

<p>Office Use Only</p> <p>Application Number:</p>
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APPLICATION FOR RESOURCE CONSENT OR FAST-TRACK RESOURCE CONSENT

(Or Associated Consent Pursuant to the Resource Management Act 1991 (RMA))

(If applying for a Resource Consent pursuant to Section 87AAC or 88 of the RMA, this form can be used to satisfy the requirements of Form 9)

Prior to, and during, completion of this application form, please refer to Resource Consent Guidance Notes and Schedule of Fees and Charges – both available on the Council's web page.

1. Pre-Lodgement Meeting

Have you met with a Council Resource Consent representative to discuss this application prior to lodgement? Yes / No

2. Type of Consent being applied for (more than one circle can be ticked):

- Land Use
- Extension of time (s.125)
- Consent under National Environmental Standard (e.g. Assessing and Managing Contaminants in Soil)
- Other (please specify) Visual Amenity rule.
- Fast Track Land Use*
- Change of conditions (s.127)
- Subdivision
- Change of Consent Notice (s.221(3))
- Discharge

*The fast track for simple land use consents is restricted to consents with a controlled activity status and requires you provide an electronic address for service.

3. Would you like to opt out of the Fast Track Process?

~~Yes~~ / No

4. Applicant Details:

Name/s: Cary Gleeson

Electronic Address for Service (E-mail): _____

Phone Numbers: _____

Postal Address: _____
(or alternative method of service under section 352 of the Act)

5. Address for Correspondence: Name and address for service and correspondence (if using an Agent write their details here).

Name/s: Gleeson Builders & Assoc Ltd

Electronic Address for Service (E-mail): _____

Phone Numbers: _____

Postal Address: _____
(or alternative method of service under section 352 of the Act)

All correspondence will be sent by email in the first instance. Please advise us if you would prefer an alternative means of communication.

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6. Details of Property Owner/s and Occupier/s: Name and Address of the Owner/Occupiers of the land to which this application relates (where there are multiple owners or occupiers please list on a separate sheet if required)

Name/s: The Gleeson Family Trust

Property Address/ Location: PO Box 125017 St Heliers Auckland

7. Application Site Details:

Location and/or Property Street Address of the proposed activity:

Site Address/ Location: 92 Magnolia Tree Way Kerikeri

Legal Description: Lot 8 DP 488622 Val Number: 00213-79211

Certificate of Title: 700409

Please remember to attach a copy of your Certificate of Title to the application, along with relevant consent notices and/or easements and encumbrances (search copy must be less than 6 months old)

Site Visit Requirements:

Is there a locked gate or security system restricting access by Council staff? Yes / ~~No~~

Is there a dog on the property? ~~Yes~~ / No

Please provide details of any other entry restrictions that Council staff should be aware of, e.g. health and safety, caretaker's details. **This is important to avoid a wasted trip and having to re-arrange a second visit.**

8. Description of the Proposal:

Please enter a brief description of the proposal here. Attach a detailed description of the proposed activity and drawings (to a recognized scale, e.g. 1:100) to illustrate your proposal. Please refer to Chapter 4 of the District Plan, and Guidance Notes, for further details of information requirements.

Building consent EBC-2025-34/0 has been issued. This breaches the Visual Amenity rule.

The colour for this project is Ebony (Black)

If this is an application for an Extension of Time (s.125); Change of Consent Conditions (s.127) or Change or Cancellation of Consent Notice conditions (s.221(3)), please quote relevant existing Resource Consents and Consent Notice identifiers and provide details of the change(s) or extension being sought, with reasons for requesting them.

9. Would you like to request Public Notification

~~Yes~~/No

10. Other Consent required/being applied for under different legislation (more than one circle can be ticked):

- Building Consent (BC ref # if known)
- Regional Council Consent (ref # if known)
- National Environmental Standard consent
- Other (please specify)

11. National Environmental Standard for Assessing and Managing Contaminants in Soil to Protect Human Health:

The site and proposal may be subject to the above NES. In order to determine whether regard needs to be had to the NES please answer the following (further information in regard to this NES is available on the Council's planning web pages):

Is the piece of land currently being used or has it historically ever been used for an activity or industry on the Hazardous Industries and Activities List (HAIL) yes no don't know

Is the proposed activity an activity covered by the NES? (If the activity is any of the activities listed below, then you need to tick the 'yes' circle). yes no don't know

- Subdividing land
- Changing the use of a piece of land
- Disturbing, removing or sampling soil
- Removing or replacing a fuel storage system

12. Assessment of Environmental Effects:

Every application for resource consent must be accompanied by an Assessment of Environmental Effects (AEE). This is a requirement of Schedule 4 of the Resource Management Act 1991 and an application can be rejected if an adequate AEE is not provided. The information in an AEE must be specified in sufficient detail to satisfy the purpose for which it is required. Your AEE may include additional information such as Written Approvals from adjoining property owners, or affected parties.

Please attach your AEE to this application.

13. Billing Details:

This identifies the person or entity that will be responsible for paying any invoices or receiving any refunds associated with processing this resource consent. Please also refer to Council's Fees and Charges Schedule.

Name/s: (please write all names in full)

Gleeson Builders & Assoc Ltd

Email:

Postal Address:

Phone Numbers:

Fees Information: An instalment fee for processing this application is payable at the time of lodgement and must accompany your application in order for it to be lodged. Please note that if the instalment fee is insufficient to cover the actual and reasonable costs of work undertaken to process the application you will be required to pay any additional costs. Invoiced amounts are payable by the 20th of the month following invoice date. You may also be required to make additional payments if your application requires notification.

Declaration concerning Payment of Fees: I/we understand that the Council may charge me/us for all costs actually and reasonably incurred in processing this application. Subject to my/our rights under Sections 357B and 358 of the RMA, to object to any costs, I/we undertake to pay all and future processing costs incurred by the Council. Without limiting the Far North District Council's legal rights if any steps (including the use of debt collection agencies) are necessary to recover unpaid processing costs I/we agree to pay all costs of recovering those processing costs. If this application is made on behalf of a trust (private or family), a society (incorporated or unincorporated) or a company in signing this application I/we are binding the trust, society or company to pay all the above costs and guaranteeing to pay all the above costs in my/our personal capacity.

Name: Cary Gleeson (please print)

Signature:  (signature of bill payer – mandatory) Date: 5/8/2024

14. Important Information:

Note to applicant

You must include all information required by this form. The information must be specified in sufficient detail to satisfy the purpose for which it is required.

You may apply for 2 or more resource consents that are needed for the same activity on the same form.

You must pay the charge payable to the consent authority for the resource consent application under the Resource Management Act 1991.

Fast-track application

Under the fast-track resource consent process, notice of the decision must be given within 10 working days after the date the application was first lodged with the authority, unless the applicant opts out of that process at the time of lodgement. A fast-track application may cease to be a fast-track application under section 87AAC(2) of the RMA.

Privacy Information:

Once this application is lodged with the Council it becomes public information. Please advise Council if there is sensitive information in the proposal. The information you have provided on this form is required so that your application for consent pursuant to the Resource Management Act 1991 can be processed under that Act. The information will be stored on a public register and held by the Far North District Council. The details of your application may also be made available to the public on the Council's website, www.fndc.govt.nz. These details are collected to inform the general public and community groups about all consents which have been issued through the Far North District Council.

Declaration: The information I have supplied with this application is true and complete to the best of my knowledge.

Name: Cary Gleeson (please print)

Signature:  (signature)

Date: 05/08/2024

(A signature is not required if the application is made by electronic means)

Checklist (please tick if information is provided)

- Payment (cheques payable to Far North District Council)
- A current Certificate of Title (Search Copy not more than 6 months old)
- Copies of any listed encumbrances, easements and/or consent notices relevant to the application
- Applicant / Agent / Property Owner / Bill Payer details provided
- Location of property and description of proposal
- Assessment of Environmental Effects
- Written Approvals / correspondence from consulted parties
- Reports from technical experts (if required)
- Copies of other relevant consents associated with this application
- Location and Site plans (land use) AND/OR
- Location and Scheme Plan (subdivision)
- Elevations / Floor plans
- Topographical / contour plans

Please refer to Chapter 4 of the District Plan for details of the information that must be provided with an application. Please also refer to the RC Checklist available on the Council's website. This contains more helpful hints as to what information needs to be shown on plans.

Only one copy of an application is required, but please note for copying and scanning purposes, documentation should be:

UNBOUND

SINGLE SIDED

NO LARGER THAN A3 in SIZE

BAY OF ISLANDS PLANNING (2022) LIMITED

**Kerikeri House
Suite 3, 88 Kerikeri Road
Kerikeri**

office@bayplan.co.nz Website - www.bayplan.co.nz

19 August 2024

Far North District Council
John Butler Centre
Kerikeri

Re: Proposed Garages & Guest Room at 92 Magnolia Tree Way, Kerikeri

Our client Gleeson Builders & Associates Ltd [Client] seeks a land use consent to construct proposed garages and guest rooms at their property.

The application is a **Controlled** Activity under the Operative Far North District Plan [ODP].

There are no consents required under the Far North Proposed District Plan [PDP].

Overall, it is concluded that any potential adverse effects on the environment would be less than minor and that there are no adversely affected persons.

Please do not hesitate to contact me should you require any further information.

Yours sincerely,



Steven Sanson
Consultant Planner

1. APPLICANT & PROPERTY DETAILS

Applicant	Gleeson Builders & Associates Ltd
Address for Service	Bay of Islands Planning [2022] Limited PO Box 318 PAIHIA 0247 C/O - Steven Sanson steve@bayplan.co.nz 021-160-6035
Legal Description	Lot 8 DP 488662
Certificate Of Title	RoT: 701409
Physical Address	92 Magnolia Tree Way, Kerikeri
Site Area	3.7909ha
Owner of the Site	Cary Scott Gleeson, Joanna Louise Gleeson and Andrew John Koolen
District Plan Zone / Features	General Coastal [ODP] ; Rural Production [PDP]
Archaeology	Nil
NRC Overlays	Flooding, Known Wetland
Soils	4e7
Protected Natural Area	Nil
HAIL	Nil

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2. SUMMARY OF PROPOSAL

Proposal	The proposal is for 2 x garages, one including a guest room, on the site as depicted in the Figure below. The garage to the east has a floor area of 102.45m ² whilst the garage including the guest room to the west has a floor area of 142.02m ²
Reason for Application	<p>The proposal is considered to breach the following rules of the ODP:</p> <ul style="list-style-type: none"> • 10.6.5.1.1 Visual Amenity. <p>There are no consents required under the PDP.</p> <p>There are no regional council consents required.</p> <p>No consents are required under any NES.</p>
Appendices	<p><u>Appendix 1</u> – Record of Title & Instruments</p> <p><u>Appendix 2</u> – Architectural Plans</p> <p><u>Appendix 3</u> – Landscape Plan</p>
Consultation	N/A
Pre Application Consultation	N/A
Related Applications	EBC-2025-34/0

3. INTRODUCTION & PROPOSAL

3.1 Report Requirements

This report has been prepared for Gleeson Builders & Associates Ltd in support of a land use consent application at 92 Magnolia Tree Way, Kerikeri.

The application has been prepared in accordance with the provisions of Section 88 and the Fourth Schedule of the Resource Management Act 1991. This report serves as the Assessment of Environmental Effects required under both provisions.

The report also includes an analysis of the relevant provisions of the ODP, PDP, relevant Regional Planning documents, National Policy Statements and Environmental Standards, as well as Part 2 of the Resource Management Act 1991.

3.2 Proposal

The proposal is for 2 x garages, one of which includes a guest room, on the site as depicted in the Figure below. The garage to the east has a floor area of 102.45m² whilst the garage including the guest room to the west has a floor area of 142.02m². The arrangement for development is highlighted in Figure 1.

The proposal is located within the required building envelope in terms of setbacks and sunlight angles. The total building coverage on site following completion will be 453.88m² [1.2%].

The site enjoys an existing accessway which is ~700m² [200m x3.5m]. The proposal includes a concrete area of 305.27m².

All impervious surfaces on the site are therefore 1459.15m² [3.8%] in total.

Minor earthworks are proposed for the site being across and area of 895m². The total volume is 248m³. The highest cut is 1.4m in depth.

Although drawings show a larger dwelling. This is **not** proposed through this application.

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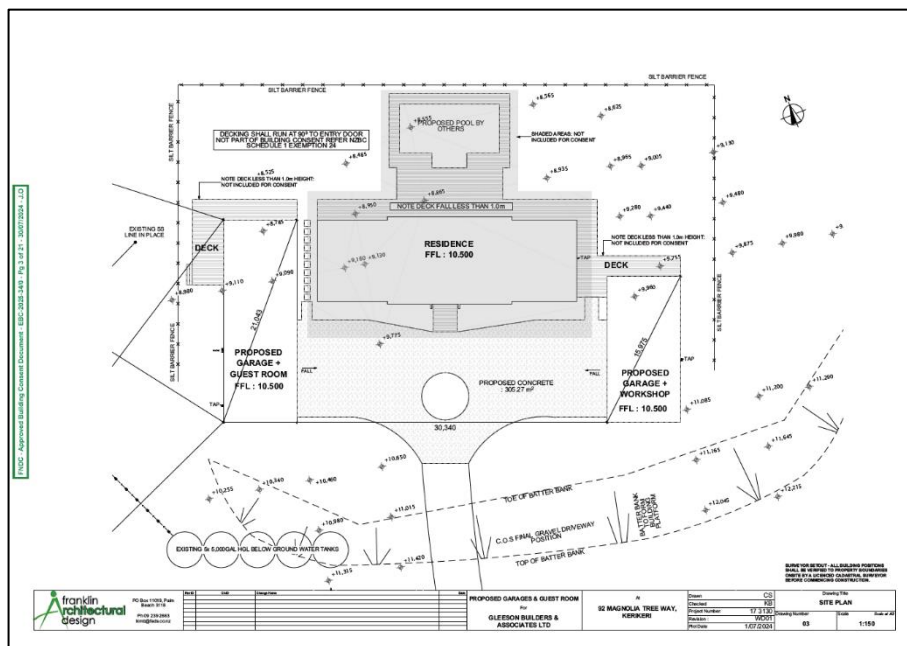


Figure 1 – Site Plan [Source: Franklin Architectural Design]

4. SITE & SURROUNDING ENVIRONMENT

4.1 Site Description, Zoning, Overlays, & Instruments

The site is an irregularly shaped, 3.7909ha site located to the east of the Kerikeri township and to the north west of Rangitane.

The site gains access from 92 Magnolia Tree Way which has direct access from Rangitane Road. The site contains part of an existing lake which is located on its north / north-eastern extent.

The site contains existing landscaping and development by way of internal access, existing infrastructure [wastewater and water], and an art studio.

The property is located entirely within the General Coastal Zone under the ODP. There are no resource features. Under the PDP, the site is zoned Rural Production with some slight flooding implications. It is no longer considered to be within the coastal environment.

The NRC map the site as having a known wetland. Soils are not versatile as they are outside the Class 1 – 3 requirement.



Figure 2 – Site [Source: Prover]

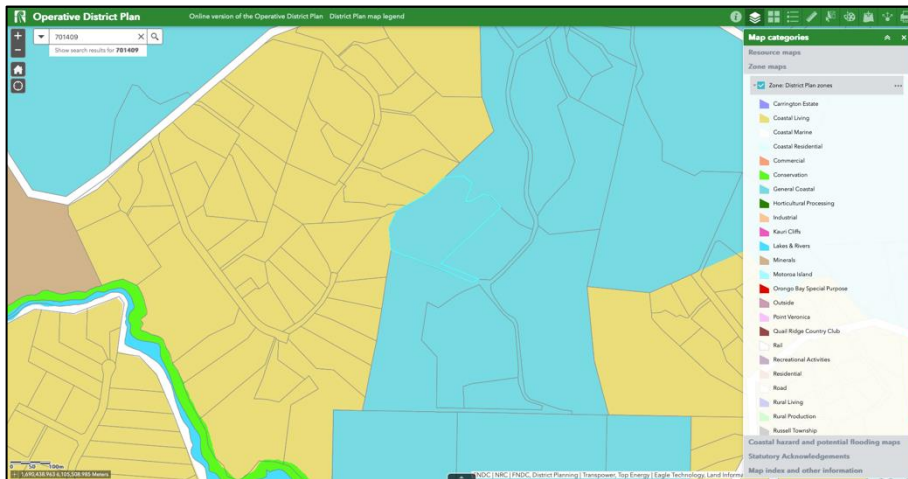


Figure 3 - ODP Zoning [Source: Far North Maps]

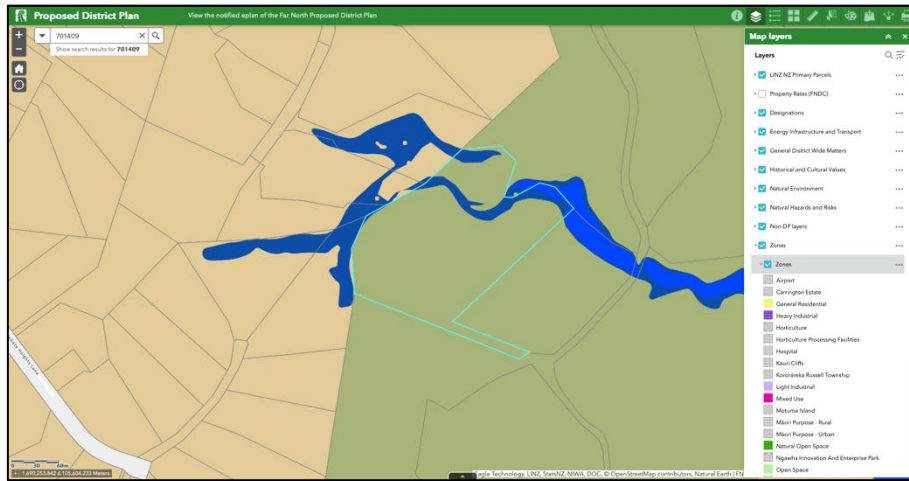


Figure 4 - PDP Zoning [Source: Far North Maps]

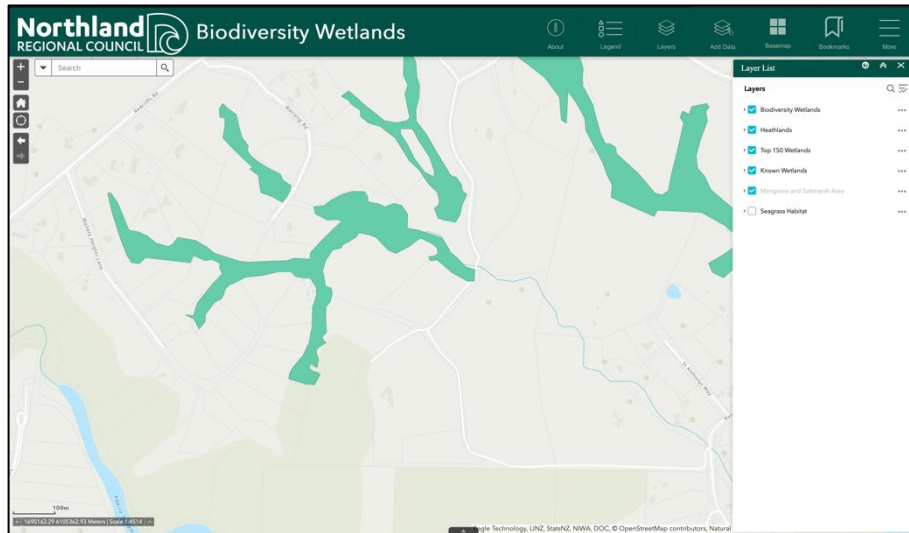


Figure 5 – Biodiversity Wetlands [Source: NRC Maps]

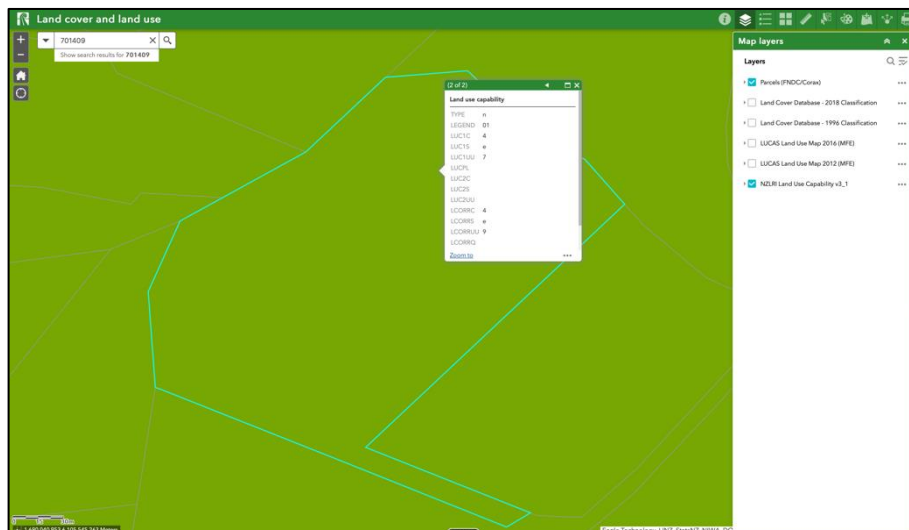


Figure 6 – Site Soil Classification [Source: Far North Maps]

The RoT found in [Appendix 1](#) outlines the relevant instruments. The relevant instruments are those consent notices which are also found appended to the RoT.

In summary, those consent notices require:

CONO 7457497.3 [2007]

- Under this notice the site was once considered as Lot 1. The conditions require:
 - No cats / dogs.
 - Maintenance of landscaping, fencing and planting in perpetuity.
 - Dwelling design in accordance with C Hawthorn Landscape Architect landscape enhancement plan.
 - Continued implementation of the kiwi predator control plan.
 - Development lower than the 86m contour line.

CONO 872970.2 [2010]

- Under this notice the site was once considered as Lot 10. The conditions require:
 - No cats / dogs.
 - Maintenance of landscaping, fencing and planting in perpetuity.
 - Dwelling design in accordance with C Hawthorn Landscape Architect landscape enhancement plan.
 - Continued implementation of the kiwi predator control plan.

CONO 10409522.4 [2016]

- Under this notice the site is considered as Lot 8. The conditions require:
 - No cats / dogs.
 - Maintenance of landscaping, fencing and planting in perpetuity.
 - Dwelling design in accordance with C Hawthorn Landscape Architect landscape enhancement plan.
 - Continued implementation of the kiwi predator control plan.

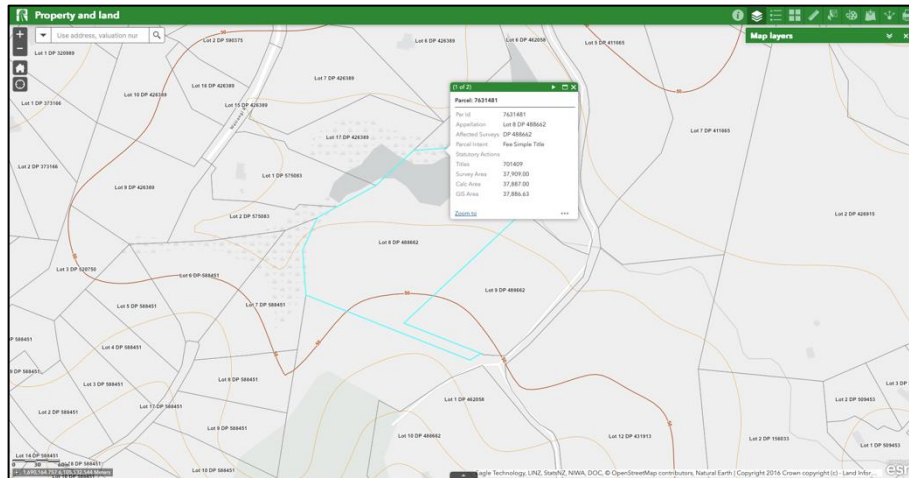


Figure 7 – Topography of Site [Source: Far North Maps]

It is considered that all aspects of the relevant consent notices can / are being adhered to. As is shown in [Figure 5](#), the site does not rise greater than the 86m contour line.

In terms of [Figure 2](#), area ‘WW’ can be seen and is shown. Area WW is a private land covenant which restricts building locations. The proposal is located within this building area.

5. REASONS FOR CONSENT

Under the ODP, the site is zoned ‘General Coastal’.

Under the PDP, the site is zoned Rural Production. The *Tables* below consider the application against the relevant rules and standards, given the environmental context of the site as outlined in the Figures above.

Table 1 – General Coastal Zone Assessment

Chapter 10 – Coastal Environment – General Coastal Zone	
Rule	Assessment
10.6.5.1.1 Visual Amenity	<p>The proposal is for buildings that are greater than 50m² / 25m².</p> <p>The buildings are located within the approved building envelope.</p> <p>Controlled Activity</p>

10.6.5.1.1 Residential Intensity	There is only 1 dwelling on the site proposed. Complies
10.6.5.1.3 Scale of Activities	Residential use expected. Complies
10.6.5.1.4 Building Height	All buildings are 4.14m in height. Complies
10.6.5.1.5 Sunlight	The site is situated well away from the site boundaries for this to be of concern. Complies
10.6.5.1.6 Stormwater Management	Total impervious surfaces are 3.8%. Complies
10.6.5.1.7 Setback from boundaries	The proposal is outside of the 10m yard setback requirement. Complies
10.6.5.1.8 Transportation	The proposal is for the first dwelling on the site which is exempt from traffic calculations. The site contains 2 x garages and ample space for parking. The site contains an access vehicle crossing and access from Magnolia Tree Way. Complies
10.6.5.1.9 Keeping of Animals	Not applicable / proposed. Complies
10.6.5.1.10 Noise	Residential noise is expected from the proposal. Complies

10.6.5.1.11 Helicopter Landing Area	Not applicable Complies
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Table 2 – District Wide Assessment

District Wide Assessment	
Rule	Assessment
12.1 Landscapes and Natural Features	Not applicable Complies
12.2 Indigenous Flora and Fauna	There is no vegetation clearance proposed. The consent conditions already restrict the allowance of cats / dogs. Complies
12.3 Soils and Minerals	The total volume is 248m ³ . The highest cut is 1.4m in depth. Complies
12.4 Natural Hazards	Buildings are proposed away from the noted flood hazards for the site. There is no natural vegetation on the site that would warrant the need for the proposal to be located 20m from it for fire risk purposes. Complies
12.5 Heritage	There are no known concerns in this regard. Accidental discovery protocol will be adhered to. Complies
12.6 Air	Not applicable Complies
12.7 Lakes, Rivers, Wetlands and the Coastline	The proposal is more than 30m away from the wetland feature on the site.

	Complies
12.8 Hazardous Substances	Not applicable Complies
12.9 Renewable Energy and Energy Efficiency	Not applicable Complies
13 Subdivision	Not proposed Complies
14 Financial Contributions	Not relevant Complies
15 Transportation	Assessed in Table 1. Complies
16 Signs and Lighting	Not relevant Complies
17 Designations & Utility Services	Not relevant Complies
18 Special Areas	Not relevant Complies
19 GMOs	Not relevant Complies

Table 3 – PDP Assessment

Matter	Rule/Std Ref	Assessment
Hazardous Substances Majority of rules relates to development within a site that has heritage or cultural items scheduled and mapped however Rule HS-R6 applies to any	Rule HS-R2 has immediate legal effect but only for a new significant hazardous facility located within a scheduled site and area of significance to Māori, significant natural area	Not relevant as no such substances proposed. Complies

development within an SNA – which is not mapped	or a scheduled heritage resource HS-R5, HS-R6, HS-R9	
Heritage Area Overlays (Property specific) This chapter applies only to properties within identified heritage area overlays (e.g. in the operative plan they are called precincts for example)	All rules have immediate legal effect (HA-R1 to HA-R14) All standards have immediate legal effect (HA-S1 to HA-S3)	Not indicated on Far North Proposed District Plan Complies
Historic Heritage (Property specific and applies to adjoining sites (if the boundary is within 20m of an identified heritage item)). Rule HH-R5 Earthworks within 20m of a scheduled heritage resource. Heritage resources are shown as a historic item on the maps) This chapter applies to scheduled heritage resources – which are called heritage items in the map legend	All rules have immediate legal effect (HH-R1 to HH-R10) Schedule 2 has immediate legal effect	Not indicated on Far North Proposed District Plan Complies
Notable Trees (Property specific) Applied when a property is showing a scheduled notable tree in the map	All rules have immediate legal effect (NT-R1 to NT-R9) All standards have legal effect (NT-S1 to NT-S2) Schedule 1 has immediate legal effect	Not indicated on Far North Proposed District Plan Complies
Sites and Areas of Significance to Māori (Property specific) Applied when a property is showing a site / area of significance to Maori in the map or within the Te Oneroa-a Tohe Beach Management Area (in the operative plan they are called site of cultural significance to Maori)	All rules have immediate legal effect (SASM-R1 to SASM-R7) Schedule 3 has immediate legal effect	Not indicated on Far North Proposed District Plan Complies
Ecosystems and Indigenous Biodiversity SNA are not mapped – will need to determine if indigenous vegetation on the site for example	All rules have immediate legal effect (IB-R1 to IB-R5)	Not indicated on Far North Proposed District Plan. No vegetation clearance proposed. Complies
Activities on the Surface of Water	All rules have immediate legal effect (ASW-R1 to ASW-R4)	Not indicated on Far North Proposed District Plan Complies
Earthworks all earthworks (refer to new definition) need to comply with this	The following rules have immediate legal effect: EW-R12, EW-R13	Proposed earthworks will be in accordance with the relevant standards including

	The following standards have immediate legal effect: EW-S3, EW-S5	GD-05 and will have an ADP applied. Complies
Signs (Property specific) as rules only relate to situations where a sign is on a scheduled heritage resource (heritage item), or within the Kororareka Russell or Kerikeri Heritage Areas	The following rules have immediate legal effect: SIGN-R9, SIGN-R10 All standards have immediate legal effect but only for signs on or attached to a scheduled heritage resource or heritage area	Not indicated on Far North Proposed District Plan Complies
Orongo Bay Zone (Property specific as rule relates to a zone only)	Rule OBZ-R14 has partial immediate legal effect because RD-1(5) relates to water	Not indicated on Far North Proposed District Plan Complies

Table 3 – Assessment of NES-Freshwater

NES Freshwater	
Rule	Assessment
Part 2 Standards for Farming Activities	Not applicable Complies
Part 3 Scientific Research	Not applicable Complies
Part 3 Construction of Wetland Utility Structures	Not applicable Complies
Part 3 Maintenance of Wetland Utility Structure	Not applicable Complies
Part 3 Construction of Specified Infrastructure	Not applicable Complies
Part 3 Quarrying Activities	Not applicable Complies
Part 3 Landfills and Cleanfill Areas	Not applicable

	Complies
Part 3 Urban Development	Not applicable Complies
Part 3 Extraction of Minerals and Ancillary Activities	Not applicable Complies
Part 3 Maintenance and Operation of Specified Infrastructure & Other Infrastructure	Not applicable Complies
Part 3 Sphagnum Moss Harvesting	Not applicable Complies
Part 3 Natural Hazard Works	Not applicable Complies
Part 3 Drainage of Natural Wetlands	Not applicable Complies
Part 3 Other Activities	<p>There is no vegetation clearance proposed within 10m of the wetland.</p> <p>There are no earthworks proposed within 10m of the wetland.</p> <p>There is no taking, damming or diversion of water within 100m of the wetland.</p> <p>There is no discharge proposed to water. Discharge is proposed to land.</p> <p>Complies</p>

Overall, the activity is a **Controlled Activity**.

5.1 SECTION 104 ASSESSMENT

Section 104B governs the determination of applications for controlled activities as follows:

104A Determination of applications for controlled activities

After considering an application for a resource consent for a controlled activity, a consent authority—

- (a) must grant the resource consent, unless it has insufficient information to determine whether or not the activity is a controlled activity; and
- (b) may impose conditions on the consent under [section 108](#) only for those matters—
 - (i) over which control is reserved in national environmental standards or other regulations; or
 - (ii) over which it has reserved its control in its plan or proposed plan.

Section 104A: inserted, on 1 August 2003, by [section 44](#) of the Resource Management Amendment Act 2003 (2003 No 23).

Section 104A(a): replaced, on 10 August 2005, by [section 60](#) of the Resource Management Amendment Act 2005 (2005 No 87).

Section 104A(b): replaced, on 1 October 2009, by [section 84](#) of the Resource Management (Simplifying and Streamlining) Amendment Act 2009 (2009 No 31).

Applications for controlled activities must be granted subject to conditions under s108.

When considering an application for resource consent, a consent authority must have regard to the matters under section 104 of the Resource Management Act 1991, including any matters relating to Part 2. References to Part 2 in applications are only required where Plans may be deficient in terms of giving effect to the purpose and principles of the Act.

Section 104 specifies that consent authorities have regard to the following matters when considering whether to grant or refuse an application for resource consent.

- (a) *any actual and potential effects on the environment of allowing the activity; and*
- (ab) *any measure proposed or agreed to by the applicant for the purpose of ensuring positive effects on the environment that will or may result from allowing the activity; and;*
- (c) *any relevant provisions of –*
 - i. *a national environmental standard;*
 - ii. *other regulations;*
 - iii. *a national policy statement;*
 - iv. *a New Zealand Coastal Policy Statement;*

- v. a regional policy statement or proposed regional policy statement;
 - vi. a plan or proposed plan; and
- (d) any other matter the consent authority considers relevant and reasonably necessary to determine the application.”

In the case of the subject application those considerations include the actual and potential effects of an activity on the environment, the relevant provisions of the regional policy statement or other relevant statutory document, a district plan and any other matter the consent authority considers relevant and reasonably necessary to determine the application.

The following assessment addresses all relevant considerations under s104 of the RMA.

5.2 Section 104 (1)(a) Assessment of Effects on the Environment

Section 104(1)(a) requires that consent authorities have regard to any actual or potential effects on the environment of allowing the activity. Section 2 of the RMA defines ‘Environment’ as follows:

environment includes—

- (a) ecosystems and their constituent parts, including people and communities; and
- (b) all natural and physical resources; and
- (c) amenity values; and
- (d) the social, economic, aesthetic, and cultural conditions which affect the matters stated in paragraphs (a) to (c) or which are affected by those matters

Section 3 defines the meaning of ‘effect’ to include:

3 Meaning of effect

In this Act, unless the context otherwise requires, the term **effect** includes—

- (a) any positive or adverse effect; and
- (b) any temporary or permanent effect; and
- (c) any past, present, or future effect; and
- (d) any cumulative effect which arises over time or in combination with other effects— regardless of the scale, intensity, duration, or frequency of the effect, and also includes—
- (e) any potential effect of high probability; and
- (f) any potential effect of low probability which has a high potential impact.

Section 3: amended, on 7 July 1993, by section 3 of the Resource Management Amendment Act 1993 (1993 No 65).

Positive effects associated with this activity are associated with economic growth and

employment resulting from the proposal. It also allows the applicants to reside on site whilst building up resources to complete the larger dwelling.

The NZCPS is not relevant as the site is outside of the Coastal Environment.

The NES-CS (National Environmental Standard for Assessing and Managing Contaminants in Soil to Protect Human Health) is not applicable as the site has not been used for such purposes.

The NES-FW (National Environmental Standard for Freshwater) is applicable. However, there will be no discharges or earthworks within relevant setbacks. Therefore, no consent is required from the Northland Regional Council for this matter.

There are no other applicable NES / NPS matters of concern.

There is no need for a consent from the Northland Regional Council as there are no discharges or wastewater breaches to give effect to the proposal.

5.3 Section 104 (1)(a) Assessment of Effects on the Environment

The tables above limit the assessment of Council to a Controlled Activity. The relevant assessment criteria are found in Rule 10.6.5.2.2 Visual Amenity.

The consideration of the assessment criteria should also be contextualised by the fact that the site is not within the Coastal Environment and is proposed to be Rural Production. Therefore, it is accepted that the site is not coastal, rather rural in nature.

Considering the assessment criteria below, the proposal is considered to result in less than minor effect to the environment. There are considered to be no adversely affected persons.

These are assessed as follows:

(i) the size, bulk, and height of the building in relation to ridgelines and natural features;

These are shown on the plans in [Appendix 2](#). The sizes are outlined above in this report. The relationship with ridgelines and natural features is minimal.

(ii) the colour and reflectivity of the building;

Colours and reflectivity are not yet determined by the applicant but as the site has no relationship to the coastal environment there should be no imposition of this factor.

(iii) the extent to which planting can mitigate visual effects;

Refer to the landscape plan in [Appendix 3](#).

(iv) any earthworks and/or vegetation clearance associated with the building;

This is provided within this report.

(v) the location and design of associated vehicle access, manoeuvring and parking areas;

These are shown in [Appendix 2](#).

(vi) the extent to which the building and any associated overhead utility lines will be visually obtrusive;

There is no overhead utility lines proposed and the site is already serviced.

(vii) the cumulative visual effects of all the buildings on the site;

The site is well within the building coverage and impervious surface permitted baseline.

(viii) the degree to which the landscape will retain the qualities that give it its naturalness, visual and amenity values;

The proposal is built and located within the approved building envelope, safeguarding the remainder of the site for its characteristics and qualities.

(ix) the extent to which private open space can be provided for future uses;

Refer viii above.

(x) the extent to which the siting, setback and design of building(s) avoid visual dominance on landscapes, adjacent sites and the surrounding environment;

Refer viii above.

(xi) the extent to which non-compliance affects the privacy, outlook and enjoyment of private open spaces on adjacent sites.

The proposal elements are sufficiently separated from neighbours. There is an expectation that the site will be used for rural residential purposes.

6. STATUTORY CONSIDERATIONS

6.1 Section 104 (b)(i) and (ii) National Environmental Standards & Other Regulations

Not relevant as outlined above.

6.2 Section 104 (b)(iii) National Policy Statement(s)

Not relevant as outlined above.

6.3 Section 104 (b)(iv) New Zealand Coastal Policy Statement

Not relevant as outlined above.

6.4 Section 104 (b)(v) Regional Policy Statement or Proposed Regional Policy Statement

The subject site is within the Northland region and is subject to the governing objectives and policies of the operative Northland Regional Policy Statement (operative May 2016). Although the jurisdiction for land use and subdivision activities is governed by the Far North District Council and the policy framework for subdivision activities and the management of potential adverse effects is set out in the Far North District Plan.

With respect to any identified features, the site is not within any area of 'High' or 'Outstanding' Natural Area and it is not within the Coastal Environment. The site does not contain versatile or productive soils. The site does not contain an SNA.

Of statutory relevance to this proposal are regional objectives and policies relating to sustainable management, enabling economic wellbeing and planned/coordinated development. The proposed development is considered to promote sustainable management by virtue of it being designed as a controlled activity.

The wetland resource on the site is not being affected by the proposal.

Overall, it is considered that the proposal would not be inconsistent with the Northland Regional Policy Statement objectives and policies.

6.5 Section 104 (b)(vi) Plans or Proposed Plans

As a Controlled Activity, the proposal is considered to meet the intent of the ODP and PDP.

6.6 Assessment of Objectives and Policies Conclusion

The proposal is not considered to be contrary to the relevant objectives and policies considered above.

7. PART II – RESOURCE MANAGEMENT ACT 1991

7.1 Purpose of the RMA

The proposal can promote the sustainable management of natural and physical resources on site, as current and future owners and users of the land are able to provide for their social, cultural and economic wellbeing and their health and safety.

7.2 Matters of National Importance

The site is already protecting fauna by way of consent notices. Māori are not considered to be adversely affected by this proposal, nor is any historic heritage likely to be impacted, however in the event anything is discovered the accidental discovery protocol will be adhered to.

7.3 Other Matters

No other matters are considered relevant.

7.4 Conclusion

This application seeks a Controlled Activity resource consent to undertake a land use development within the General Coastal Zone.

The assessment of effects on the environment concludes that for the reasons outlined in the application, the effects of undertaking this proposal will be less than minor on the surrounding environment. There are no adversely affected persons.

The proposal is consistent with relevant NES / NPS and the regional council policy statements and plans.

An assessment of Part II of the Act has also been completed with the proposal generally able to satisfy this higher order document also.

We look forward to receiving acknowledgment of the application and please advise if any additional information is required.

Yours sincerely,



Steven Sanson

Consultant Planner



**RECORD OF TITLE
UNDER LAND TRANSFER ACT 2017
FREEHOLD
Search Copy**



R.W. Muir
Registrar-General
of Land

FNDC - Approved Building Consent Document - EBC-2025-34/0 - Pg 28 of 58 - 30/07/2024 - J.O

Identifier **701409**
Land Registration District **North Auckland**
Date Issued 08 September 2016

Prior References
700885 700886

Estate Fee Simple
Area 3.7909 hectares more or less
Legal Description Lot 8 Deposited Plan 488662

Registered Owners
Cary Scott Gleeson, Joanna Louise Gleeson and Andrew John Koolen

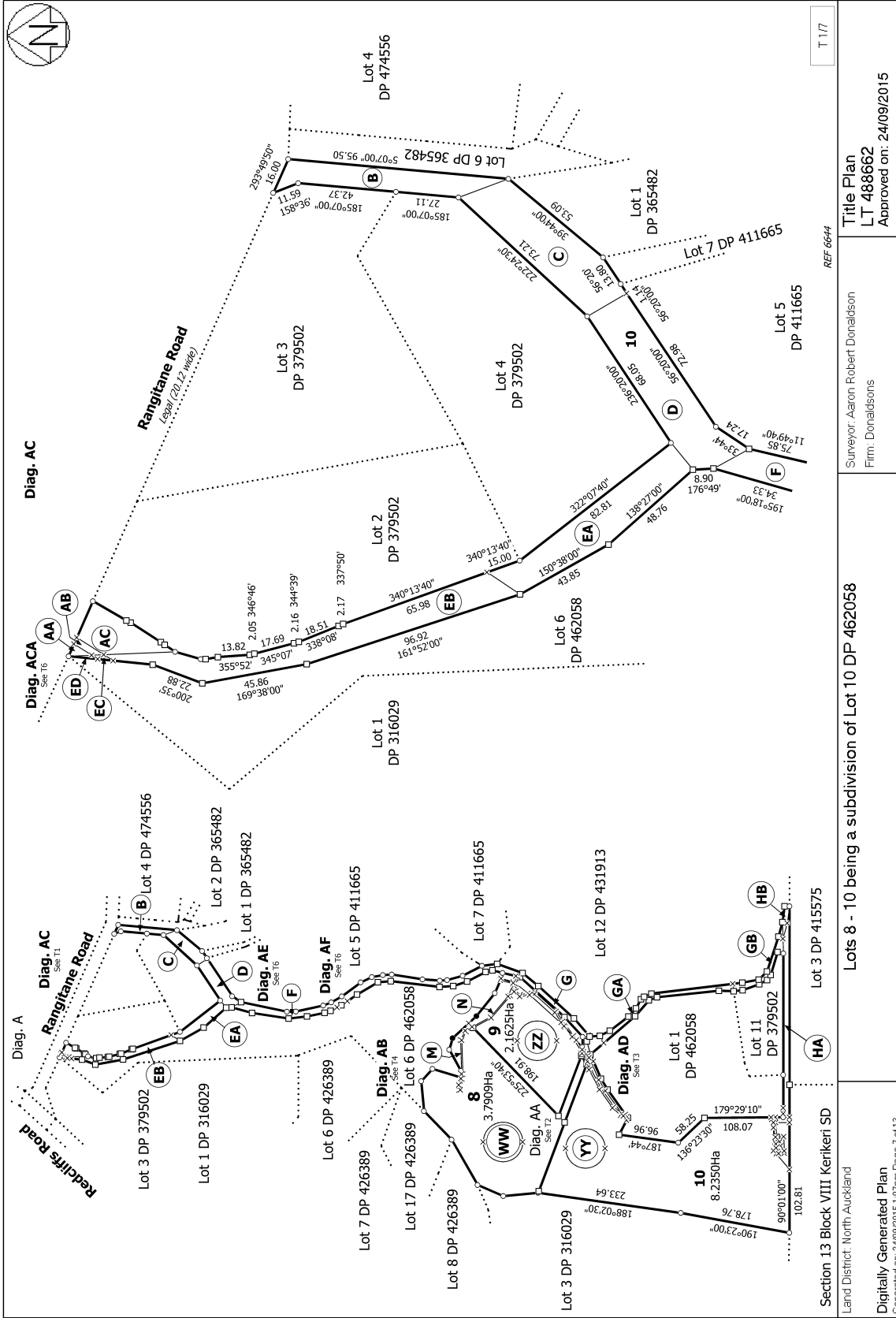
Interests

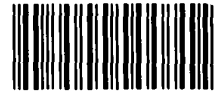
Subject to Section 168A Coal Mines Act 1925
Subject to Section 8 Mining Act 1971
Appurtenant hereto is a right of way, electricity and telephone easement specified in Easement Certificate C131692.3 - 27.4.1990 at 12:11 pm
7457497.3 Consent Notice pursuant to Section 221 Resource Management Act 1991 - 11.7.2007 at 9:00 am
Land Covenant in Easement Instrument 7516433.6 - 24.8.2007 at 9:00 am
Land Covenant in Transfer 7519798.1 - 28.8.2007 at 9:00 am
Land Covenant in Easement Instrument 7763495.1 - 28.3.2008 at 9:00 am
7763495.2 Variation of Land Covenant 7519798.1 - 28.3.2008 at 9:00 am
Appurtenant hereto is a right of way created by Easement Instrument 7773227.2 - 4.4.2008 at 9:00 am
Land Covenant in Easement Instrument 7773227.2 - 4.4.2008 at 9:00 am
Land Covenant in Easement Instrument 7953693.4 - 1.10.2008 at 9:00 am
8572970.2 Consent Notice pursuant to Section 221 Resource Management Act 1991 - 20.8.2010 at 10:14 am
Land Covenant in Easement Instrument 10010153.8 - 21.4.2015 at 10:53 am
10409522.4 Consent Notice pursuant to Section 221 Resource Management Act 1991 - 8.9.2016 at 12:09 pm
Subject to a right to convey water over part marked M on DP 488662 created by Easement Instrument 10409522.8 - 8.9.2016 at 12:09 pm
Appurtenant hereto is a right of way, right to convey electricity, telecommunications and a water supply easement created by Easement Instrument 10409522.8 - 8.9.2016 at 12:09 pm
The easements created by Easement Instrument 10409522.8 are subject to Section 243 (a) Resource Management Act 1991
Subject to a right to convey water over part marked M on DP 488662 created by Easement Instrument 10409522.9 - 8.9.2016 at 12:09 pm
The easements created by Easement Instrument 10409522.9 are subject to Section 243 (a) Resource Management Act 1991
Land Covenant in Easement Instrument 10409522.10 - 8.9.2016 at 12:09 pm

Fencing Covenant in Transfer 10585977.1 - 12.10.2016 at 3:11 pm

10585977.2 Mortgage to ANZ Bank New Zealand Limited - 12.10.2016 at 3:11 pm

FNDC - Approved Building Consent Document - EBC-2025-34/0 - Pg 29 of 58 - 30/07/2024 - J.O





THE RESOURCE MANAGEMENT ACT 1991

SECTION 221 : CONSENT NOTICE

REGARDING RC 2050295
 the Subdivision of Lots 1 & 2 DP 184162
 North Auckland Registry

PURSUANT to Section 221 and for the purpose of Section 224 (c)(ii) of the Resource Management Act 1991, this Consent Notice is issued by the **FAR NORTH DISTRICT COUNCIL** to the effect that conditions described in the schedule below are to be complied with on a continuing basis by the subdividing owner and the subsequent owners after the deposit of the survey plan, and these are to be registered on the Lots 1 & 2 DP 184162.

SCHEDULE

LOTS 1,2, 3, 4, 5, 11 & 12

- The landowners/occupiers shall not keep or allow the introduction onto the site of carnivorous or omnivorous animals (such as cats, dogs or ferrets) which have the potential to be kiwi predators. This prohibition includes the bringing of any such animals onto the site by visitors.
- The landowners/occupiers shall maintain in perpetuity all landscaping, fencing and planting required to satisfy conditions of this approval as they relate to their site.
- Any dwelling shall be located and be designed in accordance with the mitigation measures as outlined on the landscape enhancement plan and notes as prepared by Christine Hawthorn landscape architect. Any building consent application shall be accompanied by a report from a suitably qualified and experienced landscape architect demonstrating compliance with the mitigation measures. The plan shall be submitted in conjunction with any building consent application and such plantings shall be completed within the first planting season following completion of the exterior of the dwelling. Such plantings shall be maintained for the duration of the consent.
- The landowners shall implement (on a continuing basis) the required kiwi predator control plan as required as part of this consent.

LOTS 1, 11 & 12

- Any building or structure (except those already authorised by way of resource consent) shall be located below the 86 metre contour line as shown on the approved plan of subdivision.

SIGNED:


 _____ Mr Pat Killalea
 By the FAR NORTH DISTRICT COUNCIL
 Under delegated authority:
 RESOURCE CONSENTS MANAGER

DATED at **KAIKOHE** this 4th day of July 2007

View Instrument Details



Instrument No 8572970.2
Status Registered
Date & Time Lodged 20 August 2010 10:14
Lodged By Ticehurst, Anne Louise
Instrument Type Consent Notice under s221(4)(a) Resource Management Act 1991



Affected Computer Registers	Land District
398482	North Auckland
523156	North Auckland
523157	North Auckland

Annexure Schedule: Contains 1 Page.

Signature

Signed by Richard George Ashwell Palmer as Territorial Authority Representative on 19/08/2010 04:06 PM

*** End of Report ***



Private Bag 752, Memorial Ave
Kaikōhe 0400, New Zealand
Freephone: 0800 920 029
Phone: (09) 405 2750
Fax: (09) 401 2137
Email: ask.us@fnrc.govt.nz
Website: www.fnrc.govt.nz

THE RESOURCE MANAGEMENT ACT 1991

SECTION 221: CONSENT NOTICE

REGARDING RC 2050295
the Subdivision_Lots 1 & 2 DP 184162
North Auckland Registry

PURSUANT to Section 221 and for the purpose of Section 224 (c) (ii) of the Resource Management Act 1991, this Consent Notice is issued by the **FAR NORTH DISTRICT COUNCIL** to the effect that conditions described in the schedule below are to be complied with on a continuing basis by the subdividing owner and the subsequent owners after the deposit of the survey plan, and these are to be registered on the titles of the allotments specified under each condition below.

SCHEDULE

Lots 10 & 12 DP 431913

- i) The landowners/occupiers of the Lot shall not keep or allow the introduction onto the site of carnivorous or omnivorous animals (such as cats, dogs or ferrets) which have the potential to be kiwi predators. This prohibition includes the bringing of any such animal onto the site by visitors.
- ii) The landowners/occupiers of the Lot shall maintain in perpetuity all landscaping, fencing and planting required to satisfy conditions of this approval as they relate to their site.
- iii) Any dwelling on the Lot shall be located and be designed in accordance with the mitigation measures as outlined on the landscape enhancement plan and notes as prepared by Christine Hawthorn Landscape Architect. Any Building Consent application shall be accompanied by a report from a suitably qualified and experienced landscape architect demonstrating compliance with the mitigation measures. The plan shall be submitted in conjunction with any Building Consent application and such plantings shall be completed within the first planting season following completion of the exterior of the dwellings such plantings shall be maintained for the duration of the consent.
- iv) The landowners shall implement (on a continuing basis) the required kiwi predator control plan as required as part of this consent.

SIGNED:


By the FAR NORTH DISTRICT COUNCIL
Under delegated authority:
PRINCIPAL PLANNER – RESOURCE MANAGEMENT

DATED at KERIKERI this 13th day of August 2010

View Instrument Details



Instrument No 10409522.4
Status Registered
Date & Time Lodged 08 September 2016 12:09
Lodged By Aprea, Lucia Lisa
Instrument Type Consent Notice under s221(4)(a) Resource Management Act 1991



Affected Computer Registers	Land District
701409	North Auckland
701410	North Auckland
751864	North Auckland
751865	North Auckland

Annexure Schedule: Contains 2 Pages.

Signature

Signed by Lucia Lisa Aprea as Territorial Authority Representative on 08/09/2016 12:01 PM

*** End of Report ***



Phone: 09 438 8200
Fax: 09 438 8201
Email: info@fn.govt.nz
www.fn.govt.nz
Te Kaitiaki Take Kōwhiri
Te Kaitiaki Take Kōwhiri

FNDC - Approved Building Consent Document - EBC-2025-34/0 - Pg 35 of 58 - 30/07/2024 - J.O

THE RESOURCE MANAGEMENT ACT 1991

SECTION 221: CONSENT NOTICE

REGARDING 2050295

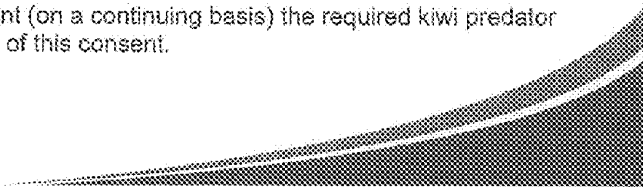
the Subdivision of
North Auckland Registry

PURSUANT to Section 221 and for the purpose of Section 224 (c) (ii) of the Resource Management Act 1991, this Consent Notice is issued by the FAR NORTH DISTRICT COUNCIL to the effect that conditions described in the schedule below are to be complied with on a continuing basis by the subdividing owner and the subsequent owners after the deposit of the survey plan, and these are to be registered on the titles of the allotments specified below.

SCHEDULE

Lots 8-10 DP 488662

1. The Landowners/Occupiers of Lots 8-10 shall not keep or allow the introduction onto the site of carnivorous or omnivorous animals (such as cats, dogs or ferrets) which have the potential to be Kiwi predators. This prohibition includes the bringing of any such animals onto the site by visitors.
2. The Landowners/Occupiers of Lots 8-10 shall maintain in perpetuity all landscaping, fencing and planting required satisfy conditions of this approval as they relate to their site.
3. Any dwelling on Lots 8-10 shall be located and be designed in accordance with the mitigation measures as outlined on the landscape enhancement plan and notes as prepared by Christine Hawthorn Landscape Architect. Any building consent application shall be accompanied by a report from a suitably qualified and experienced landscape architect demonstrating compliance with the mitigation measures. The plan shall be submitted in conjunction with any building consent application and such plantings shall be completed within the first planting season following completion of the exterior of the dwelling. Such plantings shall be maintained for the duration of the consent.
4. The Landowners shall implement (on a continuing basis) the required kiwi predator control plan as required as part of this consent.





Far North
District Council

Phone 09 438 8000

Fax 09 438 8001

Region 0800 530 029

Mobile 09 438 8000

Toll 0800 438 8000

Email info@fn.govt.nz

Website www.fn.govt.nz

To Kōwhiri a tei ikekeke ki te Kaiti

*Te kōwhiri ake tei ikekeke
ka tei ikekeke ki te Kaiti*

SIGNED:

Mr Patrick John Killalea

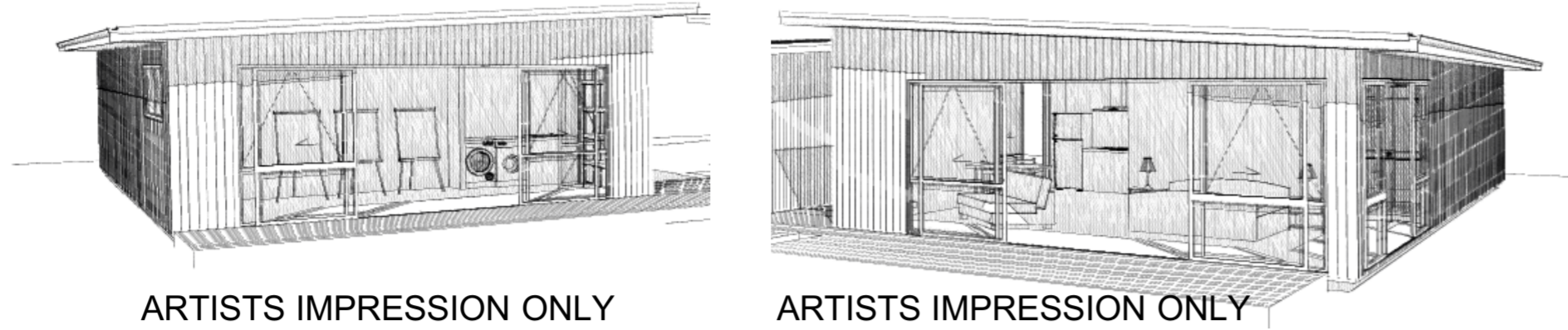
By the FAR NORTH DISTRICT COUNCIL

Under delegated authority:

PRINCIPAL PLANNER – RESOURCE MANAGEMENT

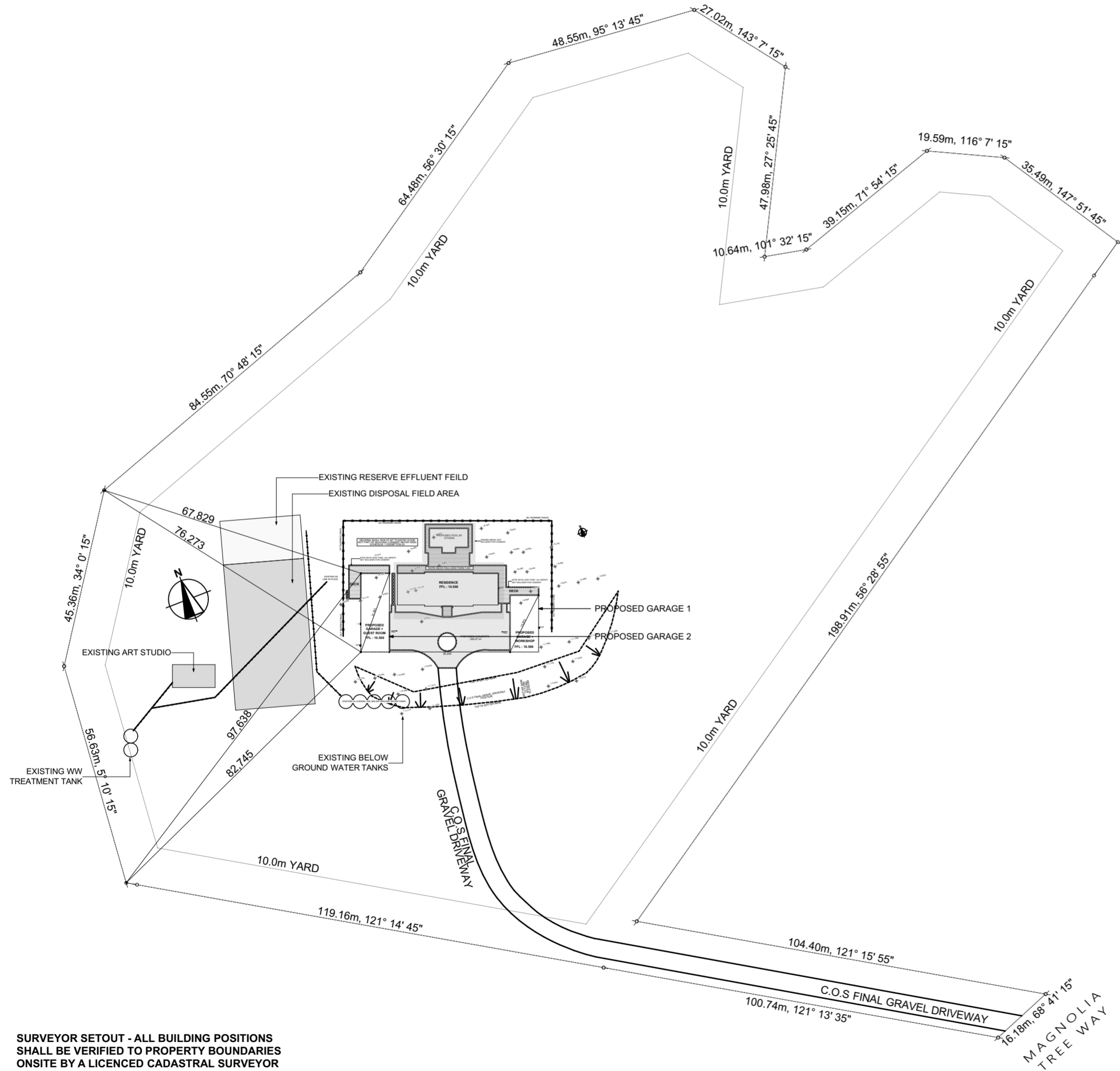
DATED at KERIKERI this 2nd day of September 2016





ARTISTS IMPRESSION ONLY

ARTISTS IMPRESSION ONLY



SURVEYOR SETOUT - ALL BUILDING POSITIONS SHALL BE VERIFIED TO PROPERTY BOUNDARIES ONSITE BY A LICENCED CADASTRAL SURVEYOR BEFORE COMMENCING CONSTRUCTION.

CONSULTANT SCHEDULE COMPLIANCE
 ALL ARCHITECTURAL DRAWINGS SHALL BE READ IN CONJUNCTION WITH ENGINEERING DRAWINGS & CALCULATIONS.
 READ REPORTS BEFORE COMMENCING CONSTRUCTION.
 ENSURE REQUIREMENTS ARE COMPLIED WITH DURING CONSTRUCTION.
 ANY VARIATIONS FROM THESE DRAWINGS & DOCUMENTS SHALL BE DISCUSSED WITH ZB HOMES & FRANKLIN ARCHITECTURAL DESIGN PRIOR TO ANY CHANGES ON SITE.

DIMENSIONS SHALL BE VERIFIED ON SITE BEFORE COMMENCING CONSTRUCTION.

GEOTECHNICAL REPORT
 HAIGH WORKMAN LTD
 PHONE: 09 407 8327
 EMAIL: info@haighworkman.co.nz

STRUCTURAL ENGINEERS REPORT
 HAIGH WORKMAN LTD
 PHONE: 09 407 8327
 EMAIL: info@haighworkman.co.nz

TRUSS DESIGN
 CERTIFIED FRAME AND TRUSS LTD
 PHONE: 09 836 4649

DRAWING SCHEDULE	
Layout ID	Layout Name
01	INDEX/SITE LOCALITY
02	PROJECT NOTES
03	SITE PLAN
04	PLUMBING PLAN
05	FLOOR PLAN
06	DIMENSIONED FLOOR PLAN
07	ELEVATIONS
08	SECTIONS
09	FOUNDATION PLAN
10	ROOF LAYOUT PLAN
11	ROOF FRAMING PLAN & ROOF DETAILS
12	LINTEL, STUDS & FIXINGS PLAN
13	BUILDABLE TRUSS LAYOUT
14	WALL BRACING PLAN
15	WALL BRACING CALCULATIONS
16	WALL BRACING CALCULATIONS
17	JOINERY SCHEDULES
18	CLADDING DETAILS - SLIMCLAD
19	WET AREA DETAILS
20	SITE AND SERVICES DETAILS
21	H1 PLAN AND INFORMATION

LEGAL DESCRIPTION & SITE DETAILS

LOT 8 DP 488662
 SITE AREA: 3.8HA
ADDRESS:
 DISTRICT : KERIKERI
 COUNCIL : FAR NORTH DISTRICT COUNCIL

PLANNING ZONE - RURAL
YARDS - 10.0m

MAX BUILDING HEIGHT : 12.0m

HEIGHT/BOUNDARY-
 NORTH 2.0m - 45 DEGREES
 SOUTH 2.0m - 45 DEGREES
 EAST 2.0m - 45 DEGREES
 WEST 2.0m - 45 DEGREES

FULL SITE AREA =3.8HA

SITE CONTOURS/LEVELS SOURCE:
 SITE LEVELS SUPPLIED BY CARY GLEESON. (OWNER)

MAX ALLOWABLE BUILDING COVERAGE = 12.5%
BUILDING SITE COVERAGE = 453.88m² (1.2%)

MAX ALLOWABLE EARTHWORKS VOLUME = 5000m² PER TWELVE MONTH PERIOD
NOTE: CONFIRM ALL CALCULATIONS ON SITE
SITE CUT = 895.05m²



01 SITE LOCALITY

RevID	ChID	Change Name	Date



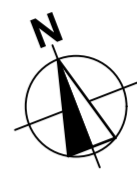
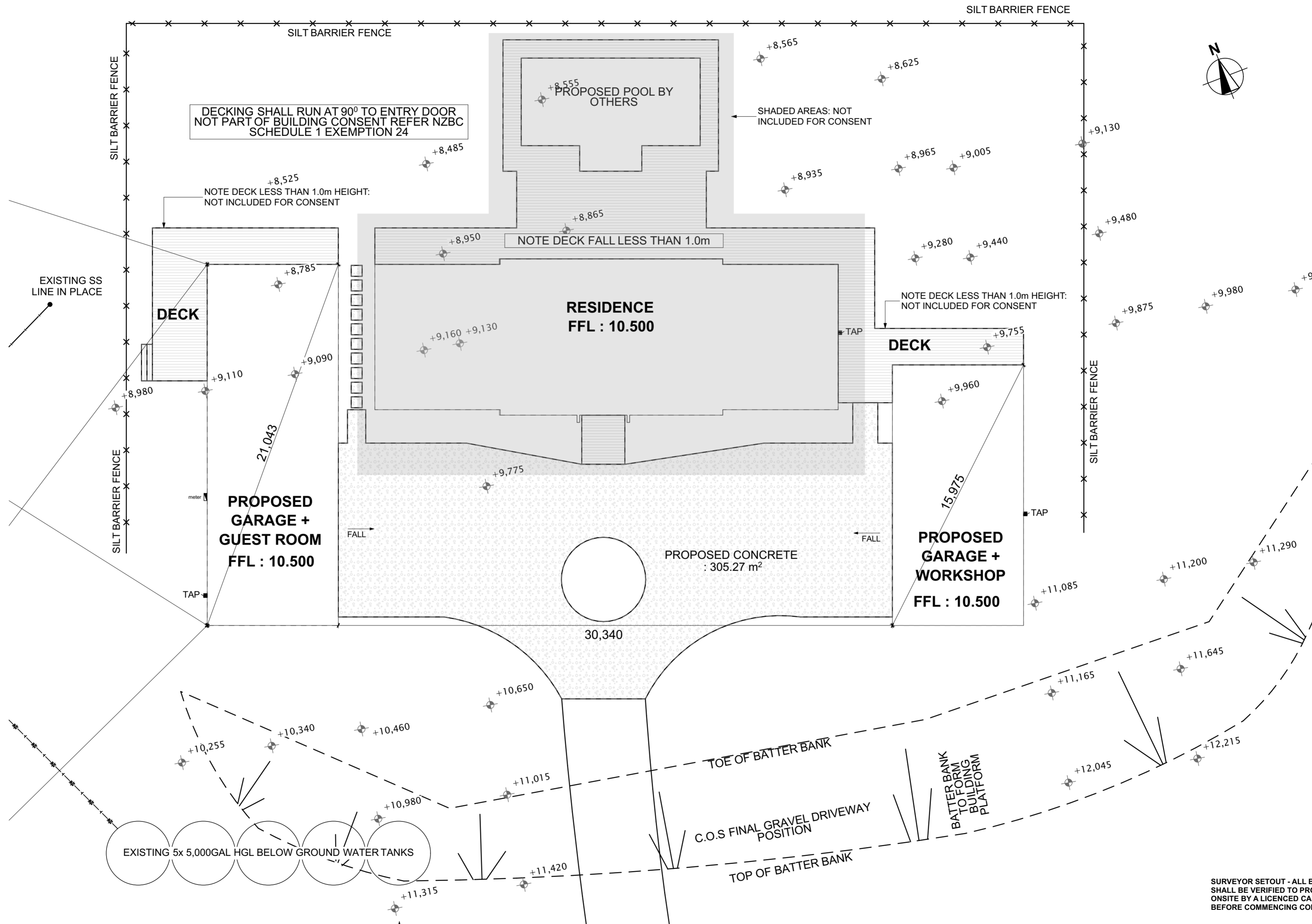
PO Box 11019, Palm Beach 3118
 Ph 09 239 2663
 kimb@fads.co.nz

PROPOSED GARAGES & GUEST ROOM
 For
GLEESON BUILDERS & ASSOCIATES LTD

At
92 MAGNOLIA TREE WAY, KERIKERI

Drawn	CS
Checked	KB
Project Number:	17 3130
Revision :	WD01
Plot Date	1/07/2024

Drawing Title	
INDEX/SITE LOCALITY	
Drawing Number	Scale
01	1:1000



SURVEYOR SETOUT - ALL BUILDING POSITIONS SHALL BE VERIFIED TO PROPERTY BOUNDARIES ONSITE BY A LICENCED CADASTRAL SURVEYOR BEFORE COMMENCING CONSTRUCTION.



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Ph 09 239 2663
kimb@fads.co.nz

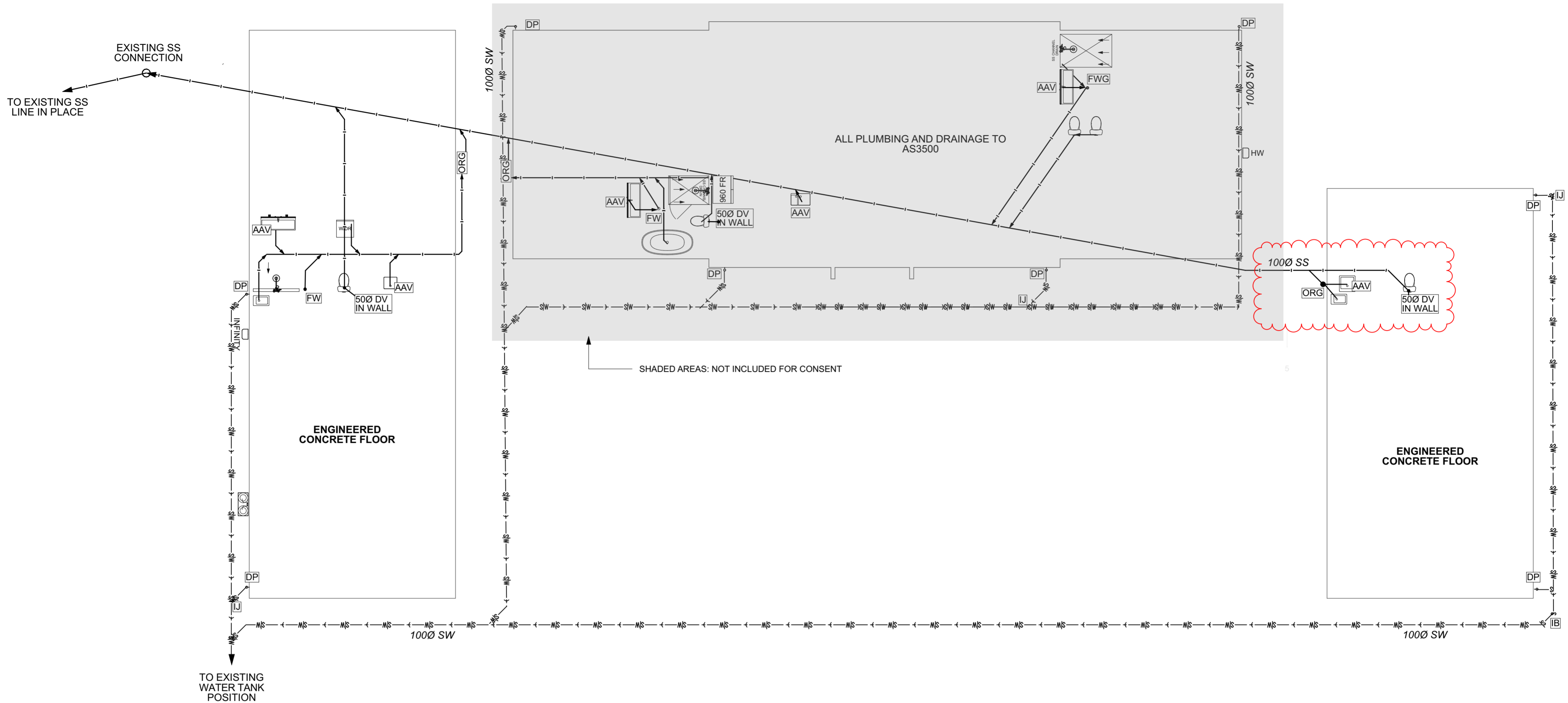
RevID	ChID	Change Name	Date

PROPOSED GARAGES & GUEST ROOM
For
GLEESON BUILDERS & ASSOCIATES LTD

At
92 MAGNOLIA TREE WAY, KERIKERI

Drawn CS
Checked KB
Project Number: 17 3130
Revision: WD01
Plot Date: 1/07/2024

Drawing Title	
SITE PLAN	
Drawing Number	Scale
03	Scale at A2 1:150



SANITARY PLUMBING NOTES

PIPE SIZES & FALLS TO AS/NZS 3500.2:2021:

- KITCHEN SINK Ø65 1:40
- SHOWER Ø65 1:40
- BASIN Ø65 1:40
- LAUNDRY TUB Ø65 1:40
- WC Ø100 1:60
- SANITARY SEWER LINES Ø100 1:60
- DRAIN VENT Ø40

ALL Ø65 UNDER FLOOR WASTE PIPES OVER 2.5m IN LENGTH SHALL BE VENTED. HOT WATER PIPES SHALL BE INSULATED TO NZS4305 AS MODIFIED BY H1/AS1 5.0

AIR ADMITTANCE VALVES (AAV) MUST:

- HAVE MIN 100mm MIN VERTICAL HEIGHT
- BE USED ON A STACK VENT NOT ACTING AS A DRAIN VENT
- BE ACCESSIBLE AND VENTILATED

PIPE MATERIALS FOR HOT & COLD WATER:

HOT SUPPLY TO NZS 3501

- COPPER
- POLYBUTYLENE
- GALVANISED STEEL

COLD SUPPLY TO AS/NZS 1477

- UPVC
- POLYETHYLENE:
 - NZS 7601-PRESSURE UP TO 0.9Mpa (TYPE 3)
 - NZS 7602-PRESSURE UP TO 1.2Mpa (TYPE 5)
 - NZS 7610-PRESSURE UP TO 1.2Mpa
- AS/NZS 1477
- AS/NZS 4129 FOR FITTINGS
- AS.NZS 4130 FOR PRESSURES UP TO 2.58Mpa

AS 1460

- PART 1 MECHANICAL JOINTING FITTINGS
- PART 2 ELECTROFUSION FITTINGS S/NZS4130 FOR PRESSURES UP TO 1.5 Mpa

ACCEPTABLE FLOW RATES TO SANITARY

FIXTURES - G12/AS1 TABLE 3:

- FIXTURE FLOW RATE l/s & TEMP
- BATH 0.3 AT 45°C
 - SINK 0.2 HOT & 0.2°C COLD
 - LAUNDRY TUB 0.2 HOT & 0.2°C COLD
 - BASIN 0.1 AT 45°C
 - SHOWER 0.1 AT 42°C

NOTE: KITCHEN SINK OVERFLOW MUST EXCEED FLOW RATE OF TAP

NOMINAL PIPE DIAMETERS - G12/AS1 TABLE 4:

- BASED ON MAX. 20m MAINS PRESSURE
- TO SHOWER 20mm
 - TO SINK/LAUNDRY 15mm
 - TO BATH 15mm
 - TO BASINS 10mm

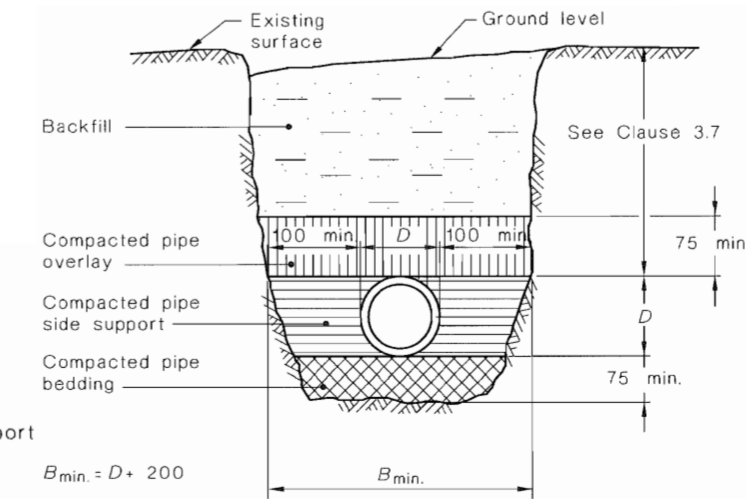
MIDFLOOR WASTE PIPES MAX. PIPE RUN (C.O.S.)

- JOIST DEPTH 240mm
- 100mm Ø @ 1:60, MAX. DISTANCE = 5.1m
- 80mm Ø @ 1:60, MAX. DISTANCE = 8.0m
- 65mm Ø @ 1:40, MAX. DISTANCE = 6.2m

DRAINAGE KEY:

- IB** - INSPECTION BEND
- IJ** - INSPECTION JUNCTION
- IP** - INSPECTION POINT
- ORG** - OVERFLOW RELIEF GULLY
MIN.100mm ABOVE FPL
- DV** - DRAIN VENT
- AAV** - AIR ADMITTANCE VALVE
- DP** - DOWNPIPE
- FW** - FLOOR WASTE

TRENCH DETAILS



LEGEND:

- Backfill
- Pipe overlay
- Pipe side support
- Bed zone



PO Box 11019, Palm Beach 3118
Ph 09 239 2663
kimb@fads.co.nz

RevID	ChID	Change Name	Date
01	5	BRACING	29/07/2024

PROPOSED GARAGES & GUEST ROOM
For
GLEESON BUILDERS & ASSOCIATES LTD

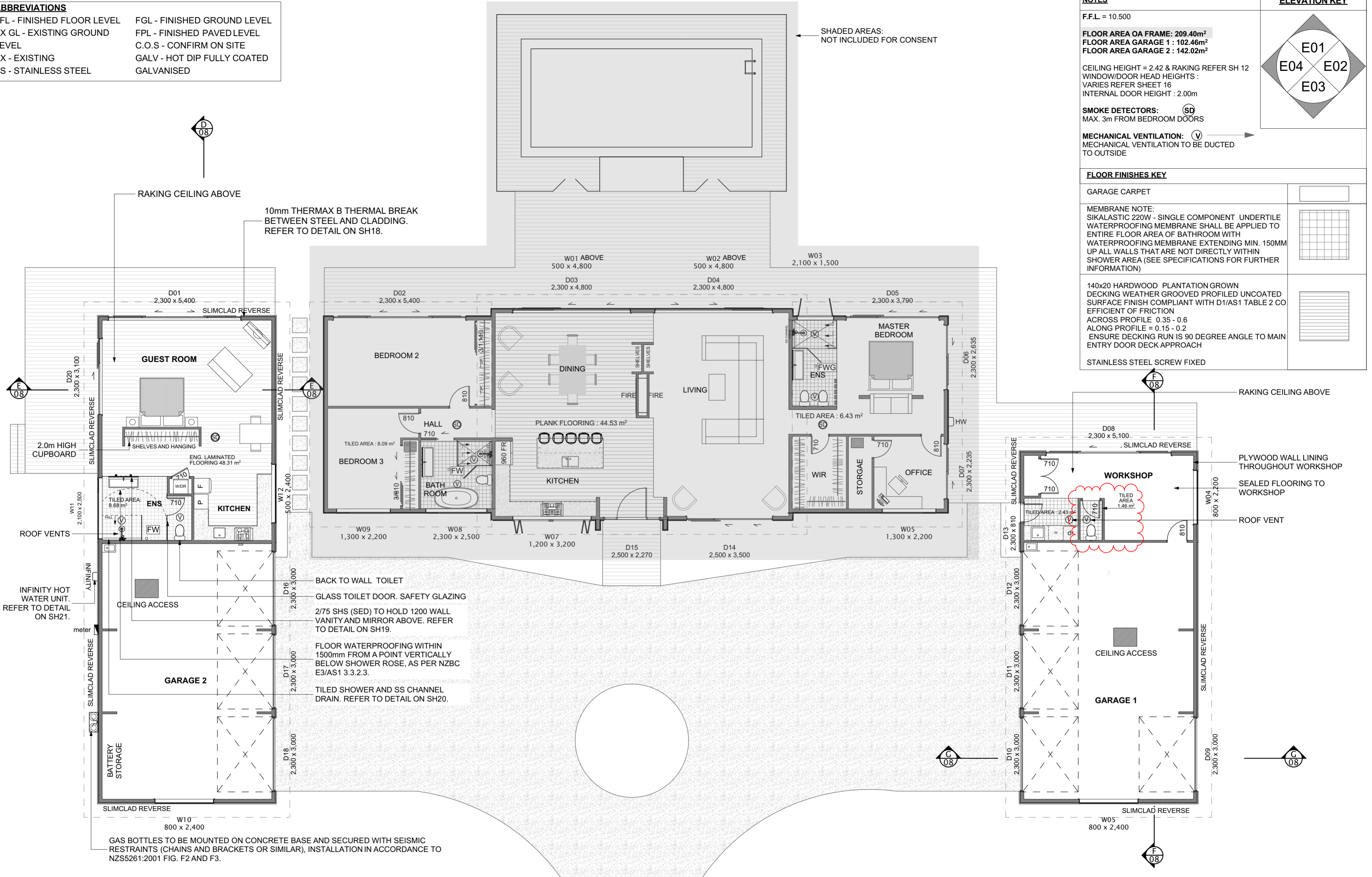
At
92 MAGNOLIA TREE WAY, KERIKERI

Drawn	CS
Checked	KB
Project Number:	17 3130
Revision :	WD03
Plot Date	29/07/2024

Drawing Title	
PLUMBING PLAN	
Drawing Number	Scale
04	Scale at A2
1:100	

ABBREVIATIONS	
FFL - FINISHED FLOOR LEVEL	FGL - FINISHED GROUND LEVEL
EX GL - EXISTING GROUND LEVEL	FPL - FINISHED PAVED LEVEL
EX - EXISTING	C.O.S - CONFIRM ON SITE
SS - STAINLESS STEEL	GALV - HOT DIP FULLY COATED GALVANISED

NOTES	ELEVATION KEY
F.F.L. = 10.500	
FLOOR AREA OA FRAME : 209.40m² FLOOR AREA GARAGE 1 : 102.46m² FLOOR AREA GARAGE 2 : 142.02m²	
CEILING HEIGHT = 2.42 & RAKING REFER SH 12 WINDOW/DOOR HEAD HEIGHTS : VARIES REFER SHEET 16 INTERNAL DOOR HEIGHT : 2.00m	
SMOKE DETECTORS: (SD) MAX. 3m FROM BEDROOM DOORS	
MECHANICAL VENTILATION: (V) MECHANICAL VENTILATION TO BE DUCTED TO OUTSIDE	
FLOOR FINISHES KEY	
GARAGE CARPET	
MEMBRANE NOTE: SIKALASTIC 220W - SINGLE COMPONENT UNDERTILE WATERPROOFING MEMBRANE SHALL BE APPLIED TO ENTIRE FLOOR AREA OF BATHROOM WITH WATERPROOFING MEMBRANE EXTENDING MIN. 150MM UP ALL WALLS THAT ARE NOT DIRECTLY WITHIN SHOWER AREA (SEE SPECIFICATIONS FOR FURTHER INFORMATION)	
140x20 HARDWOOD PLANTATION GROWN DECKING WEATHER GROOVED PROFILED UNCOATED SURFACE FINISH COMPLIANT WITH D1/AS1 TABLE 2 CO EFFICIENT OF FRICTION ACROSS PROFILE 0.35 - 0.6 ALONG PROFILE = 0.15 - 0.2 ENSURE DECKING RUN IS 90 DEGREE ANGLE TO MAIN ENTRY DOOR DECK APPROACH STAINLESS STEEL SCREW FIXED	



FNDC - Approved Building Consent Document - EBC-2025-340 - Pg 41 of 58 - 30/07/2024 - J.O



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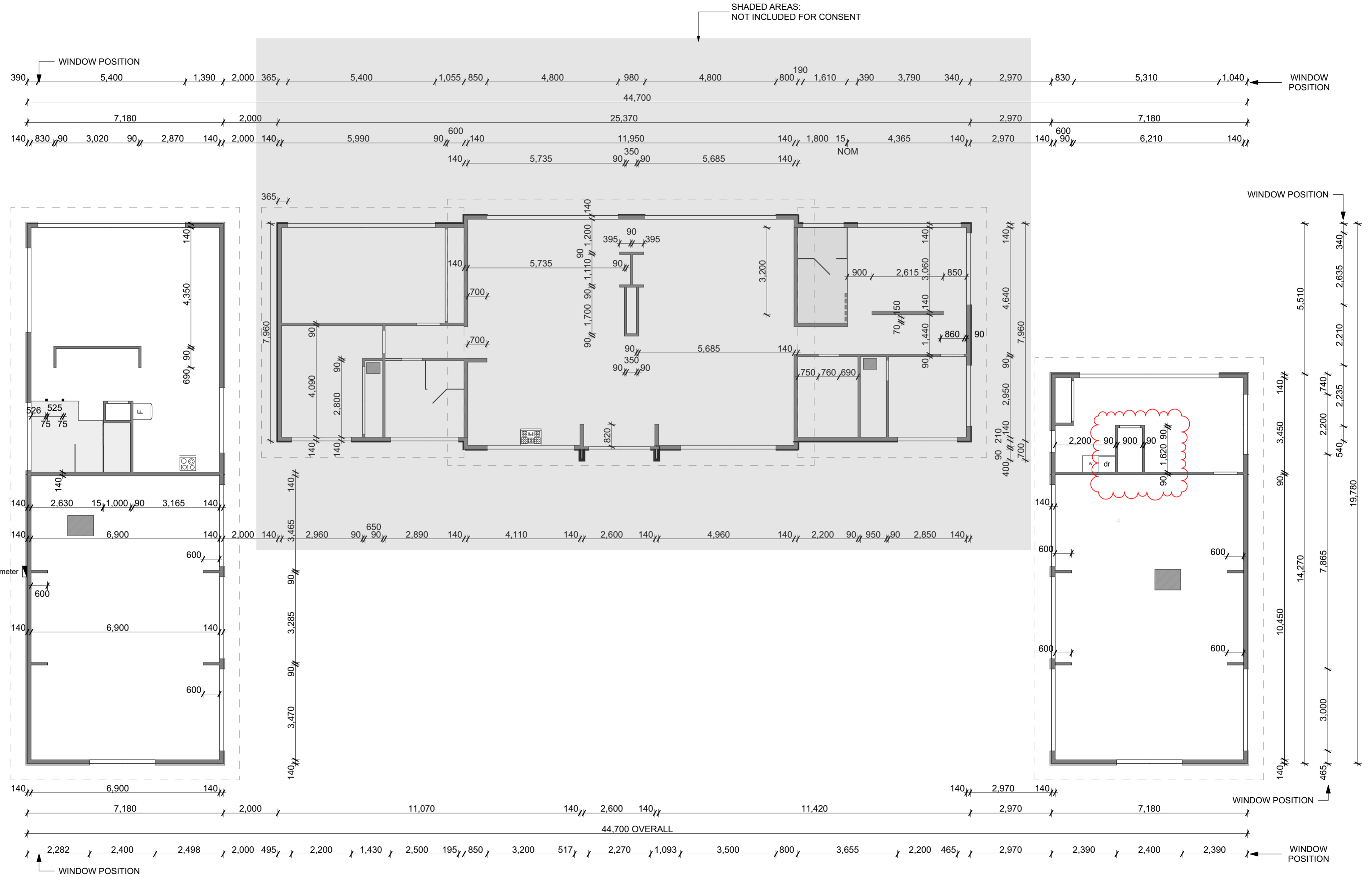
RevID	ChID	Change Name	Date
02	3	BRACING	29/07/2024

PROPOSED GARAGES & GUEST ROOM
For
GLEESON BUILDERS & ASSOCIATES LTD

At
92 MAGNOLIA TREE WAY, KERIKERI

Drawn	CS
Checked	KB
Project Number:	17 3130
Revision :	WD03
Plot Date	29/07/2024

Drawing Title	
FLOOR PLAN	
Drawing Number	Scale
05	Scale at A2 1:100



PO Box 11019, Palm
Beach 3118
Ph 09 239 2663
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RevID	ChID	Change Name	Date
01	4	BRACING	29/07/2024

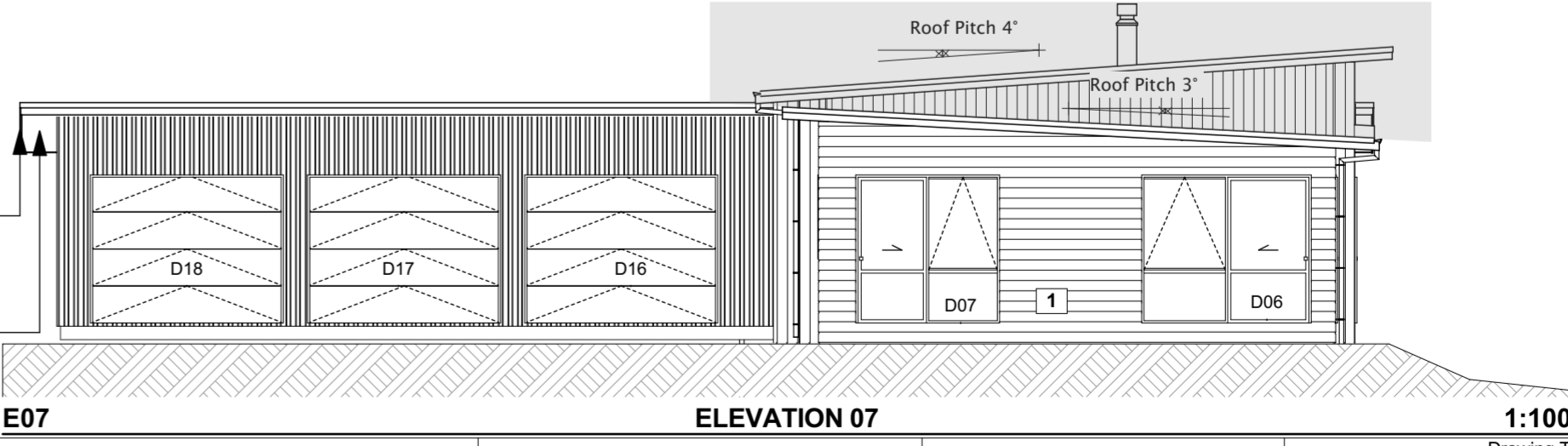
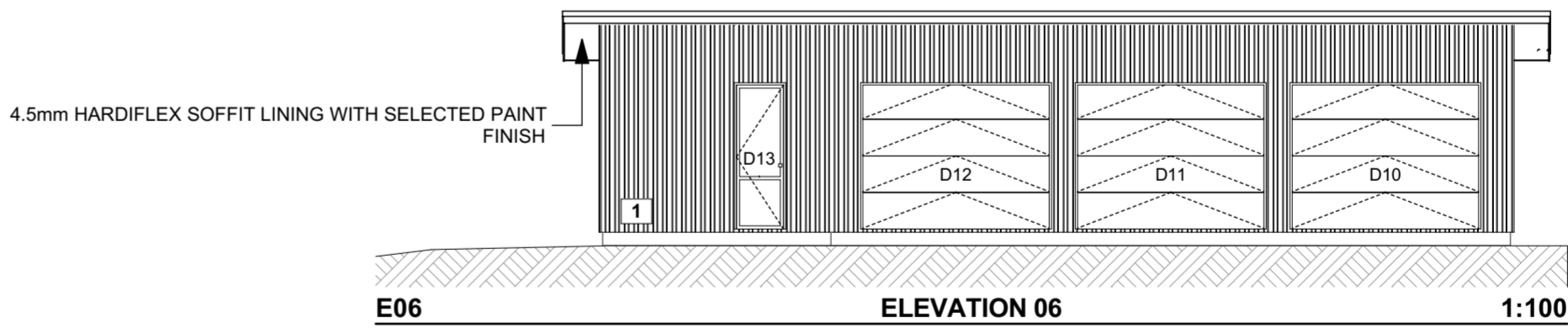
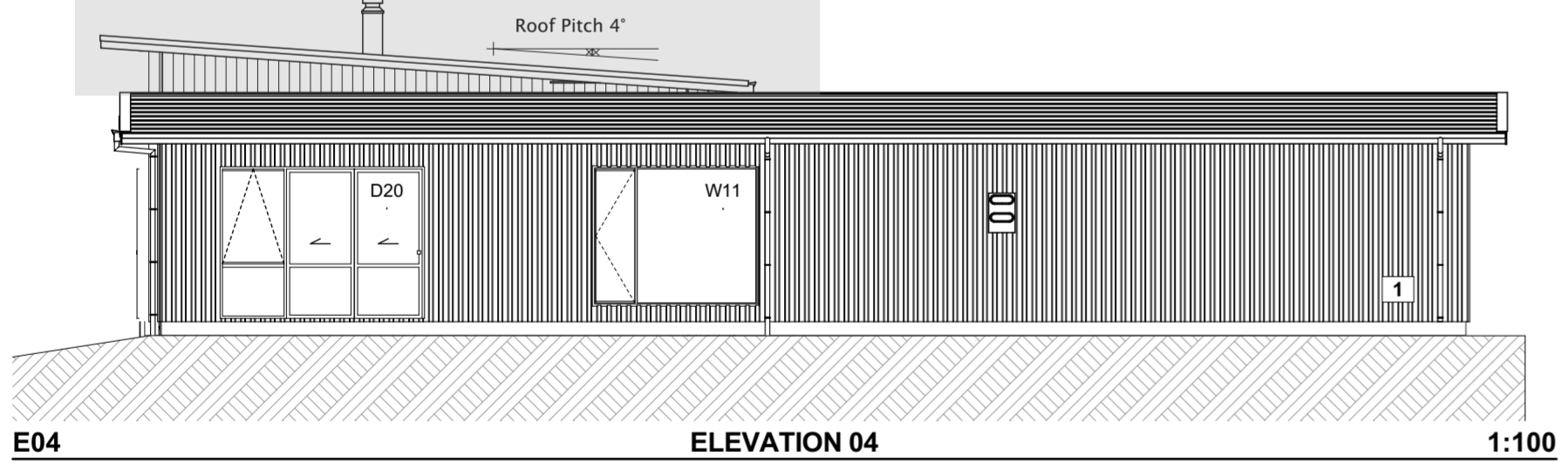
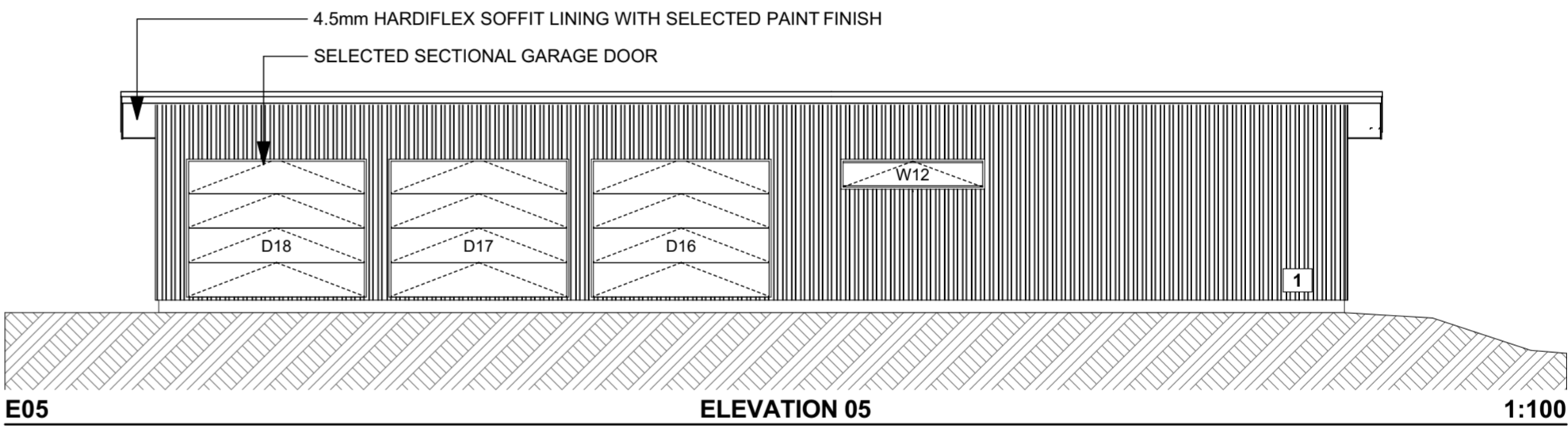
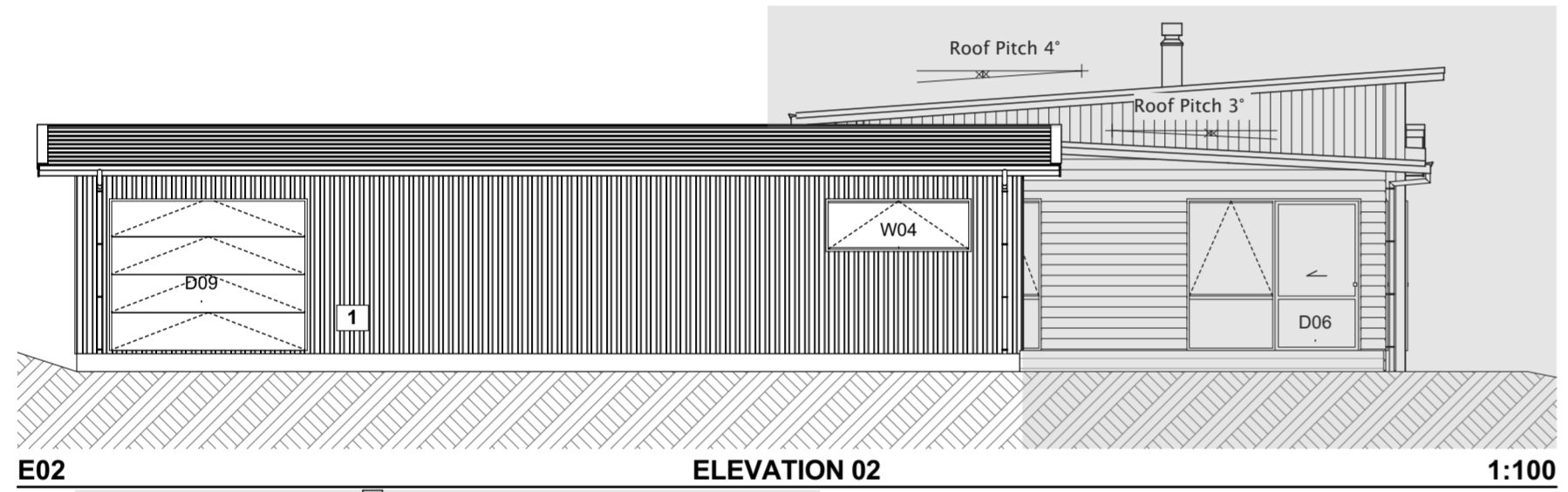
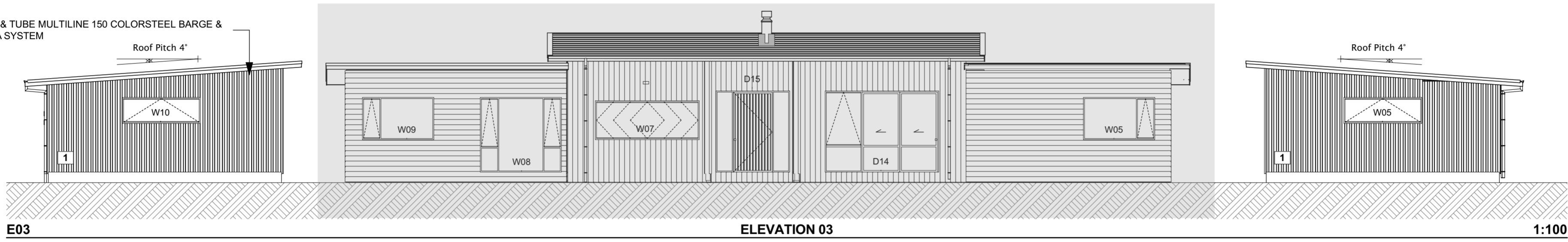
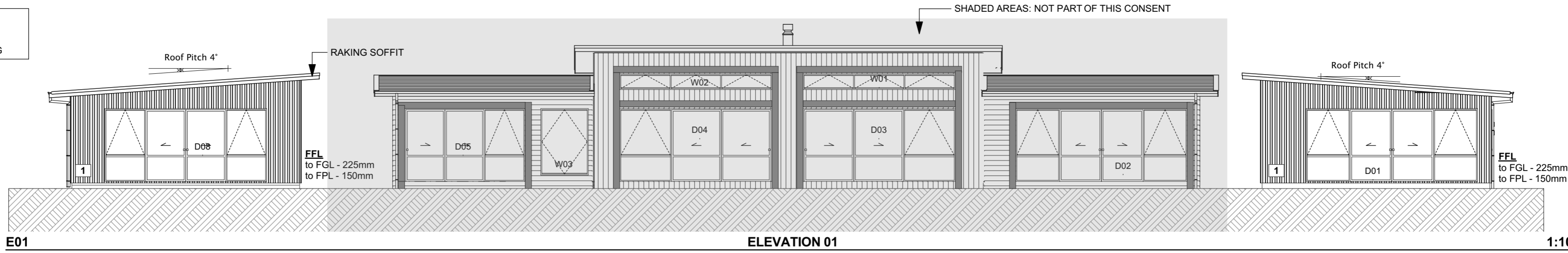
PROPOSED GARAGES & GUEST ROOM
For
GLEESON BUILDERS & ASSOCIATES LTD

At
**92 MAGNOLIA TREE WAY,
KERIKERI**

Drawn	CS
Checked	KB
Project Number:	17 3130
Revision :	WD03
Plot Date	29/07/2024

Drawing Title	
DIMENSIONED FLOOR PLAN	
Drawing Number	Scale
06	Scale at A2 1:100

CLADDING KEY:
 1. ROOFING INDUSTRIES SLIMCLAD
 REVERSE RUN VERTICAL CLADDING



BUILDING ENVELOPE RISK MATRIX MAIN DWELLING		
Risk Factor	Risk Severity	Risk Score
Wind zone (per NZS 3604)	High risk	1
Number of storeys	Low risk	0
Roof/wall intersection design	Low risk	0
Eaves width	Medium risk	1
Envelope complexity	Low risk	0
Deck design	Low risk	0
Total Risk Score:		2

BUILDING ENVELOPE RISK MATRIX GARAGE WINGS		
Risk Factor	Risk Severity	Risk Score
Wind zone (per NZS 3604)	High risk	1
Number of storeys	Low risk	0
Roof/wall intersection design	High risk	3
Eaves width	Medium risk	1
Envelope complexity	Medium risk	1
Deck design	Low risk	0
Total Risk Score:		6

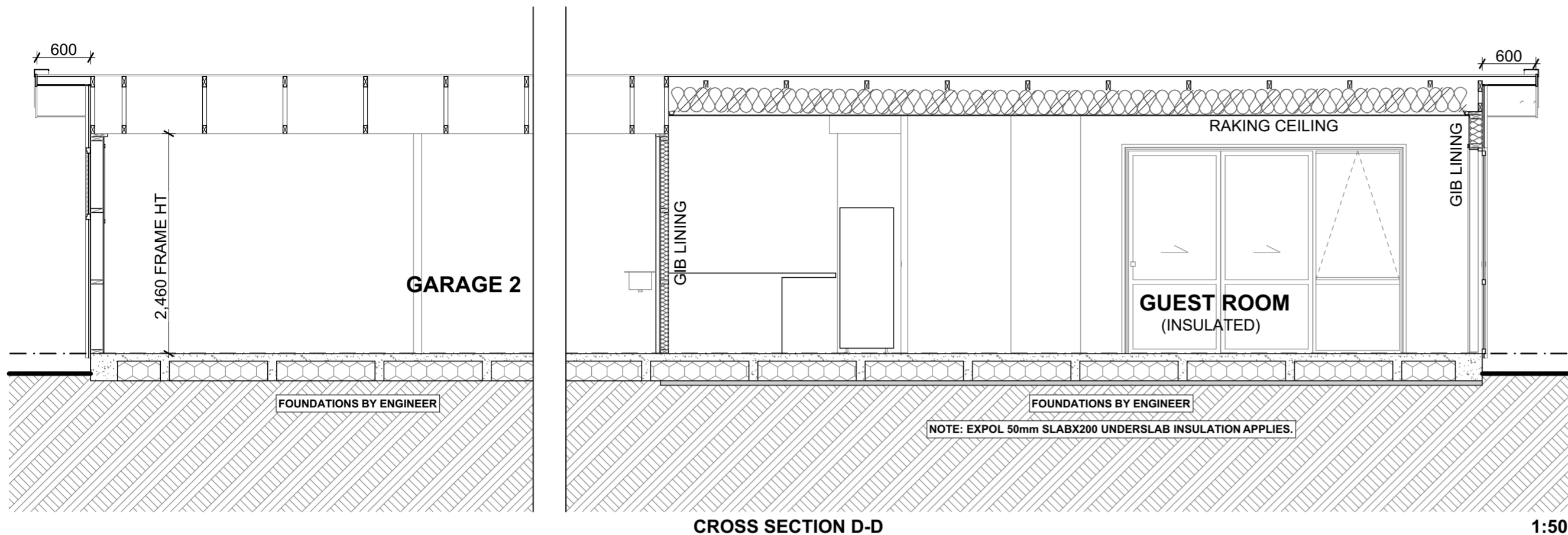


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RevID	ChID	Change Name	Date

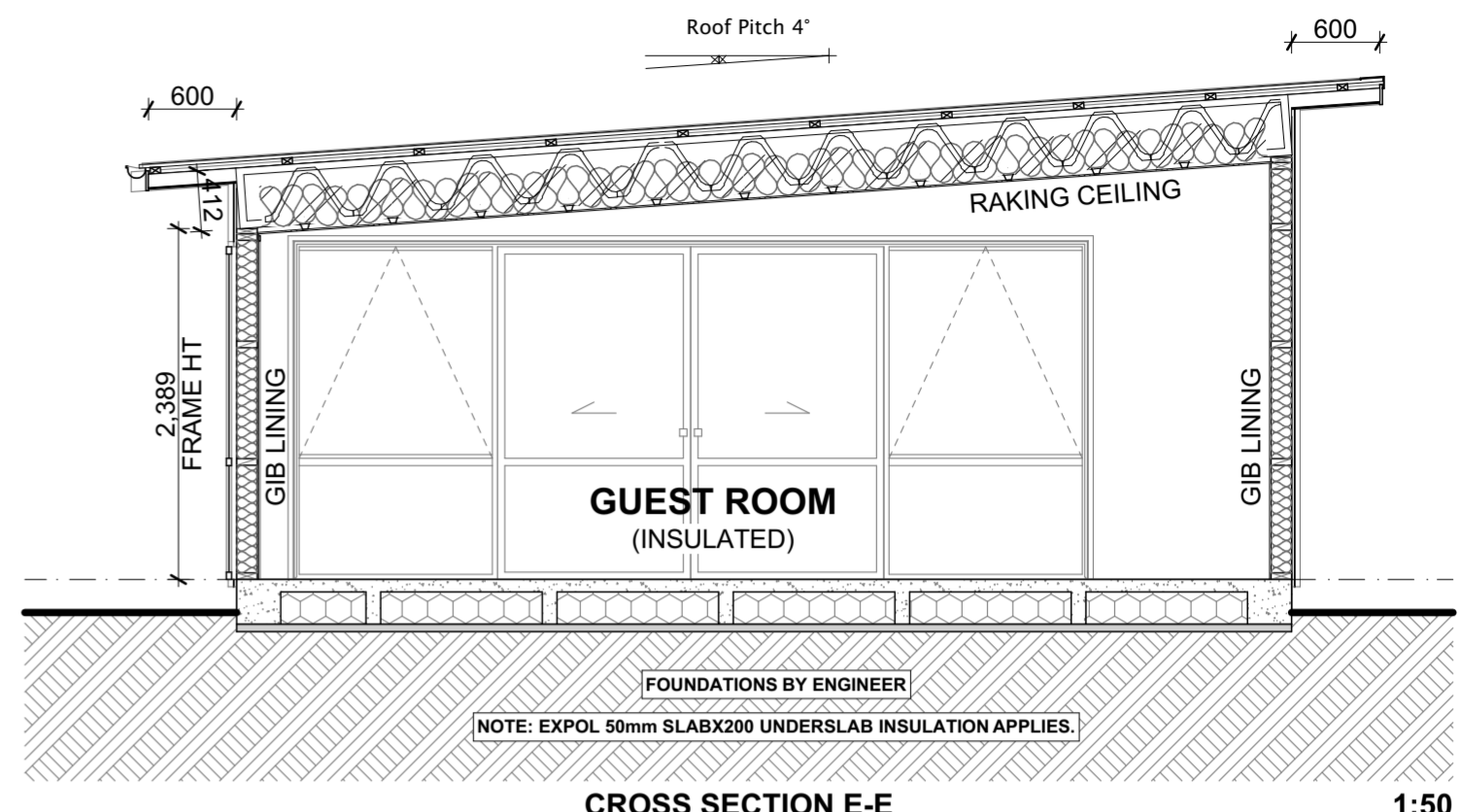
PROPOSED GARAGES & GUEST ROOM For GLEESON BUILDERS & ASSOCIATES LTD		At 92 MAGNOLIA TREE WAY, KERIKERI		Drawn CS Checked KB Project Number: 17 3130 Revision: WD01 Plot Date: 1/07/2024	Drawing Title ELEVATIONS Drawing Number: 07 Scale: Scale at A2 1:100
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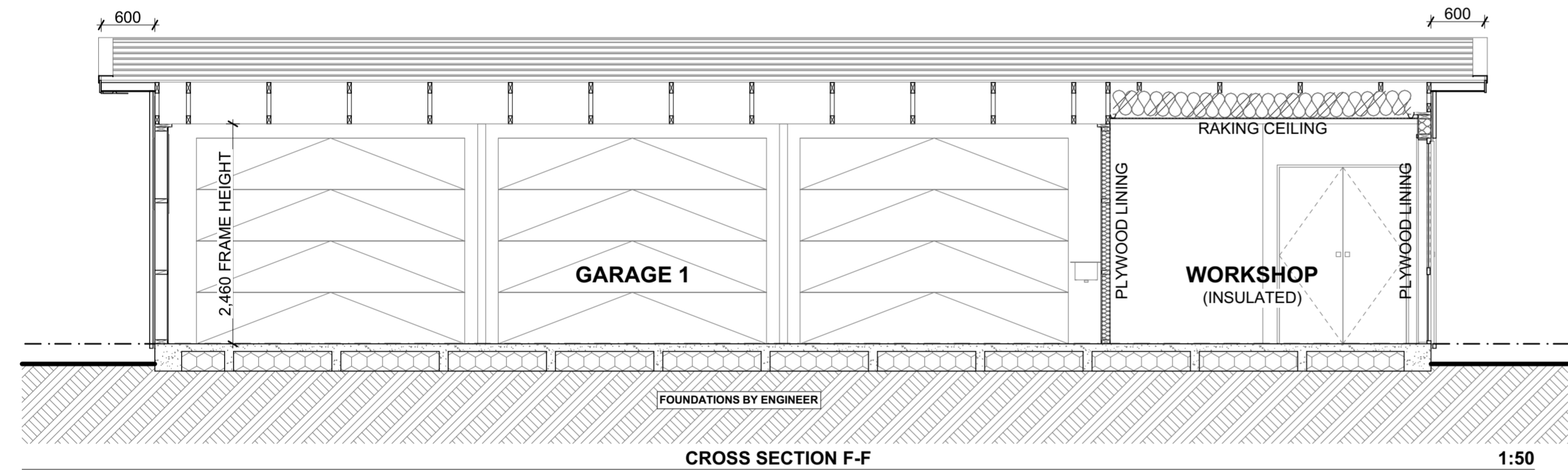
CROSS SECTION D-D

1:50



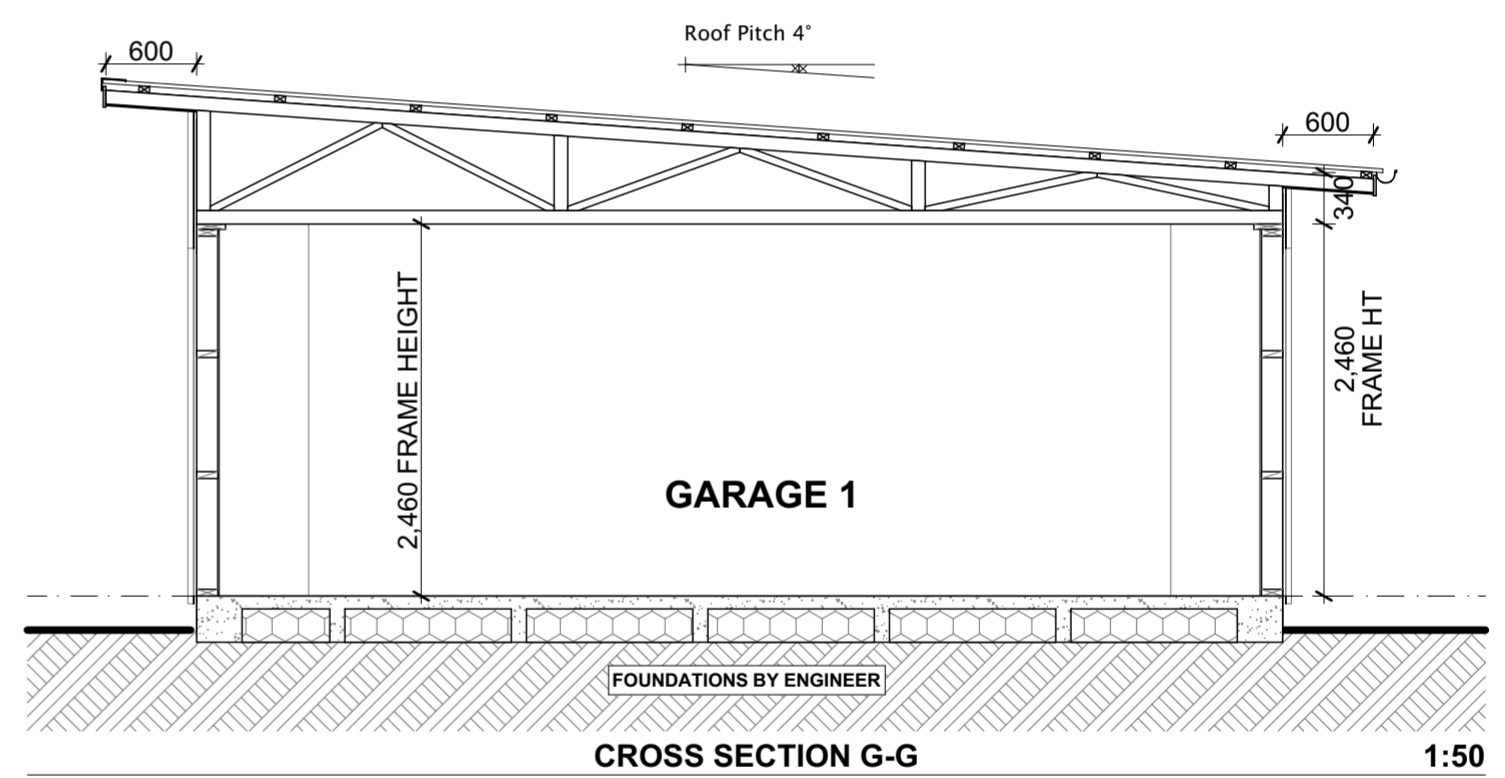
CROSS SECTION E-E

1:50



CROSS SECTION F-F

1:50



CROSS SECTION G-G

1:50

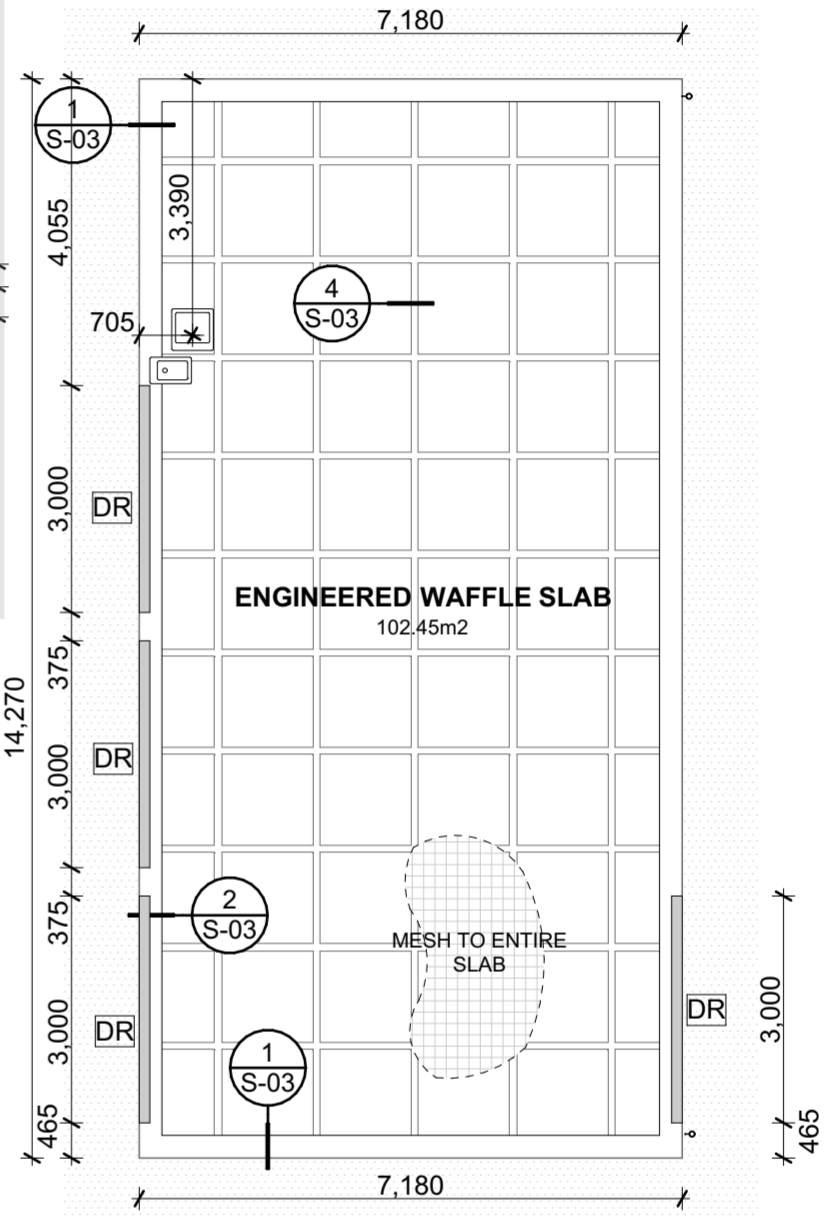
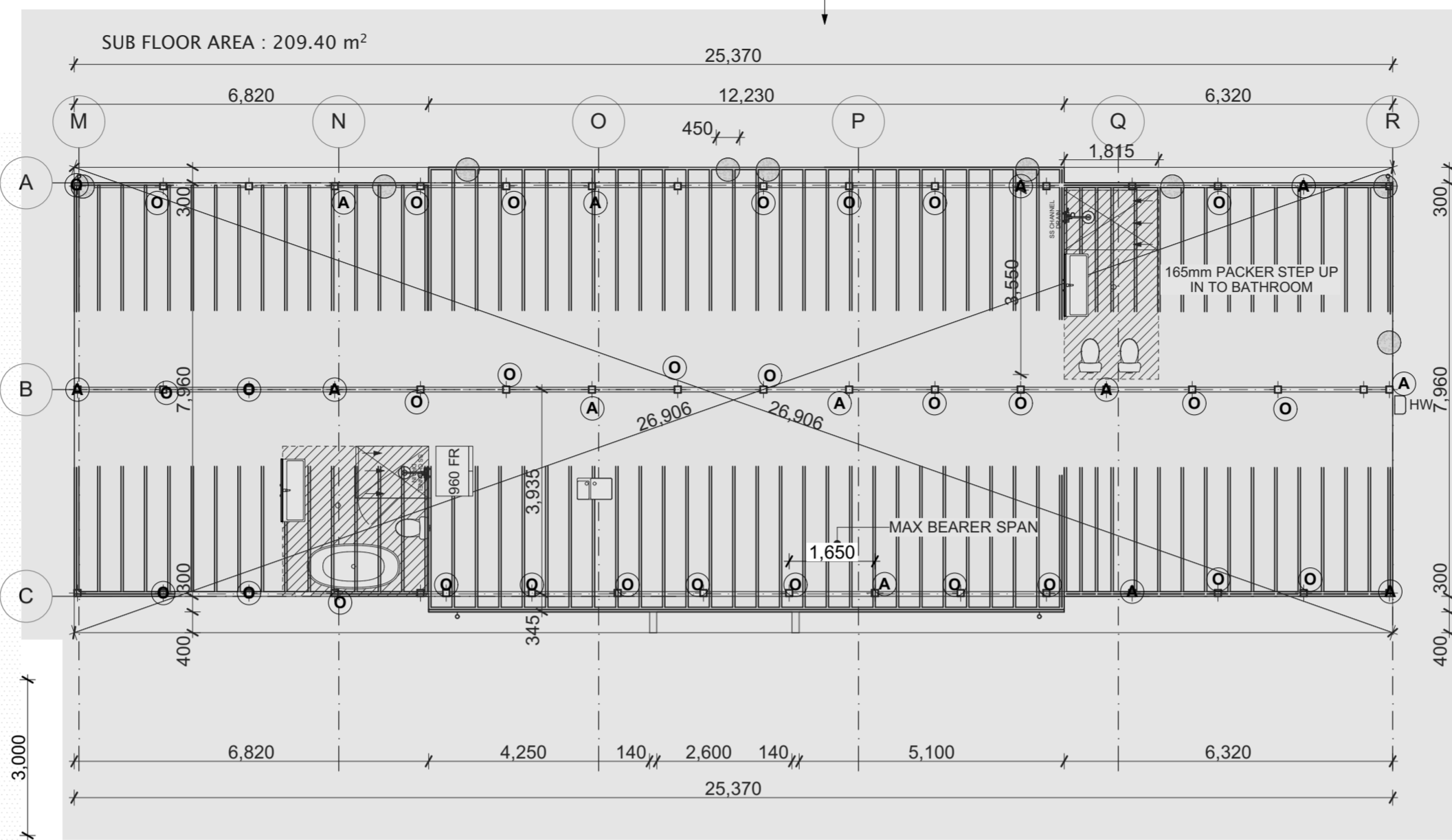
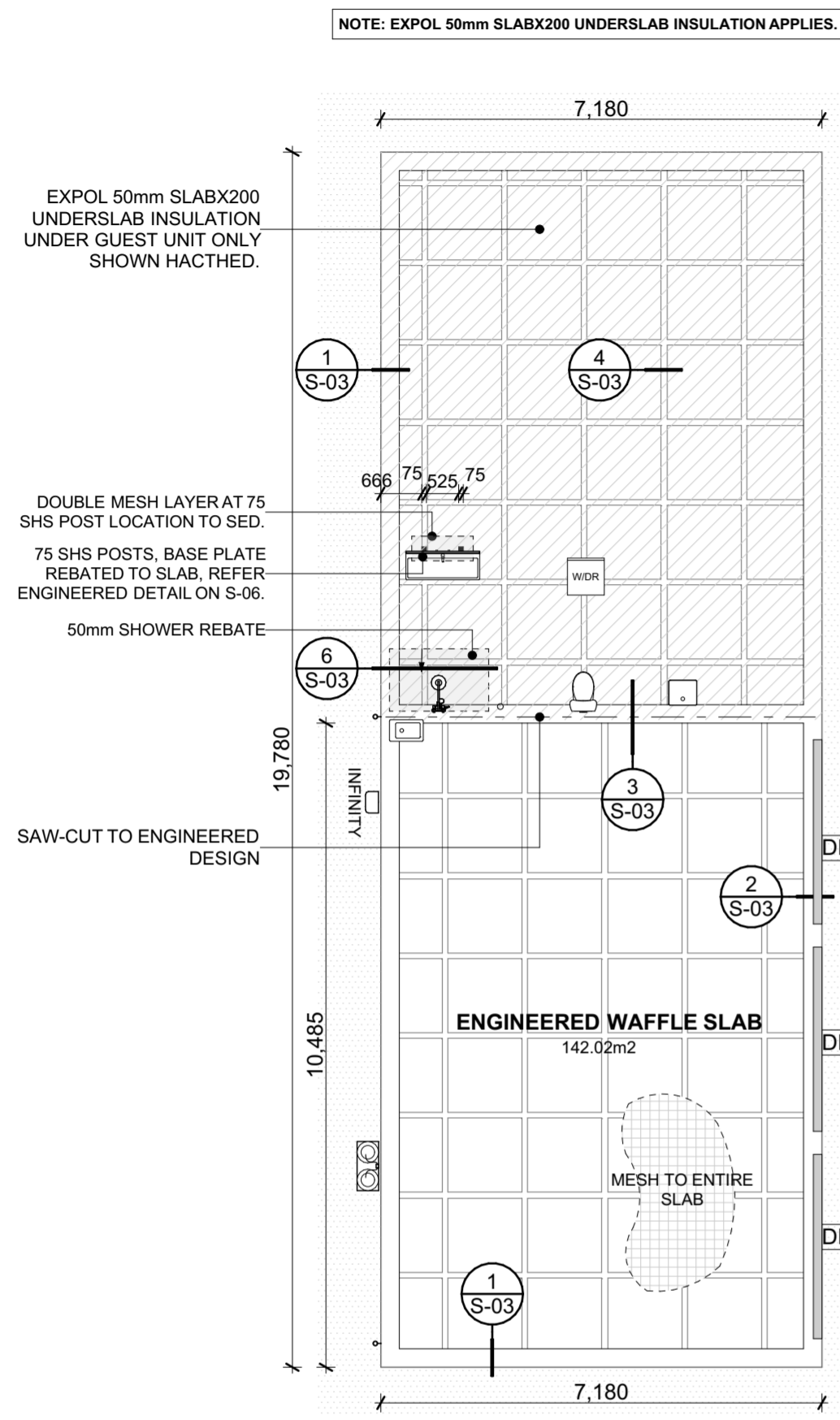
- ROOF NOTES**
- PITCH: 4°
 - STEEL & TUBE PLUMBDECK COLORSTEEL MAXX PROFILE ROOFING 0.55 GAUGE
 - STEEL & TUBE MULTILINE 150 COLORSTEEL BARGE & FASCIA SYSTEM
 - UPVC DOWNPIPE
 - THERMAKRAFT 407 ROOFING UNDERLAY WITH AUSMESH SAFETY NETTING
 - H1.2 SG8 70x45 PURLINS @ 900mm C/C
 - H1.2 TRUSSES @900mm C/C TO TRUSS DESIGN
 - 275mm R7.4 PINK BATTS SUPERBATTS SKILLION ROOF INSULATION
 - RONDO CEILING BATTENS @600mm C/C
 - 4.5mm HARDIFLEX SOFFIT LINING WITH SELECTED PAINT FINISH
 - 13mm GIB BOARD CEILING LINING, USE GIB AQUALINE IN WET AREAS

- WALL NOTES**
- ROOFING INDUSTRIES SLIMCLAD REVERSE RUN VERTICAL CLADDING
 - STEEL & TUBE PLUMBDECK COLORSTEEL MAXX PROFILE VERTICALLY FIXED OVER 20mm TIMBER CAVITY BATTENS
 - THERMAKRAFT SUPERCOURSE 500 DPC BETWEEN BOTTOM PLATE AND CONCRETE
 - ECOPLY 7mm STRUCTURAL RIGID AIR BARRIER
 - H1.2 SG8 STUDS REFER TO SHEET 13 FOR STUD SIZES/SPACINGS
 - NOGS @ 800 C/C GENERALLY
 - 140mm R4.3 PINK BATTS ULTRA WALL INSULATION
 - 10mm GIB BOARD LINING, USE GIB AQUALINE IN WET AREAS
 - 60x10 SINGLE BEVEL ARCHITRAVES/SKIRTINGS
 - 19mm FINGER JOINTED PINE REVEAL
 - DOOR HARDWARE: LEVER HANDLES TYPICALLY
 - INTERNAL DOORS: STANDARD 2.0m HIGH INTERNAL GRADE FLUSH PANEL HOLLOW CORE DOOR, PRE-PAINTED
 - R0.37 THERMALLY IMPROVED LOW-E ARGON FILLED DOUBLE GLAZED ALUMINIUM JOINERY

- CONCRETE FLOOR NOTES**
- SELECTED FLOOR COVERINGS REFER TO SCHEDULE ON SH05.
 - WAFFLE SLAB, REFER TO ENGINEERS PLANS AND PS1 ATTACHED FOR ALL CONCRETE FOUNDATION DETAIL.
 - EXPOL 50mm SLABX200 UNDERSLAB INSULATION UNDER GUEST UNIT ONLY.

	PO Box 11019, Palm Beach 3118 Ph 09 239 2663 kimb@fads.co.nz	RevID	ChID	Change Name	Date	PROPOSED GARAGES & GUEST ROOM For GLEESON BUILDERS & ASSOCIATES LTD	At 92 MAGNOLIA TREE WAY, KERIKERI	Drawn	CS	Drawing Title	
								Checked	KB	SECTIONS	
								Project Number:	17 3130	Drawing Number	08
								Revision :	WD01	Scale	Scale at A2
								Plot Date	1/07/2024		1:50

SHADED AREAS: NOT INCLUDED FOR CONSENT



FOUNDATION NOTES

CONCRETE COVER SHALL BE MINIMUM:

(A) 75mm COVER - BASE OF FOOTING

(B) 50mm COVER - SIDE OF FOOTING/FLOOR SLAB

(C) 50mm COVER - TOP OF SLAB

PLUMBER SHALL CONFIRM ALL WASTE POSITIONS WITH MAIN CONTRACTOR BEFORE PLACEMENT IN SLAB.

CONCRETE SLAB (REFER ENGINEERS DESIGN):

85mm THICK 30MPa CONCRETE SLAB

HIGH DUCTILE GRADE SE62 MESH - 35mm TOP COVER

0.25mm POLYTHENE SHEET DAMP PROOF MEMBRANE

TAPE SEALS TO MEMBRANE JOINTS

50mm SAND BLINDING TO MIN. 15mm TOLERANCE

COMPACTED HARDFILL IN 150mm LAYERS

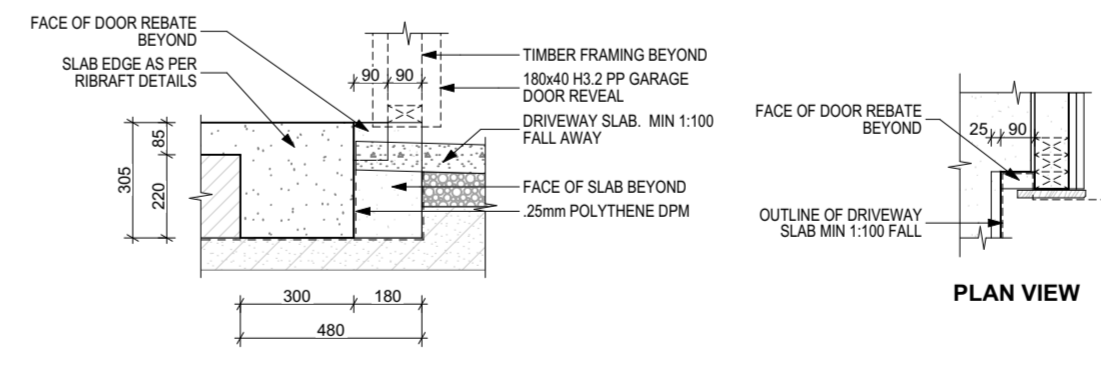
FOUNDATION SETOUT KEY:

DR GD GARAGE DOOR REBATE

WAFFLE SLAB POD

COMPACTED BLINDING LAYER 1.0m CLEAR OF BUILDING FOUNDATION

--- SAW CUT 100mm DEPTH x 3mm WIDTH



FIRTH RIBRAFT - GARAGE DOOR REBATE DETAIL

REFER TRUSS MANUFACTURERS LAYOUT FOR LOCATION OF SLAB THICKENINGS TO LOAD BEARING WALLS & POINT LOADS:

- LINE LOADS LESS THAN 10kN/m DO NOT REQUIRE SLAB THICKENINGS
- LINE LOADS GREATER THAN 10kN/m & LESS THAN 20kN/m ARE AS SHOWN IN ENGINEERING PLANS & DETAILS
- LINE LOADS GREATER THAN 20kN/m REQUIRE SPECIFIC DESIGN

AS BUILT PLANS:

CONTRACTOR SHALL SUPPLY ACCURATE AS-BUILT DRAWINGS OF ALL SERVICES IN THE GROUND BEFORE COVERING AND SUPPLY AS BUILT PLANS TO LOCAL AUTHORITY.

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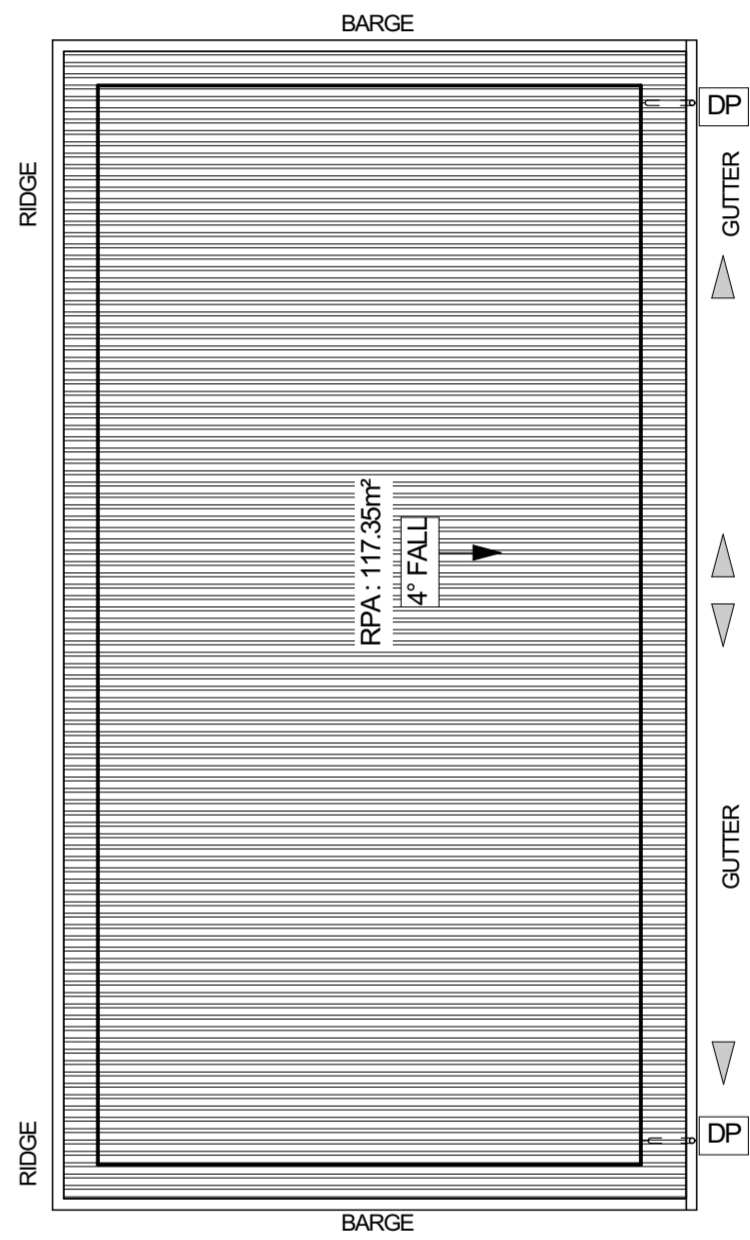
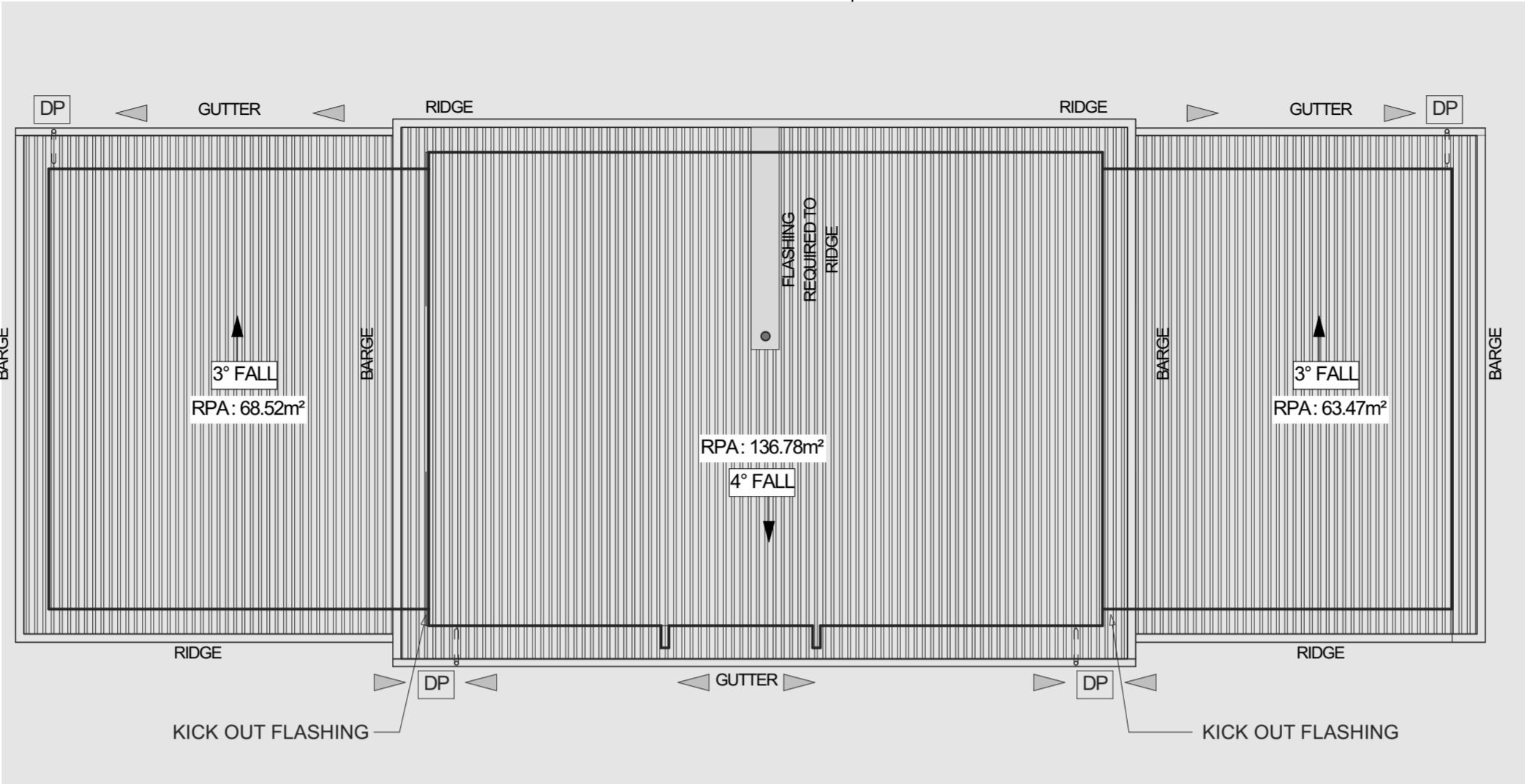
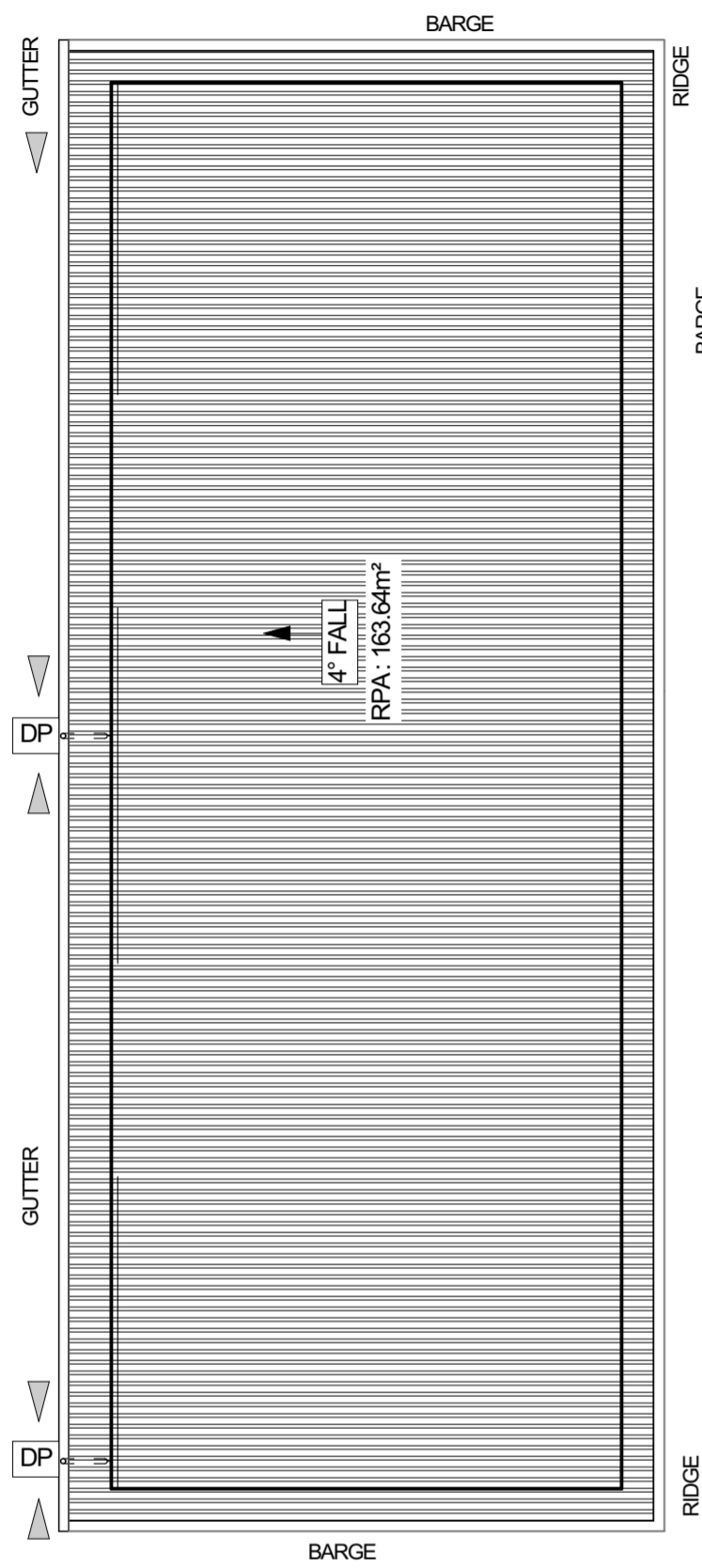
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RevID	ChID	Change Name	Date

PROPOSED GARAGES & GUEST ROOM	At 92 MAGNOLIA TREE WAY, KERIKERI	Drawn	CS	Drawing Title	
		Checked	KB	FOUNDATION PLAN	
For GLEESON BUILDERS & ASSOCIATES LTD		Project Number:	17 3130	Drawing Number	09
		Revision :	WD01	Scale	Scale at A2
		Plot Date	1/07/2024		1:100, 1:20

SHADED AREAS: NOT INCLUDED FOR CONSENT



METAL FLASHINGS - GENERAL DIMENSIONS:
 NZBC E2/AS1 TABLE 7: (SITUATION 2) LOW, MED & HIGH WIND ZONES WHERE ROOF PITCH IS <math>< 10^\circ</math>

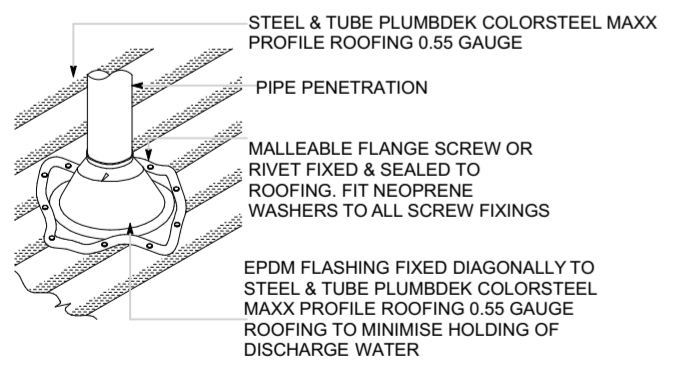
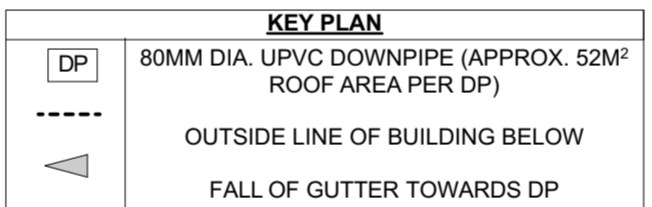
ROOF CLADDINGS SHALL MEET REQUIREMENTS OF NZBC E2.2, TABLE 7 AND CONSTRUCTED TO PARAGRAPH 8.1.2 TO PARAGRAPH 8.5. DIMENSIONS EXCLUDE ANY SOFT EDGE OR DOWNTURN.

- RIDGES:**
TRANSVERSE FLASHING OVER ROOFING 200mm
- BARGES:**
OVERLAP TO BARGE BOARD 70mm EXCL. DRIP EDGE
- WINDOWS:**
WINDOW FLANGE CLEARANCE FOR CLADDINGS ON CAVITIES 5mm
COVER TO WINDOW/DOOR JAMB FLANGE 10mm MIN.
COVER TO WINDOW/DOOR SILL FLANGE 8mm MIN.
- SILLS:**
SILL FLASHING SLOPE FLAT
- HEADS:**
HEAD FLASHING SLOPE 15 DEG MIN.
LAP UNDER CLADDING ABOVE 35mm MIN.
ANTICAPILLARY GAP TO CLADDING 5mm
TOTAL UPSTAND 40mm MIN.
- CORNERS:**
CORNER FLASHING 50x50 MIN.
(COVER IS TO CLADDING ITSELF)

ROOF CLADDINGS SHALL MEET REQUIREMENTS OF NZBC E2.2
 PARAGRAPH 8.1.2 TO PARAGRAPH 8.5

GUTTERS SHALL COMPLY WITH E1/AS1.

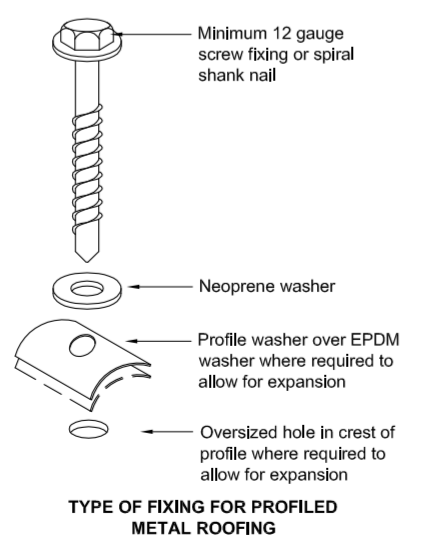
DOWN PIPES DISCHARGING TO A LOWER ROOF SHALL BE FITTED WITH A SPREADER WITH THE DISCHARGE LIMITED TO A SECTION OF ROOFING WITH NO SIDE LAPS.



NOTES:
 FOR PIPES UP TO 85mm DIAMETER.
 NZMRM CODE OF PRACTICE ALLOWS LARGER THAN 85mm DIAMETER PENETRATION PROVIDED THE FLASHING DOES NOT EXTEND TO MORE THAN 50% OF PAN WIDTH.

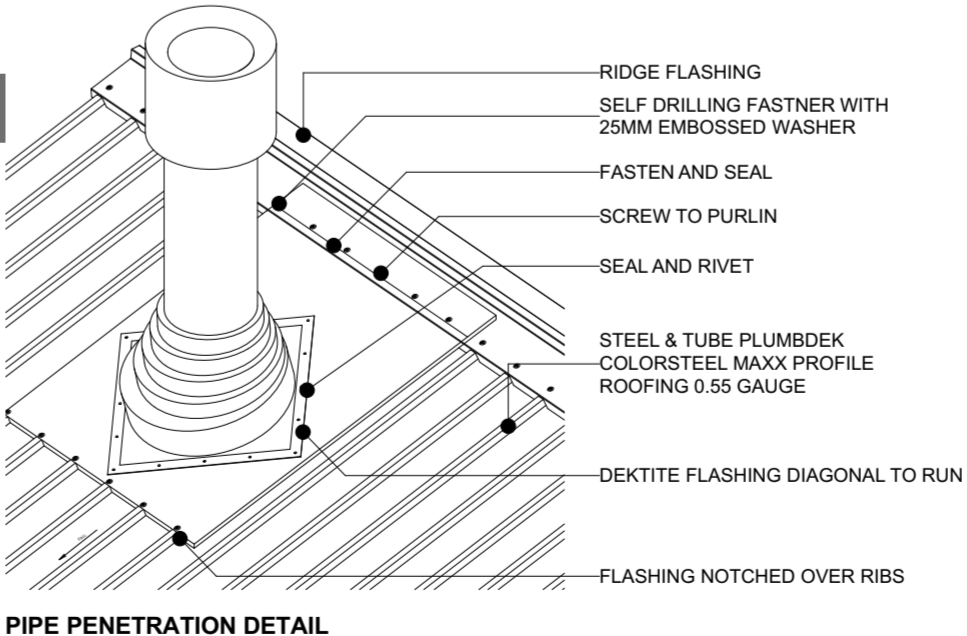
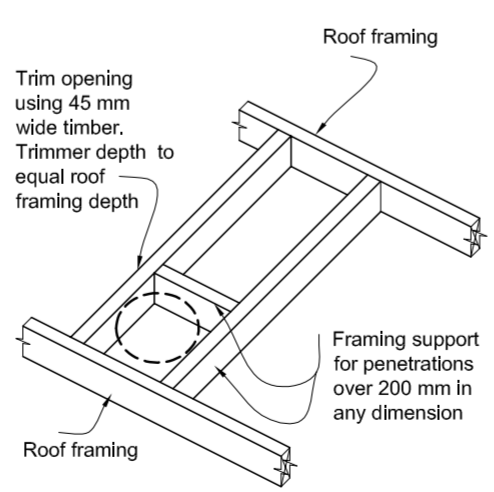
EPDM FLASHING FOR UP TO 85mm DIA PIPE

Figure 39: Corrugated and trapezoidal fixings and sheet lap
 Paragraphs 8.4.8, 9.6.6, Tables 20, 22 and 24



- a) Fixing the top 50% (closest to the ridge) with conventional fixings, and
- b) Fixing the lower 50% with sealing washers fixed over profiled washers as shown in Figure 39, and:
 - i) using oversized holes, and
 - ii) positioning fixing in centre of hole.

Figure 21: Penetration support
 Paragraphs 8.1.7 and 8.4.17



80mm O.D.

Diameter: 80mm
 Material: uPVC (Unplasticised PVC)

Maximum Roof Area per downpipe*:

Roof Pitch	Maximum Roof Area served per downpipe (m ²)
0° - 25°	100
25° - 35°	80
35° - 45°	70
45° - 55°	60

* Based on average rainfall intensity of 100mm/hr



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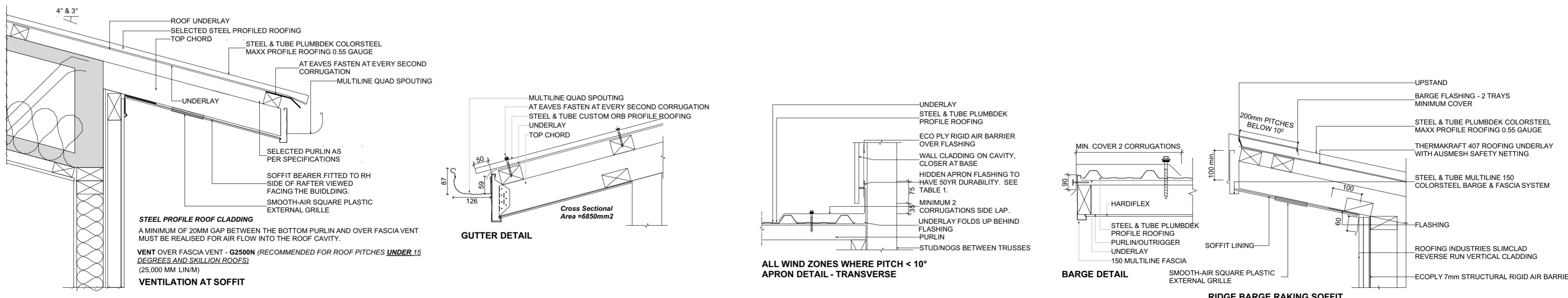
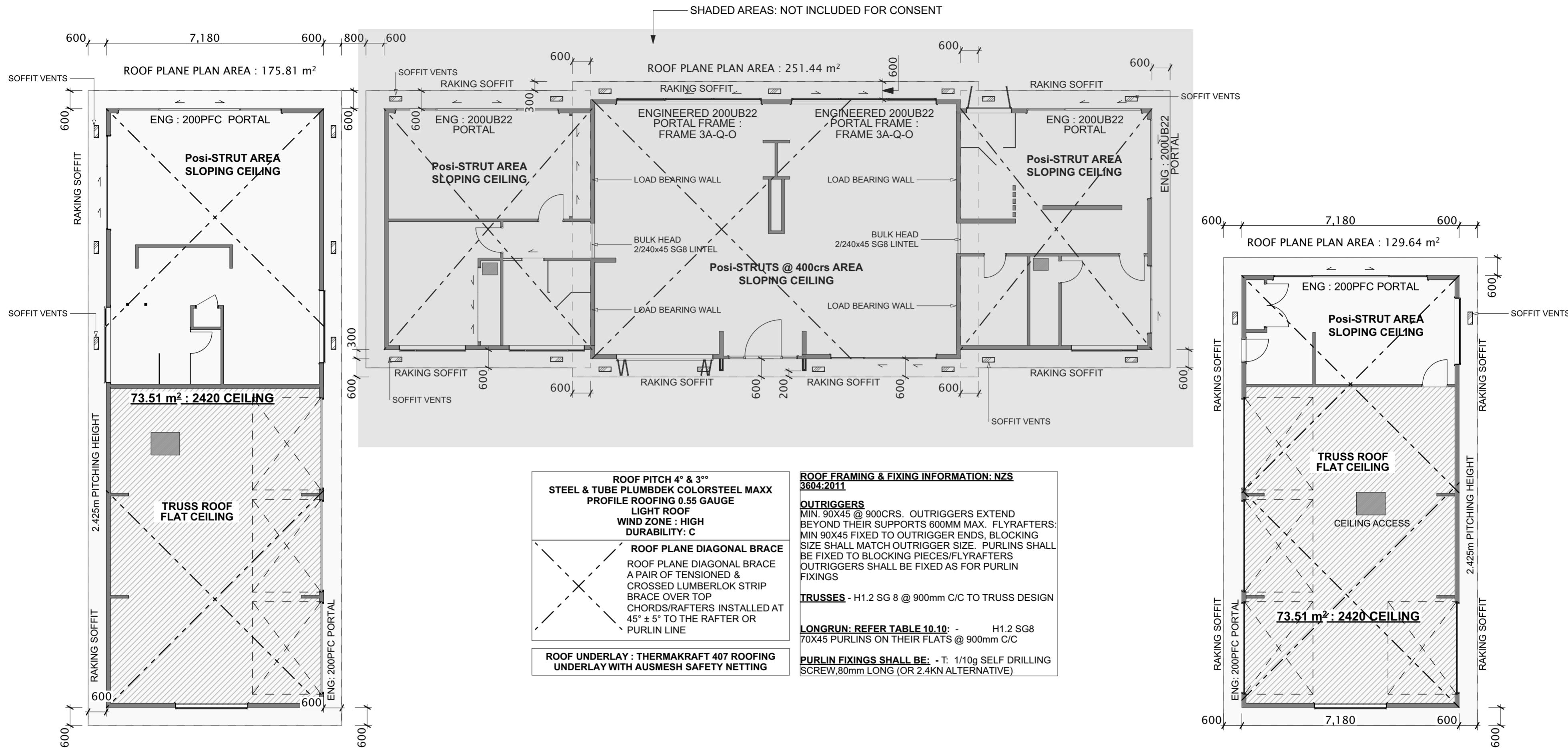
RevID	ChID	Change Name	Date

PROPOSED GARAGES & GUEST ROOM
 For
GLEESON BUILDERS & ASSOCIATES LTD

At
92 MAGNOLIA TREE WAY, KERIKERI

Drawn CS
 Checked KB
 Project Number: 17 3130
 Revision: WD01
 Plot Date: 1/07/2024

Drawing Title	
ROOF LAYOUT PLAN	
Drawing Number	Scale
10	1:100



	PO Box 11019, Palm Beach 3118	RevID	ChID	Change Name	Date	PROPOSED GARAGES & GUEST ROOM For GLEESON BUILDERS & ASSOCIATES LTD	At 92 MAGNOLIA TREE WAY, KERIKERI	Drawn	CS	ROOF FRAMING PLAN & ROOF DETAILS				
	Ph 09 239 2663							Checked	KB					
	kimb@fads.co.nz							Project Number:	17 3130		Drawing Number	11	Scale	Scale at A2
								Revision :	WD01				1:10, 1:100	
								Plot Date	1/07/2024					

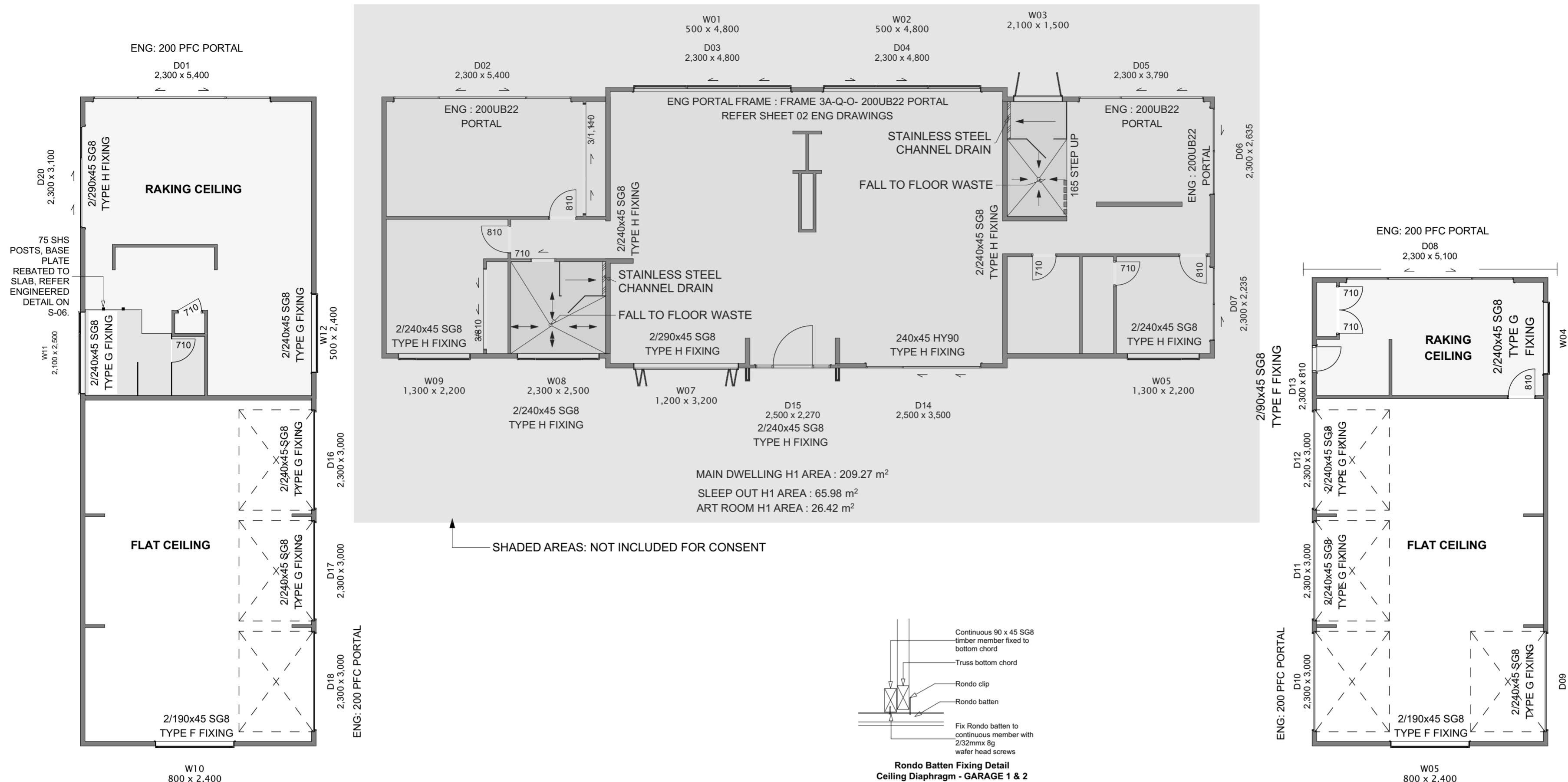


PLATE SIZES
TOP PLATES
SG8 & MATCH STUD SIZE FIXING: 2/90X3.15
SKEWED NAILS & WIRE DOGS OR ALTERNATIVE 4.7KN FIXING

STRAPPING PLATES
SG8 1490X35 FOR 140MM WALL

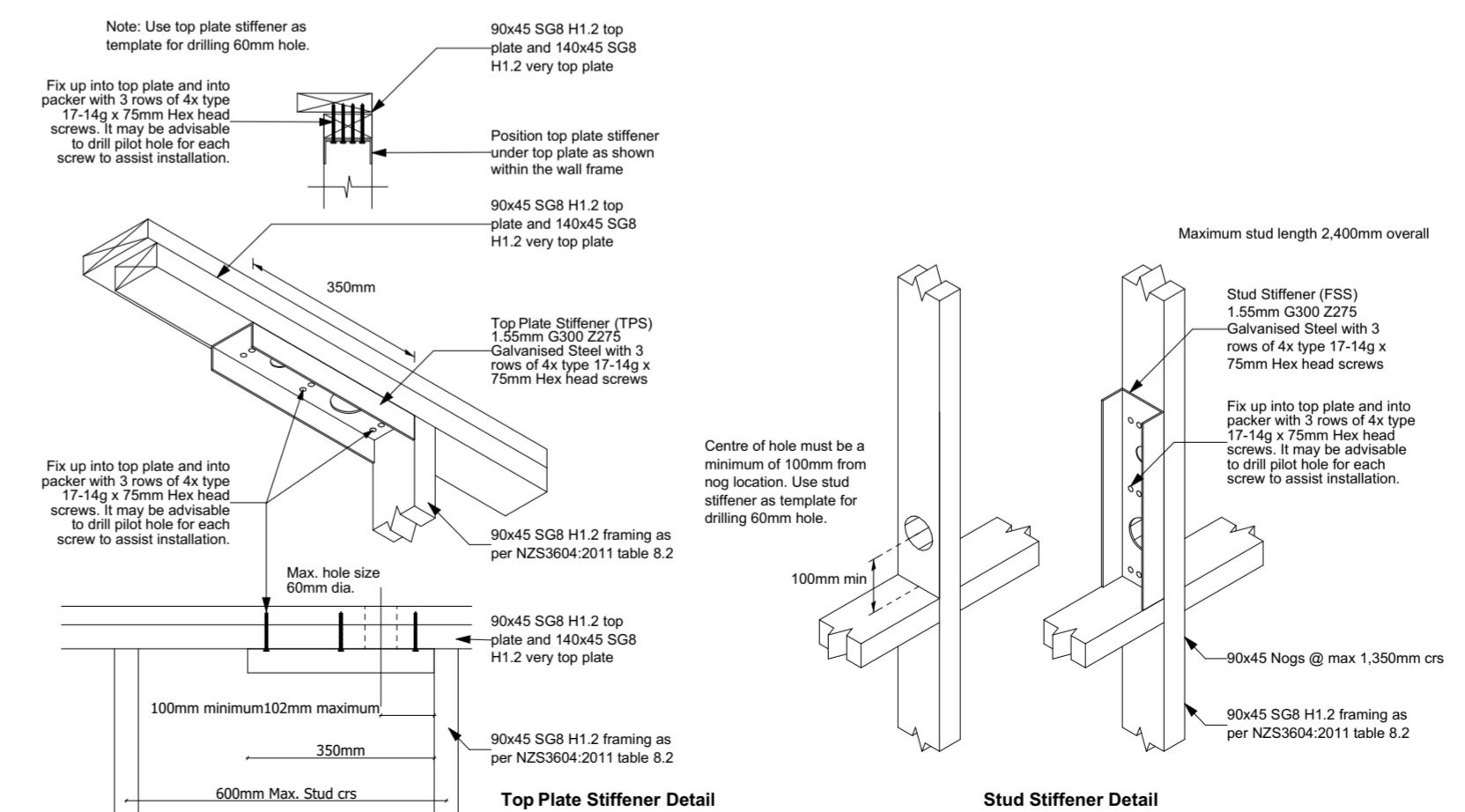
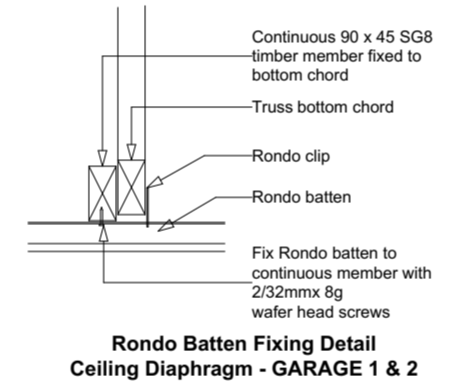
BOTTOM PLATES - CONCRETE FOUNDATION
GRADE: SG8 TO MATCH STUD SIZE
FIXING: LUMBERLOK BOTTOM PLATE FIXING ANCHOR
REF. PG 61 MITEK FIXINGS GUIDE - COMPLIES WITH NZS3604: 2011 CL. 7.5.12.2
2/30X3.15 DIA. LUMBERLOK PRODUCT NAILS@900 C/C MAX DRIVEN INTO SIDE OF BOTTOM PLATE WITH 2 OFF ADDITIONAL NAILS APPLIED THROUGH EACH OF THE LUGS
- SHOULD A STUD COINCIDE WITH POSITION OF FIXING ANCHOR: NAIL AS SHOWN FIG 3
1/75X4 DIA CONCRETE NAIL MUST BE FIXED ADJACENT EACH FIXING ANCHOR AT NO LESS THAN 70MM FROM CONCRETE EDGE

STUD SIZES
LOAD BEARING STUDS:
UP TO 2.4m = 140x45 RAD SG8 H1.2 600mm CTRS
UP TO 3.0m = 140x45 RAD SG8 H1.2 600mm CTRS

INTERNAL NON LOAD BEARING STUDS:
UP TO 2.7M = 90x45 RAD SG8 H1.2 600mm CTRS
UP TO 3.0M = 90x45 RAD SG8 H1.2 600mm CTRS

CAVITY BATTENS
• CAVITIES MUST COMPLY WITH E2/AS1 OF THE NZBC PARAGRAPHS 9.1.8 TO 9.1.9.4
• TIMBER CAVITY BATTENS SHALL BE MINIMUM 45MM X 18MM TO MATCH HEIGHT OF FRAMING AND BE MINIMUM H3.1 TREATED ACCORDING TO NZS3640.

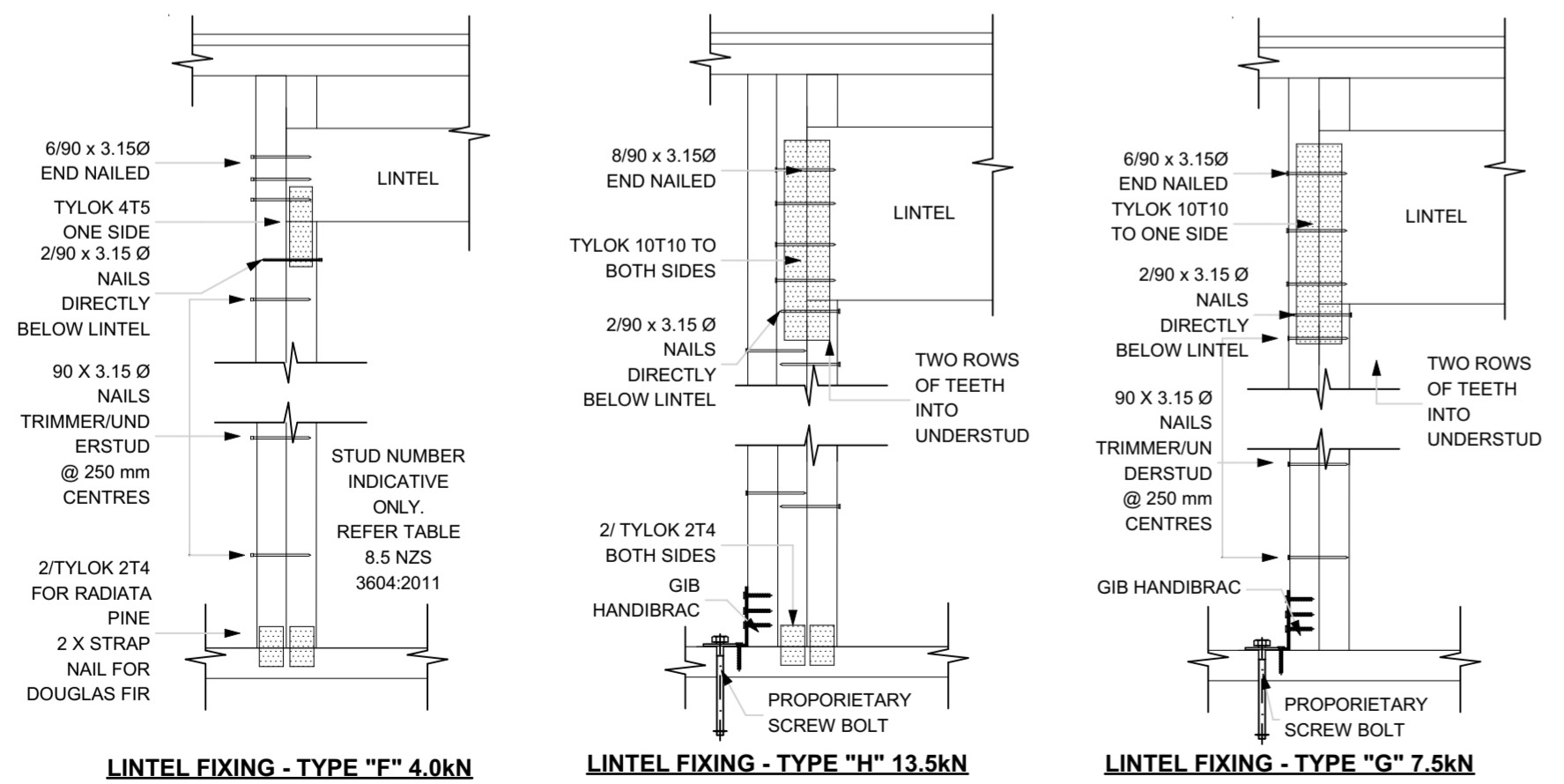
FIXING HORIZONTAL WEATHERBOARDS:
• STUDS MUST BE AT A SPACED AT A MAXIMUM OF 600MM BETWEEN CENTRES.
• DWANGS (NOGGINS) MUST BE SPACED AT A MAXIMUM OF 1200MM BETWEEN CENTRES.
• STUDS AND DWANGS MUST FORM A FLUSH PLANE FOR CAVITY BATTENS AND WEATHERBOARDS TO BE FIXED TO.



STUD TO TOP PLATE FIXING SCHEDULE

SOURCE: FIXING TABLE NZS 3604:2011 TABLE 8.18)

TYPE B	4.7KN
2/90 X 3.15Ø PLAIN STEEL WIRE NAILS DRIVEN VERTICALLY INTO STUD PLUS LUMBERLOK STUD STRAP (ONE FACE ONLY)	



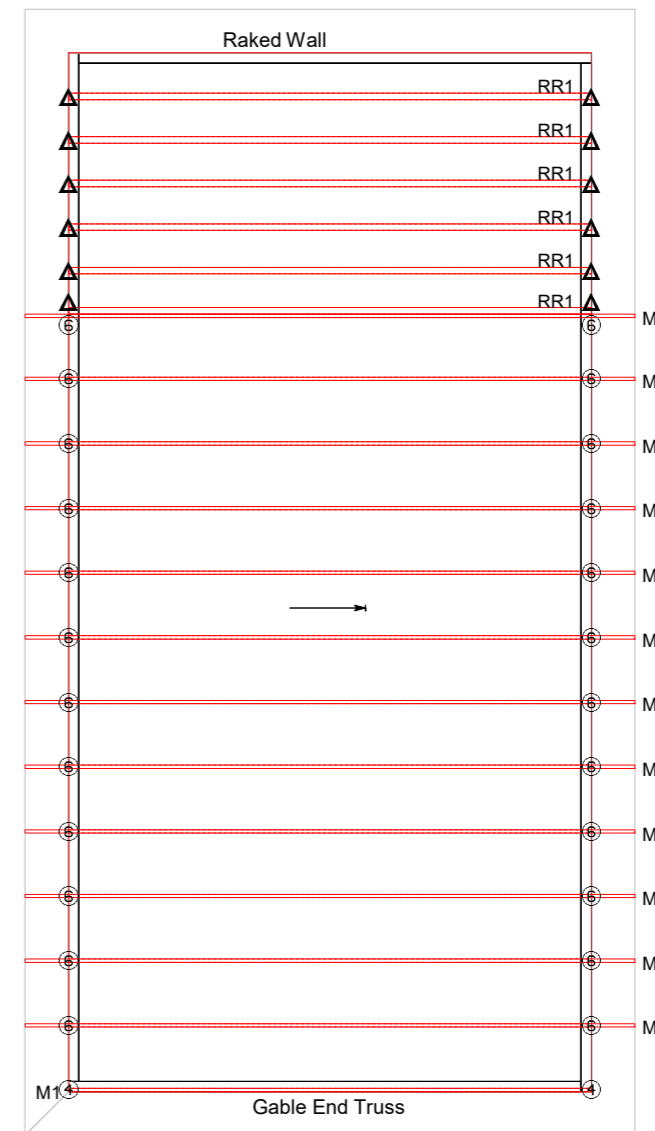
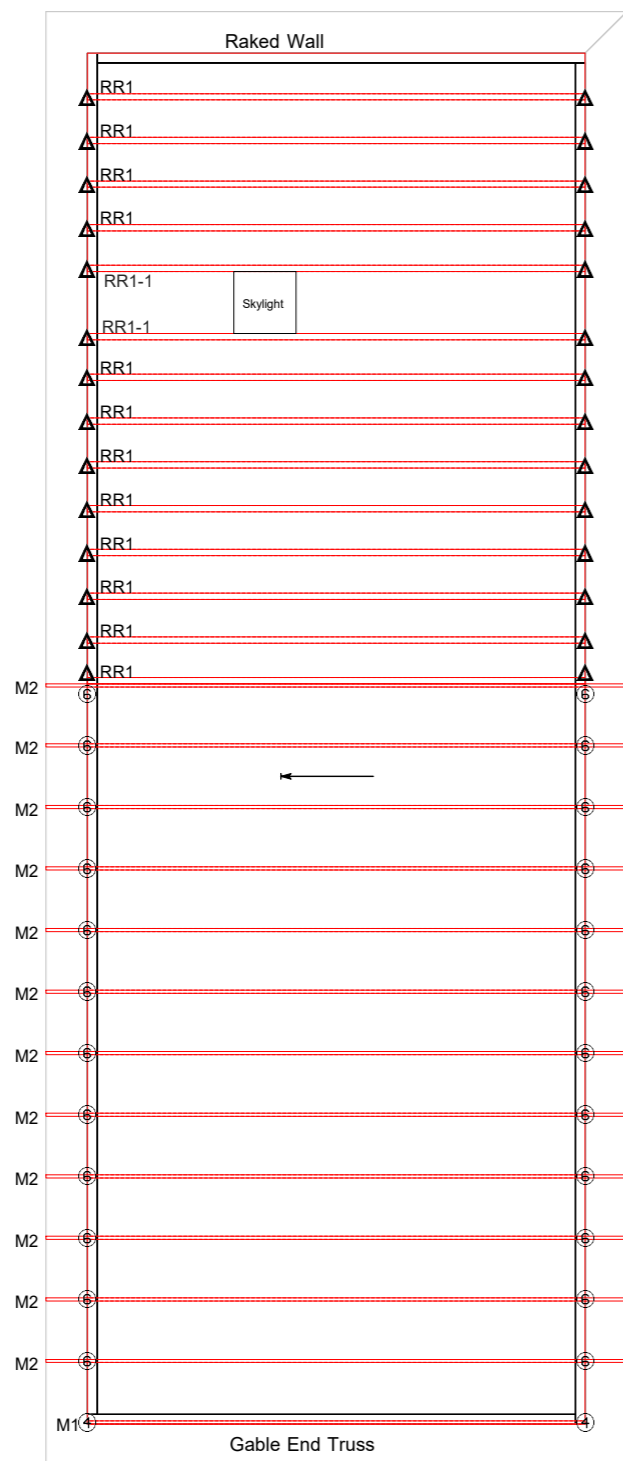
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RevID	ChID	Change Name	Date

PROPOSED GARAGES & GUEST ROOM	At	92 MAGNOLIA TREE WAY, KERIKERI	CS
For	Drawn	GLEESON BUILDERS & ASSOCIATES LTD	KB
	Checked		
	Project Number:	17 3130	
	Revision :	WD01	
	Plot Date	1/07/2024	
Drawing Title		LINTEL, STUDS & FIXINGS PLAN	
Drawing Number	Scale	12	Scale at A2
			1:100

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Truss Layout for Building Consent Purposes Only



Truss Connections

- Trusses need to be fixed at each timber support with 2/90x3.15 dia Skew Nails Plus a pair of Z nails or any other fixing otherwise noted.
- Gable trusses must be fixed with 1 SN25 below each vertical web.
- Pryda Screws (pre-fitted into the truss) don't require skew nails.
- Truss to truss connection to be fixed with 3/90x3.15 dia skew nails (top & bottom chords). Plus any fixings noted.

- ④ 4 x 1/NPPC4 Purlin Cleat
- ⑥ 48 x 1/NPPC6 Purlin Cleat
- ▲ 40 x 2/MPMGL Multigrip (long)

All heel heights 340mm

Gable End trusses have had their top chords dropped to allow for outriggers to run over the top.

Outriggers and Outrigger fixings designed by others.



Customer : GLEESON BUILDERS & ASSOC. LTD
 Site Address : 92 MAGNOLIA TREE WAY
 : Kerikeri

Roofing : Longrun
 Pitch : 4.00 Deg.
 Spacing : 900
 Design Wind Velocity : 44.00 m/s (Ult.)
 Detailer : Ethan Batchelor

Job Ref 23072198
 Scale
 Level

CONTRACTOR SHALL VERIFY ALL DIMENSIONS ON SITE BEFORE COMMENCING CONSTRUCTION. WRITTEN DIMENSIONS SUPERSEDE SCALED DIMENSIONS. REFER TO SPECIFICATIONS FOR RELEVANT TRADE CODES/REFERENCE DOCUMENTS WHICH FORM PART OF THIS CONTRACT.

ReviD	ChID	Change Name	Date



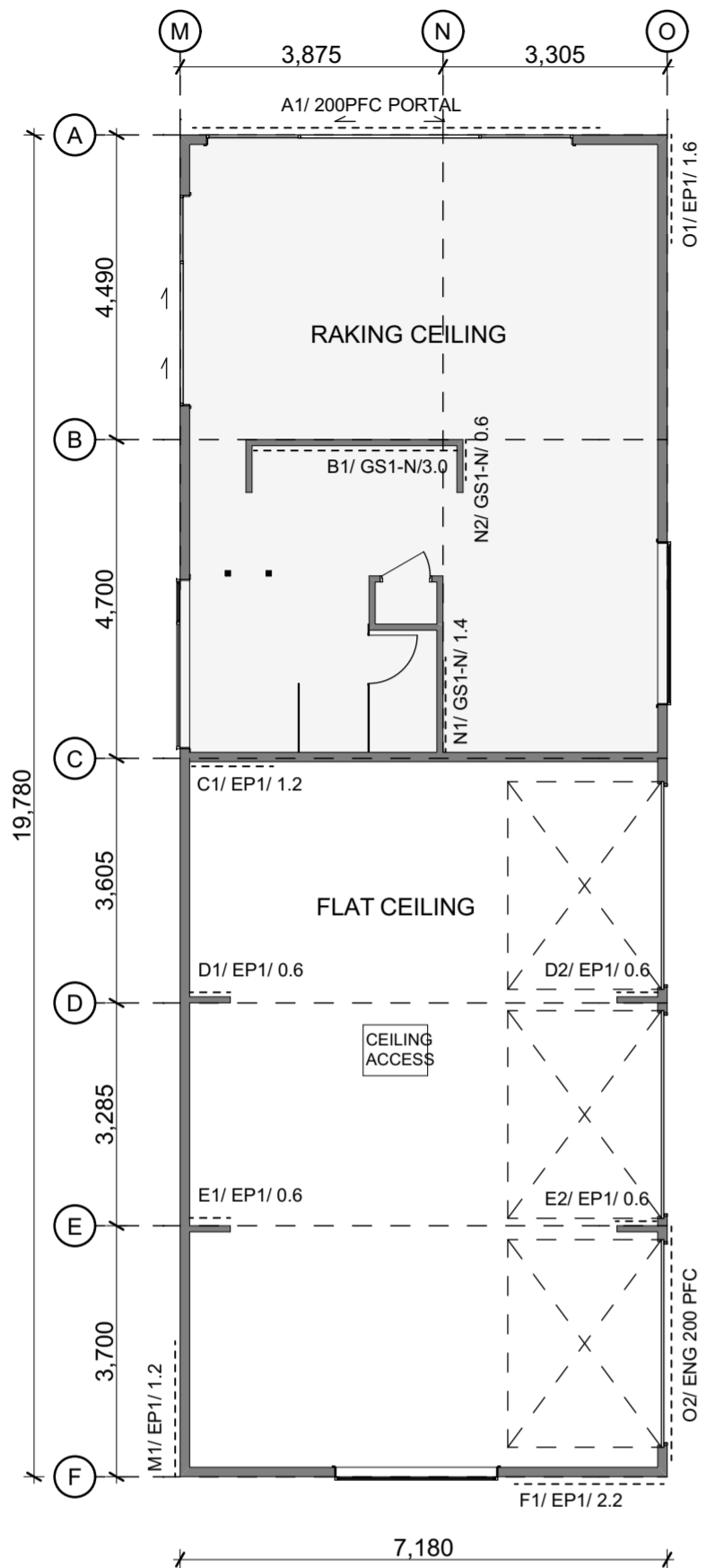
PROPOSED GARAGES & GUEST ROOM
 FOR
GLEESON BUILDERS & ASSOCIATES LTD
 AT
92 MAGNOLIA TREE WAY, KERIKERI

DRAWING TITLE
BUILDABLE TRUSS LAYOUT

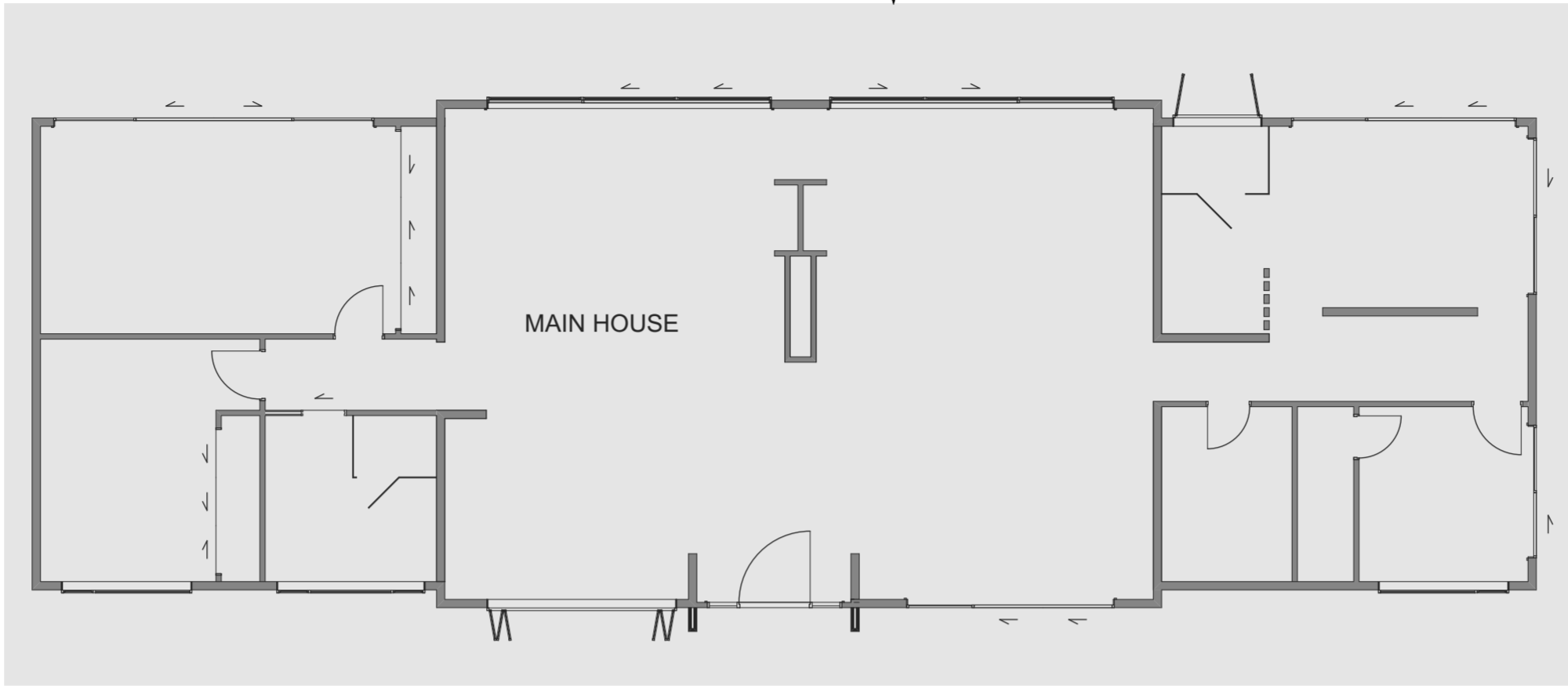
DRAWN	CS	DRAWING NUMBER
CHECKED	KB	13
PROJECT NUMBER:	17 3130	
REVISION:	WD01	REVISION
PLOT DATE	1/07/2024	

FNDC - Approved Building Consent Document - EBC-2025-3410 - Pg 50 of 58 - 30/07/2024 - J.O

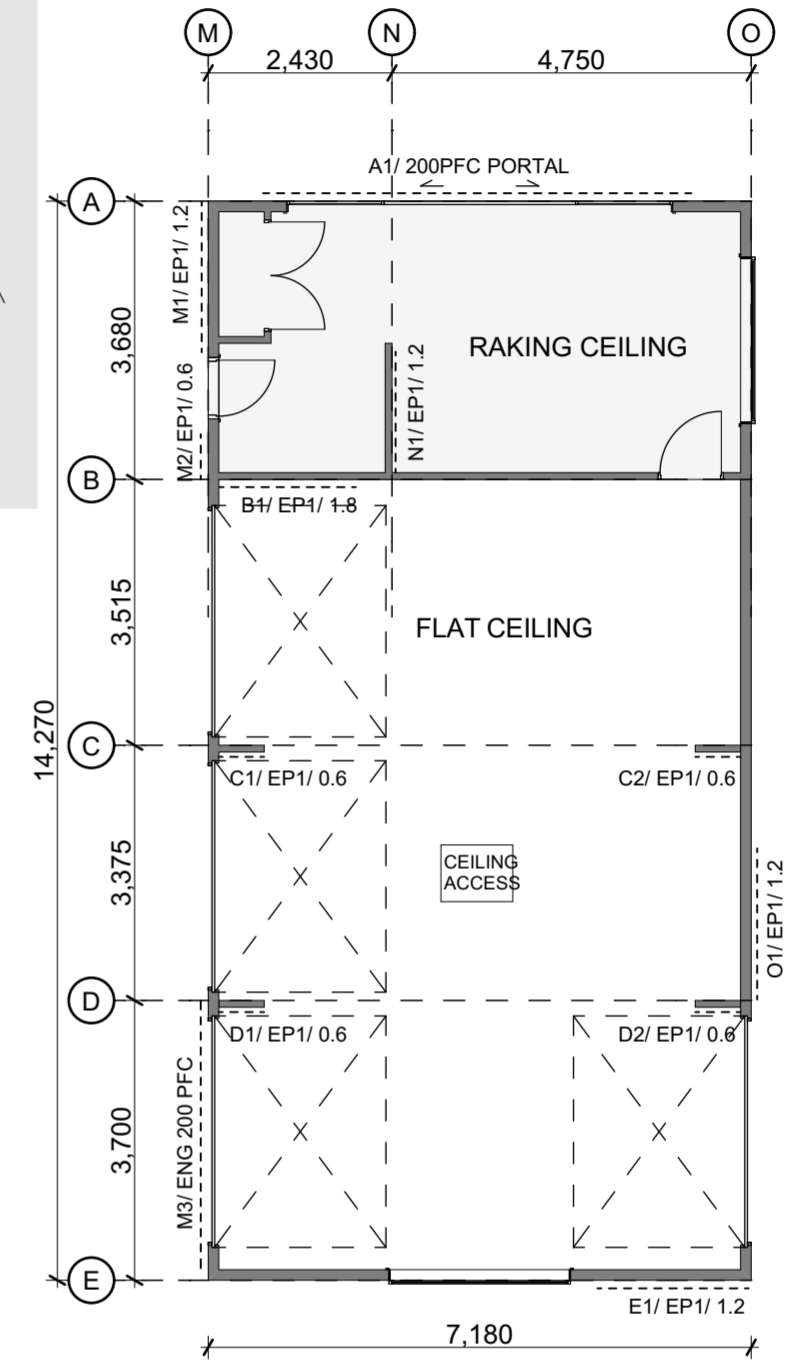
GARAGE 2
CONC. FLOOR
142.02m²



SHADED AREAS: NOT INCLUDED FOR CONSENT



GARAGE 1
CONC. FLOOR
102.45m²



- ECOPLY BRACING**
EP1: ECOPLY 7mm ONE SIDE
0.4m MIN. LENGTH 80BU/s/m WIND
95BU/s/m EQ
0.6m MIN. LENGTH 95BU/s/m WIND
105BU/s/m EQ
1.2m MIN. LENGTH 120BU/s/m WIND
135BU/s/m EQ
- EPG: ECOPLY 7mm ONE SIDE AND 10mm GIB
STANDARD OTHER SIDE
0.4m MIN. LENGTH 100BU/s/m WIND
115BU/s/m EQ
1.2m MIN. LENGTH 150BU/s/m WIND
150BU/s/m EQ

- WALL BRACING BOTTOM PLATE FIXING**
CONCRETE FLOOR SLABS IN ACCORDANCE WITH GIB EZYBRACE SYSTEMS 2016
GS1-N & GS2-N:
(GS2-N FOR INTERNAL WALLS ONLY)
75x3.8mm SHOT FIRED FASTENERS WITH 16mm WASHERS, 150mm + 300mm IN FROM EACH END WALL BRACE THEN 600mm C/C THEREAFTER.
- GIB EZYBRACE FIXING DETAILS**
REFER ATTACHED SPECIFICATIONS WHICH FORM PART OF THIS CONTRACT. ALL BOLT FIXINGS TO EXTERNAL WALLS AS PER 15KN FIXING SHALL BE CAST-IN.



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RevID	ChID	Change Name	Date

PROPOSED GARAGES & GUEST ROOM
For
GLEESON BUILDERS & ASSOCIATES LTD

At
92 MAGNOLIA TREE WAY, KERIKERI

Drawn	CS
Checked	KB
Project Number:	17 3130
Revision :	WD01
Plot Date	1/07/2024

Drawing Title	
WALL BRACING PLAN	
Drawing Number	Scale
14	1:100

GIB EzyBrace® Bracing Software

Demand Calculation Sheet

Job Details

Name:	GARAGE 1
Street and Number:	92 MAGNOLIA TREE WAY
Lot and DP Number:	LOT 8 DP488662
City/Town/District:	KERIKERI, FAR NORTH DISTRICT COUNCIL
Designer:	CS
Company:	FADS
Date:	Monday, 17 June 2024

Building Specification

Number of Storeys	1
Floor Loading	2 kPa
Foundation Type	Slab
Single	
Cladding Weight	Light
Roof Weight	Light
Room in Roof Space	No
Roof Pitch (degrees)	4
Roof Height above Eaves (m)	0
Building Height to Apex (m)	4.14
Ground to Lower Floor (m)	0.225
Average Stud Height (m)	2.4
Building Length (m)	14.270
Building Width (m)	7.180
Building Plan Area (m²)	102.45

Building Location

Wind Zone = High	Earthquake Zone 1
	Soil Type D & E (Deep to Very Soft)
	Annual Prob. of Exceedance: 1 in 500 (Default)

Bracing Units required for Wind

	Along	Across
Single Level	314	623

Bracing Units required for Earthquake

	Along & Across
Single Level	273

GIB EzyBrace® Version 12/18

GIB EzyBrace® Bracing Software

Single Level Along Resistance Sheet

Job Name: GARAGE 1

	Wind	EQ
Demand		
314	273	
Achieved		
562	600	
179%	220%	

Line	Element	Length (m)	Angle (degrees)	Stud Ht. (m)	Type	Supplier	Wind (BUs)	EQ (BUs)	Wind	EQ
M	1	1.20		2.87	EP1	Ecoply	95	105		
	2	0.60		2.87	EP1	Ecoply	48	53		
	3	2.00		2.4	PORTAL GARAGE	SED	200	200		
									343 OK	358 OK
N	1	1.20		2.6	EP1	Ecoply	105	116		
									105 OK	116 OK
O	1	1.20		2.4	EP1	Ecoply	114	126		
									114 OK	126 OK

GIB EzyBrace® Bracing Software

Single Level Across Resistance Sheet

Job Name: GARAGE 1

	Wind	EQ
Demand		
623	273	
Achieved		
626	678	
100%	249%	

Line	Element	Length (m)	Angle (degrees)	Stud Ht. (m)	Type	Supplier	Wind (BUs)	EQ (BUs)	Wind	EQ
A	1	1.00		2.4	200PFC	SED	126	126		
									126 OK	126 OK
B	1	1.80		2.6	EP1	Ecoply	158	174		
									158 OK	174 OK
C	1	0.60		2.4	EP1	Ecoply	57	63		
	2	0.60		2.4	EP1	Ecoply	57	63		
									114 OK	126 OK
D	1	0.60		2.4	EP1	Ecoply	57	63		
	2	0.60		2.4	EP1	Ecoply	57	63		
									114 OK	126 OK
E	1	1.20		2.4	EP1	Ecoply	114	126		
									114 OK	126 OK

RevID	ChID	Change Name	Date

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Demand Calculation Sheet

Job Details

Name:	GARAGE 2
Street and Number:	92 MAGNOLIA TREE WAY
Lot and DP Number:	LOT 8 DP488662
City/Town/District:	KERIKERI, FAR NORTH DISTRICT COUNCIL
Designer:	CS
Company:	FADS
Date:	Monday, 17 June 2024

Building Specification

Number of Storeys	1
Floor Loading	2 kPa
Foundation Type	Slab
Single	
Cladding Weight	Light
Roof Weight	Light
Room in Roof Space	No
Roof Pitch (degrees)	4
Roof Height above Eaves (m)	0
Building Height to Apex (m)	4.14
Ground to Lower Floor (m)	0.225
Average Stud Height (m)	2.4
Building Length (m)	19.780
Building Width (m)	7.180
Building Plan Area (m²)	65.98

Building Location

Wind Zone = High	Earthquake Zone 1
	Soil Type D & E (Deep to Very Soft)
	Annual Prob. of Exceedance: 1 in 500 (Default)

Bracing Units required for Wind

	Along	Across
Single Level	314	864

Bracing Units required for Earthquake

	Along & Across
Single Level	176

GIB EzyBrace® Version 12/18

GIB EzyBrace® Bracing Software



Single Level Along Resistance Sheet

Job Name: GARAGE 2

Line	Element	Length (m)	Angle (degrees)	Stud Ht. (m)	Type	Supplier	Wind (BUs)	EQ (BUs)	Wind	EQ
									Demand	
									314	176
									Achieved	
									562	576
									179%	328%
M	1	1.20		2.4	EP1	Ecoply	114	126	114 OK	126 OK
N	1	0.60		2.6	GS1-N	GIB®	32	32		
	2	1.40		2.6	GS1-N	GIB®	89	78	121 OK	110 OK
O	1	1.60		2.87	EP1	Ecoply	127	140		
	2	2.00		2.4	PDRAL GARAGE	SED	200	200	327 OK	340 OK

GIB EzyBrace® Bracing Software



Single Level Across Resistance Sheet

Job Name: GARAGE 2

Line	Element	Length (m)	Angle (degrees)	Stud Ht. (m)	Type	Supplier	Wind (BUs)	EQ (BUs)	Wind	EQ
									Demand	
									864	176
									Achieved	
									868	874
									100%	497%
A	1	1.00		2.4	200PFC	SED	126	126	126 OK	126 OK
B	1	3.00		2.8	GS1-N	GIB®	177	154	177 OK	154 OK
C	1	2.00		2.6	GS1-N	GIB®	127	111	127 OK	111 OK
D	1	0.60		2.4	EP1	Ecoply	57	63		
	2	0.60		2.4	EP1	Ecoply	57	63	114 OK	126 OK
E	1	0.60		2.4	EP1	Ecoply	57	63		
	2	0.60		2.4	EP1	Ecoply	57	63	114 OK	126 OK
F	1	2.20		2.4	EP1	Ecoply	209	231	209 OK	231 OK

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RevID	ChID	Change Name	Date

PROPOSED GARAGES & GUEST ROOM
For
GLEESON BUILDERS & ASSOCIATES LTD

At
92 MAGNOLIA TREE WAY,
KERIKERI

Drawn	CS
Checked	KB
Project Number:	17 3130
Revision :	WD01
Plot Date	1/07/2024

Drawing Title	
WALL BRACING CALCULATIONS	
Drawing Number	Scale
16	Scale at A2

ALL JOINERY SHALL BE MEASURED ON SITE BEFORE COMMENCING FABRICATION.
WIND ZONE : HIGH
RS : RESTRICTOR STAYS ON WINDOWS WITH SILL LEVEL 760mm OR LESS ABOVE FFL
OBSC = OBSCURE GLASS
S = SAFTEY GLASS

GENERAL:
- SITE MEASURE ALL JOINERY & CHECK PRIOR TO CONSTRUCTION
- WINDOW SUITE DESIGN TO ALLOW FOR HIGH WIND ZONE.

JOINERY:
- FINISH TO BE POWDER COATED ALUMINIUM (SCRATCHED JOINERY WILL BE REJECTED)
- FLUSH JAMBS WITH PLANTED ARCHITRAVES, REFER DETAILS/SPEC

HARDWARE:
TO LATER SCHEDULE TO OWNERS APPROVAL

GLASS:
- ALL GLASS TO NZS 4223 PART 3 AND SHALL COMPLY WITH AS1/F2 HAZARDOUS BUILDING MATERIALS
- RO 37 THERMALLY IMPROVED, LOW-E DOUBLE GLAZING AS PER H1 REQUIREMENTS SHALL BE PROVIDED TO ALL WINDOWS AND DOORS EXCEPT GARAGE DOOR & WINDOWS

INSTALLATION:
- BUILDING PAPER SHALL BE FOLDED INTO PERIMETER OF ALL OPENINGS TO INSIDE FACE OF FRAMING
- ALL CORNERS SHALL BE TAPED /FLEXIBLE FLASHING TAPE APPLIED TO HEAD/SILL WITH SELECTED TAPE SYSTEM
- HEAD/ SILL & JAMB FLASHINGS THROUGHOUT ALL TO E2/AS1 APPROVED INSTALLATION
- SILL BARS : ALL DOORS/ WINDOWS WITH TRIM OPENING WIDER THAN 600mm

WINDOW MANUFACTURER SHALL CONFIRM
- DOOR REBATES WITH OWNER BEFORE COMMENCING FABRICATION
- OPENINGS & JOINERY SIZES ON SITE BEFORE COMMENCING FABRICATION
- FINAL GLAZING SPECIFICATION

PANEL DETAILS	HUMAN IMPACT SAFETY REQUIREMENTS
FRAMED SHOWER SCREEN & BATH ENCLOSURES	GRADE A SAFETY GLAZING MATERIAL IN ACCORDANCE WITH TABLE 3.1 (308.1(A))
PANELS & DOORS WITH ONE UNFRAMED EDGE	TOUGHENED SAFETY GLASS MINIMUM THICKNESS 6MM (308.2)
FRAMELESS PIVOT OR HINGE DOORS	TOUGHENED SAFETY GLASS MINIMUM THICKNESS 6MM (308.4)
GLAZING WITHIN 1500MM ABOVE THE ABUTTING FINISHED FLOOR LEVEL OR STANDING AREA OF A BATH OR SHOWER	GRADE A SAFETY GLAZING MATERIAL IN ACCORDANCE WITH TABLE 3.1 (308.1 (B))
GLAZING GREATER THAN 1500MM ABOVE THE ABUTTING FINISHED FLOOR LEVEL OR STANDING AREA OF A BATH OR SHOWER	ANNEALED GLASS TO NZS 4223:PART 4

SHADED AREAS: NOT INCLUDED FOR CONSENT

DOOR SCHEDULE										
ID	D01	D02	D03	D04	D05	D06	D07	D08	D09	D10
HEIGHT	2,300	2,300	2,300	2,300	2,300	2,300	2,300	2,300	2,300	2,300
WIDTH	5,400	5,400	4,800	4,800	3,790	2,635	2,235	5,100	3,000	3,000
SILL HEIGHT	0	0	0	0	0	0	0	0	0	0
HEAD HEIGHT	2,300	2,300	2,300	2,300	2,300	2,300	2,300	2,300	2,300	2,300
ALL VIEWS SHALL BE CONFIRMED BEFORE COMMENCING CONSTRUCTION										

DOOR SCHEDULE									
ID	D11	D12	D13	D14	D15	D16	D17	D18	D20
HEIGHT	2,300	2,300	2,300	2,500	2,500	2,300	2,300	2,300	2,300
WIDTH	3,000	3,000	810	3,500	2,270	3,000	3,000	3,000	3,100
SILL HEIGHT	0	0	0	0	0	0	0	0	0
HEAD HEIGHT	2,300	2,300	2,300	2,500	2,500	2,300	2,300	2,300	2,300
ALL VIEWS SHALL BE CONFIRMED BEFORE COMMENCING CONSTRUCTION									

WINDOW SCHEDULE												
ID	W01	W02	W03	W04	W05	W05	W07	W08	W09	W10	W11	W12
HEIGHT	500	500	2,100	800	800	1,300	1,200	2,300	1,300	800	2,100	500
WIDTH	4,800	4,800	1,500	2,200	2,400	2,200	3,200	2,500	2,200	2,400	2,500	2,400
HEAD HEIGHT	3,400	3,400	2,300	2,300	2,300	2,300	2,200	2,300	2,300	2,300	2,300	2,300
SILL HEIGHT	2,900	2,900	200	1,500	1,500	1,000	1,000	0	1,000	1,500	200	1,800
AREA	2.40	2.40	3.15	1.76	1.92	2.86	3.84	5.75	2.86	1.92	5.25	1.20
ALL VIEWS SHALL BE CONFIRMED BEFORE COMMENCING CONSTRUCTION												

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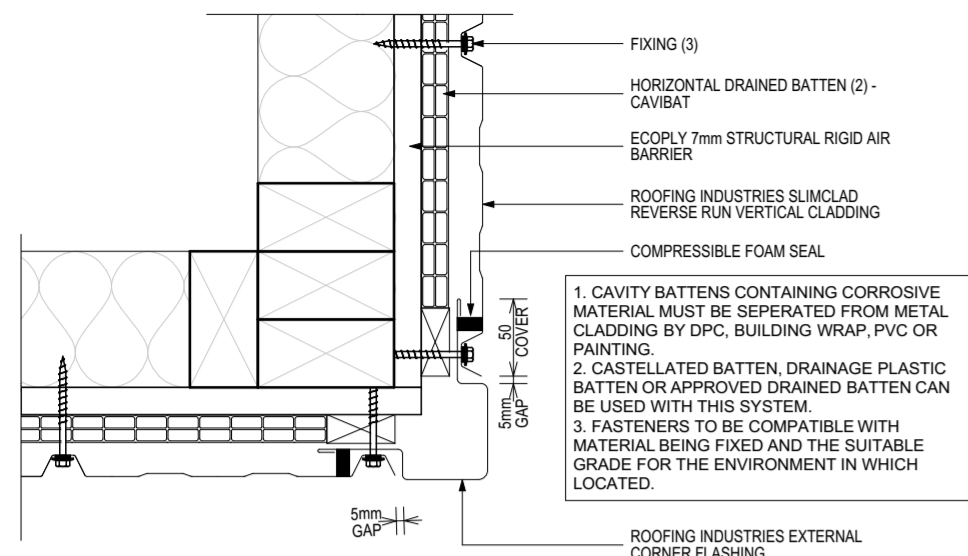
RevID	ChID	Change Name	Date

PROPOSED GARAGES & GUEST ROOM
For
GLEESON BUILDERS & ASSOCIATES LTD

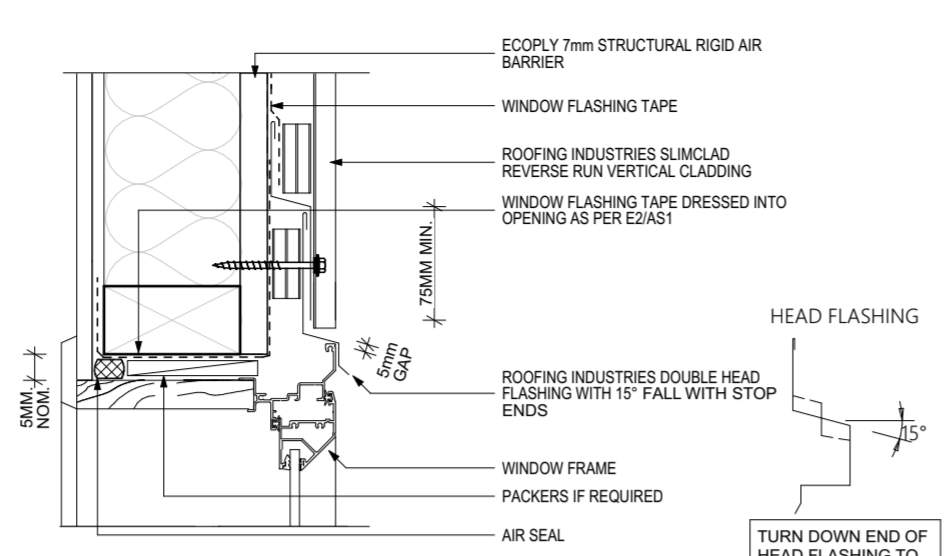
At
92 MAGNOLIA TREE WAY,
KERIKERI

Drawn CS
Checked KB
Project Number: 17 3130
Revision: WD01
Plot Date: 1/07/2024

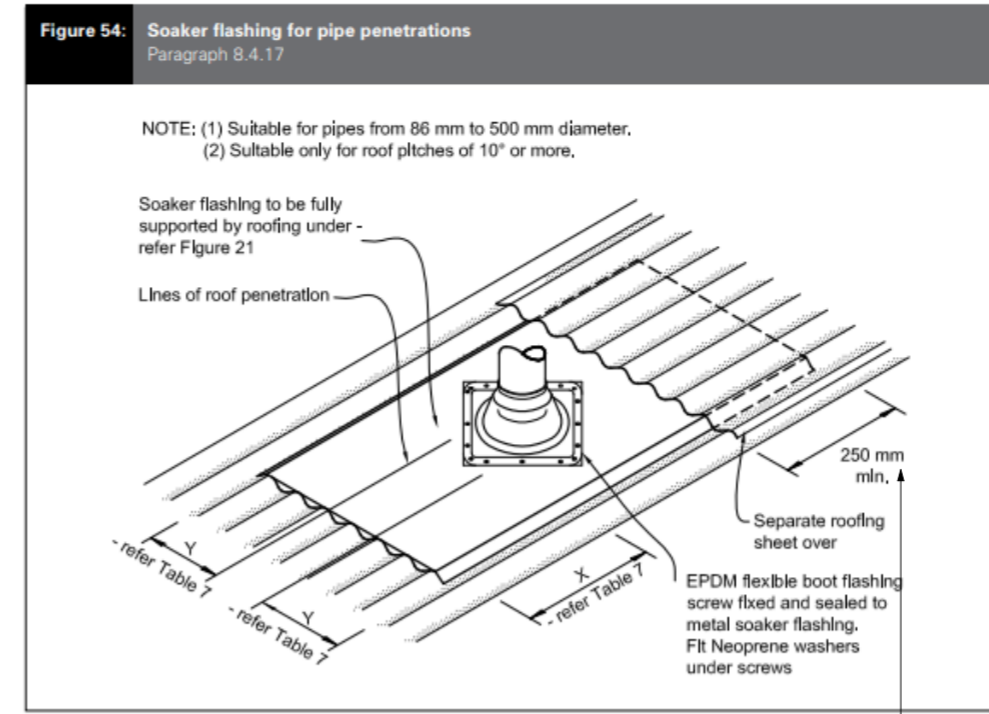
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JOINERY SCHEDULES
Drawing Number: 17
Scale: 1:1



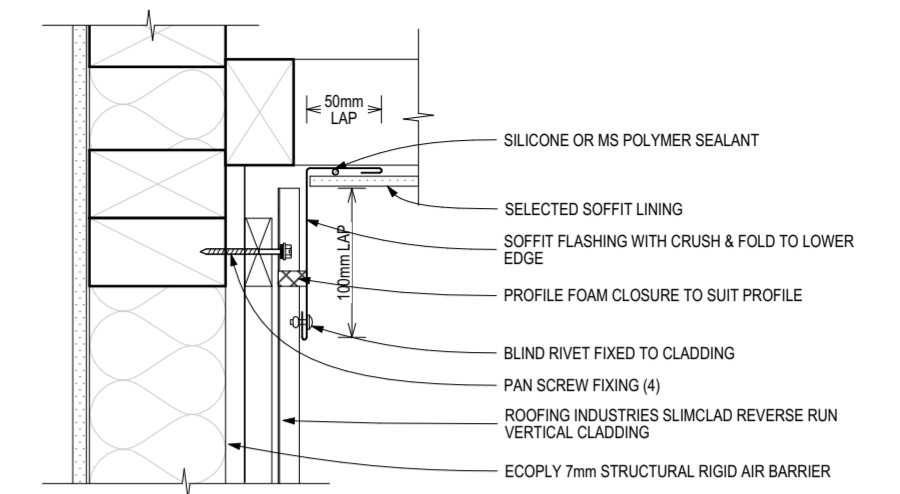
REVERSE RUN SLIMCLAD CLADDING VERTICAL INSTALL - EXTERNAL CORNER



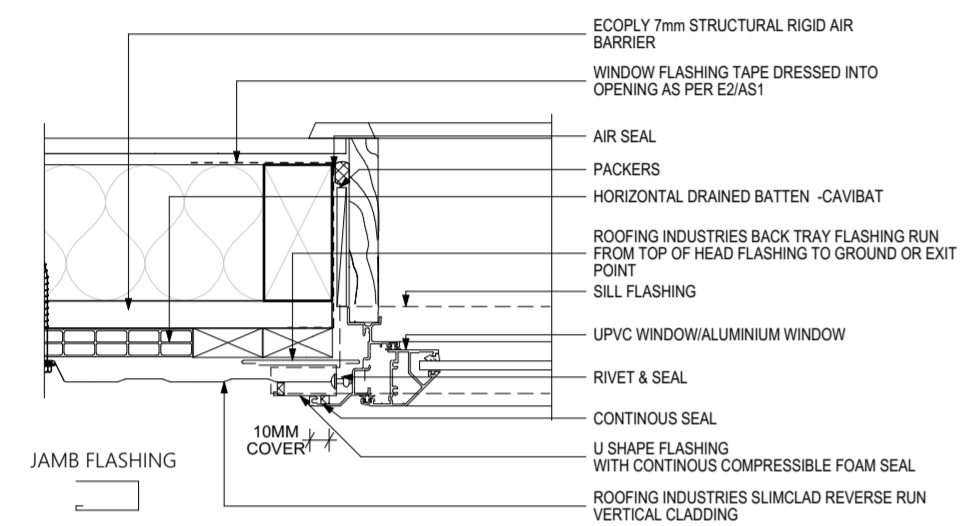
REVERSE RUN SLIMCLAD CLADDING VERTICAL INSTALL - WINDOW HEAD



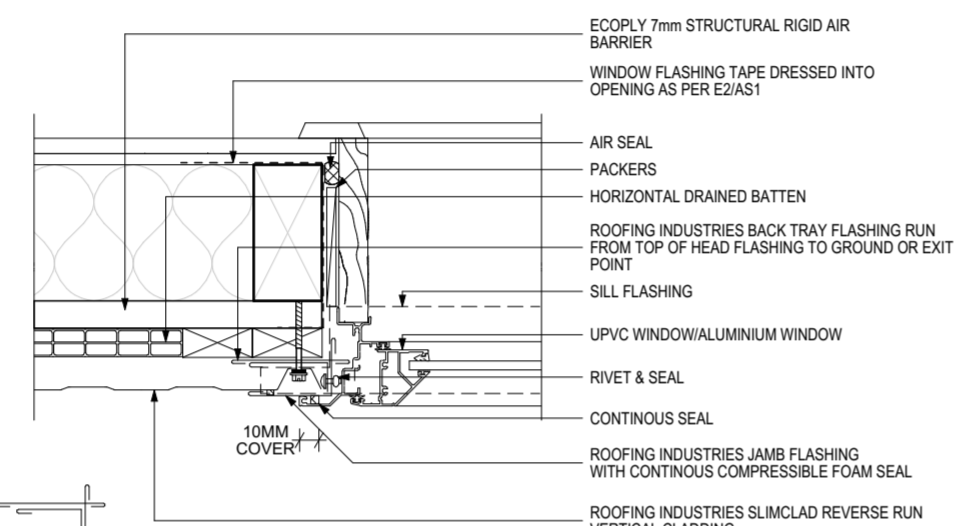
REVERSE RUN SLIMCLAD CLADDING PIPE PENETRATION E2/AS1 - WHERE X = 200mm & Y = 2 CRESTS



REVERSE RUN SLIMCLAD CLADDING VERTICAL INSTALL - FLAT SOFFIT JUNCTION

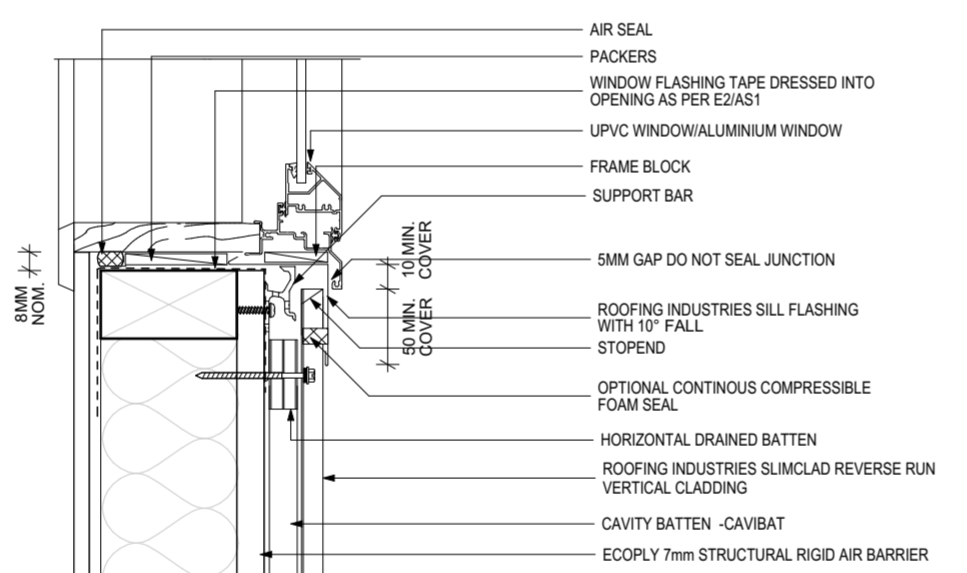


REVERSE RUN SLIMCLAD CLADDING VERTICAL INSTALL - WINDOW JAMB

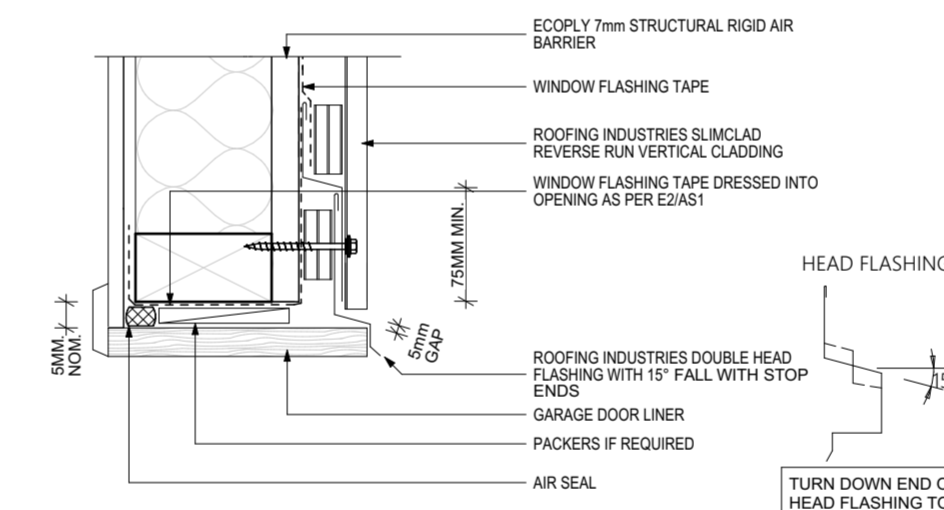


REVERSE RUN SLIMCLAD CLADDING VERTICAL INSTALL - WINDOW JAMB

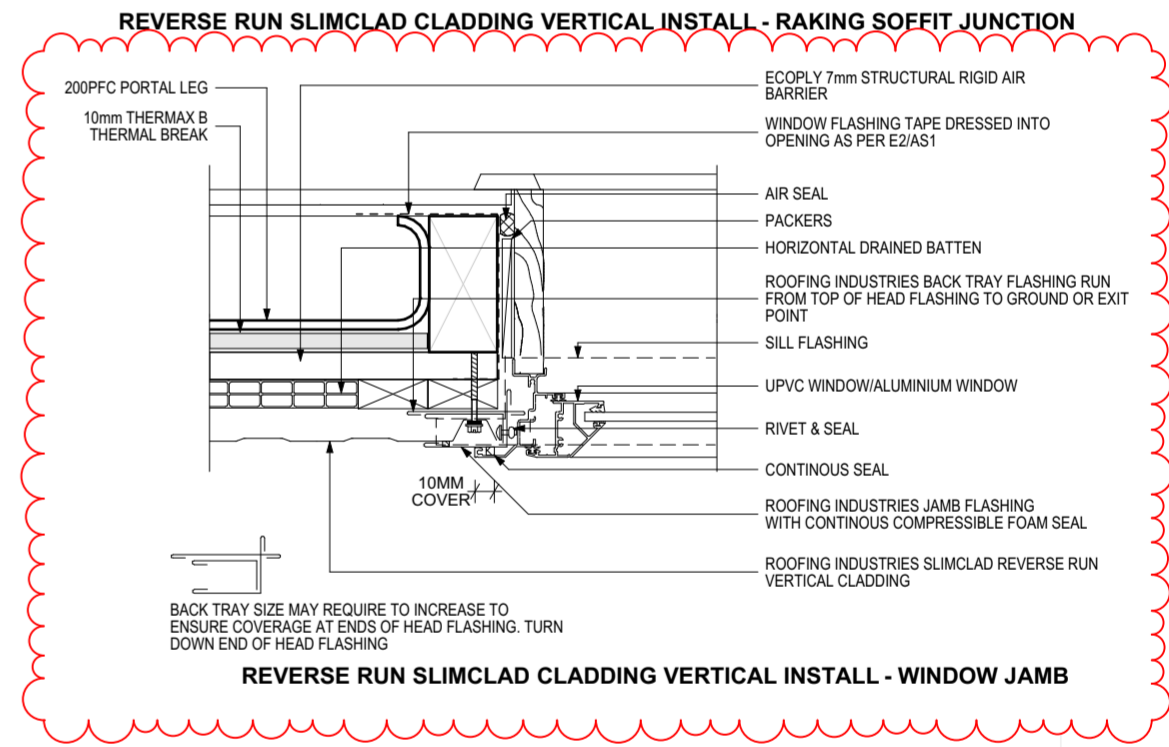
1. REFER TO E2/AS1 FOR GENERAL WINDOW OPENING FOR WRAPPING OF FRAMED OPENING PRIOR TO WINDOW INSTALLATION.
2. WINDOW PROFILE TO BE SELECTED TO ACHIEVE COVER SHOWN IN DETAILS.
3. ARCHITRAVES ARE SHOWN FOR CONSISTENCY ONLY. DETAIL MAY BE USED WITH REBATED LINER.
4. WHERE SUPPORT BRACKETS ARE REQUIRED BY THE WINDOW MANUFACTURER TO CARRY THE FRAME AND GLAZING LOADS THEY MUST BE SUPPLIED AS AN INTEGRAL PART OF THE WINDOW MANUFACTURERS RECOMMENDATIONS.
5. LIASE WITH WINDOW MANUFACTURER PRIOR TO INSTALLATION.
6. SEAL HEAD FLASHING TO WINDOW IN VERY HIGH & EXTRA HIGH WIND ZONES.
7. CAVITY BATTENS CONTAINING CORROSIVE MATERIAL MUST BE SEPERATED FROM METAL CLADDING BY DPC, BUILDING WRAP, PVC OR PAINTING.
8. CASTELLATED BATTEN, DRAINAGE PLASTIC BATTEN OR APPROVED DRAINED BATTEN CAN BE USED WITH THIS SYSTEM.
9. FASTENERS TO BE COMPATIBLE WITH MATERIAL BEING FIXED AND THE SUITABLE GRADE FOR THE ENVIRONMENT IN WHICH LOCATED.
10. ALTERNATIVELY REFER TO E2/AS1 FOR FLASHING COVER GUIDANCE.



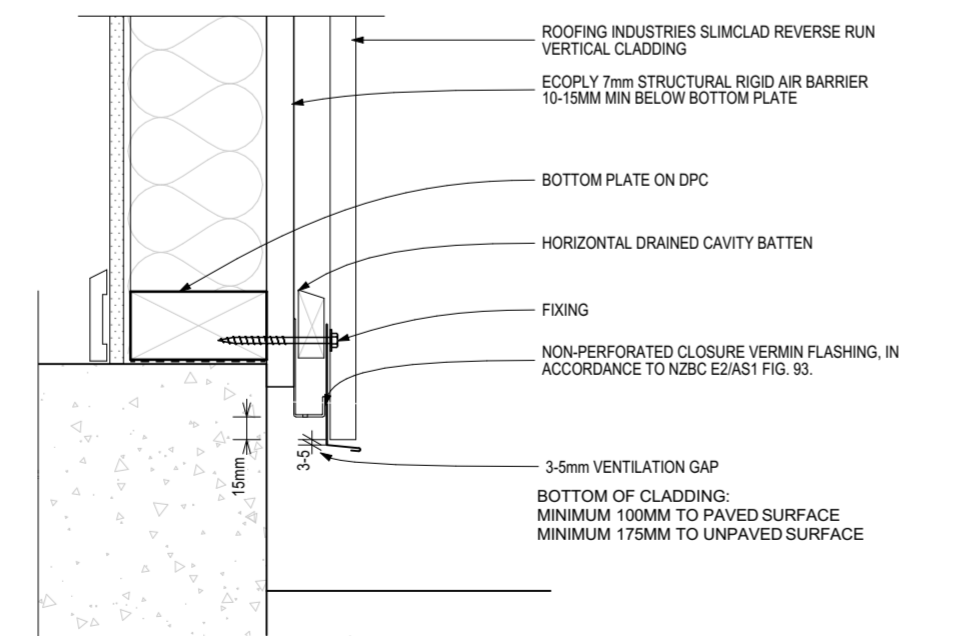
REVERSE RUN SLIMCLAD CLADDING VERTICAL INSTALL - WINDOW SILL



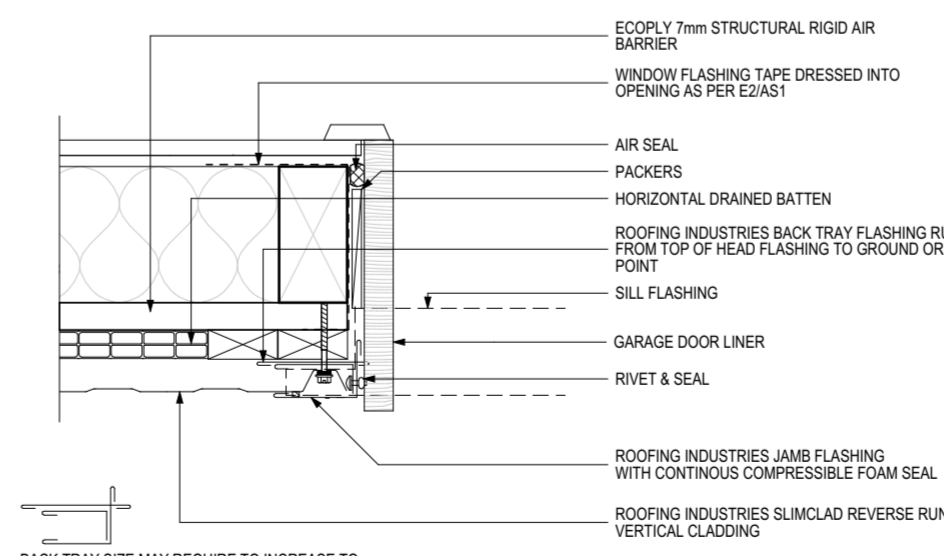
REVERSE RUN SLIMCLAD CLADDING VERTICAL INSTALL - GARAGE DOOR HEAD



REVERSE RUN SLIMCLAD CLADDING VERTICAL INSTALL - WINDOW JAMB



REVERSE RUN SLIMCLAD CLADDING VERTICAL INSTALL - WALL BASE CONCRETE FLOOR



REVERSE RUN SLIMCLAD CLADDING VERTICAL INSTALL - GARAGE DOOR JAMB



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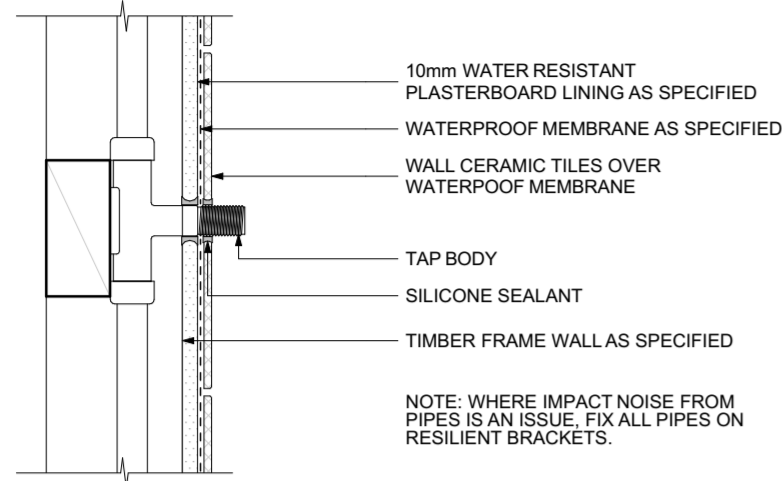
RevID	ChID	Change Name	Date
01			23/07/2024

PROPOSED GARAGES & GUEST ROOM
For
GLEESON BUILDERS & ASSOCIATES LTD

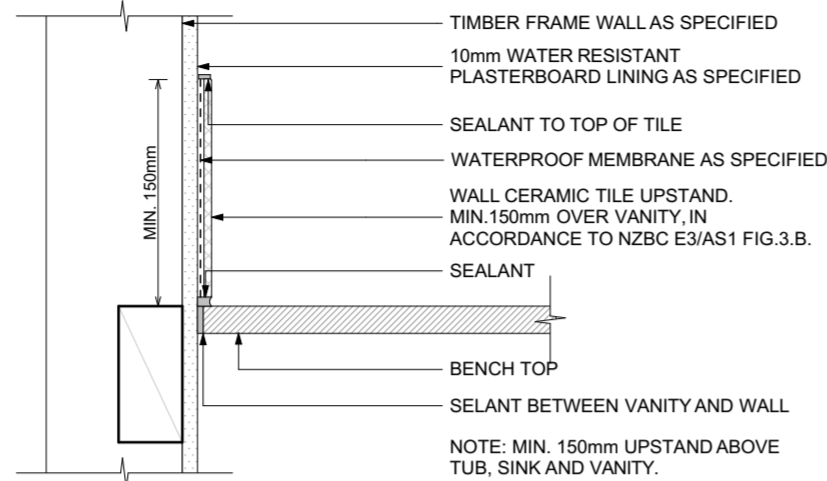
At
92 MAGNOLIA TREE WAY, KERIKERI

Drawn CS
Checked KB
Project Number: 17 3130
Revision: WDO1
Plot Date: 24/07/2024

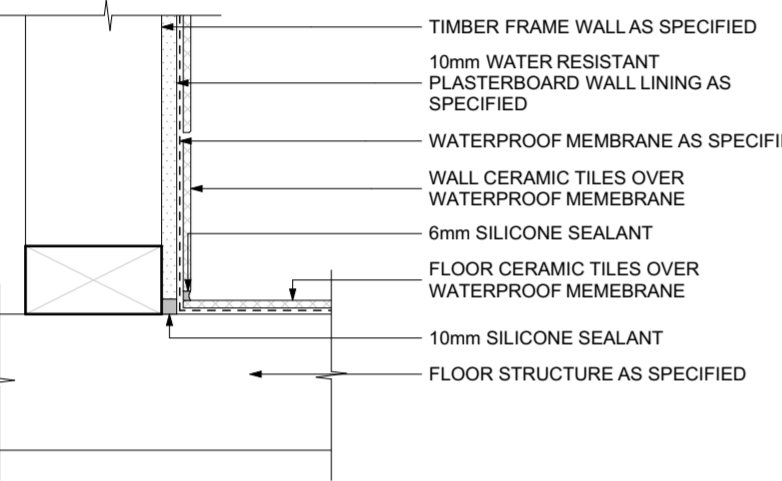
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CLADDING DETAILS - SLIMCLAD	
Drawing Number	Scale
18	Scale at A2



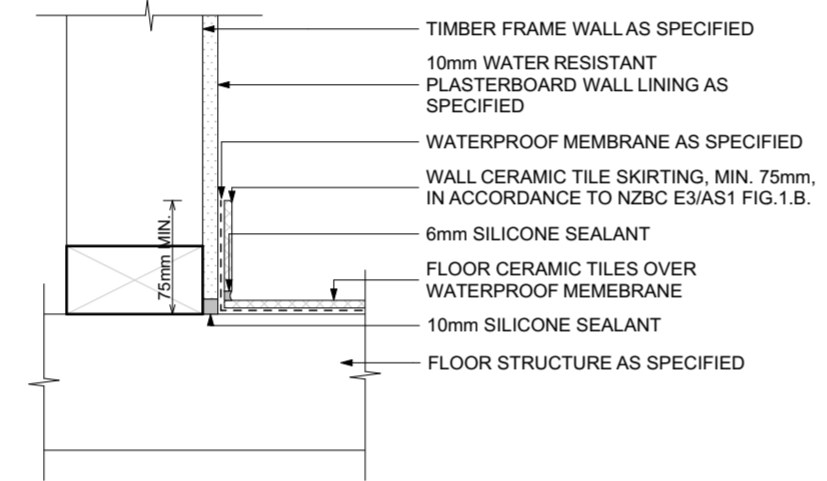
TILED WALLS PENETRATION DETAIL



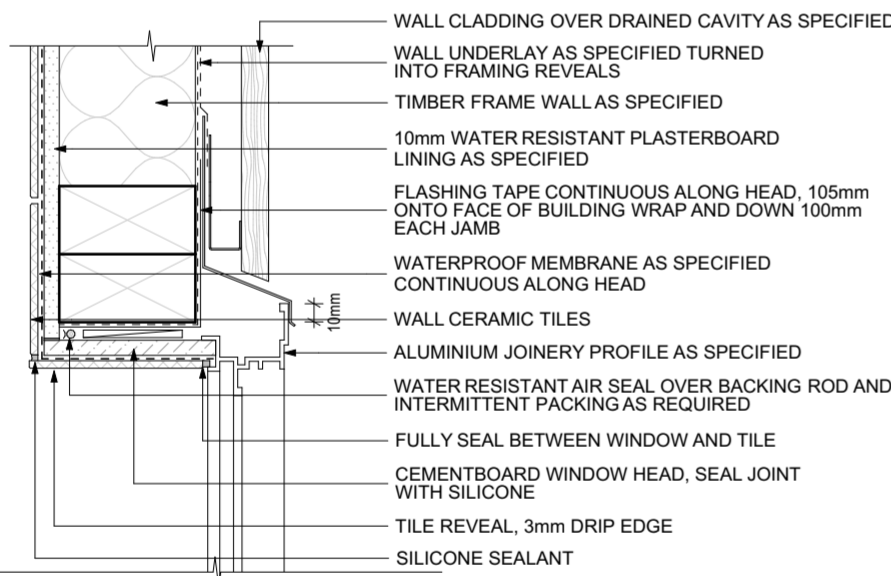
TILED UPSTAND DETAIL



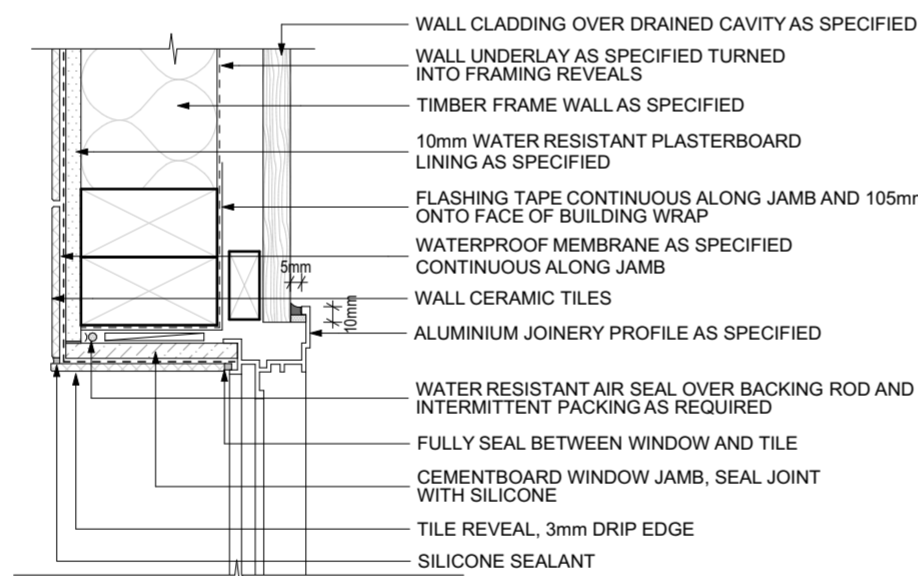
TILED WALL TO FLOOR JUNCTION DETAIL



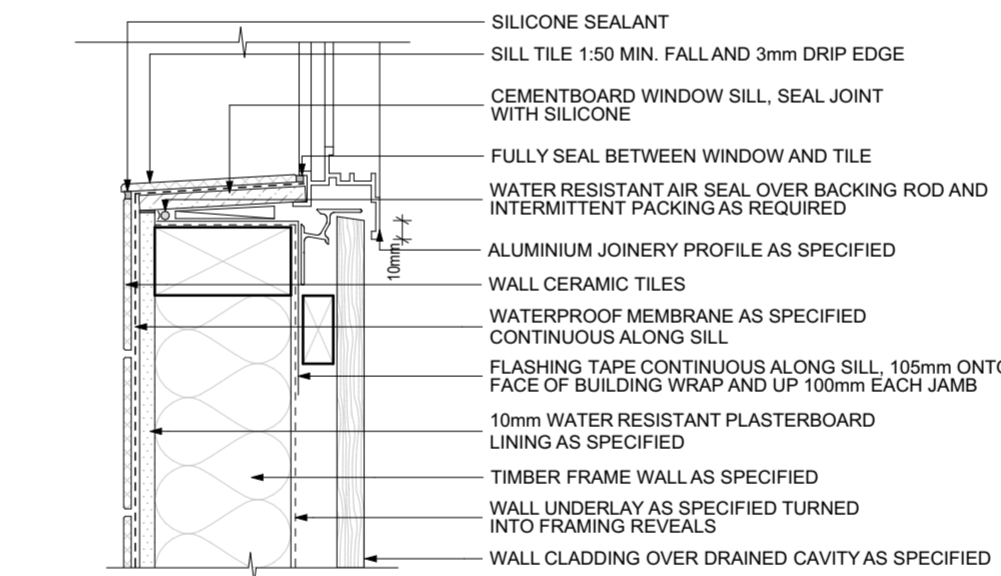
TILED SKIRTING DETAIL



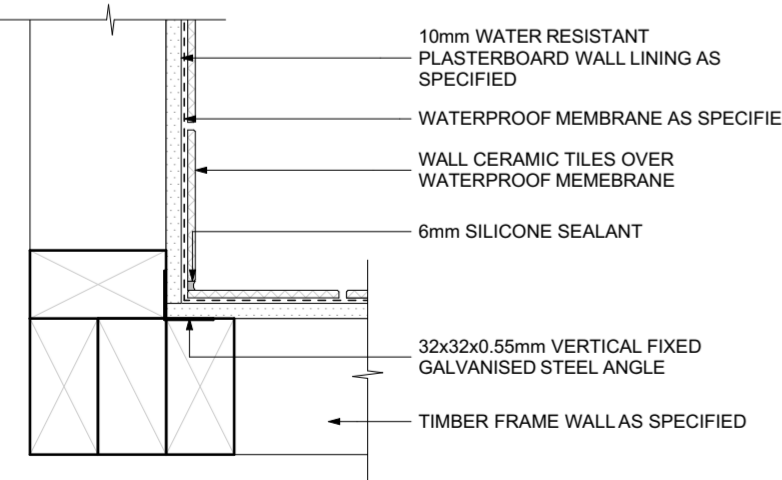
ALUMINIUM WINDOW IN SHOWER - HEAD



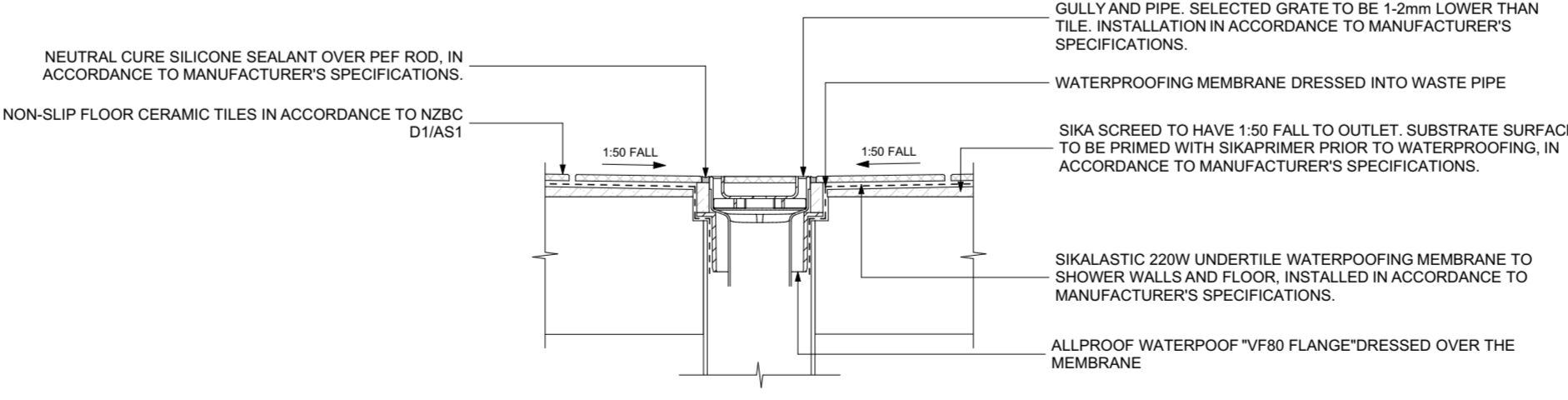
ALUMINIUM WINDOW IN SHOWER - JAMB



ALUMINIUM WINDOW IN SHOWER - SILL

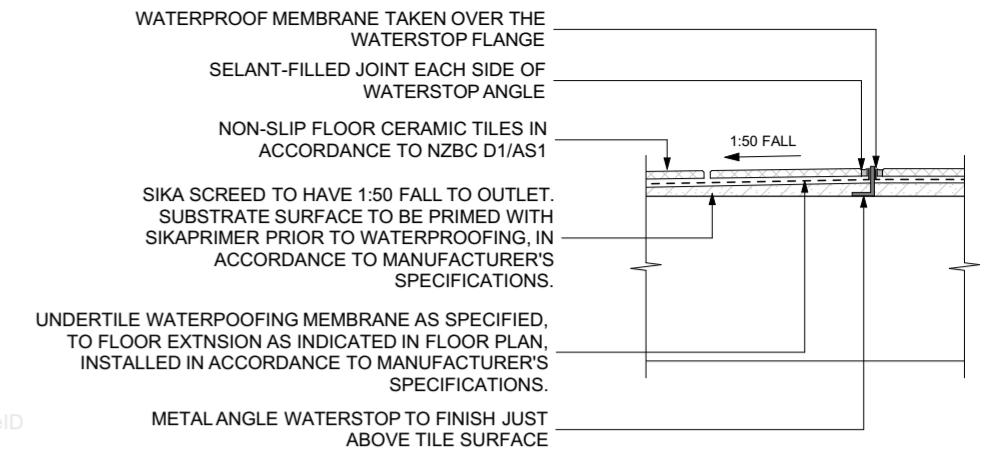


TILED WALLS INTERNAL CORNER DETAIL - PLAN VIEW

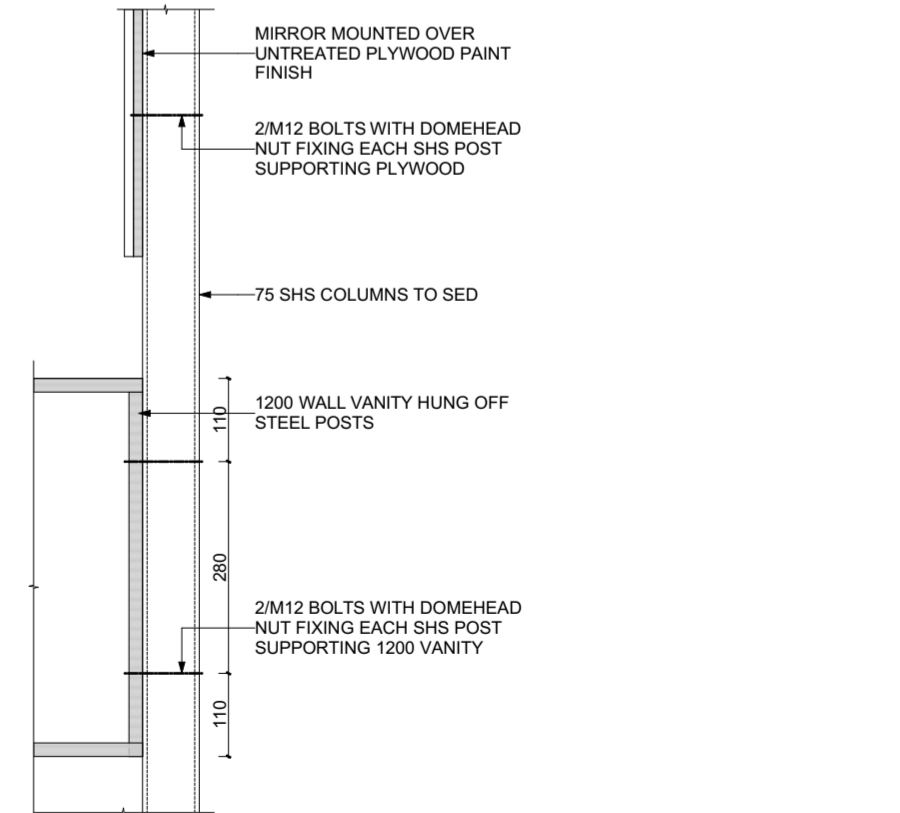
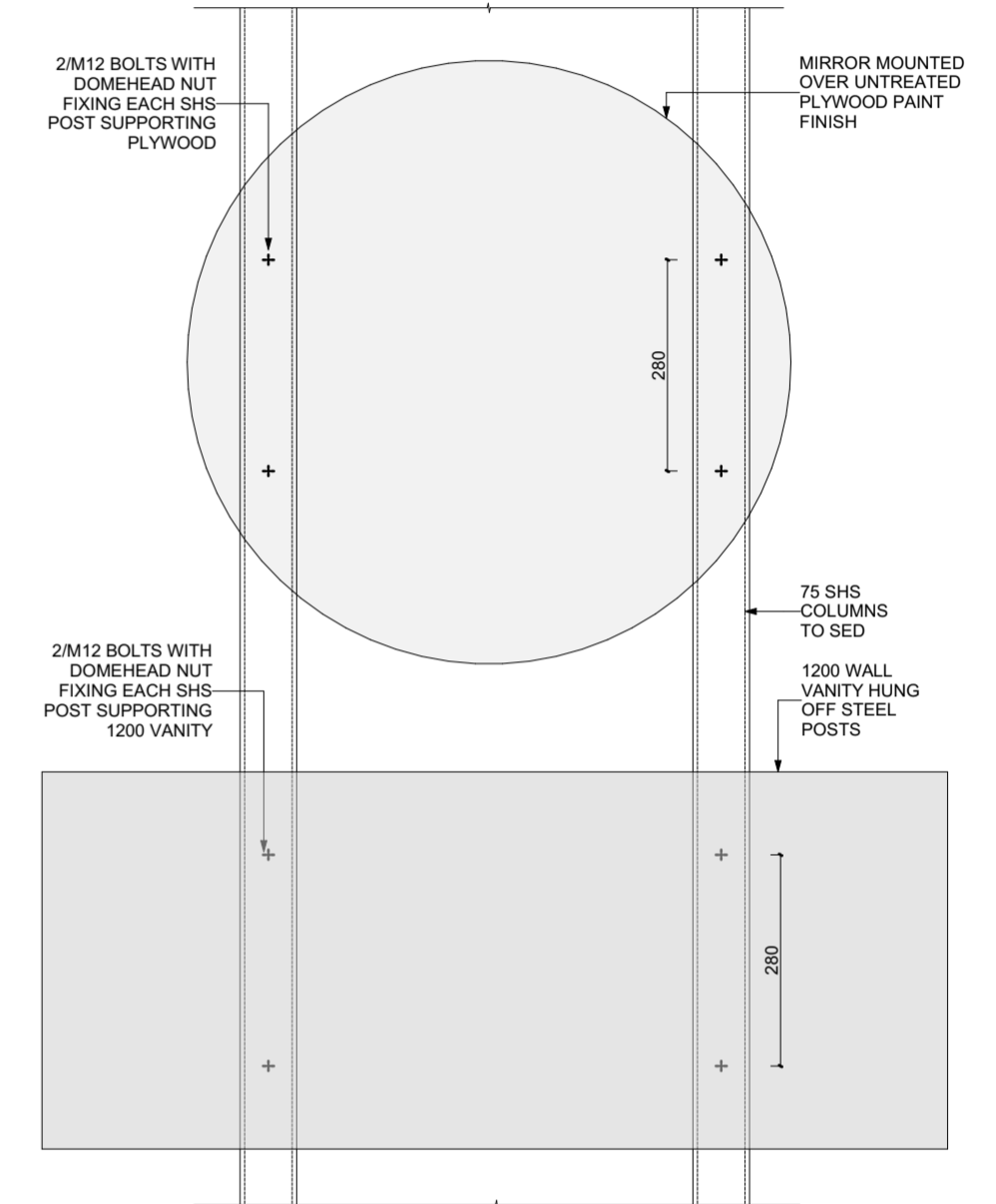


FLOOR WASTE DETAIL TO TIMBER FLOOR - SIKALASTIC 220W WATERPROOFING

RECESSED TILED SHOWER CHANNEL WASTE DETAIL /TIMBER FLOOR SIKALASTIC- 220W WATERPROOFING



TILED FLOOR DETAIL - WATERSTOP



WALL HUNG VANITY AND MIRROR DETAIL



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RevID	ChID	Change Name	Date
01			23/07/2024

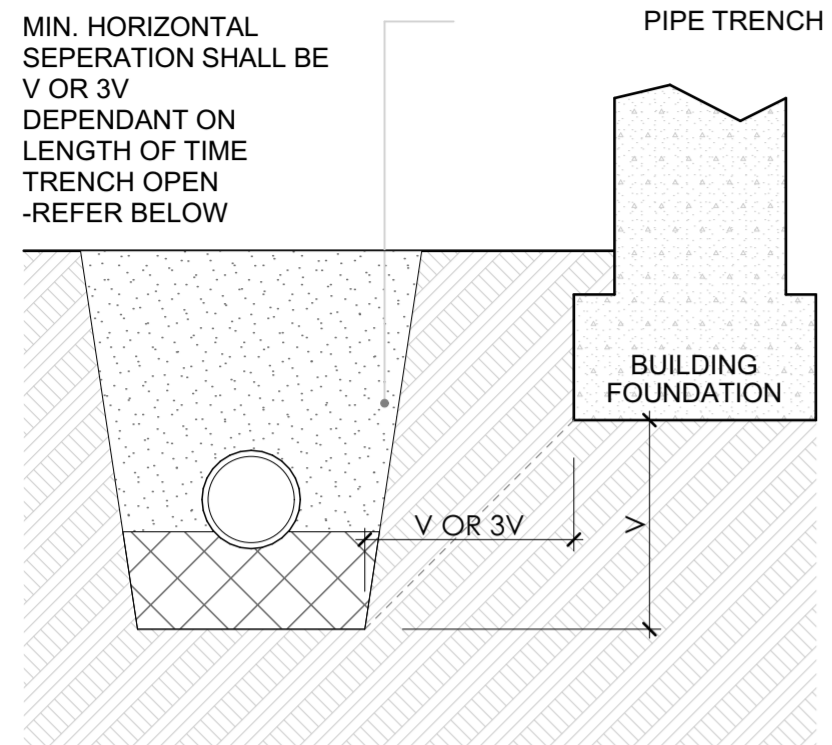
PROPOSED GARAGES & GUEST ROOM
 For
 GLEESON BUILDERS & ASSOCIATES LTD

At
 92 MAGNOLIA TREE WAY,
 KERIKERI

Drawn CS
 Checked KB
 Project Number: 17 3130
 Revision: WDO1
 Plot Date: 24/07/2024

Drawing Title
WET AREA DETAILS
 Drawing Number: 19
 Scale: 1:10
 Scale at A2

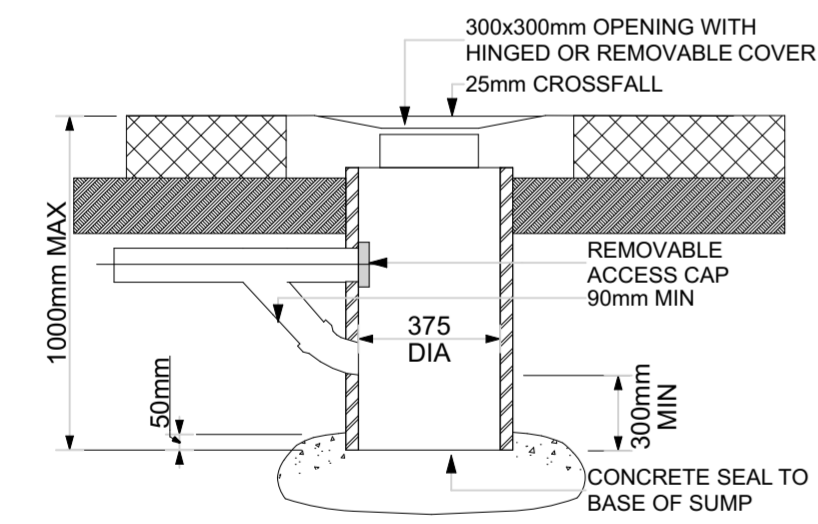
**RELATIONSHIP OF PIPE TRENCH TO BUILDING FOUNDATION
NZBC - E1/AS1 SURFACE WATER**



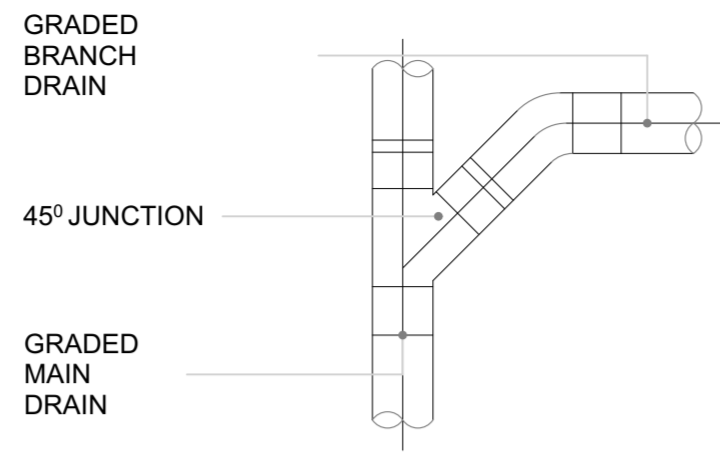
TRENCH EXCAVATION NOTE:

ALL SERVICES TRENCH EXCAVATION SHALL COMPLY WITH E1/AS1 3.9.7 AND FIG 14
TRENCH DEPTH SHALL BE MIN. THE EXCAVATION DEPTH EQUAL TO AWAY FROM BASE OF FOUNDATION:

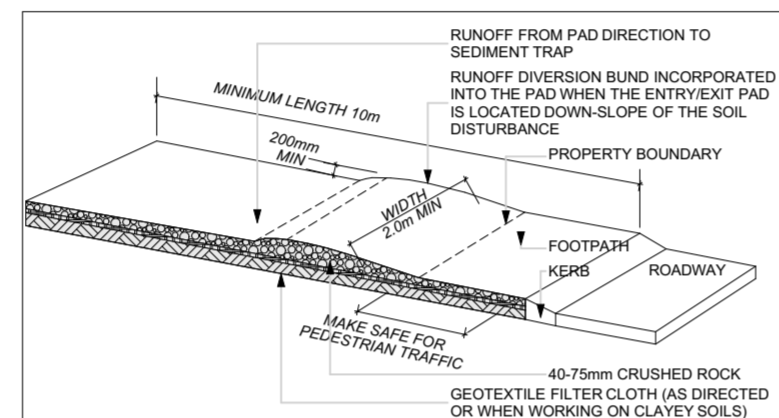
FOR LIGHT TIMBER FRAMED AND CONCRETE MASONRY BUILDINGS
FOUNDED ON GOOD GROUND AND CONSTRUCTED IN ACCORDANCE
WITH NZS 3604 OR NZS 4229 -
PIPE TRENCHES WHICH ARE OPEN FOR NO LONGER THAN 48 HOURS
SHALL BE LOCATED NO CLOSER THAN 'V' TO THE UNDERSIDE OF ANY BUILDING FOUNDATION.
WHERE THE TRENCH IS TO REMAIN OPEN FOR PERIODS LONGER THAN 48HRS,
THE MIN. HORIZ. SEPARATION SHALL INCREASE TO 3V IN ALL GROUND EXCEPT ROCK.



TYPE-ONE WATER SUMP
SOURCED E1 SURFACE WATER PARAGRAPH 3.6.2

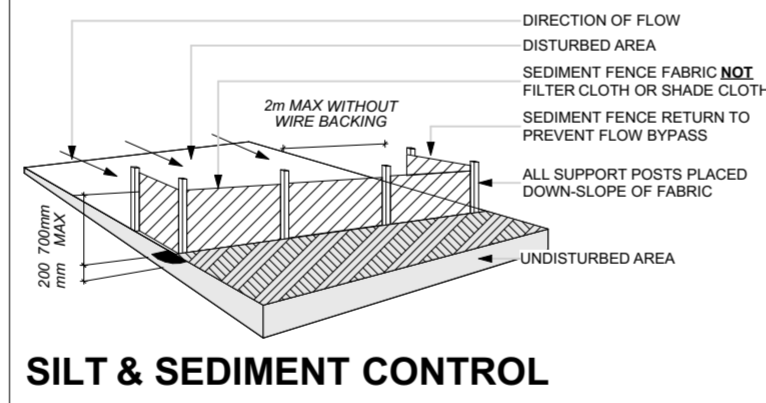
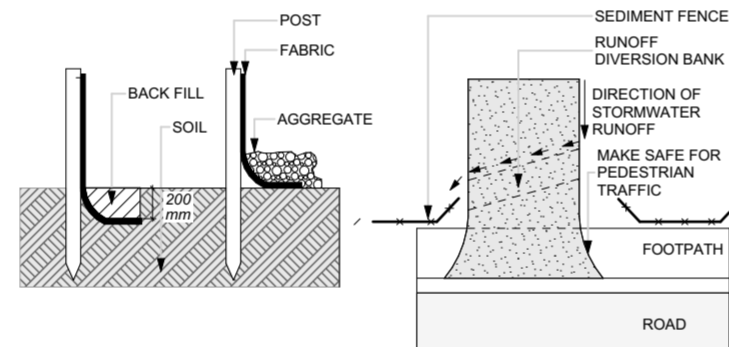


PLAN VIEW
TYPICAL DETAIL: GRADED BRANCH DRAINS TO MAIN DRAIN CONNECTION

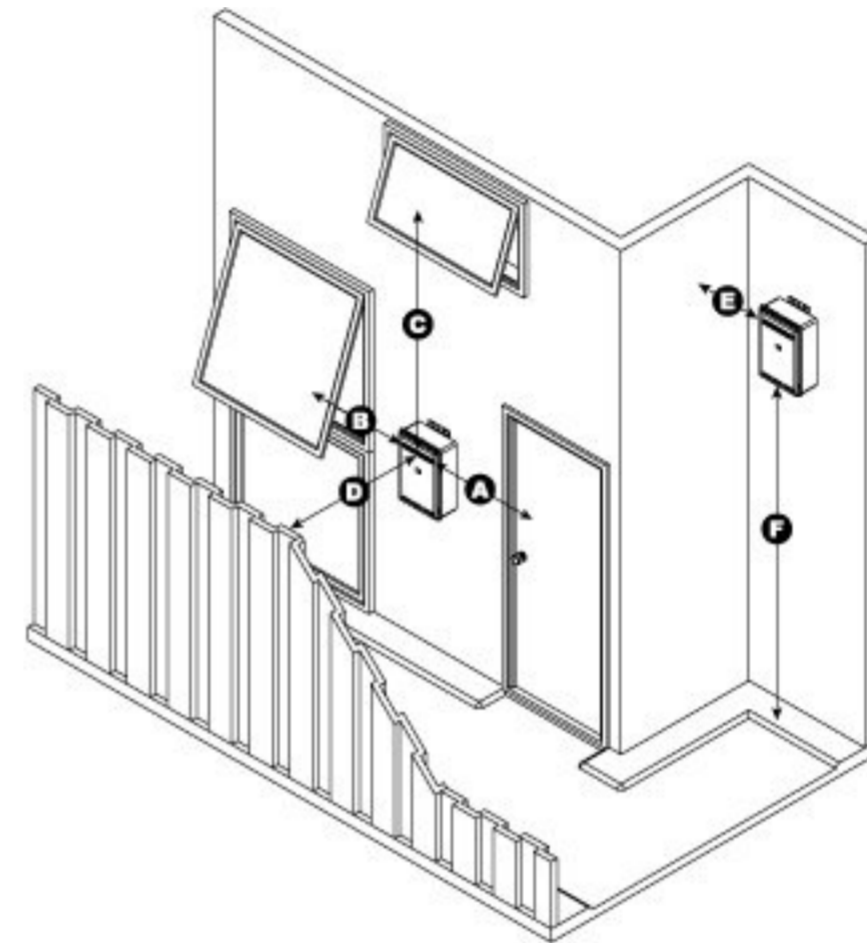


STABILISED ENTRY/EXIT PAD - BUILDING SITES

ENTRY/EXIT PAD EXTENDS FROM KERB TO BUILDING SLAB WHERE PRACTICAL

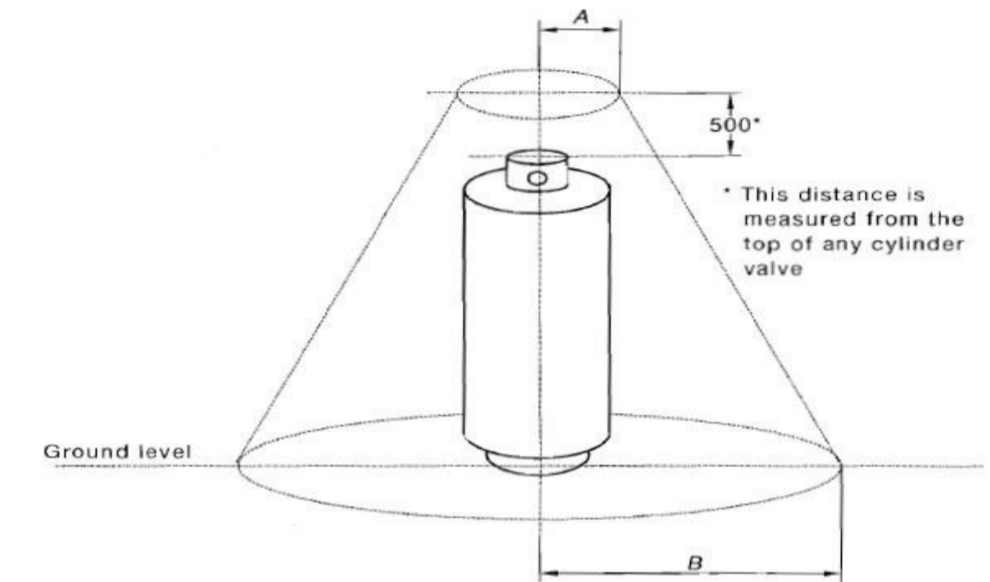


SILT & SEDIMENT CONTROL



GAS WATER HEATER EXTERNAL CLEARANCES

Dimension	Infinity XR models Infinity HD200 Ext Efficiency models	Infinity HD250 Ext
A	Min. 300 mm	Min. 500 mm
B	Min. 300 mm	Min. 500 mm
C	Min. 1.5 m	Min. 1.5 m
D	Min. 500 mm	Min. 500 mm
E	Min. 300 mm	Min. 300 mm
F	Min. 300 mm	Min. 300 mm

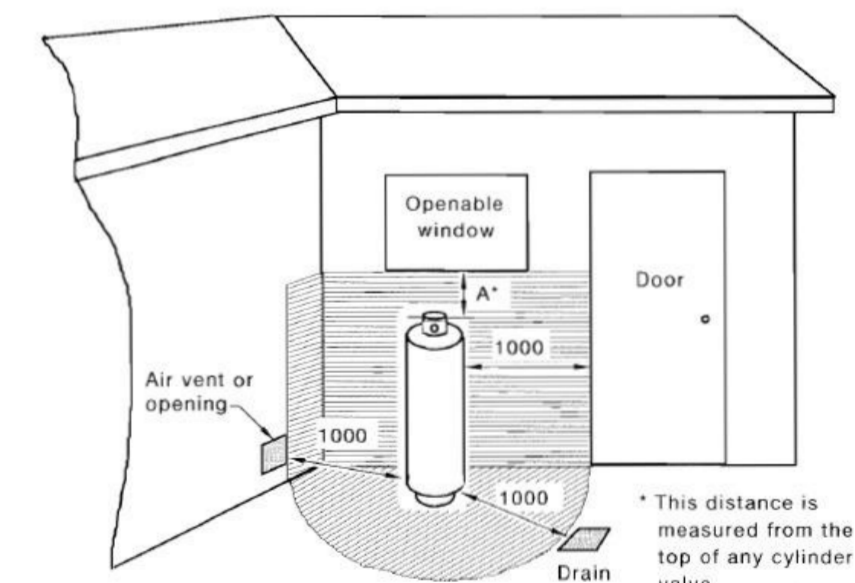


Ignition source not to be within the encompassed area

Radius	Exchange cylinder mm	In-situ fill cylinder mm
A	500	1500
B	1500	3500

DIMENSIONS IN MILLIMETRES

FIGURE J3 MINIMUM CLEARANCE TO IGNITION SOURCES



Shading indicates prohibited area for a drain or opening

Distance	Exchange cylinder mm	In-situ fill cylinder mm
A	150	500

DIMENSIONS IN MILLIMETRES

FIGURE J4 MINIMUM CLEARANCE TO A DRAIN OR OPENINGS INTO A BUILDING



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RevID	ChID	Change Name	Date

PROPOSED GARAGES & GUEST ROOM
For
GLEESON BUILDERS & ASSOCIATES LTD

At
**92 MAGNOLIA TREE WAY,
KERIKERI**

Drawn CS
Checked KB
Project Number: 17 3130
Revision: W/D01
Plot Date: 1/07/2024

Drawing Title	
SITE AND SERVICES DETAILS	
Drawing Number	Scale
20	1:1, 1:10, 1:20

FNDC - Approved Building Consent Document - EBC-2025-3410 - Pg 56 of 58 - 30/07/2024 - J.O

4.03 H1 INFORMATION SCHEDULE								
DESCRIPTION	HEIGHT	LENGTH	WIDTH	TOTAL WALL AREA	DOORS	WINDOWS	OPENING AREA	WALL AREA EXCLUDING OPENINGS
H1 - INTERNAL	2,460	6,900.0	140	16.97	0	0	0.00	16.68
				16.97 m²			0.00 m²	16.68 m²
H1 - SLIMCLAD	2,660	9,190.0	140	24.45	1	1	12.38	12.07
	3,150	9,190.0	140	28.95	0	1	1.20	27.75
	3,168	7,180.0	140	20.81	1	0	12.42	8.39
				74.21 m²			26.00 m²	48.21 m²
				91.18 m²			26.00 m²	64.89 m²

ENERGY EFFICIENCY NOTES
 IN ACCORDANCE TO NZBC H1/AS1 CALCULATION METHOD
 CLIMATE ZONE: 1

NOTE: H1 CALCULATIONS RELATE TO GUEST ROOM ONLY.

FLOOR
 RAFT SLAB TO ENGINEERED DESIGN.
 EXPOL 50mm SLABX200 UNDERSLAB INSULATION.

WALLS
 140mm R4.3 PINK BATTS ULTRA WALL INSULATION

GLAZING
 R0.37 THERMALLY IMPROVED LOW-E ARGON FILLED
 DOUBLE GLAZED ALUMINIUM JOINERY

GLAZING AREA / TOTAL WALL AREA = 29 %

NOTE: JOINERY SUPPLIER TO PROVIDE PRODUCER STATEMENT - REQUIRED BY COUNCIL DURING CONSTRUCTION INSPECTIONS.

NOTE: JOINERY SUPPLIER TO PROVIDE PERFORMANCE STATEMENT - REQUIRED BY COUNCIL BEFORE APPLYING FOR CERTIFICATE CODE OF COMPLIANCE.

ROOF
 275mm R7.4 PINK BATTS SUPERBATTS SKILLION ROOF INSULATION

Internal wall 3.39 m²C/W

Type: Wall: Timber Frame (direct fixed Cladding)

Timber Frame (direct fixed Cladding) [view detail](#)

external surface 0.03

Cladding : generic - Plywood 7.5mm
 R-value: 0.06

Air Barrier : generic - Plywood 9mm
 R-value: 0.07

Timber Frame & Cavity : 140mm, studs @ 600mm, dwangs @ 800mm
 Wall Frame Area: 14.4% Cavity Area: 85.6%

Framing :
 R-value: 1.17

Pink(c)Batts(c) Ultra R4.3 140mm Wall 4.3
 still Airgap: none
 R-value: 0.00

Wall Lining : generic - gypsum Plasterboard 10mm
 R-value: 0.04

internal surface 0.09

Slimclad walls 3.52 m²C/W

Type: Wall: Timber Frame with vented Cavity

Timber Frame with vented Cavity [view detail](#)

external surface 0.03

Cladding : generic - Metal sheet without airgaps (2mm, not corrugated)
 R-value: 0.01

Air Barrier : EcoPly 7mm
 R-value: 0.05

Timber Frame & Cavity : 140mm, studs @ 600mm, dwangs @ 1200mm
 Wall Frame Area: 12.7% Cavity Area: 87.3%

15-90mm vented cavity (all R-values on ext. side of cavity will be halved), R: 0.08
 15-90mm vented cavity (all R-values on ext. side of cavity will be halved), R: 0.08

Framing :
 R-value: 1.17

Pink(c)Batts(c) Ultra R4.3 140mm Wall 4.3
 still Airgap: none
 R-value: 0.00

Wall Lining : generic - gypsum Plasterboard 10mm
 R-value: 0.04

internal surface 0.09

roof 7.20 m²C/W

Type: Roof: Timber framed skillion or flat Roof & suspended Ceiling (Insulation between Rafters)

Timber framed skillion or flat Roof & suspended Ceiling (Insulation between Rafters) [view detail](#)

external surface 0.03

Roofing : generic - Metal corrugate Iron with building paper
 R-value: 0.01

Timber Frame & Cavity : Hyjoist 400/90 @ 600mm, battens covered with insulation
 Roof Frame Area: 2.0% Cavity Area: 98.0%

Framing :
 R-value: 3.32

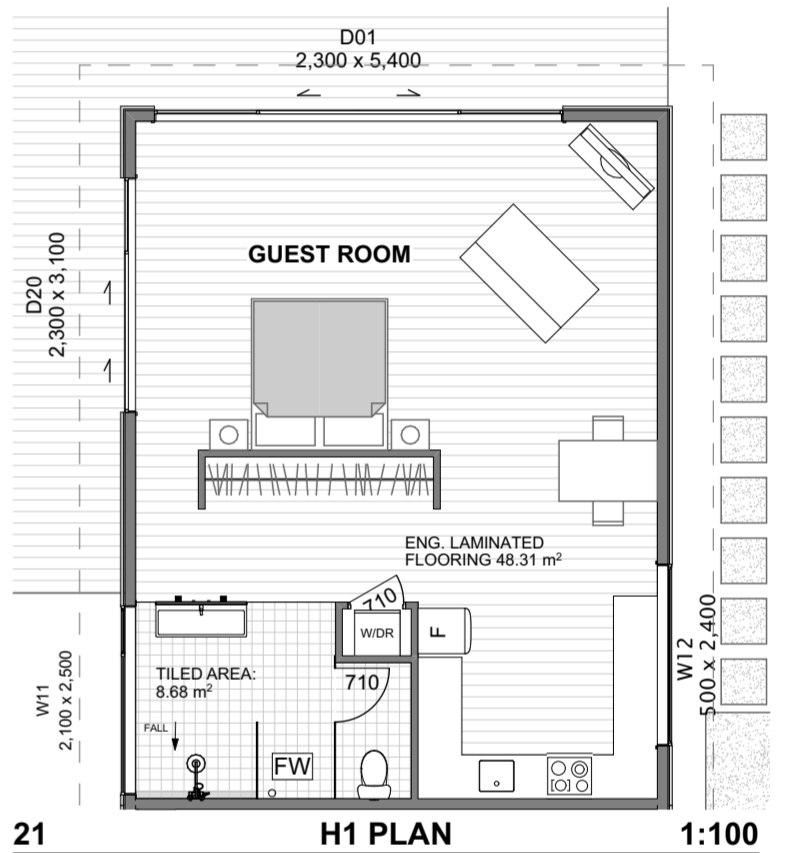
still Airgap : none
 R-value: 0.00

Pink(c)Batts(c) Superbatts R7.0 Ceiling 7

Roofspace 0.18

Roof Lining : generic - gypsum Plasterboard 13mm
 R-value: 0.06

internal surface 0.09



Waffle Pod Floor H1 Construction R-value Solutions for Slabs less than 300m2 26/10/23

Ratio	220mm & 300mm Pod Floor with EXPOL Tuff Pods	220mm & 300mm Pod Floor with ThermaSlab Edge or MAXEdge R1.0 Edge Insulation	220mm & 300mm Pod Floor with 60mm SLABX200 Under Slab Insulation	220mm & 300mm Pod Floor with 75mm SLABX200 Under Slab Insulation	220mm & 300mm Pod Floor with 100mm SLABX200 Under Slab Insulation
	Construction R-Value width 90mm - 140mm Framing	Construction R-Value width 90mm - 140mm Framing	Construction R-Value width 90mm - 140mm Framing	Construction R-Value width 90mm - 140mm Framing	Construction R-Value width 90mm - 140mm Framing
1	-	1.01	1.23	1.29	1.33
1.2	-	1.10	1.36	1.44	1.50
1.4	-	1.20	1.50	1.59	1.67
1.6	1.20	1.29	1.64	1.75	1.84
1.8	1.30	1.38	1.78	1.91	2.01
2	1.30	1.48	1.91	2.06	2.17
2.2	1.40	1.56	2.02	2.18	2.30
2.4	1.50	1.63	2.12	2.29	2.43
2.6	1.60	1.71	2.23	2.41	2.55
2.8	1.70	1.79	2.33	2.53	2.68



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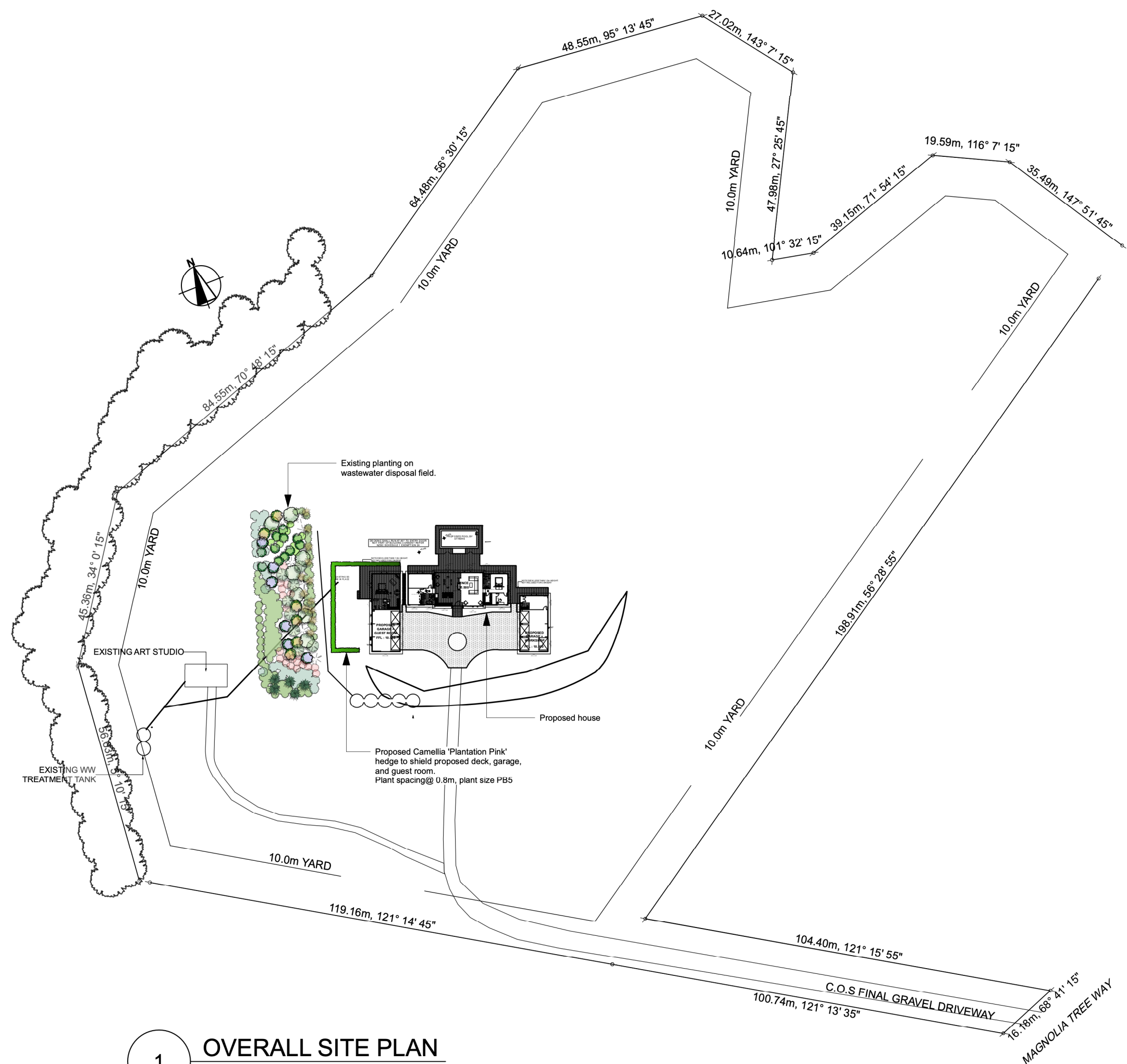
RevID	ChID	Change Name	Date

PROPOSED GARAGES & GUEST ROOM
 For
GLEESON BUILDERS & ASSOCIATES LTD

At
92 MAGNOLIA TREE WAY, KERIKERI

Drawn CS
 Checked KB
 Project Number: 17 3130
 Revision: WD01
 Plot Date: 1/07/2024

Drawing Title
H1 PLAN AND INFORMATION
 Drawing Number: 21
 Scale: 1:100, 1:1



1 OVERALL SITE PLAN
Scale: 1:1000



HAWTHORN
Landscape Architects

10.08.2021	
Landscape Plan Garage and Guest Wing	
Gleeson	
Scale	Drawn By
1:1000 @A3	Cad Design
Drawing #	Rev #
001	

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