

Application for resource consent or fast-track resource consent

(Or Associated Consent Pursuant to the Resource Management Act 1991 (RMA)) (If applying for a Resource Consent pursuant to Section 87AAC or 88 of the RMA, this form can be used to satisfy the requirements of Schedule 4). Prior to, and during, completion of this application form, please refer to Resource Consent Guidance Notes and Schedule of Fees and Charges — [both available on the Council's web page](#).

1. Pre-Lodgement Meeting

Have you met with a council Resource Consent representative to discuss this application prior to lodgement? Yes No

2. Type of Consent being applied for

(more than one circle can be ticked):

- Land Use Discharge
 Fast Track Land Use* Change of Consent Notice (s.221(3))
 Subdivision Extension of time (s.125)
 Consent under National Environmental Standard
(e.g. Assessing and Managing Contaminants in Soil)
 Other (please specify) _____

* The fast track is for simple land use consents and is restricted to consents with a controlled activity status.

3. Would you like to opt out of the Fast Track Process?

Yes No

4. Consultation

Have you consulted with Iwi/Hapū? Yes No

If yes, which groups have you consulted with?

Who else have you consulted with?

For any questions or information regarding iwi/hapū consultation, please contact Te Hono at Far North District Council tehonosupport@fndc.govt.nz

5. Applicant Details

Name/s:

KERRY + JEAN Wickman

Email:

Phone number:

Postal address:

(or alternative method of service under section 352 of the act)

6. Address for Correspondence

Name and address for service and correspondence (if using an Agent write their details here)

Name/s:

Northland Planning & Development 2020 Ltd

Email:

Phone number:

Postal address:

(or alternative method of service under section 352 of the act)

** All correspondence will be sent by email in the first instance. Please advise us if you would prefer an alternative means of communication.*

7. Details of Property Owner/s and Occupier/s

Name and Address of the Owner/Occupiers of the land to which this application relates (where there are multiple owners or occupiers please list on a separate sheet if required)

Name/s:

Jean Sandra Wickman and Kerry George Wickman

**Property Address/
Location:**

14 Wynyard Street, Kawakawa

Postcode

0210

8. Application Site Details

Location and/or property street address of the proposed activity:

Name/s:

Jean Sandra Wickman and Kerry George Wickman

Site Address/
Location:

14 Wynyard Street, Kawakawa

Postcode

0210

Legal Description:

Lot 1 DP126573

Val Number:

00419-15000

Certificate of title:

57667

Please remember to attach a copy of your Certificate of Title to the application, along with relevant consent notices and/or easements and encumbrances (search copy must be less than 6 months old)

Site visit requirements:

Is there a locked gate or security system restricting access by Council staff? Yes No

Is there a dog on the property? Yes No

Please provide details of any other entry restrictions that Council staff should be aware of, e.g. health and safety, caretaker's details. This is important to avoid a wasted trip and having to re-arrange a second visit.

Please contact applicant via details in Section 5 prior to site visit.

Nil

9. Description of the Proposal:

Please enter a brief description of the proposal here. Please refer to Chapter 4 of the District Plan, and Guidance Notes, for further details of information requirements.

Proposal to construct an addition to an existing dwelling which will be located in place of an existing garage. The proposal results in breach of permitted rules 7.6.5.1.5 Sunlight and 7.6.5.1.6 Stormwater Management within the Residential Zone. The proposal has been assessed as a Discretionary Activity under the ODP.

If this is an application for a Change or Cancellation of Consent Notice conditions (s.221(3)), please quote relevant existing Resource Consents and Consent Notice identifiers and provide details of the change(s), with reasons for requesting them.

10. Would you like to request Public Notification?

Yes No

11. Other Consent required/being applied for under different legislation

(more than one circle can be ticked):

- Building Consent**
- Regional Council Consent (ref # if known)**
- National Environmental Standard consent**
- Other (please specify)**

12. National Environmental Standard for Assessing and Managing Contaminants in Soil to Protect Human Health:

The site and proposal may be subject to the above NES. In order to determine whether regard needs to be had to the NES please answer the following:

Is the piece of land currently being used or has it historically ever been used for an activity or industry on the Hazardous Industries and Activities List (HAIL) Yes No Don't know

Is the proposed activity an activity covered by the NES? Please tick if any of the following apply to your proposal, as the NESCS may apply as a result. Yes No Don't know

- Subdividing land
- Changing the use of a piece of land
- Disturbing, removing or sampling soil
- Removing or replacing a fuel storage system

13. Assessment of Environmental Effects:

Every application for resource consent must be accompanied by an Assessment of Environmental Effects (AEE). This is a requirement of Schedule 4 of the Resource Management Act 1991 and an application can be rejected if an adequate AEE is not provided. The information in an AEE must be specified in sufficient detail to satisfy the purpose for which it is required. Your AEE may include additional information such as Written Approvals from adjoining property owners, or affected parties.

Your AEE is attached to this application Yes

13. Draft Conditions:

Do you wish to see the draft conditions prior to the release of the resource consent decision? Yes No

If yes, do you agree to extend the processing timeframe pursuant to Section 37 of the Resource Management Act by 5 working days? Yes No

14. Billing Details:

This identifies the person or entity that will be responsible for paying any invoices or receiving any refunds associated with processing this resource consent. Please also refer to Council's Fees and Charges Schedule.

Name/s: (please write in full)

KERRY WICKMAN

Email:

Phone number:

Postal address:

(or alternative method of service under section 352 of the act)

Fees Information

An instalment fee for processing this application is payable at the time of lodgement and must accompany your application in order for it to be lodged. Please note that if the instalment fee is insufficient to cover the actual and reasonable costs of work undertaken to process the application you will be required to pay any additional costs. Invoiced amounts are payable by the 20th of the month following invoice date. You may also be required to make additional payments if your application requires notification.

Declaration concerning Payment of Fees

I/we understand that the Council may charge me/us for all costs actually and reasonably incurred in processing this application. Subject to my/our rights under Sections 357B and 358 of the RMA, to object to any costs, I/we undertake to pay all and future processing costs incurred by the Council. Without limiting the Far North District Council's legal rights if any steps (including the use of debt collection agencies) are necessary to recover unpaid processing costs I/we agree to pay all costs of recovering those processing costs. If this application is made on behalf of a trust (private or family), a society (incorporated or unincorporated) or a company in signing this application I/we are binding the trust, society or company to pay all the above costs and guaranteeing to pay all the above costs in my/our personal capacity.

Name: (please write in full)

KERRY WICKMAN

Signature:

(signature of bill payer)

Date 4/2/25

MANDATORY

15. Important Information:

Note to applicant

You must include all information required by this form. The information must be specified in sufficient detail to satisfy the purpose for which it is required.

You may apply for 2 or more resource consents that are needed for the same activity on the same form. You must pay the charge payable to the consent authority for the resource consent application under the Resource Management Act 1991.

Fast-track application

Under the fast-track resource consent process, notice of the decision must be given within 10 working days after the date the application was first lodged with the authority, unless the applicant opts out of that process at the time of lodgement. A fast-track application may cease to be a fast-track application under section 87AAC(2) of the RMA.

Privacy Information:

Once this application is lodged with the Council it becomes public information. Please advise Council if there is sensitive information in the proposal. The information you have provided on this form is required so that your application for consent pursuant to the Resource Management Act 1991 can be processed under that Act. The information will be stored on a public register and held by the Far North District Council. The details of your application may also be made available to the public on the Council's website, www.fndc.govt.nz. These details are collected to inform the general public and community groups about all consents which have been issued through the Far North District Council.

15. Important information continued...

Declaration

The information I have supplied with this application is true and complete to the best of my knowledge.

Name: (please write in full)

KERRY WICKMAN

Signature:

[Redacted Signature]

Date 4/2/25

A signature is not required if the application is made by electronic means

[Handwritten Signature]

Checklist (please tick if information is provided)

- Payment (cheques payable to Far North District Council)
- A current Certificate of Title (Search Copy not more than 6 months old)
- Details of your consultation with Iwi and hapū
- Copies of any listed encumbrances, easements and/or consent notices relevant to the application
- Applicant / Agent / Property Owner / Bill Payer details provided
- Location of property and description of proposal
- Assessment of Environmental Effects
- Written Approvals / correspondence from consulted parties
- Reports from technical experts (if required)
- Copies of other relevant consents associated with this application
- Location and Site plans (land use) AND/OR
- Location and Scheme Plan (subdivision)
- Elevations / Floor plans
- Topographical / contour plans

Please refer to Chapter 4 of the District Plan for details of the information that must be provided with an application. Please also refer to the RC Checklist available on the Council's website. This contains more helpful hints as to what information needs to be shown on plans.

Land-Use Consent for
Kerry Wickman
14 Wynyard Street, Kawakawa

5 February 2025

To: Far North District Council

Please find attached:

- an application form for a Land-use Resource Consent for additions to an existing dwelling within the **Residential Zone**; and
- an Assessment of Environmental Effects of the potential and actual effects of the proposal on the environment.

The application has been assessed as a **Discretionary Activity** under the Far North Operative District Plan and a **Permitted Activity** under the Proposed District Plan.

If you require further information, please do not hesitate to contact our office.

Regards,



Alex Billot

Resource Planner

Reviewed by:



Rochelle Jacobs

Director/Senior Planner

NORTHLAND PLANNING & DEVELOPMENT 2020 LIMITED

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Attachments:

- 1. FNDC Application Form**
- 2. Record of Title – LINZ**
- 3. Site and Elevation Plans – Core Architectural Design Ltd**
- 4. Stormwater Mitigation Report – Wilton Joubert Limited**
- 5. Adjoining Landowner Written Approval – Lot 2 DP585842 / 25 Church Road, Kawakawa**
- 6. Topographic Survey – Williams & King**



Assessment of Environment Effects Report

1. Description of the Proposed Activity

1.1. The Applicant is seeking resource consent to construct an addition to an existing dwelling at 14 Wynyard Street, Kawakawa, which is zoned as Residential. The proposal will see an extension to the lower level of the existing dwelling (referenced mid floor in the Plans). The existing garage will also be replaced with a new garage. This will see the addition take place over the new garage on the site. The existing and proposed plans are shown below for clarity as well as an image of the existing development on the site. The full set of plans prepared by Core Architectural Design are attached within **Appendix 3** of this application.



Figure 1: Existing site layout. Garage shown will be removed and replaced with a new garage and mid floor design.

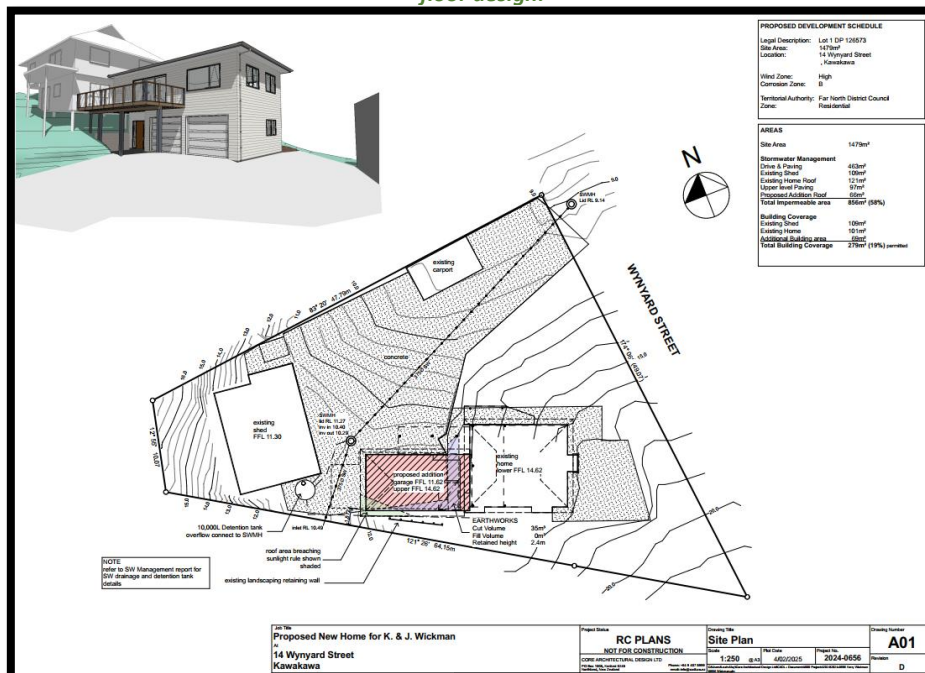


Figure 2: Proposed Site Layout. Source: Core Architectural



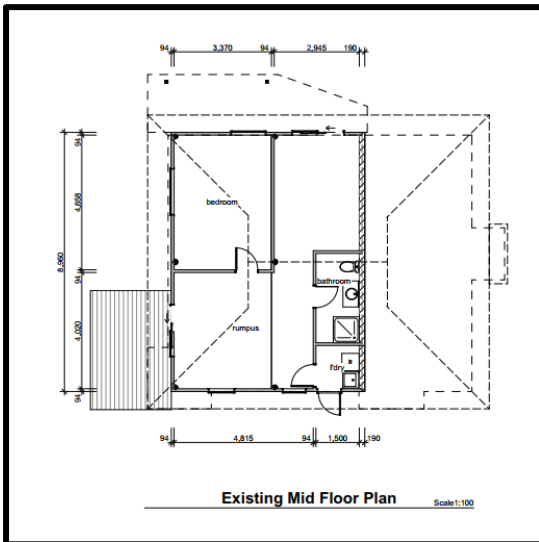


Figure 3: Existing mid floor layout.

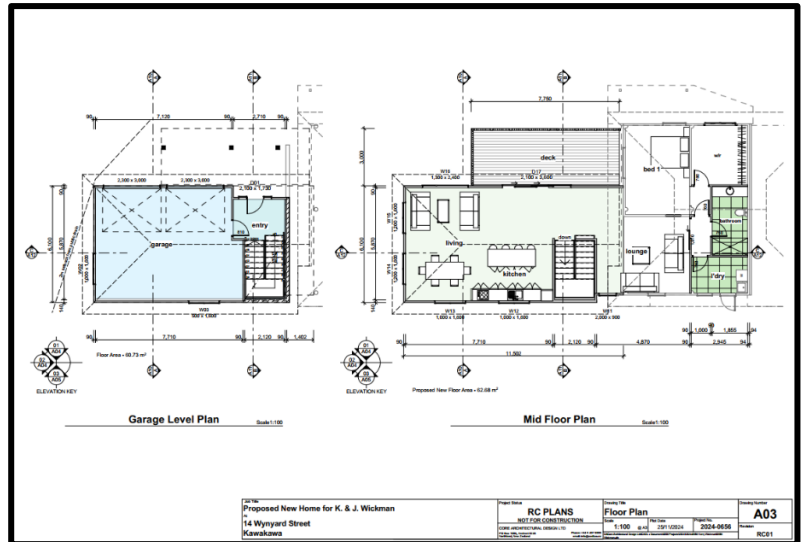


Figure 4: Proposed addition and new garage.

- 1.2. The proposal will result in a total impermeable surface coverage of 856m² or 58% of the total site area. Wilton Joubert have completed a Stormwater Mitigation Report which is also attached within **Appendix 4** of this application. Due to the amount of impermeable surfaces, the proposal infringes the Permitted rule 7.6.5.1.6 and Controlled Activity rule 7.6.5.2.1 for Stormwater Management.
- 1.3. The proposal also results in an infringement of permitted rule 7.6.5.1.5 Sunlight, along the boundary which adjoins Lot 2 DP 585842, due to the slope of the land. Written approval from the affected neighbour has been obtained as part of this application and is attached within **Appendix 5**.
- 1.4. The proposal has therefore been assessed as a **Discretionary Activity** under the Operative District Plan (ODP).

2. Site Description

- 2.1. The application site address is 14 Wynyard Street, Kawakawa. The site is zoned Residential but is in close proximity to the Kawakawa central business district, which is zoned as Commercial. The site is legally described Lot 1 DP126573. A copy of the record of title is attached at **Appendix 2**.
- 2.2. The site currently contains an existing dwelling, garage, shed and carport as per the site plan. There is also an existing landscaping retaining wall at the southern boundary of the site. Access to the site is existing, with a large area of the site concreted for access, parking and manoeuvring.
- 2.3. The existing built development is connected to existing Council reticulated wastewater, stormwater and water supply services.



- 2.4. The surrounding environment is an established urban residential area. The site is within walking distance of the Kawakawa town centre, local schools and community facilities.

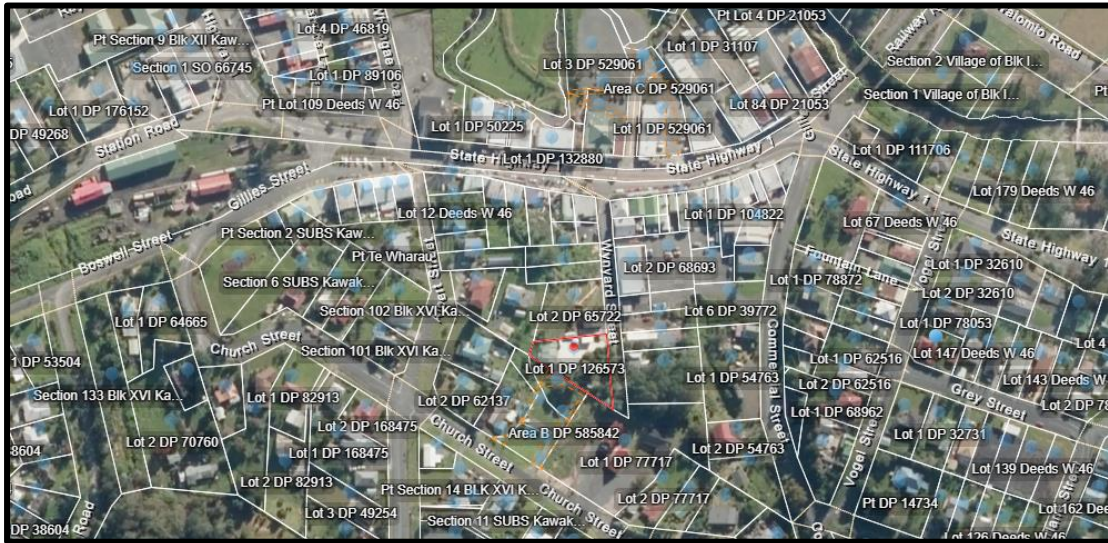


Figure 5: Site and surrounding environment. Source: Prover.

3. Background

Record of Title

- 3.1. The Record of Title is contained within **Appendix 2** of this application. The site is legally described as Lot 1 DP 126573, with a land area of 1479m². The site is held within Title Identifier 57667 which is dated 26 September 2002. There are no consent notices or easements registered on the title.

Site Features

- 3.2. The site is located within the Residential zone under the ODP and is zoned as General Residential under the Proposed District Plan (PDP).



Figure 6: FNDC ODP zoning maps

- 3.3. The site is not shown to be registered as a HAIL site on the FNDC Maps, nor are there any historical sites registered on the property.



- 3.4. The site is serviced by reticulated wastewater, water and stormwater. Wilton Joubert have identified a public stormwater line which runs through the site, as will be discussed further in this report.

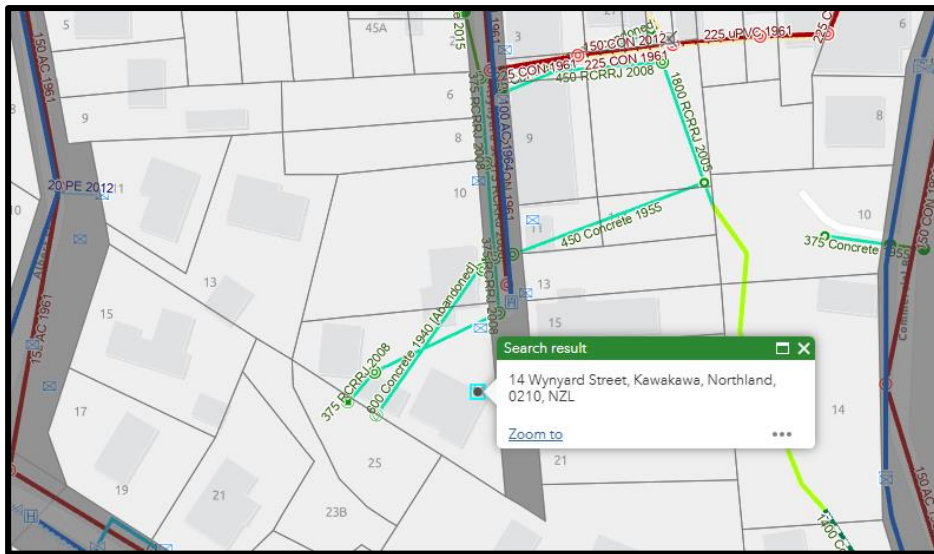


Figure 7: FNDC Infrastructure Maps

- 3.5. Due to the residential nature of the site and surrounding environment, the site is not shown to contain any areas of PNA or reserves, nor are there any kiwi shown to be present in the area.
- 3.6. The site is not shown to be susceptible to natural hazards.
- 3.7. The site is not shown to be within or near a Statutory Acknowledgement Area.

4. Weighting of Plans

- 4.1. The site is zoned as General Residential under the Proposed District Plan and is not subject to any overlays.
- 4.2. The Council notified its' PDP on 27 July 2022. The period for public submissions closed on the 21 October 2022. A summary of submissions was notified on the 4 August 2023. The further submission period closed on the 5 September 2023. It is apparent from the summary of submissions relating to the applicable zone that a large number relate to the application of these provisions. Based on the volume and comprehensive nature of these submissions, the Council has confirmed that no other rules will have legal effect until such time as a decision is made on those provisions.
- 4.3. District Plan hearings on submissions are currently underway and are scheduled to conclude in October 2025. No decision on the PDP has been issued. For this reason, little weight is given to the PDP provisions with the exception of those rules which have immediate legal effect.



5. Activity Status of the Proposal

Operative Far North District Plan (ODP)

- 5.1. The site is zoned urban 'Residential' zone in the ODP. Urban residential activities are enabled in the Residential zone.
- 5.2. An assessment of the relevant District Plan rule standards is set out in Table 1 and Table 2 below:

Residential Zone Standards

Table 1 - Assessment against the Residential Zone rule standards		
Plan Reference	Rule	Performance of Proposal
7.6.5.1.1	Relocated Buildings	<p>This proposal is for an addition to an existing building and replacement of an existing garage.</p> <p>Permitted.</p>
7.6.5.1.2	Residential Intensity	<p>The proposal is for a single residential dwelling on an existing site that is to be connected to the public reticulated sewerage system.</p> <p>The definition of a residential unit under the ODP is as follows: <i>'A building, a room or a group of rooms, used, designed or intended to be used by one or more persons as a self contained single, independent and separate household. Any accessory building providing sleeping accommodation and bathroom facilities but no cooking or dishwashing or laundry facilities will be treated as forming part of a residential unit / dwelling.'</i></p> <p>Although the building will contain two sets of cooking and dishwashing facilities, it is intended to be utilised as one unit, which is reinforced by the shared use of the laundry facility. The intended purpose of the addition is to move the living area down a level, so that it is more accessible.</p> <p>There have been building consents approved in the past (COA-2024-69/0 and EBC-2022-521/0) where there were separate and shared facilities, and the building was assessed as forming one residential unit.</p> <p>Taking into consideration similar building applications which have seen two kitchens within one building being assessed as a single residential unit, as well as</p>



		<p>the fact that the two living areas as part of this proposal are not considered to be independent of each other as they are reliant on the wider building and site for shared laundry facilities, servicing, access and parking, it is in our professional opinion that the proposed building as part of this application forms one single residential unit and should be assessed as such under the Far North Operative District Plan.</p> <p>It should be further noted that 2 dwellings on this site would also be a permitted activity given the site size and wastewater connections.</p> <p>Permitted</p>
7.6.5.1.3	Scale of Activities	<p>The proposal does not include any other activities on the site other than for residential purposes.</p> <p>Permitted</p>
7.6.5.1.4	Building Height	<p>The proposed building is within the permitted height limit for the Residential zone. Refer Site Section Plan A04.</p> <p>Permitted</p>
7.6.5.1.5	Sunlight	<p>The proposed building will infringe the permitted sunlight recession planes along the boundary with Lot 2 DP 585842, as depicted in Sheet A04. This is due to the existing topography of the site and adjoining allotment. Written approval from the affected owner of Lot 2 DP 585842 (25 Church Street, Kawakawa) has been obtained as part of this application process.</p> <p>Discretionary Activity</p>
7.6.5.1.6	Stormwater Management	<p>The maximum permitted area of impermeable surface on the site is 50% or 739.5m².</p> <p>The proposed area of impermeable surface on the site is 856m²(58%) and therefore the proposal exceeds the permitted threshold.</p> <p>The proposal cannot comply with the controlled threshold of 60% or 600m² (whichever is the lesser) as it exceeds 600m².</p> <p>Discretionary Activity</p>



7.6.5.1.7	Set back from boundaries	<p>The minimum building set back from road boundaries is 3m. The minimum set back from any boundary other than a road boundary is 1.2m.</p> <p>As shown on Sheet A01 of the attached plans, the minimum setbacks from boundaries is 1.872m, which adjoins Lot 2 DP 585842. The proposed addition is in excess of 3m of the road boundaries.</p> <p>Permitted Activity</p>
7.6.5.1.8	Screening for Neighbours – Non Residential Activities	Not applicable
7.6.5.1.9	Outdoor Activities	Permitted
7.6.5.1.10	Visual Amenity	Not applicable
7.6.5.1.11	Transportation	Refer below
7.6.5.1.12	Site Intensity – Non-Residential Activities	Not applicable
7.6.5.1.13	Hours of operation – Non-residential activities	Not applicable
7.6.5.1.14	Keeping of Animals	Not applicable
7.6.5.1.15	Noise	<p>Able to comply</p> <p>Permitted</p>
7.6.5.1.16	Helicopter Landing Area	Not applicable
7.6.5.1.17	Building Coverage	<p>The maximum building area permitted on a site is 45% or 665.55m².</p> <p>The proposed area of building coverage on the site is 279m² or 19%.</p> <p>Permitted</p>



District Wide Standards

Table 2 – Assessment against the relevant District Wide rule standards		
Plan Reference	Rule	Performance of Proposal
Chapter 12 – Natural and Physical Resources		
12.1	Landscapes and Natural Features	Not applicable
12.2	Indigenous Flora and Fauna	Not applicable
12.3 12.3.6.1.2 (P)	Excavation and/or filling	<p>Some minor earthworks will be required to prepare the site for redevelopment. The maximum cut volume will be 35m³. No fill will be required with all excavated material being removed from the site. The maximum height of the cut will be 2.4m.</p> <p>It is noted that while this exceeds 1.5m that this will be behind a properly designed and engineered retaining wall (i.e. the side of the building) for which building consent will be obtained. As such the works does not meet the definition of a cut face and therefore is exempt from this standard.</p> <p>Permitted.</p>
12.4 12.4.6.1.2 (P)	Fire Risk to Residential Units	<p>The proposed addition is in a residential area and is located at least 20m from the drip line of any trees in a naturally occurring or deliberately planted area of scrub or shrubland, woodlot or forest.</p> <p>Permitted.</p>
Sections 12.5 – 12.9 are not applicable to this proposal.		
Chapter 15 - Transportation		
15.1.6A	Traffic Intensity	<p>Single dwelling is exempt.</p> <p>Permitted</p>
15.1.6B	Parking	<p>Two carparking spaces are existing on site and can be provided for within the new garage. As mentioned, the addition is included as part of the existing residential unit.</p> <p>Permitted</p>



15.1.6C	Access	The site is accessed directly from Wynyard Street which will remain unchanged as part of this proposal. Permitted
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ODP Activity Status

- 5.3. The proposal results in a breach of the Permitted rules 7.6.5.1.5 Sunlight and 7.6.5.1.6 Stormwater Management, within the Residential Zone. Written approval from the affected neighbour of the sunlight breach has been obtained as part of this application and is contained within **Appendix 5** of this application. A Stormwater Mitigation Report prepared by Wilton Joubert has also been obtained and is included within **Appendix 4** of this application.
- 5.4. The proposal has been assessed as a **Discretionary Activity** in accordance with Section 7.6.5.4 of the ODP. An assessment of the relevant sections of Chapter 11 will be undertaken as part of this application.

Proposed District Plan (PDP)

- 5.5. The proposal is also subject to the Proposed District Plan process. The proposed site zone is **General Residential**. The site is not within any identified overlays.
- 5.6. An assessment of the proposed activities against the PDP rules that have immediate legal effect, is set out in **Table 3** below:

Table 3 – Assessment against the PDP rule standards that have immediate legal effect		
Chapter	Rule Reference	Compliance of Proposal
Hazardous Substances	The following rules have immediate legal effect: Rule HS-R2 has immediate legal effect but only for a new significant hazardous facility located within a scheduled site and area of significance to Māori, significant natural area or a scheduled heritage resource Rules HS-R5, HS-R6, HS-R9	Not applicable. The site does not contain any hazardous substances nor are any proposed.
Heritage Area Overlays	All rules have immediate legal effect (HA-R1 to HA-R14) All standards have immediate legal effect (HA-S1 to HA-S3)	Not applicable. The site is not located within a Heritage Area Overlay.
Historic Heritage	All rules have immediate legal effect (HH-R1 to HH-R10).	Not applicable.



	Schedule 2 has immediate legal effect.	The site does not contain any areas of Historic Heritage.
Notable Trees	All rules have immediate legal effect (NT-R1 to NT-R9) All standards have legal effect (NT-S1 to NT-S2) Schedule 1 has immediate legal effect	Not applicable. The site does not contain any notable trees.
Sites and Areas of Significance to Maori	All rules have immediate legal effect (SASM-R1 to SASM-R7) Schedule 3 has immediate legal effect	Not applicable. The site does not contain any sites or areas of significance to Māori.
Ecosystems and Indigenous Biodiversity	All rules have immediate legal effect (IB-R1 to IB-R5)	Not applicable. The site does not contain any known ecosystems or indigenous biodiversity to which these rules would apply.
Subdivision	The following rules have immediate legal effect: SUB-R6, SUB-R13, SUB-R14, SUB-R15, SUB-R17	Not applicable. The proposal is not for subdivision.
Activities on the Surface of Water	All rules have immediate legal effect (ASW-R1 to ASW-R4)	Not applicable. The proposal does not involve activities on the surface of water.
Earthworks	The following rules have immediate legal effect: EW-R12, EW-R13 The following standards have immediate legal effect: EW-S3, EW-S5	Permitted. All earthworks in all zones are subject to Accidental Discovery Protocol standards EW-S3 and the GD-005 sediment control standards EW-S5.
Signs	The following rules have immediate legal effect: SIGN-R9, SIGN-R10 All standards have immediate legal effect but only for signs on or attached to a scheduled heritage resource or heritage area	Not applicable.
Orongo Bay Zone	Rule OBZ-R14 has partial immediate legal effect because RD-1(5) relates to water	Not applicable.

PDP Activity Status

5.7. The proposed activities are **Permitted** under the PDP.



National Environmental Standards

National Environment Standard for Assessing and Managing Contaminants in Soil to Protect Human Health 2011

5.8. The site is not identified as a HAIL site on the Council database of HAIL sites. The site has no known history of horticulture or agriculture activities.

National Environment Standard for Freshwater Regulations 2020 (NES-F)

5.9. The site does not contain any wetland and would not affect any wetland that is protected by the NES-F.

Control of Earthworks Bylaw

5.10. As per the assessment above, no District or Regional consents are required for earthworks, and as such an assessment under the control of earthworks bylaw is considered necessary.

5.11. The earthworks required for this application generally meet the exemptions under the definition of excavation being (f) excavation for building foundations and stripping of topsoil to form a building footprint and (i) cuts behind retaining walls. For completeness the earthworks triggers have been assessed below.

ASSESSMENT OF THE APPLICABLE CONTROL OF EARTHWORKS RULES:		
<u>PERFORMANCE STANDARDS</u>		
Bylaw Reference	Rule	Performance of Proposal
7.1	(a)	Complies While some works will be undertaken within 3m of the southern site boundary these works meet the exemptions within the definition of excavation in the bylaw.
	(b)	Complies The works will not exceed 500mm in depth over an area greater than 50m ² and do not exceed 50m ³ .
	(c)	Complies The site is not located within the Rural Production Zone.
	(d)	Complies The earthworks area is outside of any resource features.
	(e)	Complies



	Stormwater runoff will not adversely impact upon any adjoining properties as per the Stormwater Mitigation Report.
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5.12. As per the assessment above, no earthworks permit is required.

6. Statutory Assessment under the Resource Management Act (RMA)

Section 104B of the RMA

6.1. Section 104B governs decisions on applications for Discretionary Activities. A consent authority may grant or refuse the application. If it grants the application, it may impose conditions under Section 108.

Section 104(1) of the RMA

6.2. The relevant parts of Section 104(1) of the RMA state that when considering an application for resource consent –

“the consent authority must, subject to Part 2, and section 77M have regard to –

(a) any actual and potential effects on the environment of allowing the activity; and

(ab) any measure proposed or agreed to by the applicant for the purpose of ensuring positive effects on the environment that will or may result from allowing the activity; and

(b) any relevant provisions of –

i. a national environmental standard:

ii. other regulations:

iii. a national policy statement:

iv. a New Zealand Coastal Policy Statement:

v. a regional policy statement or proposed regional policy statement:

vi. a plan or proposed plan; and

(c) any other matter the consent authority considers relevant and reasonably necessary to determine the application.”

6.3. Actual and potential effects arising from the development as described in 104(1)(a) can be both positive and adverse (as described in Section 3 of the Act). Positive effects arising from this development is the accessibility of the existing dwelling will be increased as well as ease of use. The proposal will be constructed in place of an existing garage (which will be removed prior to construction), such that no additional footprint into the outdoor areas utilised for parking, access and outdoor space will need to be acquired.

6.4. Section 104(1)(ab) requires that the consent authority consider ‘any measure proposed or agreed to by the applicant for the purposes of ensuring positive effects on the environment to



offset or compensate for any adverse effects on the environment that will or may result from allowing the activity'. The proposal is not of a scale or nature that would require specific offsetting or environmental compensation measures to ensure positive effects on the environment. Potential adverse effects on the environment would be no more than minor and can be effectively mitigated through conditions of consent. This relates particularly to the way in which stormwater management on the site will be managed to avoid adverse effects on adjacent land and on the existing stormwater drainage system.

- 6.5. Section 104(1)(b) requires that the consent authority consider the relevant provisions of national environmental standards, regulations, national policy statements, regional policy statements or plans, including proposed plans. There are no national standards, regulations or national policy statements that are directly relevant to the proposed activities and / or that are not adequately managed within the framework hierarchy of the District Plan. An assessment of the relevant statutory documents is provided below.
- 6.6. Section 104(1)(c) states that consideration must be given to 'any other matters that the consent authority considers relevant and reasonable, necessary to determine the application.' There are no other matters relevant to this application.
- 6.7. In accordance with Section 104(6), adequate information is provided to determine this application.

7. Section 104(1)(a) - Assessment of Effects on the Environment

- 7.1. The proposal is to be assessed as a Discretionary Activity under District Plan Rule 7.6.5.4. The Council has full discretion to consider the broad range of policy matters relating to land use activities in the Residential zone.
- 7.2. Having reviewed the relevant plan provisions and taking into account the matters to be addressed by an assessment of environmental effects as outlined in Clause 7 of Schedule 4 of the Act, the following environmental effects are identified as being relevant to this application. These include matters relating to the construction of the addition to the dwelling, in particular the stormwater management activities and effects of the sunlight breach that require a Discretionary Activity resource consent. Potential adverse effects arising from other built development activities are within the permitted thresholds of the ODP.
- 7.3. Due to the topography of the site and the nature of the building layout design as well as the existing design for the building and impermeable surfaces on the site, it is proposed to construct an addition to the mid floor of the existing dwelling, as well as replacement of the existing garage with a new garage. This is depicted in **Figures 8 & 9** below.





Figure 8: Image of existing layout. Garage to be removed and replaced with addition.



Figure 9: Proposed addition. Source: Core Architectural

- 7.4. Although the site coverage of impermeable surfaces will not be changing, the nature of impermeable surfaces is, and as such, all existing and proposed impermeable surfaces need to be taken into consideration. To support this application, WJL have completed a Stormwater Mitigation Report (SMR), which has provided recommendations to ensure stormwater is managed onsite without having adverse effects on the downstream environment. This will be discussed further in the sections below.
- 7.5. Due to the existing topography of the site and the uphill adjoining allotment (Lot 2 DP 585842), a sunlight breach occurs along this boundary. Written approval from the affected neighbour has been sought and obtained, with no objections raised.



7.6. The ODP sets out assessment criteria to be considered when determining an application for Discretionary Activity for Sunlight and Stormwater Management, which are held within Chapter 11 of the ODP. These are discussed as follows.

11.2 Building Height, Scale & Sunlight

7.7. As mentioned above, the proposal creates a sunlight infringement along the boundary with Lot 2 DP 585842. Written approval has been sought and obtained by the affected owner, with no objections raised. The extent of the sunlight breach is detailed within Sheet A04 of the Plans and shown below for clarity. As can be seen on Sheet A04, the adjoining allotment is located at a higher elevation and slopes upward, away from the subject site.

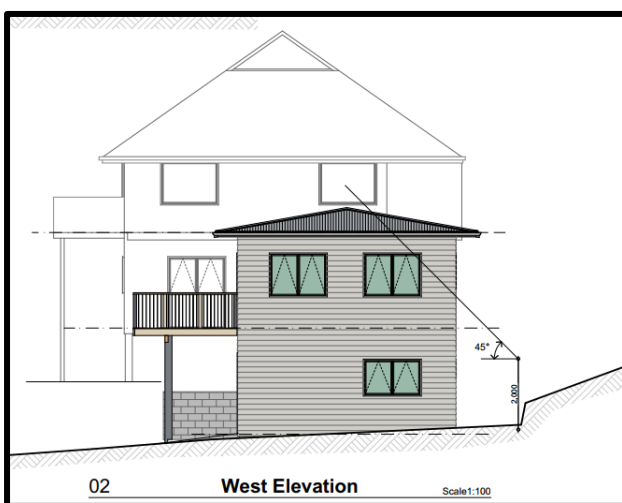


Figure 10: Sunlight breach along Lot 2 DP585842 boundary. Source: Core Architectural.

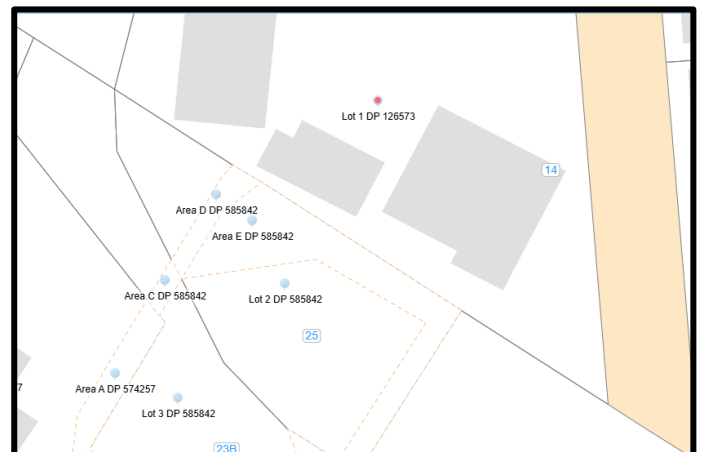


Figure 11: Screenshot of subject site and adjoining affected neighbour Lot 2 DP585842. Source: Prover.

7.8. An assessment of Section 11.2 of the ODP has been undertaken below:

- (a) *The extent to which adjacent properties will be adversely affected in terms of visual domination, overshadowing, loss of privacy and loss of access to sunlight and daylight.*
- (b) *The ability to mitigate any adverse effects by way of increased separation distances between buildings or the provision of landscaping and screening.*
- (c) *The extent of the building area and the scale of the building and the extent to which they are compatible with both the built and natural environments in the vicinity.*
- (d) *The spatial relationship between the new building and adjacent residential units, and the outdoor space used by those units.*
- (e) *The nature of the activity to be carried out within the building and its likely generated effects.*



7.8.1. As mentioned above, written approval from the adjoining neighbour of Lot 2 DP 585842, has been obtained, such that effects can be discounted on this property to a degree. As the subject site is located downslope of the adjoining allotment, effects of visual domination, overshadowing, loss of privacy and loss of access to sunlight and daylight are considered to be less than minor. The infringed boundary is shown adjacent in **Figure 12 and 14**. Both views are to the SE. There is an existing dwelling on Lot 2 DP 585842 which is orientated to the west, as can be seen in **Figure 13**. Another view looking NW to the infringed area in **Figure 15** illustrates the open space on the neighbouring site adjacent to this development area. The proposal is not considered to create any adverse effects in terms of (a).



Figure 12 - Location of sunlight infringement with landscape retaining wall in background



Figure 13: Image showing location of subject site and dwelling located on Lot 2 DP585842 at the rear of image.

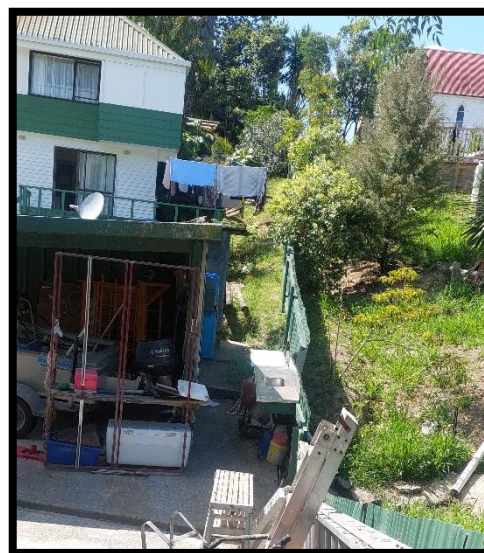


Figure 14 – Area of sunlight infringement

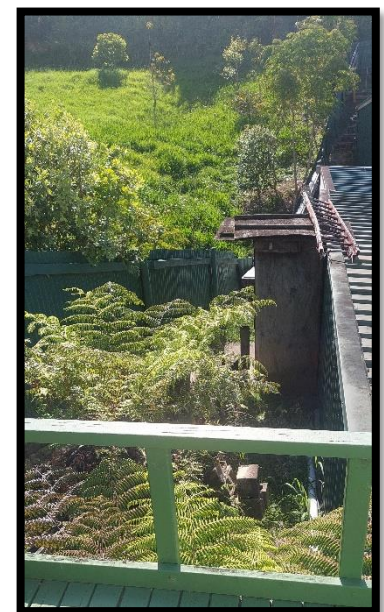


Figure 15 - View of infringed boundary from existing dwelling

7.8.2. Increased separation distances are not considered applicable to this proposal, as the proposed addition is already in excess of the permitted 1.2m setback distance. Landscaping is also not considered a suitable solution as this will not aid in decreasing effects, which are considered to be less than minor in any case, due to the adjoining allotment being located upslope of the subject site.



- 7.8.3. The site and surrounding environment are residential in nature and the proposed design is considered the most suitable and practical design for the site. The proposal is considered compatible with the built and natural environments in the vicinity.
- 7.8.4. The spatial relationship between the proposed addition and adjacent residential units and their outdoor space is considered consistent with other lots in the surrounding urban environment. No effects on the outdoor space of adjoining units are considered to be affected.
- 7.8.5. The proposed nature of the activity will remain unchanged to what is currently in existence. As previously discussed, the intended use of the addition is for additional residential living of the occupant.
- 7.8.6. Overall, given written approval has been obtained by the affected neighbour and the fact the proposal will continue the residential use of the site, the effects of the sunlight infringement are considered to be less than minor.

11.3 Stormwater Management

- 7.9. Wilton Jobert (WJL) have completed a Stormwater Mitigation Report (SMR), which is attached within Appendix 4 of this report. Below will include a summary of WJL's SMR, however please refer to the document for more detailed information.
- 7.10. It was determined that the total amount of impermeable surfaces post-development equates to 856m² or 58% of the site area. The total impermeable surfaces exceeds the permitted and controlled thresholds for the Residential zone. WJL completed an assessment for the stormwater runoff attenuation for the area exceeding the Controlled threshold of 600m², which equates to 256m².
- 7.11. It was determined within WJL's SMR, that as the site is serviced by a public stormwater network, runoff from the proposed impermeable areas which exceed the controlled activity threshold will be attenuated back to 80% of the Greenfields flow rate for the 20% AEP design storm, including allowance for climate change factors. To mitigate adverse effects of runoff on downstream flooding, runoff will also be attenuated back to 80% of the Greenfields flow rate for the 1% AEP design storm, which also includes an allowance for climate change factors. Please refer to WJL's SMR for further detail.
- 7.12. It was recommended that runoff from the existing dwelling, proposed addition to the existing dwelling and 50% of the roof area from the shed, must be directed to a detention tank, which is to have a volume of 10,000L. Discharge from the detention tank must be transported via sealed pipes to the stormwater connection point within the site. There is an existing 375mm diameter public stormwater line which crosses the site, as per WJL's SMR. WJL have recommended that it should be confirmed if an existing connection at the manhole is servicing the site and if not, then it is recommended to install a connection, unless an alternative suitable



connection is available. Council's approval for any works on public infrastructure will be required.

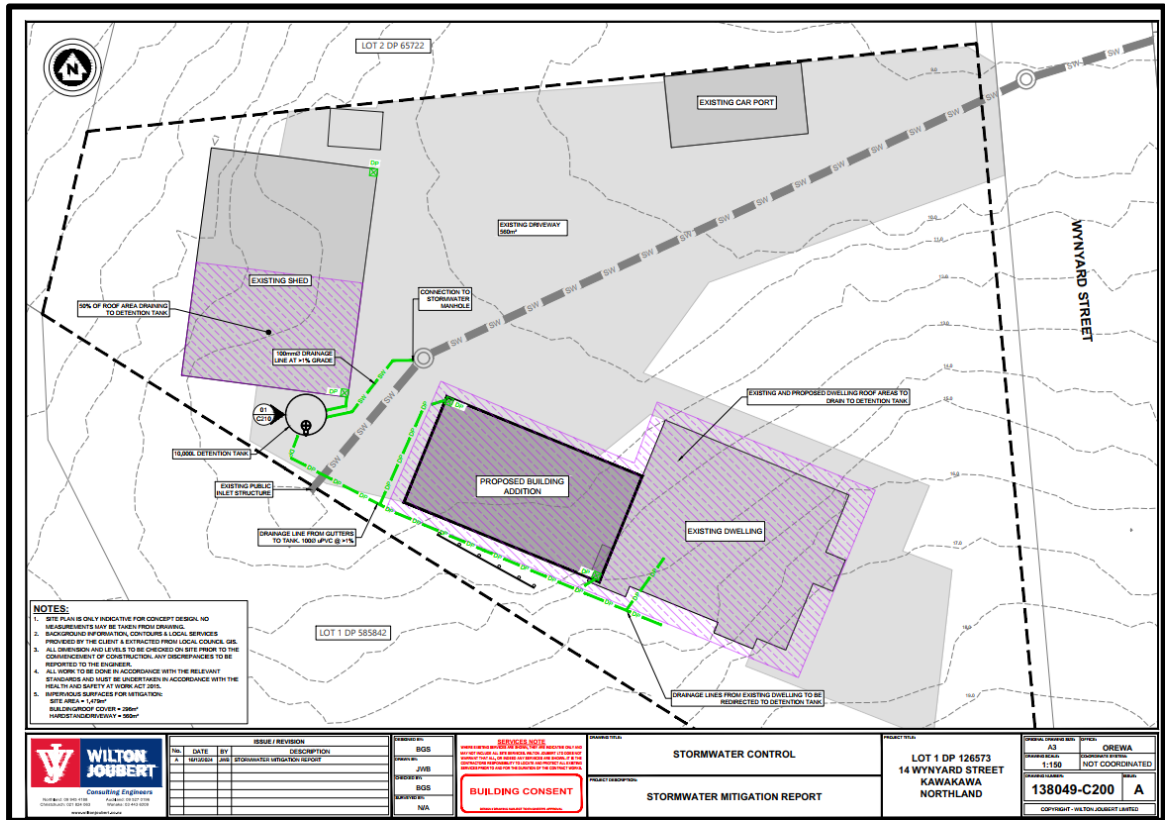


Figure 16: Proposed stormwater control. Source: WJL

7.13. WJL concluded that with the above attenuation recommendations, this will result in the site being compliant with the Controlled Activity Rule 7.6.5.2.1. While this is the case, it is noted that the application remains as a Discretionary activity.

7.14. An assessment of Section 11.3 of the ODP will be undertaken below for completeness.

(a) *The extent to which building site coverage and impermeable surfaces result in increased stormwater runoff and contribute to total catchment impermeability and the provisions of any catchment or drainage plan for that catchment.*

7.14.1. Technically, the building site coverage and impermeable surface coverage will remain unchanged, due to the addition being located in place of an existing garage, however the nature of these surfaces will be changing. WJL have recommended tank attenuation to attenuate runoff to pre-development conditions for the proposed impermeable surface coverage which exceeds the controlled activity threshold of 600m².

(b) *The extent to which Low Impact Design principles have been used to reduce site impermeability.*



- 7.14.2. Low Impact Design has been included to attenuate flow as detailed in WJL's SMR.
- (c) Any cumulative effects on total catchment impermeability.*
- 7.14.3. As per WJL's SMR, post development peak runoff will decrease. No cumulative effects are anticipated.
- (d) The extent to which building site coverage and impermeable surfaces will alter the natural contour or drainage patterns of the site or disturb the ground and alter its ability to absorb water.*
- 7.14.4. Runoff will be directed to an attenuation tank and discharge from the tank is to be to the selected connection point. Natural contour or drainage patterns are not anticipated to be affected.
- (e) The physical qualities of the soil type.*
- 7.14.5. Waipapa Group – refer to WJL's SMR.
- (f) Any adverse effects on the life supporting capacity of soils.*
- 7.14.6. No adverse effects on the life supporting capacity of soils are anticipated.
- (g) The availability of land for the disposal of effluent and stormwater on the site without adverse effects on the water quantity and water quality of water bodies (including groundwater and aquifers) or on adjacent sites.*
- 7.14.7. The site is serviced by a reticulated wastewater system. Runoff will be managed onsite as detailed above.
- (h) The extent to which paved, impermeable surfaces are necessary for the proposed activity.*
- 7.14.8. The existing and proposed impermeable surfaces are considered necessary for residential living.
- (i) The extent to which landscaping may reduce adverse effects of run-off.*
- 7.14.9. No specific landscaping is considered necessary from WJL.
- (j) Any recognised standards promulgated by industry groups.*
- 7.14.10. Not applicable.
- (k) The means and effectiveness of mitigating stormwater run-off to that expected by the permitted activity threshold.*



7.14.11. The impermeable areas in exceedance of Permitted Activity Rule 7.6.5.2.1 have been attenuated back to 80% of the pre-development flow rates for the 20% and 1% AEP storm events, adjusted for climate change.

(l) The extent to which the proposal has considered and provided for climate change.

7.14.12. As above.

(m) The extent to which stormwater detention ponds and other engineering solutions are used to mitigate any adverse effects.

7.14.13. Not considered applicable to this proposal.

8. Section 104(1)(b) – Relevant provisions of any statutory planning document

8.1. In accordance with Section 104(1)(b) of the Act, the following documents are relevant to this application.

National Environmental Standards (Section 104(1)(b)(i) & 2

8.2. There are no National Environmental Standards that are relevant to the consideration of the proposed activity.

National Policy Statements (section 104(1)(b)(iii))

8.3. There are currently 8 National Policy Statements in place. These are as follows:

- National Policy Statement on Urban Development
- National Policy Statement for Freshwater Management
- National Policy Statement for Renewable Electricity Generation
- National Policy Statement on Electricity Transmission
- New Zealand Coastal Policy Statement
- National Policy Standard for Highly Productive Land.
- National Policy Statement for Indigenous Biodiversity
- National Policy Statement for Greenhouse Gas Emissions from Industrial Process Heat.

8.4. There are no National Policy Statements that are directly relevant to the consideration of the proposed activity.

Regional Policy Statement for Northland 2016 and Regional Plan for Northland (February 2024)

8.5. The Regional Policy Statement for Northland (RPS) and the Regional Plan for Northland are the governing regional statutory documents for Northland that includes the application site. The small-scale nature of the proposed land use activity is such that it can be adequately assessed under the provisions of the ODP provisions. The nature and volume of the proposal that would



be generated by the proposed residential development activity is not of a regional scale that would be captured by regional rules.

- 8.6. It is considered the proposal would not be contrary to any Regional Policy Statement objective or policy and would not be subject to any Regional Plan rule.

Far North Operative District Plan 2009

- 8.7. The relevant objectives and policies of the Plan are those related to the Urban Environment, and its' Residential Zone. As assessed above, it is considered that the proposed activity that infringes the permitted standards would generate no more than minor adverse effects on the receiving environment, including the adjacent sites. The proposal would be consistent with the character of the surrounding area. The proposal would not be contrary to the objectives and policies of the ODP, as commented on in the paragraphs below.

Urban Environment – Objectives

7.3.1 To ensure that urban activities do not cause adverse environmental effects on the natural and physical resources of the District.

7.3.2 To enable the continuing use of buildings and infrastructure in urban areas, particularly where these are under-utilised.

7.3.3 To avoid, remedy or mitigate the adverse effects of activities on the amenity values of existing urban environments.

7.3.4 To enable urban activities to establish in areas where their potential effects will not adversely affect the character and amenity of those areas.

7.3.5 To achieve the development of community services as an integral and complementary component of urban development.

7.3.6 To ensure that sufficient water storage is available to meet the needs of the community all year round.

- 8.8. As detailed within this assessment and supporting documents, the proposal is not considered to create any adverse effects on the environment. The proposal will enable more practical and effective use of the residential dwelling by providing a more functional and accessible living and cooking space. Amenity values are not considered to be affected due to the residential nature of the proposal. No development of community services is proposed. The site is serviced by reticulated water supply.

Urban Environment – Policies

7.4.1 That amenity values of existing and newly developed areas be maintained or enhanced.

7.4.2 That the permissible level of effects created or received in residential areas reflects those appropriate for residential activities.

7.4.3 That adverse effects on publicly-provided facilities and services be avoided or remedied by new development, through the provision of additional services.



7.4.4 That stormwater systems for urban development be designed to minimise adverse effects on the environment.

7.4.5 That new urban development avoid:

(a) adversely affecting the natural character of the coastal environment, lakes, rivers, wetlands or their margins;

(b) adversely affecting areas of significant indigenous vegetation or significant habitats of indigenous fauna;

(c) adversely affecting outstanding natural features, landscapes and heritage resources;

(d) adversely affecting the relationship of Maori and their culture and traditions with their ancestral lands, water, sites, waahi tapu, and other taonga;

(e) areas where natural hazards could adversely affect the physical resources of urban development or pose risk to people's health and safety;

(f) areas containing finite resources which can reasonably be expected to be valuable for future generations, where urban development would adversely affect their availability;

(g) adversely affecting the safety and efficiency of the roading network;

(h) the loss or permanent removal of highly productive and versatile soils from primary production due to subdivision and development for urban purposes.

7.4.6 That the natural and historic heritage of urban settlements in the District be protected (refer to Chapter 12).

7.4.7 That urban areas with distinctive characteristics be managed to maintain and enhance the level of amenity derived from those characteristics.

7.4.8 That infrastructure for urban areas be designed and operated in a way which:

(a) avoids remedies or mitigates adverse effects on the environment;

(b) provides adequately for the reasonably foreseeable needs of future generations; and

(c) safeguards the life-supporting capacity of air, water, soil and ecosystems.

7.4.9 That the need for community services in urban areas is recognised and provided for.

8.9. Amenity values are considered to be maintained and enhanced as the proposal will result in an addition to an existing residential dwelling. Mitigation measures have been included which will bring the effects from the impermeable surfaces to that of a permitted threshold. Written approval has been obtained from the affected neighbour of the sunlight infringement such that effects from this departure are considered to be less than minor. The stormwater attenuation has been designed such that effects will be less than minor. No effects on natural character, areas of significant indigenous vegetation or fauna, outstanding natural features, landscapes or heritage resources, relationship with Māori and their culture and traditions, natural hazards, finite resources, safety and efficient of the roading network or areas of HPL are considered to



arise from this residential development. The site is not located within a Heritage Precinct. Amenity levels are considered to remain unchanged. Connection to Councils stormwater system will be required as part of this application. No community services are proposed.

Residential Zone - Objectives

7.6.3.1 To achieve the development of new residential areas at similar densities to those prevailing at present.

7.6.3.2 To enable development of a wide range of activities within residential areas where the effects are compatible with the effects of residential activity.

7.6.3.3 To protect the special amenity values of residential sites on the urban fringe, specifically Lot 1 DP 28017, Lot 1 DP 46656, Lot 1 DP 404507, Lot 1 DP 181291, Lot 2 DP 103531, Lot 1 DP 103531, Lot 2 DP 58333, Pt Lot 1 DP 58333 (and any sites created as a result of a subdivision of these lots), and those having frontage to Kerikeri Road between its intersection with SH10 and Cannon Drive.

- 8.10. The proposed activity is a single residential dwelling on a Residential zone site.
- 8.11. Resource consent is required for the infringement of impermeable surfaces and sunlight which are necessary to develop the site for the proposed addition. Due to the existing development and topography of the site, these departures have occurred although the proposal has been determined to be compatible with the effects of residential activity.
- 8.12. The site does not contain any significant indigenous vegetation or habitats of indigenous fauna. The site is not within any outstanding landscapes nor does it contain any outstanding natural features. The proposal would not adversely affect water quality in the area or soil conservation.

Residential Zone - Policies

7.6.4.1 That the Residential Zone be applied to those parts of the District that are currently predominantly residential in form and character.

7.6.4.2 That the Residential Zone be applied to areas which are currently residential but where there is scope for new residential development.

7.6.4.3 That the Residential Zone be applied to areas where expansion would be sustainable in terms of its effects on the environment.

7.6.4.4 That the Residential Zone provide for a range of housing types and forms of accommodation.

7.6.4.5 That non-residential activities only be allowed to establish within residential areas where they will not detract from the existing residential environment.

7.6.4.6 That activities with net effects that exceed those of a typical single residential unit, be required to avoid, remedy or mitigate those effects with respect to the ecological and amenity values and general peaceful enjoyment of adjacent residential activities.

7.6.4.7 That residential activities have sufficient land associated with each household unit to provide for outdoor space, planting, parking and manoeuvring.



7.6.4.8 That the portion of a site or of a development that is covered in buildings and other impermeable surfaces be limited so as to provide open space around buildings to enable planting, and to reduce adverse hydrological, ecological and amenity effects.

7.6.4.9 That sites have adequate access to sunlight and daylight.

7.6.4.10 That provision be made to ensure a reasonable level of privacy for inhabitants of buildings on a site.

7.6.4.11 That the built form of development allowed on residential sites on the urban fringe, specifically Lot 1 DP 28017, Lot 1 DP 46656, Lot 1 DP 404507, Lot 1 DP 181291, Lot 2 DP 103531, Lot 1 DP 103531, Lot 2 DP 58333, Pt Lot 1 DP 58333 (and any sites created as a result of a subdivision of these lots), and those with frontage to Kerikeri Road between its intersection with SH10 and Cannon Drive remains small in scale, set back from the road, relatively inconspicuous and in harmony with landscape plantings and shelter belts.

8.13. As stated above, the proposed activity is an addition to an existing dwelling on a residential zoned site. The proposal will not increase the number of residential dwellings on the site as the proposal is for an addition to the existing dwelling. No non-residential activities are proposed. Effects have been mitigated to a less than minor degree such that amenity values and general peaceful enjoyment of adjacent residential activities will remain unaffected. Outdoor space, planting, parking and manoeuvring will remain unchanged as the proposed addition will be constructed in place of an existing garage. Access to sunlight and daylight are considered adequate for the site. The proposal does create a sunlight infringement along the boundary of Lot 2 DP 585842, however effects are considered to be less than minor as discussed earlier in this report. Privacy will be adequately provided for.

Proposed Far North District Plan 2022

8.14. The application site is proposed to be zoned 'General Residential'. No other overlays apply to the site. Based on the proposed rules that have current legal effect, the proposed residential activity is a permitted activity. For completeness, a brief assessment of the area-specific zone objectives and policies is provided below.

General Residential Zone - objectives

GRZ-01	<p>GRZ-01 The General Residential zone provides a variety of densities, housing types and <u>lot sizes</u> that respond to:</p> <ul style="list-style-type: none"> a. housing needs and demand; b. the adequacy and capacity of available or programmed <u>development infrastructure</u>; c. the amenity and character of the receiving residential <u>environment</u>; and d. <u>historic heritage</u>.
GRZ-02	<p>The General Residential zone consolidates urban residential development around available or programmed development infrastructure to improve the function and resilience of the receiving residential environment while reducing urban sprawl.</p>



GRZ-03	<i>Non-residential activities contribute to the well-being of the community while complementing the scale, character and amenity of the General Residential zone.</i>
GRZ-04	<i>Land use and subdivision in the General Residential zone is supported where there is adequacy and capacity of available or programmed development infrastructure.</i>
GRZ-05	<i>Land use and subdivision in the General Residential zone provides communities with functional and high amenity living environments.</i>
GRZ-06	<i>Residential communities are resilient to change in climate and are responsive to changes in sustainable development techniques.</i>

General Residential Zone - policies

GRZ-01	<p><i>Enable land use and <u>subdivision</u> in the General Residential zone where:</i></p> <ul style="list-style-type: none"> <i>a. there is adequacy and capacity of available or programmed <u>development infrastructure</u> to support it; and</i> <i>b. it is consistent with the scale, character and amenity anticipated in the residential <u>environment</u>.</i>
GRZ-02	<p><i>Require all <u>subdivision</u> in the General Residential zone to provide the following reticulated services to the <u>boundary</u> of each <u>lot</u>:</i></p> <ul style="list-style-type: none"> <i>a. telecommunications: <ul style="list-style-type: none"> <i>i. fibre where it is available; or</i> <i>ii. copper where fibre is not available;</i> </i> <i>b. local electricity distribution network; and</i> <i>c. <u>wastewater</u>, potable water and <u>stormwater</u> where they are available.</i>
GRZ-03	<i>Enable <u>multi-unit developments</u> within the General Residential zone, including terraced housing and apartments, where there is adequacy and capacity of available or programmed <u>development infrastructure</u>.</i>
GRZ-04	<p><i>Enable non-residential activities that:</i></p> <ul style="list-style-type: none"> <i>a. do not detract from the vitality and viability of the Mixed Use zone;</i> <i>b. support the social and economic well-being of the community;</i> <i>c. are of a residential scale; and</i> <i>d. are consistent with the scale, character and amenity of the General Residential zone.</i>
GRZ-05	<p><i>Provide for <u>retirement villages</u> where they:</i></p> <ul style="list-style-type: none"> <i>a. compliment the character and <u>amenity values</u> of the surrounding area;</i> <i>b. contribute to the diverse needs of the community;</i> <i>c. do not adversely affect <u>road</u> safety or the efficiency of the transport network; and</i>



	<i>d. can be serviced by adequate <u>development infrastructure</u>.</i>
GRZ-06	<i>Encourage and support the use of on-site <u>water storage</u> to enable sustainable and efficient use of <u>water resources</u>.</i>
GRZ-07	<i>Encourage energy efficient design and the use of small-scale <u>renewable electricity generation</u> in the construction of residential development.</i>
GRZ-08	<p><i>Manage land use and <u>subdivision</u> to address the <u>effects</u> of the activity requiring resource consent, including (but not limited to) consideration of the following matters where relevant to the application:</i></p> <ul style="list-style-type: none"> <i>a. consistency with the scale, design, amenity and character of the residential <u>environment</u>;</i> <i>b. the location, scale and design of <u>buildings</u> or <u>structures</u>, potential for shadowing and visual dominance;</i> <i>c. for <u>residential activities</u>:</i> <ul style="list-style-type: none"> <i>i. provision for <u>outdoor living space</u>;</i> <i>ii. privacy for <u>adjoining sites</u>;</i> <i>iii. access to sunlight;</i> <i>d. for non-residential activities:</i> <ul style="list-style-type: none"> <i>i. scale and compatibility with <u>residential activities</u></i> <i>ii. hours of operation</i> <i>e. at zone interfaces, any <u>setbacks</u>, fencing, screening or <u>landscaping</u> required to address potential conflicts;</i> <i>f. the adequacy and capacity of available or programmed <u>development infrastructure</u> to accommodate the proposed activity, including:</i> <ul style="list-style-type: none"> <i>i. opportunities for low impact design principles</i> <i>ii. ability of the <u>site</u> to address <u>stormwater</u> and soakage;</i> <i>g. managing <u>natural hazards</u>; and</i> <i>h. any historical, spiritual, or cultural association held by <u>tangata whenua</u>, with regard to the matters set out in Policy TW-P6</i>

8.15. The proposed activity is consistent with the intent of the General Residential zone, which is for urban residential development. The proposal will see methods implemented to ensure that stormwater flows are attenuated back to pre-development rates whilst accounting for climate change. The proposal will not affect the amenity of the site or surrounding environment.

9. Notification Assessment – Sections 95A to 95G of the RMA

Public Notification Assessment

9.1. Section 95A requires a council to follow specific steps to determine whether to publicly notify an application. The following is an assessment of the application against these steps:

Step 1 Mandatory public notification in certain circumstances

An application must be publicly notified if, under section 95A(3), it meets any of the following criteria:



- (a) the applicant has requested that the application be publicly notified;*
- (b) public notification is required under section 95C;*
- (c) the application is made jointly with an application to exchange recreation reserve land under section 15AA of the Reserves Act 1977.*

9.2. Public notification of the application is not required or requested. The application is not made jointly with an application to exchange reserve land. Step 1 does not apply. Step 2 is considered.

Step 2: Public Notification precluded in certain circumstances.

- (4) Determine whether the application meets either of the criteria set out in subsection (5) and,—*
 - (a) if the answer is yes, go to step 4 (step 3 does not apply); and*
 - (b) if the answer is no, go to step 3.*
- (5) The criteria for step 2 are as follows:*
 - (a) the application is for a resource consent for 1 or more activities, and each activity is subject to a rule or national environmental standard that precludes public notification;*
 - (b) the application is for a resource consent for 1 or more of the following, but no other, activities:*
 - (i) a controlled activity;*
 - (ii) [Repealed]*
 - (iii) a restricted discretionary, discretionary, or non-complying activity, but only if the activity is a boundary activity.*
 - (iv) [Repealed]*
- (6) [Repealed]*

9.3. Public Notification is not precluded as the proposal is a Discretionary Activity and includes more than the boundary activity. Step 3 is considered.

Step 3: Public Notification required in certain circumstances

9.4. The proposal is not subject to a rule or NES requiring public notification and the proposal does not have effects that will be more than minor. Public Notification is not required. Step 4 is considered.

Step 4: Public notification in special circumstances

9.5. Section 95A(9) states that a council must publicly notify an application for resource consent if it considers that 'special circumstances' exist.

9.6. There are no special circumstances that would warrant public notification of the application. The proposal is for an addition to an existing dwelling which will be located in place of an existing garage. All potential adverse effects can be avoided or mitigated to the extent that they will be no more than minor.



Public Notification Summary

9.7. It is considered that the public notification of the application is not required.

Limited Notification Assessment

9.8. If the application is not publicly notified, a consent authority must follow the steps of section 95B to determine whether to give limited notification of an application.

Step 1: Certain affected groups and affected persons must be notified

(2) Determine whether there are any—

- (a) affected protected customary rights groups; or*
- (b) affected customary marine title groups (in the case of an application for a resource consent for an accommodated activity).*

(3) Determine—

- (a) whether the proposed activity is on or adjacent to, or may affect, land that is the subject of a statutory acknowledgement made in accordance with an Act specified in Schedule 11; and*
- (b) whether the person to whom the statutory acknowledgement is made is an affected person under section 95E.*

(4) Notify the application to each affected group identified under subsection (2) and each affected person identified under subsection (3).

9.9. There are no protected customary rights groups or customary marine title groups or statutory acknowledgement areas that are relevant to this application. Step 1 does not apply and Step 2 must be considered.

Step 2: Limited notification precluded in certain circumstances

(5) Determine whether the application meets either of the criteria set out in subsection (6) and,—

- (a) if the answer is yes, go to step 4 (step 3 does not apply); and*
- (b) if the answer is no, go to step 3.*

(6) The criteria for step 2 are as follows:

- (a) the application is for a resource consent for 1 or more activities, and each activity is subject to a rule or national environmental standard that precludes limited notification;*
- (b) the application is for a controlled activity (but no other activities) that requires a resource consent under a district plan (other than a subdivision of land).*

9.10. There is no rule in the plan or national environmental standard that precludes notification. The application is not for a controlled activity. Step 2 does not apply. Step 3 is considered.



Step 3: Certain other affected persons must be notified

- (7) *In the case of a boundary activity, determine in accordance with section 95E whether an owner of an allotment with an infringed boundary is an affected person.*
- (8) *In the case of any other activity, determine whether a person is an affected person in accordance with section 95E.*
- (9) *Notify each affected person identified under subsections (7) and (8) of the application.*

9.11. The proposal does include a boundary activity which is a sunlight infringement along the boundary with Lot 2 DP 585842. As previously discussed, written approval from the affected neighbour has been sought and obtained, such that effects can be discounted to a degree. The written approval is included within **Appendix 5**.

9.12. The potential adverse effects on any persons are less than minor. Step 3 does not apply. Step 4 is considered.

Step 4: Further notification in special circumstances

- (10) *whether special circumstances exist in relation to the application that warrant notification of the application to any other persons not already determined to be eligible for limited notification under this section (excluding persons assessed under section 95E as not being affected persons),*

9.13. The proposal is for an addition to an existing dwelling. There are no special circumstances that would apply.

Limited Notification Assessment Summary

9.14. For the reasons set out above, it is concluded that Steps 1, 2 & 4 do not apply, and that this application can be processed on a non-notified basis. Based on the proposed mitigation potential adverse effects on adjoining neighbour would be no more than minor. Written approval from the upslope neighbour at Lot 2 DP 585842 is provided with this application.

10. RMA Part 2 Assessment

10.1. The application is subject to Part 2 of the RMA contained in Sections 5 to 8 inclusive.

10.2. The proposed activity will achieve the sustainable management purpose of the RMA expressed in Section 5 and enable social and economic wellbeing of the Applicant. Future sustainable use of natural and physical resources and the life-supporting capacity of air, water, soil and ecosystems will not be affected. Adverse effects on the environment can be avoided and/or mitigated.

10.3. The scale of the proposed activity is such that Section 6 of Matters of National Importance are not relevant. The activity would not affect the natural character the coastal environment, wetlands, lakes or rivers, any outstanding natural features or landscapes, any significant indigenous vegetation or habitats. The relationship of Māori and their culture and traditions



would not be affected. The activity would not affect any historic heritage, area with identified customary rights and would not affect any natural hazard risk.

- 10.4. Section 7 matters are not affected by the proposed activity. The amenity and quality of the Residential zone will be maintained in accordance with Section 7(c) and (f).
- 10.5. Section 8 relates to the principles of the Treaty of Waitangi. The proposed activity would not be contrary to the principles of the Treaty of Waitangi.

11. Conclusion

- 11.1. The Applicant seeks resource consent to construct an addition to an existing dwelling in place of an existing garage. Discretionary resource consent is required for a departure of the Stormwater Management and Sunlight rules in the Residential Zone.
- 11.2. This AEE concludes that any adverse effects arising from the proposed addition will be no more than minor. Adverse effects can be mitigated in accordance with conditions of consent that would include adherence to the Stormwater Mitigation Report prepared by WJL. Written approval from the potentially affected neighbour within Lot 2 DP 585842 is provided with this application.
- 11.3. The proposed activity would not be contrary to any relevant statutory policy statement or operative or proposed plan objectives or policies.
- 11.4. The proposed activity will enable the social and economic wellbeing of the Applicant.
- 11.5. The Applicant requests that the application be granted on a non-notified basis.



12. Limitations

- 12.1. This report has been commissioned solely for the benefit of our client, in relation to the project as described above, and to the limits of our engagement, with the exception that the Far North District Council or Northland Regional Council may rely on it to the extent of its appropriateness, conditions and limitations, when issuing their subject consent.
- 12.2. Copyright of Intellectual Property remains with Northland Planning and Development 2020 Limited, and this report may NOT be used by any other entity, or for any other proposals, without our written consent. Therefore, no liability is accepted by this firm or any of its directors, servants or agents, in respect of any information contained within this report.
- 12.3. Where other parties may wish to rely on it, whether for the same or different proposals, this permission may be extended, subject to our satisfactory review of their interpretation of the report.
- 12.4. Although this report may be submitted to a local authority in connection with an application for a consent, permission, approval, or pursuant to any other requirement of law, this disclaimer shall still apply and require all other parties to use due diligence where necessary.





**RECORD OF TITLE
UNDER LAND TRANSFER ACT 2017
FREEHOLD
Search Copy**




R. W. Muir
Registrar-General
of Land

Identifier **57667**
Land Registration District **North Auckland**
Date Issued 26 September 2002

Prior References

NA73D/590 NA73D/591

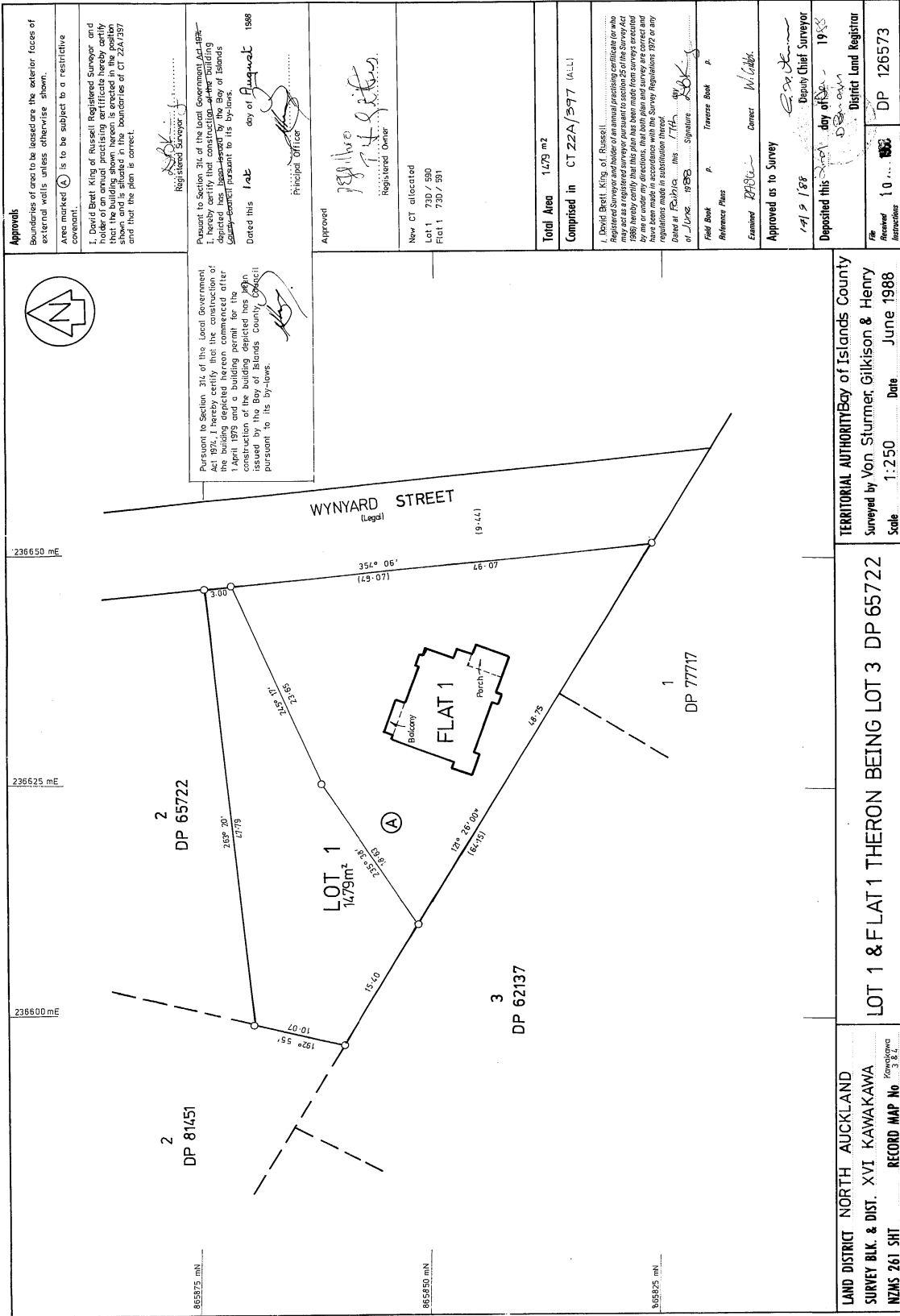
Estate Fee Simple
Area 1479 square metres more or less
Legal Description Lot 1 Deposited Plan 126573

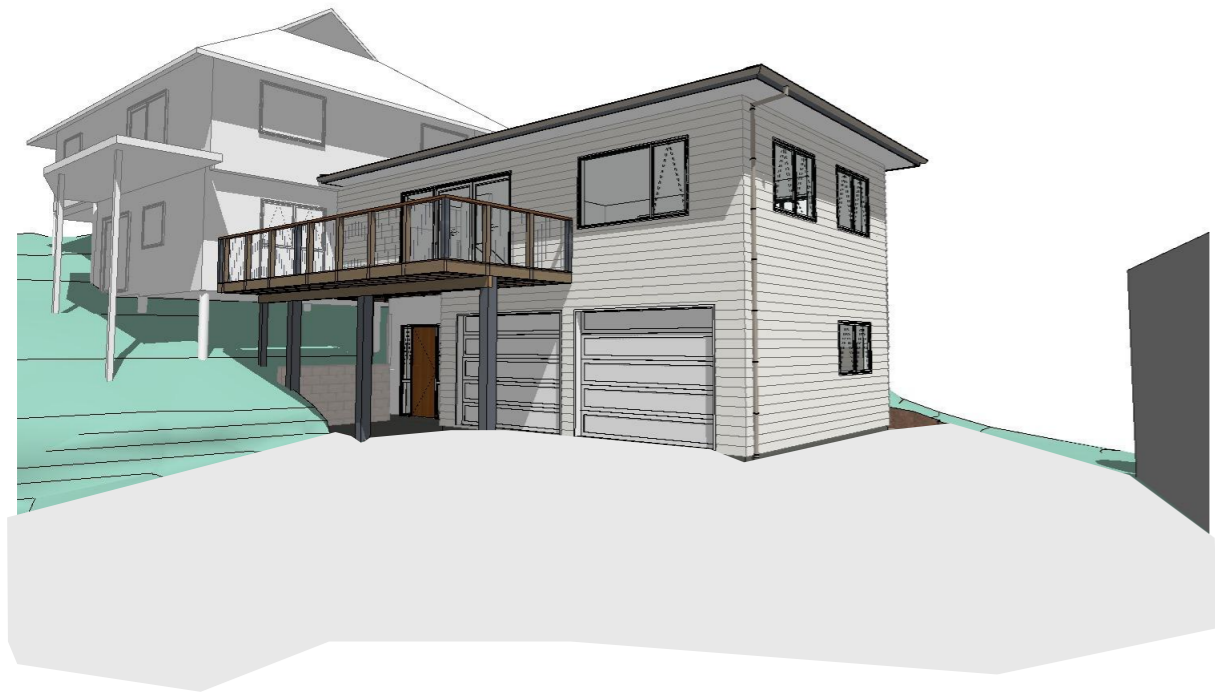
Registered Owners

Kerry George Wickman and Jean Sandra Wickman

Interests

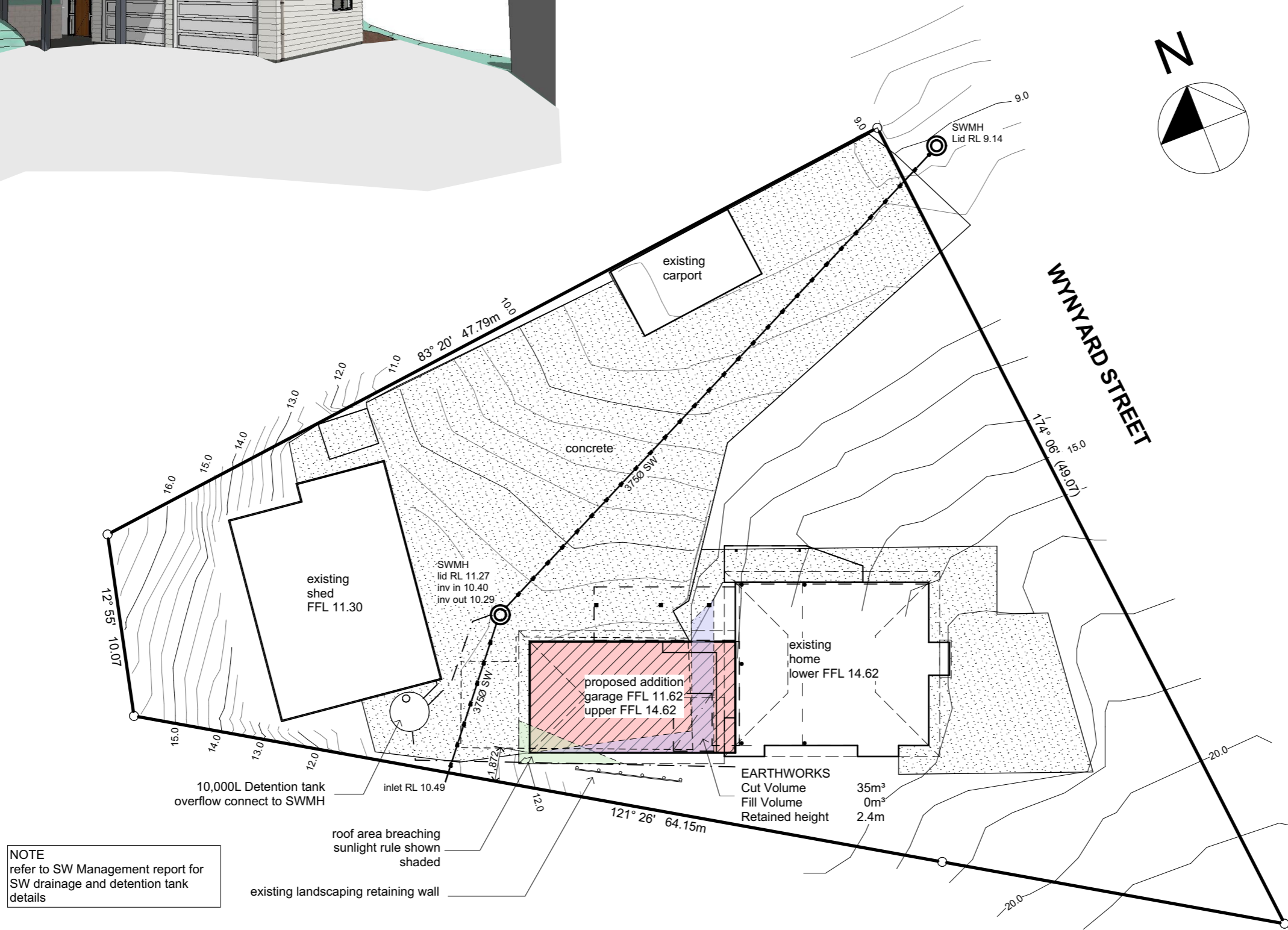
5705590.1 Mortgage to Kiwibank Limited - 26.8.2003 at 9:00 am





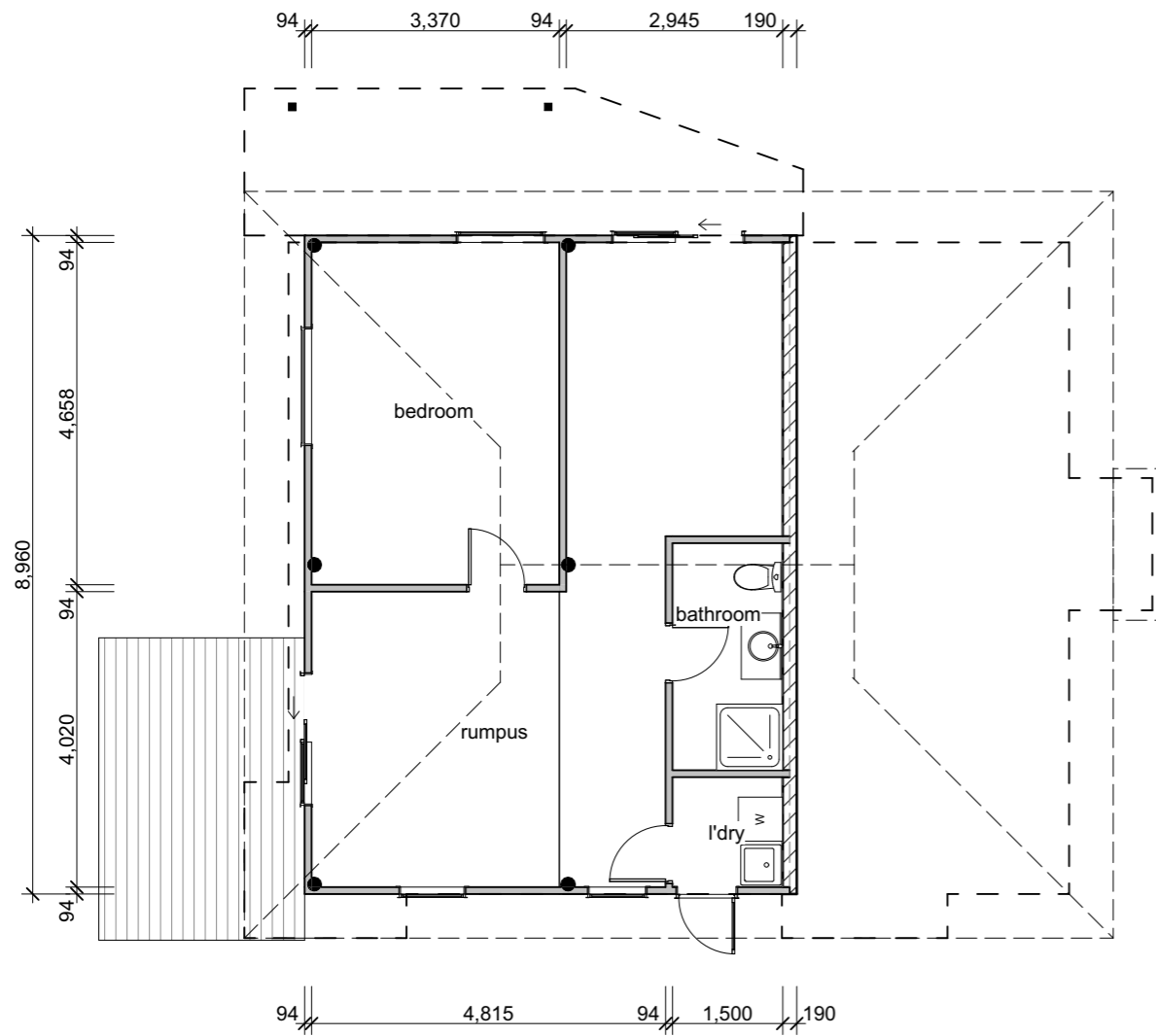
PROPOSED DEVELOPMENT SCHEDULE	
Legal Description:	Lot 1 DP 126573
Site Area:	1479m ²
Location:	14 Wynyard Street Kawakawa
Wind Zone:	High
Corrosion Zone:	B
Territorial Authority:	Far North District Council
Zone:	Residential

AREAS	
Site Area	1479m ²
Stormwater Management	
Drive & Paving	463m ²
Existing Shed	109m ²
Existing Home Roof	121m ²
Upper level Paving	97m ²
Proposed Addition Roof	66m ²
Total Impermeable area	856m² (58%)
Building Coverage	
Existing Shed	109m ²
Existing Home	101m ²
Additional Building area	69m ²
Total Building Coverage	279m² (19%) permitted



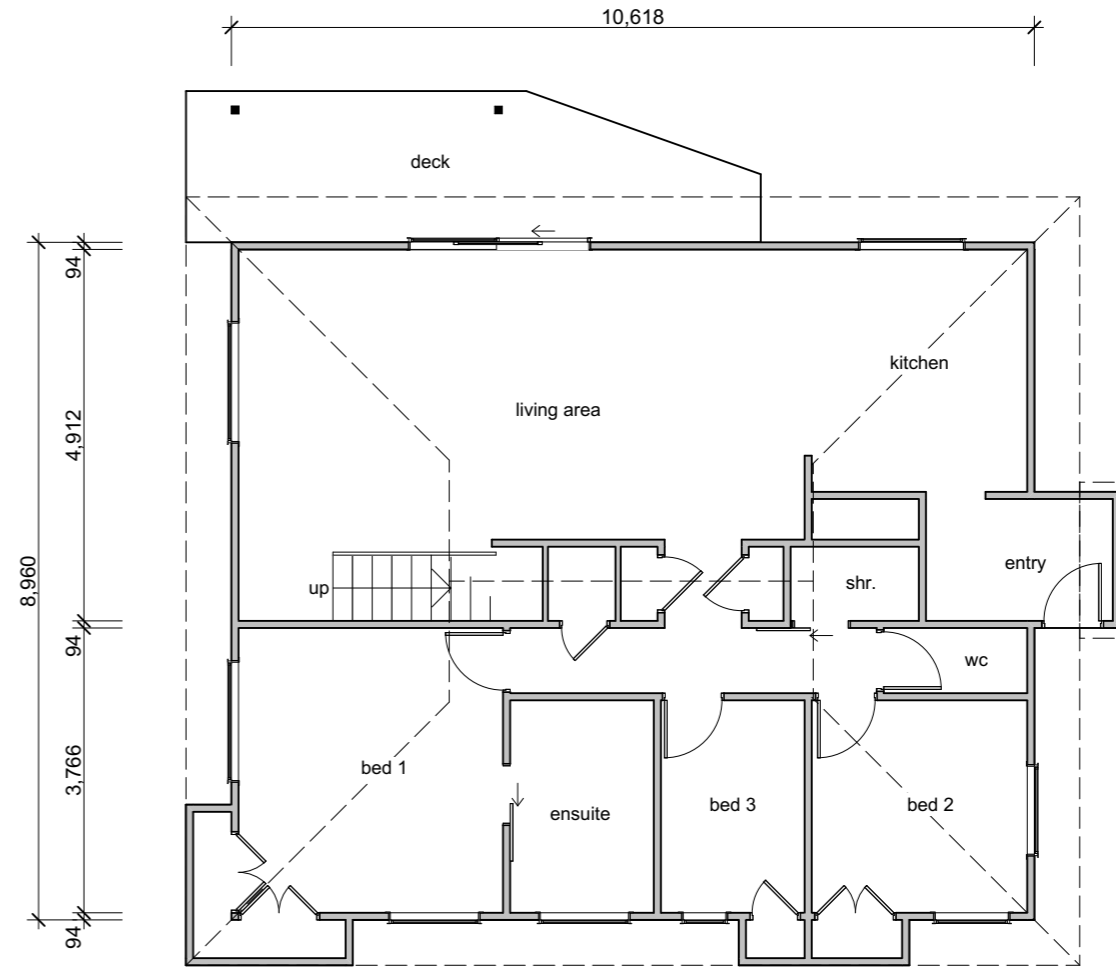
NOTE
refer to SW Management report for
SW drainage and detention tank
details

Job Title Proposed New Home for K. & J. Wickman At 14 Wynyard Street Kawakawa	Project Status RC PLANS NOT FOR CONSTRUCTION	Drawing Title Site Plan		Drawing Number A01
	CORE ARCHITECTURAL DESIGN LTD PO Box 1006, Kerikeri 0245 Northland, New Zealand Phone: +64 9 407 5999 email: info@cadl.co.nz	Scale 1:250 @ A3	Plot Date 4/02/2025	



Existing Mid Floor Plan

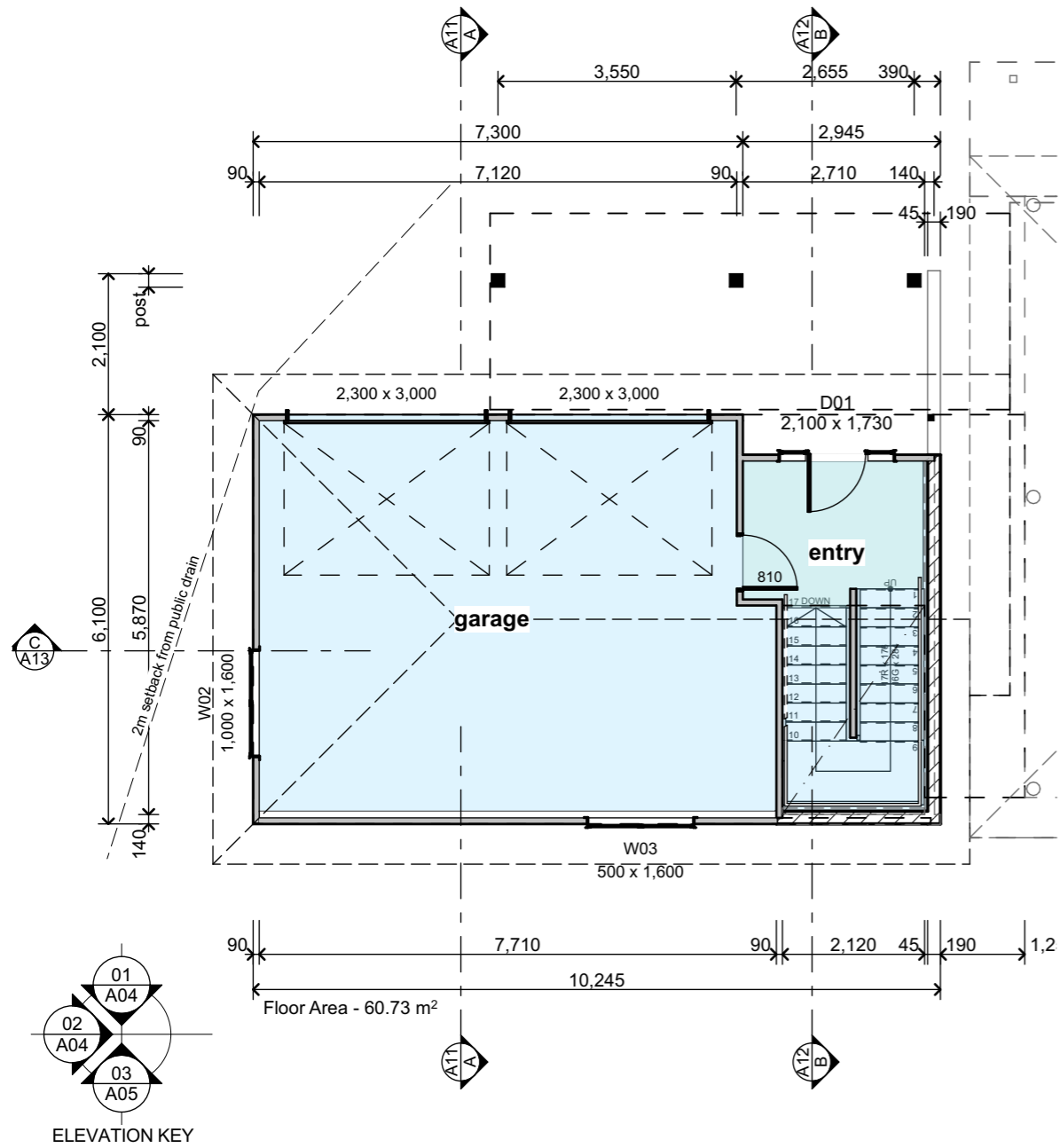
Scale 1:100



Existing Upper Floor Plan

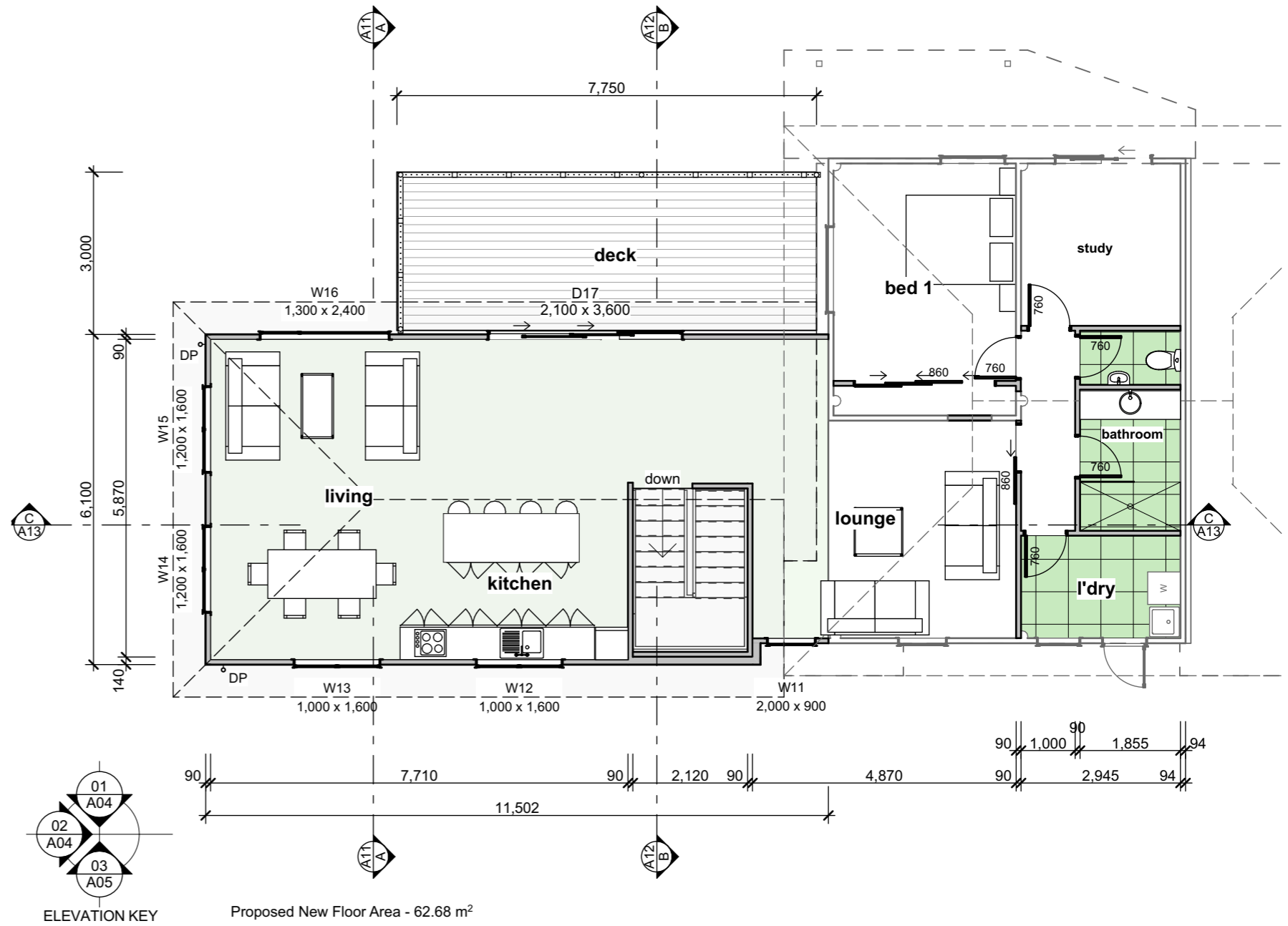
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Job Title Proposed New Home for K. & J. Wickman At 14 Wynyard Street Kawakawa	Project Status RC PLANS NOT FOR CONSTRUCTION	Drawing Title Existing Floor Plan		Drawing Number A02
	CORE ARCHITECTURAL DESIGN LTD PO Box 1006, Kerikeri 0245 Northland, New Zealand Phone: +64 9 407 5999 email: info@cadl.co.nz	Scale 1:100 @ A3	Plot Date 4/02/2025	Project No. 2024-0656



Garage Level Plan

Scale 1:100



Mid Floor Plan

Scale 1:100

Job Title Proposed New Home for K. & J. Wickman At 14 Wynyard Street Kawakawa	Project Status RC PLANS NOT FOR CONSTRUCTION CORE ARCHITECTURAL DESIGN LTD PO Box 1006, Kerikeri 0245 Northland, New Zealand Phone: +64 9 407 5999 email: info@cadl.co.nz	Drawing Title Floor Plan		Drawing Number A03 Revision D
		Scale 1:100 @ A3	Plot Date 4/02/2025	



01 **North Elevation** Scale 1:100



02 **West Elevation** Scale 1:100

Job Title Proposed New Home for K. & J. Wickman At 14 Wynyard Street Kawakawa	Project Status RC PLANS NOT FOR CONSTRUCTION	Drawing Title Elevations		Drawing Number A04	
	CORE ARCHITECTURAL DESIGN LTD PO Box 1006, Kerikeri 0245 Northland, New Zealand Phone: +64 9 407 5999 email: info@cadl.co.nz	Scale 1:100 @ A3	Plot Date 4/02/2025	Project No. 2024-0656	Revision D
	<small>C:\Users\Leah-May\Core Architectural Design Ltd\CADL - Documents\000 Projects\2024\2024-0656 Kerry Wickman\0656 Wickman.pln</small>				



03



South Elevation

Scale 1:100

Job Title Proposed New Home for K. & J. Wickman At 14 Wynyard Street Kawakawa	Project Status RC PLANS NOT FOR CONSTRUCTION	Drawing Title Elevations		Drawing Number A05
	CORE ARCHITECTURAL DESIGN LTD PO Box 1006, Kerikeri 0245 Northland, New Zealand Phone: +64 9 407 5999 email: info@cadl.co.nz	Scale 1:100 @ A3	Plot Date 4/02/2025	Project No. 2024-0656

SITE 14 Wynyard Street, Kawakawa
 LEGAL DESCRIPTION Lot 1 DP 126573
 PROJECT New Addition to Existing Dwelling
 CLIENT Kerry Wickman
 REFERENCE NO. 138049
 DOCUMENT Stormwater Mitigation Report
 STATUS/REVISION No. A
 DATE OF ISSUE 18 December 2024

Report Prepared For	Email
Kerry Wickman	kerrywickman20@gmail.com

Authored by	B. Steenkamp <i>(CPEng, BEng Civil, CMEngNZ, BSc (Geology))</i>	Senior Civil Engineer	BenS@wjl.co.nz	
Reviewed by	P. McSweeney <i>(BE(Hons) Civil)</i>	Civil Engineer	Patrick@wjl.co.nz	

1. EXECUTIVE SUMMARY

The following table is intended to be a concise summary which must be read in conjunction with the relevant report sections as referenced herein.

Legal Description:	Lot 1 DP 126573	
Site Area:	1,479m ²	
Development Type:	New Addition to Existing Dwelling	
Development Proposals Supplied:	Plan Set supplied by Core Architectural Design Ltd (Ref No: 2024-0656 Rev C, dated: 27.11.2024)	
District Plan Zone:	Residential	
Permitted Activity Coverage:	<u>50%</u>	
	Post-Development Impermeable Areas	
Impermeable Coverage:	Total Roof Area	296m ²
	Total Hardstand	560m ²
	Total impermeable area = 856m ² or 58% of the site area	
Activity Status:	<u>Controlled Activity</u>	
	Attenuation is to be provided in accordance with the requirements outlined in Section 5 via a detention tank.	
Roof Attenuation:	Proposed Tank – 1 x 10,000 litre Promax Rainwater Tank (or similar)	
	Dimensions – 2165mmØ (or greater) x 2900mm high (or greater)	
	20% AEP Control Orifice – 22mmØ orifice; <u>located >2400mm below the overflow outlet</u>	
	1% AEP Control Orifice – 24mmØ orifice; <u>located 1350mm above the 20% AEP Control Orifice</u>	
	Overflow – 100mmØ at the top of the tank	
Stormwater Routing:	New Dwelling: Drain to proposed 10,000L tank	
	Existing Dwelling: Redirected to proposed 10,000L tank	
	Existing Shed: Redirect 50% of roof area to proposed 10,000L tank	
Discharge Point:	Existing public stormwater manhole.	

2. SCOPE OF WORK

Wilton Joubert Ltd. (WJL) was engaged by the client, **Kerry Wickman**, to produce an on-site stormwater mitigation assessment at the above site.

At the time of report writing, we have been supplied the following documents:

- Plan Set supplied by Core Architectural Design Ltd (Ref No: 2024-0656 Rev C, dated: 27.11.2024)

Should any changes be made to the provided plans with stormwater management implications, WJL must be contacted for review.

3. SITE DESCRIPTION

The subject 1,479m² Residential zoned property is located off the south-western end of Wynyard Street, accessed 100m south of the State Highway 1 intersection, within the Kawakawa central business district. The site is accessed at the north-eastern boundary corner via a paved driveway that covers much of the ground surface across the property. Existing built development on-site comprises of a residential dwelling near the south-eastern boundary, two sheds positioned to the west of the dwelling and at the north-western boundary, and a carport near the north-eastern boundary corner.

The property and proposed development location are depicted on our appended Site Plan (ref: 138049-C200) and in Figure 1 below.

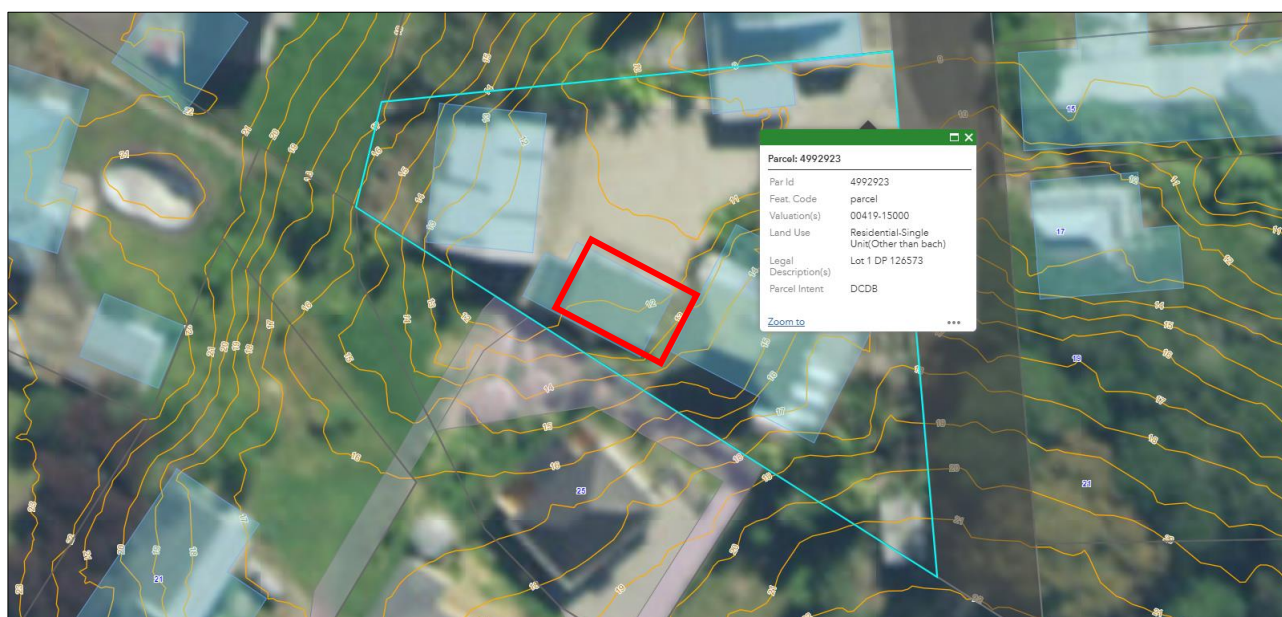


Figure 1: Screenshot aerial view of the subject site from the FNDC on-line GIS Property and Land Map. Property is highlighted in cyan. 1.0m LiDAR contours overlaid. Red rectangle approximately depicts new development location.

Topographically speaking, the property lies towards the toe of a large, northeast facing, relic gully feature that falls from upslope Church Street some 60m to the southwest. Due to the noted historical formation of the existing residential development, much of the site is now flat to gently sloping. The existing dwelling is positioned atop a minor moderately inclined slope that is retained by an approximate 1.4m high, in-situ precast concrete wall, tapering into a half round timber, face fixed wall along the driveway. A similar graded slope falls across the north-western boundary corner down to the north-western shed. A failing 1.5m high, timber post and half round timber retaining wall bounds the central southern boundary.

The proposed addition building site of this report is to be constructed off the north-western side of the existing residential dwelling, where the existing proximal shed is currently positioned.



Figure 2: Site photograph looking towards the proposed building site (south direction).

At the time of preparing this report, we note that the Far North District Council (FNDC) on-line GIS Water Services Map indicates that two underground stormwater culvert service lines, aligned southwest to northeast, trend through near the western end and centrally through the proposed addition site. The westernmost line includes an inlet structure just beyond the upslope southern boundary and manhole in proximity to the north-western edge of the proposed addition. Both lines connect to different manholes downslope on Wynyard Street.

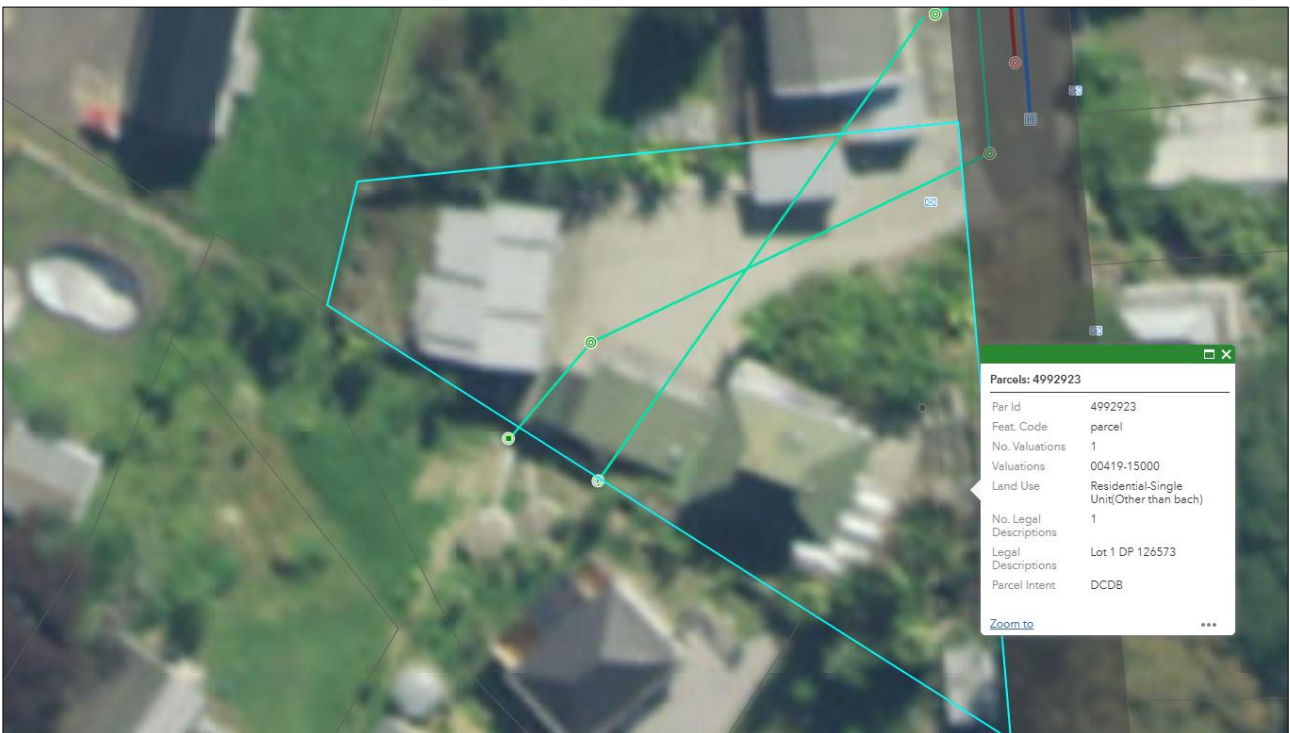


Figure 3: Screenshot aerial view of the subject site from the FNDC on-line GIS Water Services Map. Property is highlighted in cyan. Green overlays depict existing stormwater services.



Figure 4: Site photograph of the existing inlet structure just beyond the upslope southern boundary.

4. DEVELOPMENT PROPOSALS

The development proposal, obtained from the client, is to construct a new addition to the existing dwelling as depicted in the plan set supplied by Core Architectural Design Ltd (Ref No: 2024-0656 Rev C, dated: 27.11.2024)

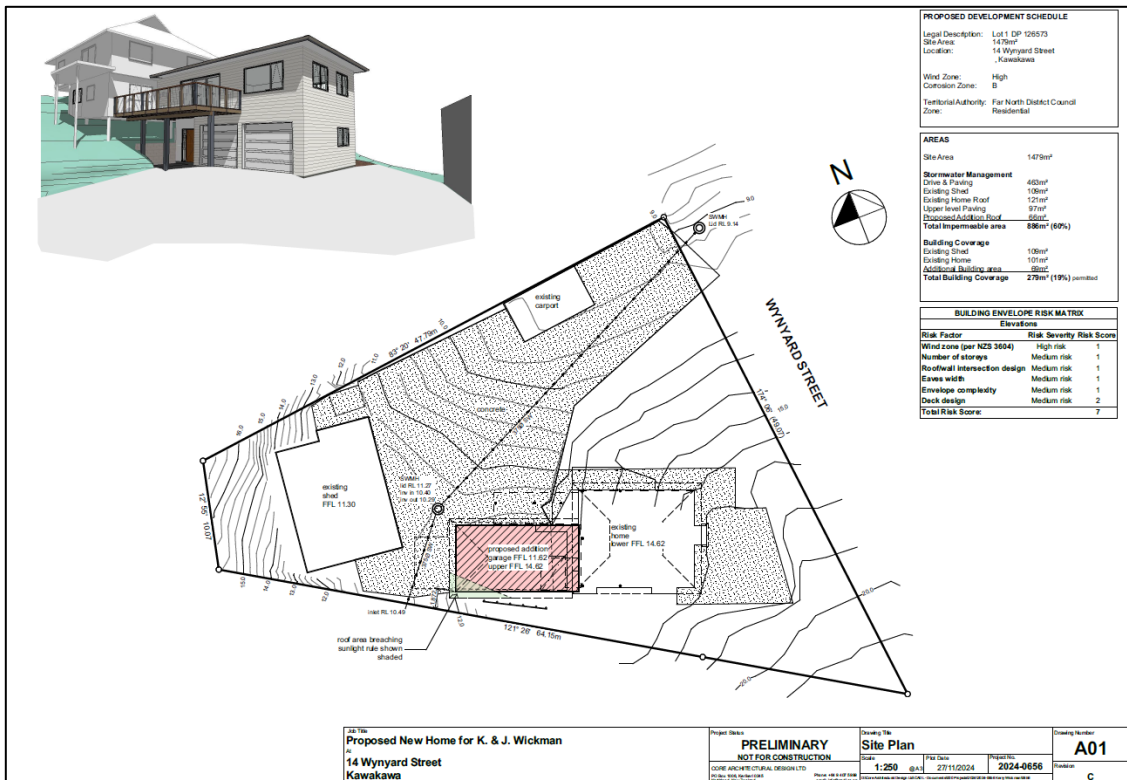


Figure 5: Snip of Proposed Site Plan Provided by Core Architectural Design Ltd (Ref No: 2024-0656 Rev C, dated: 27.11.2024)

The principal objective of this assessment is to provide an indicative stormwater disposal design which will manage runoff generated from the proposed impermeable areas resulting from the proposed development.

5. ASSESSMENT CRITERIA

Impermeable Areas

The calculations for the stormwater system for the development are based on a gross site area of 1,479m² and the below areas *extracted from the supplied plans*:

	Post-Development
Total Roof Area	296 m²
Existing Shed	109 m ²
Existing Home Roof	121 m ²
Addition to Existing Dwelling	66 m ²
Total Hardstand	560 m²
Driveway & Patio	463 m ²
Upper-Level Paving	97 m ²
Pervious	623 m²

The total amount of impermeable area on site, post-development, equates to 856m² or 58% of the site area. Should any changes be made to the current proposal, the on-site stormwater mitigation design must be reviewed.

District Plan Rules

The site is zoned Residential. The following rules apply under the FNDC District Plan:

7.6.5.1.6 – **Permitted Activities – Stormwater Management** - The maximum proportion of the gross site area covered by buildings and other impermeable surfaces shall be 50%

7.6.5.2.1 – **Controlled Activities – Stormwater Management** - The maximum proportion of the gross site area covered by buildings and other impermeable surfaces shall be 60% or 600m², whichever is the lesser.

The total proposed impermeable area exceeds the 600m² for the Controlled Activity Rule (7.6.5.2.1). Therefore, the proposal does not comply with the Controlled Activity. Stormwater runoff attenuation for the area exceeding the 600m² threshold is required to comply with Controlled Activity. Additionally, considerations for stormwater management as outlined in the FNDC District Plan Section 7.6.5.2.1 are required. A District Plan Assessment has been included in Section 8 of this report.

Design Requirements

The stormwater design has been completed in accordance with the following documents:

- The Far North District Council Engineering Standards 2023
- The operative Far North District Council District Plan

The total impermeable area in exceedance of Permitted Activity Rule 7.6.5.2.1 is **256m²**. Stormwater attenuation must therefore be provided for this excess impermeable area.

The subject site is serviced by a public stormwater network, therefore, runoff resulting from the proposed impermeable areas exceeding the controlled activity threshold will be attenuated back to 80% of the greenfields flow rate for the 20% AEP design storm, including an allowance for climate change factors.

The Northland Regional Council (NRC) Natural Hazards Map indicates Priority Rivers flooding downstream of the subject property. To mitigate the adverse effects of runoff resulting from the proposed development on downstream flooding, runoff resulting from the proposed impermeable areas exceeding the controlled activity threshold will be attenuated back to 80% of the greenfields flow rate for the 1% AEP design storm, including an allowance for climate change factors.

The Type IA storm profile was utilised for the attenuation calculations in accordance with TR-55. HydroCAD® software has been utilised in design for a 20% AEP rainfall value of 136mm with a 24-hour duration and 1% AEP rainfall value of 244mm with a 24-hour duration. Rainfall data was obtained from HIRDS and increased by 20% to account for climate change.

Provided that the recommendations within this report are adhered to, the effects of stormwater runoff resulting from the unattenuated proposed / existing impermeable surfaces (600m² total) are considered to have less than minor effects on the receiving environment, equivalent to conditions that would result from development proposals falling within the Controlled Activity coverage threshold.

6. STORMWATER MITIGATION ASSESSMENT

To meet the requirements outlined in Section 5, the following must be provided:

Stormwater Mitigation - Roof

A detention tank is required to be installed for the mitigation of runoff in accordance with the requirements outlined in Section 5.

A proprietary guttering system is required to collect roof runoff from the proposed addition to the existing dwelling. Leaf guards can be installed to minimise blockage of the attenuation tank. Other adequate protection measures may also be installed in the roof gutters and the tank's inlet. Any in-line protection systems must be installed at least 600mm above the tank inlet.

Roof runoff from the existing dwelling, proposed addition to the existing dwelling and 50% of roof area from the shed must be directed to the detention tank. As per the attached calculations, the design elements of the detention volume are as follows:

Proposed Tank	1 x 10,000 litre Promax ENDURO EN1010000 Rainwater Tank (or similar)
Tank dimensions	2165mmØ (or greater) x 2900mm high (or greater)
Outlet Orifice (20% AEP control)	22mm diameter orifice ; located <u>>2400mm below the overflow outlet</u> <ul style="list-style-type: none">- 1,317mm water elevation- 4.8m³ Storage
Outlet Orifice (1% AEP control)	24mm diameter orifice ; located <u>1350mm above the 20% AEP Control Orifice</u> <ul style="list-style-type: none">- 2,391mm water elevation (total)- 8.8m³ Cumulative Storage
Overflow Outlet	100mm diameter ; located at the top of the tank

Discharge from the proposed detention tank must be transported via sealed pipes to the stormwater connection point specified below. Refer to the appended Site Plan (138049-C200), Tank Detail (138049-C210) and calculation set for clarification.

The tank must be installed as per the manufacturer's specifications with adequate fall (minimum 1% grade) from the tank's outlet to the discharge point. This is to be confirmed by a suitably qualified professional. If this is not achievable, WJL must be contacted for review of the design.

Stormwater Mitigation – Connection

An existing 375mm diameter public stormwater line crosses through the site. An existing manhole is located just northwest of the proposed addition to the existing dwelling. It is recommended to confirm if an existing connection at the manhole is servicing the site. If a connection does not exist then it is recommended to install a connection here, unless an alternative suitable connection is available (Engineer to be contacted to review this). Any works on public infrastructure will require Council's approval.

It is recommended that discharge from the detention tank be directed via a sealed pipe to the connection point described above. Refer to the appended Site Plan (138049-C200).

7. STORMWATER RUNOFF SUMMARY

Refer to the appended HydroCAD Calculation output.

Stormwater Runoff Summary

Pre-Development Scenario – 20% and 1% AEP Storm Event + CCF

Surface	Area	Runoff CN	80% of 20% AEP Peak Flow Rate	80% of 1% AEP Peak Flow Rate
Greenfields Impermeable Areas Exceeding Controlled Activity Threshold	256 m ²	74	1.23ℓ/s	3.02ℓ/s

Post-Development Scenario – 20% and 1% AEP Storm Event + CCF

Surface	Area	Runoff CN	1% AEP Peak Flow Rate	1% AEP Peak Flow Rate
Post-Development Addition to the Existing Dwelling, Existing Dwelling and 50% of Shed draining to Proposed Detention Tank, with remaining 14.5m ² unattenuated area.	256 m ²	98	1.23ℓ/s	2.96ℓ/s

Given the design parameters, stormwater neutrality has been achieved for the 20% and the 1% AEP storm events across the existing / proposed impermeable surfaces exceeding the controlled activity threshold of 600m².

8. DISTRICT PLAN ASSESSMENT

The above attenuation recommendations will result in the site being compliant with the Controlled Activity Rule 7.6.5.2.1.

In assessing an application under this provision, the Council will exercise its discretion to review the following matters below, (a) through (i) of FNDCDP Section 7.6.5.2.1.

In respect of matters (a) through (i), we provide the following comments:

<i>(a) the extent to which building site coverage and impermeable surfaces contribute to total catchment impermeability and the provisions of any catchment or drainage plan for that catchment;</i>	Impermeable surfaces resulting from the development will not increase existing impervious areas. An existing garage structure will be replaced with a proposed addition to the existing dwelling. Through tank attenuation, runoff is to be attenuated to pre-development conditions for the proposed impermeable coverage exceeding the Controlled Activity threshold of 600m ² .
<i>(b) the extent to which Low Impact Design principles have been used to reduce site impermeability;</i>	The impermeable areas in exceedance of Permitted Activity Rule 7.6.5.2.1 have been attenuated back to 80% of the pre-development flow rates for the 20% and 1% AEP storm event, adjusted for climate change.
<i>(c) any cumulative effects on total catchment impermeability;</i>	Impervious coverage will not increase. Post development peak runoff will decrease compared to the current non-complying coverage peak runoff.
<i>(d) the extent to which building site coverage and Impermeable Surfaces will alter the natural contour or drainage patterns of the site or disturb the ground and alter its ability to absorb water;</i>	Runoff from the existing / proposed impermeable roof areas is to be collected and directed to the discharge point via sealed pipes. Ponding is not anticipated to occur provided the recommendations within this report are adhered to, mitigating interference with natural water absorption.
<i>(e) the physical qualities of the soil type;</i>	Waipapa Group
<i>(f) the availability of land for the disposal of effluent and stormwater on the site without adverse effects on the water quantity and water quality of water bodies (including groundwater and aquifers) or on adjacent sites;</i>	Runoff resulting from the existing / proposed roof areas is to be collected and directed to the discharge point via sealed pipes, mitigating the potential for runoff to pass over / saturate surrounding soils. The site is serviced by public wastewater reticulation.
<i>(g) the extent to which paved, Impermeable Surfaces are necessary for the proposed activity;</i>	The existing driveway area is necessary to provide access to the existing and proposed structures.
<i>(h) the extent to which land scaping and vegetation may reduce adverse effects of run-off;</i>	Existing vegetation and any plantings introduced by the homeowner during occupancy will aid in reducing surface water velocity and providing treatment. No specific landscaping scheme is proposed as part of the stormwater management system described herein.
<i>(i) the means and effectiveness of mitigating stormwater runoff to that expected by permitted activity threshold.</i>	The impermeable areas in exceedance of Permitted Activity Rule 7.6.5.2.1 have been attenuated back to 80% of the pre-development flow rates for the 20% and 1% AEP storm events, adjusted for climate change.

9. NOTES

If any of the design specifications mentioned in the previous sections are altered or found to be different than what is described in this report, Wilton Joubert Ltd will be required to review this report. Indicative system details have been provided in the appendices of this report (138049-C200 & 138049-C210).

Care should be taken when constructing the discharge point to avoid any siphon or backflow effect within the stormwater system.

Subsequent to construction, a programme of regular inspection / maintenance of the system should be initiated by the Owner to ensure the continuance of effective function, and if necessary, the instigation of any maintenance required.

Wilton Joubert Ltd recommends that all contractors keep a photographic record of their work.

10. LIMITATIONS

The recommendations and opinions contained in this report are based on information received and available from the client at the time of report writing.

This assignment only considers the primary stormwater system. The secondary stormwater system, Overland Flow Paths (OLFP), vehicular access and the consideration of road/street water flooding is all assumed to be undertaken by a third party.

The drainage design is up to the connection point for each building face of any new structures/slabs; no internal building plumbing or layouts have been undertaken.

During construction, an engineer competent to judge whether the conditions are compatible with the assumptions made in this report should examine the site. In all circumstances, if variations occur which differ from that described or that are assumed to exist, then the matter should be referred to a suitably qualified and experienced engineer.

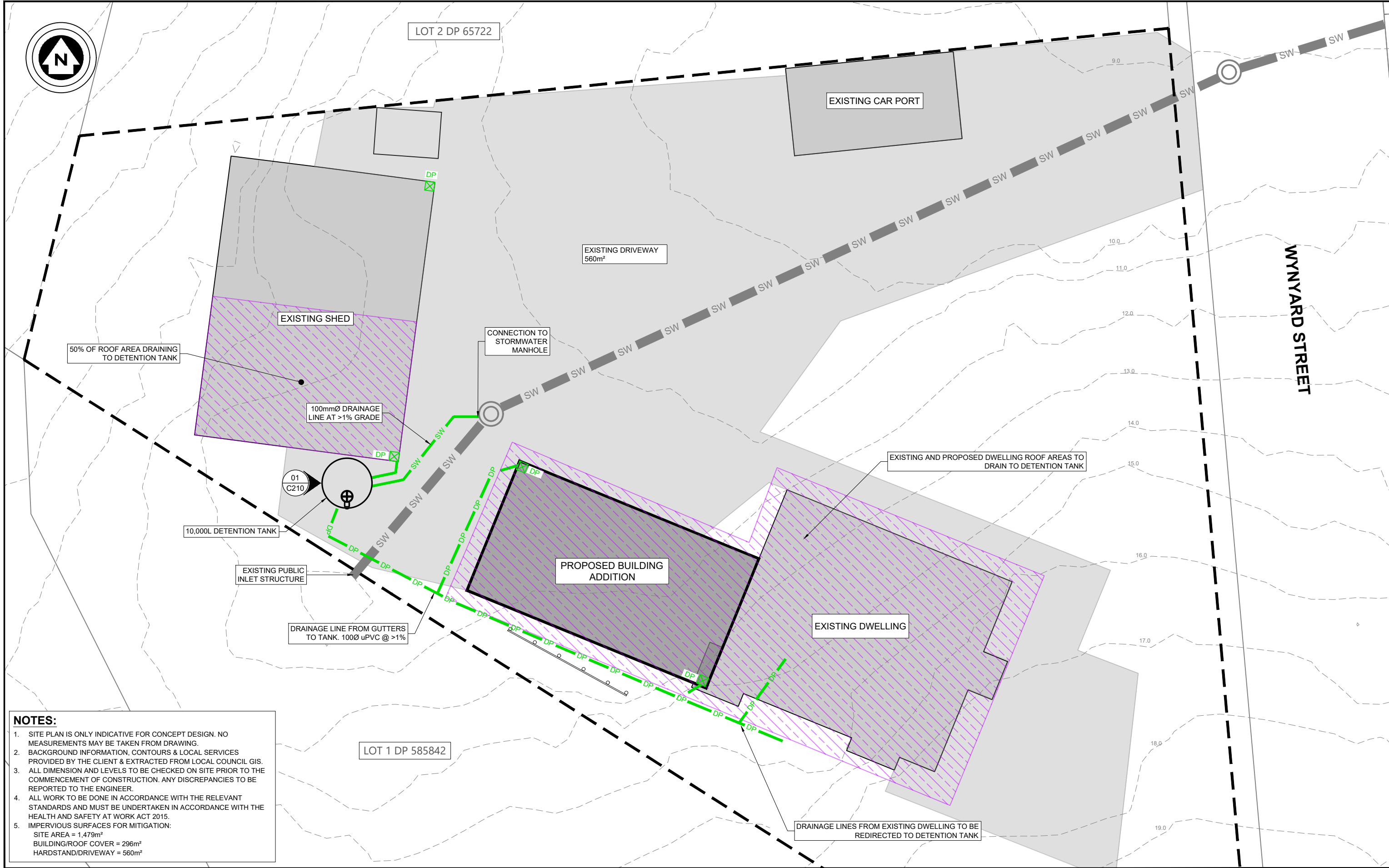
The performance behaviour outlined by this report is dependent on the construction activity and actions of the builder/contractor. Inappropriate actions during the construction phase may cause behaviour outside the limits given in this report.

This report has been prepared for the particular project described to us and no responsibility is accepted for the use of any part of this report in any other context or for any other purpose.

Wilton Joubert Ltd.

REPORT ATTACHMENTS

- Site Plan - C200 (1 sheet)
- Tank Detail – C210 (1 sheet)
- Calculation Set



NOTES:

1. SITE PLAN IS ONLY INDICATIVE FOR CONCEPT DESIGN. NO MEASUREMENTS MAY BE TAKEN FROM DRAWING.
2. BACKGROUND INFORMATION, CONTOURS & LOCAL SERVICES PROVIDED BY THE CLIENT & EXTRACTED FROM LOCAL COUNCIL GIS.
3. ALL DIMENSION AND LEVELS TO BE CHECKED ON SITE PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. ANY DISCREPANCIES TO BE REPORTED TO THE ENGINEER.
4. ALL WORK TO BE DONE IN ACCORDANCE WITH THE RELEVANT STANDARDS AND MUST BE UNDERTAKEN IN ACCORDANCE WITH THE HEALTH AND SAFETY AT WORK ACT 2015.
5. IMPERVIOUS SURFACES FOR MITIGATION:
 SITE AREA = 1,479m²
 BUILDING/ROOF COVER = 296m²
 HARDSTAND/DRIVEWAY = 560m²

WILTON JOUBERT
Consulting Engineers

Northland: 09 945 4188
 Auckland: 09 527 0196
 Christchurch: 021 824 063
 Wanaka: 03 443 6209
 www.wiltonjoubert.co.nz

ISSUE / REVISION			
No.	DATE	BY	DESCRIPTION
A	16/12/2024	JWB	STORMWATER MITIGATION REPORT

DESIGNED BY: BGS
DRAWN BY: JWB
CHECKED BY: BGS
SURVEYED BY: N/A

SERVICES NOTE
 WHERE EXISTING SERVICES ARE SHOWN, THEY ARE INDICATIVE ONLY AND MAY NOT INCLUDE ALL SITE SERVICES. WILTON JOUBERT LTD DOES NOT WARRANT THAT ALL, OR INDEED ANY SERVICES ARE SHOWN. IT IS THE CONTRACTORS RESPONSIBILITY TO LOCATE AND PROTECT ALL EXISTING SERVICES PRIOR TO AND FOR THE DURATION OF THE CONTRACT WORKS.

BUILDING CONSENT

DESIGN / DRAWING SUBJECT TO ENGINEERS APPROVAL

DRAWING TITLE:
STORMWATER CONTROL

PROJECT DESCRIPTION:
STORMWATER MITIGATION REPORT

PROJECT TITLE:
**LOT 1 DP 126573
14 WYNYARD STREET
KAWAKAWA
NORTHLAND**

ORIGINAL DRAWING SIZE: A3	OFFICE: OREWA
DRAWING SCALE: 1:150	CO-ORDINATE SYSTEM: NOT COORDINATED
DRAWING NUMBER: 138049-C200	ISSUE: A
COPYRIGHT - WILTON JOUBERT LIMITED	

NOTES:

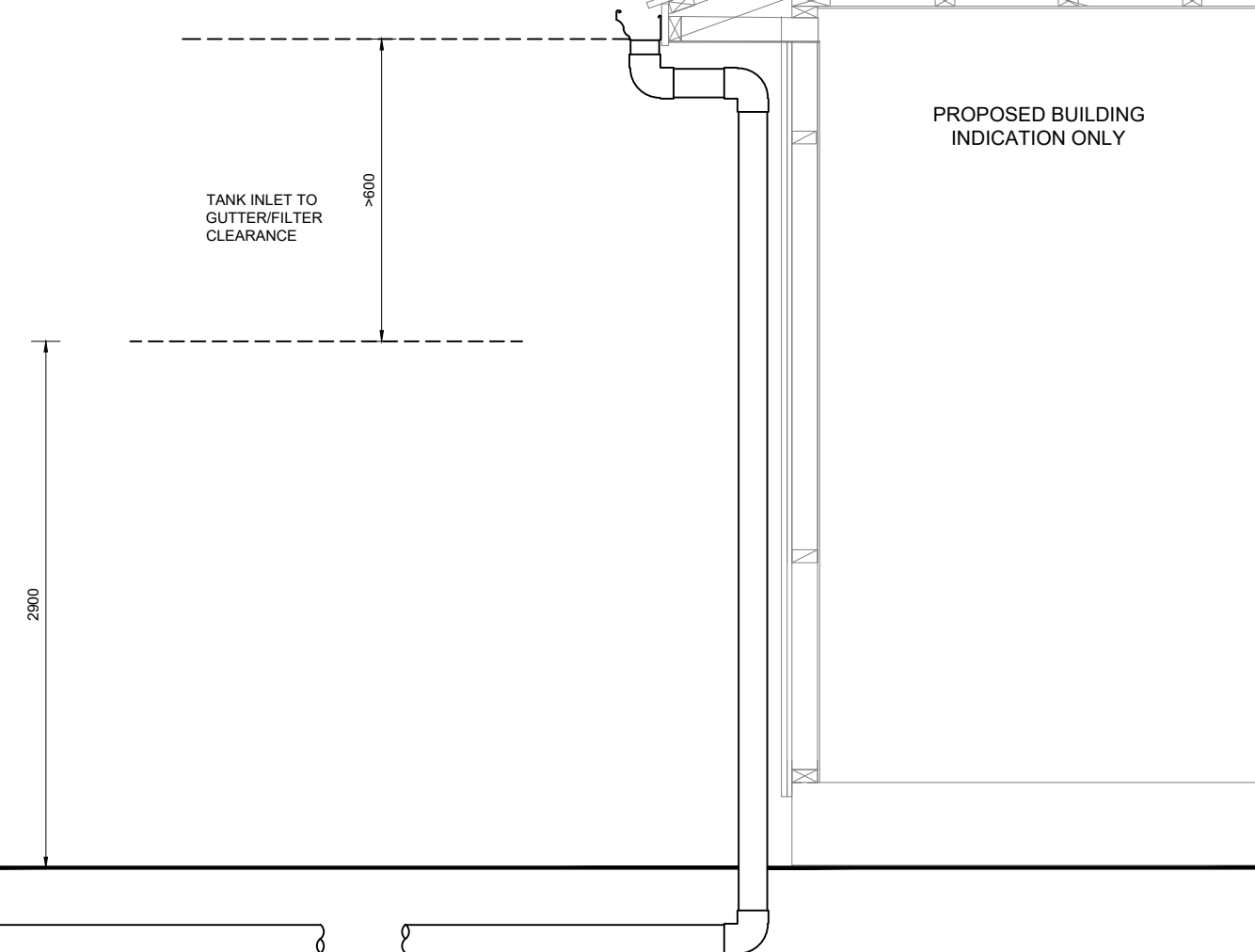
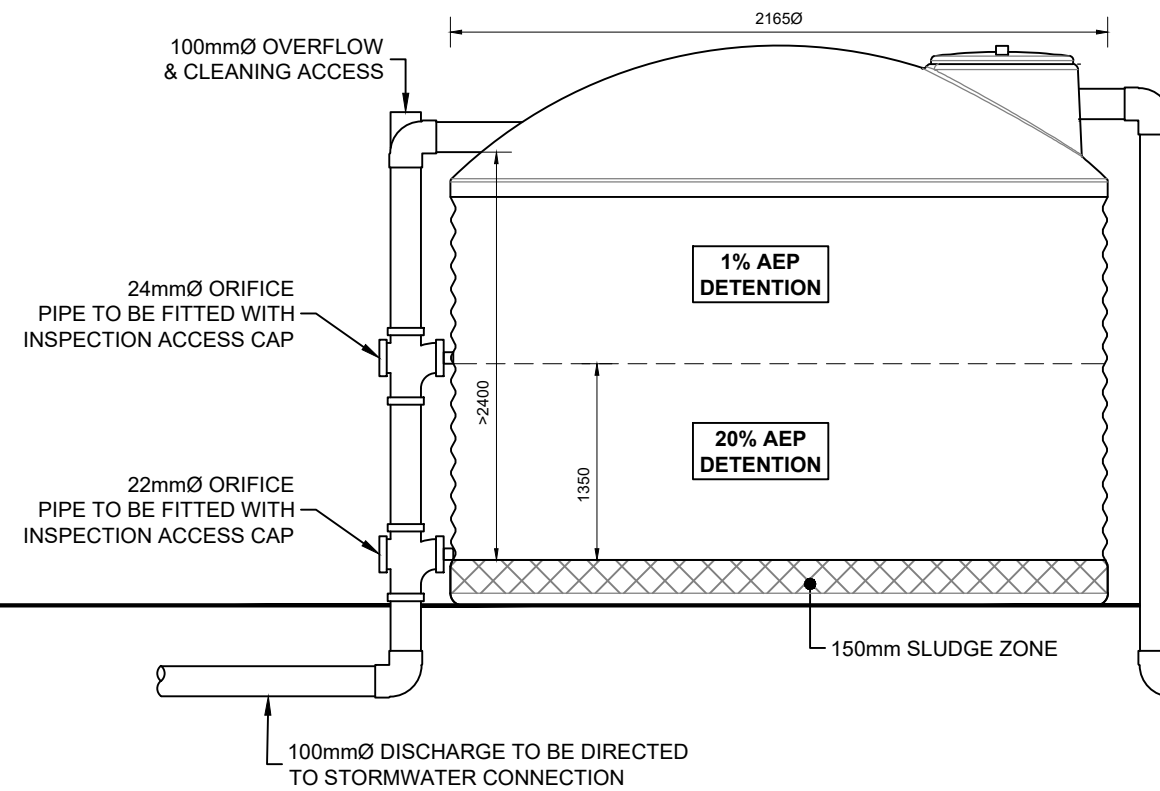
1. NOT TO SCALE. DRAWN INDICATIVELY ONLY.
2. ALL LEVELS & DIMENSIONS TO BE CONFIRMED ON SITE & ANY DISCREPANCIES TO BE REPORTED TO THE ENGINEER PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
3. TANK TO BE INSTALLED AS PER MANUFACTURERS SPECIFICATIONS & RELEVANT COUNCIL STANDARDS.
4. REGULAR INSPECTION & CLEANING IS REQUIRED TO ENSURE THE EFFECTIVE OPERATION OF THE SYSTEM.
5. ALL ORIFICE OUTLETS TO BE COVERED WITH STAINLESS STEEL OR NYLON MESH.
6. ASSUMED USE OF A 1 x 10,000 LITRE PLASTIC PROMAX WATER TANK OR SIMILARLY APPROVED.

PLASTIC TANKS NOTES:

7. ANY OUTLETS / PENETRATIONS AT THE TANK BASE (HIGH WATER PRESSURE) TO BE INSTALLED BY THE MANUFACTURER.

TANK DETAIL TO BE PROVIDED TO TANK MANUFACTURER FOR REVIEW PRIOR TO INSTALLATION. FAILURE TO COMPLY WITH TANK MANUFACTURER'S SPECIFICATIONS MAY RESULT IN VOIDING OF TANK WARRANTY

INTERNAL RISER PIPE SETUP ALSO ACCEPTABLE



01 TANK DETAIL
C200 N.T.S

WILTON JOUBERT
Consulting Engineers

Northland: 09 945 4188 Auckland: 09 527 0196
Christchurch: 021 824 063 Wanaka: 03 443 6209

www.wiltonjoubert.co.nz

ISSUE / REVISION			
No.	DATE	BY	DESCRIPTION
A	16/12/2024	BGS	STORMWATER MITIGATION REPORT

DESIGNED BY:
BGS

DRAWN BY:
JWB

CHECKED BY:
BGS

SURVEYED BY:
N/A

SERVICES NOTE
WHERE EXISTING SERVICES ARE SHOWN, THEY ARE INDICATIVE ONLY AND MAY NOT INCLUDE ALL SITE SERVICES. WILTON JOUBERT LTD DOES NOT WARRANT THAT ALL, OR INDEED ANY SERVICES ARE SHOWN. IT IS THE CONTRACTORS RESPONSIBILITY TO LOCATE AND PROTECT ALL EXISTING SERVICES PRIOR TO AND FOR THE DURATION OF THE CONTRACT WORKS.

BUILDING CONSENT
DESIGN / DRAWING SUBJECT TO ENGINEERS APPROVAL

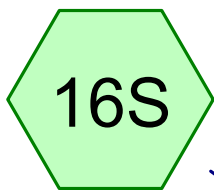
DRAWING TITLE:
TANK DETAIL

PROJECT DESCRIPTION:
STORMWATER MITIGATION REPORT

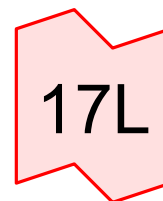
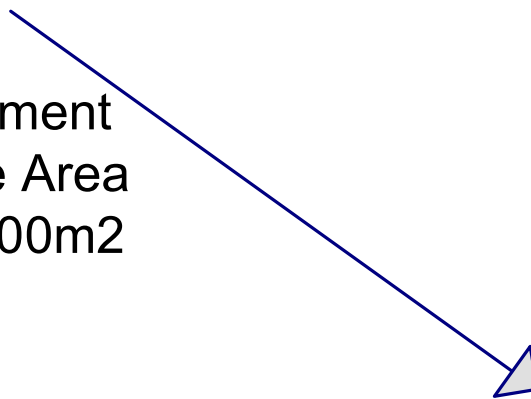
PROJECT TITLE:
**LOT 1 DP 126573
14 WYNARD STREET
KAWAKAWA
NORTHLAND**

ORIGINAL DRAWING SIZE: A3	OFFICE: OREWA
DRAWING SCALE: NTS	CO-ORDINATE SYSTEM: NOT COORDINATED
DRAWING NUMBER: 138049-C210	ISSUE: A
COPYRIGHT - WILTON JOUBERT LIMITED	

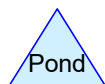
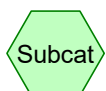
Pre-Development Scenario



Pre-Development
Impermeable Area
Exceeding 600m²

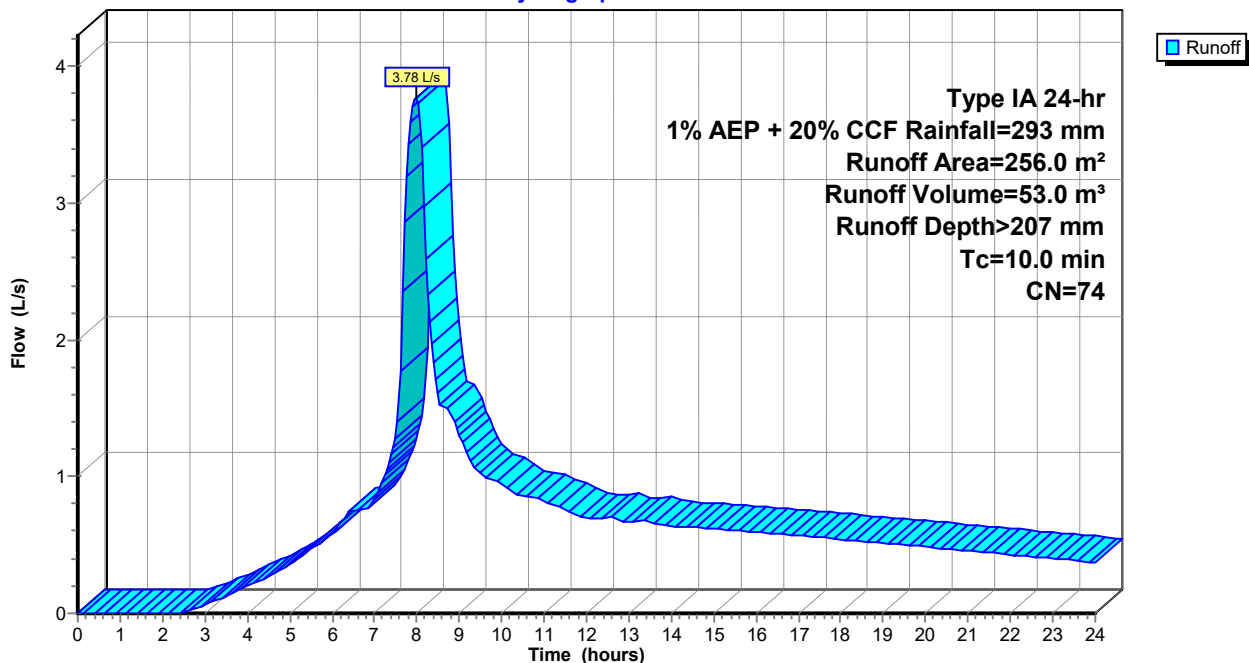


80% of
Pre-Development



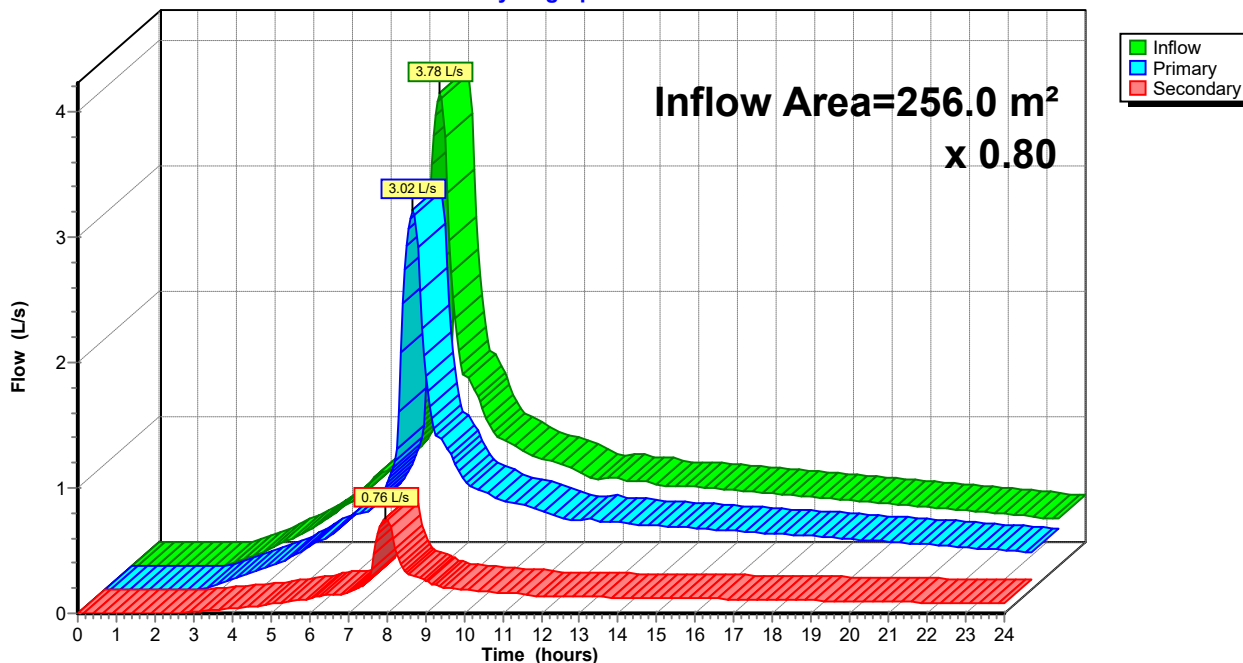
Subcatchment 16S: Pre-Development Impermeable Area Exceeding 600m2

Hydrograph

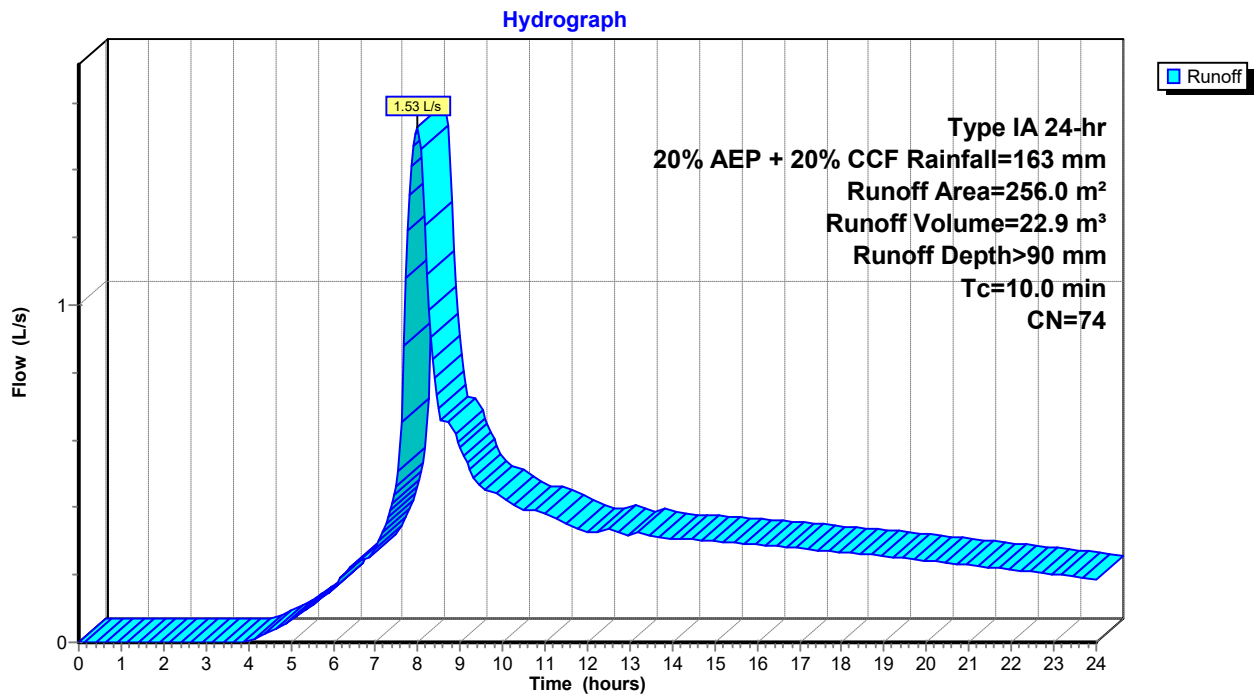


Link 17L: 80% of Pre-Development

Hydrograph

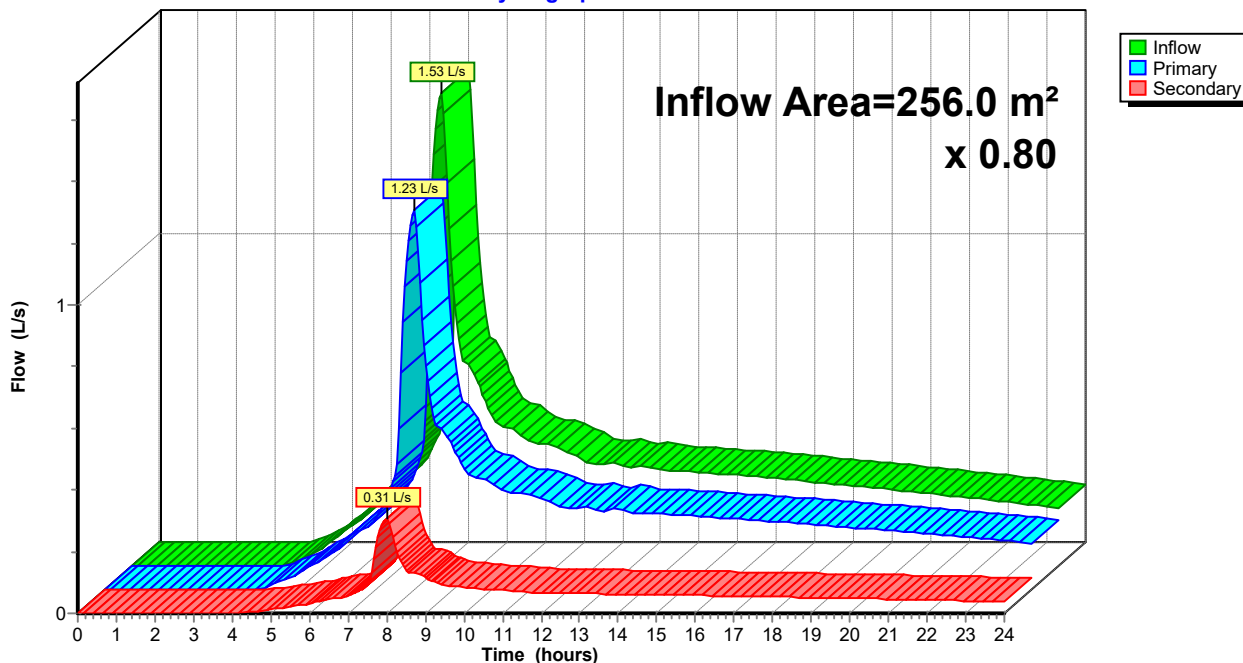


Subcatchment 16S: Pre-Development Impermeable Area Exceeding 600m2

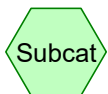
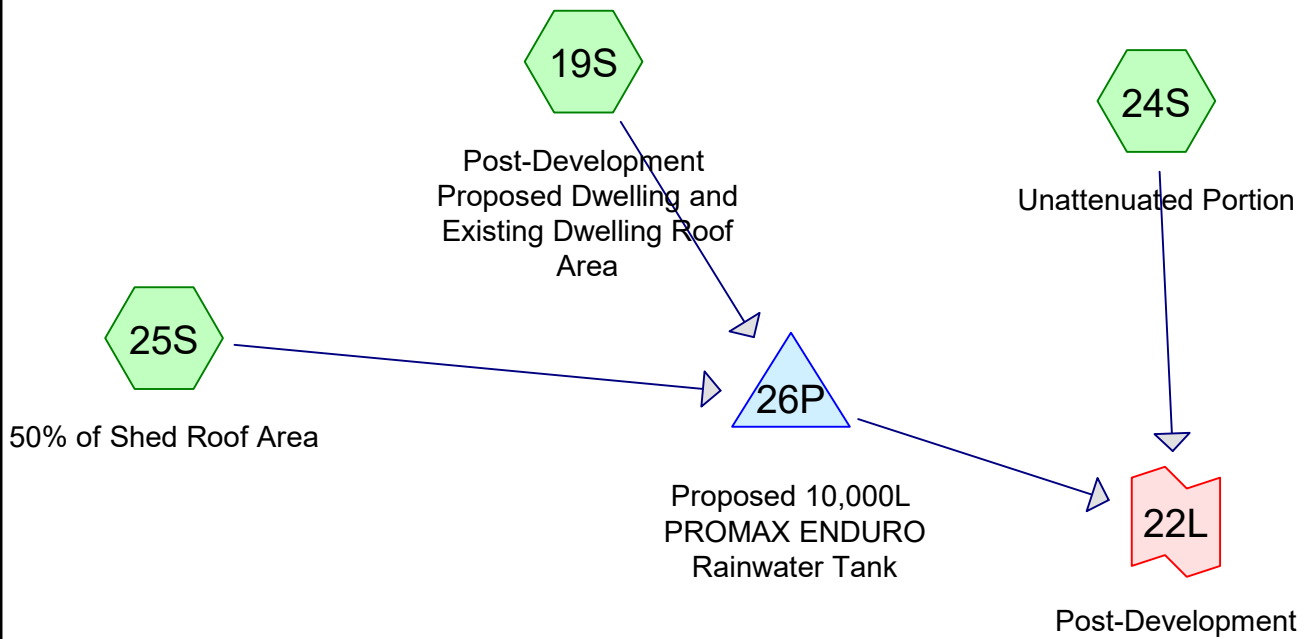


Link 17L: 80% of Pre-Development

Hydrograph



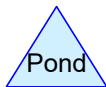
Post-Development Scenario



Subcat



Reach



Pond



Link

Routing Diagram for 138049 Option 2

Prepared by Wilton Joubert Limited, Printed 18/12/2024
HydroCAD® 10.00-26 s/n 10413 © 2020 HydroCAD Software Solutions LLC

138049 Option 2

Prepared by Wilton Joubert Limited

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Type IA 24-hr 1% AEP + 20% CCF Rainfall=293 mm

Printed 18/12/2024

Page 2

Summary for Subcatchment 19S: Post-Development Proposed Dwelling and Existing Dwelling Roof Area

Runoff = 3.61 L/s @ 7.94 hrs, Volume= 53.5 m³, Depth> 286 mm

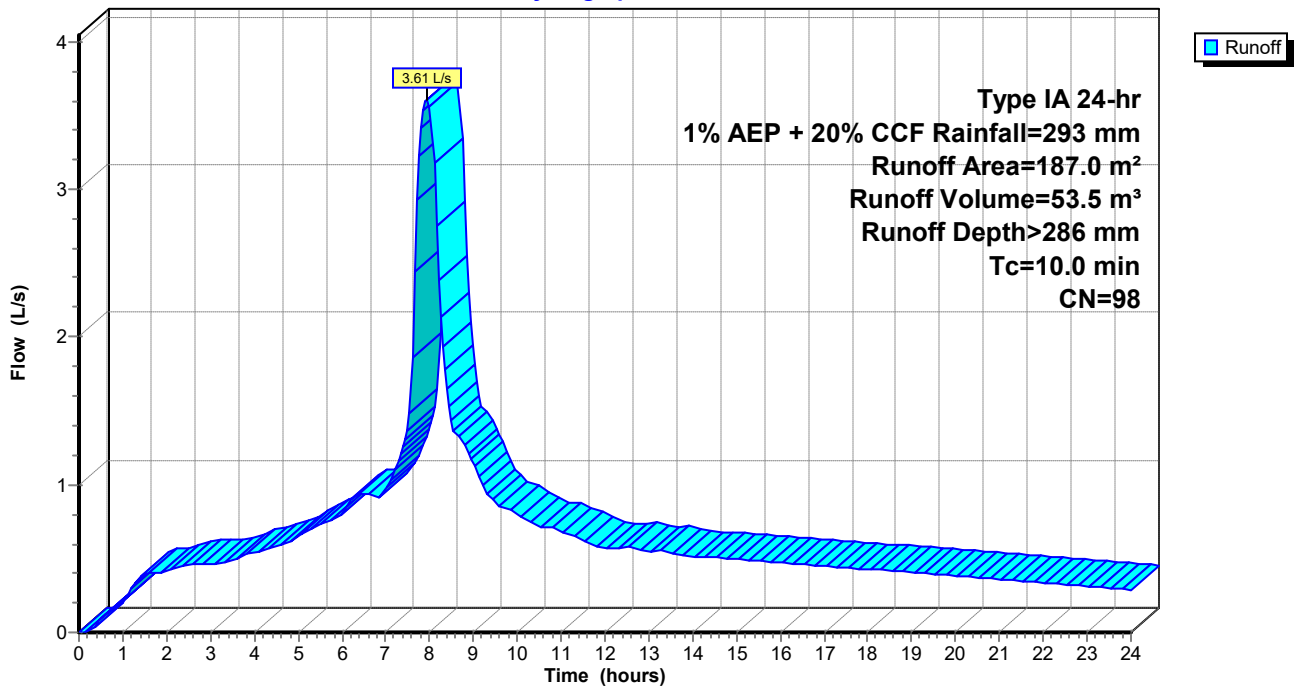
Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-24.00 hrs, dt= 0.05 hrs
Type IA 24-hr 1% AEP + 20% CCF Rainfall=293 mm

Area (m ²)	CN	Description
187.0	98	Roofs, HSG C
187.0		100.00% Impervious Area

Tc (min)	Length (meters)	Slope (m/m)	Velocity (m/sec)	Capacity (m ³ /s)	Description
10.0					Direct Entry,

Subcatchment 19S: Post-Development Proposed Dwelling and Existing Dwelling Roof Area

Hydrograph



Summary for Subcatchment 24S: Unattenuated Portion

Runoff = 0.28 L/s @ 7.94 hrs, Volume= 4.1 m³, Depth> 286 mm

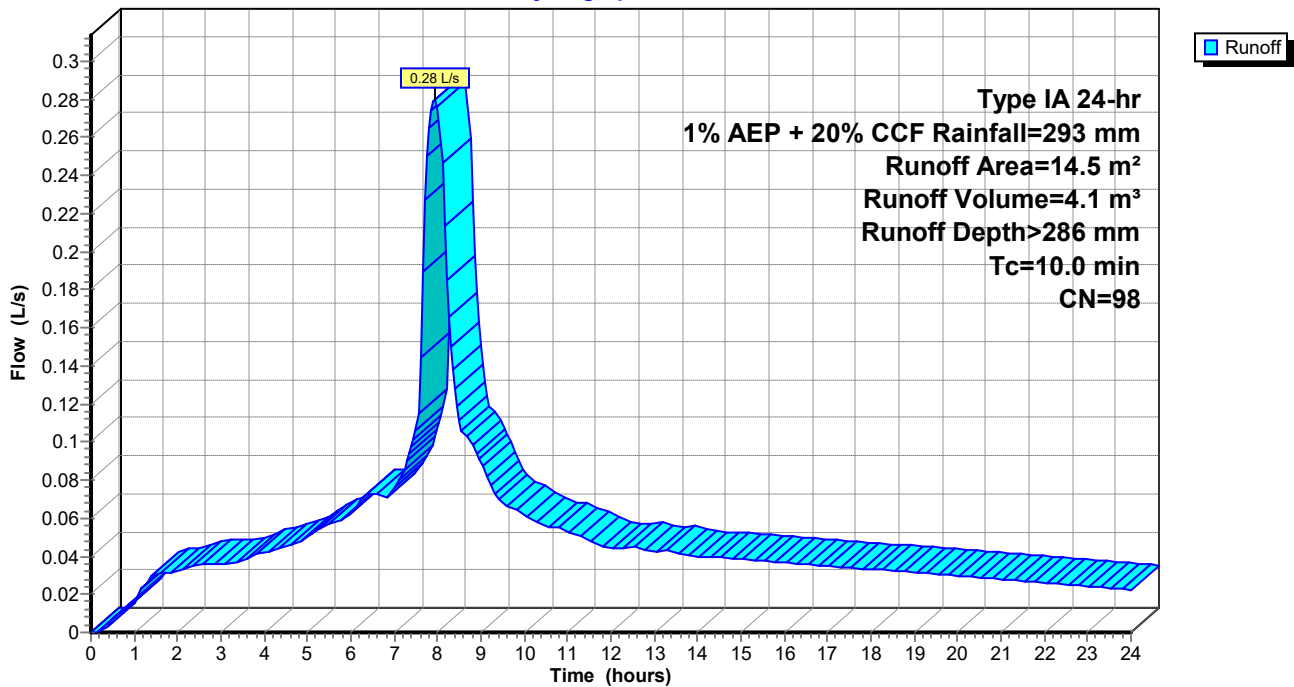
Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-24.00 hrs, dt= 0.05 hrs
 Type IA 24-hr 1% AEP + 20% CCF Rainfall=293 mm

Area (m ²)	CN	Description
14.5	98	Roofs, HSG C
14.5		100.00% Impervious Area

Tc (min)	Length (meters)	Slope (m/m)	Velocity (m/sec)	Capacity (m ³ /s)	Description
10.0					Direct Entry,

Subcatchment 24S: Unattenuated Portion

Hydrograph



138049 Option 2

Prepared by Wilton Joubert Limited

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Type IA 24-hr 1% AEP + 20% CCF Rainfall=293 mm

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Page 4

Summary for Subcatchment 25S: 50% of Shed Roof Area

Runoff = 1.05 L/s @ 7.94 hrs, Volume= 15.6 m³, Depth> 286 mm

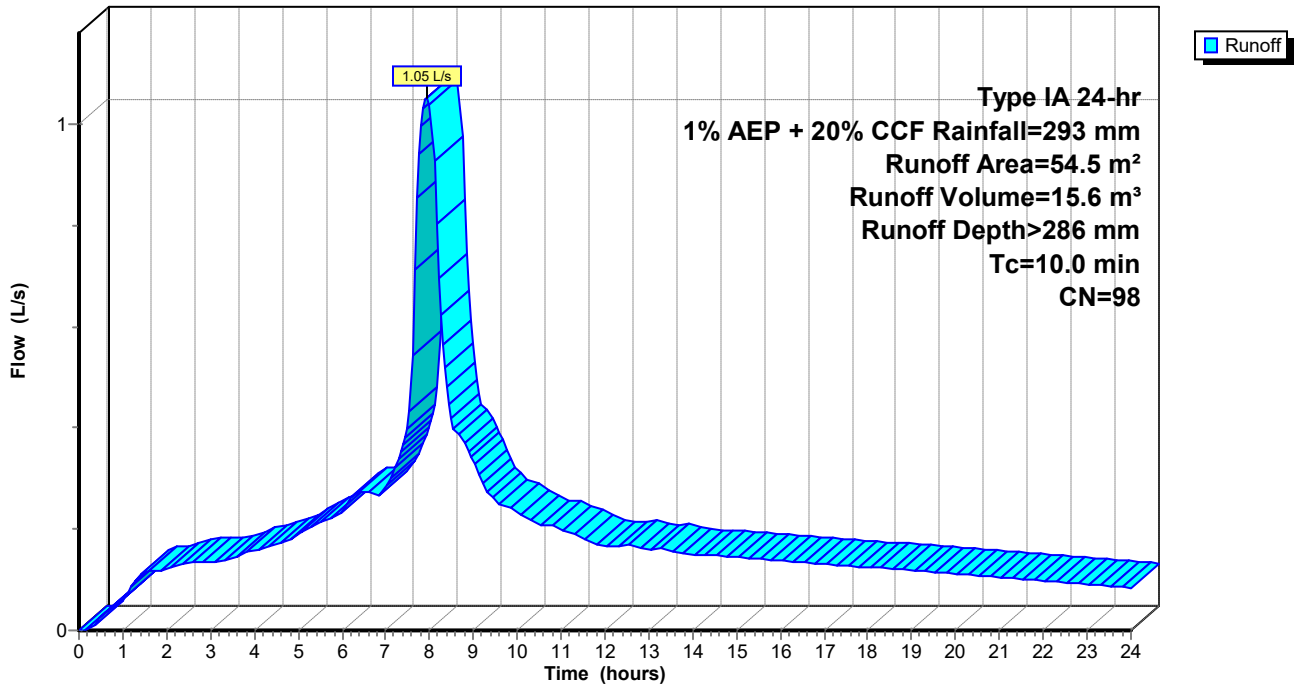
Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-24.00 hrs, dt= 0.05 hrs
Type IA 24-hr 1% AEP + 20% CCF Rainfall=293 mm

Area (m ²)	CN	Description
54.5	98	Roofs, HSG C
54.5		100.00% Impervious Area

Tc (min)	Length (meters)	Slope (m/m)	Velocity (m/sec)	Capacity (m ³ /s)	Description
10.0					Direct Entry,

Subcatchment 25S: 50% of Shed Roof Area

Hydrograph



138049 Option 2

Type IA 24-hr 1% AEP + 20% CCF Rainfall=293 mm

Prepared by Wilton Joubert Limited

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Page 5

Summary for Pond 26P: Proposed 10,000L PROMAX ENDURO Rainwater Tank

Inflow Area = 241.5 m², 100.00% Impervious, Inflow Depth > 286 mm for 1% AEP + 20% CCF event
 Inflow = 4.67 L/s @ 7.94 hrs, Volume= 69.1 m³
 Outflow = 2.78 L/s @ 8.25 hrs, Volume= 68.5 m³, Atten= 40%, Lag= 18.7 min
 Primary = 2.78 L/s @ 8.25 hrs, Volume= 68.5 m³

Routing by Stor-Ind method, Time Span= 0.00-24.00 hrs, dt= 0.05 hrs
 Peak Elev= 2.391 m @ 8.25 hrs Surf.Area= 3.7 m² Storage= 8.8 m³

Plug-Flow detention time= 47.4 min calculated for 68.4 m³ (99% of inflow)
 Center-of-Mass det. time= 40.4 min (684.8 - 644.4)

Volume	Invert	Avail.Storage	Storage Description
#1	0.000 m	10.6 m ³	2.16 mD x 2.90 mH Vertical Cone/Cylinder

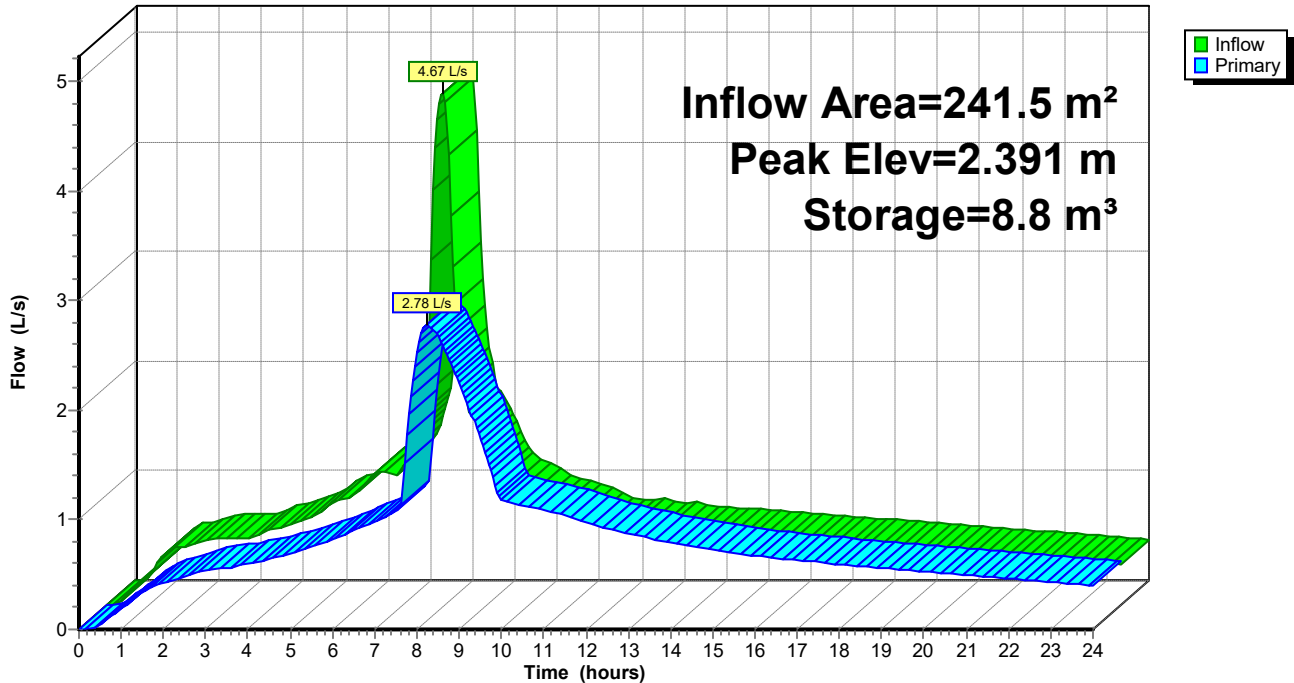
Device	Routing	Invert	Outlet Devices
#1	Primary	0.000 m	22 mm Vert. Orifice/Grate C= 0.600
#2	Primary	1.350 m	24 mm Vert. Orifice/Grate C= 0.600

Primary OutFlow Max=2.78 L/s @ 8.25 hrs HW=2.391 m (Free Discharge)

- 1=Orifice/Grate (Orifice Controls 1.56 L/s @ 4.10 m/s)
- 2=Orifice/Grate (Orifice Controls 1.22 L/s @ 2.70 m/s)

Pond 26P: Proposed 10,000L PROMAX ENDURO Rainwater Tank

Hydrograph



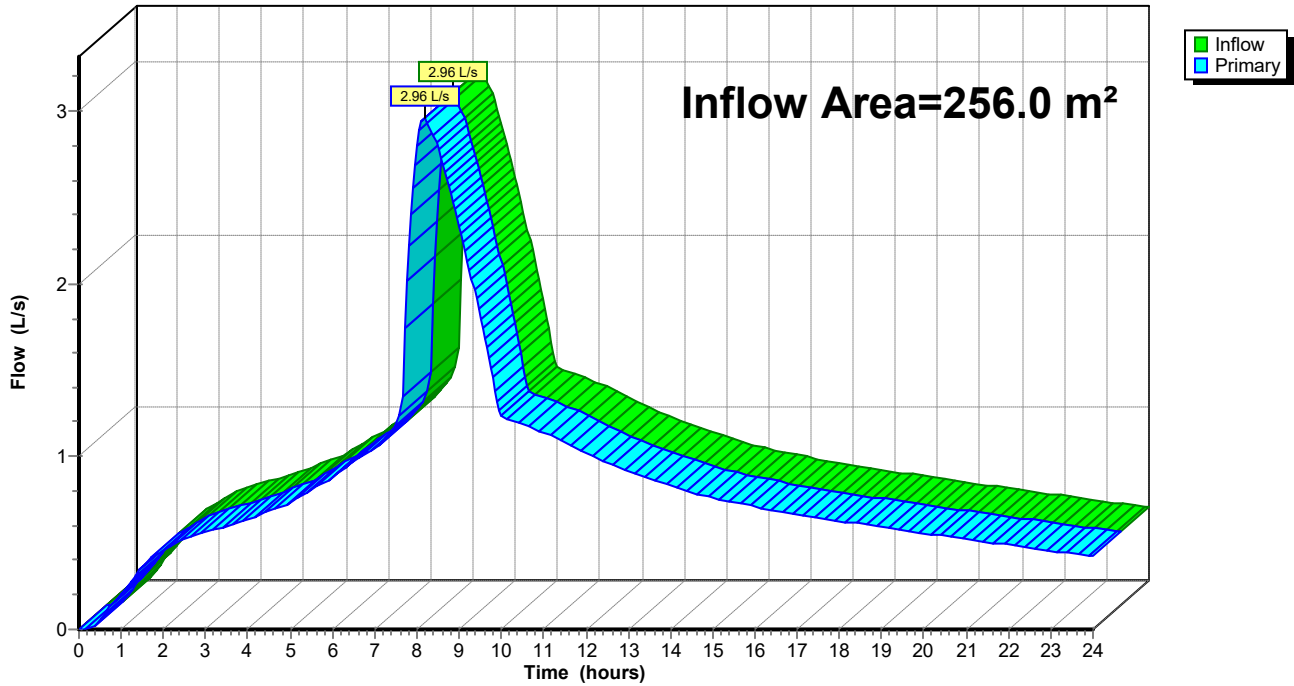
Summary for Link 22L: Post-Development

Inflow Area = 256.0 m², 100.00% Impervious, Inflow Depth > 284 mm for 1% AEP + 20% CCF event
Inflow = 2.96 L/s @ 8.17 hrs, Volume= 72.6 m³
Primary = 2.96 L/s @ 8.17 hrs, Volume= 72.6 m³, Atten= 0%, Lag= 0.0 min

Primary outflow = Inflow, Time Span= 0.00-24.00 hrs, dt= 0.05 hrs

Link 22L: Post-Development

Hydrograph



138049 Option 2

Prepared by Wilton Joubert Limited

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Type IA 24-hr 20% AEP + 20% CCF Rainfall=163 mm

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Page 7

Summary for Subcatchment 19S: Post-Development Proposed Dwelling and Existing Dwelling Roof Area

Runoff = 2.00 L/s @ 7.94 hrs, Volume= 29.3 m³, Depth> 157 mm

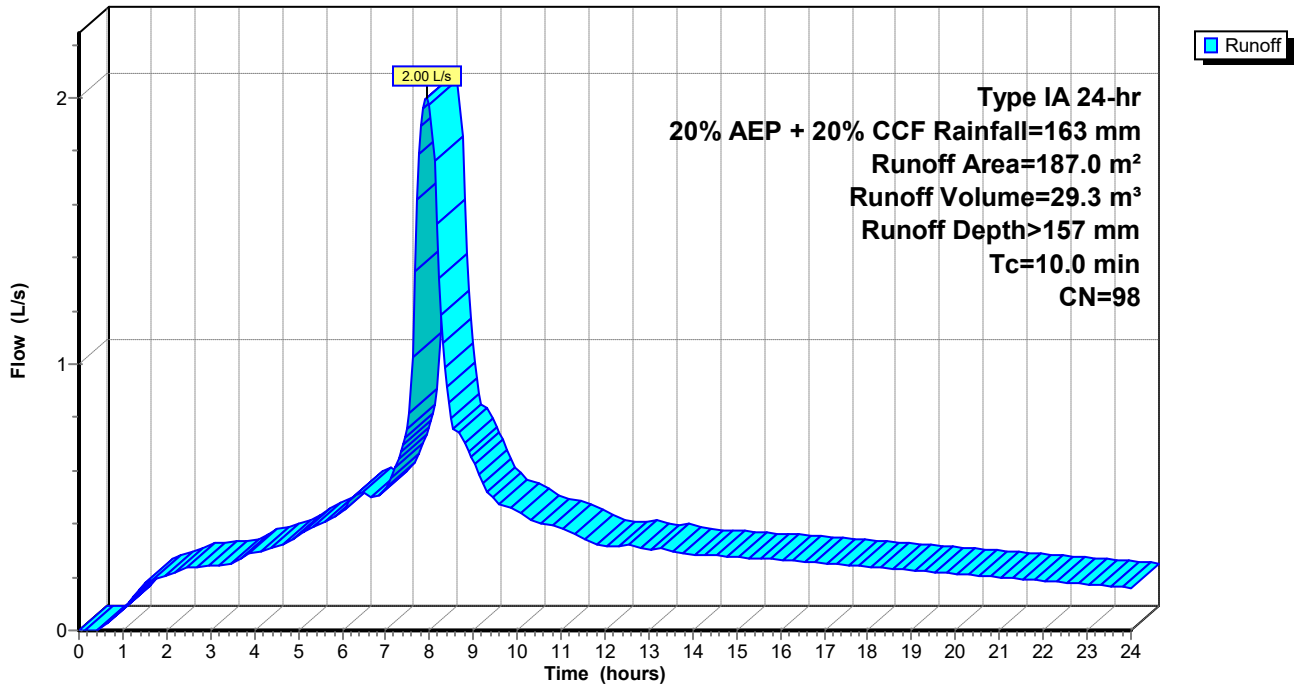
Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-24.00 hrs, dt= 0.05 hrs
Type IA 24-hr 20% AEP + 20% CCF Rainfall=163 mm

Area (m ²)	CN	Description
187.0	98	Roofs, HSG C
187.0		100.00% Impervious Area

Tc (min)	Length (meters)	Slope (m/m)	Velocity (m/sec)	Capacity (m ³ /s)	Description
10.0					Direct Entry,

Subcatchment 19S: Post-Development Proposed Dwelling and Existing Dwelling Roof Area

Hydrograph



Summary for Subcatchment 24S: Unattenuated Portion

Runoff = 0.16 L/s @ 7.94 hrs, Volume= 2.3 m³, Depth> 157 mm

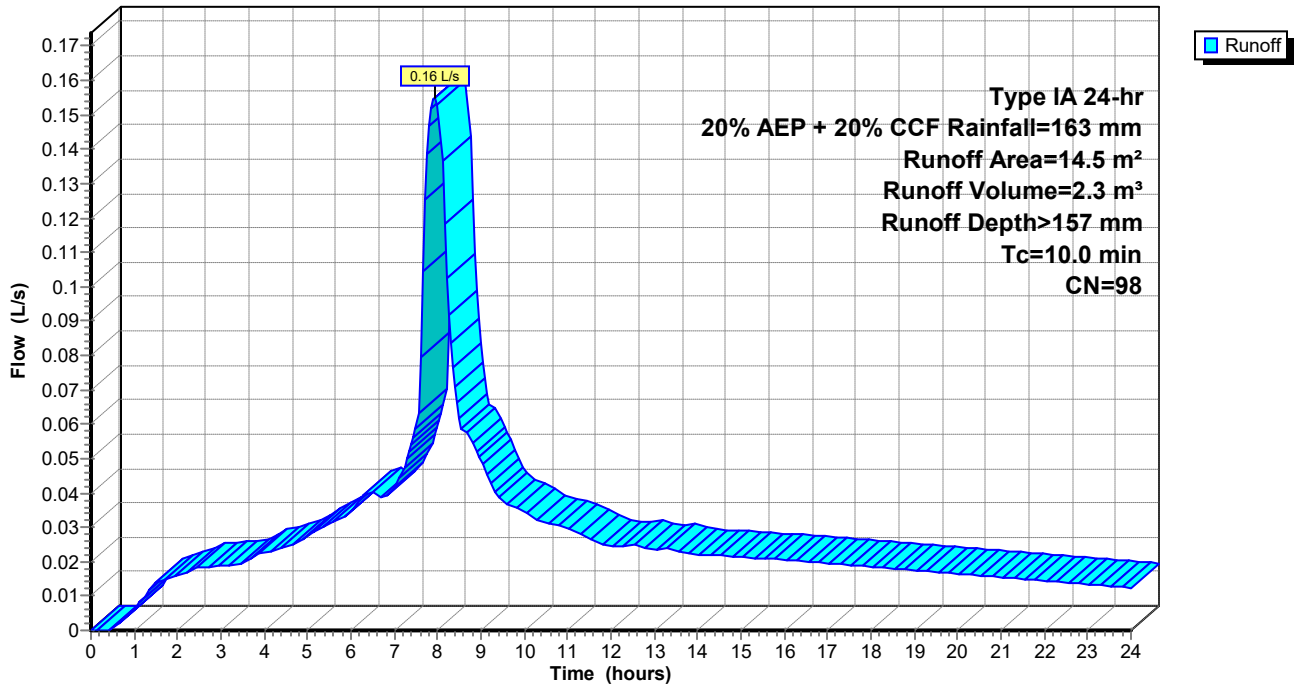
Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-24.00 hrs, dt= 0.05 hrs
Type IA 24-hr 20% AEP + 20% CCF Rainfall=163 mm

Area (m ²)	CN	Description
14.5	98	Roofs, HSG C
14.5		100.00% Impervious Area

Tc (min)	Length (meters)	Slope (m/m)	Velocity (m/sec)	Capacity (m ³ /s)	Description
10.0					Direct Entry,

Subcatchment 24S: Unattenuated Portion

Hydrograph



Summary for Subcatchment 25S: 50% of Shed Roof Area

Runoff = 0.58 L/s @ 7.94 hrs, Volume= 8.5 m³, Depth> 157 mm

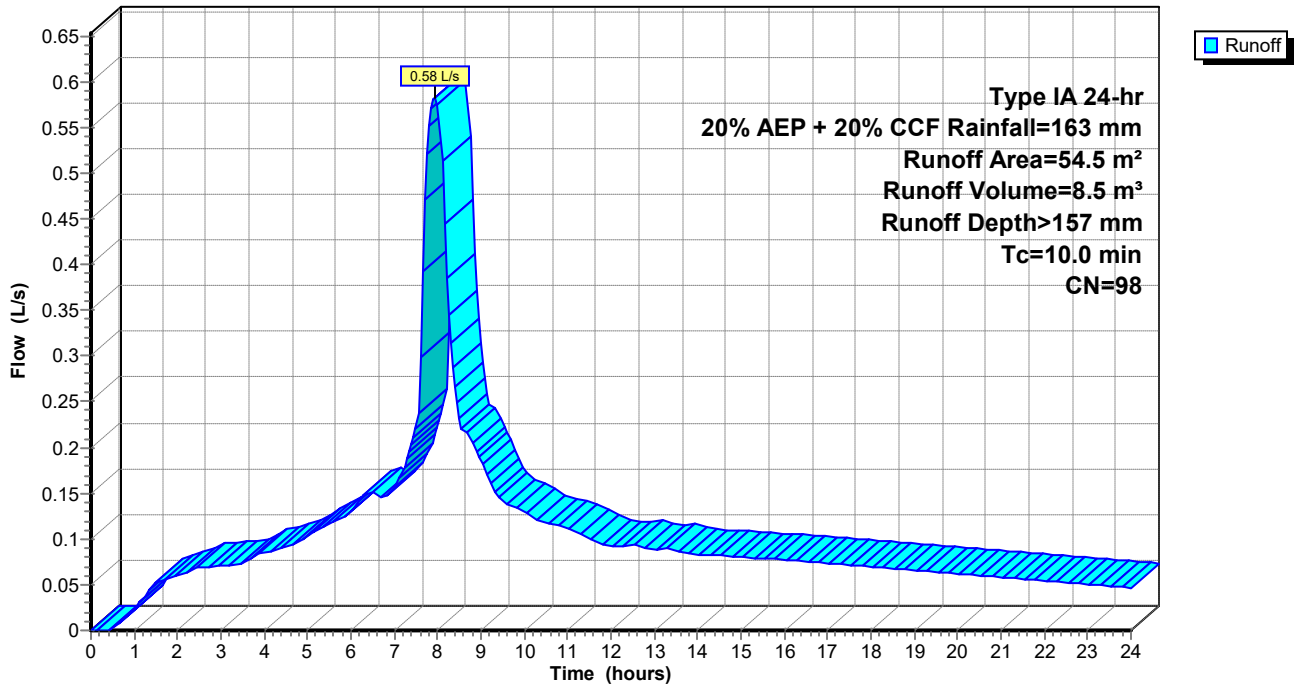
Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-24.00 hrs, dt= 0.05 hrs
 Type IA 24-hr 20% AEP + 20% CCF Rainfall=163 mm

Area (m ²)	CN	Description
54.5	98	Roofs, HSG C
54.5		100.00% Impervious Area

Tc (min)	Length (meters)	Slope (m/m)	Velocity (m/sec)	Capacity (m ³ /s)	Description
10.0					Direct Entry,

Subcatchment 25S: 50% of Shed Roof Area

Hydrograph



Summary for Pond 26P: Proposed 10,000L PROMAX ENDURO Rainwater Tank

Inflow Area = 241.5 m², 100.00% Impervious, Inflow Depth > 157 mm for 20% AEP + 20% CCF event
 Inflow = 2.58 L/s @ 7.94 hrs, Volume= 37.8 m³
 Outflow = 1.15 L/s @ 8.42 hrs, Volume= 37.6 m³, Atten= 55%, Lag= 28.7 min
 Primary = 1.15 L/s @ 8.42 hrs, Volume= 37.6 m³

Routing by Stor-Ind method, Time Span= 0.00-24.00 hrs, dt= 0.05 hrs
 Peak Elev= 1.317 m @ 8.42 hrs Surf.Area= 3.7 m² Storage= 4.8 m³

Plug-Flow detention time= 37.1 min calculated for 37.5 m³ (99% of inflow)
 Center-of-Mass det. time= 32.8 min (684.9 - 652.1)

Volume	Invert	Avail.Storage	Storage Description
#1	0.000 m	10.6 m ³	2.16 mD x 2.90 mH Vertical Cone/Cylinder

Device	Routing	Invert	Outlet Devices
#1	Primary	0.000 m	22 mm Vert. Orifice/Grate C= 0.600
#2	Primary	1.350 m	24 mm Vert. Orifice/Grate C= 0.600

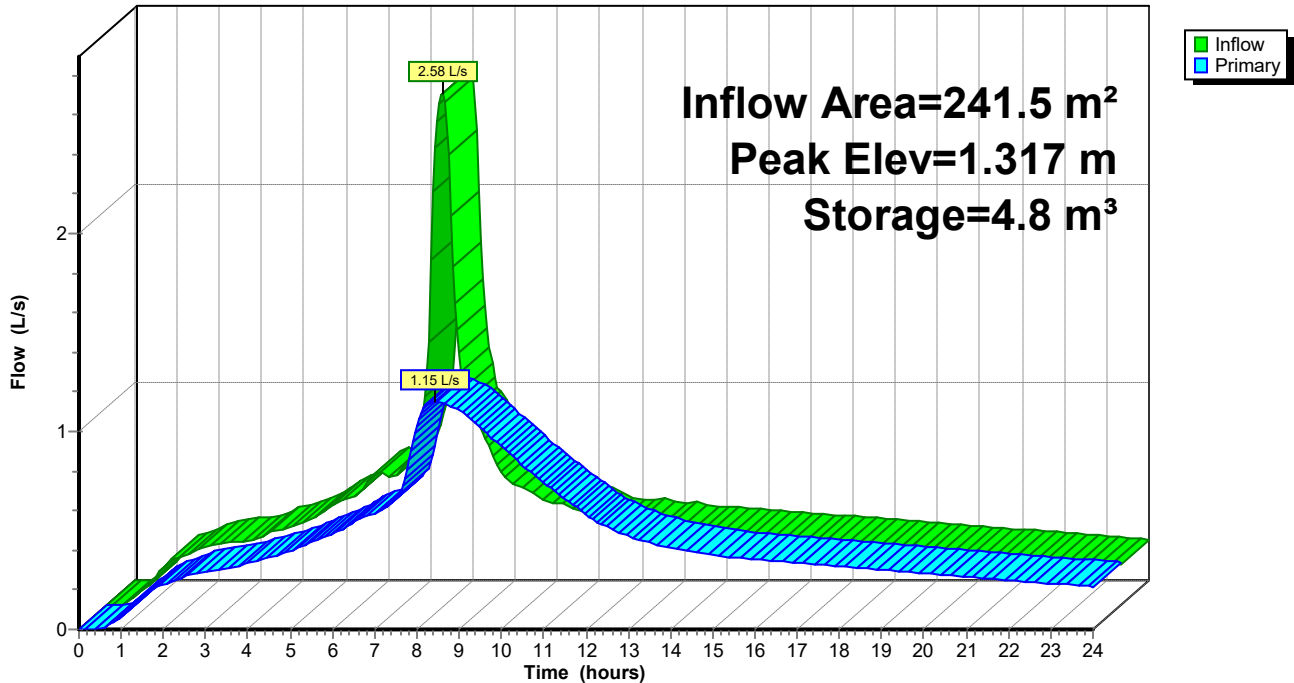
Primary OutFlow Max=1.15 L/s @ 8.42 hrs HW=1.316 m (Free Discharge)

1=Orifice/Grate (Orifice Controls 1.15 L/s @ 3.04 m/s)

2=Orifice/Grate (Controls 0.00 L/s)

Pond 26P: Proposed 10,000L PROMAX ENDURO Rainwater Tank

Hydrograph



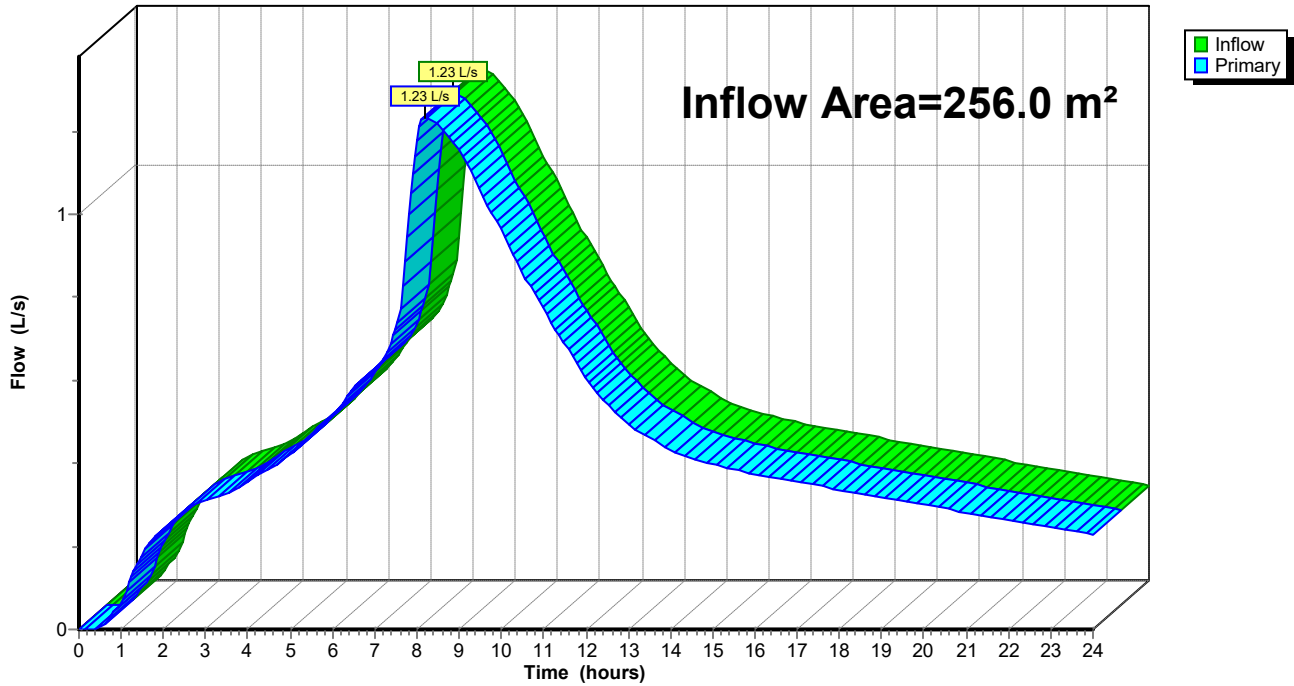
Summary for Link 22L: Post-Development

Inflow Area = 256.0 m², 100.00% Impervious, Inflow Depth > 156 mm for 20% AEP + 20% CCF event
Inflow = 1.23 L/s @ 8.20 hrs, Volume= 39.9 m³
Primary = 1.23 L/s @ 8.20 hrs, Volume= 39.9 m³, Atten= 0%, Lag= 0.0 min

Primary outflow = Inflow, Time Span= 0.00-24.00 hrs, dt= 0.05 hrs

Link 22L: Post-Development

Hydrograph





NOTICE OF WRITTEN APPROVAL

Written Approval of Affected Parties in accordance with Section 95E of the Resource Management Act

PART A – To be completed by Applicant

Applicant/s Name:	Kerry Wickman
Address of proposed activity:	14 Wynyard Street, Kawakawa
Legal description:	Lot 1 DP 126573
Description of the proposal (including why you need resource consent):	Proposed Addition to existing home Breach 7.6.5.1.5 Sunlight Rule as shown on the Site Plan & Elevations Breach 7.6.5.1.6 Stormwater Management
Details of the application are given in the attached documents & plans (list what documents & plans have been provided to the party being asked to provide written approval):	<ol style="list-style-type: none"> 1. CADL Plans RC01 - A01-A05 2. _____ 3. _____ 4. _____ 5. _____ 6. _____

Notes to Applicant:

1. Written approval must be obtained from all registered owners and occupiers.
2. The **original copy** of this signed form and **signed plans and accompanying documents** must be supplied to the Far North District Council.
3. The amount and type of information provided to the party from whom you seek written approval should be sufficient to give them a full understanding of your proposal, its effects and why resource consent is needed.

PART B – To be completed by Parties giving approval

Notes to the party giving written approval:

1. If the owner and the occupier of your property are different people then separate written approvals are required from each.
2. You should only sign in the place provided on this form and accompanying plans and documents if you **fully understand** the proposal and if you **support** or have **no opposition** to the proposal. Council will not accept conditional approvals. If you have conditions on your approval, these should be discussed and resolved with the applicant directly.
3. Please note that when you give your written approval to an application, council cannot take into consideration any actual or potential effects of the proposed activity on you unless you formally withdraw your written approval **before** a decision has been made as to whether the application is to be notified or not. After that time you can no longer withdraw your written approval.
4. Please sign and date all associated plans and documentation as referenced overleaf and return with this form.
5. If you have any concerns about giving your written approval or need help understanding this process, please feel free to contact the duty planner on 0800 920 029 or (09) 401 5200.

Full name/s of party giving approval:

Emma Hair

Address of affected property including legal description

25 Church St, Kaurakawa 0210

Contact Phone Number/s and email address

Daytime: 027 3401906

email: emma_hair@hotmail.com

I am/we are the OWNER(S) / OCCUPIER(S) of the property (circle which is applicable)

Please note: in most instances the approval of all the legal owners and the occupiers of the affected property will be necessary.

1. I/We have been provided with the details concerning the application submitted to Council and understand the proposal and aspects of non-compliance with the Operative District Plan.
2. I/We have signed each page of the plans and documentation in respect of this proposal (these need to accompany this form).
3. I/We understand and accept that once I/we give my/our approval the Consent Authority (Council) cannot take account of any actual or potential effect of the activity and/or proposal upon me/us when considering the application and the fact that any such effect may occur shall not be relevant grounds upon which the Consent Authority may refuse to grant the application.
4. I/We understand that at any time before the notification decision is made on the application, I/we may give notice in writing to Council that this approval is withdrawn.

Signature



Date

07-12-24

Signature

Date

Signature

Date

Signature

Date

PROPOSED DEVELOPMENT SCHEDULE

Legal Description: Lot 1 DP 126573
 Site Area: 1479m²
 Location: 14 Wynyard Street, Kawakawa
 Wind Zone: High
 Corrosion Zone: B
 Territorial Authority: Far North District Council
 Zone: Residential

AREAS

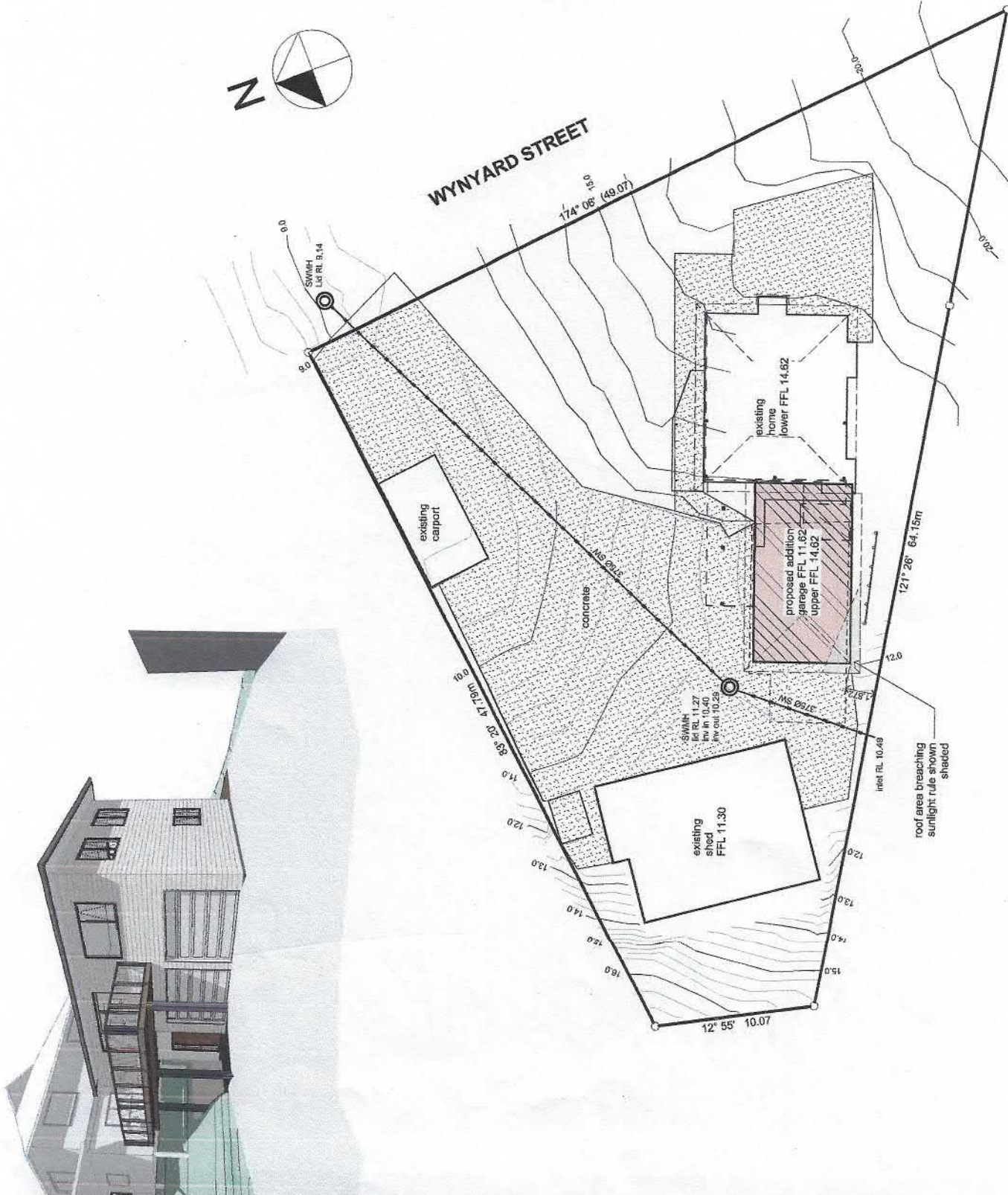
Site Area: 1479m²
Stormwater Management
 Drive & Paving: 463m²
 Existing Shed: 109m²
 Existing Home Roof: 121m²
 Upper level Paving: 87m²
 Proposed Addition Roof: 56m²
Total Impermeable area: 886m² (60%)
Building Coverage
 Existing Shed: 109m²
 Existing Home: 101m²
 Additional Building area: 69m²
Total Building Coverage: 279m² (19%) permitted

BUILDING ENVELOPE RISK MATRIX

Elevations	
Risk Factor	Risk Severity Risk Score
Wind zone (per NZS 3604)	High risk 1
Number of storeys	Medium risk 1
Roof/wall intersection design	Medium risk 1
Eaves width	Medium risk 1
Envelope complexity	Medium risk 1
Deck design	Medium risk 2
Total Risk Score:	7



WYNYARD STREET



Job Title: **Proposed New Home for K. & J. Wickman**
 At: **14 Wynyard Street Kawakawa**

Project Status: **RC PLANS NOT FOR CONSTRUCTION**
 CORE ARCHITECTURAL DESIGN LTD
 Phone: +64 9 497 8888
 PO Box 1006, Victoria Park
 Auckland, New Zealand

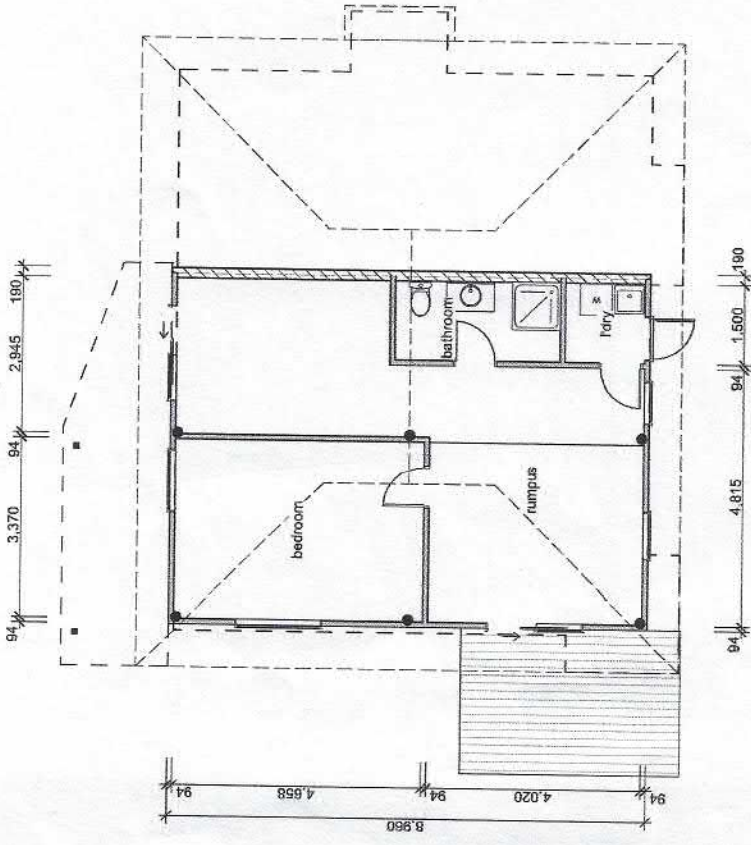
Drawing Title: **Site Plan**
 Scale: **1:250 @ A3**
 Project No.: **2024-0656**
 Date: **25/11/2024**
 Project No.: **2024-0656**
 Revision: **RC01**

Drawing Number: **A01**
 Revision: **RC01**

CH



Existing Upper Floor Plan Scale 1:100



Existing Mid Floor Plan Scale 1:100

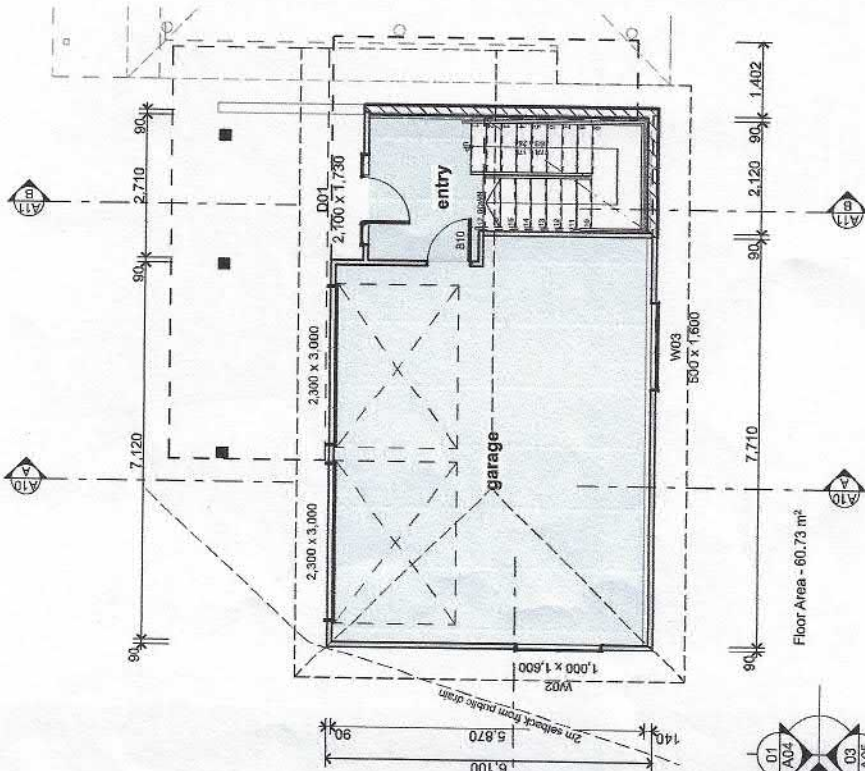
Drawing Number	A02
Revision	RC01

Project Title	Existing Floor Plan
Scale	1:100 @ A3
Plot Date	25/11/2024
Project No.	2024-0656

Project Status	RC PLANS
	NOT FOR CONSTRUCTION
	CORE ARCHITECTURAL DESIGN LTD
	<small>Phone: 0448 907 008 Email: info@cad.com.au 10/100-10/1000</small>

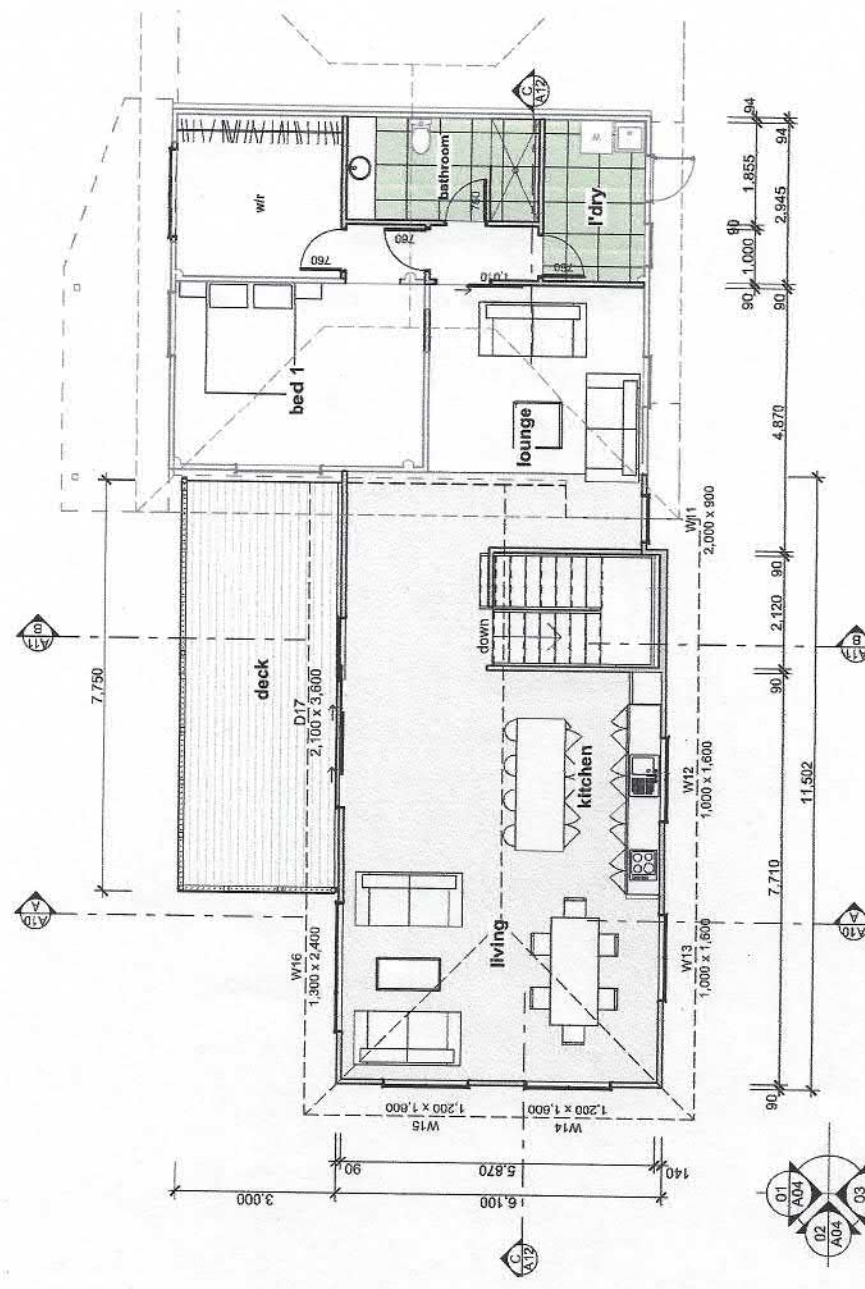
Proposed New Home for K. & J. Wickman At 14 Wynyard Street Kawakawa

13



Garage Level Plan

Scale 1:100



Mid Floor Plan

Scale 1:100

Job Title At	Proposed New Home for K. & J. Wickman 14 Wynyard Street Kawakawa		Project No. 2024-0656	Revision RC01
	Project Status RC PLANS NOT FOR CONSTRUCTION	Drawing Title Floor Plan		
CORE ARCHITECTURAL DESIGN LTD Private - not for sale Without approval from Council - Do not use for construction Without approval from Council - Do not use for construction		Scale 1:100 @ A3	Project No. 2024-0656	Drawing Number A03

EH



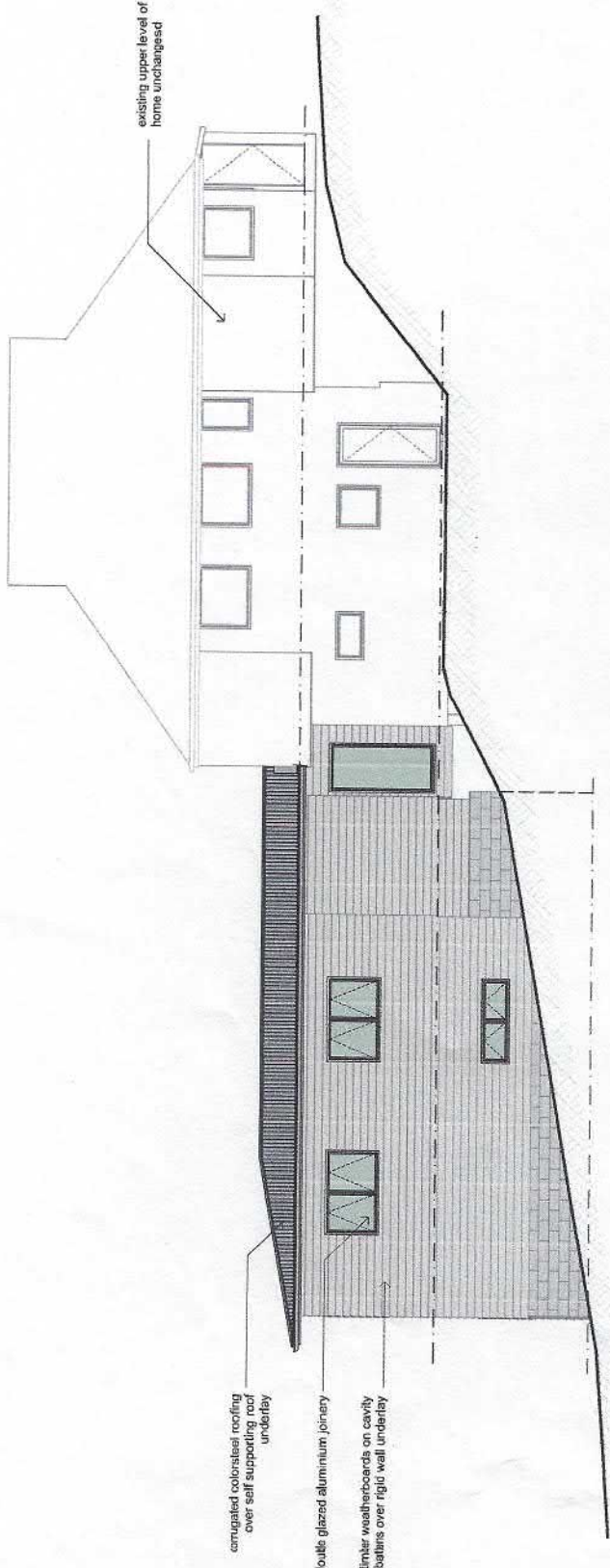
01 North Elevation Scale: 1:100



02 West Elevation Scale: 1:100

Job Title Proposed New Home for K. & J. Wickman At 14 Wynyard Street Kawakawa		Project Status RC PLANS NOT FOR CONSTRUCTION <small>CORE ARCHITECTURAL DESIGN LTD PO Box 1068, Kaitiaki Northland, New Zealand Phone: 06 846 8888 Email: info@cad.co.nz</small>		Drawing Title Elevations Scale 1:100 @ A3 <small>2024-06-26 10:56:00 AM</small>		Drawing Number A04 Revision RC01	
		Plot No. 2024-0656		Plot Date 25/11/2024		Project No. 2024-0656	

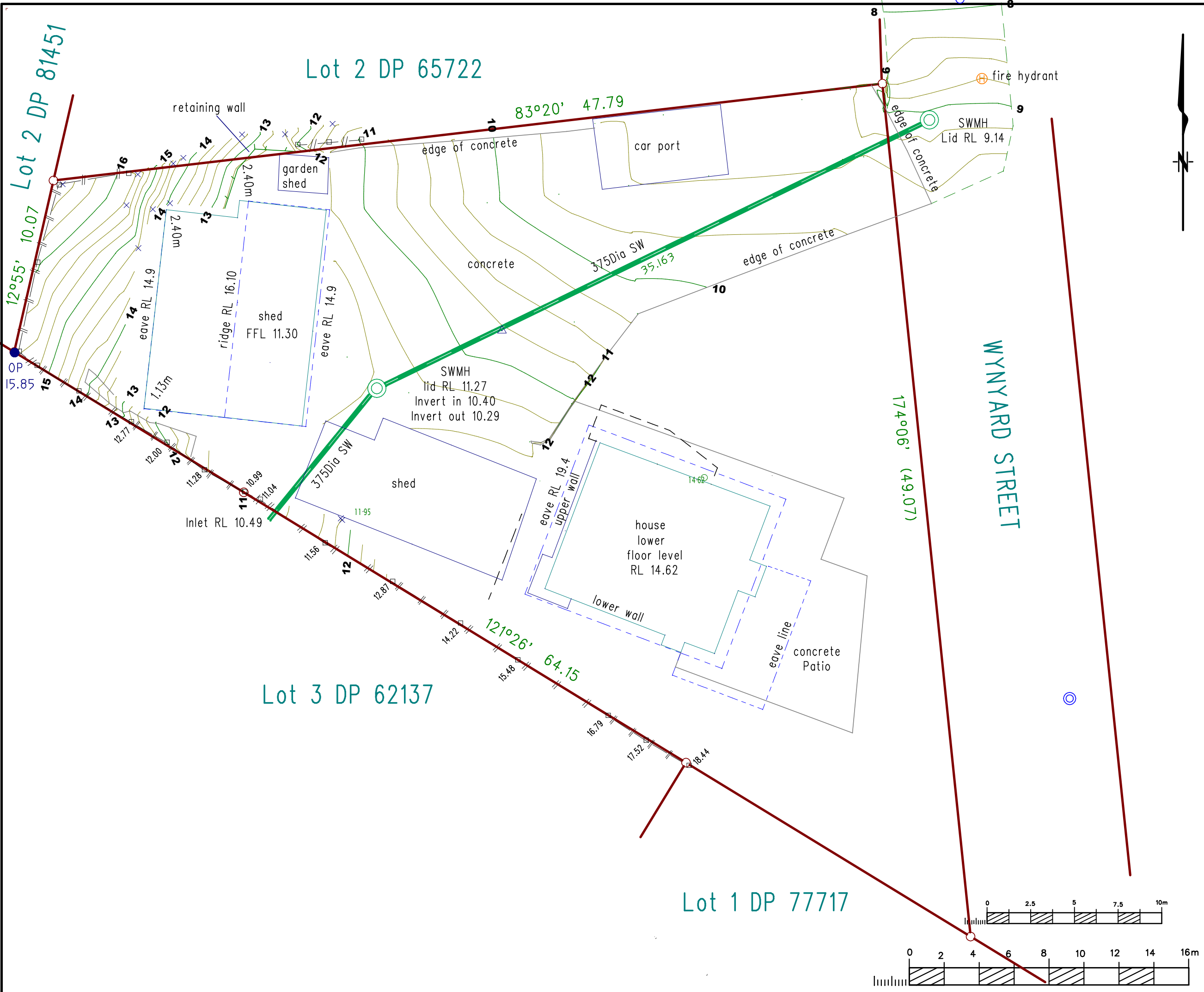
EH



03 South Elevation Scale 1:100

Drawing Title Elevations		Drawing Number A05	
Project Status RC PLANS NOT FOR CONSTRUCTION		Project No. 2024-0656	
CORE ARCHITECTURAL DESIGN LTD PO Box 1005, Kaitiaki Place Herndon, New Zealand Phone: +64 6 877 8888 Email: info@cad.co.nz		Plot Date 25/11/2024	
Scale 1:100		Revision RC01	
Proposed New Home for K. & J. Wickman At 14 Wynyard Street Kawakawa		Project No. 2024-0656	

EM



GENERAL NOTES

- Coordinates in terms of:
Mount Eden Circuit 1949
- Levels in terms of L & S Datum
Surveyors Ref: RM IV SO 57889
RL=3.97m (MSL)
- Contour Intervals
Major Intervals: 1.0m
Minor Intervals: 0.25m

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	Name	Date
Surveyed	WF	Nov 15
Drawn	WF	Nov 15
Appended		

Address 14 Wynyard Street, Kawakawa
Title 57667 Area 0.1479 ha.

JOB/CLIENT:
WICKMAN

KAWAKAWA

SHEET TITLE:
TOPOGRAPHICAL SURVEY OF LOT 1 DP 126573

Williams & King
Registered Land Surveyors, Planners & Land Development Consultants
27 Hobson Ave
PO Box 937, Kerikeri
Tel: 09-407 6030 Fax: 09-4076032
Email: kerikeri@surveyandplanning.co.nz

Job No: 21578
File: Boyd/Wickman Topo.lcd

SCALE @ A3
1:200

SHEET No
1/1