AND/OR REPLACING INTERIOR LINING AND/OR EXTERIOR CLADDING, R2.2 min. PINK BATTES OR EQUIVALENT TO BE INSTALLED. IT IS RECOMMENDED TO INSTALL PINK BATTES RETROFIT OVER THE EXISTING CEILING INSULATION TO THE ENTIRE CEILING.

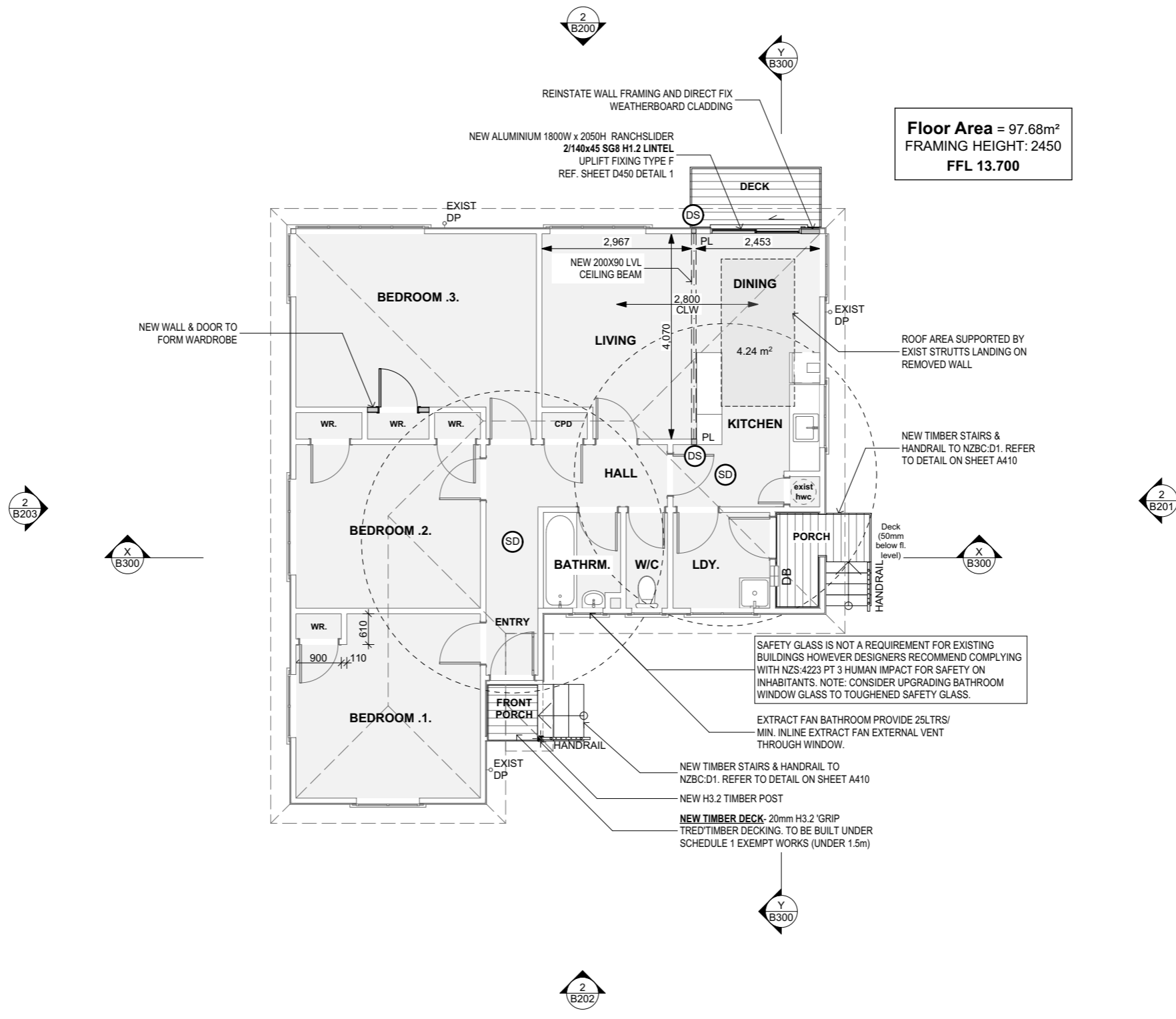
**DECK SURFACE**  
 DECK SURFACES THAT PROVIDE THE MAIN ACCESS TO A BUILDING SHALL HAVE A SLIP RESISTANCE NOT LESS THEN 0.4 WHEN WET

**EXTERNAL GLAZING NOTE:**  
 ALL GLAZING TO COMPLY WITH F2/AS1 1.0 GLAZING AND NZS 4223 PARTS 1-3.

SAFETY GLASS TO WINDOWS & SHOWERS LOCATED IN THE ENSUITE & BATHROOM

WINDOW OPENINGS TO COMPLY WITH F4/AS1 3.0 OPENING WINDOWS. OPENINGS LESS THAN 1.0M WIDE MIN. SILL HEIGHT TO BE 760MM OR RESTRICTOR STAY REQUIRED WITH MAX. 100MM OPENING GAP. ALL OPENING SASHES COMPLY WITHOUT RESTRICTOR STAYS.

WINDOW MANUFACTURER SHALL CHECK ON SITE ALL WINDOW OPENING SIZES PRIOR TO ASSEMBLY.



**Floor Area = 97.68m<sup>2</sup>**  
**FRAMING HEIGHT: 2450**  
**FFL 13.700**

Rev	Date	Description
01	13/05/2024	BC ISSUE



**Hazley Windelborne C/O**  
**Te Iwi o Ngati Kahu Trust**  
 RELOCATION OF 2 DWELLINGS  
**19 BONNETT ROAD**  
**KAITAIA**  
**FAR NORTH**

Drawing Title  
**3 BED PROPOSED FLOOR PLAN**


Lot: 1	Zoning: RESIDENTIAL
DP/LT: 210702	Wind Zone: MEDIUM
Area: 2,127 sqm	Corrosion: C
Technician: KJ	
Date Printed: Tuesday, 14 May 2024	
Scale at A3: 1:100	

Job No: <b>24-1243</b>	Drawing No: <b>B101</b>	Rev: <b>01</b>
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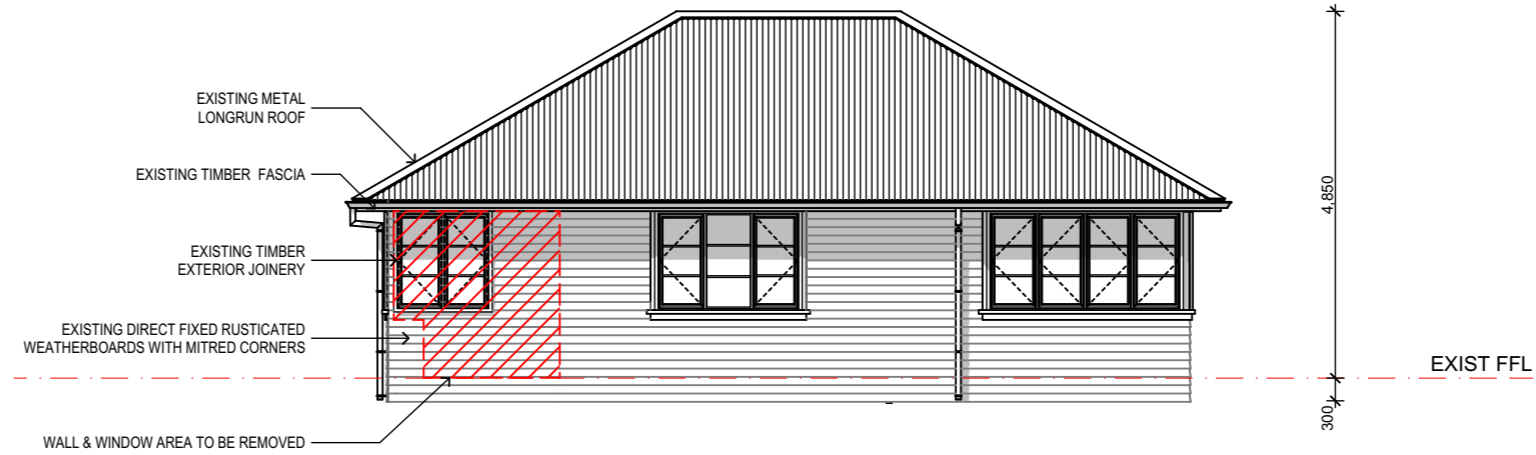
**DEMOLITION WORK**  
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**ITEMS FOR SALVAGE OR RE-USE**  
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 **ITEMS FOR REMOVAL / DEMOLITION**

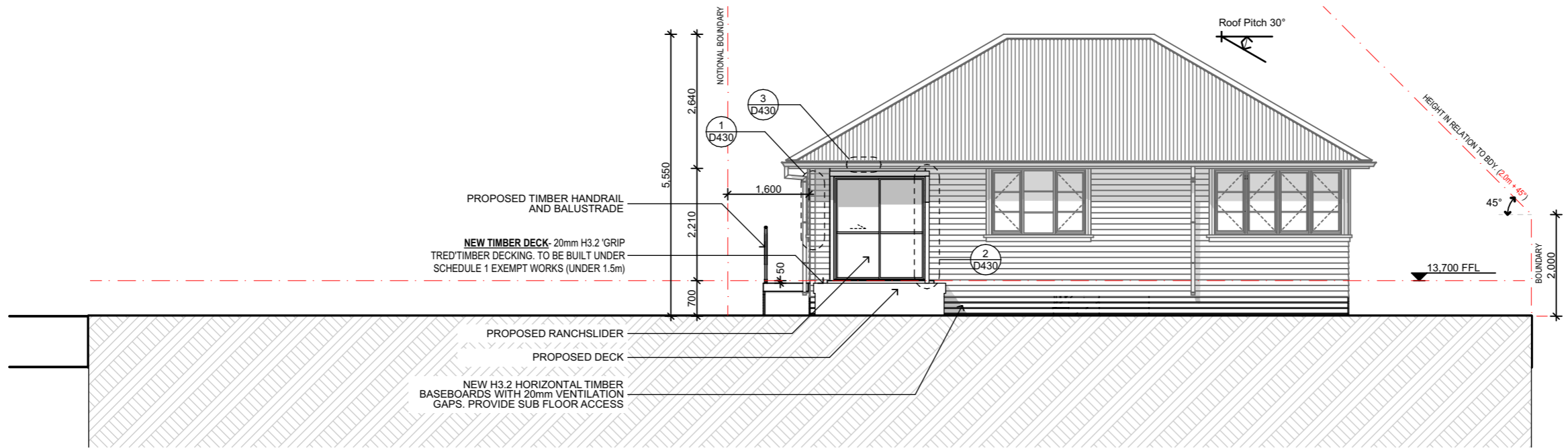
**BUILDING CONSENT**

Rev	Date	Description
01	13/05/2024	BC ISSUE



**1 EXISTING NORTH ELEVATION**  
 Scale 1:100

**NOTE:**  
 CONTRACTOR TO INSPECT CLADDING AFTER HOUSE RELOCATION AND REMEDIATE ANY CLADDING WHERE NECESSARY IN ACCORDANCE WITH MANUFACTURES DOCUMENTATION. THIS ALSO INCLUDES INSPECTION AND REMEDIATION OF ALL EXISTING CONTROL JOINTS



**2 PROPOSED NORTH ELEVATION**  
 Scale 1:100

**Hazley Windelborne C/O  
 Te Iwi o Ngati Kahu Trust**  
 RELOCATION OF 2 DWELLINGS  
 19 BONNETT ROAD  
 KAITAIA  
 FAR NORTH

Drawing Title  
**3 BED NORTH ELEVATIONS**

Site Information  
 Lot: 1      Zoning: RESIDENTIAL  
 DP/LT: 210702      Wind Zone: MEDIUM  
 Area: 2,127 sqm      Corrosion: C

Technician: KJ  
 Date Printed: Tuesday, 14 May 2024

Scale at A3: 1:100

Job No: <b>24-1243</b>	Drawing No: <b>B200</b>	Rev: <b>01</b>
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 **ITEMS FOR REMOVAL / DEMOLITION**

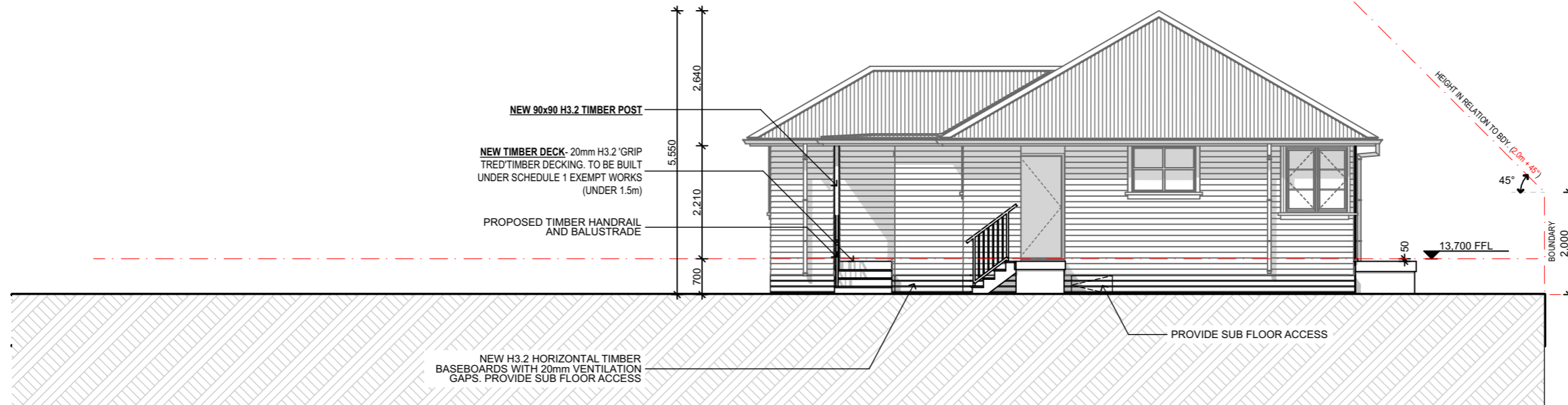
**BUILDING CONSENT**

Rev	Date	Description
01	13/05/2024	BC ISSUE



**1** EXISTING EAST ELEVATION  
 A100 Scale 1:100

**NOTE:**  
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**2** PROPOSED EAST ELEVATION  
 A100 Scale 1:100

**Hazley Windelborne C/O Te Iwi o Ngati Kahu Trust**

**RELOCATION OF 2 DWELLINGS  
 19 BONNETT ROAD  
 KAITAIA  
 FAR NORTH**

Drawing Title  
**3 BED EAST ELEVATIONS**

Site Information  
 Lot: 1 Zoning: RESIDENTIAL  
 DP/LT: 210702 Wind Zone: MEDIUM  
 Area: 2,127 sqm Corrosion: C

Technician: KJ

Date Printed: Tuesday, 14 May 2024

Scale at A3: 1:100

Job No:	Drawing No:	Rev:
<b>24-1243</b>	<b>B201</b>	<b>01</b>


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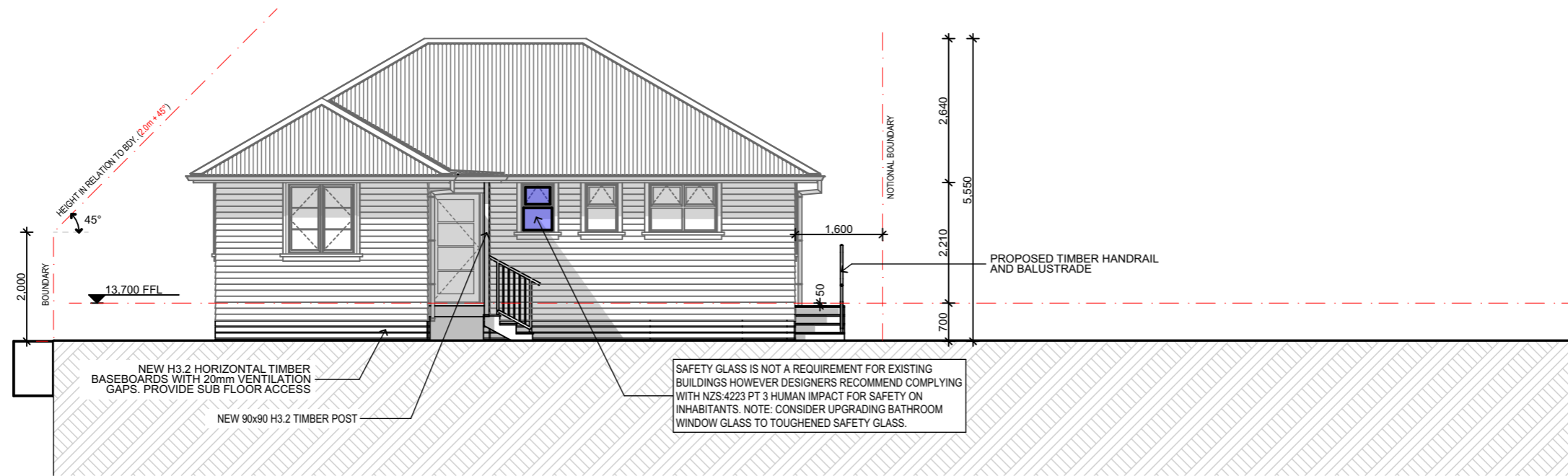
**DEMOLITION WORK**  
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 **ITEMS FOR REMOVAL / DEMOLITION**



**1** EXISTING SOUTH ELEVATION  
 A100 Scale 1:100



**2** PROPOSED SOUTH ELEVATION  
 A100 Scale 1:100

**BUILDING CONSENT**

Rev	Date	Description
01	13/05/2024	BC ISSUE

**NOTE:**  
 CONTRACTOR TO INSPECT CLADDING AFTER HOUSE RELOCATION AND REMEDIATE ANY CLADDING WHERE NECESSARY IN ACCORDANCE WITH MANUFACTURES DOCUMENTATION. THIS ALSO INCLUDES INSPECTION AND REMEDIATION OF ALL EXISTING CONTROL JOINTS



**Hazley Windelborne C/O  
 Te Iwi o Ngati Kahu Trust**

**RELOCATION OF 2 DWELLINGS  
 19 BONNETT ROAD  
 KAITAIA  
 FAR NORTH**

Drawing Title  
**3 BED SOUTH ELEVATIONS**

Lot: 1	Zoning: RESIDENTIAL
DP/LT: 210702	Wind Zone: MEDIUM
Area: 2,127 sqm	Corrosion: C

Technician: KJ

Date Printed: Tuesday, 14 May 2024

Scale at A3: 1:100

Job No: <b>24-1243</b>	Drawing No: <b>B202</b>	Rev: <b>01</b>
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**DEMOLITION WORK**  
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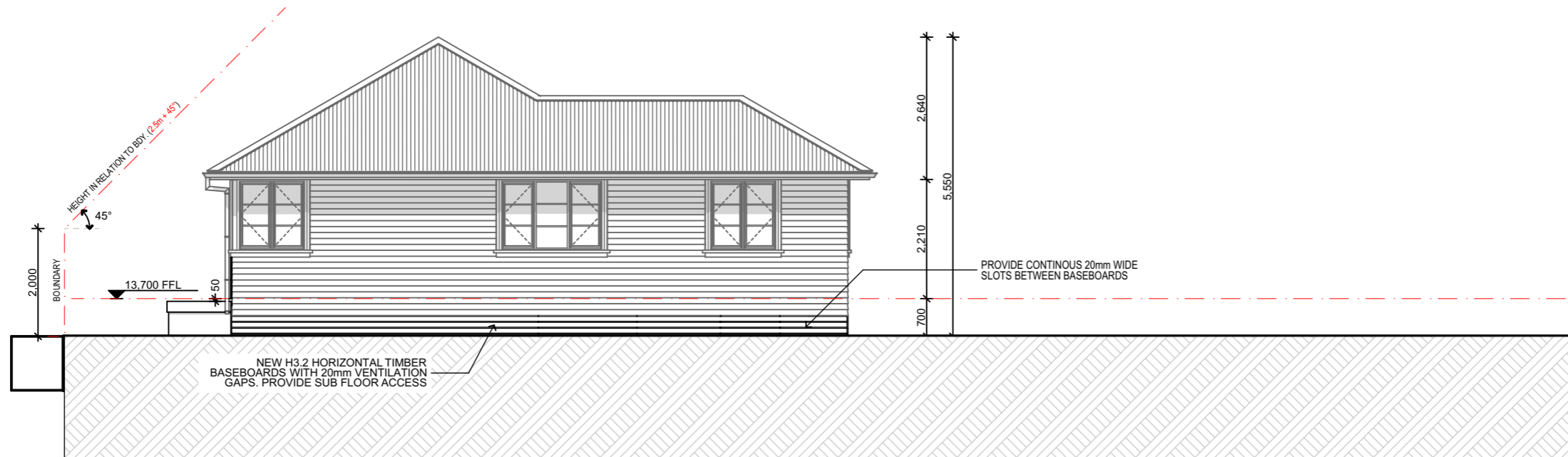
 **ITEMS FOR REMOVAL / DEMOLITION**

**BUILDING CONSENT**

Rev	Date	Description
01	13/05/2024	BC ISSUE



**1** EXISTING WEST ELEVATION  
 A100 Scale 1:100



**2** PROPOSED WEST ELEVATION  
 A100 Scale 1:100

**NOTE:**  
 CONTRACTOR TO INSPECT CLADDING AFTER HOUSE RELOCATION AND REMEDIATE ANY CLADDING WHERE NECESSARY IN ACCORDANCE WITH MANUFACTURES DOCUMENTATION. THIS ALSO INCLUDES INSPECTION AND REMEDIATION OF ALL EXISTING CONTROL JOINTS



**Hazley Windelborne C/O  
 Te Iwi o Ngati Kahu Trust**

**RELOCATION OF 2 DWELLINGS  
 19 BONNETT ROAD  
 KAITAIA  
 FAR NORTH**

Drawing Title  
**3 BED WEST ELEVATIONS**

Site Information  
 Lot: 1 Zoning: RESIDENTIAL  
 DP/LT: 210702 Wind Zone: MEDIUM  
 Area: 2,127 sqm Corrosion: C

Technician: KJ

Date Printed: Tuesday, 14 May 2024

Scale at A3: 1:100

Job No:	Drawing No:	Rev:
<b>24-1243</b>	<b>B203</b>	<b>01</b>

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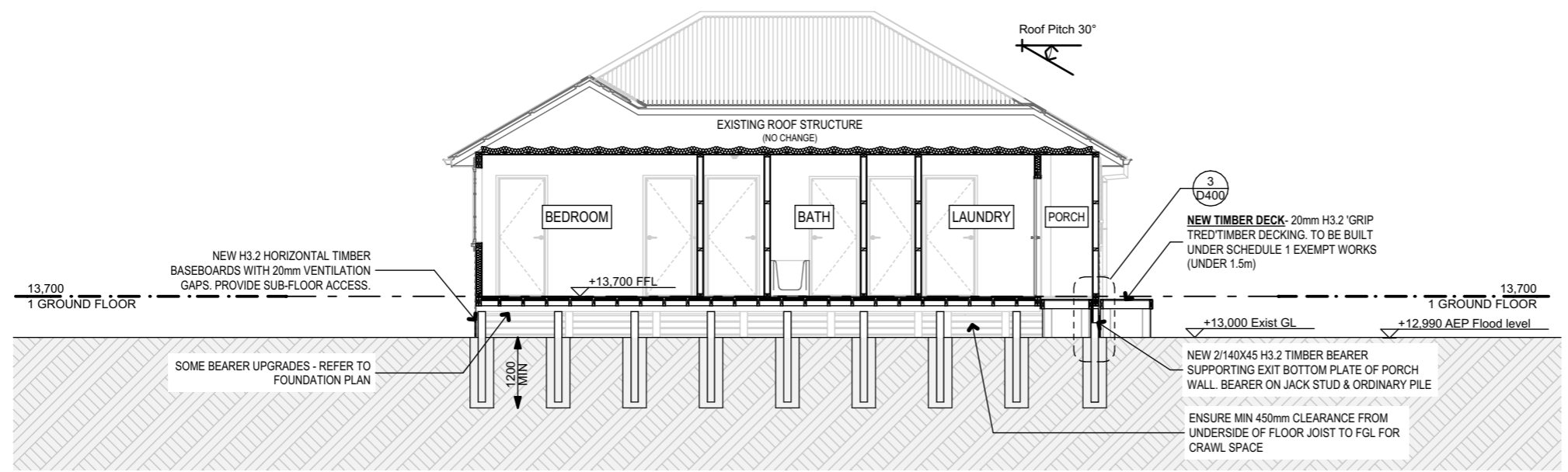
All construction shall be in accordance with NZBC handbook and approved documents, NZS3604:2011 and local territorial authority requirements

Do not scale off plans  
 Contractor must locate relevant boundary pegs before commencing any works.

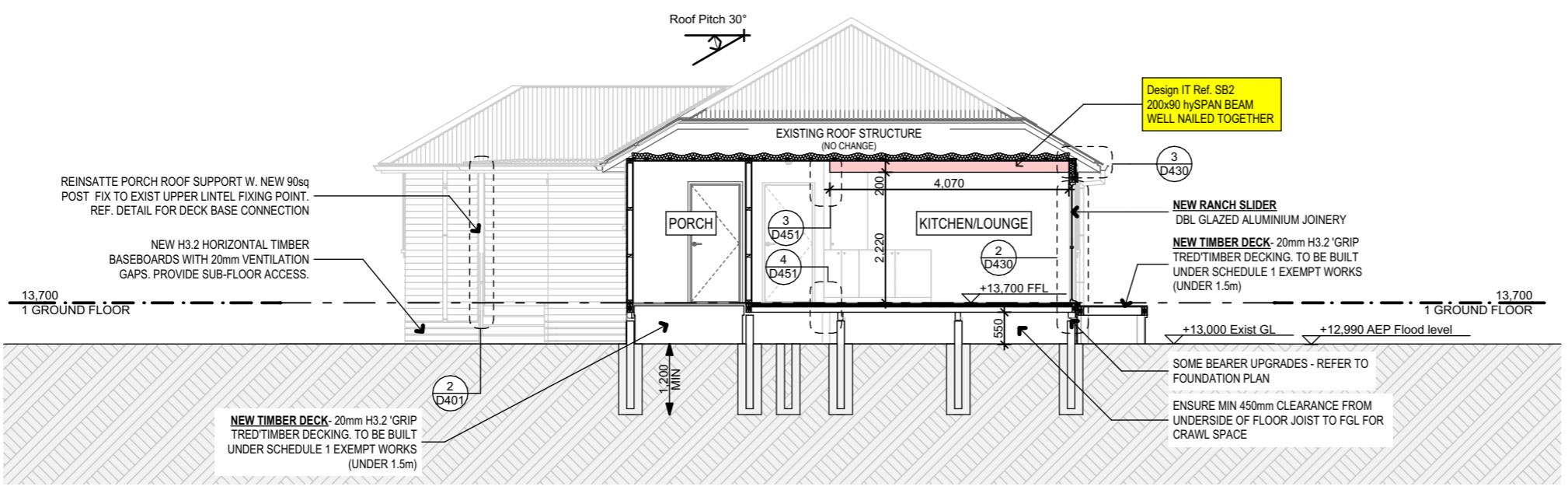
**50 and 100-Year Extent River Flood Hazard Zone**  
 The building platform (AEP + freeboard) shall be measured from the prescribed water level (e.g a 1% or 2% AEP event + freeboard) to either the building platform level, the underside of the floor joists.  
 Flood zone water level = 12.990RL + allowance of 500mm freeboard (as per NZS4404:2010)

**BUILDING CONSENT**

Rev	Date	Description
01	13/05/2024	BC ISSUE



**1 X SECTION X-X**  
 A100 Scale 1:100



**2 Y SECTION Y-Y**  
 A100 Scale 1:100



**Hazley Windelborne C/O Te Iwi o Ngati Kahu Trust**  
 RELOCATION OF 2 DWELLINGS  
 19 BONNETT ROAD  
 KAITAIA  
 FAR NORTH

Drawing Title  
**3 BED CROSS SECTIONS**

Site Information

Lot:	1	Zoning:	RESIDENTIAL
DP/LT:	210702	Wind Zone:	MEDIUM
Area:	2,127 sqm	Corrosion:	C

Technician: KJ  
 Date Printed: Tuesday, 14 May 2024  
 Scale at A3: 1:100

Job No:	Drawing No:	Rev:
24-1243	B300	01

H1 Minimum values for Zone 1 & 2		
Building Thermal Envelope Component	Minimum R-values (M2 C/W)	Insulation to be installed
Roof	R6.6	R6.6
Wall	R2.0	R2.2
Floor	R1.5	R1.5

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 Do not scale off plans  
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**FOUNDATION LAYOUT NOTE:**  
 Ref. GEOTECHNICAL REPORT BY T&A STRUCTURAS LTD.  
 Dated 6th APRIL 2024  
 A SUITABLE REPRESENTATIVE FROM IS TO BE ON SITE AT THE TIME THE PILES ARE BOARDED TO CONFIRM GROUND CONDITION PRIOR TO ANY CONCRETE BEING POURED.  
 CONTACT: Teo Pllapil CPEng, CMEngNZ

The soils on this site are considered to be highly expansive and soft. The soils appeared to have not complied with the definition of "good ground" as noted in NZS3604:2011. It is however, considered that the site is suitable for the proposed development. The following are the recommended foundation options:

- Pile foundation designed according to the requirements of NZS3604:2011, provided that the piles are embedded into the ground at least 1200mm. At these depths, it is expected that the soil has at least 300kpa ultimate soil bearing capacity. It is also anticipated that this depth is enough to mitigate the effects of possible seasonal soil movements due soil expansivity.
- Due to being within a flood hazard zone, a shallow type foundation is not recommended for these dwellings.

**PILE NOTE:**  
 SQUARE PILES SHALL HAVE MIN. DIM. OF 125mm AND NOT EXCEED 3.6m IN LENGTH. PILES SHALL MEET THE GRADE LIMITATIONS IN NZS3605:2001.

**REGARDLESS OF THE PILE SPACING STATED, ENSURE TO PLACE PILES AT EXISTING BEARER JOINS**

ANCHOR PILES SHALL BE BRANDED WITH THE LETTER 'A' TO MEET THE REQUIREMENTS OF NZS 3640:2003 AND NZS 3605:2001.

ROUND PILES SHALL HAVE A MIN. DIM. 140Ø AND NOT EXCEED 3.6m IN LENGTH. PILES SHALL MEET THE GRADE LIMITATIONS AS IN NZS3605:2001. ROUND PILES MAY ONLY BE USED AS ORDINARY PILES, CANTILEVERED PILES OR BRACED PILES.

ALL PILES SHALL BE CCA TREATED TO NZTPA HAZARD CLASS H5 OR APPROVED EQUIVALENT.

**BEARER NOTE:**  
 ALL BEARERS SHALL BE CCA TREATED TO NZTPA HAZARD CLASS H3.2. SPLICE BEARERS WITH OPPOSITE DIRECTION CUT, IF TWO BEARERS JOIN AT THE SAME PILE.

BEARERS SHALL BE ATTACHED TO EACH PILE WITH 2 (SKEWED) 100 x 3.75Ø NAILS DRIVEN NAILS + 2 WIRE DOGS. UNLESS OTHERWISE STATED.

BUILDER TO FIX GALV. END CAP TO ALL EXPOSED BEARER ENDS

**IF ANY BEARER IS SHORT OF THE EXTERIOR WALL, CUT BACK TO PREVIOUS PILE & REPLACE WITH NEW BEARER TO MATCH EXISTING. AND ADVISED ARCHITECT / DESIGNER**

**SUBFLOOR BRACE NOTE:**  
 THE BRACE SHALL BE FIXED TO THE BOTTOM OF BRACED PILE, AND EITHER THE TOP OF THE OTHER BRACED PILE, AND EITHER THE TOP OF THE OTHER BRACED PILE, OR TO A BEARER WITHIN 200mm OF THE OTHER PILE, OR TO A JOIST WITHIN 200mm OF THE OTHER PILE.

BRACES SHALL BE EITHER 100 x 75 AND NOT EXCEED 3m IN LENGTH, OR 100 x 100 AND NOT EXCEED 5m IN LENGTH, AS PER NZS3604.  
 MAX BRACE ANGLE = 45° (MAY SKIP A PILE IF REQUIRED)  
 MIN BRACE ANGLE = 10° (MAY SKIP A PILE IF REQUIRED)

**FLOOR FRAMING NOTES:**

**PLUMBING:**  
 POSITION JOISTS TO ALLOW FOR PLUMBING FIXTURES.

**JOIST LAYOUT:**  
 FLOOR JOIST SHALL BE 240 x 45 H1.2 SG8 UNLESS STATED OTHERWISE.

**POINT LOADS:**  
 POINT LOADS MUST BE DIRECTLY SUPPORTED UNDERNEATH BY A PILE IF NOT SUPPORTED ON A BEARER LINE.

**NOGGING:**  
 CONTINUOUS ROW OF SOLID NOGS TO MID SPAN OF JOISTS LARGER THAN 200 X 50 SPANNING MORE THAN 2.5m. SOLID NOG EVERY 1800mm ON TOP OF OR WITHIN 300mm OF BEARERS OR TOP PLATE OF BRACED WALLS.

**JOIST FIXING:**  
 ALL FLOOR JOISTS SHALL BE HANGED WITH 'LUMBERLOK' JOIST HANGERS TO ANY TRIMMERS OR BEAMS AS SHOWN. ATTACH 90mm WIDE TIMBER MEMBERS TO BEAMS WITH 100mm WIDE JOIST HANGERS.

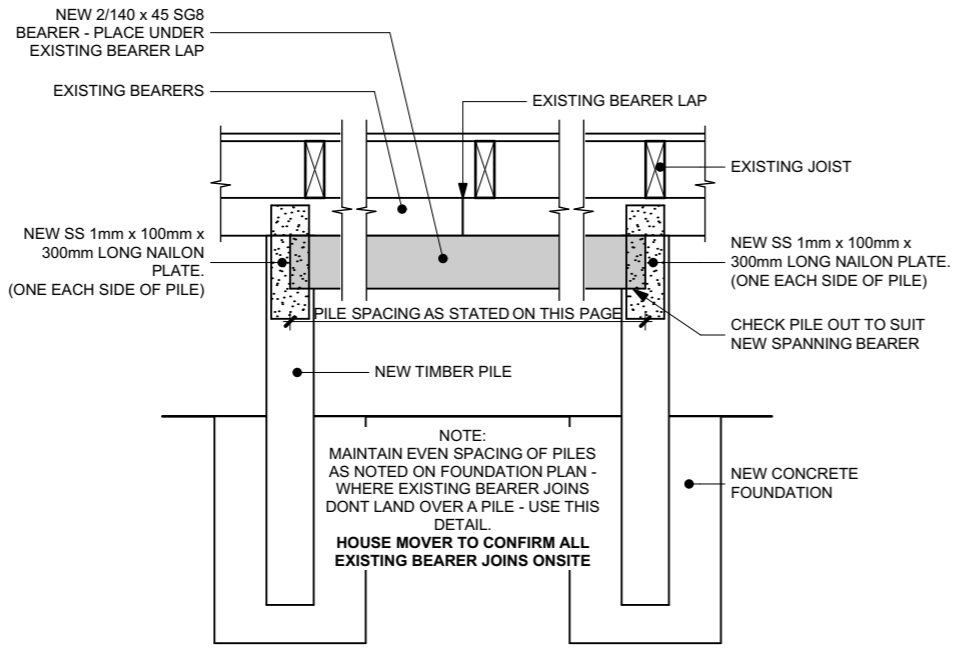
JOISTS SHALL BE ATTACHED TO EACH LOAD BEARING WALL PLATE WITH 2 (SKEWED) 100 X 3.75Ø NAILS DRIVEN NAILS.

**FLOORING:**  
 EX 20mm H.D. PARTICLE BOARD FLOORING SCREWED & GLUED TO JOISTS AS PER MANUFACTURERS SPECIFICATIONS.

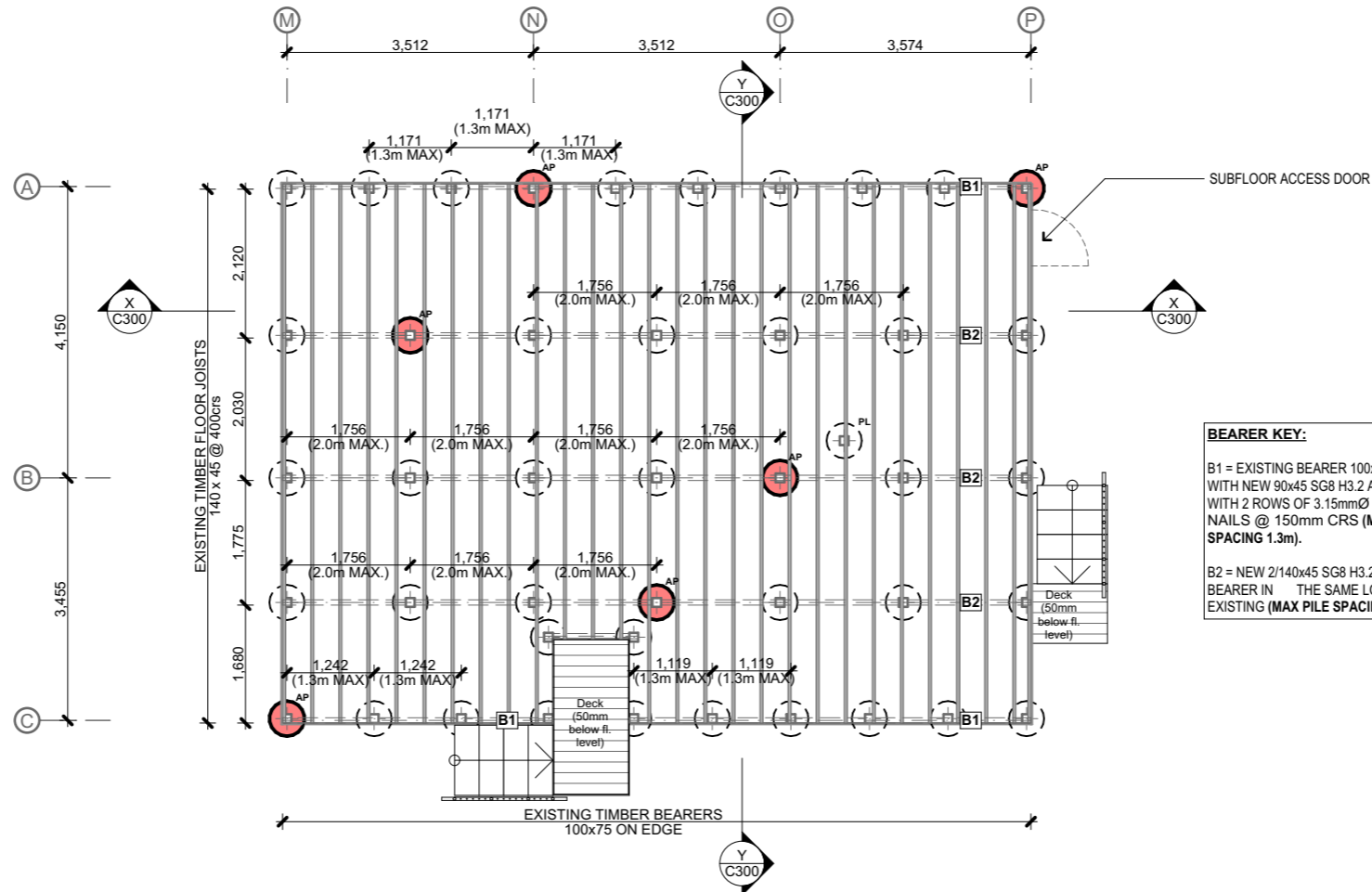
19mm PLY BOARD FLOORING SCREWED & GLUED TO JOISTS AS PER MANUFACTURES SPECIFICATIONS.

NEW FLOOR BOARDS THAT DO NOT HAVE MATCHING TONGUED AND GROOVED ENDS SHALL BE CUT SQUARE ON ENDS AND BUTTED TIGHTLY TOGETHER AT END JOINTS. END JOINTS SHALL BE MADE OVER JOISTS, AND END JOINTS IN ADJACENT BOARDS SHALL BE STAGGERED.

**VENTILATIONS:** (NOT LESS THAN 3500mm<sup>2</sup> PER m<sup>2</sup>) SPACED REGULARLY, COMMENCING 750mm FROM THE CORNER AND AT MAX. 1.8m INTERVALS.



5 BEARER LAP DETAIL  
 A100 Scale 1:20



**ACCESS:**  
 PROVIDE SUB FLOOR ACCESS DOOR. ACCESS SHALL BE PROVIDED TO PERMIT VISUAL INSPECTION OF ALL SUBFLOOR FRAMING MEMBERS. A CRAWL SPACE FOR THIS PURPOSE SHALL BE NOT LESS THAN 450MM HIGH TO THE UNDERSIDE OF THE FLOOR JOISTS. A CLEAR HORIZONTAL SEPARATION OF NOT LESS THAN 450MM SHALL BE MAINTAINED BETWEEN THE OUTSIDE OF ANY WALL CLADDING AND THE ADJACENT GROUND. (REFER TO NZS 3604:2011, FIGURE 6.21)

**Key: Pile Types**

- ORDINARY PILE :125SQ. TIMBER PILE CAST FULLY INTO 450Ø CONCRETE PILE MIN. 1200mm BELOW CGL INTO FIRM NATURAL GROUND.
- BRACED PILE : ARROW HEADS REPRESENT TOP OF BRACE HIGH END OF BRACE. DIAGONAL BRACE ELEMENT AND CONNECTIONS AS PER NZS:3604 6.8 FIG 6.6. 125SQ. TIMBER PILE CAST FULLY INTO 450Ø CONCRETE PILE MIN. 1200mm BELOW CGL INTO FIRM NATURAL GROUND.  
 DIAGONAL BRACE: — — — top  
 LESS THAN 3.0m = 90mm x 75mm  
 EXCEEDING 3.0m = 90mm x 90mm  
 BRACE SHALL BE CONNECTED TO BRACED PILES WITH M12 BOLTS AND 50X50X3MM WASHERS. THE UPPER END OF THE BRACE, THE BOLT SHALL BE FIXED WITHIN 90-150MM BELOW BOTTOM OF BEARER THE LOWER END OF THE BRACE, THE BOLT SHALL BE FIXED WITHIN 200-300 MAX FROM CGL.
- ANCHORE PILE: AS PER NZS:3604. 125SQ. TIMBER PILE FULLY CAST INTO 450Ø CONCRETE PILE MIN. 1200mm BELOW CGL INTO FIRM NATURAL GROUND. REFER TO NZS:3604 (FIG. 6.10)

**ANCHOR/BRACED PILES**  
 IF GROUND TO UNDERSIDE OF BEARER IS GREATER THAN 600mm AT ANCHOR PILE, REPLACE WITH A BRACED PILE SYSTEM IN BOTH DIRECTIONS.

i.e: Anchor pile as drawn, to be replaced as per braced pile notes

**BRACING OF DECKS** (LESS THAN 2.0m FROM THE BUILDING)  
 DECKS WITH STRINGERS AND/OR JOISTS BOLTED TO THE BUILDING ON ONE OR MORE SIDES AND WHICH PROJECT NO MORE THAN 2.0m FROM THE BUILDING, DO NOT REQUIRE SUBFLOOR BRACING.

**BEARER KEY:**

B1 = EXISTING BEARER 100x75 ON EDGE WITH NEW 90x45 SG8 H3.2 ALONGSIDE - FIX WITH 2 ROWS OF 3.15mmØ x 90mm NAILS @ 150mm CRS (MAX. PILE SPACING 1.3m).

B2 = NEW 2/140x45 SG8 H3.2 TIMBER BEARER IN THE SAME LOCATION AS EXISTING (MAX PILE SPACING 2.0m).



**BUILDING CONSENT**

Rev	Date	Description
01	13/05/2024	BC ISSUE

**IMPORTANT NOTE**

CONTRACTORS TO CONFIRM THE LOCATION OF ALL EXISTING BEARERS ON THE EXISTING DWELLING PRIOR TO COMMENCING THE FINAL LAYOUT OF PILES. ACCESS TO THE EXISTING SUBFLOOR WAS LIMITED



**Hazley Windelborne C/O Te Iwi o Ngati Kahu Trust**

RELOCATION OF 2 DWELLINGS  
 19 BONNETT ROAD,  
 KAITAIA  
 FAR NORTH

Drawing Title: 2 BED FOUNDATION PLAN

Lot: 1	Zoning: RESIDENTIAL
DP/LT: 210702	Wind Zone: MEDIUM
Area: 2,127 sqm	Corrosion: ZONE C
Technician: BL	
Date Printed: Monday, 13 May 2024	
Scale at A3: 1:100, 1:20	
Job No: 24-1244	Drawing No: C080
	Rev: 01

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All construction shall be in accordance with NZBC handbook and approved documents, NZS3604:2011 and local territorial authority requirements

Do not scale off plans

Contractor must locate relevant boundary pegs before commencing any works.

**PLUMBING / DRAINAGE NOTE:**

ALL PLUMBING / DRAINAGE SHALL COMPLY WITH NZS 3500.2:2021, ACCEPTABLE SOLUTIONS, AUSTRALIAN PLUMBING STANDARDS.

MINIMUM FIXTURE WASTE PIPE SIZES & GRADIENTS:  
 \*PLUMBER ON SITE TO MAKE THE CALL IF LARGER PIPES ARE REQUIRED TO AVOID FUTURE BLOCKAGES

KITCHEN SINK	65Ø	1:60
BATH	65Ø	1:60
SHOWER	65Ø	1:60
BASINS	65Ø	1:60
LAUNDRY TUB	65Ø	1:60
WC	100Ø	1:60

**NOTE: MAXIMUM LENGTH OF UNVENTED FIXTURE PIPE BEFORE IT ENTERS THE 100Ø UNDERSLAB BRANCH DRAIN IS 2.5m. A 10m MAXIMUM COMBINED LENGTH OF BRANCH DRAIN & FIXTURE DISCHARGE PIPE CAN BE UNVENTED BEFORE IT ENTERS THE MAIN VENTED DRAIN**

ALL CHECKING OR DRILLING OF PIPES THROUGH TIMBER STRUCTURAL MEMBERS TO COMPLY WITH NZS 3604, ALL NOTCHES AND HOLES OUTSIDE THE SCOPE OF NZS 3604 SHALL BE SPECIFIC DESIGN

WHERE BOTTOM PLATES ARE CUT FOR WASTE PIPES FIX BOTTOM PLATE EITHER SIDE WITH 2/100x3.75 NAIL

ENSURE ALL PLUMBING PIPES AND WASTES ARE CONCEALED IN WALL AND FLOOR/CEILING SPACES

ALL PLUMBING AND DRAINAGE ROUTES ARE SHOWN INDICATIVELY, WASTE SIZES AND FIXTURE POSITIONS TO BE CONFIRMED BY PLUMBER/DRAIN LAYER PRIOR TO ANY SLAB/ FOUNDATION WORK COMMENCING.

AAV TO BE INSTALLED TO MANUFACTURES SPECIFICATIONS WHEREVER VENTILATION OF A SANITARY FITTING IS NOT ACHIEVABLE

CONNECT DISHWASHER OUTLET TO ADJACENT KITCHEN SINK

CONNECT WASHING MACHINE OUTLET TO ADJACENT LAUNDRY TUB

ALL CESSPITS TO BE LOCATED AT LOW POINTS WITH POSITIVE FALLS TOWARDS THEM

SANITARY SEWER DRAIN ORG LEVEL TO BE MIN OF 150mm BELOW THE INVERT OF THE LOWEST FIXTURE

DRAIN COILS TO ALL RETAINING WALLS & FOUNDATIONS AS REQUIRED. ALL SUBSOIL DRAINS TO DISCHARGE VIA A SILT TRAP TO STORMWATER DRAINAGE SYSTEM.

**HOT WATER CYLINDER:**  
 PROVIDE DN40 TUNDISH TO ACCEPT ALL HOT WATER UNIT CWEX / TPR DRAINS. ENSURE A 25mm AIR GAP EXISTS BETWEEN THE TOP OF THE TUNDISH AND THE END OF THE DISCHARGE DRAINS. TEST TO ENSURE CWEX / TPR DISCHARGE REMAINS IN THE DRAIN. ALL HOT WATER CYLINDERS TO BE SEISMICALLY RESTRAINED

**VENT:**  
 ALL VENT PIPES SHALL BE UPVC 50Ø UNLESS STATED, TERMINATE STACK VENT 150mm ABOVE ROOF LEVEL WITH AN APPROVED VENT COWL. WATER PROOF PIPE AT ROOF PENETRATION.

CONTRACTOR SHALL LOCATE DRAIN/S PRIOR COMMENCEMENT OF ANY RELEVANT FOUNDATION WORK

BACK FLOW PREVENTERS TO ALL OUTDOOR TAPS

**NOTES:**

DRAINAGE TO BE CHECKED BY CERTIFIED PLUMBER AND CROSS CHECKED WITH SITE CONDITIONS AND CONFIRMED AS CORRECT AND ACHIEVABLE BEFORE ANY WORK IS UNDERTAKEN

PIPE LOCATIONS SHOWN ARE INDICATIVE ONLY, PLUMBING TO CONFIRM ACTUAL LOCATION ONCE LAID ON SITE.

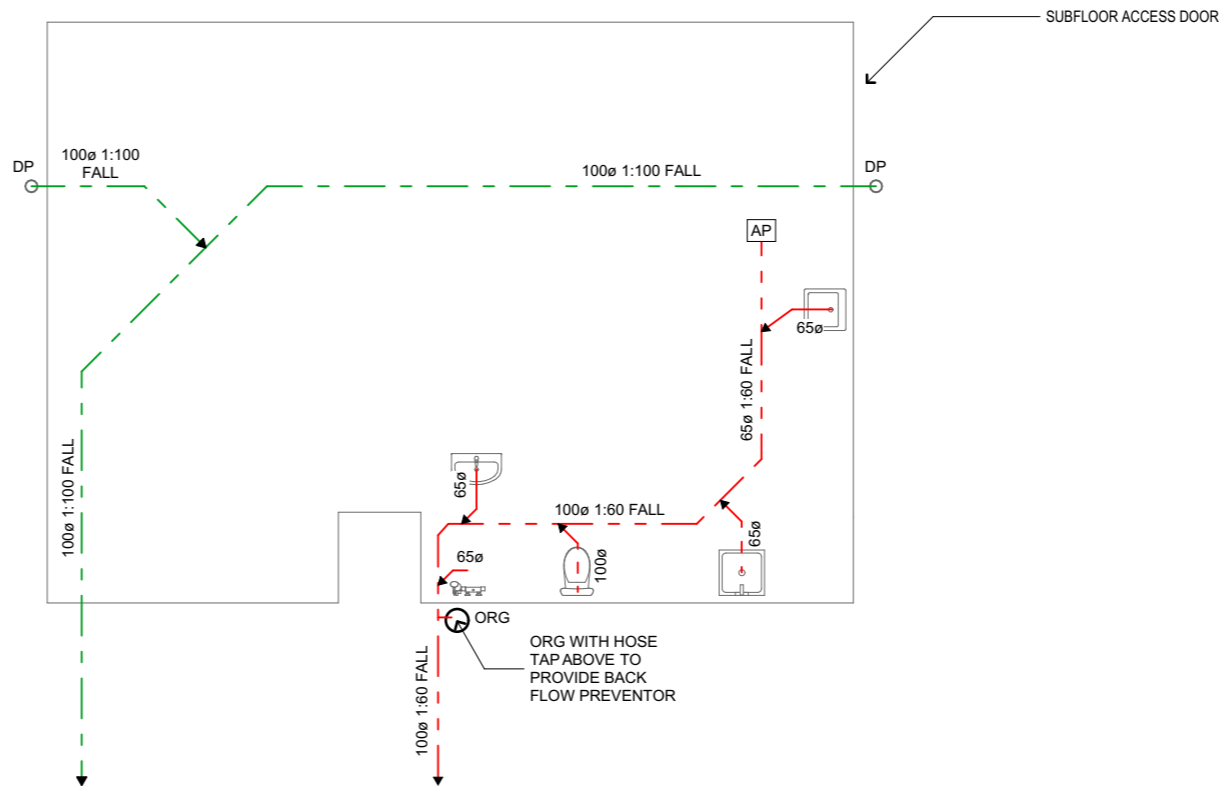
DRAINAGE IN CONJUNCTION WITH NZBC G13, INSTALLED BY A QUALIFIED TRADESMAN.

THE CONTRACTOR IS TO LOCATE ALL SERVICE CONNECTIONS ON SITE PRIOR TO ANY EARTHWORKS AND CONFIRM BOUNDARY SETBACK AND RESTRICTION COMPLY WITH COUNCIL REGULATIONS, PRIOR TO COMMENCEMENT OF FOUNDATIONS/SUBSTRUCTURE CONSTRUCTION. ALL WASTE PIPE DIMENSIONS, FALL, VENTING & DISCHARGE TO BE CONFIRMED BY A NZ QUALIFIED PLUMBER.

**Plumbing and drainage legend**

- WATER SUPPLY
- STOMR WATER
- FOULWATER

- DP DOWNPIPE
- ORG OVERFLOW RELIEF GULLY
- FW FLOOR WASTE
- AAV AIR ADMITTANCE VALVE
- AP ACCESS POINT
- TV TERMINAL VENT



**BUILDING CONSENT**

Rev	Date	Description
01	13/05/2024	BC ISSUE



**Hazley Windelborne C/O Te Iwi o Ngati Kahu Trust**  
**RELOCATION OF 2 DWELLINGS**  
**19 BONNETT ROAD,**  
**KAITAIA**  
**FAR NORTH**

Drawing Title  
**2 BED PLUMBING PLAN**

Lot: 1	Zoning: RESIDENTIAL
DP/LT: 210702	Wind Zone: MEDIUM
Area: 2,127 sqm	Corrosion: ZONE C

Technician: BL

Date Printed: Monday, 13 May 2024

Scale at A3: 1:50, 1:100

Job No:	Drawing No:	Rev:
<b>24-1244</b>	<b>C081</b>	<b>01</b>

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**GENERAL NOTES:**  
 READ THESE PLANS IN CONJUNCTION WITH THE FULL DOCUMENT SET.

ALL INFORMATION HAS EQUAL PRECEDENCE. ANY DISCREPANCIES BETWEEN DOCUMENTS MUST BE BOUGHT TO THE DESIGNER'S ATTENTION IMMEDIATELY. ANY DETAILS THAT CONFLICT WITH THE SUPPLIERS OR MANUFACTURERS DETAILS OR REQUIREMENTS MUST BE BROUGHT TO THE DESIGNER'S ATTENTION IMMEDIATELY.

LIAISE WITH MAIN AND RELATIVE SUB-CONTRACTORS WITH REGARDS TO TIMING OF INSTALLATION AND INTEGRATION WITH ALL OTHER TRADES.

ALL WORK SHALL COMPLY WITH NZS 3604:2011, NZS 3602:2003 AND ALL RELEVANT CLAUSES OF THE NEW ZEALAND BUILDING CODE AS NOTATED THROUGHOUT THE DROWN DOCUMENTS.

BUILDING LINES HAVE BEEN OBTAINED FROM EXISTING DRAWINGS, COUNCIL RECORDS AND OR SITE PHOTOS OR INFORMATION SUPPLIED BY THE OWNER. IT IS THEREFORE ESSENTIAL FOR THE CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS, LEVELS AND ANGLES OR SITE BEFORE COMMENCING ANY WORK SHOULD THERE BE ANY VARIATION THE DESIGNER AND CLIENT MUST BE MADE AWARE IMMEDIATELY.

ALL BUILDERS AND TRADESPERSON'S ON-SITE SHOULD BE FAMILIAR WITH BRANZ

**DEMOLITION WORK**

CARRY OUT DEMOLITION ONLY UNDER THE SUPERVISION OF A SUITABLY EXPERIENCED PERSON AND USING ONLY EXPERIENCED OPERATORS AND DRIVERS. OBTAIN AND PAY FOR ANY REQUIRED INSPECTIONS WHICH ARE ADDITIONAL TO THE BUILDING CONSENT. TAKE ALL PRECATUTIONS NECESSARY TO MINIMISE NUISANCE CAUSED BY NOISE, DUST, DIRT, RUBBISH AND WATER.

**ITEMS FOR SALVAGE OR RE-USE**

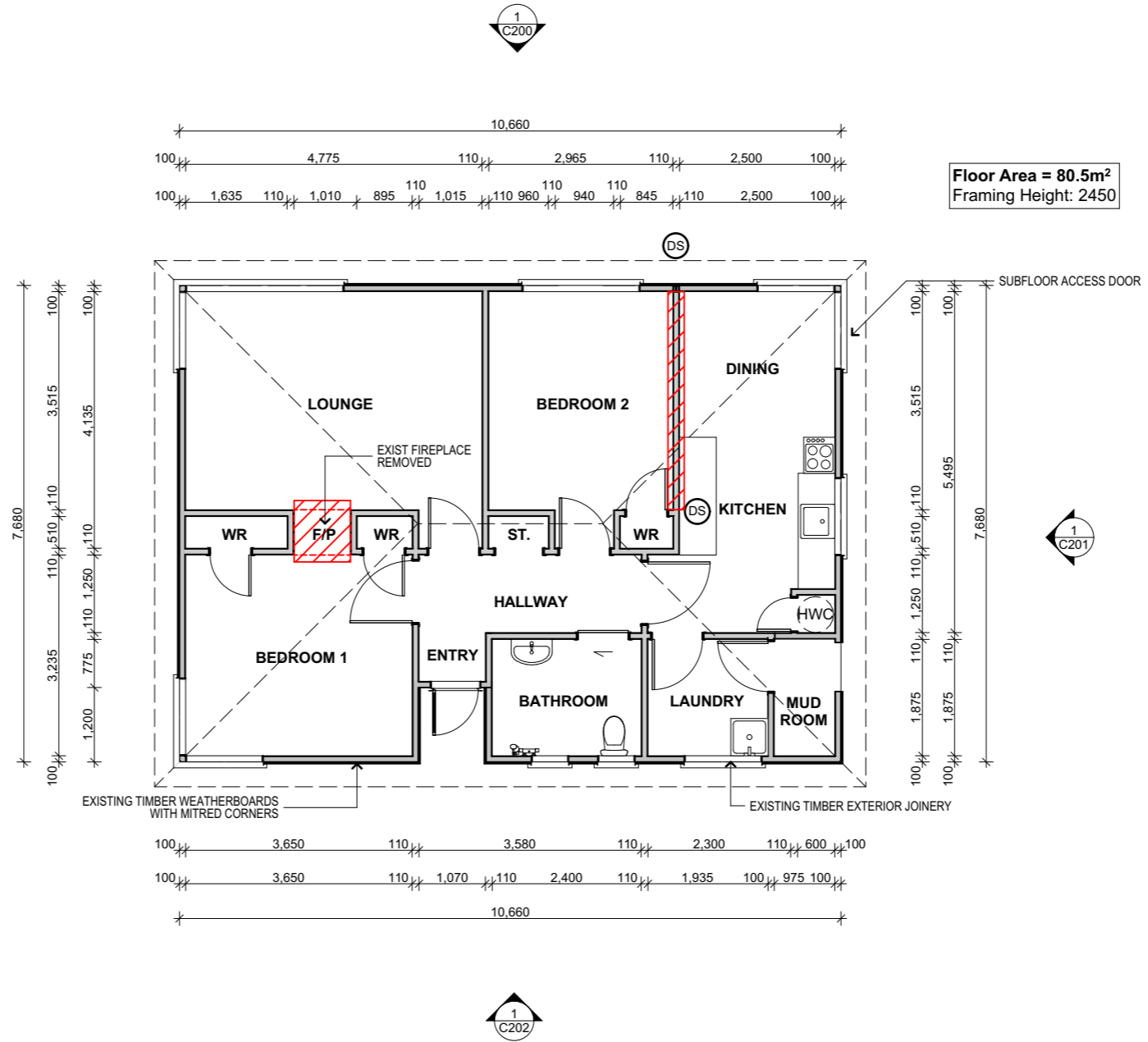
CAREFULLY DISMANTLE AND STORE SAFELY ALL SALVAGE ITEMS WHERE DIRECTED; FOR REMOVAL, USE ON SITE OR UNTIL COMPLETION OF THE WORKS.

 **ITEMS FOR REMOVAL / DEMOLITION**



**BUILDING CONSENT**

Rev	Date	Description
01	13/05/2024	BC ISSUE



**Floor Area = 80.5m<sup>2</sup>**  
**Framing Height: 2450**



**Hazley Windelborne C/O Te Iwi o Ngati Kahu Trust**  
**RELOCATION OF 2 DWELLINGS**  
**19 BONNETT ROAD,**  
**KAITAIA**  
**FAR NORTH**

Drawing Title  
**2 BED EXISTING FLOOR PLAN**

Site Information  
**Lot: 1**      **Zoning: RESIDENTIAL**  
**DP/LT: 210702**      **Wind Zone: MEDIUM**  
**Area: 2,127 sqm**      **Corrosion: ZONE C**

Technician: **BL**  
 Date Printed: **Monday, 13 May 2024**

Scale at A3: **1:100**

Job No:	Drawing No:	Rev:
<b>24-1244</b>	<b>C100</b>	<b>01</b>

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# BUILDING CONSENT

Rev	Date	Description
01	13/05/2024	BC ISSUE

**WALL FRAMING:**  
 EXISTING TIMBER FRAMED WALLS  
 PROPOSED 90 x 45mm SG8 H1.2 WALL FRAMING, INSULATED AS REQUIRED

**EXTERIOR WALLS & INTERNAL LOADBEARING:**  
 2.4m - 90 x 45 STUDS AT 600CRS  
 NOGS @ 800g UNLESS OTHERWISE STATED.

**INTERNAL NON LOADBEARING WALLS:**  
 90 x 45 STUDS AT 600 CRS.  
 NOGS @ 800g UNLESS OTHERWISE STATED.

**EXTERIOR & LOAD BEARING FRAMING SHALL HAVE:**  
 - 90 x 45 TOP PLATES WITH AN ADDITIONAL 140 X 35 PLATE.  
 - 90 X 45 BOTTOM PLATE

INSTALL ADDITIONAL DWANGS AS REQUIRED FOR WALL MOUNTED JOINERY, GRAB RAILS, SHOWER SCREENS AND THE LIKE.

**TOP PLATE FIXING**  
 TYPE 'A' x 3.15 END NAILS. 0.7kN FIXING (TABLE 8.18 NZS 3604:2011)  
 TYPE 'B' 2/90 x 3.15 END NAILS, PLUS 2 WIRE DOGS, 4.7kN FIXING (TABLE 8.18 NZS 3604:2011)

**BOTTOM PLATE FIXING: (ON TIMBER FLOOR)**  
 90 x 45 BOTTOM PLATES TO TIMBER FLOORS SHALL BE FIXED TO FLOOR FRAMING AT  
 A) EXTERNAL WALLS & INTERNAL WALL BRACING ELEMENTS 3/90 x 3.15Ø NAILS @ 600g  
 B) INTERNAL WALLS - 90 x 3.15Ø NAILS @ 600g  
 C) REFER TO SHEET WALL BRACING MANUFACTURERS SPECIFICATIONS FOR ADDITIONAL FIXINGS

**MINIMUM THERMAL INSULATION:**  
 WALL: \*REFER TO H1 NOTE  
 CEILING: R6.6 PINK BATTS OR EQUIVALENT  
 UNDERFLOOR: R1.5 PINK BATTS OR EQUIVALENT

**H1 NOTE:**  
 WHEN REMOVING AND/OR REPLACING INTERIOR LINING AND/OR EXTERIOR CLADDING, R2.2 min. PINK BATTS OR EQUIVALENT TO BE INSTALLED. IT IS RECOMMENDED TO INSTALL PINK BATTS RETROFIT OVER THE EXISTING CEILING INSULATION TO THE ENTIRE CEILING.

**LEGEND:**

(SD) TYPE 1 DOMESTIC SMOKE ALARM, INSTALL IN ACCORDANCE WITH NZS 4514:2009 AND F7/AS1

(DS) DOUBLE STUDS UNDER ALL POINT LOADS (GIRDER TRUSSES, BEAMS) UNLESS OTHERWISE STATED  
 DS = 2/90 x 45 SG8 STUDS

**LININGS**  
 GENERALLY LINE CEILINGS WITH 13mm GIB BOARD (13mm AQUALINE GIB TO WET AREAS)  
 GENERALLY LINE WALLS WITH 10mm GIB BOARD (10mm AQUALINE GIB TO WET AREAS)  
 REFER TO BRACING SHEET FOR SPECIFIED BRACING ELEMENTS PROVIDE FIXING FOR ALL FIXTURES, LININGS, BRACING PANELS AND TRIM

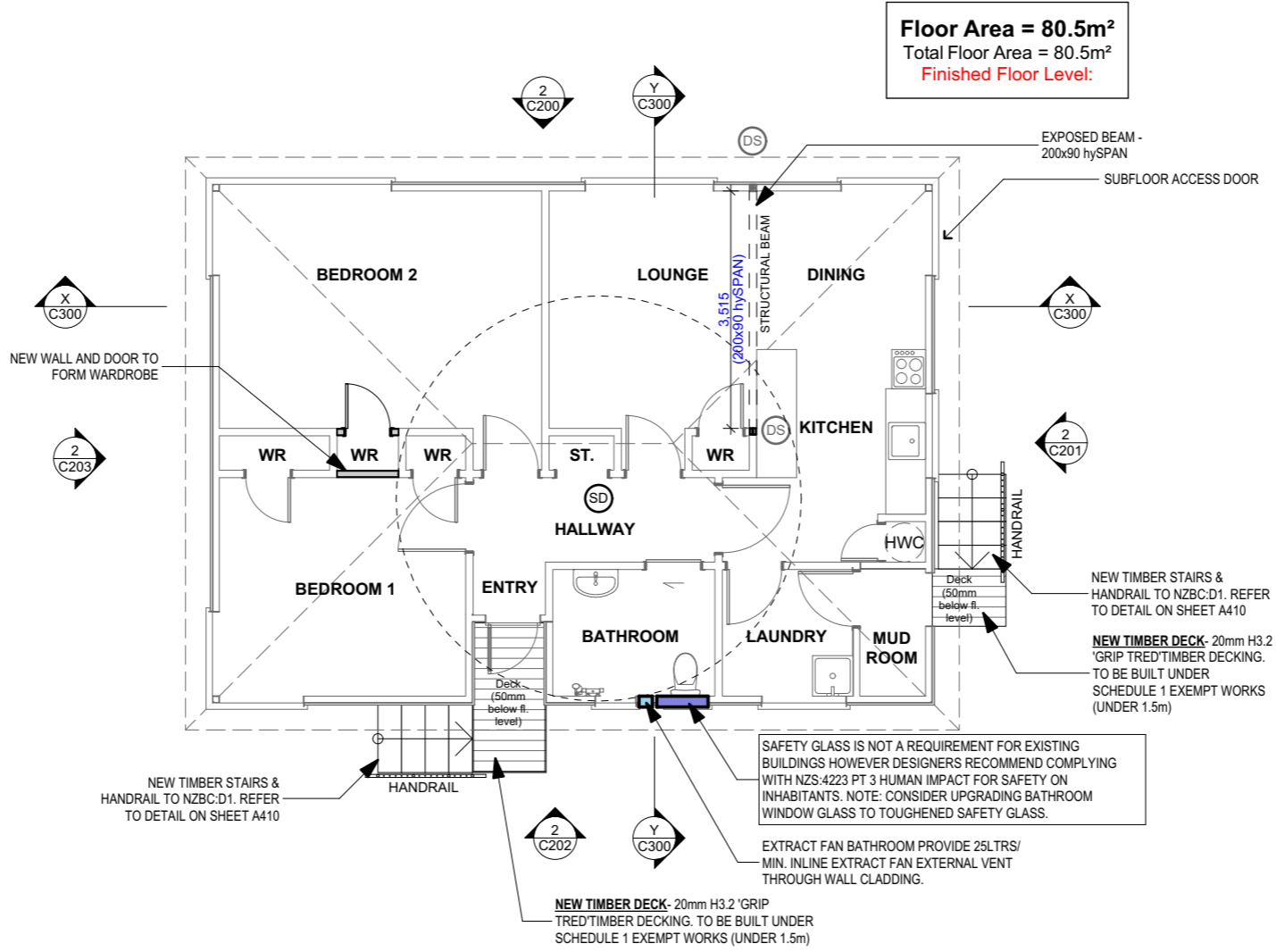
**EXTERNAL GLAZING NOTE:**  
 ALL GLAZING TO COMPLY WITH F2/AS1 1.0 GLAZING AND NZS 4223 PARTS 1-3.

SAFETY GLASS TO WINDOWS & SHOWERS LOCATED IN THE ENSUITE & BATHROOM

WINDOW OPENINGS TO COMPLY WITH F4/AS1 3.0 OPENING WINDOWS. OPENINGS LESS THAN 1.0M WIDE MIN. SILL HEIGHT TO BE 760MM OR RESTRICTOR STAY REQUIRED WITH MAX. 100MM OPENING GAP. ALL OPENING SASHES COMPLY WITHOUT RESTRICTOR STAYS.

WINDOW MANUFACTURER SHALL CHECK ON SITE ALL WINDOW OPENING SIZES PRIOR TO ASSEMBLY.

**DECK SURFACE**  
 DECK SURFACES THAT PROVIDE THE MAIN ACCESS TO A BUILDING SHALL HAVE A SLIP RESISTANCE NOT LESS THEN 0.4 WHEN WET



**Hazley Windelborne C/O Te Iwi o Ngati Kahu Trust**

**RELOCATION OF 2 DWELLINGS**  
**19 BONNETT ROAD, KAITAIA FAR NORTH**

Drawing Title  
**2 BED PROPOSED FLOOR PLAN**

Site Information  
 Lot: 1 Zoning: RESIDENTIAL  
 DP/LT: 210702 Wind Zone: MEDIUM  
 Area: 2,127 sqm Corrosion: ZONE C

Technician: BL  
 Date Printed: Monday, 13 May 2024  
 Scale at A3: 1:100


Job No:	Drawing No:	Rev:
<b>24-1244</b>	<b>C101</b>	<b>01</b>

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 Do not scale off plans  
 Contractor must locate relevant boundary pegs before commencing any works.

**DEMOLITION WORK**  
 CARRY OUT DEMOLITION ONLY UNDER THE SUPERVISION OF A SUITABLY EXPERIENCED PERSON AND USING ONLY EXPERIENCED OPERATORS AND DRIVERS. OBTAIN AND PAY FOR ANY REQUIRED INSPECTIONS WHICH ARE ADDITIONAL TO THE BUILDING CONSENT. TAKE ALL PRECATUTIONS NECESSARY TO MINIMISE NUISANCE CAUSED BY NOISE, DUST, DIRT, RUBBISH AND WATER.

**ITEMS FOR SALVAGE OR RE-USE**  
 CAREFULLY DISMANTLE AND STORE SAFELY ALL SALVAGE ITEMS WHERE DIRECTED; FOR REMOVAL, USE ON SITE OR UNTIL COMPLETION OF THE WORKS.

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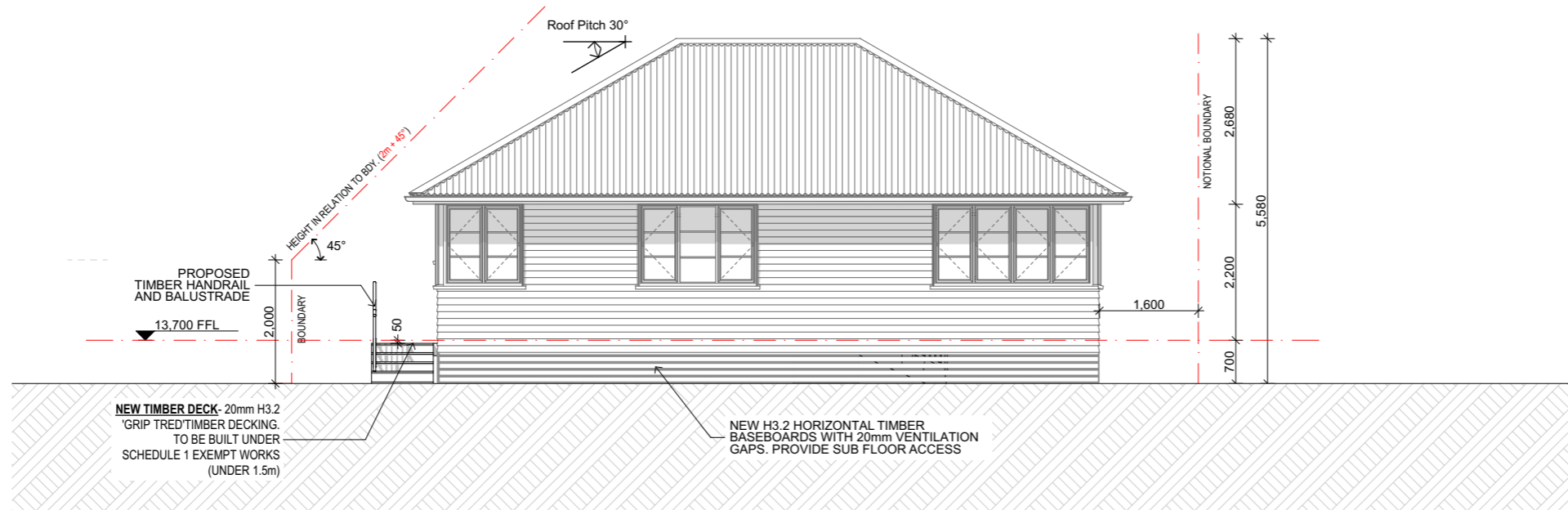
**BUILDING CONSENT**

Rev	Date	Description
01	13/05/2024	BC ISSUE



**NOTE:**  
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**1** EXISTING NORTH ELEVATION  
 A100 Scale 1:100



**2** PROPOSED NORTH ELEVATION  
 A101 Scale 1:100



**Hazley Windelborne C/O Te Iwi o Ngati Kahu Trust**

**RELOCATION OF 2 DWELLINGS  
 19 BONNETT ROAD,  
 KAITAIA  
 FAR NORTH**

Drawing Title  
**2 BED NORTH ELEVATIONS**

Site Information  
 Lot: 1 Zoning: RESIDENTIAL  
 DP/LT: 210702 Wind Zone: MEDIUM  
 Area: 2,127 sqm Corrosion: ZONE C

Technician: BL

Date Printed: Monday, 13 May 2024

Scale at A3: 1:100

Job No: <b>24-1244</b>	Drawing No: <b>C200</b>	Rev: <b>01</b>
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 CARRY OUT DEMOLITION ONLY UNDER THE SUPERVISION OF A SUITABLY EXPERIENCED PERSON AND USING ONLY EXPERIENCED OPERATORS AND DRIVERS. OBTAIN AND PAY FOR ANY REQUIRED INSPECTIONS WHICH ARE ADDITIONAL TO THE BUILDING CONSENT. TAKE ALL PRECATUTIONS NECESSARY TO MINIMISE NUISANCE CAUSED BY NOISE, DUST, DIRT, RUBBISH AND WATER.

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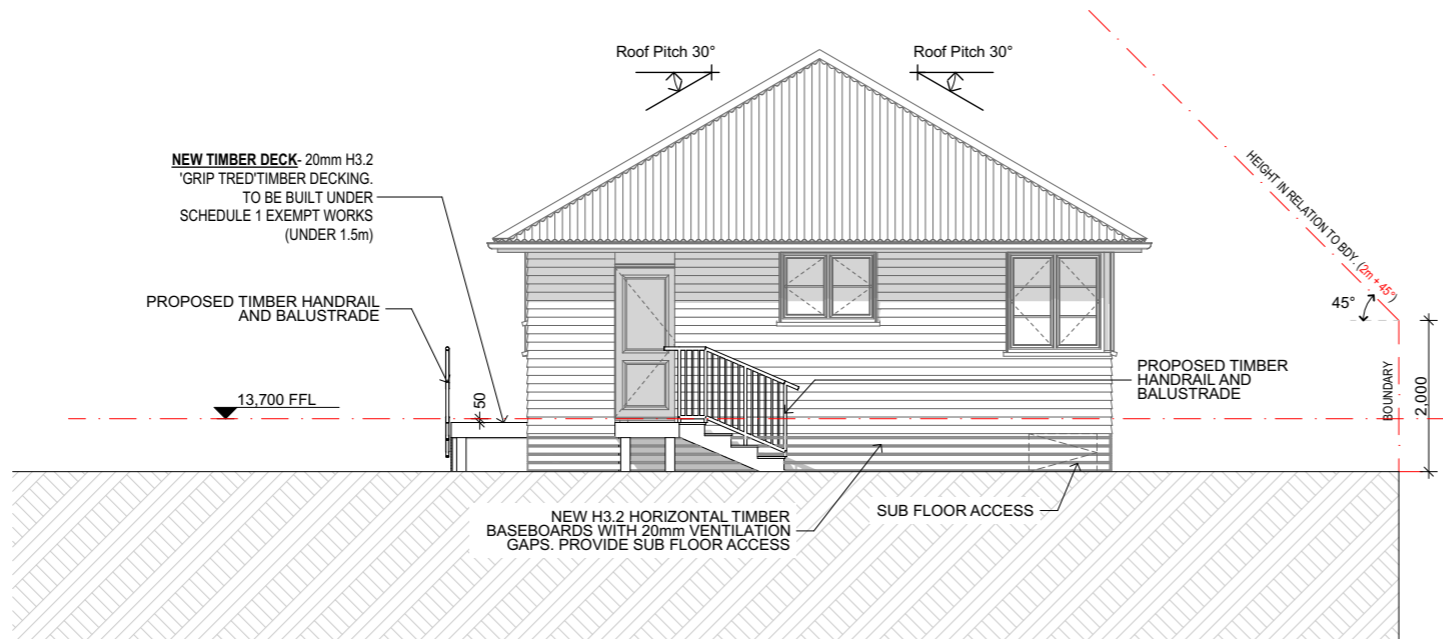
**BUILDING CONSENT**

Rev	Date	Description
01	13/05/2024	BC ISSUE



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**1 EXISTING EAST ELEVATION**  
 A100 Scale 1:100



**2 PROPOSED EAST ELEVATION**  
 A101 Scale 1:100



**Hazley Windelborne C/O Te Iwi o Ngati Kahu Trust**  
 RELOCATION OF 2 DWELLINGS  
 19 BONNETT ROAD,  
 KAITAIA  
 FAR NORTH

Drawing Title  
**2 BED EAST ELEVATIONS**


Lot: 1	Zoning: RESIDENTIAL
DP/LT: 210702	Wind Zone: MEDIUM
Area: 2,127 sqm	Corrosion: ZONE C
Technician: BL	
Date Printed: Monday, 13 May 2024	
Scale at A3: 1:100	

Job No: <b>24-1244</b>	Drawing No: <b>C201</b>	Rev: <b>01</b>
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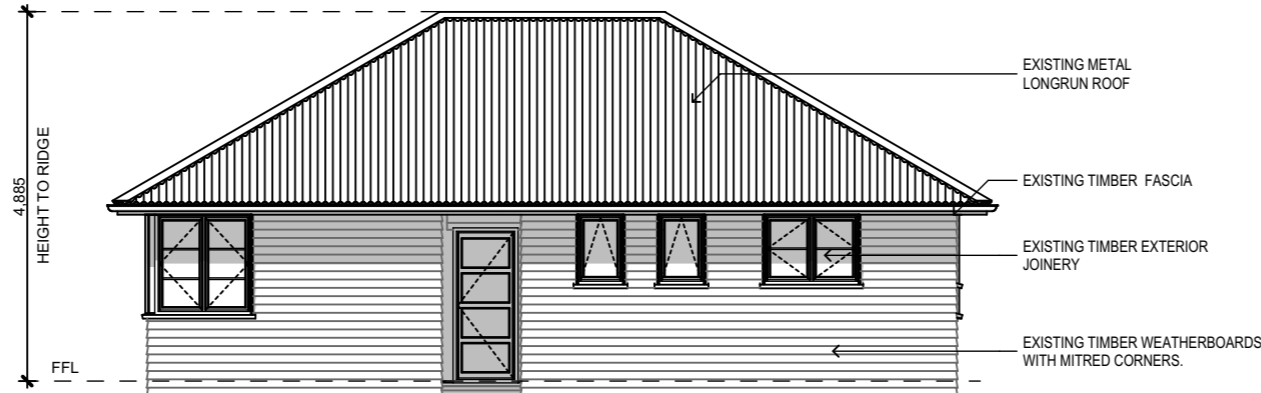
**DEMOLITION WORK**  
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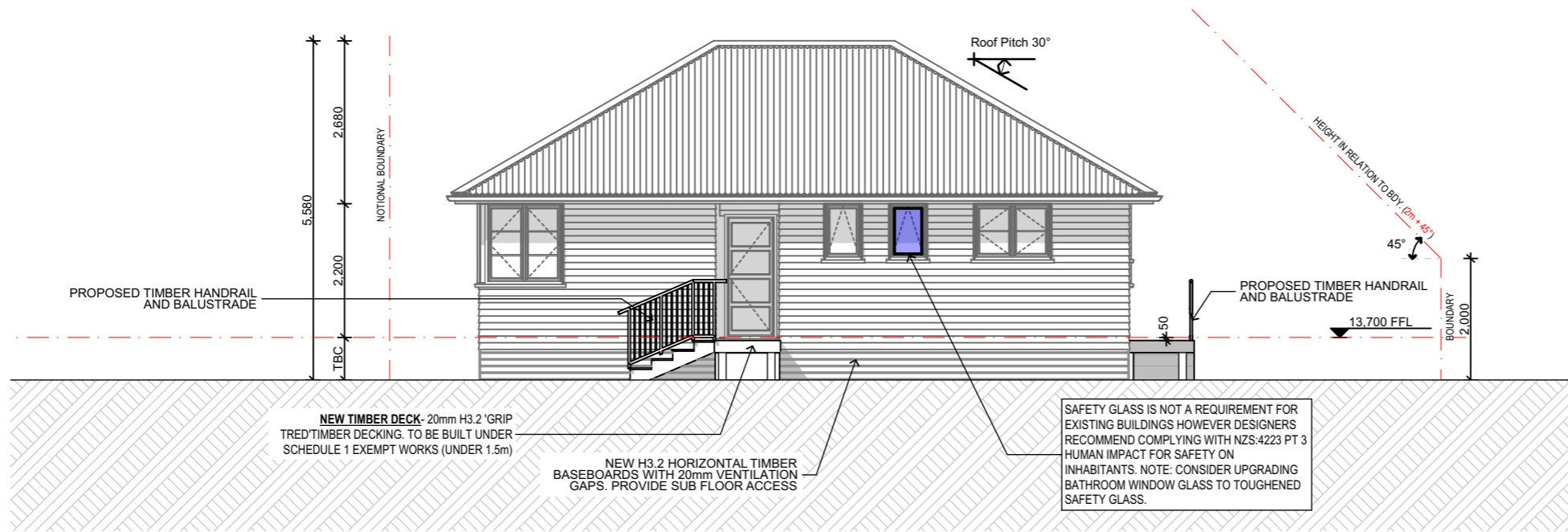
**BUILDING CONSENT**

Rev	Date	Description
01	13/05/2024	BC ISSUE



**1 EXISTING SOUTH ELEVATION**  
 Scale 1:100

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**2 PROPOSED SOUTH ELEVATION**  
 Scale 1:100



**Hazley Windelborne C/O Te Iwi o Ngati Kahu Trust**  
 RELOCATION OF 2 DWELLINGS  
 19 BONNETT ROAD,  
 KAITAIA  
 FAR NORTH

Drawing Title  
**2 BED SOUTH ELEVATIONS**

Lot: 1	Zoning: RESIDENTIAL
DP/LT: 210702	Wind Zone: MEDIUM
Area: 2,127 sqm	Corrosion: ZONE C


Technician: BL  
 Date Printed: Monday, 13 May 2024  
 Scale at A3: 1:100

Job No: <b>24-1244</b>	Drawing No: <b>C202</b>	Rev: <b>01</b>
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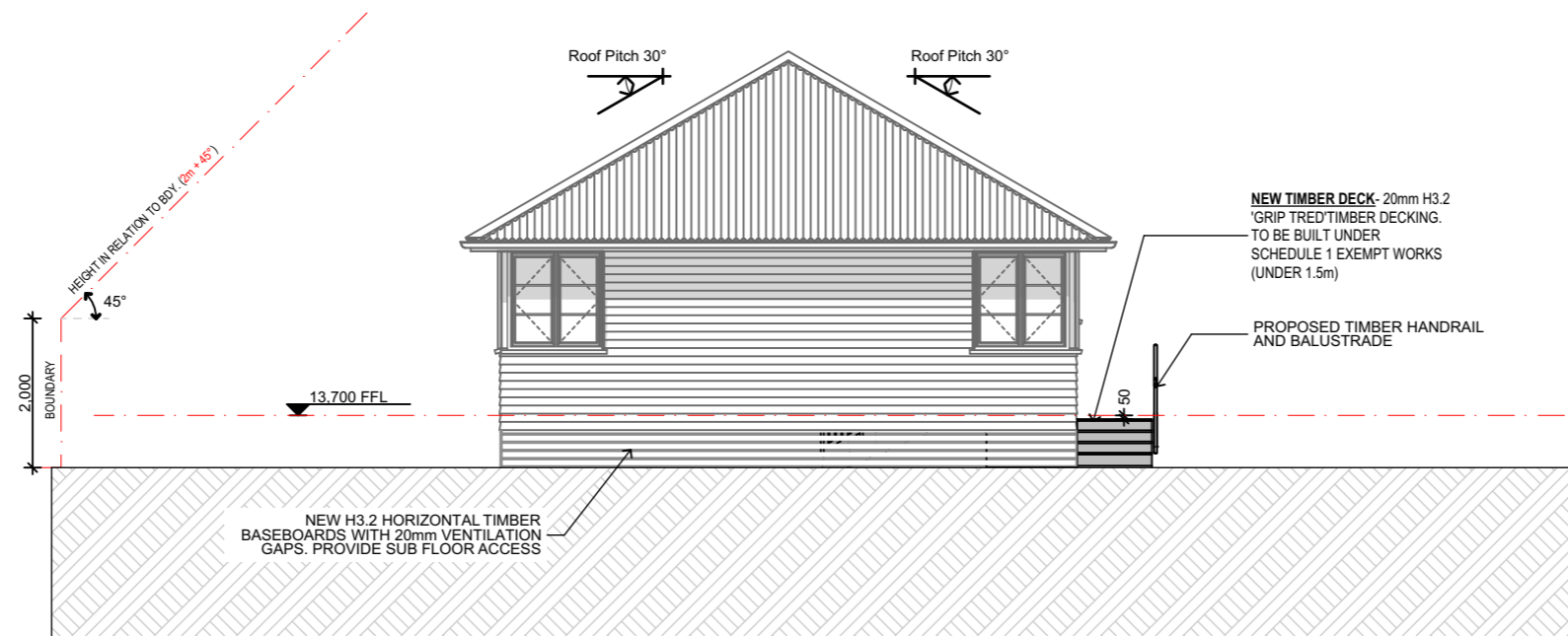
**BUILDING CONSENT**

Rev	Date	Description
01	13/05/2024	BC ISSUE



**1 EXISTING WEST ELEVATION**  
 A100 Scale 1:100

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**2 PROPOSED WEST ELEVATION**  
 A101 Scale 1:100



**Hazley Windelborne C/O Te Iwi o Ngati Kahu Trust**

**RELOCATION OF 2 DWELLINGS**  
**19 BONNETT ROAD,**  
**KAITAIA**  
**FAR NORTH**

Drawing Title  
**2 BED WEST ELEVATIONS**

Site Information  
 Lot: 1 Zoning: RESIDENTIAL  
 DP/LT: 210702 Wind Zone: MEDIUM  
 Area: 2,127 sqm Corrosion: ZONE C

Technician: BL

Date Printed: Monday, 13 May 2024

Scale at A3: 1:100

Job No:	Drawing No:	Rev:
<b>24-1244</b>	<b>C203</b>	<b>01</b>

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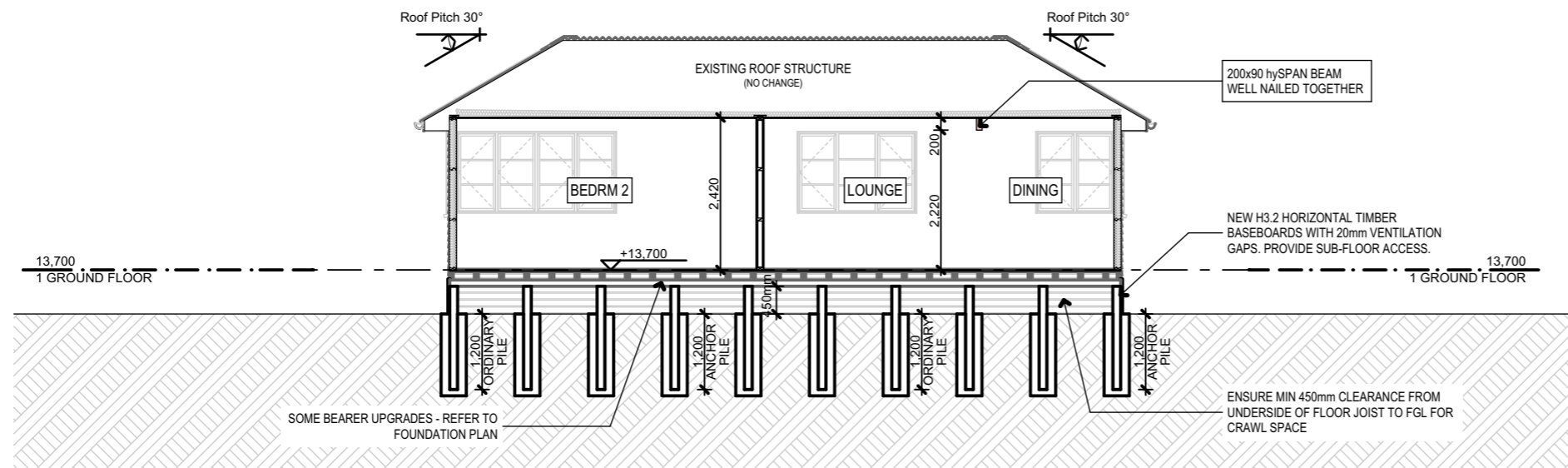


**50 and 100-Year Extent River Flood Hazard Zone**

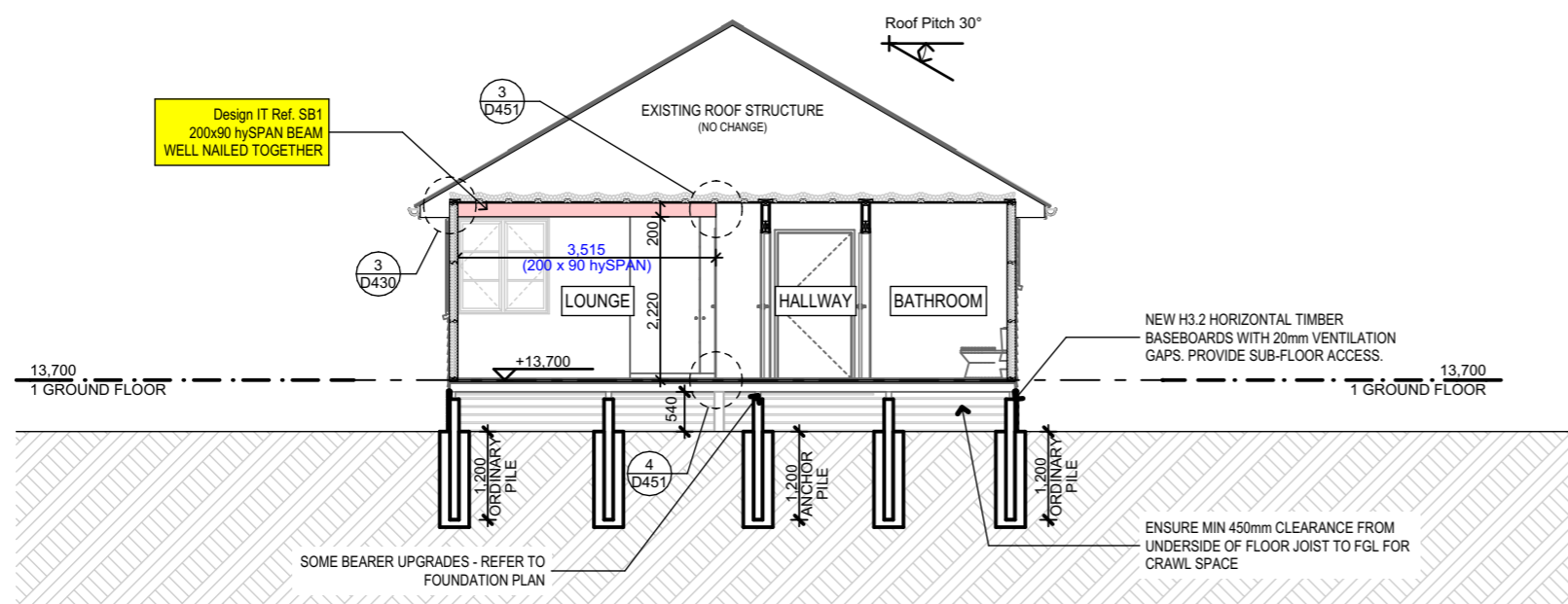
The building platform (AEP + freeboard) shall be measured from the prescribed water level (e.g a 1% or 2% AEP event + freeboard) to either the building platform level, the underside of the floor joists.  
 Flood zone water level = 12.990RL + allowance of 500mm freeboard (as per NZS4404:2010)

**BUILDING CONSENT**

Rev	Date	Description
01	13/05/2024	BC ISSUE



1 X SECTION X-X  
 A100 Scale 1:100



2 Y SECTION Y-Y  
 A100 Scale 1:100



Hazley Windelborne C/O Te Iwi o Ngati Kahu Trust

RELOCATION OF 2 DWELLINGS

19 BONNETT ROAD,  
 KAITAIA  
 FAR NORTH

Drawing Title  
**2 BED CROSS SECTIONS**

Site Information  
 Lot: 1 Zoning: RESIDENTIAL  
 DP/LT: 210702 Wind Zone: MEDIUM  
 Area: 2,127 sqm Corrosion: ZONE C

Technician: BL

Date Printed: Monday, 13 May 2024

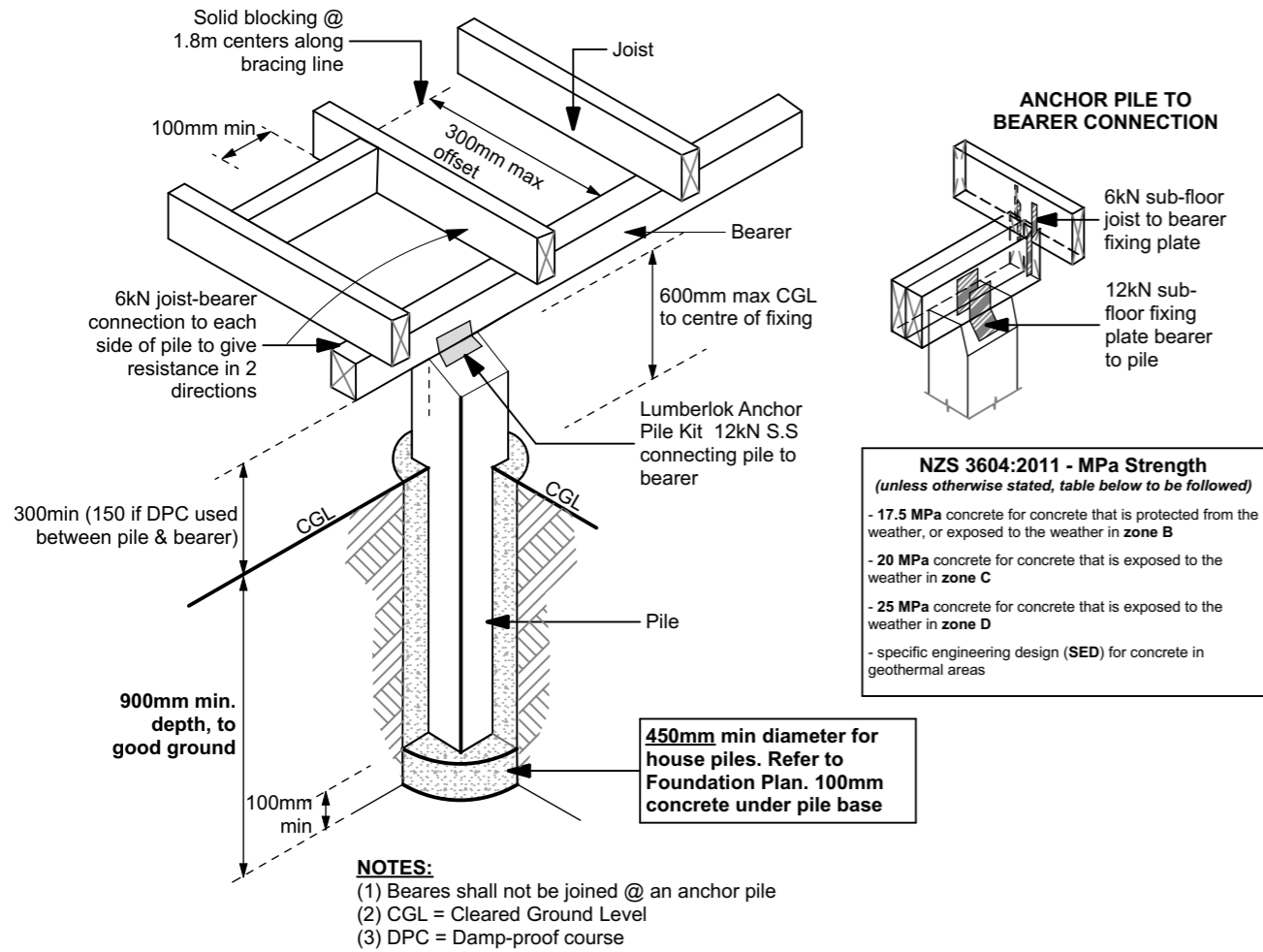
Scale at A3: 1:100

Job No: 24-1244 Drawing No: C300 Rev: 01

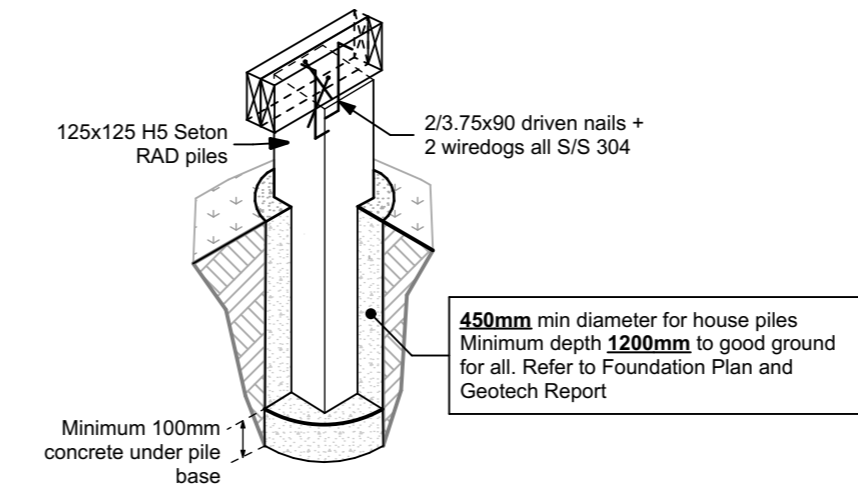
H1 Minimum values for Zone 1 & 2		
Building Thermal Envelope Component	Minimum R-values (M2 C/W)	Insulation to be installed
Roof	R6.6	R6.6
Wall	R2.0	R2.2
Floor	R1.5	R1.5

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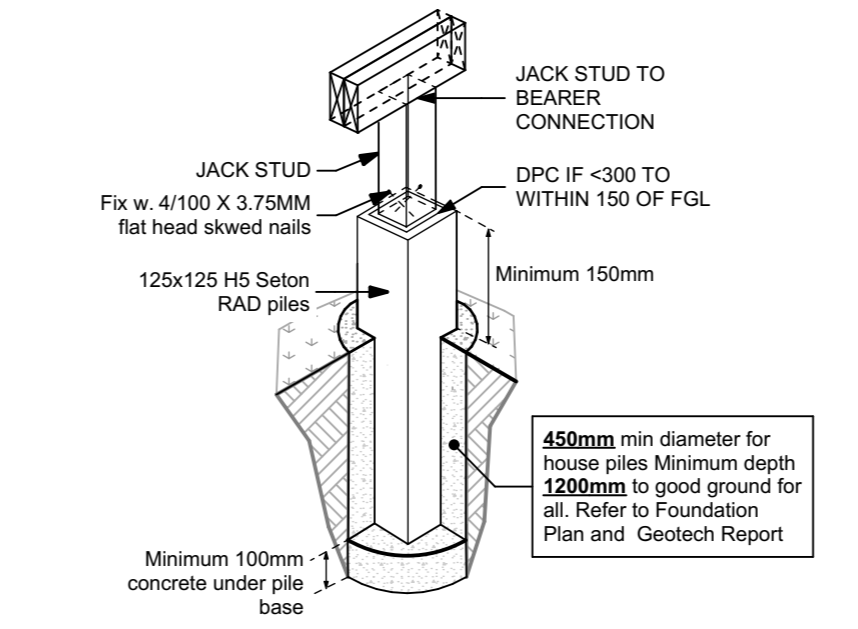
**ANCHOR PILE DIRECTLY CONNECTED TO BEARER**



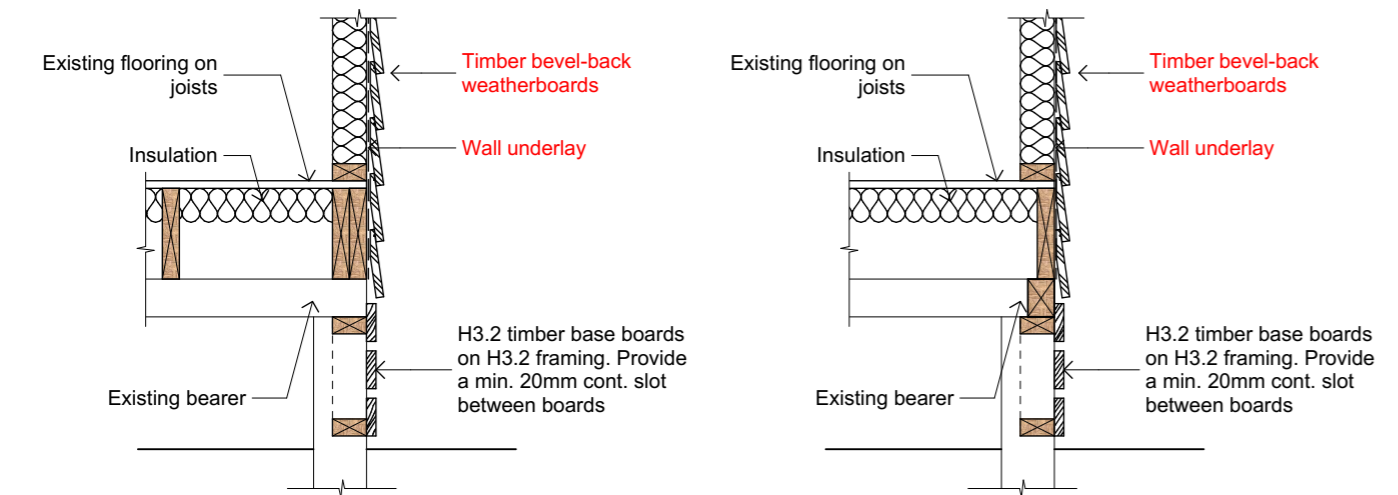
**1 ANCHOR PILE DETAIL**  
Scale 1:20



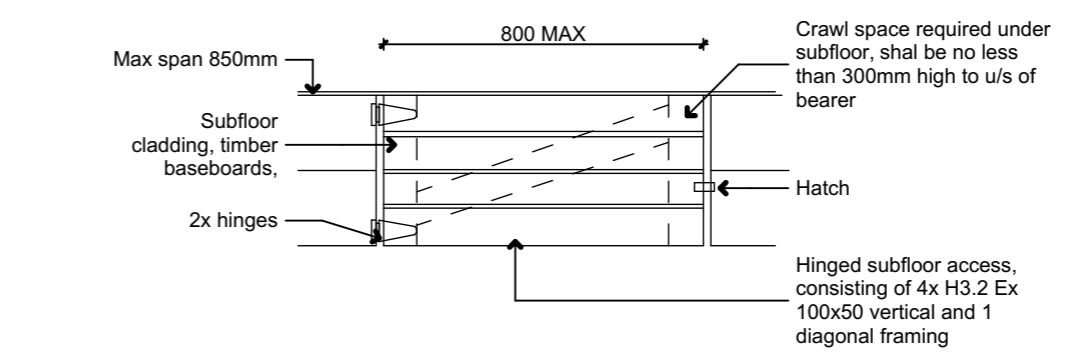
**2 ORDINARY PILE DETAIL**  
Scale 1:20



**3 JACK STUD TO PILE FIXING DETAIL**  
Scale 1:20



**4 TYP. BASE BOARD DETAILS**  
N.T.S



**5 SUBFLOOR ACCESS DETAIL**  
N.T.S

**BUILDING CONSENT**

Rev	Date	Description
01	13/05/2024	BC ISSUE

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BUILDING CONFIDENCE

**Hazley Windelborne C/O Te Iwi o Ngati Kahu Trust**

**RELOCATION OF 2 DWELLINGS**  
**19 BONNETT ROAD**  
**KAITAIA**  
**FAR NORTH**

Drawing Title: **FOUNDATION DETAILS**

Lot: 1	Zoning: RESIDENTIAL
DP/LT: 210702	Wind Zone: MEDIUM
Area: 2,127 sqm	Corrosion: C

Technician: KJ  
Date Printed: Monday, 13 May 2024  
Scale at A3: 1:20, 1:10

Job No: <b>24-1243</b>	Drawing No: <b>D400</b>	Rev: <b>01</b>
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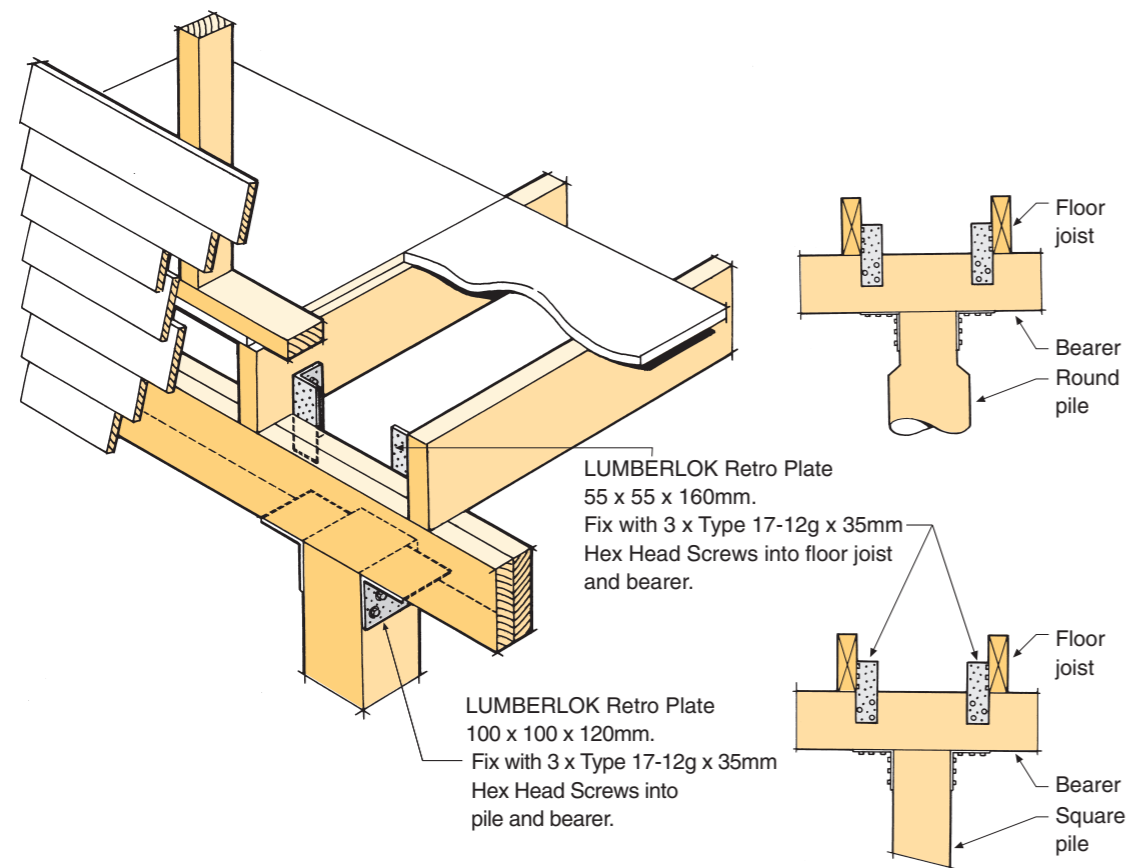
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10/2011

## 12kN RETRO SUBFLOOR FIXING

- ★ Fixing to be used when the outside face of the bearer is not accessible e.g. fixing relocatable houses to piles.
- ★ Hot Dip Galvanised or Stainless Steel options available for required corrosive zone.



**Code:** 12KNRF  
**Material:** 0.91mm G300 Z275 (Hot Dip Galvanised Steel)

**Code:** 12KNRFH  
**Material:** 0.9mm Stainless Steel 304-2B

**Pack Includes:** 8 x Retro Plate 55 x 55 x 160mm  
 8 x Retro Plate 100 x 100 x 120mm  
 100 x Type 17-12g x 35mm Hex Head Screws

**MiTek New Zealand Limited**

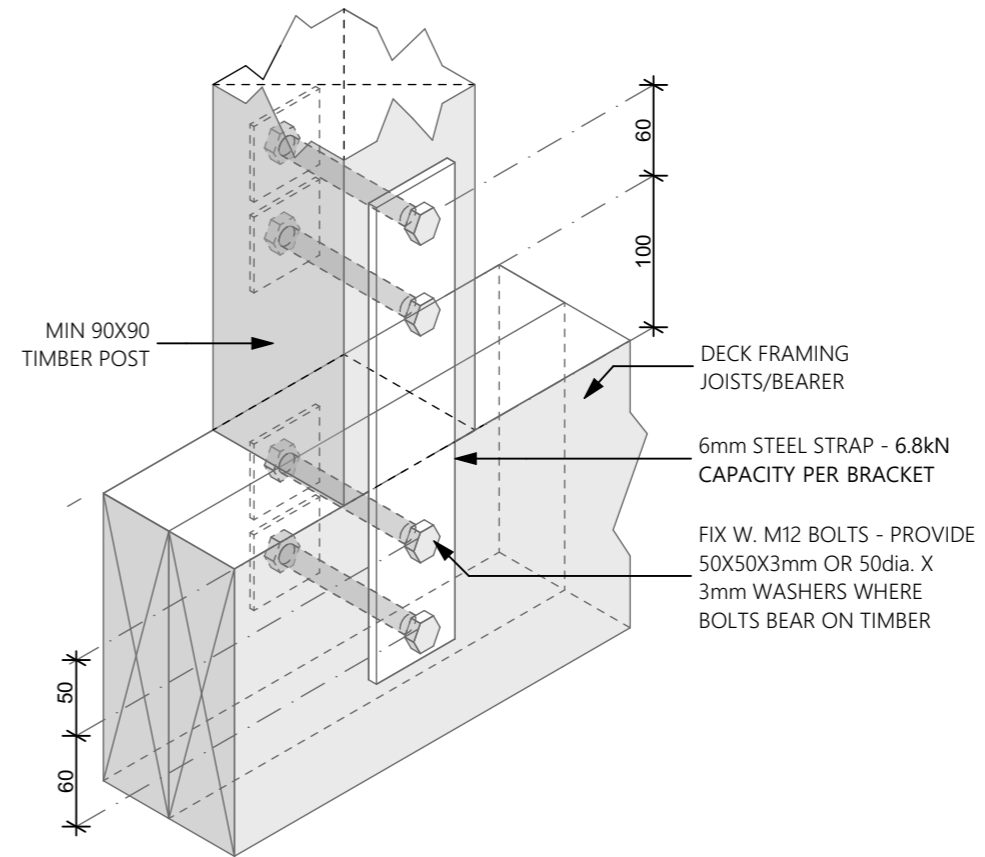
**AUCKLAND**  
 PO Box 58-014, Botany 2163  
 Phone: 09-274 7109  
 Fax: 09-274 7100  
 www.mitek.nz.co.nz

**CHRISTCHURCH**  
 PO Box 8387, Riccarton 8440  
 Phone: 03-348 8691  
 Fax: 03-348 0314

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1 RETRO SUBFLOOR FIXING DETAIL  
 Scale 1:20



2 Post Detail  
 Scale 1:5

### BUILDING CONSENT

Rev	Date	Description
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**Te Iwi o Ngati Kahu Trust**

RELOCATION OF 2 DWELLINGS  
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 KAITAIA  
 FAR NORTH

Drawing Title  
**FOUNDATION DETAILS**

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Technician: KJ  
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Scale at A3: 1:20, 1:5

Job No:	Drawing No:	Rev:
24-1243	D401	01

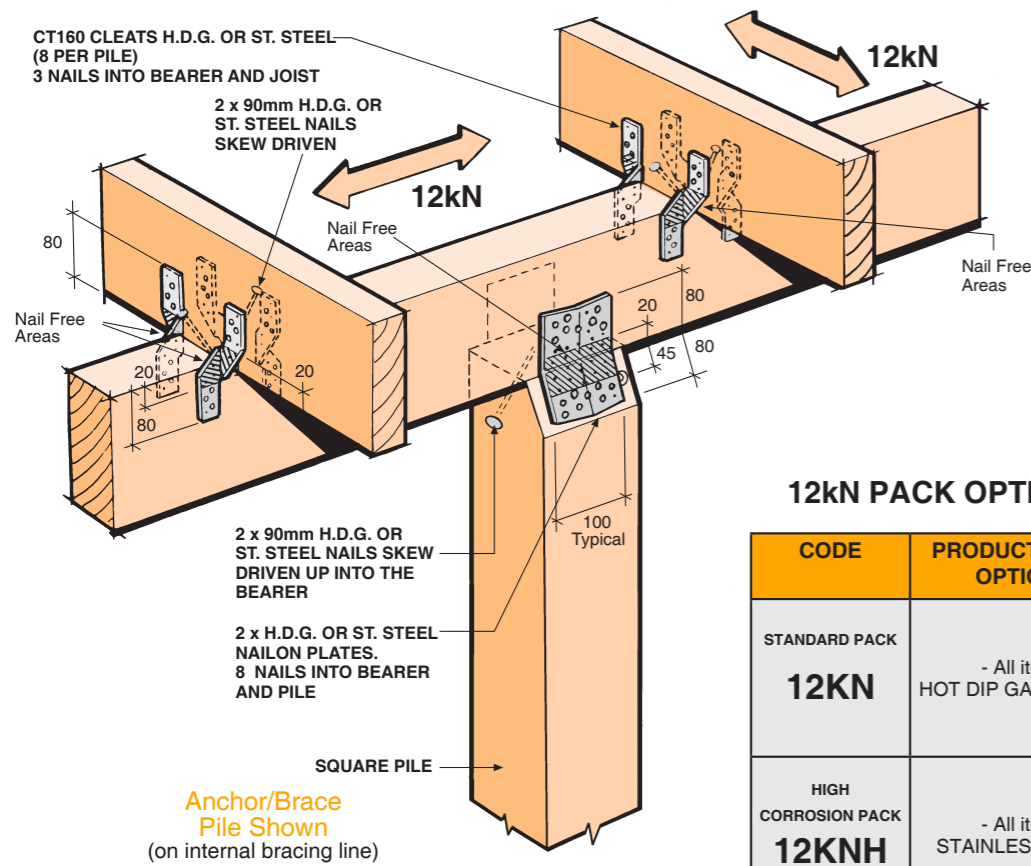
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01/2017

# 12kN PILE FIXING FOR BRACED PILES OR ANCHOR PILES

- ★ The 12kN Pile Fixing must be installed in accordance with this brochure
- ★ Auckland University Tested. Test Ref. 4613
- ★ All subfloor construction must be in accordance with NZS 3604:2011
- ★ NZS 3604 requires lines of lateral support to floor joists within 300mm of bearer or bracing lines, refer to Clause 7.1.2
- ★ Joists deeper than 150mm require solid nogging over braced or anchor pile



### 12kN PACK OPTIONS

CODE	PRODUCT FINISH OPTIONS
STANDARD PACK <b>12KN</b>	- All items HOT DIP GALVANISED
HIGH CORROSION PACK <b>12KNH</b>	- All items STAINLESS STEEL

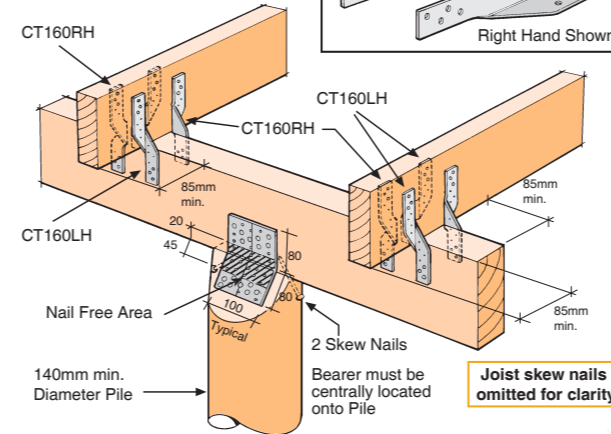
★ See Over For Corrosion Table.



SCAN FOR  
INSTALLATION  
VIDEO

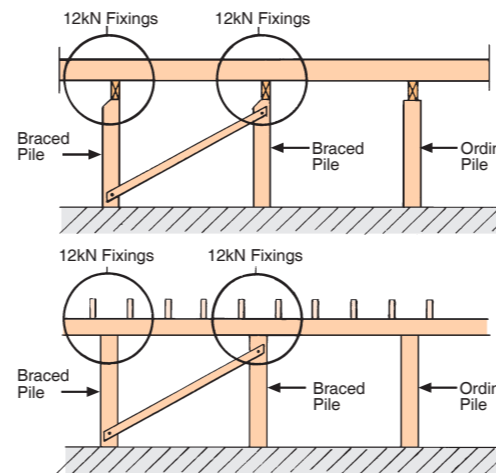
<https://vimeo.com/117350344>

### External Bracing Line



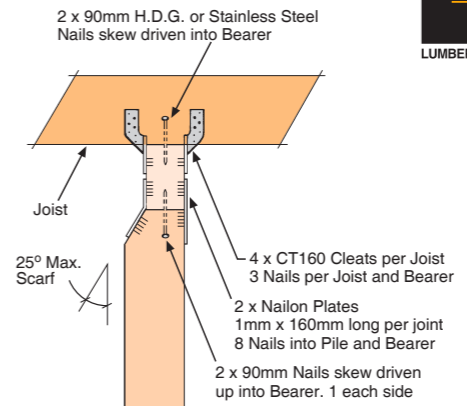
### CORROSION HAZARD USE TABLE

<b>Standard Pack (12KN)</b> - Zones B & C - All Fixings ABOVE 600mm from Ground level	All items Hot Dip Galvanised.
<b>High Corrosion Pack (12KNH)</b> - Zone D - All Fixings BELOW 600mm from Ground level	All items Stainless Steel (304).



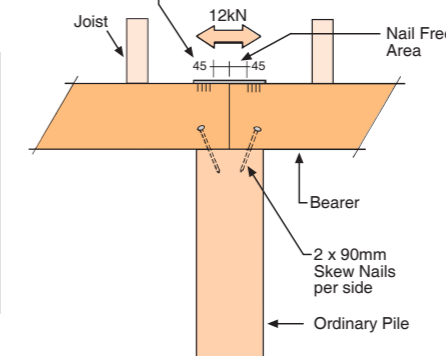
### Sample Subfloor Elevations

12kN Fixing - Pile to Bearer  
- Joists to Bearer



### Square Pile

Nailon Plate 1mm x 160mm long (ex 12kN Pack)  
8 Nails per end. No Nails within 18mm of timber edge



### 12kN Bearer Splice

Clause 6.12.7.2  
NZS 3604:2011

### 12kN Joint Fixing Schedule

- PILE TO BEARER
- Nailon Plate (2 per joint) 1mm x 100mm (Typical) x 160mm long
  - 8 Nails per Plate into Pile
  - 8 Nails per Plate into Bearer
  - 2 Skew Nails 90mm (1 per face)
- JOIST TO BEARER
- CT160 Cleats (4 per Joist) 160mm long
  - 3 Nails per Cleat into Joist
  - 3 Nails per Cleat into Bearer
  - 2 Skew Nails 90mm
- NAILS
- 80 x 45mm x 3.55 dia. Spiral Nails
  - 6 x 90mm x 4 dia. St. Steel Nails (12KNH Pack only)

### 12kN Pile Set Contents

Each set represents 1 x 12kN Pile Fixing (packed 4 sets per carton)  
2 x Nailon Plates 160mm long  
8 x CT160 Cleats  
80 x 45mm x 3.55 dia. Spiral Nails  
90mm x 4 dia. St. Steel Angular Groove 6 - 12KNH Pack

Refer front page for Product Finish Options

90mm H.D.G. Nails not included.

## BUILDING CONSENT

Rev	Date	Description
01	13/05/2024	BC ISSUE



Hazley Windelborne C/O  
Te Iwi o Ngati Kahu Trust

RELOCATION OF 2 DWELLINGS  
19 BONNETT ROAD  
KAITAIA  
FAR NORTH

Drawing Title  
FOUNDATION DETAILS

Site Information  
Lot: 1 Zoning: RESIDENTIAL  
DPI/LT: 210702 Wind Zone: MEDIUM  
Area: 2,127 sqm Corrosion: C

Technician: KJ

Date Printed: Monday, 13 May 2024

Scale at A3: 1:20

Job No:	Drawing No:	Rev:
24-1243	D402	01

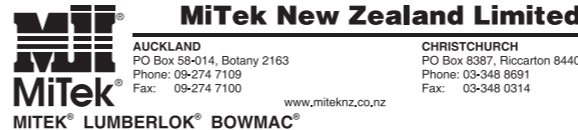
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1 PILE FIXING DETAILS  
Scale 1:20

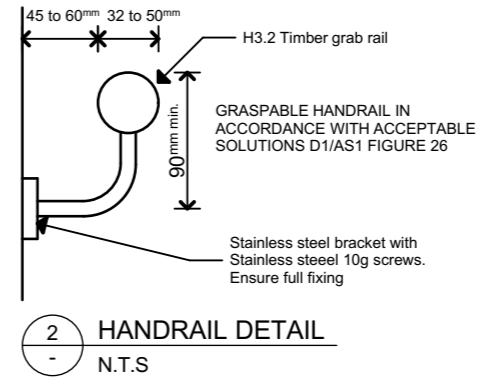
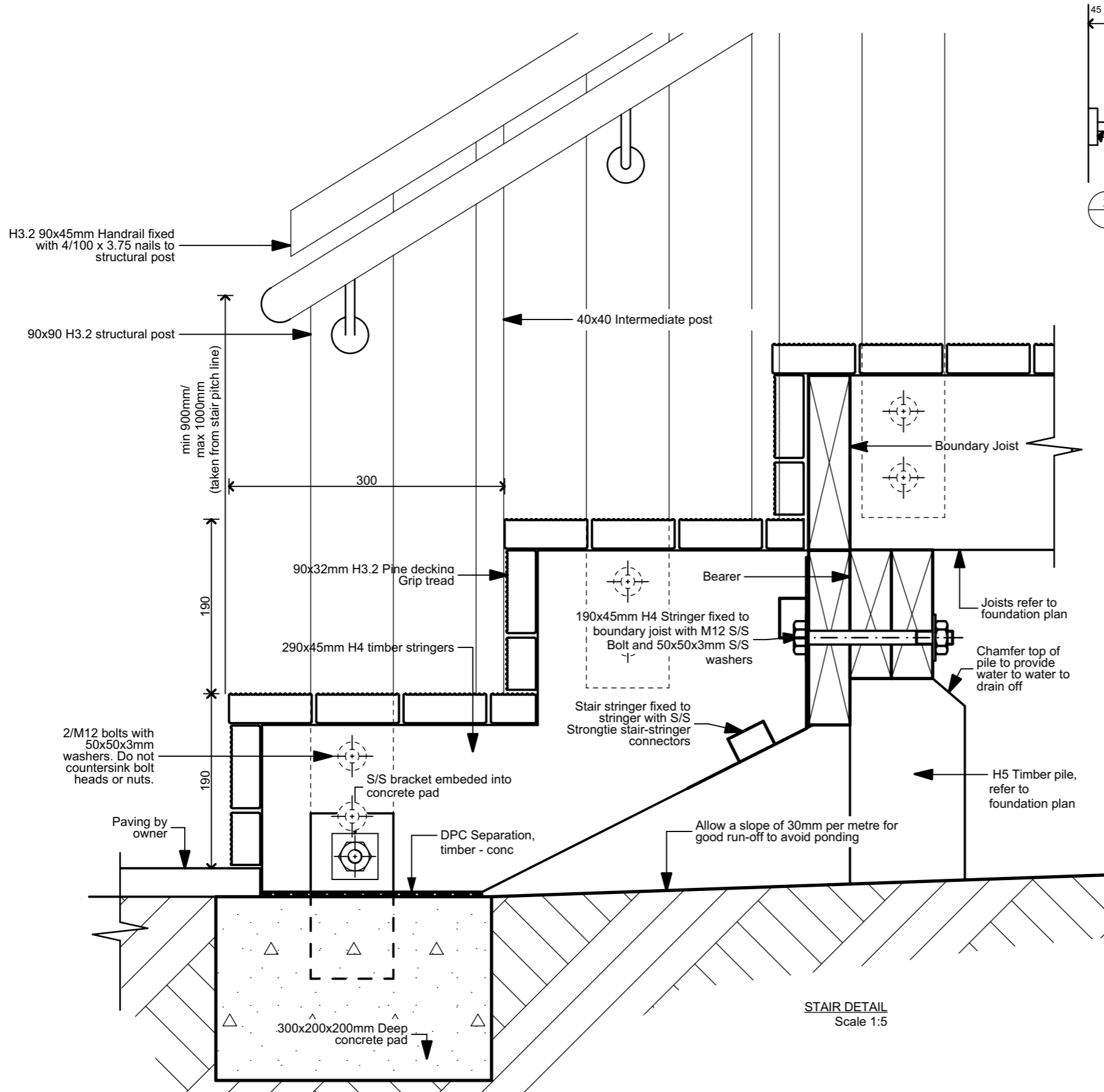


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Rev	Date	Description
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**NZS 3604:2011 - MPa Strength**  
*(unless otherwise stated, table below to be followed)*

- 17.5 MPa concrete for concrete that is protected from the weather, or exposed to the weather in **zone B**
- 20 MPa concrete for concrete that is exposed to the weather in **zone C**
- 25 MPa concrete for concrete that is exposed to the weather in **zone D**
- specific engineering design (SED) for concrete in geothermal areas

3 TIMBER DECK STAIR DETAIL  
 Scale 1:5

STAIR DETAIL  
 Scale 1:5



**Hazley Windelborne C/O**  
**Te Iwi o Ngati Kahu Trust**

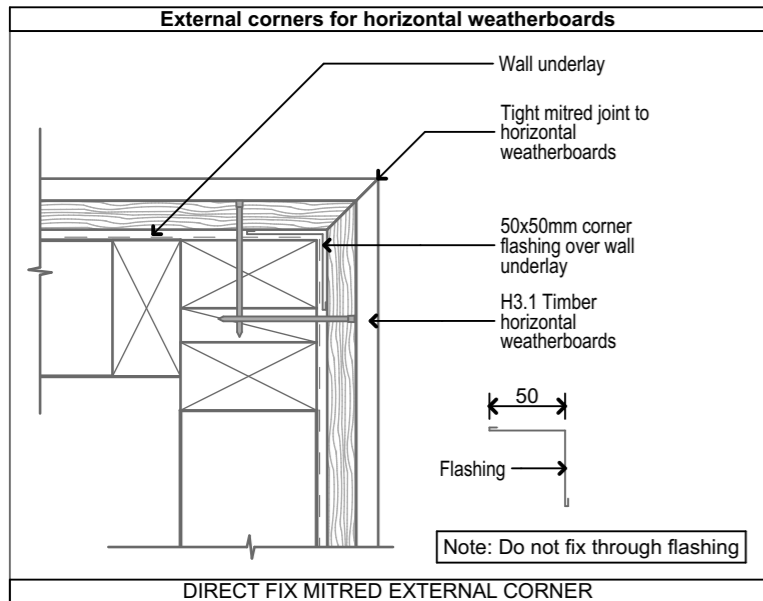
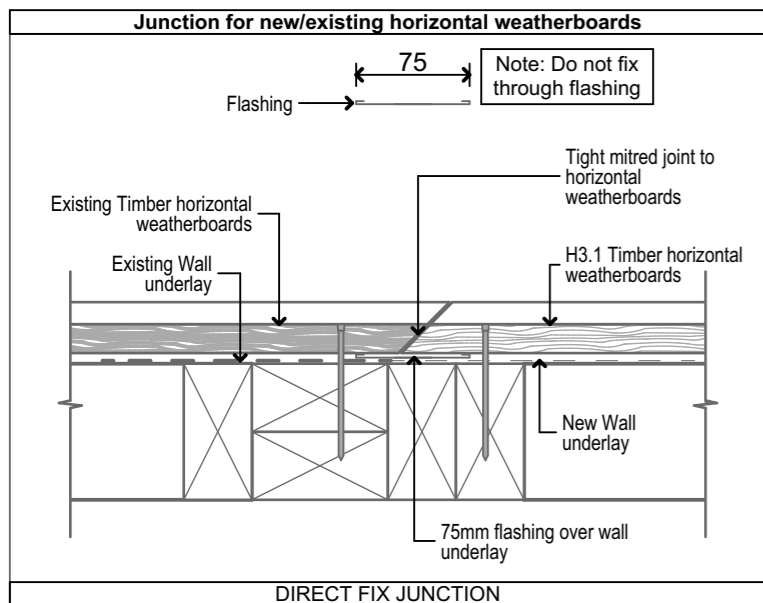
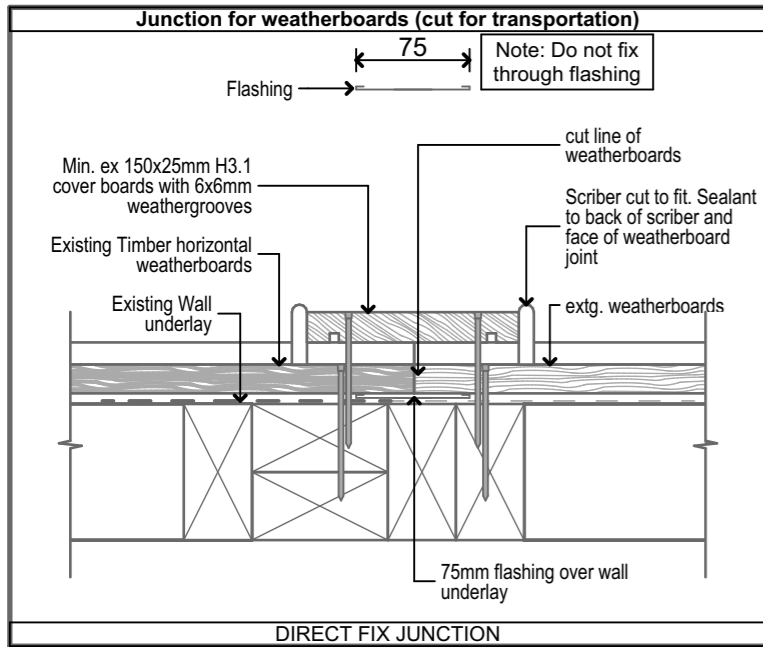
RELOCATION OF 2 DWELLINGS  
 19 BONNETT ROAD  
 KAITAIA  
 FAR NORTH

Drawing Title: **OUTDOOR/DECK DETAILS**

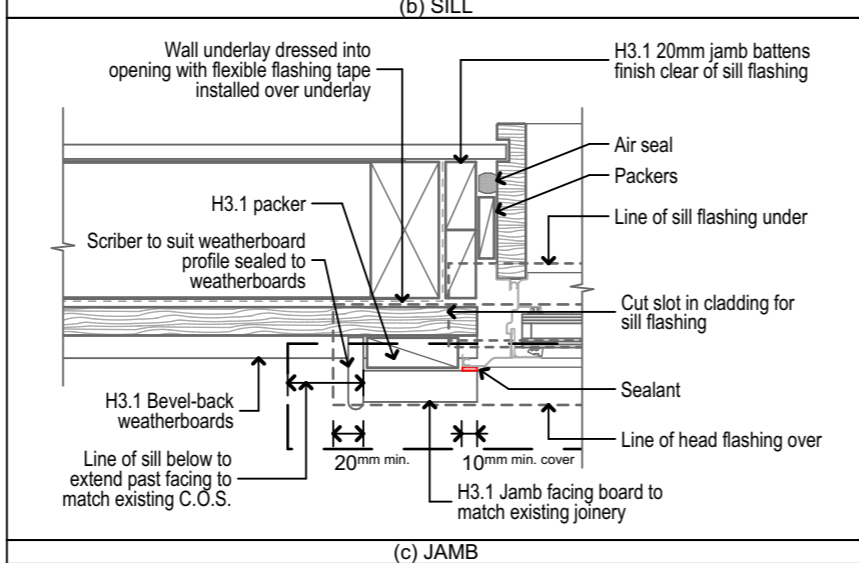
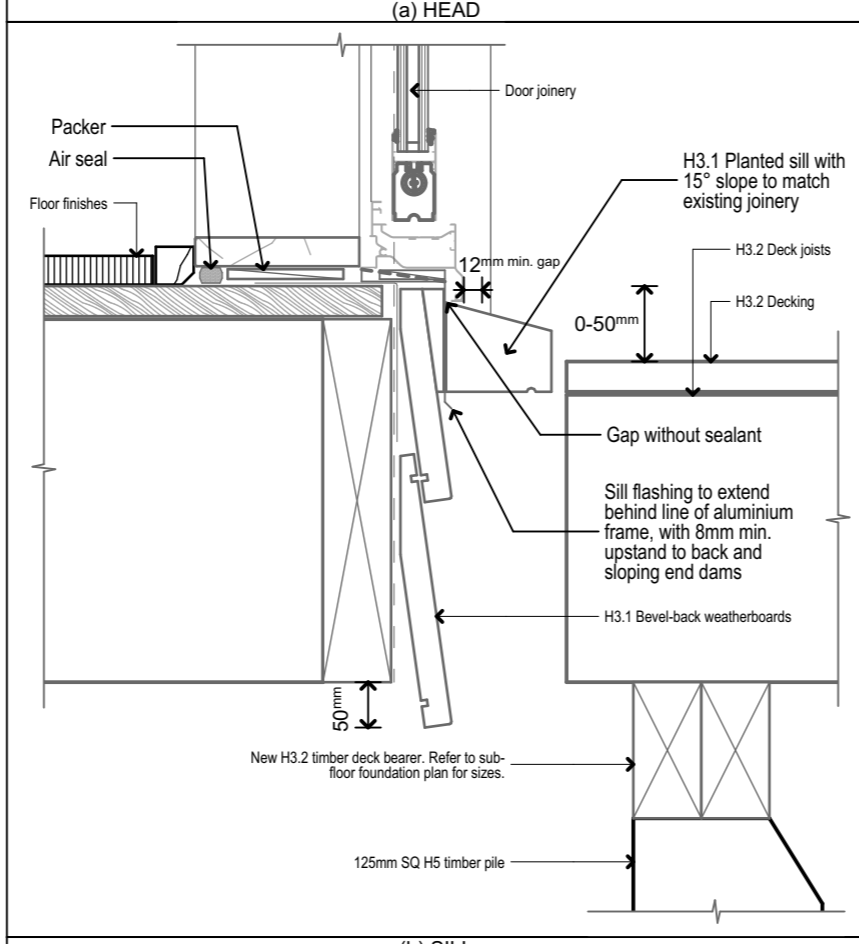
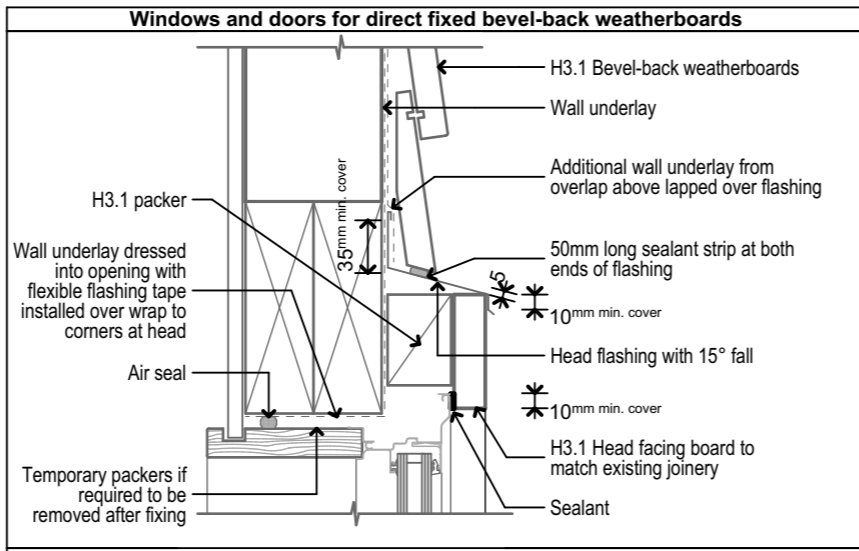
Lot: 1	Zoning: RESIDENTIAL	
DP/LT: 210702	Wind Zone: MEDIUM	
Area: 2,127 sqm	Corrosion: C	
Technician: KJ		
Date Printed: Monday, 13 May 2024		
Scale at A3: 1:5		
Job No: 24-1243	Drawing No: D410	Rev: 01

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 Do not scale off plans  
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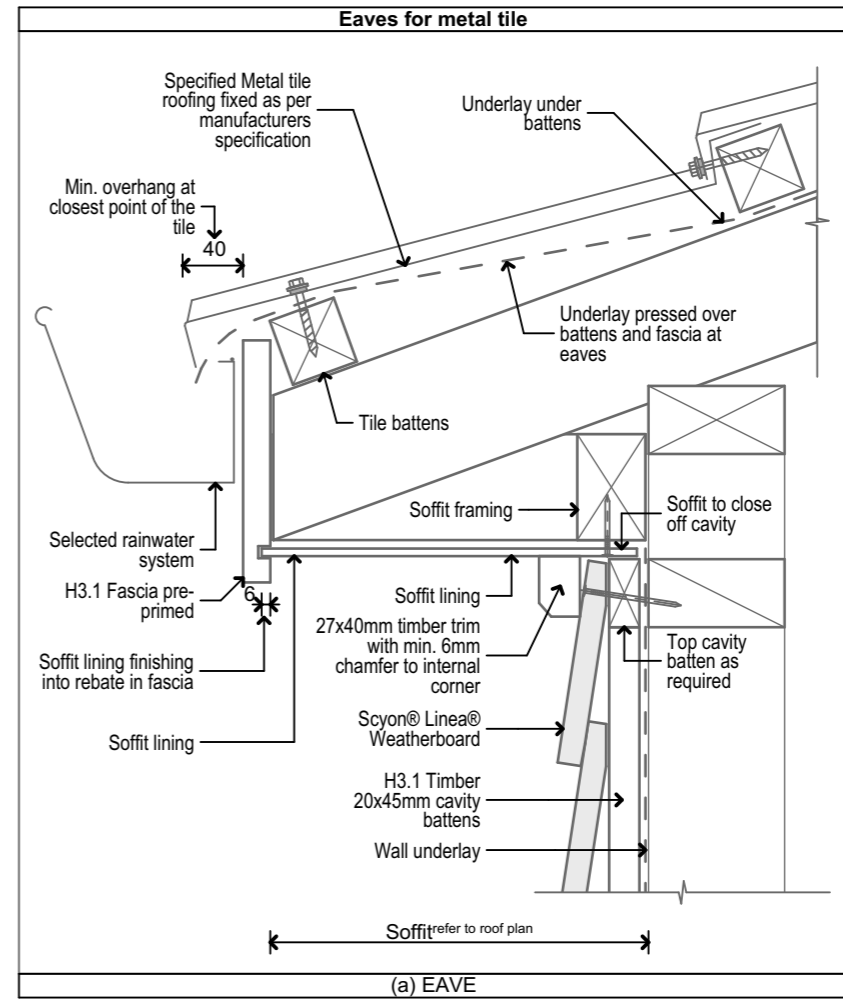




1 WEATHERBOARD CONNECTION DETAILS  
Scale 1:5



2 WEATHERBOARD JOINERY DETAILS  
Scale 1:5



3 WEATHERBOARD SOFFIT DETAIL  
Scale 1:5

BUILDING CONSENT

Rev	Date	Description
01	13/05/2024	BC ISSUE



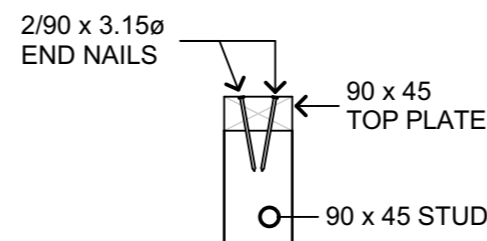
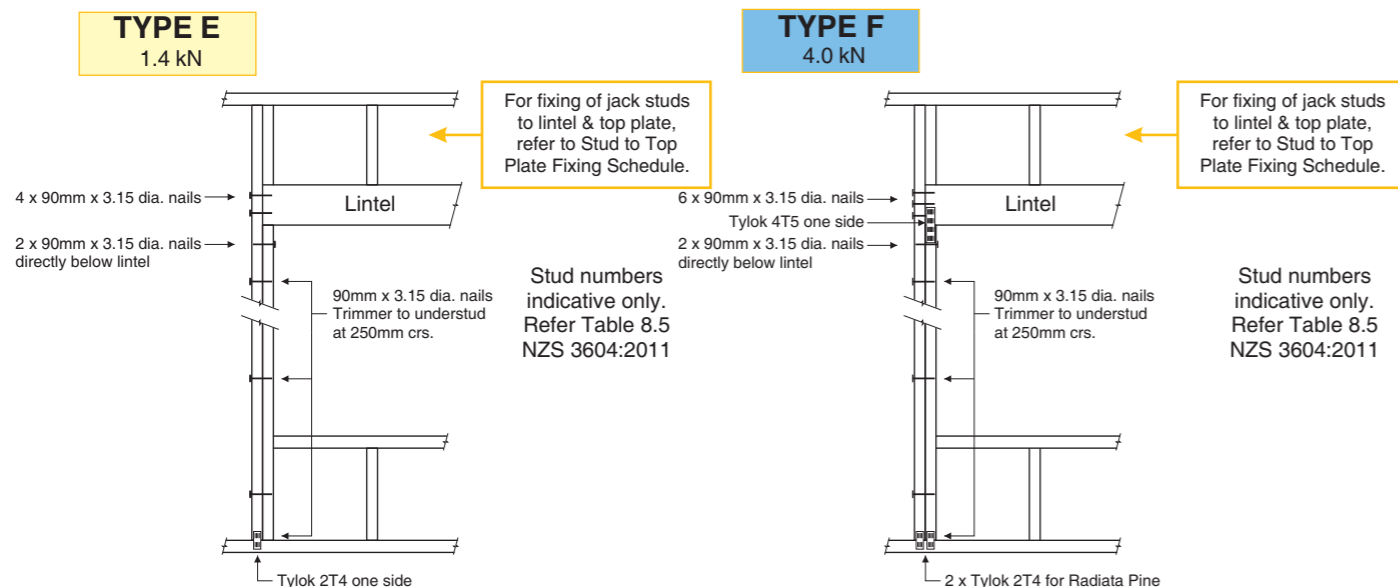
Hazley Windelborne C/O  
Te Iwi o Ngati Kahu Trust  
RELOCATION OF 2 DWELLINGS  
19 BONNETT ROAD  
KAITAIA  
FAR NORTH

CLADDING DETAILS

Lot: 1	Zoning: RESIDENTIAL	
DP/LT: 210702	Wind Zone: MEDIUM	
Area: 2,127 sqm	Corrosion: C	
Technician: KJ		
Date Printed: Monday, 13 May 2024		
Scale at A3: 1:5		
Job No: 24-1243	Drawing No: D430	Rev: 01

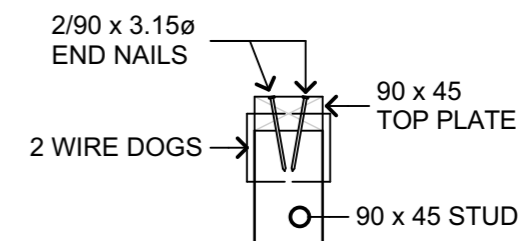
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Rev	Date	Description
01	13/05/2024	BC ISSUE

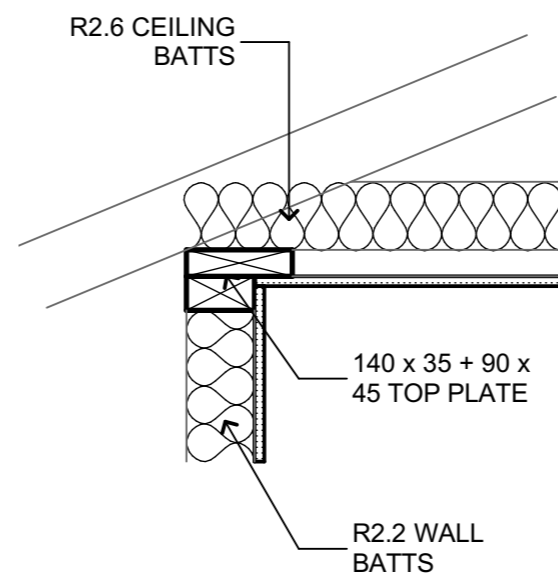
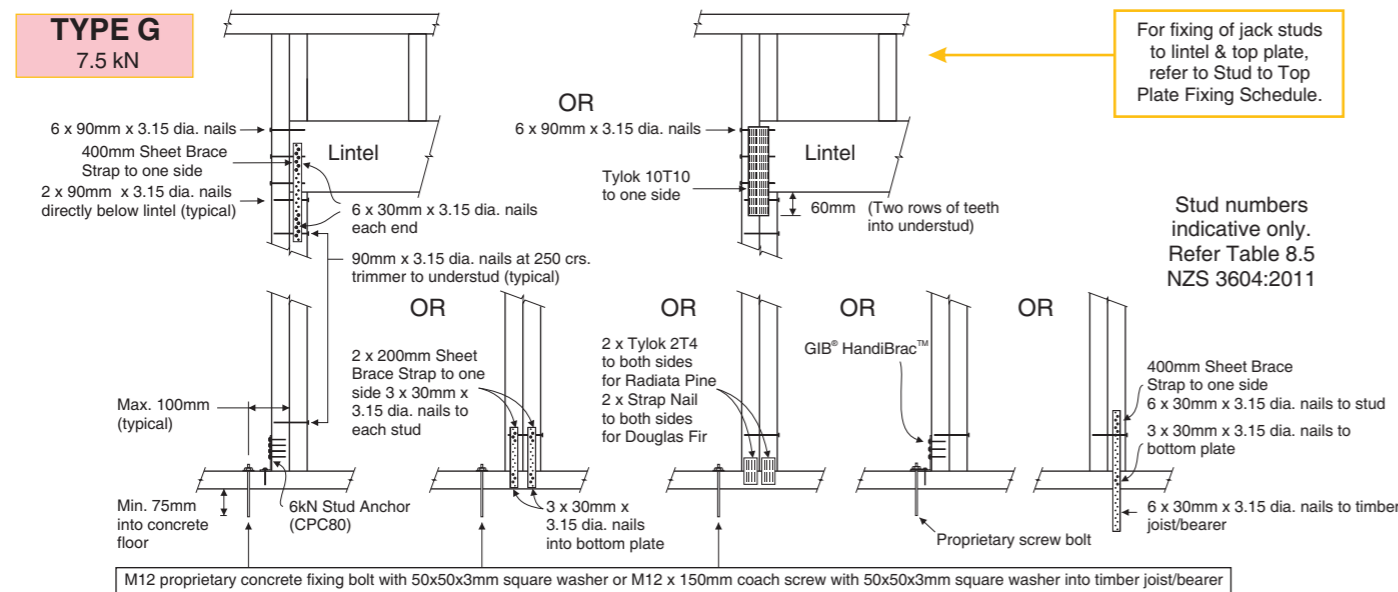


Stud Fixing Type A NZS 3604:2011  
(Alternative Fixing = 0.7kN)

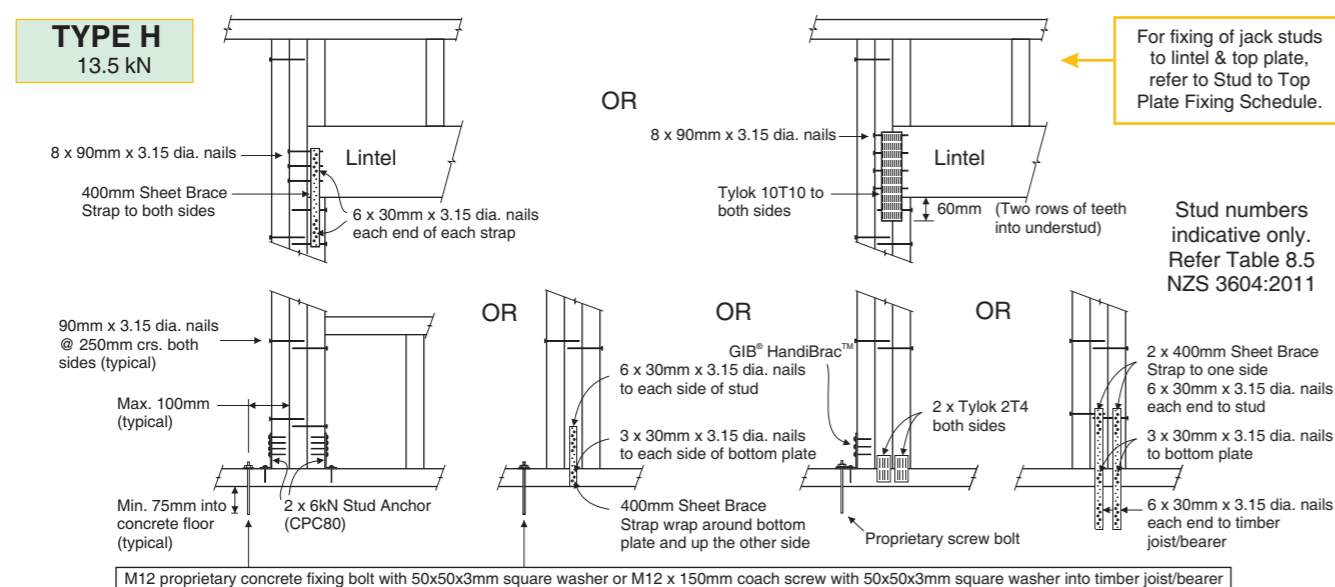
2 STUD/TOP PLATE FIXING DETAIL  
Scale 1:10



Stud Fixing Type B NZS 3604:2011  
(Alternative Fixing = 4.7kN)



3 TOP PLATE DETAIL  
Scale 1:10



1 LINTEL FIXING DETAIL  
Scale 1:20



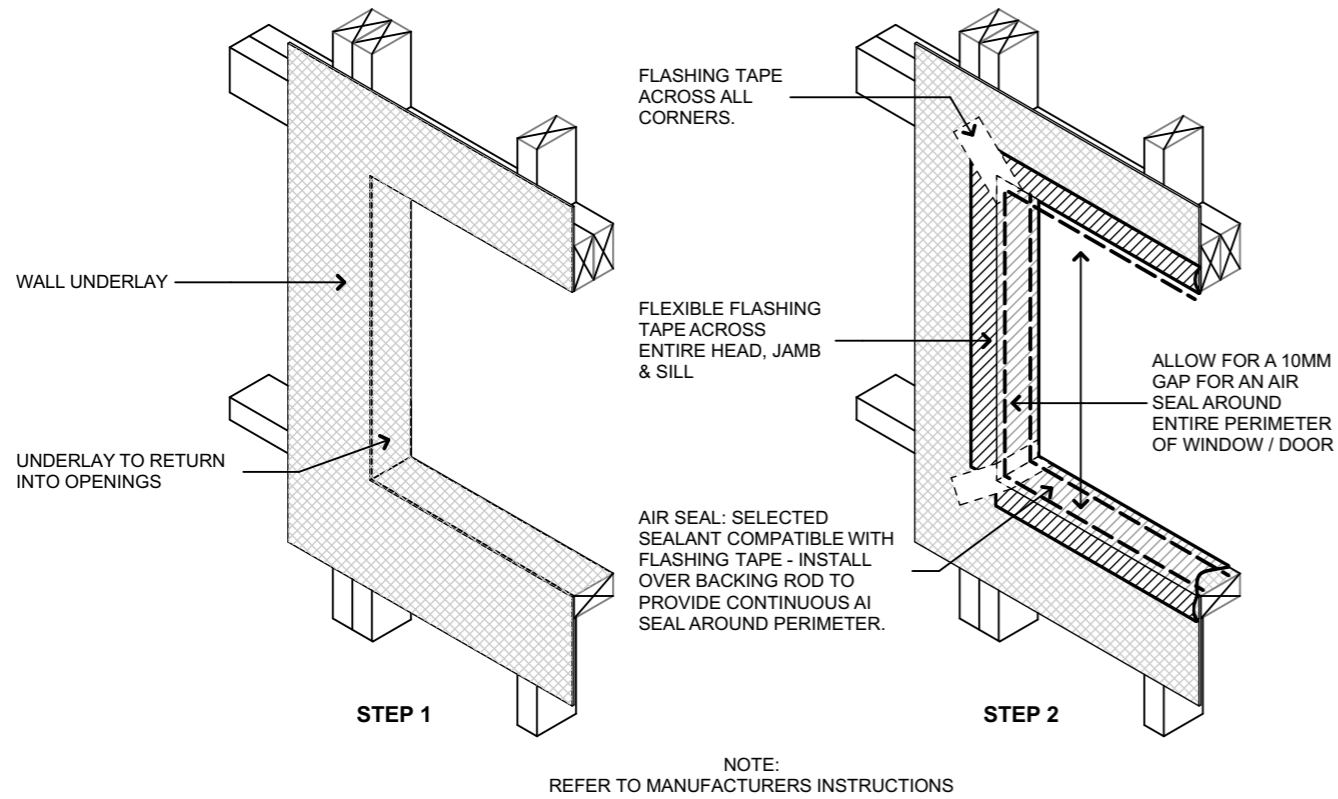
Hazley Windelborne C/O  
Te Iwi o Ngati Kahu Trust

RELOCATION OF 2 DWELLINGS  
19 BONNETT ROAD  
KAITAIA  
FAR NORTH

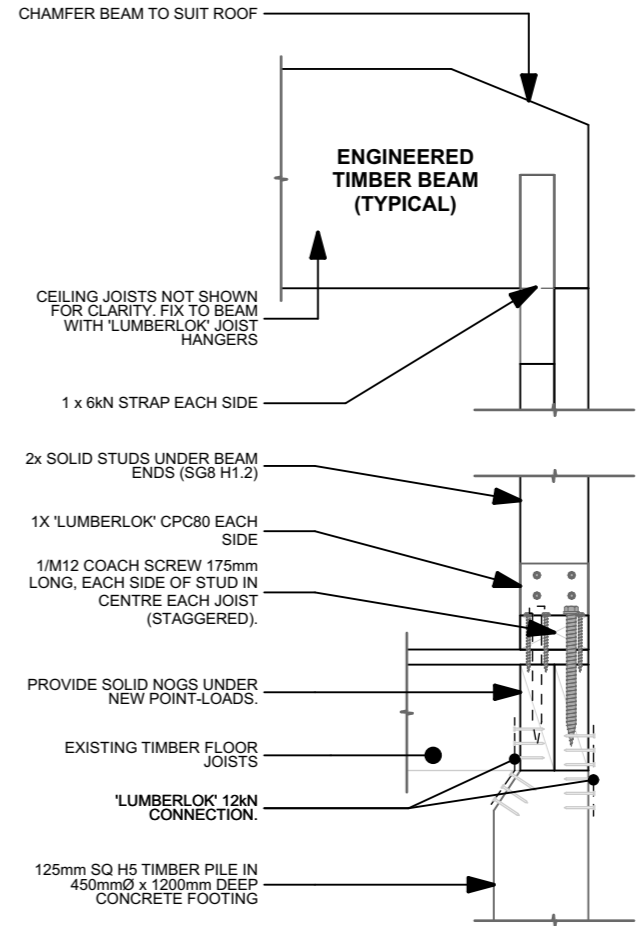
Drawing Title	WALL DETAILS	
Site Information	Lot: 1	Zoning: RESIDENTIAL
	DP/LT: 210702	Wind Zone: MEDIUM
	Area: 2,127 sqm	Corrosion: C
Technician:	KJ	
Date Printed:	Monday, 13 May 2024	
Scale at A3: 1:20, 1:10		
Job No:	Drawing No:	Rev:
24-1243	D450	01

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Do not scale off plans  
Contractor must locate relevant boundary pegs before commencing any works.

Rev	Date	Description
01	13/05/2024	BC ISSUE

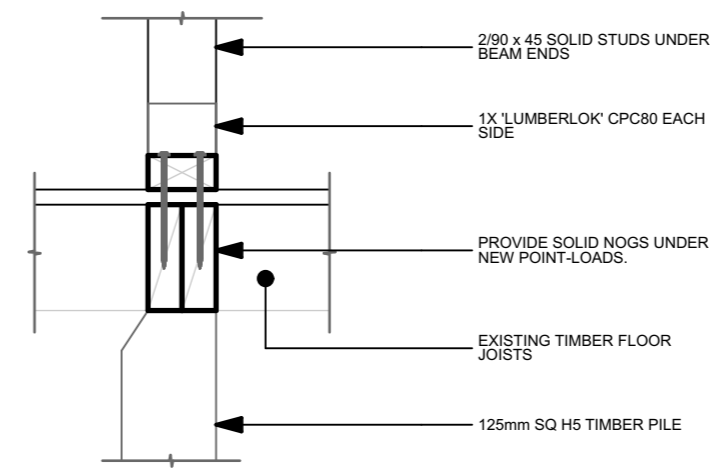


1 WINDOW OPENING PREPARATION  
Scale 1:20



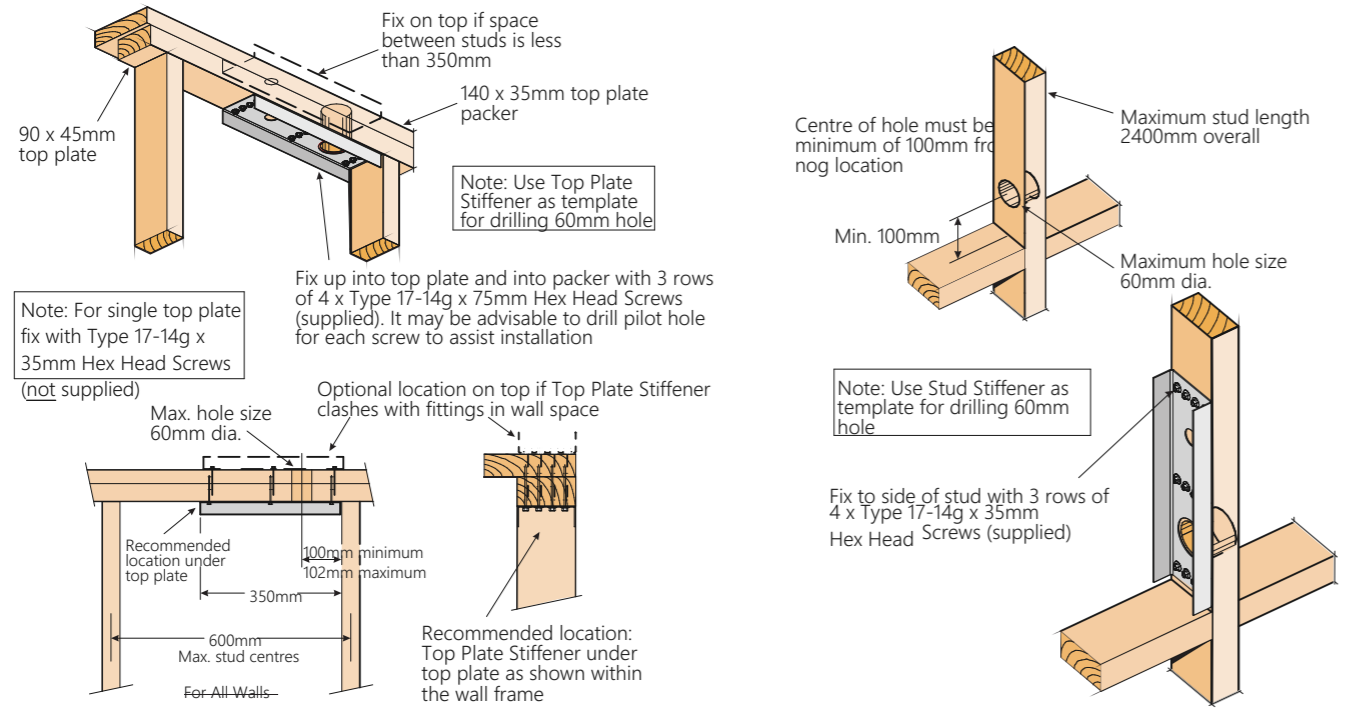
POINT-LOAD DETAIL (TYPICAL ENGINEERED BEAM ENDS)

3 POINT-LOAD DETAIL (TYPICAL ENGINEERED BEAM ENDS)  
Scale 1:10



POINT-LOAD DETAIL (TYPICAL ENGINEERED BEAM ENDS)

4 6 BEAM SUPPORT NOGGED POINT LOAD DETAIL  
Scale 1:10



2 TOP PLATE STIFFNER DETAIL  
Scale 1:20



**Hazley Windelborne C/O Te Iwi o Ngati Kahu Trust**

RELOCATION OF 2 DWELLINGS  
19 BONNETT ROAD  
KAITAIA  
FAR NORTH

Drawing Title	Lot	Zoning
WALL DETAILS	1	RESIDENTIAL
Site Information	DP/LT: 210702	Wind Zone: MEDIUM
	Area: 2,127 sqm	Corrosion: C
Technician:	KJ	
Date Printed:	Monday, 13 May 2024	
Scale at A3:	1:20, 1:10	

Job No:	Drawing No:	Rev:
24-1243	D451	01

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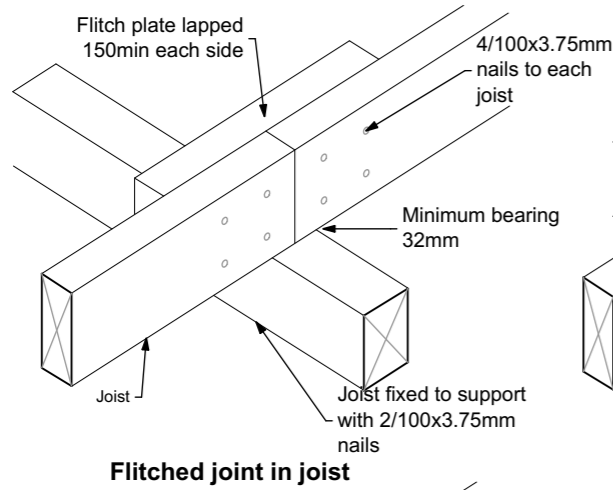
All construction shall be in accordance with NZBC handbook and approved documents, NZS3604:2011 and local territorial authority requirements

Do not scale off plans

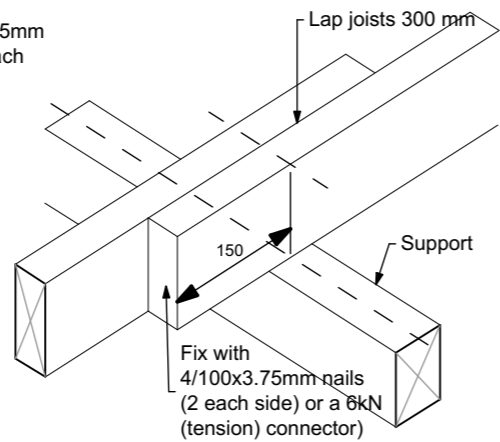
Contractor must locate relevant boundary pegs before commencing any works.



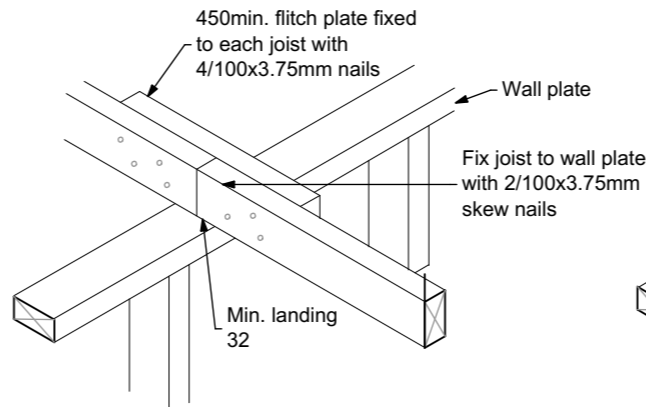
Rev	Date	Description
01	13/05/2024	BC ISSUE



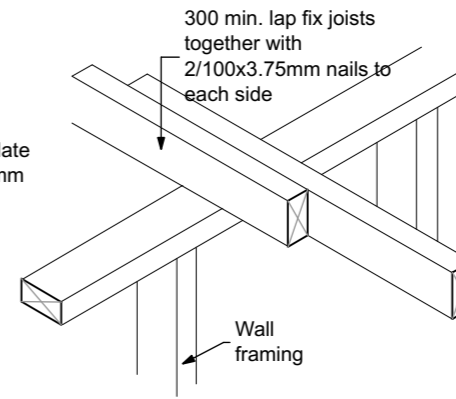
**Flitched joint in joist**



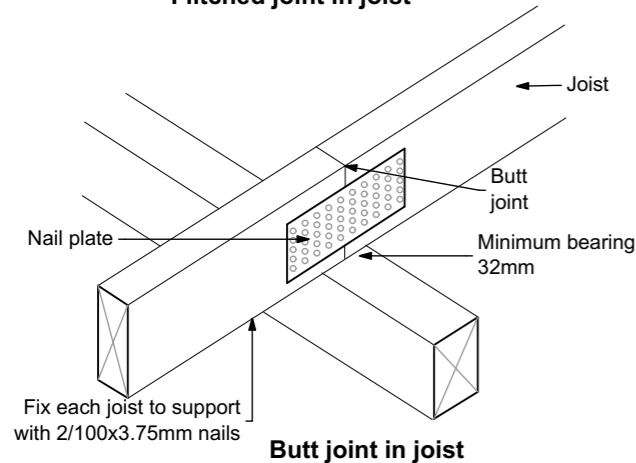
**Lapped joint in joist**



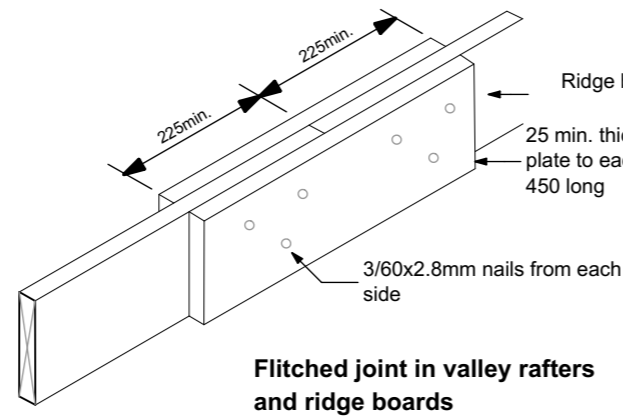
**Flitched joint in ceiling joist**



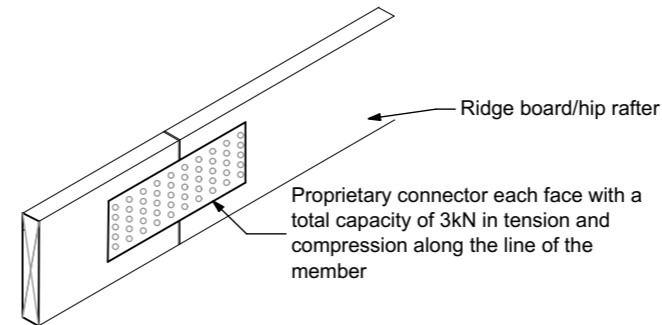
**Lapped joint in ceiling joist**



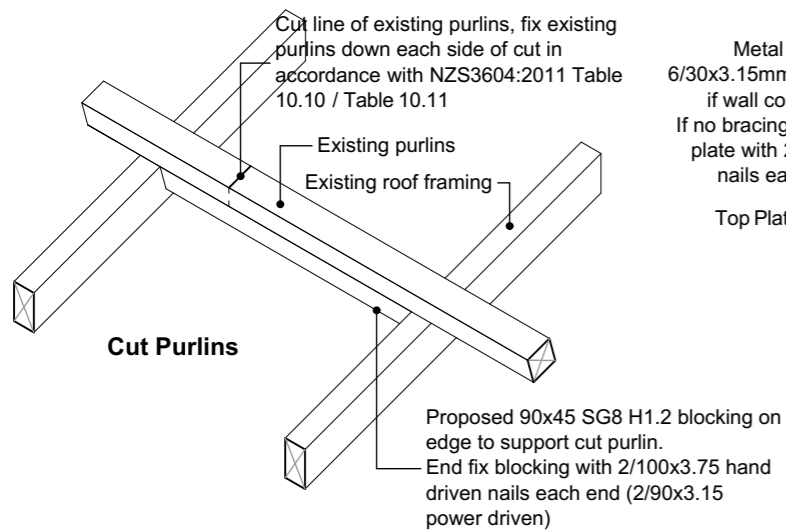
**Butt joint in joist**



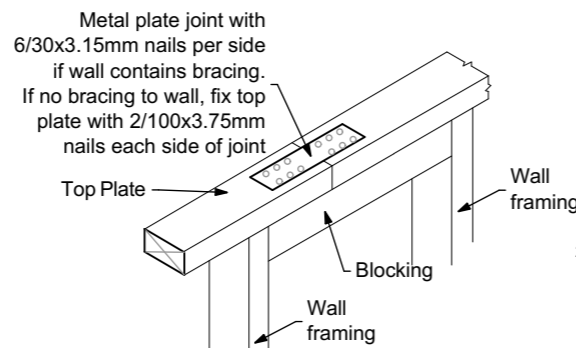
**Flitched joint in valley rafters and ridge boards**



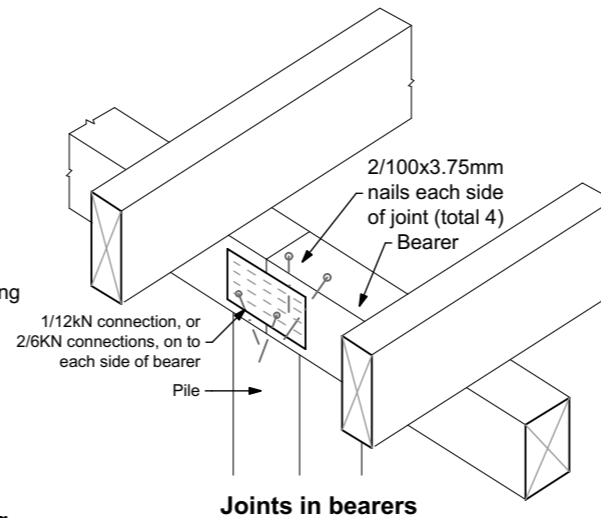
**Proprietary connection in valley rafters and ridge boards**



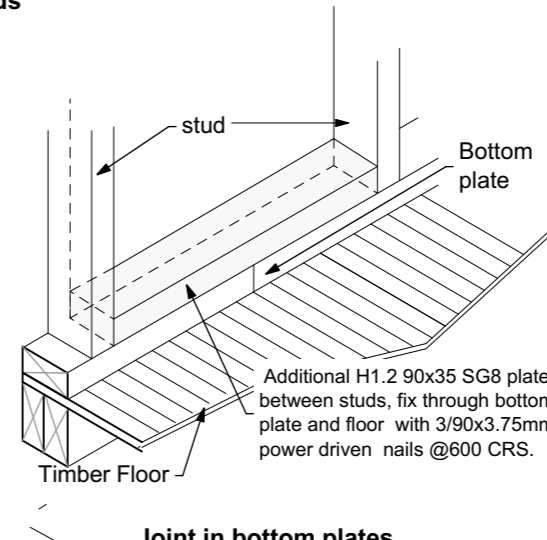
**Cut Purlins**



**Top plate cut Butt Joint over blocking**



**Joints in bearers**



**Joint in bottom plates**



**Hazley Windelborne C/O Te Iwi o Ngati Kahu Trust**

RELOCATION OF 2 DWELLINGS  
19 BONNETT ROAD  
KAITAIA  
FAR NORTH

Drawing Title  
**JOINING DETAILS**

Site Information  
Lot: 1 Zoning: RESIDENTIAL  
DP/LT: 210702 Wind Zone: MEDIUM  
Area: 2,127 sqm Corrosion: C

Technician: KJ

Date Printed: Monday, 13 May 2024

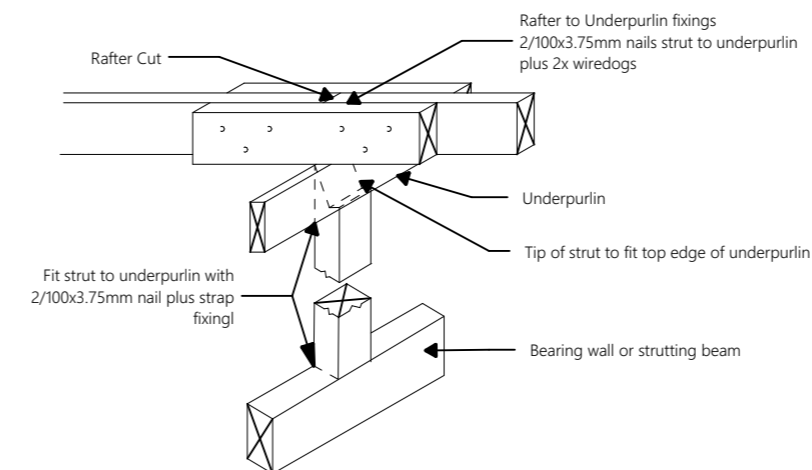
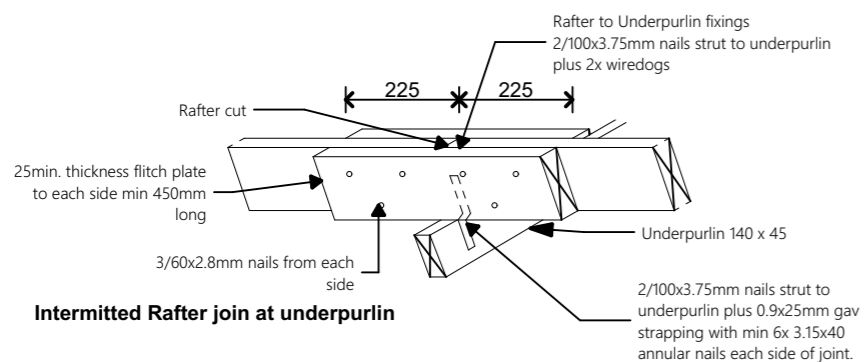
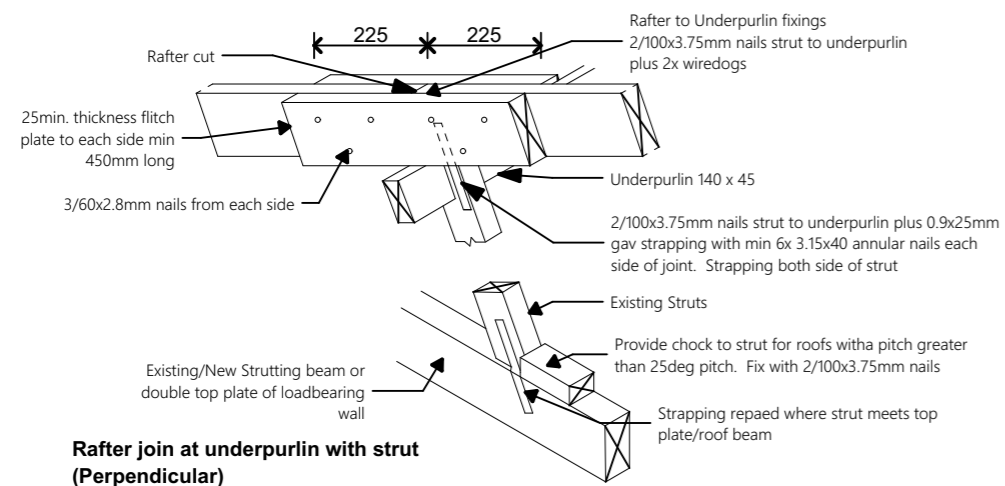
Scale at A3: 1:30

Job No:	Drawing No:	Rev:
<b>24-1243</b>	<b>D460</b>	<b>01</b>

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Rev	Date	Description
01	13/05/2024	BC ISSUE



2 TWO PIECE CUT DETAILS  
- N.T.S

1 TWO PIECE CUT DETAILS  
- N.T.S



**Hazley Windelborne C/O  
Te Iwi o Ngati Kahu Trust**

**RELOCATION OF 2 DWELLINGS  
19 BONNETT ROAD  
KAITAIA  
FAR NORTH**

Drawing Title  
**ROOF DETAILS**

Site Information  
**Lot:** 1      **Zoning:** RESIDENTIAL  
**DP/LT:** 210702      **Wind Zone:** MEDIUM  
**Area:** 2,127 sqm      **Corrosion:** C

Technician: KJ

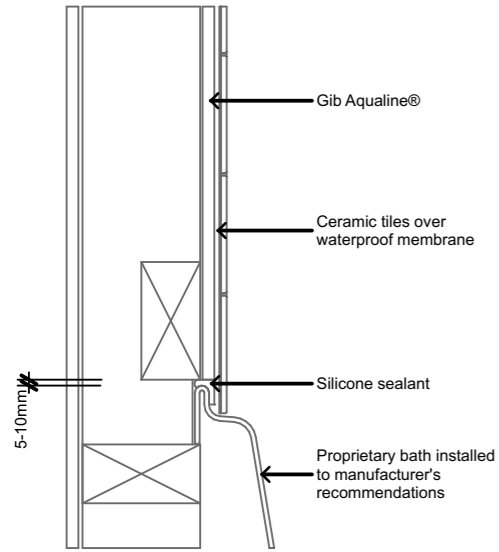
Date Printed: Monday, 13 May 2024

Scale at A3: 1:30

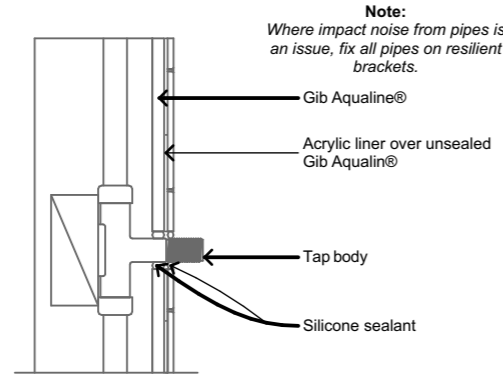
Job No:	Drawing No:	Rev:
<b>24-1243</b>	<b>D470</b>	<b>01</b>

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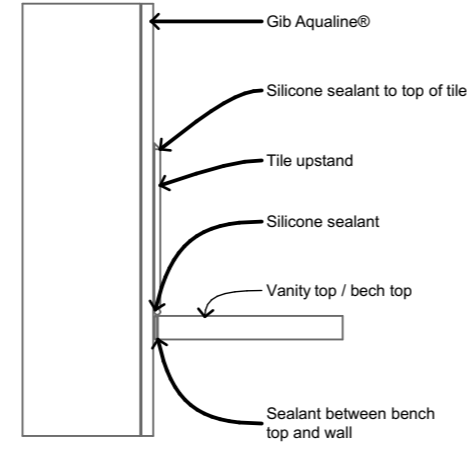
Rev	Date	Description
01	13/05/2024	BC ISSUE



**Bath/Wall Detail GAW-D006**

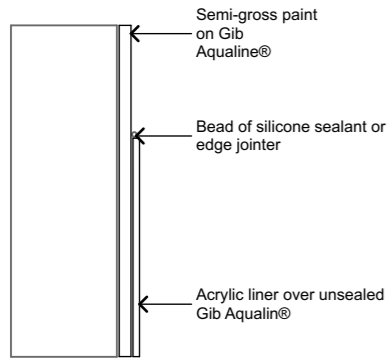


**Penetration Detail GAW-D002**

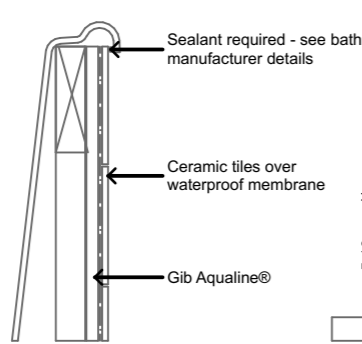


**Bench Top/Wall Detail GAW-D031**

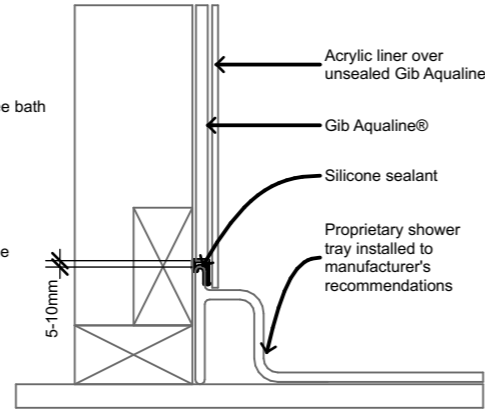
Floor Note: For all details, 'Ardex Superflex' waterproof membrane or similar approved shall be applied to :-  
 a) H3.2 CCA plywood flooring  
 b) GIB Plasterboard



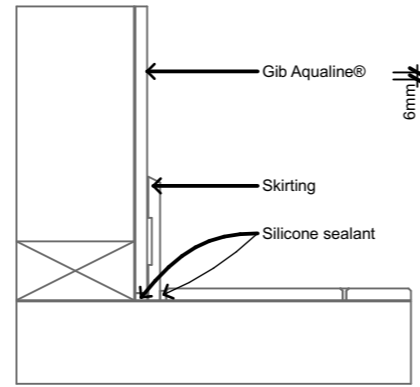
**Liner top Detail**



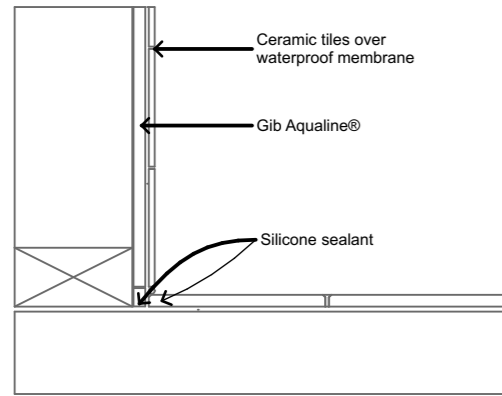
**Bath Edge Detail GAW-D004**



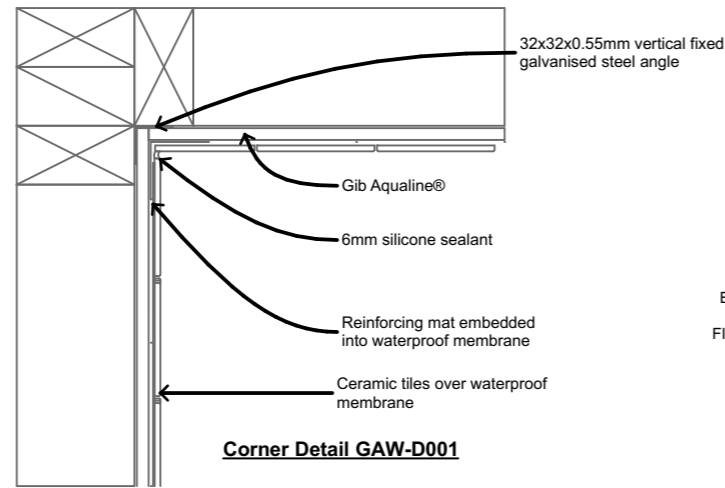
**Shower Wall/Floor Detail**



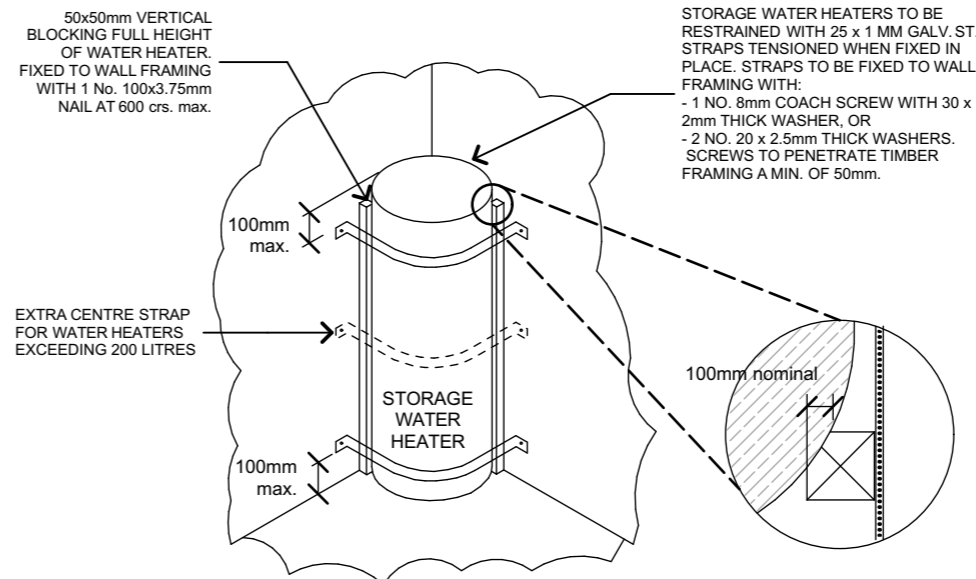
**Wall/Floor Detail GAW-D033**



**Wall/Floor Detail GAW-D003**



**Corner Detail GAW-D001**



**4 HWC SEISMIC RESTRAINT**  
N.T.S.

**1 BATHROOM DETAILS**  
Scale 1:5



**Hazley Windelborne C/O**  
**Te Iwi o Ngati Kahu Trust**  
**RELOCATION OF 2 DWELLINGS**  
**19 BONNETT ROAD**  
**KAITAIA**  
**FAR NORTH**

Drawing Title  
**E3, G11 & G12 DETAILS**

Lot: 1	Zoning: RESIDENTIAL	
DP/LT: 210702	Wind Zone: MEDIUM	
Area: 2,127 sqm	Corrosion: C	
Technician: KJ		
Date Printed: Monday, 13 May 2024		
Scale at A3: 1:5, 1:20		
Job No: <b>24-1243</b>	Drawing No: <b>D480</b>	Rev: <b>01</b>

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GIB AQUALINE® WET AREA SYSTEMS – TYPICAL DETAILS

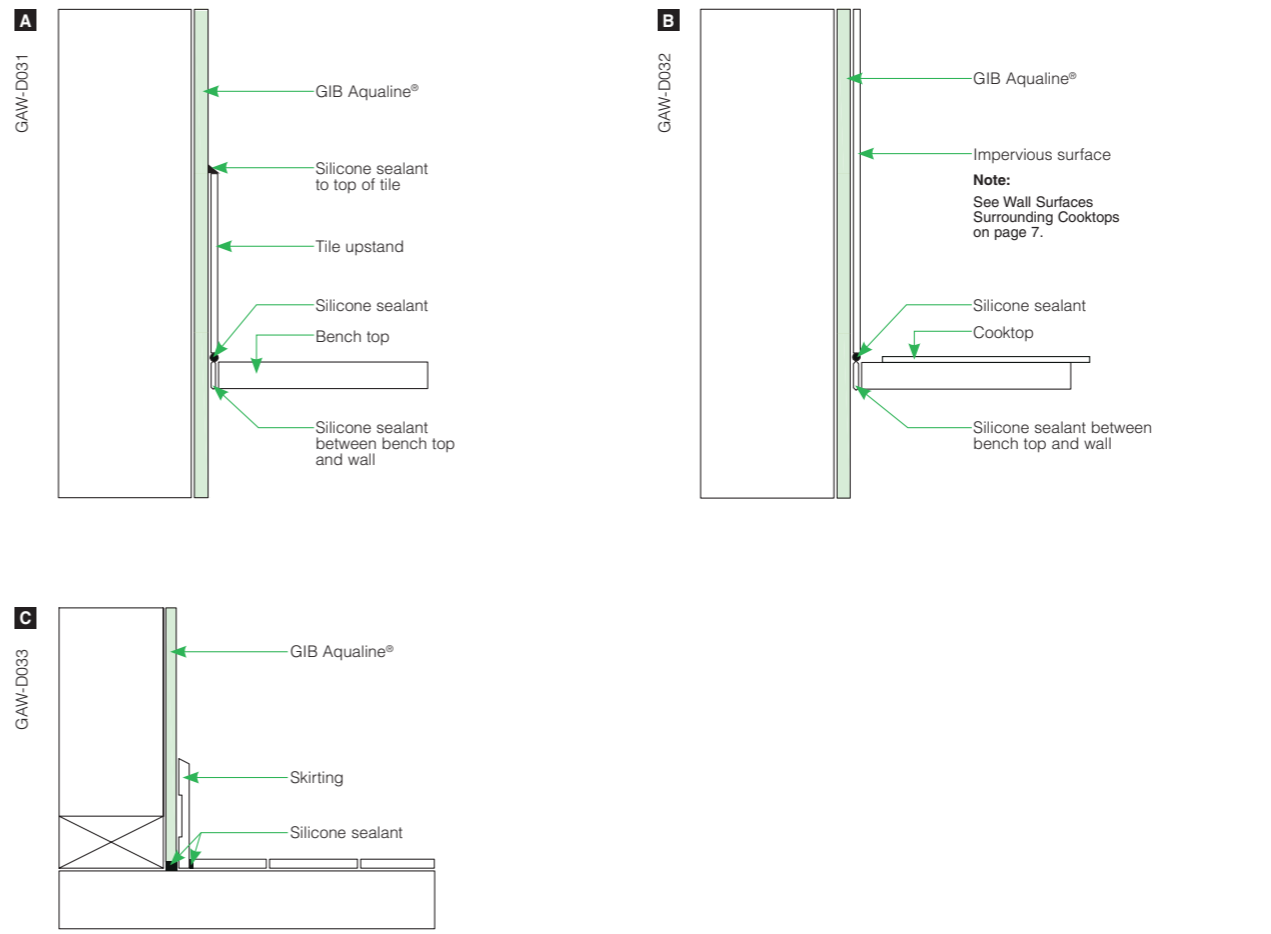
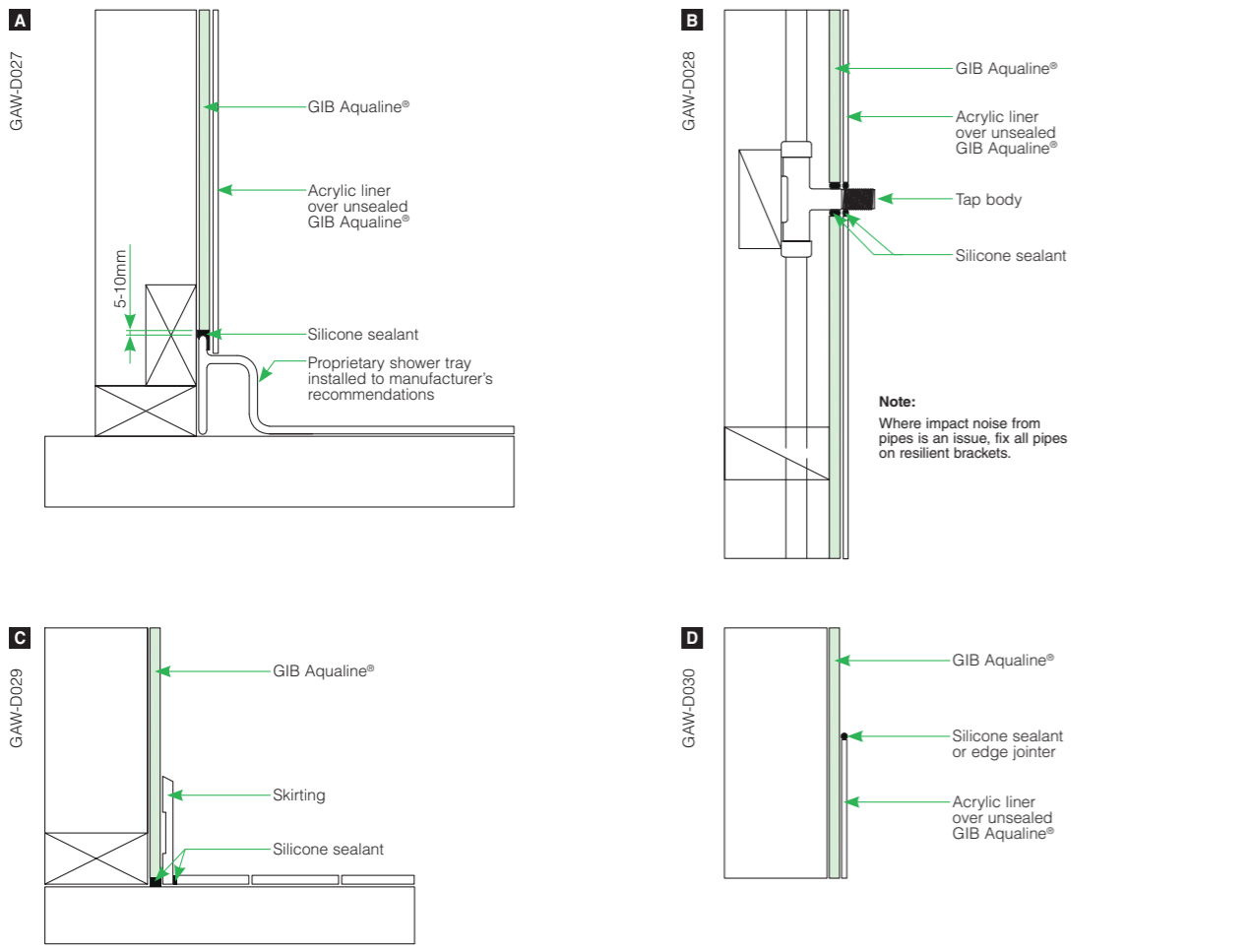
GIB AQUALINE® WET AREA SYSTEMS – TYPICAL DETAILS

BUILDING CONSENT

**GIB** Shower – Acrylic Liner and Base MARCH 2007

**GIB** Kitchen and Laundry MARCH 2007

Rev	Date	Description
01	13/05/2024	BC ISSUE



**Hazley Windelborne C/O Te Iwi o Ngati Kahu Trust**  
**RELOCATION OF 2 DWELLINGS**  
**19 BONNETT ROAD**  
**KAITAIA**  
**FAR NORTH**

Drawing Title: **GIB AQUALINE DETAILS**

Lot: 1	Zoning: RESIDENTIAL	
DP/LT: 210702	Wind Zone: MEDIUM	
Area: 2,127 sqm	Corrosion: C	
Technician: KJ		
Date Printed: Monday, 13 May 2024		
Scale at A3: 1:1		
Job No: <b>24-1243</b>	Drawing No: <b>D490</b>	Rev: <b>01</b>

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Engineering Assessment  
For proposed development for  
19 Bonnetts Road, Kaitaia  
Lot 1 DP 210702  
for  
Te Iwi O Ngati Kahu Trust

*Haigh Workman reference 24 108*

25 June 2024 - Final





**(a) Revision History**

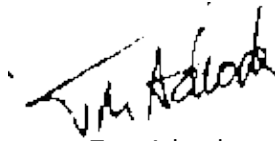
Revision N <sup>o</sup>	Issued By	Description	Date
A	Alan Collins	Draft for Consideration	14 June 2024
B	Alan Collins	Final for Issue	25 June 2024

Prepared by



Alan Collins  
Senior Civil Engineer  
MEngSt, BE (Hons)

Reviewed by



Tom Adcock  
Senior Civil Engineer  
BE (Civil), MEngNZ

Approved by



John McLaren  
Senior Civil Engineer  
CPEng, IntPE (NZ)

## TABLE OF CONTENTS

1	Executive Summary .....	4
2	Introduction .....	5
2.1	Objective and Scope .....	5
2.2	Limitations .....	5
3	Site Description .....	6
3.1	Site Location .....	6
3.2	Site Features .....	6
3.3	District Plan Zoning .....	7
3.4	Proposed Development .....	7
4	Access .....	8
4.1	Vehicle Crossing Details .....	8
4.2	Sighting Distance .....	8
4.3	Driveway .....	8
4.4	Parking and Manoeuvring .....	9
4.5	Traffic .....	9
4.6	Assessment Criteria .....	9
5	Flood Hazard Assessment .....	11
5.1	Regulatory Framework .....	11
5.2	Flood Mapping .....	11
5.3	Recommended Minimum Floor Levels .....	12
6	Stormwater Management .....	13
6.1	Impervious Surface Area .....	13
6.2	Stormwater Quantity Control .....	13
6.3	Assessment Criteria .....	15
7	Water Supply .....	17
7.1	Potable Water Supply .....	17
7.2	Water Demand .....	17
7.3	Fire Fighting .....	17
8	Wastewater .....	18
8.1	Generation Volume .....	18
8.2	System Capacity .....	18
8.3	Connection to the Network .....	19

## 1 *Executive Summary*

Haigh Workman Ltd was commissioned by Te Iwi O Ngati Kahu Trust (the Client) to undertake an Engineering Assessment to support a consent application for the proposed development of 19 Bonnetts Road, Kaitaia. The existing infrastructure consists of a community hall and a three-bedroom house. The proposed development would see the community hall renovated into a four-bedroom house. In addition, two relocatable houses (a three-bedroom dwelling and a two-bedroom dwelling) are to be established at the rear of the lot.

As the larger building is to be repurposed from a community hall to a residential dwelling, the expected vehicle movements per day is expected to decrease from 45 to 40. Traffic intensity will decrease because of the proposed development. The existing vehicle crossing is to be a shared access for all four dwellings. It is proposed that the vehicle crossing be upgraded to a sealed double vehicle crossing with a 6.0m width at the roadside berm and 5.0m at the boundary..

There is isolated inundation from the retention basin to the north of the Site. Inundation is expected to reach 13.0m RL (NZVD 2016) in a 1% AEP flood event. 500mm freeboard is required. The minimum finished floor level for the four dwellings is to be 13.5m RL. The finished floor level of existing community hall is unknown. It is recommended that the floor level be confirmed to be above 13.5m RL by a registered surveyor.

The impervious surface area percentage of the proposed development is 57% and exceeds 600m<sup>2</sup>. It is a discretionary activity. Stormwater quantity effects must be mitigated. The increase in peak runoff in a 10% AEP event as a result of the proposed development is 7.5 L/s. The runoff effects can be detained with a standard 10000L attenuation tank. Intake is to be from the roof water runoff of all four dwellings. The outlet orifice is to have a 35mm diameter orifice. Outflows are to be connected laterally to the main stormwater line on Bonnetts Road.

Water Supply is to be by connection to the community reticulated network. Hourly peak demand is expected to increase from 188L/hour to 688L/hour because of the proposed development. A fire hydrant is located in front of the St John Ambulance Station across the Bonnetts Road. The hose distance from the hydrant to the furthest dwelling is 80m and is acceptable.

The four proposed dwellings are to be connected to the reticulated wastewater network. There is a 150mm gravity sewer that extends from Melody Lane through the centre of the Site. The peak design flow from the Site is expected to increase from 0.047L/s to 0.154L/s as a result of the proposed development.

The Site is considered suitable for redevelopment to accommodate four dwellings.

## **2 Introduction**

Haigh Workman Ltd was commissioned by Te Iwi O Ngati Kahu Trust (the Client) to undertake an engineering assessment for the proposed development of 19 Bonnetts Road, Kaitaia (Lot 1 DP 210702).

The Site as an existing community hall and one bedroom unit. The proposed development would see the community hall renovated and repurposed into a four-bedroom house. In addition, two relocatable houses – a three-bedroom dwelling and a two-bedroom dwelling, are to be established at the northern end of the section.

It is understood that the proposed development is a restricted discretionary activity in regard to density (one unit/300m<sup>2</sup> – sewerred). This report is to support the resource consent application.

### **2.1 Objective and Scope**

The objectives of this investigation were to:

- Assess access requirements.
- Conduct a literature review flood hazard assessment and make recommendations on minimum, floor levels.
- Determine the necessary stormwater controls and attenuation requirements.
- Determine the water supply demand.
- Determine the wastewater generation volumes and make connection recommendations as necessary.

The scope excludes geotechnical investigations.

### **2.2 Limitations**

This report is intended to support the consent application with the Far North District Council. The information and opinions expressed in this report shall not be used in any other context without prior approval from Haigh Workman Ltd.

If at consent application the proposed development diverges from the provided scheme plan, the engineering assessment will need to be revisited.

Haigh Workman Ltd does not take responsibility for factors that affect the engineering assessment of the proposed development that are not covered in the agreed brief.



### 3 Site Description

#### 3.1 Site Location

Site Address: 19 Bonnetts Road, Kaitaia

Legal Description: Lot 1 DP 210702

Total Site Area: 2140m<sup>2</sup>

The site is located 500m to the west of Kaitaia town centre.



Figure 1: Site Plan view

#### 3.2 Site Features

The Site is flat. A natural basin is visible to the immediate north of the Site. The indentation experiences flooding in a 1% AEP event to the north and west of the Site. The ponding is not connected to other flood areas so no flow can be expected. A small 600mm high retaining wall is visible on the west boundary near the north-west boundary corner.

There is a single vehicle crossing onto Bonnetts Road. The vehicle crossing is concrete but is in a state of disrepair. There is an existing 470m<sup>2</sup> concrete carpark for the community hall. The stormwater from the carpark is collected in a catchpit near the south east corner of the community hall and directs runoff to the stormwater line in the Bonnetts Road corridor.

The existing community hall and existing one-bedroom dwelling have roof areas of 245m<sup>2</sup> and 72m<sup>2</sup> respectively. Stormwater from the existing roofs is directed to the north of the Site into the indentation where it infiltrates into the ground.

At the time of the Site visit on 12<sup>th</sup> June 2024, two proposed dwellings had been relocated to site and were sitting on temporary stands. The roof areas of the three-bedroom dwelling and two-bedroom dwelling were 98m<sup>2</sup> and 82m<sup>2</sup> respectively. Roof runoff currently runs directly to the ground at the outlets of unconnected downpipes. There had been 25mm of rainfall over the previous week, yet the ground underneath the downpipes was firm – indicative of good infiltration.

### **3.3 District Plan Zoning**

According to the Far North District Plan the Site is zoned as 'Residential'. The proposed development is understood to be a restricted discretionary activity in regard to residential intensity under section 7.6.5.3.1 of the 2019 Operative Far North District Plan. A total of four dwellings are proposed which complies with the restricted discretionary activity standard of one unit / 300m<sup>2</sup>.

### **3.4 Proposed Development**

The proposed scheme plan can be found in the appendices. A 98m<sup>2</sup> three-bedroom dwelling and 82m<sup>2</sup> dwelling are to be relocated and established at the rear of the Site. The proposal will require an additional 257m<sup>2</sup> of concrete driveway for parking and manoeuvring.

While not included in the scheme plan, it is also proposed that the community hall be renovated and repurposed into a four-bedroom dwelling. Concept drawings of the conversion were not available at the time of the report preparation.

It is proposed that stormwater, wastewater, and water supply all be connected to the Council reticulation.

The existing vehicle crossing is to be used for access for all dwellings and there is to be a shared driveway.



## 4 Access

### 4.1 Vehicle Crossing Details

Access to the site is currently accessed by a single vehicle crossing with approximately a 4m width at the roadside berm. The vehicle crossing is concrete but in a state of disrepair.

As the proposed development would see the existing vehicle crossing servicing four household equivalents, the vehicle crossing will need to be upgraded to a double vehicle crossing in compliance with Rule 15.1.6C.1.6(b) of the district plan. The double vehicle crossing is to have a width of 6.0m at the roadside berm. Details of the vehicle crossing are to be taken from Sheet 18 – Residential Vehicle Crossings in the 2023 FNDC Engineering Standards.



*Figure 2: Existing Vehicle Crossing to be upgraded.*

### 4.2 Sighting Distance

Sighting distance looking east and west from the vehicle crossing is 200m+ in both directions. The 85<sup>th</sup> percentile speed is likely to be high despite the 50km/h speed limit, due to the St John Ambulance Station on the same road. Regardless, the Site exceeds all minimum sighting distances given in Sheet 4 of the FNDC Engineering Standards 2023.

### 4.3 Driveway

Rule 15.1.6C.1.2 and Appendix 3B-1 specify that a private accessway for four household equivalents is to have a minimum carriageway width of 3.0m with passing bays at not less than 60m intervals. The provided scheme plan shows that the proposed scheme plan meets this requirement. The existing adjacent carpark provides sufficient passing capability without the need of passing bays as the access will be less than 60m.

A 5.5m radius is required at the bend of the driveway for intervisibility between dwellings.

## 4.4 Parking and Manoeuvring

Appendix 3C of the FNDC District plan requires two car parks for each household. The provided scheme plan achieves this requirement.

## 4.5 Traffic

The existing community hall is estimated to be able to host 20 people. Appendix 3A allows 2 vpd per person the facility can host. Therefore, the traffic intensity of the existing 1-bedroom dwelling and community hall is estimated as  $40 + 5 = 45$  vpd.

Appendix 3A allows 10 vpd for each household equivalents. The proposed development would see the community hall repurposed into residential and additional dwellings established to create four household equivalents on the lot, or 40 vpd. Traffic intensity will decrease as result of the proposed development.

## 4.6 Assessment Criteria

Assessment Criteria is taken from 15.1.6A.7 from the FNDC District Plan:

Assessment	Comment	Acceptable
a) The extent by which the expected traffic intensity for a proposed activity exceeds the assumed value set by the Traffic Intensity Factor contained in Appendix 3A in Part 4 of the Plan.	The traffic intensity factor for a residential house is 10vpd. The traffic intensity for the proposed four house development is 40vpd. The permitted activity limit is 20 vpd (15.1.6A.1). The permitted limit is exceeded.	N
b) The time of day when the extra vehicle movements will occur.	It is expected that vehicle movements will peak between 7-9am and 4-6pm on weekdays. The peak hourly vehicle movements is taken to be a tenth of the expected vehicle movements per day for analysis. 4 vph are expected at peak hour.	Y
c) The distance between the location of the vehicle movements take place and any adjacent properties.	The driveway movements are setback 1.5m from the boundary with 17 Bonnetts Road. Vehicle movements will use the existing vehicle crossing which is clear of neighbouring crossings.	Y
d) The width and capability of any street to cope safely with the extra vehicle movements.	Bonnetts Road has a width of 6.5m and is a secondary collector with a 50kph limit. As Bonnetts Road is a low speed zone it is acceptable.	Y
e) The location of any footpaths and the volume of pedestrian traffic on them.	No footpaths are proposed. A footpath is located on the southern side of Bonnetts Road and can be safely reached by pedestrians from the Site by crossing the road.	Y
f) The sight distances associated with vehicle access onto the street.	The sighting distances exceed 200m in both directions	Y
g) The existing volume of traffic on the streets affected.	vehicle movements per day on Bonnetts Road are expected to decrease due to the repurposing of the community hall. Current estimated daily vehicle movements on Bonnetts Road are 1698 with 2% heavy vehicles (Mobile Road app).	Y
h) Any existing congestion or safety problems on the streets affected.	We are not aware of any existing congestion or safety problems on Bonnetts Road.	Y
i) With respect to effects in local neighbourhoods, the ability to mitigate any adverse effects through the design of access, or the screening of vehicle	No adverse traffic effects are anticipated.	-



movements, or limiting the times the vehicle movements occur.		
j) With respect to the effects on through traffic on arterial roads, strategic roads and State Highways, any measures such as right turn bays, flush medians, left turn deceleration tapers, etc. proposed to be installed on the road as part of the development to accommodate traffic turning into and out of the site.	Not Applicable.	-
k) The extent to which the activity may cause or exacerbate natural hazards or may be adversely affected by natural hazards, and therefore increase the risk to life, property and the environment.	The proposed access is outside the flood hazard zone using NRC priority river mapping.	Y
l) Whether providing or having access to bicycle parking, shower/changing facilities or alternative transportation would reduce the number of vehicle movements associated with the proposed activity.	The site is within 500m of Kaitaia town centre, the route has a flat grade so it is feasible that walking or cycling will reduce the number of vehicle movements associated with the proposed activity.	-
m) The provision of safe access for pedestrians moving within or exiting the site.	The existing pedestrian foot path on the southern side of Bonnetts Road can be accessed from the site by crossing the road.	Y

## 5 Flood Hazard Assessment

### 5.1 Regulatory Framework

New Zealand Building Code Clause E1 Surface Water: First Schedule mandatory provisions E1.3.2 specifies that, ‘Surface water, resulting from an event having a 2% probability of occurring annually (50-year ARI), shall not enter buildings’. The Code notes that this Performance Measure applies only to Housing, Communal Residential and Communal Non-residential buildings.

The New Zealand Standard NZS4404:2010 ‘Land Development and Subdivision Engineering’ states:

#### 4.3.5.2 Freeboard

The minimum freeboard height additional to the computed top water flood level of the 1% AEP design storm should be as follows or as specified in the district or regional plan:

Freeboard	Minimum height
Habitable dwellings (including attached garages)	0.5 m
Commercial and industrial buildings	0.3 m
Non-habitable residential buildings and detached garages	0.2 m

The minimum freeboard shall be measured from the top water level to the building platform level or the underside of the floor joists or underside of the floor slab, whichever is applicable.

### 5.2 Flood Mapping

NRC flood mapping includes the Awanui Rivier Catchment as a Priority River. The site is not subject to flooding, however the retention basin to the north of Site does experience ponding in a 1% AEP flood event. Flood mapping shows that the 1% AEP inundation can be expected on the adjacent properties to the west and north of the Site up to 13.0m RL (NZVD 2016).



*Figure 3: Modelled inundation in a 1% AEP event.*

### 5.3 Recommended Minimum Floor Levels

The recommended minimum floor level for the dwellings in the proposed development is **13.5m RL** (NZVD 2016). This allows 500mm freeboard as stipulated in the NZ Building Code.

The proposed elevation of the two relocatable dwellings at the northern end of the Lot is 13.7m and exceeds the minimum.

The existing floor level of existing community hall will need to be determined before it is repurposed. The existing floor level is approximately 500mm above the existing ground level and is expected to exceed the 13.5m RL minimum required. We recommend this is confirmed by a registered surveyor.

## 6 Stormwater Management

### 6.1 Impervious Surface Area

The proposed development will see the existing roof area and concrete access and parking area increased.

The Post Development impervious percentage is determined below:

Roof Cover	245+72+98+82 = 497m <sup>2</sup>
Existing Concrete Access and Parking	470m <sup>2</sup>
Additional Concrete Access and Parking	257m <sup>2</sup>
<b>Total Impervious</b>	<b>1224m<sup>2</sup></b>
<b>Total Site Area</b>	<b>2140m<sup>2</sup></b>
<b>Impervious Percentage</b>	<b>57%</b>

Under rule 7.6.5.1.6 of the Far North Operative Plan, the maximum proportion of a gross site area in the Residential Zone that can be impermeable is 50%.

Under rule 7.6.5.2.1, the maximum proportion or amount of the gross site area covered by buildings and other impermeable surfaces shall be 60% or **600m<sup>2</sup>**, whichever is the lesser.

The proposed development exceeds these limits and is therefore a Discretionary Activity in accordance with 7.6.5.2(a). Rule 7.6.5.2.1 states that mitigating the run-off effects of the proposed development is required. The Verification Method E1/VM1 in the NZ Building Code can be used to demonstrate mitigation.

### 6.2 Stormwater Quantity Control

#### 6.2.1 Regulative Framework

Rule C.6.4.2 of the Northland Regional Plan provides for the diversion and discharge of stormwater from outside a public stormwater network provided (amongst other conditions) the diversion and discharge does not cause or increase flooding of land on another property in a storm event of up to and including a 10 percent annual exceedance probability or flooding of buildings on another property in a storm event of up to and including a one percent annual exceedance probability.

#### 6.2.2 Runoff Effects

Runoff effects for the 10% AEP (10 min intensity) were assessed for changes in flowrate. Rainfall intensities are taken from the NIWA HIRDS database using the RCP 6.0 for the period 2081-2100 dataset. Runoff Coefficients were taken from Table 1 in E1 AS1/VM1 of the NZ Building Code. It is assumed that the proposed development will also feature 50m<sup>2</sup> of cultivated landscaped garden (conservative). The rational method analysis estimated that peak flowrates generated in a 10% AEP storm increased by 7.5 L/s:



### Post-Development Runoff

	Area m <sup>2</sup>	C	I <sub>10</sub> mm/hr	Q L/s
roof area	497	0.9	103.8	12.9
concrete pavement	727	0.9	103.8	18.9
Landscaping	50	0.25	103.8	0.4
lawn	866	0.3	103.8	7.5
Total	2140			39.6

### Pre-Development Runoff

	Area m <sup>2</sup>	C	I <sub>10</sub> mm/hr	Q L/s
roof area	317	0.9	103.8	8.2
concrete pavement	470	0.9	103.8	12.2
lawn	1353	0.3	103.8	11.7
Total	2140			32.1
<b>Excess run-off</b>				<b>7.5</b>

#### 6.2.3 Stormwater Detention Tank

The detention calculation was conducted using a 6-hour nested design storm for the 10% AEP rainfall intensities.

It is proposed that a standard 10000L HDPE tank (with 2.25m diameter and 2.9m height) be utilised for the detention tank. The intake of the detention tank is to be the roof water collection of the four dwellings (497m<sup>2</sup> total roof area). With a 35mm internal diameter outlet orifice 7.6L/s is attenuated in a 10% AEP event. offsets the runoff effects from the proposed development. Outflows are to be directed to a 150mm stormwater line connecting laterally to the main stormwater line in the Bonnetts Road corridor.

The maximum storage required is 10,109L but most 10000L tanks exceed their specified capacity (e.g. The BWT 10000L tank has 11500L plus the volume in the dome ceiling).

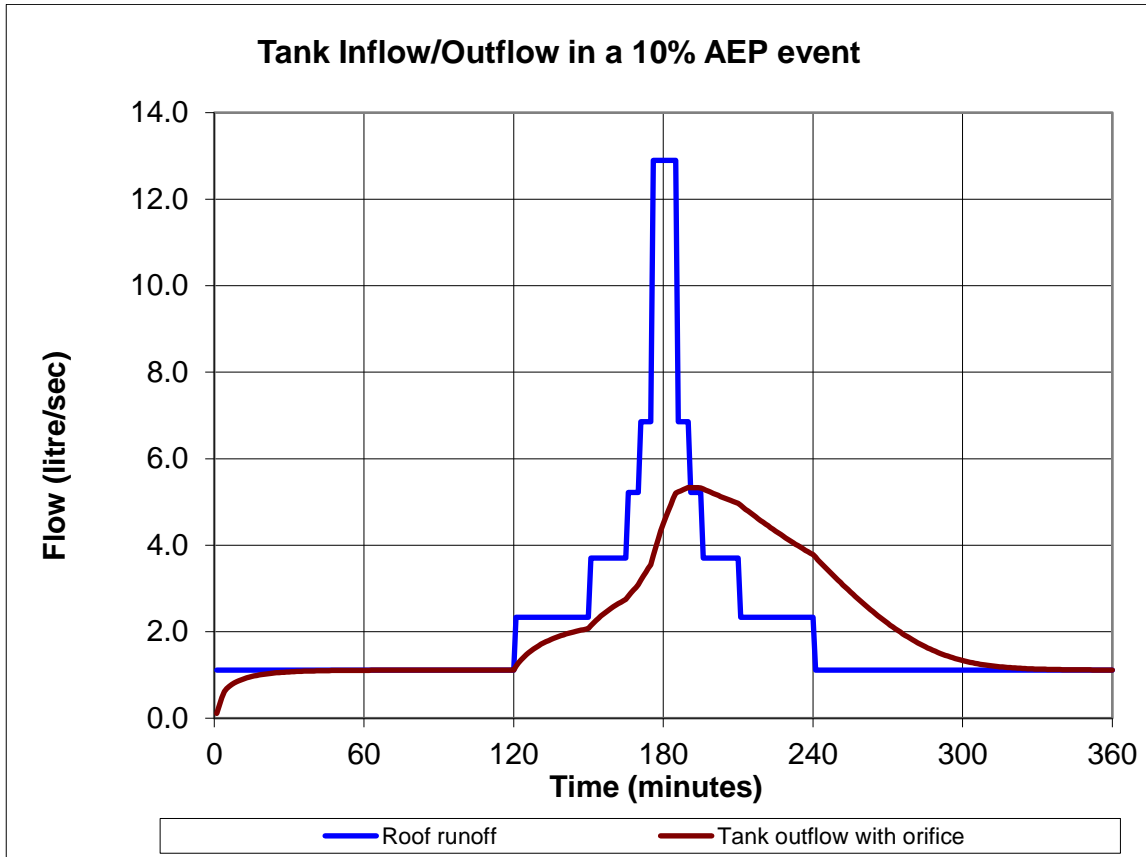


Figure 4: Attenuation in 10% AEP event.

### 6.3 Assessment Criteria

Assessment Criteria is taken from 11.3 of the FNDC Operative Plan:

Assessment	Comment	Acceptable
(a) The extent to which building site coverage and impermeable surfaces result in increased stormwater runoff and contribute to total catchment impermeability and the provisions of any catchment or drainage plan for that catchment.	The proposed detention tank system will mitigate any quantity effects.	Y
(b) The extent to which Low Impact Design principles have been used to reduce site impermeability.	Impermeable surfaces are limited to access and parking and roof coverage. The dimensions of the access and parking areas are to be kept narrow to allow infiltration into grass berms.	Y
(c) Any cumulative effects on total catchment impermeability.	Not applicable.	N/A
(d) The extent to which building site coverage and impermeable surfaces will alter the natural contour or drainage patterns of the site or disturb the ground and alter its ability to absorb water.	There are no changes to the natural contour or drainage patterns proposed.	Y
(e) The physical qualities of the soil type.	Not applicable.	N/A
(f) Any adverse effects on the life supporting capacity of soils.	Not applicable.	N/A
(g) The availability of land for the disposal of effluent and stormwater on the site without adverse effects on the water quantity and water quality of water bodies (including groundwater and aquifers) or on adjacent sites.	There is not sufficient room or appropriate soil for soakage beds on the Site. Stormwater quantity into the existing retention basin to the north of the Site is to be managed by detention tank. Stormwater	Y

	quality may improve with the proposed development as there will be less vehicle activity.	
(h) The extent to which paved, impermeable surfaces are necessary for the proposed activity.	Paved impermeable surfaces for the accessway and parking area are preferred as they require less maintenance. It is demonstrated that the runoff effects of the impervious surfaces can be mitigated with a detention tank.	Y
(i) The extent to which landscaping may reduce adverse effects of run-off.	A small amount of landscaping is to be expected with residential usage. This has been factored into the runoff effect calculation.	Y
(j) Any recognised standards promulgated by industry groups	Not applicable.	N/A
(k) The means and effectiveness of mitigating stormwater run-off to that expected by the permitted activity threshold.	Run-off effects are mitigated to pre-development flowrates by the proposed detention tank.	Y
(l) The extent to which the proposal has considered and provided for climate change.	Rainfall data used in the attenuation calculation is sourced from NIWA HIRDS dataset. A 6 hour nested 1% AEP flood event with RCP 6.0 data for the period 2081-2100 was used.	Y
(m) The extent to which stormwater detention ponds and other engineering solutions are used to mitigate any adverse effects.	A 10000L detention tank is demonstrated to mitigate all stormwater quantity effects.	Y

## 7 Water Supply

### 7.1 Potable Water Supply

The existing infrastructure on the Site is connected to the community reticulation network. A 20mm pressurised line connects the Site to the 125mm main reticulation water supply line on the southern side of Bonnetts Road. It is intended that the proposed development also be connected to the reticulation by the same line.

No capacity calculation can be done without access to the FNDC reticulation model. However, the size of the infrastructure is indicative of adequate capacity for the proposed development. A medium pressure of 500kPa is assumed. The Sites existing lateral connection 20mm line is sufficient to meet the expected peak hourly demand.

### 7.2 Water Demand

#### 7.2.1 Pre-Development

FNDC Engineering Standard 6.2.2.3 states a minimum domestic demand of 300 litres/person/day is to be allowed for. Peaking factor of 5 is to be applied for determining Peak Hourly Demand.

It is assumed that the existing one-bedroom dwelling on-site has two occupants. The community hall can readily accommodate 20 occupants and it is probable that functions could span peak hours. Consumption is estimated as being 15L/person/day for reticulated community halls (Table 6.1.b from Watercare Code of Practice).

Hourly Peak Demand is:  $(300 \times 2 + 15 \times 20) / 24 \times 5 = 188 \text{ L/hour} = 0.052 \text{ L/s}$

#### 7.2.2 Post Development

With the community hall repurposed into a four bedroom house, and the development of a three-bedroom and two-bedroom dwelling, the total expected domestic occupancy of the site is 11 using the occupancy allowances given in Table 6.1.a of Watercare's Code of Practice.

Hourly Peak Demand will be:  $(300 \times 11) / 24 \times 5 = 688 \text{ L/hour} = 0.19 \text{ L/s}$

#### 7.2.3 Conclusion

Peak hourly demand is expected to increase by 0.14 L/s as a result of the proposed development.

The size of the water main on Bonnetts Road is indicative of adequate capacity but FNDC have discretion on deciding on water availability (FNDC Engineering Standards 6.2.2.9)

### 7.3 Fire Fighting

Council Engineering Standards require a water supply that is adequate for firefighting purposes.

The required firefighting water supply is 7.5 L/s at a maximum of 135m from all households (NZS 4509:2008 Table 2).



The nearest fire hydrant is positioned across the road from the Site in front of the St John's Ambulance Station. The hose distance to the proposed dwellings at the rear of the Site is 80m.

## 8 Wastewater

### 8.1 Generation Volume

#### 8.1.1 Pre-Development

The Watercare Standard: *Auckland Code of Practice for land Development and Subdivision* is used to calculate expected wastewater generation volume.

Table 5.1.2 recommends a design occupancy of two for the and an allowance of 180L/person/day. For the existing community hall, Table 6.1.b recommends an allowance of 12L/day for each occupant (20).

Calculations of the wastewater flowrates are as follows:

Average Dry Weather Flow (ADWF):  $(180 \times 2 + 20 \times 12) / 86400 = 0.007 \text{ L/s}$

Self-Cleansing Design Flow:  $0.007 \times 3.0 = 0.02 \text{ L/s}$

Peak Design Flow (PDWF):  $0.007 \times 6.7 = 0.047 \text{ L/s}$

Peaking factors are taken from Table 5.1.1 of the Watercare Code of Practice.

#### 8.1.2 Post Development

Table 5.1.2 of the Code of Practice recommends a design occupancy of three for each of the two-bedroom, three-bedroom, and four-bedroom dwellings. Therefore, the total design occupancy for the Site is 11.

Calculations of the wastewater flowrates are as follows:

Average Dry Weather Flow (ADWF):  $(180 \times 11) / 86400 = 0.023 \text{ L/s}$

Self-Cleansing Design Flow:  $0.023 \times 3.0 = 0.069 \text{ L/s}$

Peak Design Flow (PDWF):  $0.023 \times 6.7 = 0.154 \text{ L/s}$

#### 8.1.3 Conclusion

The proposed development is expected to increase Peak Design Flow by 0.106 L/s.

### 8.2 System Capacity

It is not possible to check the sewer capacity without access to the FNDC wastewater network model. However, the existing sewer line extending from Melody Lane is a 150mm gravity main feeding into a 300mm gravity line parallel with Pukepoto Road. Considering the small catchment, it is highly improbable that the proposed development warrants a system upgrade.

### **8.3 Connection to the Network**

It is proposed that all four proposed dwellings be connected to the 150mm gravity main extending from Melody Lane and running through the centre of the Site. The two existing buildings are already connected to this sewer.

Connection to the network is to be in accordance with FNDC engineering standards (2023).

## *Appendix A – Scheme Plan*

# **SITE SUITABILITY REPORT**

**19 Bonnett Road, Kaitaia 0410**



**T&A STRUCTURES LTD.**

**6 April, 2024**



## Table of Contents

1.	PROJECT .....	3
2.	SITE DESCRIPTION .....	3
3.	GEOTECHNICAL INVESTIGATIONS.....	3
4.	MATERIAL PROPERTIES .....	6
5.	STORMWATER AND SEWERAGE .....	6
6.	NATURAL HAZARD .....	6
7.	ASSESSMENT .....	7
8.	OTHER RECOMMENDATIONS.....	8
9.	LIMITATIONS .....	9
10.	APPENDIX 1: BORE LOGS .....	10

## 1. PROJECT

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### 1.1 Project Details

Client's Name	:	Te Iwi o Ngati Trust
Site Address	:	19 Bonnett Road, Kaitaia 0410
Lot Number	:	1
DP number	:	210702

### 1.2 Brief

T&A Structures Ltd were engaged by the Client to undertake a Site Suitability Report with the purpose of checking the suitability of the site for the proposed relocated dwellings. The site assessment was carried out on 3 April 2024.

This report addresses the suitability of the site for the proposed development. As part of the assessment, the report undertakes to:

- Describe the soils at the site;
- Quantify sub-soil conditions to allow selection of foundation types;
- Note any pertinent features of the land;
- Make recommendations regarding further investigations if necessary.

It was understood that the Client proposes to relocate two lightweight single level dwellings to the site.

## 2. SITE DESCRIPTION

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The property occupies a land area of about 2125 square metres. There were two existing buildings in the property.

The property is bounded by Bonnett Road to the south and neighbouring properties to the north, east and west. The property is generally flat and is currently covered with a well-maintained grass.

## 3. GEOTECHNICAL INVESTIGATIONS

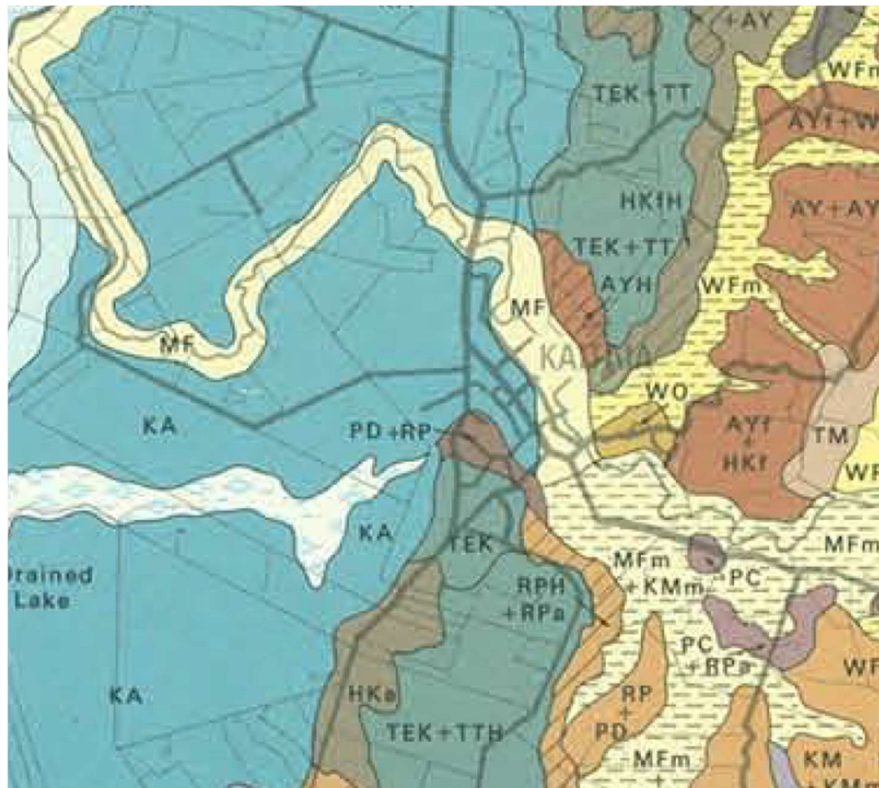
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### 3.1 Geology

The land is described in the New Zealand Land Inventory NZMS 290 series as Kaitaia Clay Loam (KA), belonging to the Soils of the Estuarine Flats and Former Lake Beds

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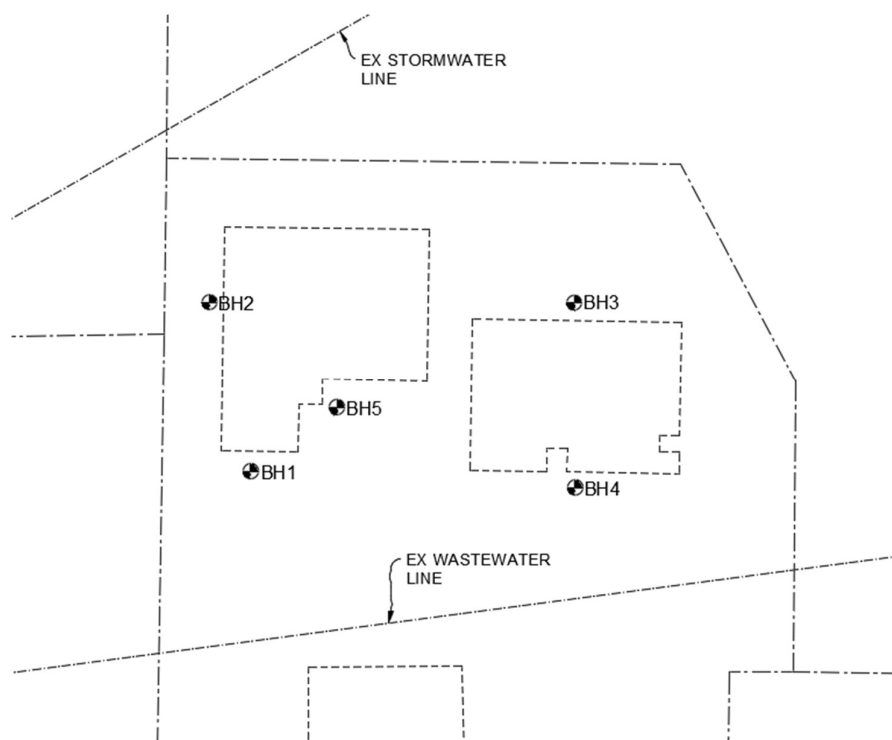
and categorised as imperfectly to very poorly drained soils. This has been found to be consistent with the results of the site investigation.



### 3.2 Subsurface Investigations

The investigations undertaken included a walkover inspection, one augered borehole and four Scala Penetrometer tests. The location plan of the test holes is attached below.

The borehole logs are attached as Appendix 1 to this report. The depths of strata on the Engineer's log are measured from ground levels at each exploratory hole.



### 3.4 Subsurface Findings

The subsoil materials were found to have the following bearing capacities 1200mm below existing ground level:

	BEARING CAPACITY (kPa)	DESCRIPTION
Allowable bearing capacity	100	the reading the inspector obtained with any specialised equipment
Ultimate bearing capacity	300	value = 3 times the allowable bearing capacity
Ultimate dependable bearing capacity	150	value = 1.5 times the allowable bearing capacity

From the results of our preliminary investigations, we were able to establish that in the area of the proposed house site, the subsurface soils comprised of approximately 200mm thick topsoil underlain with soft clay. Ground water was not encountered in any of the test holes. It should be noted however, that ground water table will vary according to season.



The top 1200mm of soil was soft and not suitable for foundation designed according to the NZS3604:2011 requirements. Below 1200mm bgl, the subsoils were stiffer and consistent in strength.

The subsurface conditions are detailed on the borehole logs in Appendix 1. The observations noted in the investigations have been extrapolated between the various test locations to infer probable site conditions. It is noted that these inferences in no way guarantee the validity of these findings due to the inherent variability of natural soil deposits. The actual ground conditions discovered during excavation may vary from what is reported herein.

#### **4. MATERIAL PROPERTIES**

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Soil shear strengths (measured with shear vane, BH5) range from 120kpa to 190kpa, with mean shear strength of about 160kpa.

The six Scala Penetrometer tests (BH1 to BH4) carried out within the proposed development generally reached 100 kpa (3.3 blows per 100mm) allowable soil bearing capacity at 1.20 mbgl and consistently have higher readings as the scala was driven down.

#### **5. STORMWATER AND SEWERAGE**

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The FNDC 3 Waters Map indicated that both the council's wastewater and stormwater reticulated system are available in or near this site for the wastewater and stormwater disposal and mitigation. It is considered that the proper disposal and mitigation of the wastewater and stormwater generated by this development will not require any further engineering studies.

Any site-specific stormwater management design and/or wastewater disposal system design, if required, is outside the scope of this report.

#### **6. NATURAL HAZARD**

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The NRC Natural Hazards Map indicated that as of writing this report, the property is located within the 50 and 100-Year Extent River Flood Hazard Zone. It is recommended that a suitably qualified professional be engaged to determine the required floor level of the relocated dwellings to mitigate the effects of the possible flooding.

## 7. ASSESSMENT

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### 7.1 Expansiveness

Based on the results of our field investigation, along with our knowledge and experience with these kinds of soils, we classify the investigated site as highly expansive in terms of AS2870:2011. Expansive soils are prone to shrinkage and swelling effects resulting from moisture changes from within the soil.

We note that no laboratory testing of the material to confirm the soil expansivity was undertaken.

### 7.2 Site Stability

The site did not appear to be subject to creep or instability. There appear to be no recent ground movement on the site. It is also anticipated that the proposed development will not affect or worsen the current stability of the site.

### 7.3 Earthworks and Retaining Structures

As mentioned earlier, the ground in the site where the proposed dwellings are to be relocated is relatively flat. We do not anticipate that this development will require considerable earthworks and retaining in addition to the excavation required for the pile footings.

### 7.4 Liquefaction Potential

Liquefaction occurs when the structure of a loose, saturated sand breaks down due to some rapidly applied loading such as earthquake shaking. As mentioned above, the soil in the site is cohesive clay. In addition, the site is in Northland where earthquake occurrence is considered unlikely. Hence, it is considered that liquefaction is unlikely to occur on this site.

A detailed liquefaction assessment for this site is outside the scope of this study.

### 7.5 Foundation System

The soils on this site are considered to be highly expansive and soft. The soils appeared to have not complied with the definition of “good ground” as noted in NZS3604:2011. It is however, considered that the site is suitable for the proposed development. The following are the recommended foundation options:

- Pile foundation designed according to the requirements of NZS3604:2011, provided that the piles are embedded into the ground at least 1200mm. At these depths, it is expected that the soil has at least 300kpa ultimate soil

bearing capacity. It is also anticipated that this depth is enough to mitigate the effects of possible seasonal soil movements due soil expansivity.

- Due to being within a flood hazard zone, a shallow type foundation is not recommended for these dwellings.
- For non-habitable buildings on shallow foundation, a specifically designed ribraft slab foundation is recommended. The top 400mm of soil, including topsoil should be taken out and be replaced compacted hardfill, preferably Gap 65 or 40. The compacted hardfill should extend at 1000mm from the building footprint. The foundation should be designed for a maximum allowable soil bearing pressure of 50Kpa.

## 8. OTHER RECOMMENDATIONS

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- In case of shallow foundation, the exposed subsoils should be examined, and any potential soft spots are to be further examined and then removed as appropriate. Replacement fill shall be GAP 65 or GAP 40 placed in layers not exceeding 150mm thick and compacted with a suitable compactor. Any fill exceeding 600mm thick should be tested for compaction.
- All stormwater collected from roofed and paved surfaces together with discharges from retaining walls and other subsoil drains shall be controlled and piped away from the proposed building footprint. Ensure that no uncontrolled runoff or concentrated discharges are directed onto open ground, into soakage pits or into subsoil drainage systems.
- Fill materials beneath any on-ground slab shall be GAP 65 or GAP 40 placed and compacted in layers not exceeding 150mm thick. Any fill exceeding 600mm thick should be tested for compaction.
- An engineer should inspect the earthworks, building platform construction and foundation, and in the case of concrete slab construction, prior to the concrete being poured to ensure that the actual soil parameters are as mentioned in this report or better. Producer Statements PS4 – Construction Review should be required for each of these stages.

## 9. LIMITATIONS

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- Our responsibility for this report is limited to the Client named in this report. We disclaim all responsibility and will accept no liability to any other person unless that party has obtained the written consent of T&A Structures Ltd. T&A Structures Ltd reserves the right to qualify or amend any opinion expressed in this report in dealing with any other party. It is not to be relied upon for any other purpose without reference to T&A Structures Ltd.
- Recommendations and opinions in this report are based on data obtained from the investigations and site observations as detailed in this report. The nature and continuity of subsoil conditions at locations other than the investigation bores and tests are inferred and it should be appreciated that actual conditions could vary from the assumed model.
- It is essential that this office be contacted if there is any variation in subsoil conditions from those described in this report as it may affect the design parameters recommended.
- This report was carried for the purpose of checking the ground with respect to the proposed development. This should not be taken as a full geotechnical report.
- Our professional services were performed using a degree of care and skill normally exercised, under similar circumstances, by reputable consultants practicing in this field at the time.



**Teo Pilapiti**  
**Chartered Professional Engineer**  
Structural Engineer, CMEngNZ CPEng  
**T&A STRUCTURES LTD.**

## **10. APPENDIX 1: BORE LOGS**

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# BORE HOLE LOG BH1

Job No. 051-FND-24SD

**Address** 19 Bonnetts Road, Kaitaia

**Client** Te Iwi o Ngati Kahu Trust

Borehole Location Refer to site plan

Surface elevation \_\_\_\_\_ Datum \_\_\_\_\_ Ground level \_\_\_\_\_

Surface Condition Grassed



**Fill**



**Topsoil**



**Sand**



**Clay**



**Silt**


Depth mm	G.W.L	Geologic Unit	Graphic Log	Field Description	Undrained Shear Strength (kPa) Corrected (Per NZGS guideline) 50 100 150 200	Scala Penetrometer (blows/ 100 mm) 3 6 9 12
0					0	
300					0	
600					0	
900					0	
1200					0	
1500					0	
1800					0	
2100					0	
					0	
					0	
					0	
					0	
					0	
					0	
					0	

Drill Method Scala penetrometer

Date Drilled 3 April 2024 **NOTE : The subsurface data described above has been determined at this specific borehole location.**

Drilled by Teo Such data will not identify any variations away from this location

Shear Vane No \_\_\_\_\_



**T&A STRUCTURES LTD**  
 CHARTERED PROFESSIONAL ENGINEERS  
 www.tastructures.co.nz info.tastructures@gmail.com

**Tests**

- In situ shear vane reading
- Remoulded shear vane reading
- Scala Penetrometer
- 100 kPa reference line

# BORE HOLE LOG BH2

Job No. 051-FND-24SD

**Address** 19 Bonnetts Road, Kaitaia

**Client** Te Iwi o Ngati Kahu Trust

Borehole Location Refer to site plan

Surface elevation Datum Ground level

Surface Condition Grassed



Fill



Topsoil



Sand



Clay



Silt

Depth mm	G.W.L	Geologic Unit	Graphic Log	Field Description	Undrained Shear Strength (kPa) Corrected (Per NZGS guideline) 50 100 150 200	Scala Penetrometer (blows/ 100 mm) 3 6 9 12
0					0	
300					0	
600					0	
900					0	
1200					0	
1500					0	
1800					0	
2100					0	

Drill Method Scala penetrometer

Date Drilled 3 April 2024 **NOTE : The subsurface data described above has been determined at this specific borehole location.**

Drilled by Teo Such data will not identify any variations away from this location

Shear Vane No

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**Tests**

- In situ shear vane reading
- Remoulded shear vane reading
- Scala Penetrometer
- 100 kPa reference line

# BORE HOLE LOG BH3

Job No. 051-FND-24SD

**Address** 19 Bonnetts Road, Kaitaia

**Client** Te Iwi o Ngati Kahu Trust

Borehole Location Refer to site plan

Surface elevation Datum Ground level

Surface Condition Grassed



Fill



Topsoil



Sand



Clay



Silt

Depth mm	G.W.L	Geologic Unit	Graphic Log	Field Description	Undrained Shear Strength (kPa) Corrected (Per NZGS guideline) 50 100 150 200	Scala Penetrometer (blows/ 100 mm) 3 6 9 12
0					0	
300					0	
600					0	
900					0	
1200					0	
1500					0	
1800					0	
2100					0	

Drill Method Scala penetrometer

Date Drilled 3 April 2024 **NOTE : The subsurface data described above has been determined at this specific borehole location.**

Drilled by Teo Such data will not identify any variations away from this location

Shear Vane No

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**Tests**

- In situ shear vane reading
- Remoulded shear vane reading
- Scala Penetrometer
- 100 kPa reference line

# BORE HOLE LOG BH4

Job No. 051-FND-24SD

**Address** 19 Bonnetts Road, Kaitaia

**Client** Te Iwi o Ngati Kahu Trust

Borehole Location Refer to site plan

Surface elevation Datum Ground level

Surface Condition Grassed



Fill



Topsoil



Sand



Clay



Silt

Depth mm	G.W.L	Geologic Unit	Graphic Log	Field Description	Undrained Shear Strength (kPa) Corrected (Per NZGS guideline) 50 100 150 200	Scala Penetrometer (blows/ 100 mm) 3 6 9 12
0					0	
300					0	
600					0	
900					0	
1200					0	
1500					0	
1800					0	
2100					0	
					0	
					0	
					0	
					0	
					0	
					0	

Drill Method Scala penetrometer

Date Drilled 3 April 2024 **NOTE : The subsurface data described above has been determined at this specific borehole location.**

Drilled by Teo Such data will not identify any variations away from this location

Shear Vane No

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 www.tastructures.co.nz info.tastructures@gmail.com

**Tests**

- In situ shear vane reading
- Remoulded shear vane reading
- Scala Penetrometer
- 100 kPa reference line

# BORE HOLE LOG BH5

Job No. 051-FND-24SD

**Address** 19 Bonnetts Road, Kaitaia

**Client** Te Iwi o Ngati Kahu Trust

**Borehole Location** Refer to site plan

**Surface elevation** Datum Ground level

**Surface Condition** Grassed



Depth mm	G.W.L	Geologic Unit	Graphic Log	Field Description	Undrained Shear Strength (kPa) Corrected (Per NZGS guideline) 50 100 150 200	Scala Penetrometer (blows/ 100 mm) 3 6 9 12
				topsoil, brown silty clay	0	
				light-brown stiff clay	0	
300					0	
				the same	41	
600					0	
				becomes orange silty clay	0	
900					0	
				the same + patches of light-grey silty clay	48	
1200					0	
				orange silty clay, wet	0	
1500					0	
				EOB	83	
1800					0	
					0	
2100					83	
					0	
					0	
					55	
					0	
					0	
					55	
					0	
					0	
					138	
					0	
					0	
					186	
					0	
					0	
					186	
					0	
					0	
					124	
					0	
					0	
					193	
					0	
					0	
					193	


**Drill Method** 50mm hand auger

**Date Drilled** 3 April 2024

**Drilled by** Teo

**Shear Vane No**

**NOTE :** The subsurface data described above has been determined at this specific borehole location. Such data will not identify any variations away from this location



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**Tests**

- In situ shear vane reading
- Remoulded shear vane reading
- Scala Penetrometer
- 100 kPa reference line



# Rules Assessment

Proposal: Proposed residential development  
 Address: 19 Bonnett Road, Kaitaia  
 District Plan: Operative Far North District Plan (ODP)

Site Zoning	
Zone	Residential Zone
Overlays/Controls	None
Designations	None

Rule	Compliance	Non-Compliance
<b>Residential Zone - 7.6.5.1 PERMITTED ACTIVITIES</b>		
<p><b>7.6.5.1.1 RELOCATED BUILDINGS</b></p> <p>Buildings are permitted activities provided that they comply with all the standards for permitted activities in the Plan, and further provided that where the building is a relocated building all work required to reinstate the exterior including painting and repair of joinery shall be completed within six months of the building being delivered to the site. Reinstatement work is to include connections to all infrastructure services and closing in and ventilation of the foundations.</p>		<p><b>Does not comply</b></p> <p>The proposed buildings will be relocated to site and the proposal does not comply with Rule 7.6.5.1.2 Residential Intensity</p> <p><b>Restricted Discretionary</b></p>
<p><b>7.6.5.1.2 RESIDENTIAL INTENSITY</b></p> <p>(a) Each residential unit for a single household shall have available to it a minimum net site area of:</p> <p>Sewered sites: 600m<sup>2</sup>                      Unsewered sites: 3,000m<sup>2</sup></p> <p>This minimum net site area may be for the exclusive use of the residential unit, or as part of land held elsewhere on the property, provided that a ratio of one residential unit per minimum net site area (as stated above) is not exceeded. Except that this rule shall not limit the use of an existing site for a single residential unit for a single household, provided that all other standards for permitted activities are complied with.</p>		<p><b>Does not comply</b></p> <p>The application site is sewered. The proposed Lots can comply with the with 300m<sup>2</sup> restricted discretionary net site area.</p> <p><b>Restricted Discretionary</b></p>
<p><b>7.6.5.1.3 SCALE OF ACTIVITIES</b></p> <p>The total number of people engaged at any one period of time in activities on a site, including employees and persons making use of any facilities, but excluding people who normally reside on the site or are members of the household shall not exceed:</p>	<p>The proposal is for residential dwellings, and will accommodate people who will</p>	

Rule	Compliance	Non-Compliance
<p>2 persons per 600m<sup>2</sup> (sewered) 2 persons per 3,000m<sup>2</sup> (unsewered)</p> <p>Provided that:</p> <p>(a) this number may be exceeded for a period totalling not more than 60 days in any 12 month period where the increased number of persons is a direct result of activities ancillary to the primary activity on the site; and</p> <p>(b) this number may be exceeded where persons are engaged in constructing or establishing an activity (including environmental enhancement) on the site; and</p> <p>(c) this number may be exceeded where persons are visiting marae.</p> <p>In determining the total number of people engaged at any one period of time, the Council will consider the maximum capacity of the facility (for instance, the number of beds in visitors accommodation, the number of seats in a restaurant or theatre), the number of staff needed to cater for the maximum number of guests, and the number and nature of the vehicles that are to be accommodated on site to cater for those engaged in the activity.</p> <p>Exemptions: The foregoing limits shall not apply to activities of a limited duration required by normal farming and plantation forestry activities, provided that the activity shall comply with the requirements of s16 of the Act.</p>	<p>consider the house their residence.</p>	
<p><b>7.6.5.1.4 BUILDING HEIGHT</b> The maximum height of any building shall be 8m.</p>	<p>Complies as indicated in elevations provided as part of <b>Appendix 2.</b></p>	
<p><b>7.6.5.1.5 SUNLIGHT</b> No part of any building shall project beyond a 45 degree recession plane as measured inwards from any point 2m vertically above ground level on any site boundary (refer to definition of Recession Plane in Chapter 3 - Definitions), except that:</p> <p>(a) a building may exceed this standard for a maximum distance of 10m along any one boundary other than a road boundary, provided that the maximum height of any building where it exceeds the standard is 2.7m (refer to Recession Plane Diagram B within the definition of Recession Plane in Chapter 3 – Definitions); and</p> <p>(b) where a site boundary adjoins a legally established entrance strip, private way, access lot, or access way serving a rear site, the measurement shall be taken from the farthest boundary of the entrance strip, private way, access lot, or access way.</p>	<p>Complies as indicated in elevations provided as part of <b>Appendix 2.</b></p>	

Rule	Compliance	Non-Compliance
<p><b>7.6.5.1.6 STORMWATER MANAGEMENT</b> The maximum proportion of the gross site area covered by buildings and other impermeable surfaces shall be 50%.</p>		<p><b>Does not comply</b></p> <p>The proposal does not comply with the 50% threshold for permitted activities.</p> <p>The proposal also does not comply with the controlled activity limits as the total area of impervious area will exceed 600m<sup>2</sup> albeit it less than 60% of the net site area.</p> <p><b>Discretionary</b></p>
<p><b>7.6.5.1.7 SET BACK FROM BOUNDARIES</b> (a) The minimum building setback from road boundaries shall be 3m, except that;</p> <p>(i) no building shall be erected within 9m of any road boundary with Kerikeri Road on properties with a road frontage with Kerikeri Road between its intersection with SH10 and Cannon Drive; and</p> <p>(ii) no building shall be erected within 10m of the Cobham Road boundary on Lot 1 DP 28017 and Lot 1 DP 46656 or the Kerikeri Inlet Road boundary of Lot 1 DP 404507 (and any sites created as a result of a subdivision of these lots);</p> <p>(iii) no new buildings as of 25 March 2019 shall be erected within 10m of the Kerikeri Inlet boundary of Lot 2 DP 103531, Lot 1 DP 103531, Lot 2 DP 58333 and Pt Lot 1 DP 58333.</p> <p>(b) The minimum set-back from any boundary other than a road boundary, on all sites other than Lot 1 DP 28017, Lot 1 DP 46656, Lot 1 DP 404507, and Lot 1 DP 181291, Lot 2 DP 103531, Lot 1 DP 103531, Lot 2 DP 58333 and Pt Lot 1 DP 58333 (and any sites created as a result of a subdivision of these lots), shall be 1.2m except that no set-back is required for a maximum total length of 10m along any one such boundary; and</p> <p>(c) Not less than 50% of that part of the site between the road boundary and a parallel line 2m there from (i.e. a 2m wide planting strip along the road boundary) shall be landscaped, on all sites other than Lot 1 DP 28017, Lot 1 DP</p>	<p>Complies as indicated in site plans provided as part of <b>Appendix 2</b>.</p>	

Rule	Compliance	Non-Compliance
<p>46656, Lot 1 DP 404507, and Lot 1 DP 181291, Lot 2 DP 103531, Lot 1 DP 103531, Lot 2 DP 58333 and Pt Lot 1 DP 58333 (and any sites created as a result of a subdivision of these lots). For the landscaping required on Lot 1 DP 28017 and Lot 1 DP 46656 (and any sites created as a result of a subdivision of these lots) refer to Rule 7.6.5.1.10 (b) below; and</p> <p>(d) The minimum set back from any other boundary other than the road boundary on Lot 1 DP 28017, Lot 1 DP 46656, Lot 1 DP 404507, and Lot 1 DP 181291, Lot 2 DP 103531, Lot 1 DP 103531, Lot 2 DP 58333 and Pt Lot 1 DP 58333 (and any sites created as a result of a subdivision of these lots) shall be 3m.</p>		
<p><b>7.6.5.1.8 SCREENING FOR NEIGHBOURS - NON-RESIDENTIAL ACTIVITIES</b></p> <p>Except along boundaries adjoining a Commercial or Industrial zone, outdoor areas providing for activities such as parking, loading, outdoor storage and other outdoor activities associated with non-residential activities on the site shall be screened from adjoining sites by landscaping, wall/s, close boarded fence/s or trellis/es or a combination thereof. They shall be of a height sufficient to wholly or substantially separate these areas from the view of neighbouring properties. Structures shall be at least 1.8m in height, but no higher than 2.0m, along the length of the outdoor area. Where such screening is by way of landscaping it shall be a strip of vegetation which has or will attain a minimum height of 1.8m for a minimum depth of 2m.</p>	<p>N/A The proposal is for a residential activity</p>	
<p><b>7.6.5.1.9 OUTDOOR ACTIVITIES</b></p> <p>Except as otherwise provided by Rule 7.6.5.1.10, any activity may be carried out outside except that any commercial non-residential activity involving manufacturing, altering, repairing, dismantling or processing of any materials, live produce, goods or articles shall be carried out within a building.</p>	<p>N/A The proposal is for a residential activity</p>	
<p><b>7.6.5.1.10 VISUAL AMENITY</b></p> <p>(a) Within the Coopers Beachfront Estate (as defined on Planning Map 61) domestic vehicles, and recreational vessels which are on a road trailer, may be stored on a site provided that: (removed)</p> <p>(b) Prior to any building work on Lot 1 DP 28017 and Lot 1 DP 46656 located on Cobham Road, Kerikeri (and any sites created as a result of a subdivision of these lots or any amalgamation of the lots) the following shall be provided: (removed)</p> <p>(c) Prior to any building work on Lot 1 DP 404507, and Lot 1 DP 181291, Lot 2 DP 103531, Lot 1 DP 103531, Lot 2 DP</p>	<p>N/A The proposal is not located in the relevant locations.</p>	

Rule	Compliance	Non-Compliance
58333 and Pt Lot 1 DP 58333 located on Kerikeri Inlet Road, Kerikeri (and any sites created as a result of a subdivision of these lots or any amalgamation of the lots) a landscaping plan that has been approved by Council showing: (removed)		
<b>7.6.5.1.11 TRANSPORTATION</b> Refer to Chapter 15 – Transportation for Traffic, Parking and Access rules.	Refer to table below.	
<b>7.6.5.1.12 SITE INTENSITY - NON-RESIDENTIAL ACTIVITIES</b> (a) except as provided in (b) hereunder, the maximum net area of activities other than residential units on any site shall be 1,000m <sup>2</sup> for sewered sites, and 5,000m <sup>2</sup> for unsewered sites, except that this area may be exceeded for public reserves without buildings;  (b) in the Coopers Beachfront Estate (as defined on Planning Map 61) retail sales of goods and services (excluding home stay accommodation, rental accommodation or holiday accommodation not being a camping ground or motor camp) are not a permitted activity.	N/A as proposal is for a residential activity.	
<b>7.6.5.1.13 HOURS OF OPERATION - NON-RESIDENTIAL ACTIVITIES</b> (a) the maximum number of hours the activity shall be open to visitors, clients or deliveries shall be 50 hours per week; and (b) hours of operation shall be limited to between the hours: 0700 - 2000 Monday to Friday 0800 - 2000 Saturday, Sunday and Public Holidays	N/A as proposal is for a residential activity	
<b>7.6.5.1.14 KEEPING OF ANIMALS</b> No site shall be used for factory farming, a boarding or breeding kennel or a cattery.	Keeping of animals is not proposed	
<b>7.6.5.1.16 HELICOPTER LANDING AREA</b> Helicopter landing areas are not permitted.	Helicopter landing area is not proposed	
<b>7.6.5.1.17 BUILDING COVERAGE</b> Any new building or alteration/addition to an existing building is a permitted activity if the total Building Coverage of a site does not exceed 45% of the gross site area.	Complies as indicated in site plans provided as part of <b>Appendix 2</b> .	
<b>Natural and Physical Resource 12.3 – PERMITTED ACTIVITES</b>		
<b>Rule 12.3.6.1.3 Excavation and/or filling in the Residential Zone</b> Excavation and/or filling, excluding mining and quarrying, on any site in the Residential, Industrial, Horticultural Processing, Coastal Residential or Russell Township Zones is permitted, provided that: (a) it does not exceed 200m <sup>3</sup> in any 12 month period per site; and (b) it does not involve a cut or filled face exceeding 1.5m in height i.e. the maximum permitted cut and fill height may be 3m.	The proposal results in approximately 64.4m <sup>3</sup> of earthworks, cut and fill heights will be less than 1.5m.	



Rule	Compliance	Non-Compliance
<p><b>12.4.6.1.1 Setback from Lakes, Rivers and Wetlands</b></p> <p>Any building and any impermeable surface must be set back from the boundary of any lake (where a lake bed has an area of 8ha or more), river (where the average width of the riverbed is 3m or more) or the boundary of the coastal marine area, except that this rule does not apply to man-made private water bodies other than the Manuwai and Waingaro Reservoirs.</p> <p>The setback shall be:</p> <p>(a) a minimum of 30m in the Rural Production, Waimate North, Rural Living, Minerals, Recreational Activities, Conservation, General Coastal, South Kerikeri Inlet and Coastal Living Zones;</p> <p>(b) a minimum of 26m in the Residential, Coastal Residential and Russell Township Zones;</p> <p>(c) a minimum of 20m in the Commercial and Industrial Zones.</p>	<p>The application site is not located near to any lakes or rivers.</p>	
<p><b>Transportation 15 – PERMITTED ACTIVITIES</b></p>		
<p><b>Rule 15.1.6A.2.1 Traffic Intensity</b></p> <p>20 one-way daily traffic movements are permitted on a site within the Residential Zone. The first residential unit on a site and construction traffic associated with establishing the residential activity are exempt from this rule.</p>		<p><b>Does not comply</b></p> <p>Based on the Traffic Intensity Factors in Appendix 3A each residential unit/household equivalent is equal to 10 one-way movements.</p> <p>When considering that the first residential unit on each site is exempt, the proposal across the application site will result in 30 one-way traffic movements total.</p> <p><b>Restricted discretionary.</b></p>
<p><b>Rule 15.1.6B.1.1 On-site Car Parking Spaces</b></p> <p>Two car parking spaces required per residential unit.</p>		<p><b>Does not comply</b></p> <p>Three dwellings are provided with two carparks each while one dwelling is only provided with one carparking space.</p>

Rule	Compliance	Non-Compliance
<p><b>Rule 15.1.6B.1.5 Car Parking Space Standards</b> Car parking spaces and manoeuvring areas shall be formed in accordance with the requirements of Appendix 3D and 3E of the District Plan.</p>	Complies	Restricted discretionary.
<p><b>Rule 15.1.6C.1.4 Access over Footpath</b> The following restrictions shall apply to vehicle access over footpaths: (a) no more than two crossings per site; and (b) the maximum width of a crossing shall be: 6m</p>	Complies. Only one, double width crossing measuring 6m is proposed.	
<p><b>Rule 15.1.6C.1.6 Vehicle Crossing Standards in Urban Zone</b> (a) Private access off streets in the urban zones the vehicle crossing is to be constructed in accordance with Council’s “Engineering Standards and Guidelines” (June 2004 – Revised 2009). (b) Where the vehicle crossing serves two or more proposed the vehicle crossing is to be widened to provide a double width vehicle crossing.</p>	<ul style="list-style-type: none"> <li>• Crossing will be constructed to comply</li> <li>• N/A</li> </ul>	
<p><b>Rule 15.1.6C.1.7 General Access Standards</b> (a) Provision shall be made such that there is no need for vehicles to reverse off a site except where there are less than 4 parking spaces gaining access from a local road. (b) All bends and corners on the private accessway are to be constructed to allow for the passage of a Heavy Rigid Vehicle. (c) Any access where legal width exceeds formation requirements shall have surplus areas (where legal width is wider than the formation) grassed. (d) Runoff from impermeable surfaces shall, wherever practicable, be directed to grass swales and/or shall be managed in such a way as will reduce the volume and rate of stormwater runoff and contaminant loads.</p>	<ul style="list-style-type: none"> <li>• N/A</li> <li>• N/A</li> <li>• N/A</li> </ul>	
<p><b>Rule 15.1.6C.1.8 Frontage to Existing Roads</b> (a) Where any proposed subdivision has frontage to a road or roads that do not meet the legal road width standards specified by the Council in its “Engineering Standards and Guidelines” (June 2004 – Revised 2009), road widening shall be vested in the name of the Council. (b) Where any proposed subdivision has frontage to a road or roads that are not constructed to the standards specified by the Council in its “Engineering Standards and Guidelines” (June 2004 – Revised 2009), then the applicant shall complete the required improvements. (c) Where a site has more than one road frontage or frontage to a service lane or right-of-way (ROW) in addition to a road frontage, access to the site shall be in a place that: (i) facilitates passing traffic, entering and exiting traffic, pedestrian traffic and the intended use of the site;</p>	<ul style="list-style-type: none"> <li>• It is understood that Bonnett Road is formed to standard; no widening required</li> <li>• As above</li> <li>• N/A</li> <li>• N/A</li> </ul>	

Rule	Compliance	Non-Compliance
(ii) is from the road or service lane or ROW that carries the lesser volume of traffic. (d) Where any proposed subdivision has frontage to a road on which the carriageway encroaches, or is close to the subject lot or lots, the encroachment or land shall vest in Council such that either the minimum berm width between the kerb or road edge and the boundary is 2m or the boundary is at least 6m from the centreline of the road whichever is the greater		

District Plan: Proposed Far North District Plan 'PDP'

Site Zoning	
Zone	General Residential Zone
Overlays/Controls	None
Designations	None

Rule	Compliance	Non-Compliance
<b>Rules and Standards That Have Immediate Legal Effect under the PDP</b>		
<b>Part 2 – District Wide Matters / Hazards and Risks / Hazardous Substances</b>		
<b>Hazardous Substances</b>	N/A The proposal does not involve any hazardous substances.	
<b>Part 2 – District Wide Matters / Historical and Cultural Values</b>		
<b>Heritage Areas</b>	N/A The proposal is not located in a Heritage Area.	
<b>Historic Heritage</b>	N/A The proposal does not involve any scheduled heritage resources.	
<b>Notable Trees</b>	N/A The proposal does not involve any notable trees.	
<b>Sites and Areas of Significance to Māori</b>	N/A The application site is not located within and sites or areas of significance to Māori.	
<b>Part 2 – District Wide Matters / National Environment Values</b>		
<b>Ecosystems and Indigenous Biodiversity</b>	N/A There is no vegetation clearance proposed.	
<b>Part 2 – District Wide Matters / Subdivision</b>		
<b>Subdivision</b>	N/A No Subdivision rules with legal effect apply to the proposal.	
<b>Part 2 – District Wide Matters / General District Wide Matters</b>		

Rule	Compliance	Non-Compliance
<b>Activities on the Surface of Water</b>	N/A No activities on the surface of water are proposed.	
<b>Earthworks</b>		
<b>EW-R12</b> Earthworks and the Discovery of Suspected Sensitive Material	Complies Accidental discovery protocols will be followed as necessary.	
<b>EW-R13</b> Earthworks and Erosion and Sediment Control	Complies All necessary erosion and sediment control guidelines.	
<b>Signs</b>	N/A No signs are proposed.	
<b>Part 3 – Area Specific Matters / Special Purpose Zones / Orongo Bay</b>		
<b>OBZ-R14</b> Comprehensive Development Plan	N/A	