



Brett Hulley
ARCHITECTURE

67 Kaipatiki Road, Paihia

New Home

for Molly Goldie & Bob Hoffmann

Assessment of Environmental Effects

This document aims to assess the proposed new residential dwelling in relation to the Far North District Council's District Plan as at November, 2024. It is to be read in conjunction with the appended architectural plans.

Project Summary

A small new dwelling as an extension to the existing pole-shed on the property at 67 Kaipatiki Road, Paihia. Refer to the appended architectural plans.

The Site

The vast majority of the property is covered in existing native forest/bush. There are two main clearings on the property (refer to Drawing 002). The clearing in the north/north-western end of the property contains the existing dwelling. The second clearing is approximately 140m to the south/south-east, central on the site, and contains an existing 3-bay pole shed with an attached carport. The proposed building location is in this second clearing (photo below shows the building site). This site can be characterised as a flat clearing surrounded by a mixture of regenerating and established native bush/forest. This surrounding vegetation ranges from approximately 5m to 10m in height - creating a private nook that's not visible from anywhere nearby. The nearest boundaries to the proposed building site are approximately 110m to the south-west, 85m to the south, and 90m to the north-east.





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The Design

The design of the new dwelling has been done with visual amenity in mind. Specifically by choosing to connect to the existing pole shed (extensions contribute less to perceived densification than additional stand-alone buildings), to use natural and low LRV materials, to avoid any additional vegetation clearance/earthworks, and to keep the additional floor area to a minimum - all to reduce the visual impact of the project on the wider natural character.

Roof water is to be collected in tanks for use on site, with a proposed overflow coil on the south-facing slope to the west of the proposed project. The on-site sewerage system is yet to be selected, but provision has been made for a 500m² effluent drip line field, which has plenty of space to be enlarged if required (refer to Drawing 002). This area is more than 100m from any waterways/bodies of water.

The design creates an efficient small home that's visually unique, well suited to Northland's unique climate, and provides ample indoor/outdoor connection to capitalise on the opportunities of the comfortable climate and the beautiful surrounding nature. The building will be a great addition to the housing stock of the Far North District.



The proposed design with the existing shed visible on the right. Refer to the appended architectural plans for additional detail.

Compliance

The proposed project falls marginally outside of the parameters of the permitted activity rules in the district plan. This is described and assessed in the following paragraphs to outline how, despite falling just outside the parameters of the permitted activity rules, the proposal is in fact in accordance with the objectives of the district plan, and should be considered to be permissible/eligible for a resource consent to be granted.



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District Plan Rules

The proposed project complies with all relevant district plan rules other than the following permitted activity rules listed below. The extent to which the proposed project breaches the permitted activity rules is listed below each rule.

GENERAL COASTAL

10.6.5.1.1 VISUAL AMENITY

(c) *any alteration/addition to an existing building which does not exceed 50m², provided that any alteration/ addition does not exceed the height of the existing building and that any alteration/addition is to a building that existed at 28 April 2000*

- **Proposed addition area: 71m² (only 21m² more than permissible).**
- **Proposed addition height: 15cm more than existing/permissible along one edge (refer to Drawing 110).**

10.6.5.1.2 RESIDENTIAL INTENSITY

Residential development shall be limited to one unit per 20ha of land. In all cases the land shall be developed in such a way that each unit shall have at least 3,000m² for its exclusive use surrounding the unit plus a minimum of 19.7ha elsewhere on the property.

- **Proposed number of units: 2 (note: this will be a Discretionary Activity when the proposed district plan becomes operative, Rule RPROZ-R3).**

OUTSTANDING NATURAL ENVIRONMENT

12.1.6.1.5 BUILDINGS WITHIN OUTSTANDING LANDSCAPES

(c) *any alteration/addition to an existing building where:*

(i) *the alteration/addition does not exceed 25m² in area or does not exceed 20% of the gross floor area of the existing building which is being altered or added to, whichever is the lesser; and*

- **Proposed addition area: 71m² (only 46m² more than permissible).**

(ii) *the alteration/addition does not exceed the height of the existing building.*

- **Proposed addition height: Only 15cm more than existing/permissible along one edge (refer to Drawing 110).**

Summary of Non-Compliance

As shown above, the project presents very minor breaches of the permitted activity rules. The visual amenity rule breaches are only 46m² in area and 15cm in height, and the residential intensification rule breach will be Discretionary only when the proposed district plan becomes operative. Regardless, the impact of these rule breaches on the objectives of the operative district plan is assessed below.



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District Plan Objectives & Assessment

The district plan objectives are ultimately what the rules are there to achieve, so if the proposed project is in accordance with the relevant objectives of the district plan, then the project should be considered to be compliant/permisable.

Below are the district plan objectives that are relevant to the project's non-compliance. The project's relevant impact is assessed below each objective.

GENERAL COASTAL

10.6.3 OBJECTIVES

10.6.3.1 To provide for appropriate subdivision, use and development consistent with the need to preserve its natural character.

10.6.3.2 To preserve the natural character of the coastal environment and protect it from inappropriate subdivision, use and development.

The natural character of the area will not be impacted for the following reasons:

- **The proposed project is surrounded by existing forest that is taller than the proposed addition, and is not visible from any nearby area, including the coast.**
- **The project's material and colour selections are natural and low LRV to blend in with the surrounding forest.**
- **The project is an addition to an existing building - which contributes less to perceived densification than an additional stand-alone building.**

OUTSTANDING NATURAL ENVIRONMENT

12.1.3 OBJECTIVES

12.1.3.1 To protect outstanding landscapes and natural features from inappropriate subdivision use and development.

12.1.3.2 To protect the scientific and amenity values of outstanding natural features.

12.1.3.3 To recognise and provide for the distinctiveness, natural diversity and complexity of landscapes as far as practicable including the complexity found locally within landscapes and the diversity of landscapes across the District.

12.1.3.4 To avoid adverse effects and to encourage positive effects resulting from land use, subdivision or development in outstanding landscapes and natural features and Maori cultural values associated with landscapes.

The impact that the proposed project imposes on the existing natural features and landscapes is effectively nil.

- **The proposed works are within a previously cleared area - no additional forest clearance or major earthworks will take place.**
- **There are no known cultural features present on site.**
- **There is no known scientific value in the area that will be occupied by the proposed addition.**
- **The visual impact on the natural landscape is effectively nil as the project is surrounded by existing forest and is not visible for any nearby areas, including the coast.**



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Conclusion

As demonstrated above, the project's non-compliance is very minor. Not only that, but the impact of the non-compliance itself is effectively nil as the project is not visible from nearby areas or the coast, and doesn't impose on any existing natural features. It is therefore requested that resource consent be granted for this project to permit the construction of the new home on the property at 67 Kaipatiki Road.





**RECORD OF TITLE
UNDER LAND TRANSFER ACT 2017
FREEHOLD
Search Copy**




R. W. Muir
Registrar-General
of Land

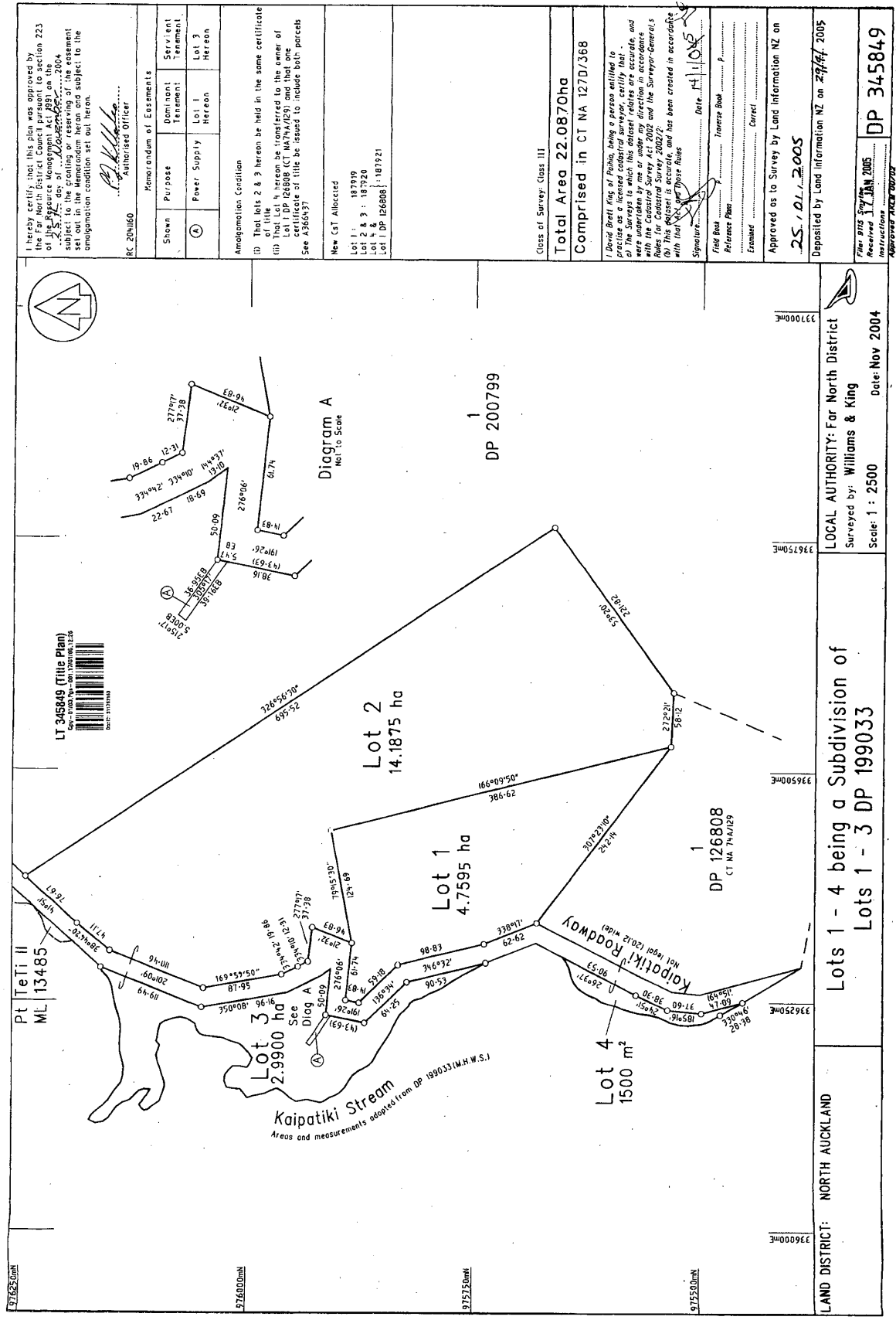
Identifier **187920**
Land Registration District **North Auckland**
Date Issued 29 April 2005

Prior References
NA127D/368

Estate Fee Simple
Area 17.1775 hectares more or less
Legal Description Lot 2-3 Deposited Plan 345849
Registered Owners
Raewyn Kay Smythe and Raewyn Goldie Trustee Limited

Interests

Subject to Section 241(2) Resource Management Act 1991 (affects DP 345849)
Subject to a right to convey electricity easement over part marked A on DP 345849 created by Easement Instrument 6400131.4 - 29.4.2005 at 9:00 am
The easement created by Easement Instrument 6400131.4 is subject to Section 243 (a) Resource Management Act 1991
6620003.3 Mortgage to ASB Bank Limited - 21.10.2005 at 9:00 am



I hereby certify that this plan was approved by the Far North District Council pursuant to section 223 of the Resource Management Act 1991 on the 25th day of January 2005.

Approved by: *[Signature]*
 Authorised Officer

Memorandum of Easements		
Shown	Dominant Tenement	Servient Tenement
(A)	Power Supply	Lot 3 Hereon

Amalgamation Condition

(D) That lots 2 & 3 hereon be held in the same certificate of title. It is to be certified to the effect of Lot 1 DP 126808 (CT NA 1270/368) and that certificate of title be issued to include both parcels. See A3666437.

New CT Allocated

Lot 1 : 187919
 Lot 2 : 187920
 Lot 3 : 187921
 Lot 4 : 187922

Class of Survey: Class III

Total Area 22.0870ha
Comprised in CT NA 1270/368

David Brett King of Pahia, being a person entitled to the surveys to which this plan relates, do hereby certify that the surveys to which this plan relates were undertaken by me or under my direction in accordance with the Cadastral Survey Act 2002 and the Survey-General's Regulations 2003. This plan has been created in accordance with the rules and has been created in accordance with the rules.

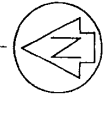
Signature: *[Signature]* Date: 25/01/2005

Filed Book: *[Blank]*
 Reference Plan: *[Blank]*
 Examinee: *[Blank]*

Approved as to Survey by Land Information NZ on 25/01/2005

Deposited by Land Information NZ on 27/01/2005

Files: 815
 Received: 17 JAN 2005
 Instructions: *[Blank]*
 Approver: *[Blank]*



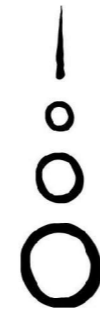
337000mE
 336750mE
 336500mE
 336250mE
 336000mE

Lots 1 - 4 being a Subdivision of
Lots 1 - 3 DP 199033

LAND DISTRICT: NORTH AUCKLAND

LOCAL AUTHORITY: Far North District
 Surveyed by: Williams & King
 Scale: 1 : 2500
 Date: Nov 2004

DP 345849



Kaipatiki Home

for Molly Goldie &
Bob Hoffmann



Land Survey

Lot: 2
 DP: 345849
 Survey Area: 171,775m²

District Plan

(permitted activity rules)

Zone: General Coastal
 No. of Dwellings: 1 per 200,000m²
 Visual Amenity: LRV <30%
 Height - max: 8m
 Sunlight Access: 2m & 45 degrees @ boundary
 Stormwater: Max 10% impermeable
 Boundary Setbacks: 10m

Resource: Outstanding Landscape
 Vegetation Clearance: <1,000m² for building platform
 Excavation/Filling: <300m³ per 12 months & 1.5m max cut/fill face

Site Info

Climate Zone: 1
 Earthquake Zone: 1
 Exposure Zone: D
 Wind Zone: Extra High

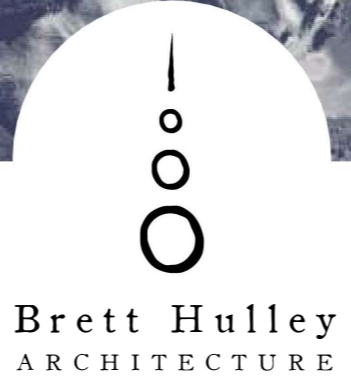
Sheet List

- 000 Cover
- 001 Navigation
- 002 Site Plan
- 003 Proposed Plan
- 004 Roof Plan
- 100 Foundation & Setout Plan
- 102 Framing Plan
- 103 Key Plan
- 105 Roof Framing Plan
- 110 Elevations
- 111 Elevations
- 120 Section
- 121 Section
- 130 Door & Window Schedule
- 300 Perspective
- 301 Perspective
- 302 Perspective
- 303 Perspective
- 304 Perspective

1 001 - Locality Plan
 Scale at A3, 1: 10000

Revision	Description	Date
A	Resource Consent	Dec 2024

Kaipatiki Home
 Project Name
 67 Kaipatiki Roadway, Paihia
 Project Address
 Molly & Bob
 Client Name



Navigation
 Sheet name
 December, 2024
 Date
 K2 001
 Job no. Drawing no.

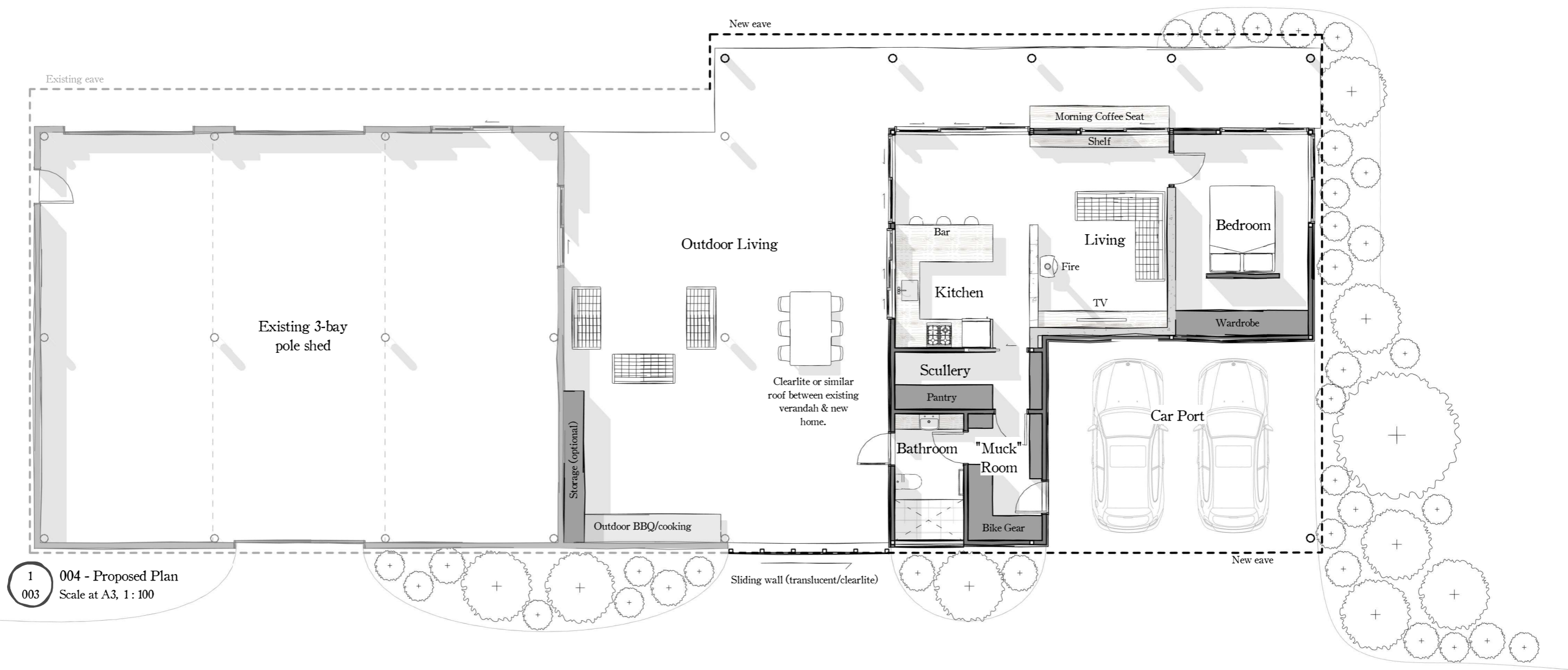


Revision	Description	Date
A	Resource Consent	Dec 2024

Kaipatiki Home
 Project Name
 67 Kaipatiki Roadway, Paihia
 Project Address
 Molly & Bob
 Client Name



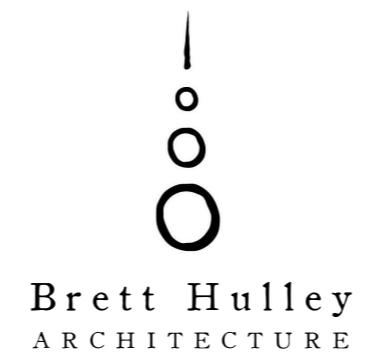
Site Plan
 Sheet name
 December, 2024
 Date
 K2 002
 Job no. Drawing no.



1 004 - Proposed Plan
 003 Scale at A3, 1:100

Revision	Description	Date
A	Resource Consent	Dec 2024

Kaipatiki Home
 Project Name
 67 Kaipatiki Roadway, Paihia
 Project Address
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 Client Name



Proposed Plan
 Sheet name
 December, 2024
 Date
 K2 003
 Job no. Drawing no.

N

Roof Plan

- DP** **Downpipe**
100mm dia. PVC downpipe.
- EG** **Eaves Gutter**
Spouting & fascia to match existing
- BF** **Barge Flashing**
two crests, finish in next trough
90mm min down fascia
- RF** **Ridge Flashing (ventilated)**
Vent NZ RV10P ventilated ridge installed under 200mm min cover malleable soft edge flashing - refer to detail.

Notes

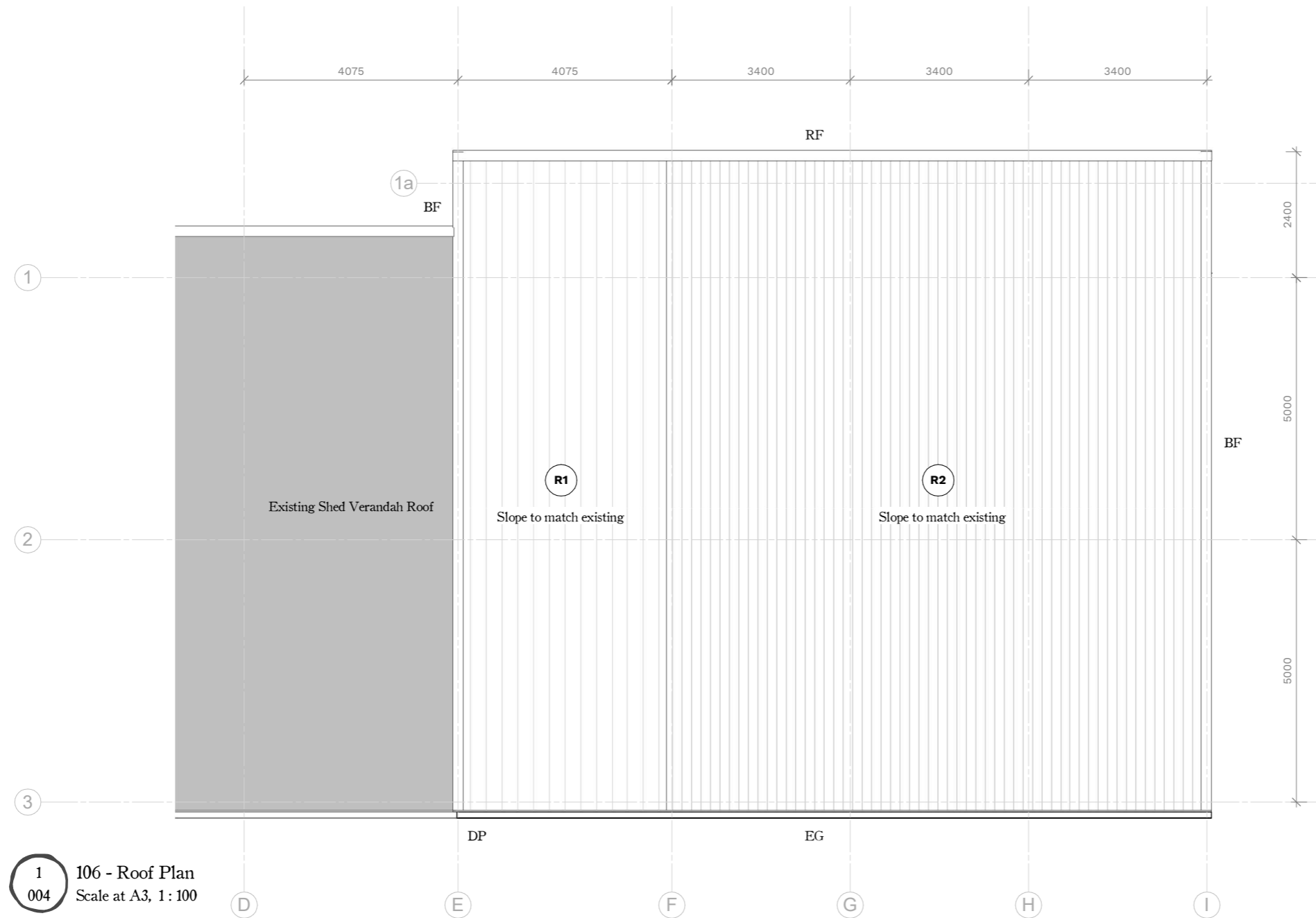
- Wind Zone: Extra High
Exposure Zone: D
- a. All roofing works to comply with E2/AS1
 - b. Allow for flashings to all roof penetrations over & above those indicated on the drawings (i.e. plumbing vents, mechanical ducts, chimney etc) as required.

Roof Ventilation

- a. When installing insulation to skillion roof make sure that the insulation is aligned to the underside of the rafters to maintain a minimum 25mm air gap between the top of the insulation and the roof underlay.
- b. Install ventilated purlin battens over roof underlay.
- c. Install ventilated ridge flashing (RV10P) as per details.

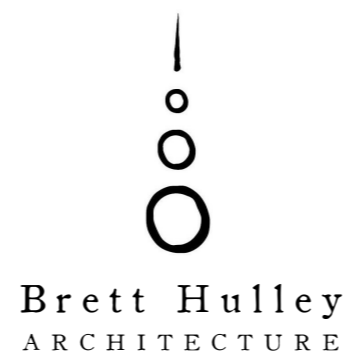
Roof Schedule

- R1** POLYCARBONATE ROOFING
Polycarbonate roofing fixed to purlins. Framing as per Roof Framing Plan.
- R2** PROFILED METAL ROOF
ColorSteel Endura 0.55BMT on 20mm ventilated battens laid across the tops of purlins, over roof underlay. Framing as per Roof Framing Plan. Insulated as specified.

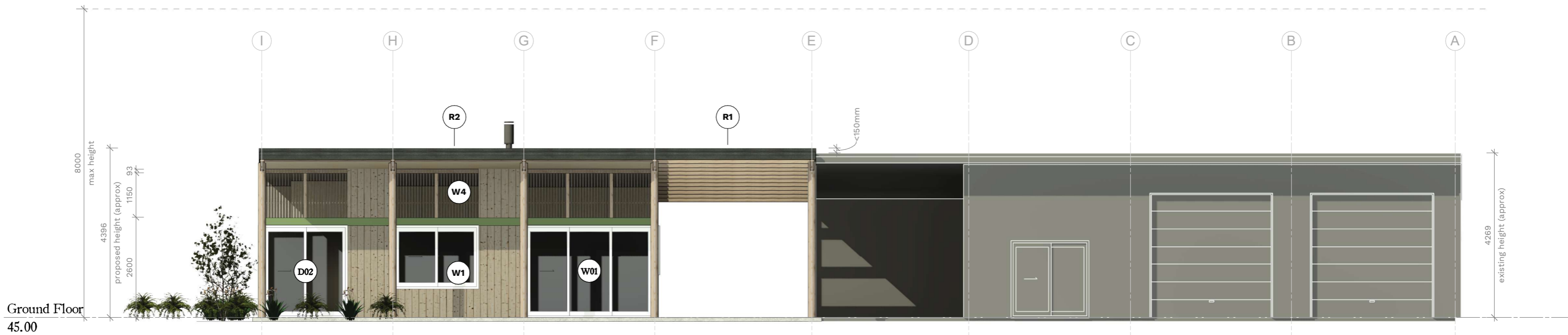


Revision	Description	Date
A	Resource Consent	Dec 2024

Kaipatiki Home
Project Name
67 Kaipatiki Roadway, Paihia
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Client Name



Roof Plan
Sheet name
December, 2024
Date
K2 004
Job no. Drawing no.



1 Elevation - North East
110 Scale at A3, 1:100

Floor Schedule

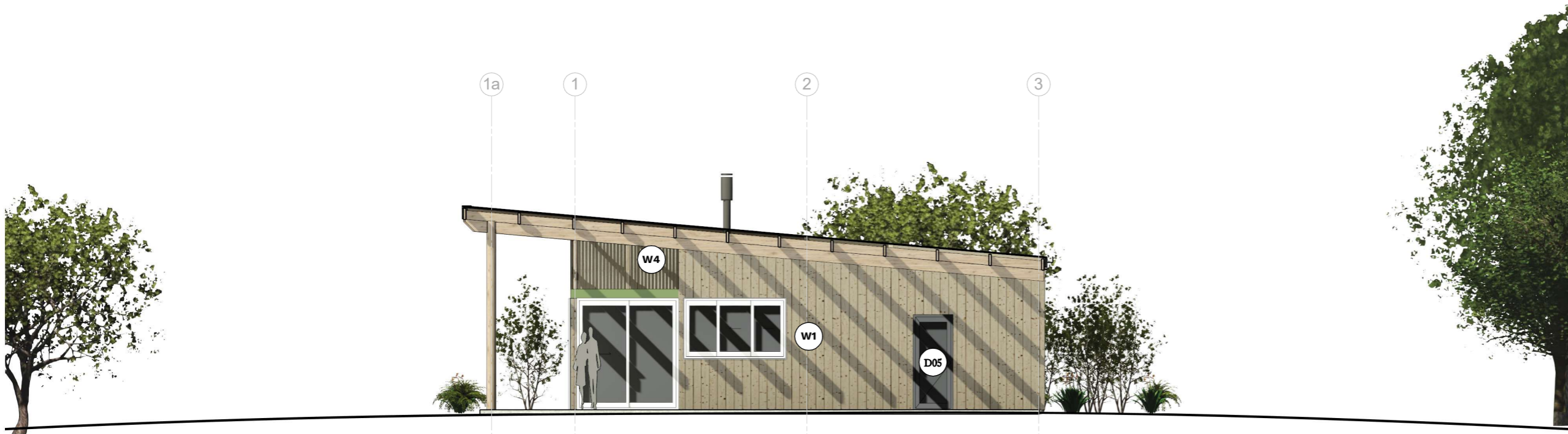
- F1** FLOOR CONCRETE SLAB
RibRaft HotEdge floor slab as per manufacturer's instructions & specifications.
- F2** LANDSCAPING CONCRETE SLAB
100mm reinforced concrete over compacted hardfill.

Wall Schedule

- W1** VERTICAL TIMBER WEATHERBOARDS
Macrocarpa vertical shiplap timber weatherboards (or similar), on 20mm castellated non-structural H3.2 horizontal cavity battens, on RAB. Insulation as specified. Fixed with SS nails.
- W2** INTERNAL WALL
9mm untreated CD structural plywood both sides. Wet areas sealed with a clear finish. Framing as per Dimension Plan.
- W3** EARTH WALL
200mm non-structural earth wall (rammed or similar).
- W4** TWINWALL POLYCARBONATE
Two layers of clear twinwall polycarbonate clearlite over timber framing. No insulation.
- W5** CARPORT WALLS
12mm H3.2 plywood on cavity battens. Wall Underlay. Insulation as specified. Fixed with SS nails.

Roof Schedule

- R1** POLYCARBONATE ROOFING
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- R2** PROFILED METAL ROOF
ColorSteel Endura 0.55BMT on 20mm ventilated battens laid across the tops of purlins, over roof underlay. Framing as per Roof Framing Plan. Insulated as specified.



2 Elevation - North West
110 Scale at A3, 1:100

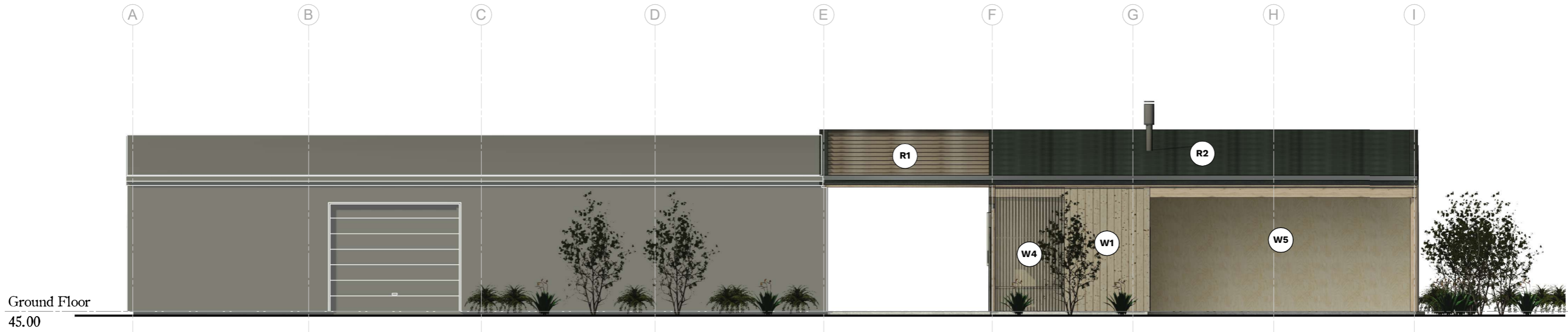
Kaipatiki Home
Project Name
67 Kaipatiki Roadway, Paihia
Project Address
Molly & Bob
Client Name

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Elevations
Sheet name
December, 2024
Date
K2 110
Job no. Drawing no.

Revision	Description	Date
A	Resource Consent	Dec 2024



Ground Floor
45.00

1 Elevation - South West
III Scale at A3, 1 : 100

Floor Schedule

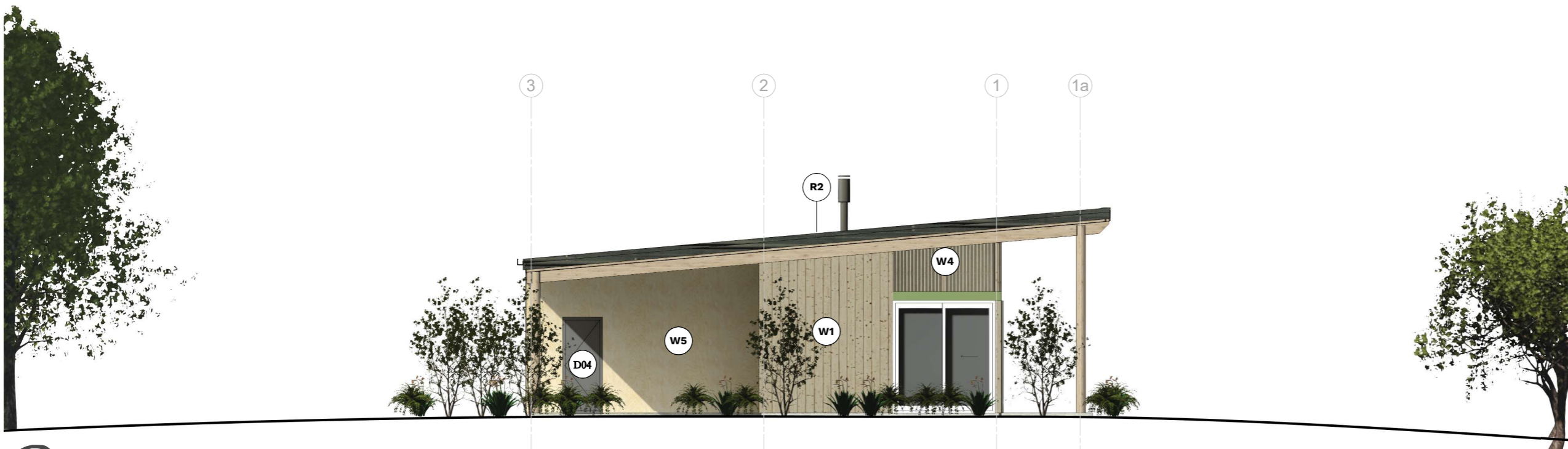
- F1** FLOOR CONCRETE SLAB
RibRaft HotEdge floor slab as per manufacturer's instructions & specifications.
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100mm reinforced concrete over compacted hardfill.

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Roof Schedule

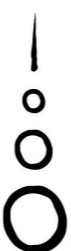
- R1** POLYCARBONATE ROOFING
Polycarbonate roofing fixed to purlins. Framing as per Roof Framing Plan.
- R2** PROFILED METAL ROOF
ColorSteel Endura 0.5SBMT on 20mm ventilated battens laid across the tops of purlins, over roof underlay. Framing as per Roof Framing Plan. Insulated as specified.



2 Elevation - South East
III Scale at A3, 1 : 100

Revision	Description	Date
A	Resource Consent	Dec 2024

Kaipatiki Home
Project Name
67 Kaipatiki Roadway, Paihia
Project Address
Molly & Bob
Client Name

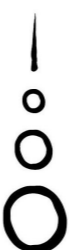

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Elevations
Sheet name
December, 2024
Date
K2 111
Job no. Drawing no.



Revision	Description	Date
A	Resource Consent	Dec 2024

Kaipatiki Home
 Project Name
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 Project Address
 Molly & Bob
 Client Name


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Perspective
 Sheet name
 December, 2024
 Date
 K2 300
 Job no. Drawing no.



1 Bedroom
301 Scale at A3,

Revision	Description	Date
A	Resource Consent	Dec 2024

Kaipatiki Home
Project Name
67 Kaipatiki Roadway, Paihia
Project Address
Molly & Bob
Client Name

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Perspective
Sheet name
December, 2024
Date
K2 301
Job no. Drawing no.