



Office Use Only Application Number:

APPLICATION FOR RESOURCE CONSENT OR FAST-TRACK RESOURCE CONSENT

(Or Associated Consent Pursuant to the Resource Management Act 1991 (RMA))

(If applying for a Resource Consent pursuant to Section 87AAC or 88 of the RMA, this form can be used to satisfy the requirements of Form 9)

Prior to, and during, completion of this application form, please refer to Resource Consent Guidance Notes and Schedule of Fees and Charges – both available on the Council’s web page.

1. Pre-Lodgement Meeting

Have you met with a Council Resource Consent representative to discuss this application prior to lodgement? Yes / No

2. Type of Consent being applied for (more than one circle can be ticked):

- Land Use
- Fast Track Land Use*
- Subdivision
- Discharge
- Extension of time (s.125)
- Change of conditions (s.127)
- Change of Consent Notice (s.221(3))
- Consent under National Environmental Standard (e.g. Assessing and Managing Contaminants in Soil)
- Other (please specify) _____

***The fast track for simple land use consents is restricted to consents with a controlled activity status and requires you provide an electronic address for service.**

3. Would you like to opt out of the Fast Track Process? No ^{Yes / No}

4. Applicant Details: Sarah and Julian Trinder

Name/s: _____

Electronic Address for Service (E-mail):

Phone Numbers:

Postal Address:
(or alternative method of service under section 352 of the Act)

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5. Address for Correspondence: Name and address for service and correspondence (if using an Agent write their details here).

Sarah Trinder

Name/s: _____

Electronic Address for Service (E-mail):

Phone Numbers:

Postal Address:
(or alternative method of service under section 352 of the Act)

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All correspondence will be sent by email in the first instance. Please advise us if you would prefer an alternative means of communication.

6. Details of Property Owner/s and Occupier/s: Name and Address of the Owner/Occupiers of the land to which this application relates (where there are multiple owners or occupiers please list on a separate sheet if required)

Name/s: Sarah and Julian Trinder

Property Address/ Location: 562d Waimate north Road Kerikeri

7. Application Site Details:

Location and/or Property Street Address of the proposed activity:

Site Address/ Location: 562d Waimate North Road

Kerikeri

Legal Description: Lot 2 DP 467790 Val Number: _____

Certificate of Title: 626672

Please remember to attach a copy of your Certificate of Title to the application, along with relevant consent notices and/or easements and encumbrances (search copy must be less than 6 months old)

Site Visit Requirements:

Is there a locked gate or security system restricting access by Council staff? **yes** Yes / No

Is there a dog on the property? **yes** Yes / No

Please provide details of any other entry restrictions that Council staff should be aware of, e.g. health and safety, caretaker's details. **This is important to avoid a wasted trip and having to re-arrange a second visit.**

Ring Sarah Trinder prior to site visit

8. Description of the Proposal:

Please enter a brief description of the proposal here. Attach a detailed description of the proposed activity and drawings (to a recognized scale, e.g. 1:100) to illustrate your proposal. Please refer to Chapter 4 of the District Plan, and Guidance Notes, for further details of information requirements.

Section 127 variation to RC 2300410 to
change condition 1, to reflect updated
new dwelling plans

If this is an application for an Extension of Time (s.125); Change of Consent Conditions (s.127) or Change or Cancellation of Consent Notice conditions (s.221(3)), please quote relevant existing Resource Consents and Consent Notice identifiers and provide details of the change(s) or extension being sought, with reasons for requesting them.

9. Would you like to request Public Notification

No Yes/No

10. Other Consent required/being applied for under different legislation (more than one circle can be ticked):

- Building Consent (BC ref # if known) Regional Council Consent (ref # if known)
- National Environmental Standard consent Other (please specify)

11. National Environmental Standard for Assessing and Managing Contaminants in Soil to Protect Human Health:

The site and proposal may be subject to the above NES. In order to determine whether regard needs to be had to the NES please answer the following (further information in regard to this NES is available on the Council's planning web pages):

Is the piece of land currently being used or has it historically ever been used for an activity or industry on the Hazardous Industries and Activities List (HAIL) yes no don't know

Is the proposed activity an activity covered by the NES? (If the activity is any of the activities listed below, then you need to tick the 'yes' circle). yes no don't know

- Subdividing land Changing the use of a piece of land
- Disturbing, removing or sampling soil Removing or replacing a fuel storage system

12. Assessment of Environmental Effects:

Every application for resource consent must be accompanied by an Assessment of Environmental Effects (AEE). This is a requirement of Schedule 4 of the Resource Management Act 1991 and an application can be rejected if an adequate AEE is not provided. The information in an AEE must be specified in sufficient detail to satisfy the purpose for which it is required. Your AEE may include additional information such as Written Approvals from adjoining property owners, or affected parties.

Please attach your AEE to this application.

13. Billing Details:

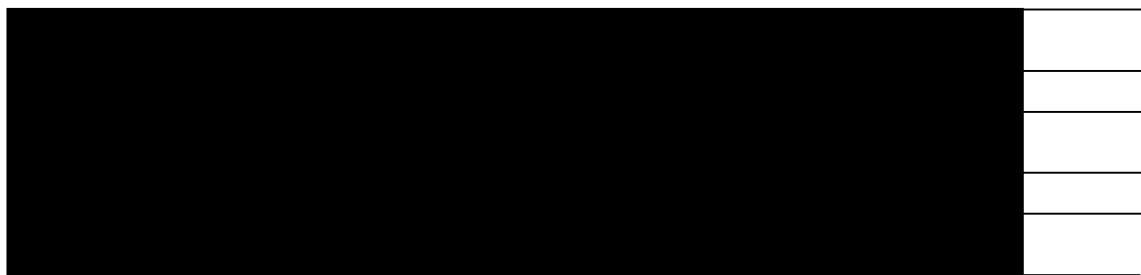
This identifies the person or entity that will be responsible for paying any invoices or receiving any refunds associated with processing this resource consent. Please also refer to Council's Fees and Charges Schedule.

Name/s: (please write all names in full) **Sarah Trinder**

Email:

Postal Address:


Phone Numbers:

A large black rectangular redaction box covers the email, postal address, and phone numbers fields. To the right of the redaction, there are four horizontal lines representing input fields.

Fees Information: An instalment fee for processing this application is payable at the time of lodgement and must accompany your application in order for it to be lodged. Please note that if the instalment fee is insufficient to cover the actual and reasonable costs of work undertaken to process the application you will be required to pay any additional costs. Invoiced amounts are payable by the 20th of the month following invoice date. You may also be required to make additional payments if your application requires notification.

Declaration concerning Payment of Fees: I/we understand that the Council may charge me/us for all costs actually and reasonably incurred in processing this application. Subject to my/our rights under Sections 357B and 358 of the RMA, to object to any costs, I/we undertake to pay all and future processing costs incurred by the Council. Without limiting the Far North District Council's legal rights if any steps (including the use of debt collection agencies) are necessary to recover unpaid processing costs I/we agree to pay all costs of recovering those processing costs. If this application is made on behalf of a trust (private or family), a society (incorporated or unincorporated) or a company in signing this application I/we are binding the trust, society or company to pay all the above costs and guaranteeing to pay all the above costs in my/our personal capacity.

Name: **Sarah Trinder** (please print)

Signature:  (signature of bill payer – mandatory)

Date: **20/08/2024**

14. Important Information:

Note to applicant

You must include all information required by this form. The information must be specified in sufficient detail to satisfy the purpose for which it is required.

You may apply for 2 or more resource consents that are needed for the same activity on the same form.

You must pay the charge payable to the consent authority for the resource consent application under the Resource Management Act 1991.

Fast-track application


Under the fast-track resource consent process, notice of the decision must be given within 10 working days after the date the application was first lodged with the authority, unless the applicant opts out of that process at the time of lodgement. A fast-track application may cease to be a fast-track application under section 87AAC(2) of the RMA.

Privacy Information:

Once this application is lodged with the Council it becomes public information. Please advise Council if there is sensitive information in the proposal. The information you have provided on this form is required so that your application for consent pursuant to the Resource Management Act 1991 can be processed under that Act. The information will be stored on a public register and held by the Far North District Council. The details of your application may also be made available to the public on the Council's website, www.fndc.govt.nz. These details are collected to inform the general public and community groups about all consents which have been issued through the Far North District Council.

Declaration: The information I have supplied with this application is true and complete to the best of my knowledge.

Name: **Sarah Trinder** (please print)

Signature:  (signature)

Date: 20/08/2024

(A signature is not required if the application is made by electronic means)

Checklist (please tick if information is provided)

- Payment (cheques payable to Far North District Council)
- A current Certificate of Title (Search Copy not more than 6 months old)
- Copies of any listed encumbrances, easements and/or consent notices relevant to the application
- Applicant / Agent / Property Owner / Bill Payer details provided
- Location of property and description of proposal
- Assessment of Environmental Effects
- Written Approvals / correspondence from consulted parties
- Reports from technical experts (if required)
- Copies of other relevant consents associated with this application
- Location and Site plans (land use) AND/OR
- Location and Scheme Plan (subdivision)
- Elevations / Floor plans
- Topographical / contour plans

Please refer to Chapter 4 of the District Plan for details of the information that must be provided with an application. Please also refer to the RC Checklist available on the Council's website. This contains more helpful hints as to what information needs to be shown on plans.

Only one copy of an application is required, but please note for copying and scanning purposes, documentation should be:

UNBOUND

SINGLE SIDED

NO LARGER THAN A3 in SIZE



ASSESSMENT OF ENVIRONMENTAL EFFECTS

Application for Section 127 Variation

562D Waimate North Road, Kerikeri
Sarah and Julian Trinder
20th August 2024

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Applicant and Property Details

Applicant	Julian and Sarah Trinder
Address for Service	Sarah Trinder, Trinder.js@gmail.com , 0211155244
Legal Description	Lot 2 DP 467790
Certificate Of Title	626672
Physical Address	562D Waimate North Road, Kerikeri
Site Area	17.0810ha
Owner of the Site/ Occupier	Julian Miles Trinder and Sarah Ann Trinder
District Plan Zone	Rural Production
District Plan Resource Features	Nil
Proposed District Plan Zone	Rural Production
Proposed District Plan Resource Features	Airport Protection surfaces
Archaeology	Nil
NRC Overlays	Nil
Soils	4s3
Kiwi Consideration	Kiwi High
Protected Natural Area	Land Covenant (s221), P05074
HAIL	no

Summary of Proposal

Proposal	Proposal for a Section 127 variation to consent condition 1.
Reason for the Application	Section 127 application is a Discretionary Activity
Pre Application Consultation	Nil

Appendices

Appendix 1 – Certificate of Title and Instruments

Appendix 2 – Site Plan & Elevations

Appendix 3 – Resource consent decision

Introduction

Description of the proposed activity

The proposal is seeking an amendment to the plans for the proposed new dwelling. As part of the previously approved Resource consent RMALUC 2300410 the proposed new dwelling was to have a building footprint of 263m². This proposal includes a proposed new dwelling significantly smaller with a 140m² building footprint. As a result of the proposed change, condition 1 of RMALUC 2300410 will need to be amended to reference the updated proposed new dwelling plans.

The proposal will not alter the activity status applicable for under RMALUC 2300410. The proposal is therefore within the scope of a change of consent conditions pursuant to Section 127 of the Resource Management Act 1991.

Site description

Lot 2 DP 467790, is as detailed in the original application RMALUC 2300410.

Activity Status

The original application RMALUC 2300410 resulted in approval to relocate the existing residence on site and build a new dwelling in the Rural Production Zone. Consent is required as a Discretionary Activity pursuant to Rules 8.6.5.3.6 Residential Intensity, 12.4.6.1.2 Fire Risk to Residential Units and 15.1.6C.1.1(d) Private Accessway in All Zones.

The proposed variation will not change the activity status of what was previously assessed under RMALUC 2300410. Overall, the proposal was assessed as a Discretionary activity, therefore, there will be no change in activity status as a result of the variation.

Section 127 of the RMA

The following section of the Resource Management Act (RMA) is relevant to the proposed change to consent condition.

127 Change or cancellation of consent condition on application by consent holder

(1) The holder of a resource consent may apply to a consent authority for a change or cancellation of a condition of the consent, subject to the following:

(a) the holder of a subdivision consent must apply under this section for a change or cancellation of the consent before the deposit of the survey plan (and must apply under section 221 or a variation or cancellation of a consent notice after the deposit of the survey plan); and

(b) no holder of any consent may apply for a change or cancellation of a condition on the duration of the consent.

(2) [Repealed]

(3) Sections 88 to 121 apply, with all necessary modifications, as if—

(a) the application were an application for a resource consent for a discretionary activity; and

(b) the references to a resource consent and to the activity were references only to the change or cancellation of a condition and the effects of the change or cancellation respectively.

(3A) If the resource consent is a coastal permit authorising aquaculture activities to be undertaken in the coastal marine area, no aquaculture decision is required in respect of the application if the application is for a change or cancellation of a condition of the consent and does not relate to a condition that has been specified under section 186H(3) of the Fisheries Act 1996 as a condition that may not be changed or cancelled until the chief executive of the Ministry of Fisheries makes a further aquaculture decision.

(4) For the purposes of determining who is adversely affected by the change or cancellation, the consent authority must consider, in particular, every person who—

(a) made a submission on the original application; and

(b) may be affected by the change or cancellation.

Consent is sought to change the following conditions of RMALUC 2300410. Clipsham Limited made a submission on the original application, any adverse affects of the change on Clipsham Limited have been considered.

Condition 1 - The activity shall be carried out in accordance with the approved plans prepared by Absolute Build, referenced 2020251, dated May 2020, and attached to this consent with the Council's "Approved Stamp" affixed to them.

This condition will be altered to reference the new proposed dwelling plans.

The amendments to the condition of consent is therefore a discretionary activity as per Section 127 of the RMA.

Variation to consent conditions

The variation will involve a change to Condition 1.

Condition 1

The activity shall be carried out in accordance with the approved plans prepared by Absolute Build, referenced 2020251, dated May 2020, and attached to this consent with the Council's "Approved Stamp" affixed to them.

It is proposed to change this condition so that it refers to the new dwelling plans in addition to the approved plans. The proposed new condition is stated below, with changes shown in red.

The activity shall be carried out in accordance with the approved plans prepared by Absolute Build, referenced 2020251 (Drawing number 2,3,4,), dated May 2020, and Latitude Homes, referenced N899 and attached to this consent with the Council's "Approved Stamp" affixed to them.

Assessment of environmental effects

For the purposes of this assessment, consideration of the effects of the proposal has been limited to the proposed change rather than revisit the effects of the original application.

The proposal includes altering the plan package for the proposed new dwelling, and hence condition 1 of Resource consent RMALUC 2300410

The location of the proposed new dwelling has not changed, there has only been a decrease in the building footprint. The original proposed new dwelling was to have a footprint of 263m². The alternative proposed dwelling design now has a build footprint of 140m².

The wastewater TP58 was designed to accommodate the original proposed new dwelling (albeit with more bedrooms) this has not changed.

The proposal will not result in additional conditions needing to be imposed and will only change the reference within the existing condition 1 to reflect the proposed new dwelling plans.

The proposed new dwelling plans are not considered to change the original assessment of the proposal and it is considered that the proposal can still achieve what sought under the consent that was granted.

The proposal is not considered to create any adverse effects

Overall it is considered that the proposal will result in less than minor environmental effects.

Statutory assessment

Section 104B of the Act

Section 104B governs the determination of applications for Discretionary and Non-Complying Activities. With respect to both Discretionary and Non-Complying Activities, a consent authority may grant or refuse an application, and impose conditions under section 108.

Section 104(1)(a) of the Act

Section 104(1) of the Act states that when considering an application for resource consent –

“the consent authority must, subject to Part II, have regard to –

(a) Any actual and potential effects on the environment for allowing the activity; and (ab) any measure proposed or agreed to by the applicant for the purpose of ensuring positive effects on the environment that will or may result from allowing the activity; and

(b) Any relevant provisions of –

(i) A national environmental standard

(ii) Other regulations

(iii) A national policy statement

(iv) A New Zealand Coastal Policy Statement

(v) A regional policy statement or proposed regional policy statement

(vi) A plan or proposed plan; and

(c) Any other matter the consent authority considers relevant and reasonable necessary to determine the application.’

Actual and potential effects arising from a development as described in 104(1)(a) can be both positive and adverse (as described in section 3 of the act).

Section 104(1)(ab) requires that the consent authority consider ‘any measure proposed or agreed to by the applicant for the purposes of ensuring positive effects on the environment to offset or compensate for any adverse effects on the environment that will or may result from allowing the activity’. It is considered the proposal is not of a scale or nature that would require specific offsetting or environmental compensation measures to ensure positive effects on the environment.

Section 104(1)(b) requires the consent authority to consider the relevant provisions of the above listed documents. An assessment of the relevant statutory documents that

corresponds with the scale and significance of the effects that the activity may have on the environment has been provided below.

Section 104(1)(c) states that consideration must be given to 'any other matters that the consent authority considers relevant and reasonable, necessary to determine the application'. There are no other matters relevant to this application.

Policy Documents

Section 104(1)(b) requires that when considering an application for a resource consent, the consent authority must, subject to Part 2, have regard to:

Any relevant provisions of –

- i. A national environmental standard;
- ii. Other regulations;
- iii. A national policy statement;
- iv. A New Zealand coastal policy statement;
- v. A regional policy statement or proposed regional policy statement;
- vi. A plan or proposed plan.

An assessment of the relevant statutory documents that corresponds with the scale and significance of the effects that activity may have on the environment has been provided below.

National Environmental Standards

NATIONAL ENVIRONMENTAL STANDARD FOR FRESHWATER (2020)

The neighbouring site has a known wetland identified on the Northland Regional Council maps. As identified in the site description there is a small pond onsite and some wet paddocks used for grazing the near the pond, I would consider that there would be areas around the pond and further into the covenanted bush areas that would meet the definition of a 'natural inland wetland'. No earthworks or vegetation removal is proposed within this area, or within a 10m from this area.

None of the works for the proposed dwelling will result in complete or partial drainage of all or part of a natural inland wetland or is likely to change the water level range or hydrological function of any natural inland wetland. Therefore, the proposal is not considered to have any implications in terms of the above regulations. Development can occur without adversely affecting such areas and without the need for consent pursuant to the NES F.

National Policy Statements

NATIONAL POLICY STATEMENT FOR HIGHLY PRODUCTIVE LAND 2022 (NPS-HPL)

The NPS-HPL came into force on 17 October 2022, with most provisions having immediate effect, placing restrictions on rezoning, subdivision and land-use proposals on land that meets the transitional definition of HPL (Land Use Capability (LUC) classes 1–3, with some exceptions). The application site has class 4 soils as per the Our Environment Land Use Capability Maps. The proposal is considered to be consistent with the NPS-HPL.

NATIONAL POLICY STATEMENT FOR FRESHWATER MANAGEMENT 2020 (NPS- FM)

The NPS-FM aims to maintain and enhance freshwater quality. Potential wetland areas around the pond and into the covenant bush lot will be maintained and enhanced where possible.

NATIONAL POLICY STATEMENT FOR INDIGENOUS BIODIVERSITY 2023 (NPS-IB)

The National Policy Statement for Indigenous Biodiversity 2023 seeks to protect, maintain and restore indigenous biodiversity requiring at least no further reduction nationally. The site has existing Section 221 Consent notice, with land covenant areas (x) and (y) identified on the title. To protect habitats of Brown Kiwi and preventing indigenous vegetation from being cut down . No clearance of indigenous vegetation is proposed. I consider the proposal is consistent with the NPS IB

Northland Regional Policy statement

The role of The Regional Policy Statement is to promote sustainable management of Northland's natural and physical resources by providing an overview of the regions resource management issues and setting out policies and methods to achieve integrated management of Northlands natural and physical resources. An assessment of the development in terms of the relevant objectives and policies of the RPS was undertaken as part of RMALUC 2300410, where it was found that the proposal was consistent with the intent of the RPS. It is considered that the proposal will not alter what was previously stated within RMALUC 2300410.As such, it is considered the proposal is compatible with the intent of the RPS.

Far North District Plan

A full assessment of the relevant objectives and policies within the Operative District Plan were undertaken as part of RMALUC 2300410. It is considered that the statements made within the application are relevant to this proposal and will not change as a result of the variation.

Northland Regional Plan (Appeals version)

Since the original application there have been updates to the Proposed Regional Plan for Northland (Appeals) but the assessment of the applicable rules remains valid.

Proposed District Plan Rules Assessment

The proposed Far North District plan was notified July 2022 after the original application.

The property is located in the Rural Production zone with an Airport protection overlay

Overall the proposal has been assessed as a Permitted activity under the Proposed District Plan.

Applicable rules with legal effect are EW-R12 and EW-R13, both of which can be satisfied as a permitted activity via an advice note.

Rule	Discussion	Compliance
RPROZ-R1 New buildings or structures, or extensions or alterations to existing buildings or structures	Residential activity is a permitted activity The proposed dwelling is 5m in height. Complies with Height in relation to boundary. Setback 25m from the Eastern boundary and 35m from the northern boundary Building coverage is 0.8%	Complies
RPOZ-R2 Impermeable surface coverage	As per RMALUC 2300410 0.5%	Complies
RPOZ-R3 Residential activity	Variation relates to proposed new dwelling only RMALUC 2300410 granted for Two dwellings on site	Complies
EW-R1 Earthworks for buildings or structure, and extension to existing buildings or structures	As per RMALUC 2300410 525m ² or 80m ³	Complies
EW-S3 Accidental discovery protocol	On discovery of any suspected sensitive material appropriate steps will be taken - advice note	Complies
EW-S5 erosion and sediment control	Erosion and sediment control measures proposed - advice note	Complies
AIRPZ-S2 Airport protection surfaces		Anticipated compliance

Proposed District plan

The proposed Far North District plan was notified July 2022 after the original application. Relevant Objective and Policies include:

RPROZ-O1

The Rural Production zone is managed to ensure its availability for primary production activities and its long-term protection for current and future generations.

RPROZ-O2

The Rural Production zone is used for primary production activities, ancillary activities that support primary production and other compatible activities that have a functional need to be in a rural environment.

RPROZ-O3

Land use and subdivision in the Rural Production zone:

- a. protects highly productive land from sterilisation and enables it to be used for more productive forms of primary production;*
- b. protects primary production activities from reverse sensitivity effects that may constrain their effective and efficient operation;*
- c. does not compromise the use of land for farming activities, particularly on highly productive land;*
- d. does not exacerbate any natural hazards; and*
- e. is able to be serviced by on-site infrastructure.*

RPROZ-O4

The rural character and amenity associated with a rural working environment is maintained.

RPROZ-P1

Enable primary production activities, provided they internalise adverse effects onsite where practicable, while recognising that typical adverse effects associated with primary production should be anticipated and accepted within the Rural Production zone.

RPROZ-P2

Ensure the Rural Production zone provides for activities that require a rural location by:

- a. enabling primary production activities as the predominant land use;*

b. enabling a range of compatible activities that support primary production activities, accommodation and home businesses.

RPROZ-P3

Manage the establishment, design and location of new sensitive activities and other non-productive activities in the Rural Production zone to avoid where possible, or otherwise mitigate, reverse sensitivity effects on primary production activities.

RPROZ-P4

Land use and subdivision activities are undertaken in a manner that maintains or enhances the rural character and amenity of the Rural Production zone, which includes:

- a. a predominance of primary production activities;*
- b. low density development with generally low site coverage of buildings or structures;*
- c. typical adverse effects such as odour, noise and dust associated with a rural working environment; and*
- d. a diverse range of rural environments, rural character and amenity values throughout the district.*

RPROZ-P5

Avoid land use that:

- a. is incompatible with the purpose, character and amenity of the Rural Production zone;*
- b. does not have a functional need to locate in the Rural Production zone and is more appropriately located in another zone;*
- c. would result in the loss of productive capacity of highly productive land;*
- d. would exacerbate natural hazards; and*
- e. cannot provide appropriate on-site infrastructure.*

RPROZ-P6

Avoid subdivision that:

- a. results in the loss of highly productive land for use by farming activities;*
- b. fragments land into parcel sizes that are no longer able to support farming activities, taking into account:*
- c. the type of farming proposed; and*

d. whether smaller land parcels can support more productive forms of farming due to the presence of highly productive land.

e. provides for rural lifestyle living unless there is an environmental benefit.

RPROZ-P7

Manage land use and subdivision to address the effects of the activity requiring resource consent, including (but not limited to) consideration of the following matters where relevant to the application:

a. whether the proposal will increase production potential in the zone;

b. whether the activity relies on the productive nature of the soil;

c. consistency with the scale and character of the rural environment;

d. location, scale and design of buildings or structures;

e. for subdivision or non-primary production activities:

i. scale and compatibility with rural activities;

ii. potential reverse sensitivity effects on primary production activities and existing infrastructure;

iii. the potential for loss of highly productive land, land sterilisation or fragmentation

f. at zone interfaces:

i. any setbacks, fencing, screening or landscaping required to address potential conflicts;

ii. the extent to which adverse effects on adjoining or surrounding sites are mitigated and internalised within the site as far as practicable;

g. the capacity of the site to cater for on-site infrastructure associated with the proposed activity, including whether the site has access to a water source such as an irrigation network supply, dam or aquifer;

h. the adequacy of roading infrastructure to service the proposed activity;

i. Any adverse effects on historic heritage and cultural values, natural features and landscapes or indigenous biodiversity;

j. Any historical, spiritual, or cultural association held by tangata whenua, with regard to the matters set out in Policy TW-P6.

The Objective and Policies are similar in nature to those for the Rural Production Zone of the Operative District Plan; however, give more emphasis to the protection of primary

production activities and highly productive land. As noted the site does not contain highly productive land. The variation is not considered to be in contrary with the Proposed District Plan.

Summary

The assessment above demonstrates that the proposal will be consistent with the relevant objectives and policies and assessment criteria of the relevant statutory documents.

Consideration of potentially affected parties

Sections 95D and 95E (shown below) detail the requirement of consideration of likely effects on any person or party by the consenting authority to determine if a person is considered to be an “affected” by the proposed activity.

95D Consent authority decides if adverse effects likely to be more than minor

A consent authority that is deciding, for the purpose of section 95A(2)(a), whether an activity will have or is likely to have adverse effects on the environment that are more than minor—

(a) must disregard any effects on persons who own or occupy—

(i) the land in, on, or over which the activity will occur; or

(ii) any land adjacent to that land; and

(b) may disregard an adverse effect of the activity if a rule or national environmental standard permits an activity with that effect; and

(c) in the case of a controlled or restricted discretionary activity, must disregard an adverse effect of the activity that does not relate to a matter for which a rule or national environmental standard reserves control or restricts discretion; and

(d) must disregard trade competition and the effects of trade competition; and

(e) must disregard any effect on a person who has given written approval to the relevant application.

The proposal includes an assessment of the effects, that demonstrates that the actual and potential adverse effects of the proposal are no more than minor on the environment.

95E Consent authority decides if person is affected person

(1) A consent authority must decide that a person is an affected person, in relation to an

activity, if the activity's adverse effects on the person are minor or more than minor (but are not less than minor).

(2) The consent authority, in making its decision, —

(a) may disregard an adverse effect of the activity on the person if a rule or national environmental standard permits an activity with that effect; and

(b) in the case of a controlled or restricted discretionary activity, must disregard an adverse effect of the activity on the person that does not relate to a matter for which a rule or national environmental standard reserves control or restricts discretion; and

(c) must have regard to every relevant statutory acknowledgement made in accordance with an Act specified in Schedule 11.

(3) Despite anything else in this section, the consent authority must decide that a person is not an affected person if—

(a) the person has given written approval to the activity and has not withdrawn the approval in a written notice received by the authority before the authority has decided whether there are any affected persons; or

(b) it is unreasonable in the circumstances to seek the person's written approval.

The application must be limited notified to the relevant persons if the following are determined, as specified by section 95B(2) and (3):

(2) (a) affected protected customary rights groups; or

(b) affected customary marine title groups (in the case of an application for a resource consent for an accommodated activity).

(3) (a) whether the proposed activity is on or adjacent to, or may affect, land that is the subject of a statutory acknowledgement made in accordance with an Act specified in Schedule 11; and

(b) whether the person to whom the statutory acknowledgement is made is an affected person under section 95E.

There are no rules or NES that permit the activity. The proposal is not for a controlled or restricted discretionary activity. There are no protected customary rights groups or customary marine title groups or statutory acknowledgement areas that are relevant to this application as per the assessment undertaken within RMALUC2300410.

Other affected persons must be notified in the following circumstances specified by section 95B(7) and (8):

(7) Determine whether, in accordance with section 95E, the following persons are affected persons:

(a) in the case of a boundary activity, an owner of an allotment with an infringed boundary; and

(b) in the case of any activity prescribed under section 360H(1)(b), a prescribed person in respect of the proposed activity.

(8) In the case of any other activity, determine whether a person is an affected person in accordance with section 95E.

The proposal is not for a boundary activity nor is it a prescribed activity.

In deciding who is an affected person under section 95E, a council under section 95E(2):

(2) The consent authority, in assessing an activity's adverse effects on a person for the purpose of this section,—

(a) may disregard an adverse effect of the activity on the person if a rule or a national environmental standard permits an activity with that effect; and

(b) must, if the activity is a controlled activity or a restricted discretionary activity, disregard an adverse effect of the activity on the person if the effect does not relate to a matter for which a rule or a national environmental standard reserves control or restricts discretion; and

(c) must have regard to every relevant statutory acknowledgement made in accordance with an Act specified in Schedule 11.

A council must not consider that a person is affected if they have given their written approval, or it is unreasonable in the circumstances to seek that person's approval.

RMALUC2300410 was limited notified. Clipsham Limited made a submission regarding the ROW width. A condition was imposed as a result of the submission. The variation is limited to the change of plans for the proposed new dwelling and will not result in changes to any other consent conditions. The adverse effects of the variation on Clipsham Limited are considered to be less than minor.

With respect to section 95B(8) and section 95E, the effects of the proposal was considered as part of the assessment of environmental effects, which found that the potential adverse effects on the environment will be less than minor. In regard to effects on persons, the assessment in above are also relied on and the following comments made:

- The proposed changes are not considered to be contrary to the objectives and policies under the District Plan or the Proposed District Plan.
- The proposed changes are not contrary to the Northland Regional Policy Statement.
- The variation can still achieve the intent of the original consent.
- The proposal will result in a better outcome with a reduced building footprint
- The proposal will not result in any adverse effects on adjoining sites.

Overall, the adverse effects on any persons are considered to be less than minor.

Conclusion

The proposed variation is considered suitable in the context of the site and surrounding environment. The change to the relevant conditions will still achieve the intent of the original land use.

No significant adverse effects are anticipated to arise from the activity included in the application and no consideration of alternatives has been undertaken. All effects of the activity are considered to be managed within the property boundaries. Overall, it is considered that the proposal will result in less than minor effects on the environment.

No approvals have been sought from any other parties, given that the proposal is not considered to adversely affect adjacent property owners/occupiers.

As a Discretionary Activity, the application has been assessed under the matters specified under Section 127 of the Resource Management Act 1991. It is considered that that the proposal results in less than minor effects on the environment, and that the activity is generally consistent with the relevant objectives and policies of the Operative District Plan and the Proposed District Plan. In accordance with sections 104 and 104B of the Act, it is considered that the variation should be granted on a non-notified basis.



**RECORD OF TITLE
UNDER LAND TRANSFER ACT 2017
FREEHOLD
Search Copy**




R. W. Muir
Registrar-General
of Land

Identifier **626672**
Land Registration District **North Auckland**
Date Issued 07 March 2014

Prior References
260824

Estate Fee Simple
Area 17.0810 hectares more or less
Legal Description Lot 2 Deposited Plan 467790

Registered Owners

Julian Miles Trinder and Sarah Ann Trinder

Interests

6758623.2 Consent Notice pursuant to Section 221 Resource Management Act 1991 - 20.2.2006 at 9:00 am

Land Covenant in Easement Instrument 6758623.5 - 20.2.2006 at 9:00 am

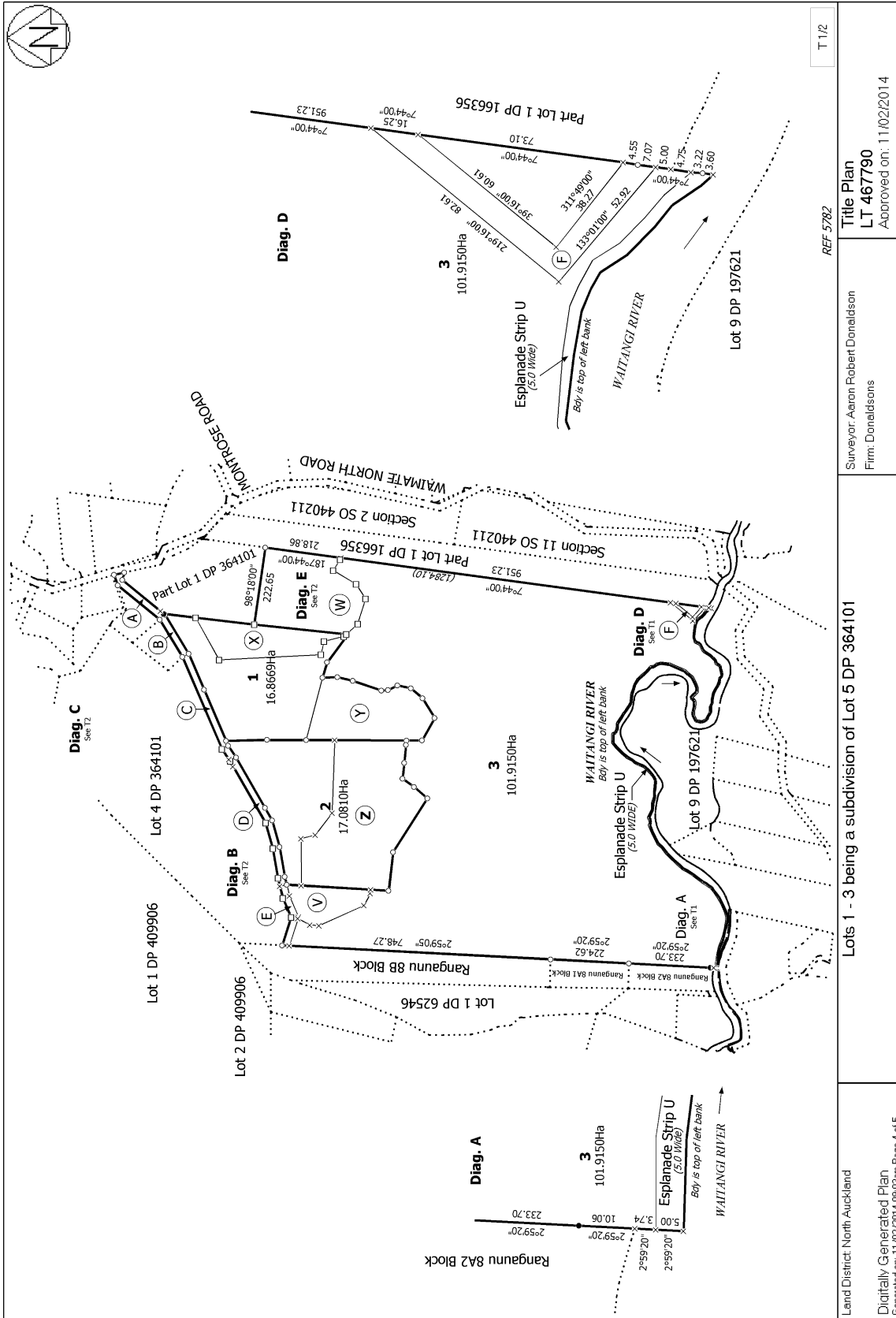
Appurtenant hereto is a right of way and a right to convey electricity, computer media, telecommunications and water created by Easement Instrument 9517908.1 - 1.10.2013 at 10:45 am

9653481.3 Consent Notice pursuant to Section 221 Resource Management Act 1991 - 7.3.2014 at 12:56 pm

Appurtenant hereto is a right of way and rights to convey telecommunications, computer media, electricity & water supply created by Easement Instrument 9653481.4 - 7.3.2014 at 12:56 pm

Some of the easements created by Easement Instrument 9653481.4 are subject to Section 243 (a) Resource Management Act 1991 (see DP 467790)

10281301.2 Mortgage to (now) ASB Bank Limited - 14.12.2015 at 4:24 pm



T 1/2

REF 5782

Land District: North Auckland
 Digitally Generated Plan
 Generated on: 11/02/2014 09:03am Page 4 of 5

Lot 1 - 3 being a subdivision of Lot 5 DP 364101

Surveyor: Aaron Robert Donaldson
 Firm: Donaldsons
 Title Plan
 LT 467790
 Approved on: 11/02/2014



**Far North
District Council**

CONO 6758623.2 Cons

Copy - 01/01, Pgs - 002, 17/02/08, 15:36



DocID: 812835398

Private Bag 752, Memorial Ave

Kaikōhe 0400, New Zealand

Freephone: 0800 920 029

Phone: (09) 405 2750

Fax: (09) 401 2137

Email: ask.us@fndc.govt.nz

Website: www.fndc.govt.nz

THE RESOURCE MANAGEMENT ACT 1991

SECTION 221 : CONSENT NOTICE

REGARDING RC 2051272

The Subdivision of Lot 8 DP 197621
North Auckland Registry

PURSUANT to Section 221 for the purpose of Section 224 of the Resource Management Act 1991, this Consent Notice is issued by the **FAR NORTH DISTRICT COUNCIL** to the effect that conditions described in the schedule below are to be complied with on a continuing basis by the subdividing owner and the subsequent owners after the deposit of the survey plan, and is to be registered on the title of the affected allotments.

SCHEDULE

- a) Protect habitats on the property shown as land covenant areas (X) and (Y) on the title plan, so they can sustain *inter alia* a viable population of North Island Brown Kiwi, by way of the following methods:
 - i. The living indigenous vegetation on the site shall not be cut down, damaged or destroyed (except for the preparation of one house site per allotment, approved accessory buildings, roadway and walking track maintenance, and tracks for pest control operations) without the prior written consent of the Council. Such consent may be given in the form of resource consent. The owner shall be deemed to be not in breach of this prohibition if any such vegetation dies from natural causes which are not attributable to any act or default by or on behalf of the owner or for which the owner is responsible.
 - ii. There shall be no intrusion of grazing stock (including horses, cows, sheep, goats and pigs) into any areas of indigenous vegetation on the site.
 - iii. No occupier of the land shall keep or introduce on to the site carnivorous or omnivorous exotic animals (such as ferrets, cats or dogs) which have the potential to be kiwi predators.
 - iv. Exotic vegetation which could adversely affect natural regeneration or local forest health is not to be introduced on the site. *This includes the introduction of invasive plant species, including those currently listed on the nationally-*

*banned-for-sale list (see the Northland Regional Pest management Strategy).
Planting of other exotic species should be confined to the immediate vicinity
of dwellings and species with berry-type fruits are to be grown within netting
to prevent seed spread by birds.*

- v. Dead wood may be removed by the owners for their own use on the site.
- vi. Any predator / pest control work carried out is to be done in a manner which will not endanger kiwi.

SIGNED:



Mr Pat Killalea

By the FAR NORTH DISTRICT COUNCIL
Under delegated authority:
RESOURCE CONSENTS MANAGER

DATED at **KAIKOHE** this *23rd* day of *December* 2005

View Instrument Details



Instrument No 9653481.3
Status Registered
Date & Time Lodged 07 March 2014 12:56
Lodged By McLelland, Graeme Leslie
Instrument Type Consent Notice under s221(4)(a) Resource Management Act 1991



Affected Computer Registers	Land District
260824	North Auckland
626671	North Auckland
626672	North Auckland
626673	North Auckland

Annexure Schedule: Contains 3 Pages.

Signature

Signed by Graeme Leslie McLelland as Territorial Authority Representative on 07/03/2014 12:45 PM

*** End of Report ***



Private Bag 752, Whangarei
New Zealand
Telephone: 0900 920 029
Phone: 09 41 401 5200
Fax: 09 409 2132
E-mail: ask@fndc.govt.nz
Web: www.fndc.govt.nz

Te Kaunihara o Tei Tokerau Ki Te Raki

Whangarei

THE RESOURCE MANAGEMENT ACT 1991

SECTION 221: CONSENT NOTICE

REGARDING RC 2110003

Being the Subdivision of Lot 5 DP 364101 Lot 10 197621 Lot 2 DP 57817
Lot 1 DP 195275 Lot 1 DP 199121 Rangaunu Pts 5 16A Blks I V Kawakawa SD
North Auckland Registry

PURSUANT to Section 221 and for the purpose of Section 224 (c) (ii) of the Resource Management Act 1991, this Consent Notice is issued by the **FAR NORTH DISTRICT COUNCIL** to the effect that conditions described in the schedule below are to be complied with on a continuing basis by the subdividing owner and the subsequent owners after the deposit of the survey plan, and these are to be registered on the titles of the allotments specified below.

SCHEDULE

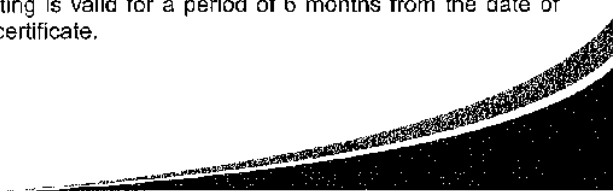
Lots 1 & 2 – DP 467790

- (i) The provision of power and telephone services to Lots 1 and 2 will remain the responsibility of the prospective lot owner.

Lots 1, 2 & 3 – DP 467790

- (ii) In conjunction with any habitable building the lot owner shall obtain a Building Consent and install the wastewater treatment and effluent disposal system as detailed in the on-site effluent disposal systems (TP58) report prepared by BOI Plumbing and Drainage Ltd, dated 03/12/2013 and lodged to satisfy condition 2(a) of RC 2110003.
- (iii) The installation shall include an agreement with the system supplier, or their authorised agent, for ongoing operation and maintenance of the wastewater treatment plant and the effluent disposal system.

The estimated cost of the installed disposal system is \$16,400 + GST as per cost estimate provided by BOI Plumbing & Drainage Ltd dated 3/12/2013. The costing is valid for a period of 6 months from the date of issue of the 224(c) certificate.






Trade Bag 757, Manurewa
Auckland 0640, New Zealand
Telephone: 09 01 920 029
Fax: 09 401 5200
Toll free: 0800 27 37
E-mail: info@fndc.govt.nz
Website: www.fndc.govt.nz

Te Kōwhiri o Tai Tokerau Ki Te Raki

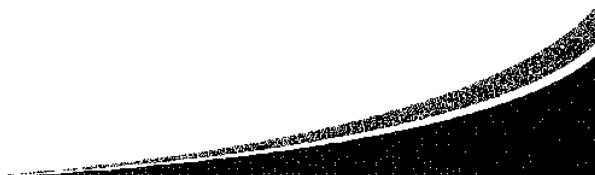
Whakapapa o Te Kōwhiri o Tai Tokerau

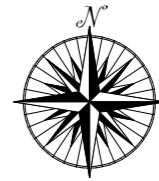
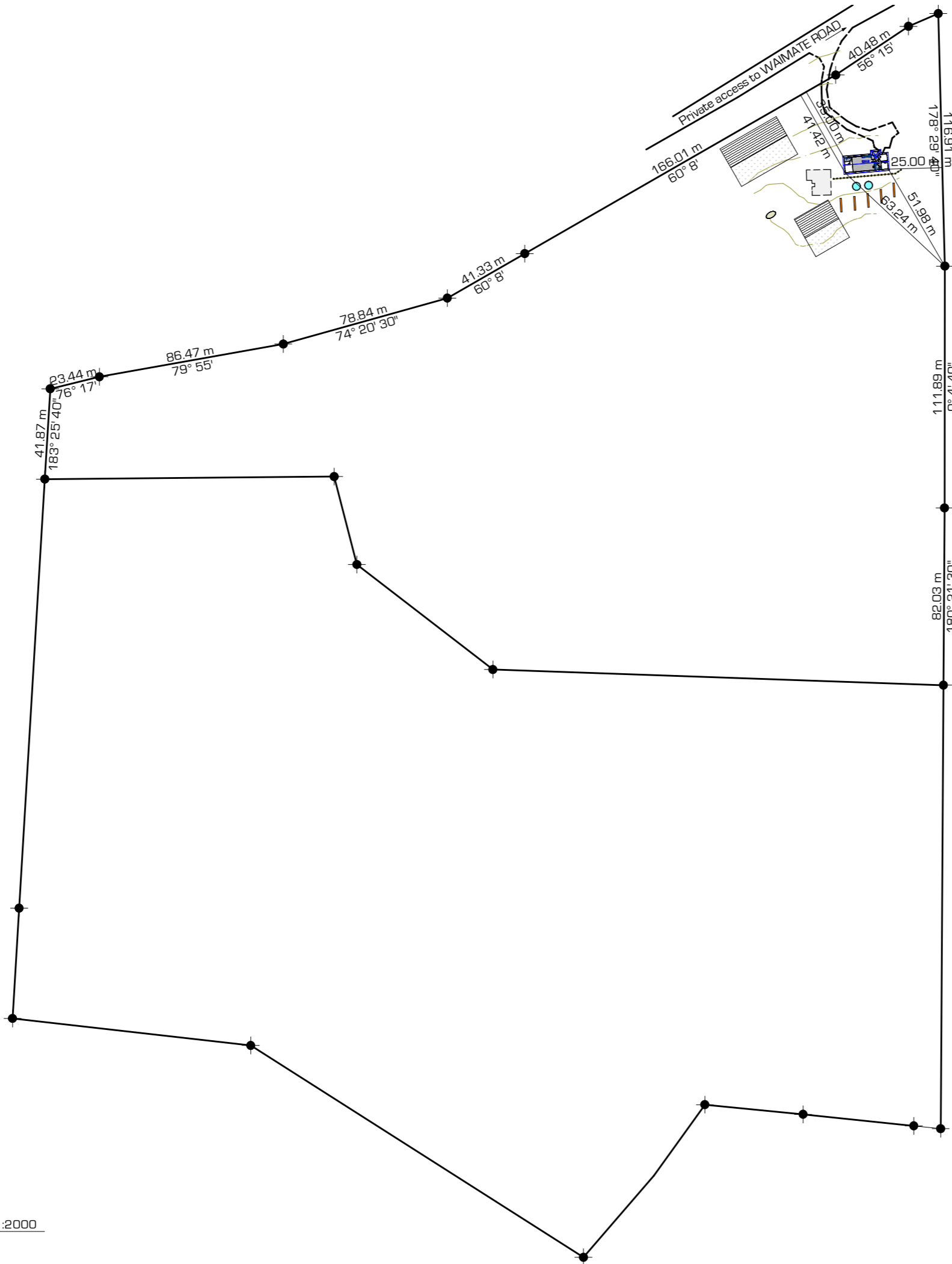
utilised they shall be coupled together and at least one tank fitted with an outlet compatible with rural fire service equipment. Alternatively, the dwelling can be fitted with a sprinkler system approved by Council.

SIGNED:


Mr Wayne Smith,
By the FAR NORTH DISTRICT COUNCIL
Under delegated authority;
SENIOR PLANNER – RESOURCE MANAGEMENT

DATED at KERIKERI this 21st day of January 2014.





SITE INFORMATION

Address:
 562D Waimate North Road
 Kerikeri
 Northland, 0293
Legal description:
 Lot 2, DP 467790
Area: 170810m²
Wind region: A
Wind zone: (SED) High
EQ zone: 1
Exposure zone: B
Rainfall intensity: 100mm/hr
Climate zone: 1
Snow loading zone: NO (140m)
Local Authority:
 Far North District Council

SITE COVERAGE CALCULATIONS

Building Coverage 0.8%
 Building footprint = 145m²
 Site area = 170810m²
 [(footprint / site area) x 100
 (145 / 170810) x 100 = 0.8%



JULIAN & SARAH TRINDER
 562d WAIMATE NORTH ROAD, KERIKERI

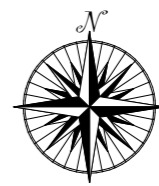
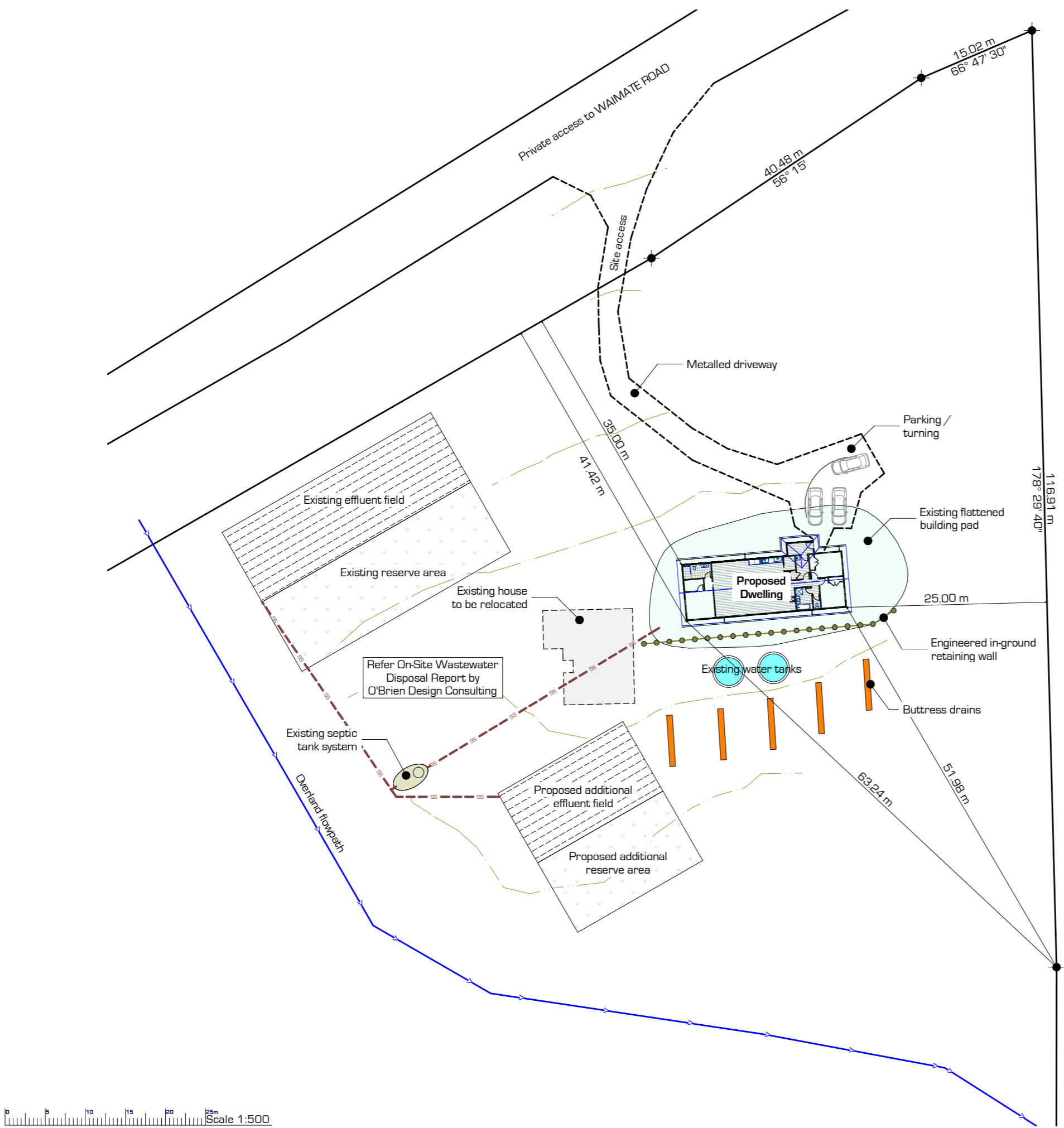
NZB-140 Altered
SITE LOCATION PLAN

A1



To the best of our knowledge these plans comply with the owners and or builders specifications. Any changes will be made at the owners and or builders expense and responsibility. The contractor shall verify all dimensions and enclosed drawings prior to construction and be solely responsible thereafter. The designer is not liable for errors once construction has begun. While every effort has been made in the preparation of this plan the maker can not guarantee against human error.

Project: N899 **Date:** 19/07/2024 **Designer:** T.Rex **Phone:** (09) 430 3065



CONSTRUCTION HAZARDS & SITE SAFETY

The Contractor (and sub-contractors where appropriate) shall examine and inspect the site and its surroundings implementing to their satisfaction any methodologies necessary to safeguard people from injury (or other property from damage) caused by construction or demolition site hazards.

SITE PREPARATION

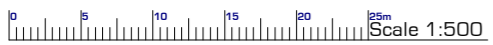
Before building is erected on site, all rubbish, noxious matter and organic matter shall be removed from the area to be covered by the building. Building platform must be excavated to good ground before hardfill is introduced. In suspended timber construction (but not in slab-on-ground construction) firm turf and close-cut grass may remain provided that cleared ground level (CGL) be taken as the underside of soil containing organic matter. Ensure finished ground has an even fall away from building. Any fill to be dry & compacted in accordance with NZS.3604.2011

NOTE: Contractor to assess site prior to earthworks and construction commencing. If building height in relation to boundary (HIRB), recession plane and/or setback restriction compliance is in doubt a surveyor should be consulted immediately. Ensure that the main building platform is consistent with what is expected. If any concerns, please immediately advise the Architect for direction.

Existing site levels & contours shown on drawings are those provided to designer and assumed actual. Site is assumed flat. FFL & FGL are generic heights. Contractor to access correct FFL on site and ensure compliance with local territorial authorities rules. No liability shall be taken by designer for errors resulting from incorrectly supplied site information.

SEDIMENT CONTROL

Sediment and runoff controls shall be adopted during the site works and construction of this project. These sediment controls shall adhere to the requirements of the Local Building Authority and ensure that the surrounding ecological environment, neighbouring properties and council services are protected against any adverse effects that may arise from works undertaken.



JULIAN & SARAH TRINDER
562d WAIMATE NORTH ROAD, KERIKERI

NZB-140 Altered
A2
SITE LOCATION PLAN 2



To the best of our knowledge these plans comply with the owners and or builders specifications. Any changes will be made at the owners and or builders expense and responsibility. The contractor shall verify all dimensions and enclosed drawings prior to construction and be solely responsible thereafter. The designer is not liable for errors once construction has begun. While every effort has been made in the preparation of this plan the maker can not guarantee against human error.

Project: N899 Date: 19/07/2024 Designer: T.Rex Phone: (09) 430 3065

NZBC:E1/AS1 SUMMARY
(Storm water system)

Storm water drains shall be laid on a uniform line and gradient between points of access. The change of direction shall not exceed 90° at any point and where practical should be kept to less than 45°.

Where two drains intersect the directions of flow should converge at an angle of 60° or less (45° or less is recommended)

Minimum gradient:
Surface water drains sized at 100DN shall have minimum gradient of 1 in 120 (Table 2)

Restricted fall to outlet:
Where the outfall is too high to allow the required gradient a bubble-up chamber complying with NZBC:E1/AS1 3.4.2 may be used

SANITARY PLUMBING & DRAINAGE AS/NZS:3500 2.2

Plumbing & drainage to comply to AS/NZS:3500.2.2 and to be carried out by NZ qualified plumbing tradespersons. Confirm positions of available services, cabling etc on site prior to any excavation. All waste pipes to be PVC. All pipe sizes, gradients, venting & discharges to be verified by suitably qualified tradesperson.

DRAINS DEPTH OF COVER

ASNZ3500:3.7 - Drains shall be laid in a manner that provides protection against mechanical damage or deformation due to vehicular loadings, with a minimum depth of cover measuring from the top of the pipe socket or inspection opening to the ground surface as per Table 3.7.2 (unless product specific standards or manufacturer recommends a greater depth of cover) of:

500mm - Where subject to vehicular traffic
300mm - All other locations
Exceptions as provided by clauses 3.7.3 & 3.7.4.

Drains above ground under subfloors to be attached to subfloor using Marley clips to manufacturers recommendations.

WATER SUPPLY

Polybutylene water supply pipes. Hot water supply pipes shall be thermally insulated to comply with H1/AS1 5.0. Pipes exposed to freezing to be lagged with closed cell foam. This includes areas in uninsulated spaces such as the garage. In extreme environments it is recommended to install a heat trace system or the like to minimise risk of pipe failure. Pipes can be installed in/under concrete in accordance with AS3500. Where pipework passes through concrete it must be sleeved to allow free movement for expansion and contraction to the full depth of the slab penetration. Pipe installed in concrete slabs etc. must have no joints & must be installed in a manner to achieve a 50 year durability.

AS/NZS 3500 2.2 SUMMARY (Sanitary System)

Fixture waste pipes:	min. pipe size (mm)	min. pipe gradient	fixture unit rating
(Waste pipes run under slabs shall be sized as per 'Drains')			
Basins	32	1:20	1
Baths	40	1:40	4
Clothes washing machine	40	1:40	5
Dishwasher	40	1:40	3
Laundry tubs	40	1:40	5
Showers (single head)	40	1:40	2
Sinks	40	1:40	3
WC or bathroom group (basin, bath, shower, wc)			6

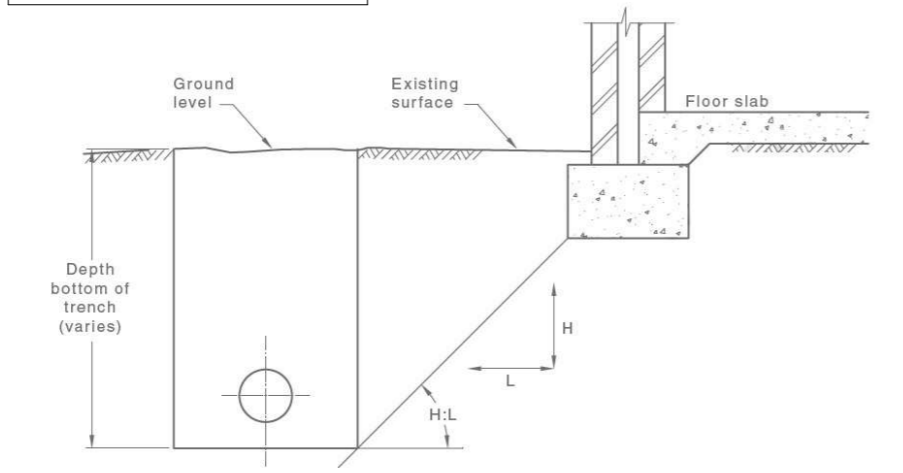
Drains:	Min. pipe size (mm)	Min. pipe gradient	Unvented fixture unit rating	Vented fixture unit rating
Branch drains not servicing WCs				
	65	1:40	≤5	≤25
	80	1:60	≤12	≤61
Main and branch drains servicing WCs				
	100	1:60	≤30 (2 WC max)	≤165

Drain vent pipes:	Min pipe size (mm)	Vent rating	Fixture units discharging to the drain
Branch drain (optional if <10m)	40	0.5	>1 ≤10
Main drain	50	1	>10 ≤30
	65	2	>30 ≤175

Over flow relief gullies:
A minimum height from the top of the overflow relief gully riser and a) the lowest fixture connected to the drain shall be 150mm b) the surrounding ground surface level shall be 75mm. Except where it is located in a path or paved area, where it shall be finished at a level so as to prevent ponding or ingress of water.

POTABLE WATER

The quality of water supplied shall meet guideline values and requirements set down in the publication Drinking Water Standards for New Zealand (DWSNZ2005 - revised 2008) published by the Ministry of Health. It is suggested a 20 Micro filter be fitted within the water supply system. First Flush device/leaf diverters to be installed on rainwater system



Soil type	Slope H:L	
	Compacted fill	Undisturbed ground
Stable rock ^a	2:3	8:1
Sand ^a	1:2	1:2
Silt ^b	1:4	1:4
Firm clay	1:2	1:1
Soft clay	Not suitable	2:3
Soft soils ^b	Not suitable	Not suitable

^a Most sand and rock sites with little or no ground movement from moisture changes.
^b Sites include soft soils such as soft clay or silt or loose sands, landslip, mine subsidence, collapsing soils, soils subject to erosion, reactive sites subject to abnormal moisture conditions or sites that cannot be classified otherwise.

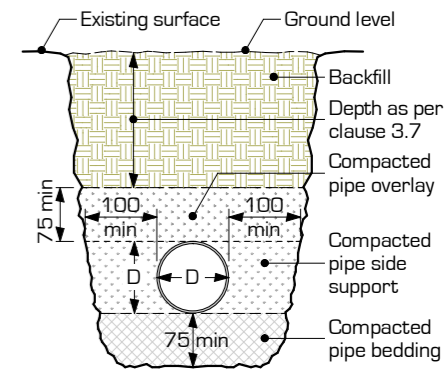
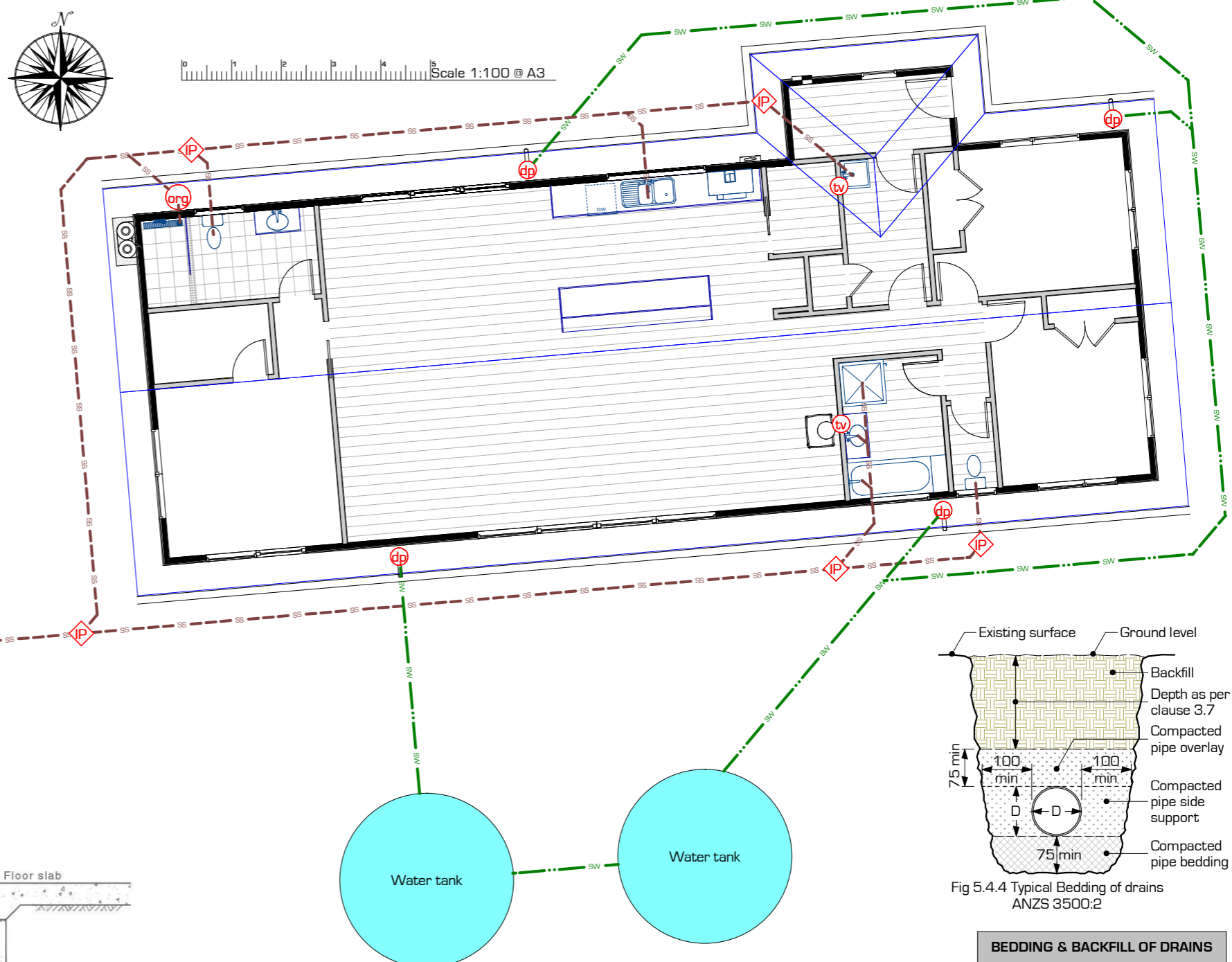


Fig 5.4.4 Typical Bedding of drains ANZS 3500:2

BEDDING & BACKFILL OF DRAINS

ASNZ3500:2 Clause 5.4.4. Drainage pipes shall be embedded by a min 75mm compacted sand, or fine-grained soil, with no hard-edged object to interfere with any pipe or fitting. Backfill shall be free from builder's waste, rocks or hard matter larger than 25mm, and soil lumps larger than 75mm. Bedding material shall be crushed rock, gravel screenings or similar recycled materials of nominal size between 7mm & 10mm.

PLUMBING & DRAINAGE LEGEND

Symbol	Description
SW	Stormwater pipe [DN100]
SS	Sanitary drainage pipe
WP	PVC fixture waste pipe
IP	Inspection point
RP	Rodding point
TV	Terminal vent
DP	Downpipe
ORG	Overflow relief gully
AV	Air admittance valve
HT	Hose tap
SH	Soak hole

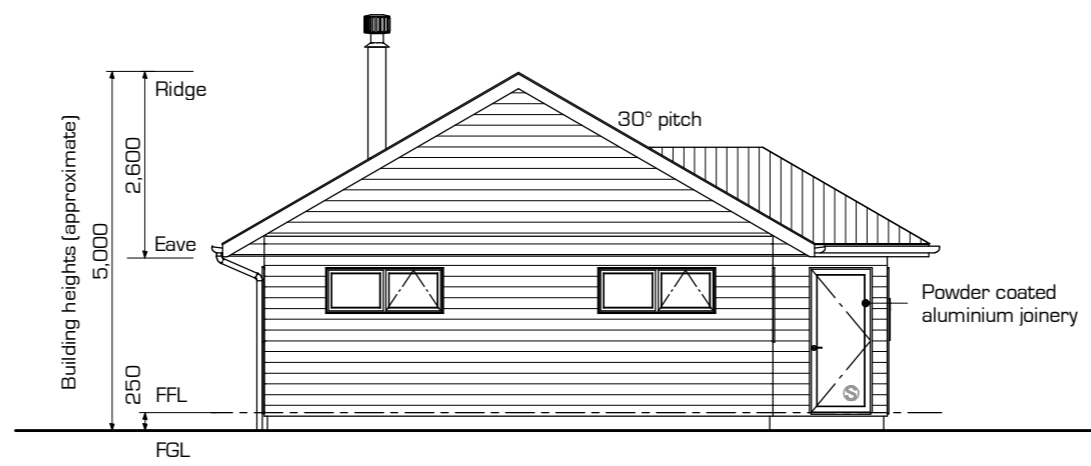
JULIAN & SARAH TRINDER
562d WAIMATE NORTH ROAD, KERIKERI

NZB-140 Altered
SITE DRAINAGE PLAN

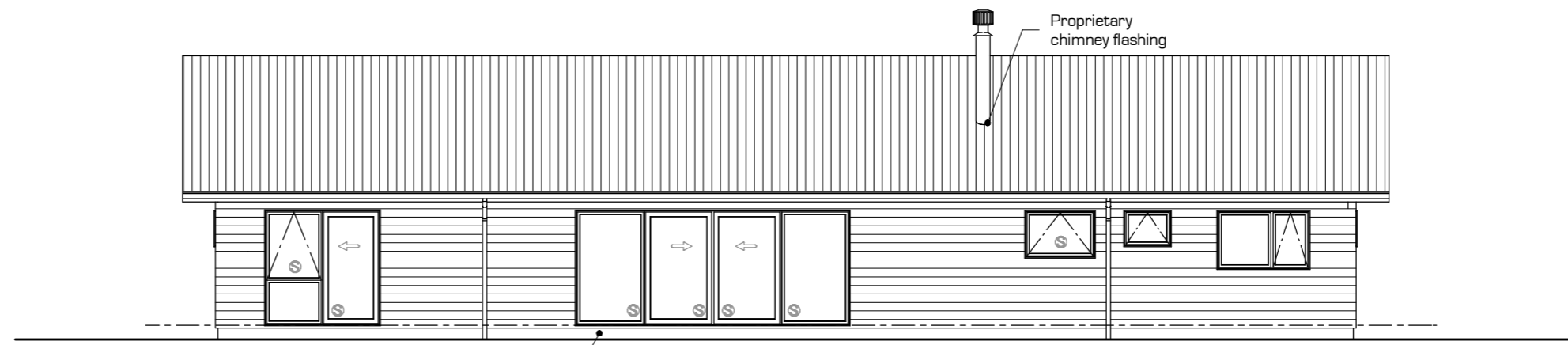


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DURABILITY: Exposure Zone B (as defined by NZS 3604:2011)
Environment definitions (NZS 3604:2011 4.5.2)
"Closed" - dry, internal locations, not subject to airborne salt or rain wetting "Sheltered" - open to airborne salts, but not rain washed. Shall be that above a 45° line drawn from the lower edge of a projecting weathertight structure such as a floor, roof or deck. "Exposed" - open to airborne salts and rain wetting. Shall be that below a 45° line drawn from the lower edge of a projecting weathertight structure such as a floor, Roof or deck.
Protection required for steel fixings and fastenings excluding nails and screws (NZS 3604:2011 table 4.1)
Treated timber piles (all connections) Within 600mm from the ground - Type 304 stainless steel. More than 600mm from the ground where subfloor's are vented more than 7000mm² - Type 304 stainless steel. More than 600mm from the ground where subfloor's are vented less than 7000mm² - Hot-dipped galvanized steel
In "closed" environments & roof spaces Nail plates - Continuously coated galvanized steel. Wire dogs & bolts - Hot-dipped galvanized steel. All other structural fixings - Mild steel (uncoated, non-galvanized) or Hot-dipped galvanized steel if in contact with timber treated with copper based preservatives (H3.2 or higher).
In "sheltered" environments Nail plates - Hot-dipped galvanized steel Wire dogs & bolts - Hot-dipped galvanized steel All other structural fixings & fabricated brackets - Hot-dipped galvanized steel
In "exposed" environments Nail plates - Type 304 stainless steel. Wire dogs & bolts - Type 304 stainless steel. All other structural fixings & fabricated brackets - Type 304 stainless steel.
Protection required for steel items such as nails and screws used for framing and cladding (NZS 3604:2011 table 4.3)
Cladding that acts as bracing (50 year durability) and Non-structural cladding (15-year durability): <i>Galvanized steel or: Type 304 stainless steel</i> (nails to be annular grooved) or <i>silicon bronze</i> if in contact with a corrosive timber or timber treated with copper based preservatives (H3.2 or higher). Framing in "closed" area including roof spaces: <i>Mild Steel or: galvanized steel</i> if in contact with timber treated with copper based preservatives (H3.2 or higher). Framing in "sheltered" areas: <i>Hot-dipped Galvanized steel</i> Framing in "exposed" areas: <i>Type 304 stainless steel</i> (nails to be annular grooved) if in contact with timber treated with copper based preservatives (H3.2 or higher).
Note: <ul style="list-style-type: none"> Galvanized nails to be hot-dipped galvanized to a minimum of 320 g/m²; Galvanized screws to be mechanically zinc plated in accordance with AS 3566: part 2, Class 4 Nails, screws and other fixings into piles within 600mm of the ground shall be <i>Type 304 stainless steel</i>
Minimum specified concrete strength at 28 days shall be (NZS 3604:2011 4.5.2)
10 MPa for unreinforced concrete used in mass foundations 17.5 MPa for unreinforced concrete applications, reinforced concrete not exposed to weather and for reinforced concrete exposed to weather Refer Engineers Report for required slab concrete strengths. Specially selected from NZS 3101 table 5.3 where a direct wearing concrete floor is required.
Concrete masonry shall have minimum cover to steel reinforcement from an uncoated masonry external face of 45mm with a minimum grout strength of 17.5 MPa



East Elevation



South Elevation

Building Envelope Risk Matrix: E2 - External moisture		
	Risk Factor	Score
Wind zone (per NZS 3604)	High	1
Number of storeys	Low	0
Roof/wall intersection design	Low	0
Eaves width	Low	0
Envelope complexity	Low	0
Deck design	Low	0
Note: Selected Risk factor scores are the highest risk score for ALL elevations.		Total 2



JULIAN & SARAH TRINDER **NZB-140 Altered** **A4**

562d WAIMATE NORTH ROAD, KERIKERI **ELEVATIONS**

LATITUDE HOMES

To the best of our knowledge these plans comply with the owners and or builders specifications. Any changes will be made at the owners and or builders expense and responsibility. The contractor shall verify all dimensions and enclosed drawings prior to construction and be solely responsible thereafter. The designer is not liable for errors once construction has begun. While every effort has been made in the preparation of this plan the maker can not guarantee against human error.

Project: N899 Date: 19/07/2024 Designer: T.Rex Phone: (09) 430 3065

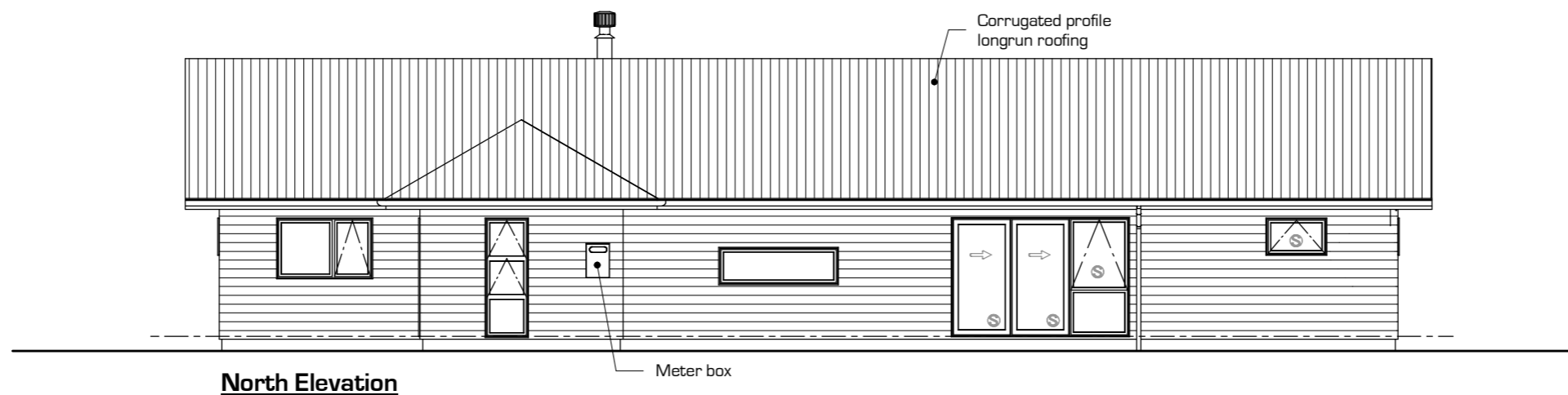
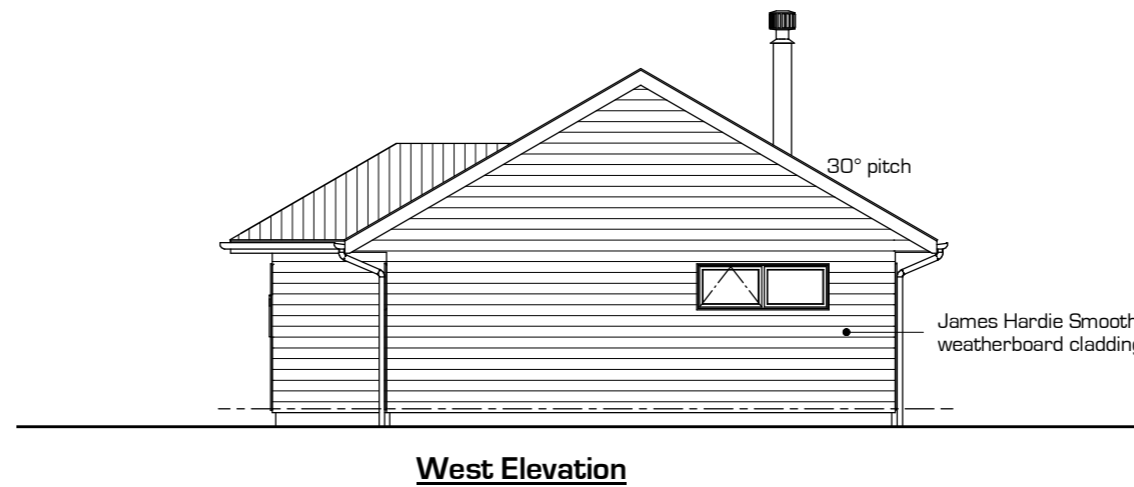
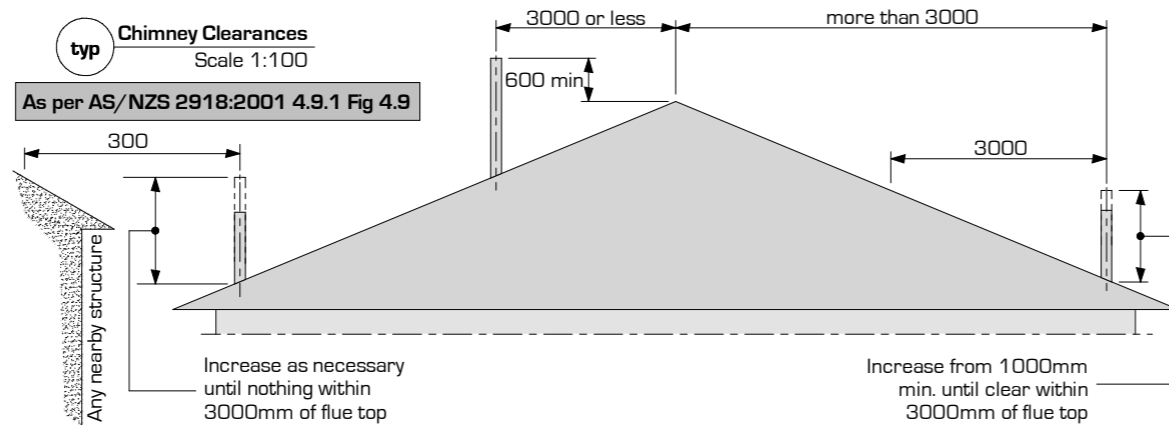
MAINTENANCE

General:
Maintenance shall be carried out as necessary to achieve the required durability of all materials, components and junctions. Refer to specific manufacturers literature for recommended maintenance check schedules and procedures that may differ from these general recommendations.

Regular maintenance will include:
 • Washing exterior surfaces. Note: it is important that high pressure water is not directed at sensitive junctions such as window surrounds and other flashing. Great care must be taken to avoid water being driven past anti-capillary gaps and flashings into the wall cavities.
 • Inspecting surfaces and junctions.
 • Repair or replacement of items when necessary, in order to preserve the weathertightness of the building.

Gutter systems:
To be inspected and cleaned out every month to avoid the build up of foreign matter blocking the gutter system.

Flashings, claddings & roofs:
To be inspected every three months. If any sign of deterioration is visible the system may require repair or replacement. A suitably qualified contractor should complete this work without delay to ensure prevention of water entering the building envelope. COMMENT: Care should be taken to avoid post-installation damage to the cladding when accessing the roof. Additional support is required around roof-mounted units such as air-conditioners to avoid roof distortion.



ACCESS ROUTES

A maximum rise of 190mm is permitted from FGL to FFL at common and main private access ways. Where this is exceeded, timber or concrete steps and/or landings with a slip resistance in accordance with NZBC D1/AS1 Access will be necessary.

CLADDING PAINT SYSTEM

Applied paint systems to claddings must have a minimum Light Reflectance Value (LRV) of 40%. CHECK MANUFACTURERS LITERATURE to ensure a higher reflective value has not been recommended. If so manufacturers literature to take precedence. Claddings are prone to movement and cupping. Risk is increased when painted with colour's which have a low light reflectivity value, therefore owners should seek professional advice before choosing paint color. Distortion due to colour choice is owners risk.

FINISHED GROUND LEVEL

Non-Rebated Slab Construction:
 Minimum clearance FFL - FGL
 - Unprotected ground 225mm*
 - Permanent paving 150mm*
 *Always maintain a minimum clearance of 100mm (from paved ground) or 175mm (from unpaved ground) to cladding
 Unprotected ground to be formed with a minimum 1:25 slope away from building for at least 1m

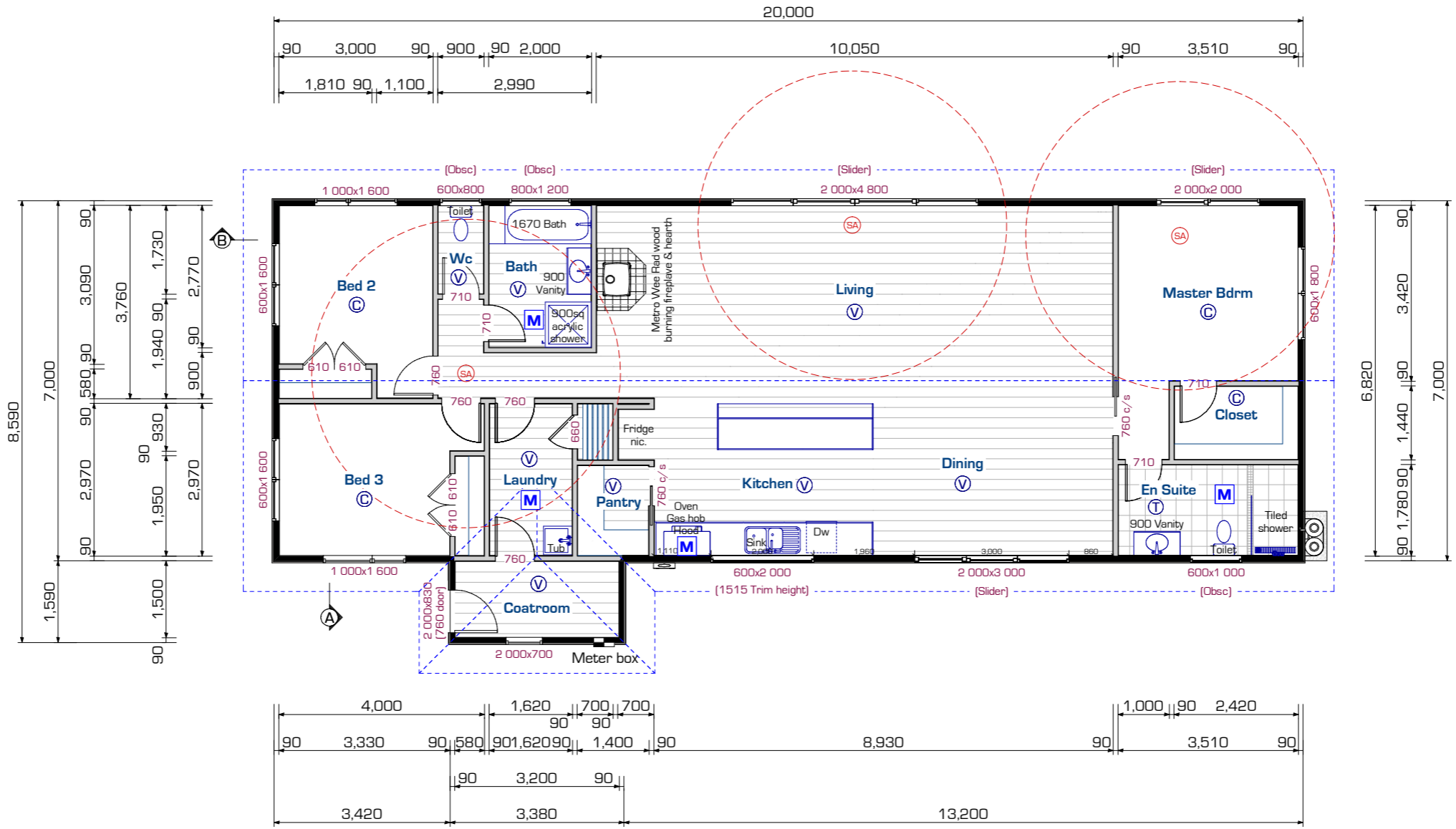
JOINERY & GLAZING

⊞ = Safety glass
 Joinery manufacturer to confirm location of safety glass in accordance with NZS 4223 requirements.

WALL TYPES KEY
James Hardie 'Smooth' weatherboard cladding - H3.1 cavity battens - Wall underlay - Perimeter Load-bearing H1.2 framing - Interior lining.
Internal Load-bearing H1.2 framing - Interior lining.
Internal Non load-bearing 90mm H1.2 framing - Interior lining.
FRAMING AND STUD SIZES
Perimeter load-bearing walls: • Up to 2.4m stud height: 90x45 studs @ 600ctrs. SGB
Internal load-bearing & non load-bearing walls: • Up to 2.4m stud height: 90x45 studs @ 600ctrs. SGB.
Extra top plate: 140x35 typical. Stagger all top plate/extra top plate joints and ensure minimum 6/100 x 3.75mm nails to each side of joint to achieve 6kN connection
Nogs: 800ctrs typical.
WALL UNDERLAY
Thermakraft Watertight Plus wall underlay run horizontally around perimeter framing. Sheets shall be lapped not less than 150mm. Upper sheets shall lap lower sheets. Extend 35mm below bottom plate or bearer. To prevent insulation bulging wall underlay into cavity, where battens exceed 400ctrs, provide support with polypropylene tape run horizontally @ 300ctrs.
WINDOW FLASHING TAPE
Thermakraft Aluband / Bulldog BRANZ approved flexible flashing tape complying with E2/AS1 4.3.11. Tape shall be compatible with adjacent wall/roof underlay and building materials. Only use in concealed applications
SERVICE PENETRATIONS
Thermakraft Multi-Fit Penetration Seal: consisting of soft, flexible EPDM membrane seal with self adhesive flange. Install to manufacturer & BRANZ specifications. Ensure compatibility with adjacent building materials. Refer detail.
Lighting
Downlights: Contractor to ensure all materials are thermally compatible. All downlights shall comply with AS/NZS60598.2.2 Amendment A and be either CA or IC rated. Check luminaire manufacturer instructions.
All access routes shall have adequate artificial light which when activated in the absence of sufficient natural light, shall enable safe movement. Supply lighting with the equivalent wattage of 15W/m ² of floor area. This should provide the minimum illuminance of 20 lux at floor level. For alternative recommendations refer NZBC:GB/AS1 table 1.

CAVITY BATTENS
ex 50x25mm (minimum 45x18mm thick) rough sawn H3.1 vertical timber cavity battens @ ctrs to suit stud layout. Install over wall underlay. Temporarily fix with 40x2.8mm galvanised nails @ 800ctrs max prior to installing cladding.
FIRE DETECTION
SA = Smoke Alarm Type 1 domestic smoke alarm located within 3m of every sleeping space door and all escape routes on all levels within the household unit.

FLOOR AREA
Living area = 145.4m ²
Garage = n/a
Total Floor Area = 145.4m²
FLOOR FINISHES
C = Carpet
V = Vinyl plank
T = Non-slip tiles
U3 = Exposed concrete
MECHANICAL VENTILATION
M Spaces in household units that contain cooktops, showers and baths must have mechanical extract fans installed to remove moisture generated by these fixtures. Mechanical extract fans (including associated ducting) must have a flowrate not less than: a) 25 L/s for showers and baths b) 50 L/s for cooktops.
GENERAL NOTES
Prior to setting out always cross reference the foundation plan with the floor plan. Refer to the truss manufacturers producer statement for additional load bearing requirements. In the case of any discrepancies, contact designer immediately.
Confirm kitchen & bathroom layout, shower tray and vanity sizes before commencing wall framing. Nog for support as necessary.
JOINERY & GLAZING
Exterior joinery sizes shown are box sizes & are preliminary only. Site measure and confirm all joinery sizes, report any changes to designer PRIOR to ordering joinery. No liability shall be held by designer for incorrect supply of joinery.
All joinery head heights are 2.0m unless otherwise stated.
All internal doors to be hollow core with architraves.
Glazing in accordance with NZS 4223 & the 2016 amendments. Argon gas filled, double glazing with Low - E coating to all glazing with thermally broken window and door joinery (excluding garage to be single glazed). Typical glazing clear float glass, Obscure float glass to bathrooms & toilets. Joinery manufacturer to confirm location of safety glass as required by standards.



Scale 1:100 @ A3



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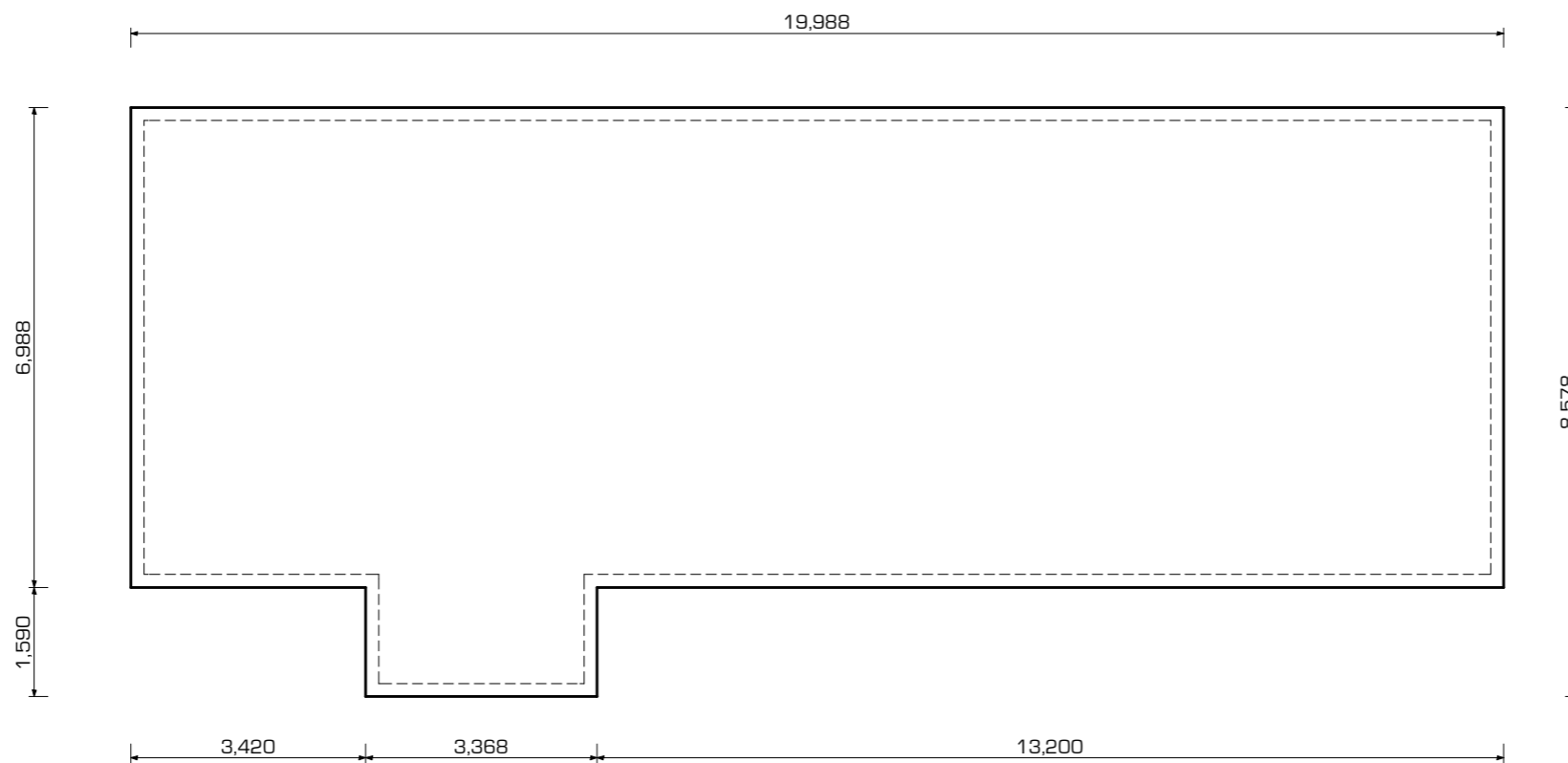
NZB-140 Altered

LATITUDE HOMES

Project: N899 Date: 19/07/2024 Designer: T.Rex Phone: (09) 430 3065

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A6
FLOOR PLAN



GENERAL NOTES

Raft floor system:
Lay in strict accordance with the engineers specifications - in case of discrepancies engineers report shall take precedence.

Prior to setting out always cross reference the foundation plan with the floor plan. Refer to the truss manufacturers producer statement for additional load bearing requirements. In the case of any discrepancies, contact designer immediately.

Confirm layout & fittings of the kitchen & bathrooms etc before foundation commences.

Wall framing shall overhang slab foundation by 6mm to prevent water being drawn up behind cladding by capillary action.

DPM

0.25mm Polythene vapour barrier over sand blinding; Lap joints min 150mm. Seal with minimum 50mm wide pressure-sensitive plastic tape.

ENGINEERED FOUNDATION

NOTE: This plan should be used for dimensional purposes only. Refer Engineers Report. Construction of foundations must adhere strictly to this report. In the case of discrepancies the Engineers report shall take precedence



ROOF CLADDING

Roofing - 0.4 BMT corrugated profile roofing with minimum profile depth of 16.5mm. PCC Colorcote ZR8 or NZS Colorsteel ENDURA coating. Fix with Minimum 12 gauge screws with neoprene washers through crests to penetrate purlins by minimum 30mm. For fixing patterns refer manufacturers specifications or NZBC E2/AS1:2011 Table 11. Roofing shall have turn ups to the top ends of cladding profile.

Flashings - 0.55 BMT flashings with coating to match roof. Reference should be made to the NZBC E2/AS1:2011 and the New Zealand Roof and Wall Cladding Code of Practice.

SPOUTING & DOWNPIPES

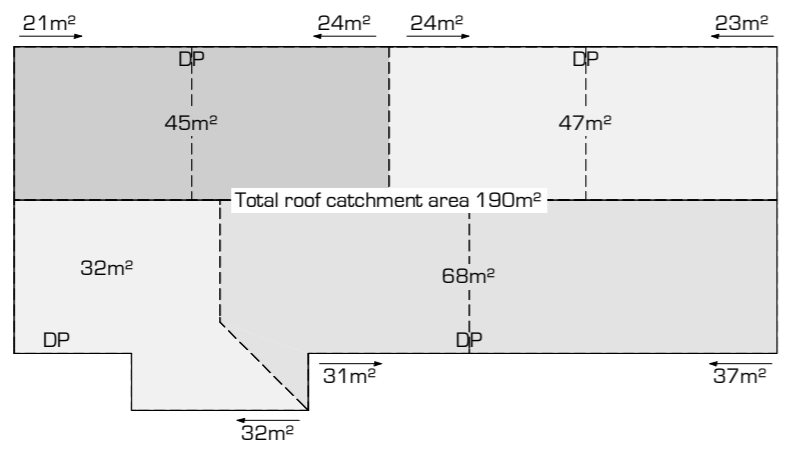
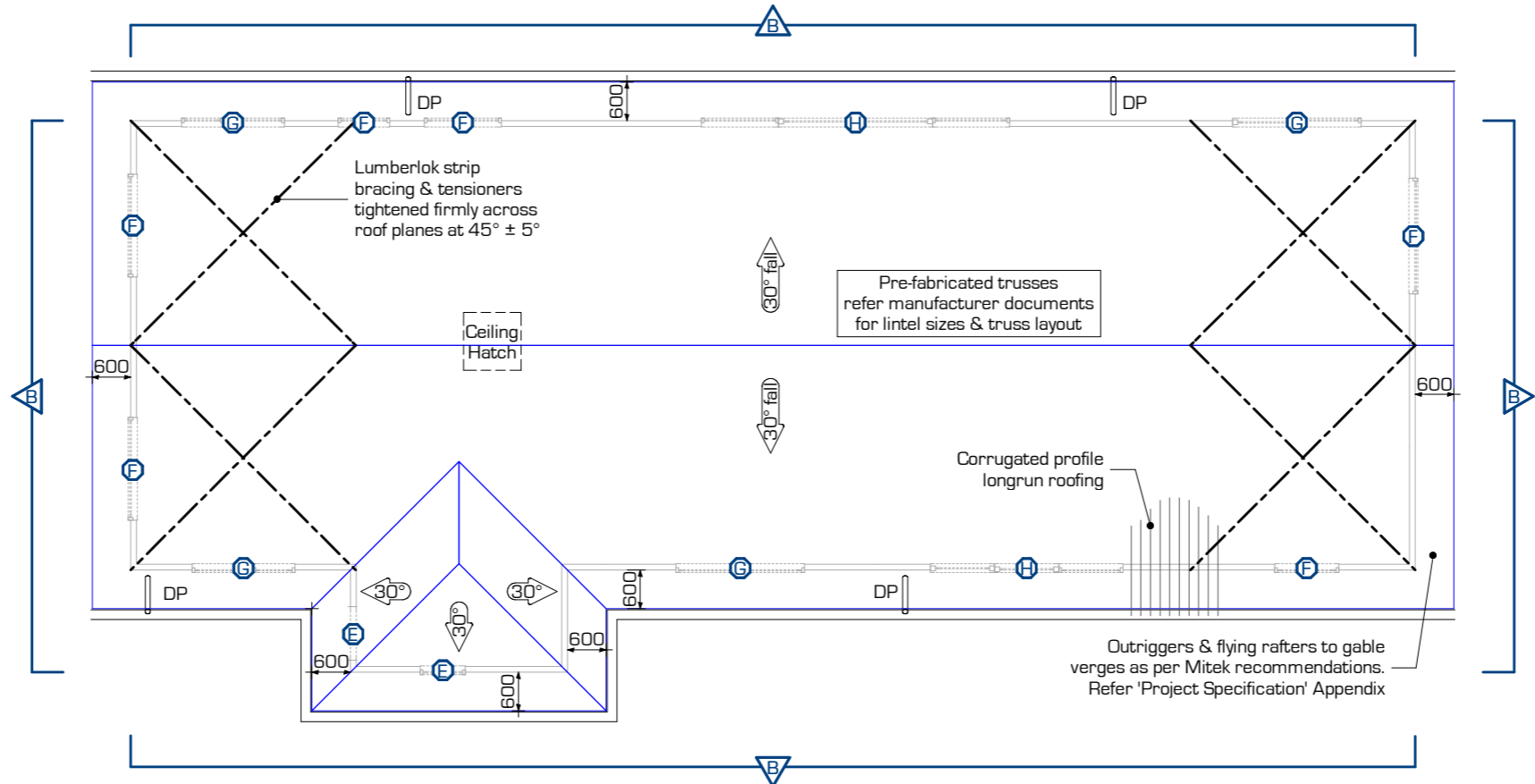
Fascia & Spouting - Metalcraft Pre-painted Fascia 185 & Quad Colonial spouting system with cross sectional area of 5550mm². Servicable roof plan area @ rainfall intensity of 100mm/hr = 45m²

$$45.9m^2 \times 1.67 = 76.64 L/m$$

$$(76.64 / 0.0016)^{0.8}$$

$$(47900)^{0.8} = 5550mm^2$$

Downpipes - Marley PVC round 80mm (74mm internal) - plan area served by downpipe = 85m² for roof pitch between 0° - 25° @ rainfall intensity of 100mm/hr (Table 5 E1/AS1.)



GENERAL NOTES

Refer to the truss manufacturers producer statements for changes or additional load bearing requirements to support roof loads. The truss manufacturers producer statements is to take precedence.

Truss manufacturer to inform designer of any further load bearing/slab thickenings or any increase to lintel sizes that may be required to support roof loads

ROOF FRAMING SCHEDULE

Pre-fabricated trusses - Refer to the manufacturers producer statements - Maximum 900mm ctrs, H1.2

Purlins - 70x45, H1.2, SGB on the flat. Maximum spacing of 800ctrs @ end span & 900ctrs for intermediate spans. 1/80mm 10g self drilling screw fixing each truss/rafter crossing.

Fly rafters & outriggers - 90x45, H1.2, SGB on edge, Outriggers @ maximum 900ctrs

Soffit framing - Ribbon board 90x45, H1.2, SGB Soffit bearer 70x45, H1.2, SGB Soffit batten 70x35 H1.2 SGB

Valley boards - rs 150x25, H1.2.

STUD TO TOP PLATE & LINTEL FIXINGS KEY

- Stud to top plate fixing
 - Lintel fixing
- Refer to 'Lumberlok' Schedules in Project Specification Appendix.

SOFFIT LINING

4.5mm Hardiesoffit lining with PVC jointers. Fix with 40x2.8mm HardieFlex nails to manufacturers specifications. Roof cladding must be installed before lining installation. Soffit bearers ctrs:

Width	Bearer/Batten ctrs
Up to 450	900
451 - 600	600
601 - 1200	600

ROOFING UNDERLAY

Over 10° roof pitch
Thermakraft 215
 Lay self supporting kraft underlay complying with E2/AS1 clause 8.15 vertically or horizontally, over purlins. Provide a minimum lap of 150mm to all side and end laps. Lay to achieve the minimum amount of laps as possible.

BRACING KEY

Refer following page for specified bracing element system lining type, fixing and hold down requirements

GIB LININGS (GENERAL)

Handle, store, install, fix and maintain GIB® products in accordance with the latest Winstones GIB® fixing site guide. These instructions must be followed if GIB® systems are to achieve their claimed performance levels. Ensure compatibility of jointing compounds, adhesives, fasteners and other drywall products. Control joints spaced @ 9m ctrs along unbroken wall runs and 9m in each direction in ceilings.

MECHANICAL FASTNERS

GIB Standard sides - 32mm x 6g GIB Grabber High Thread screws; or 32mm x 7g GIB Grabber Dual Thread screws; or 30mm GIB nails.

GIB Braceline sides - 32mm x 6g GIB Grabber High Thread screws; or 32mm x 7g GIB Grabber Dual Thread screws.

OPENINGS IN BRACE ELEMENTS

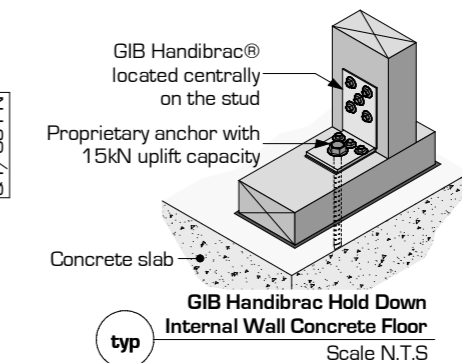
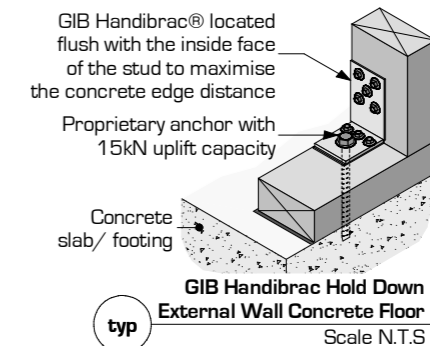
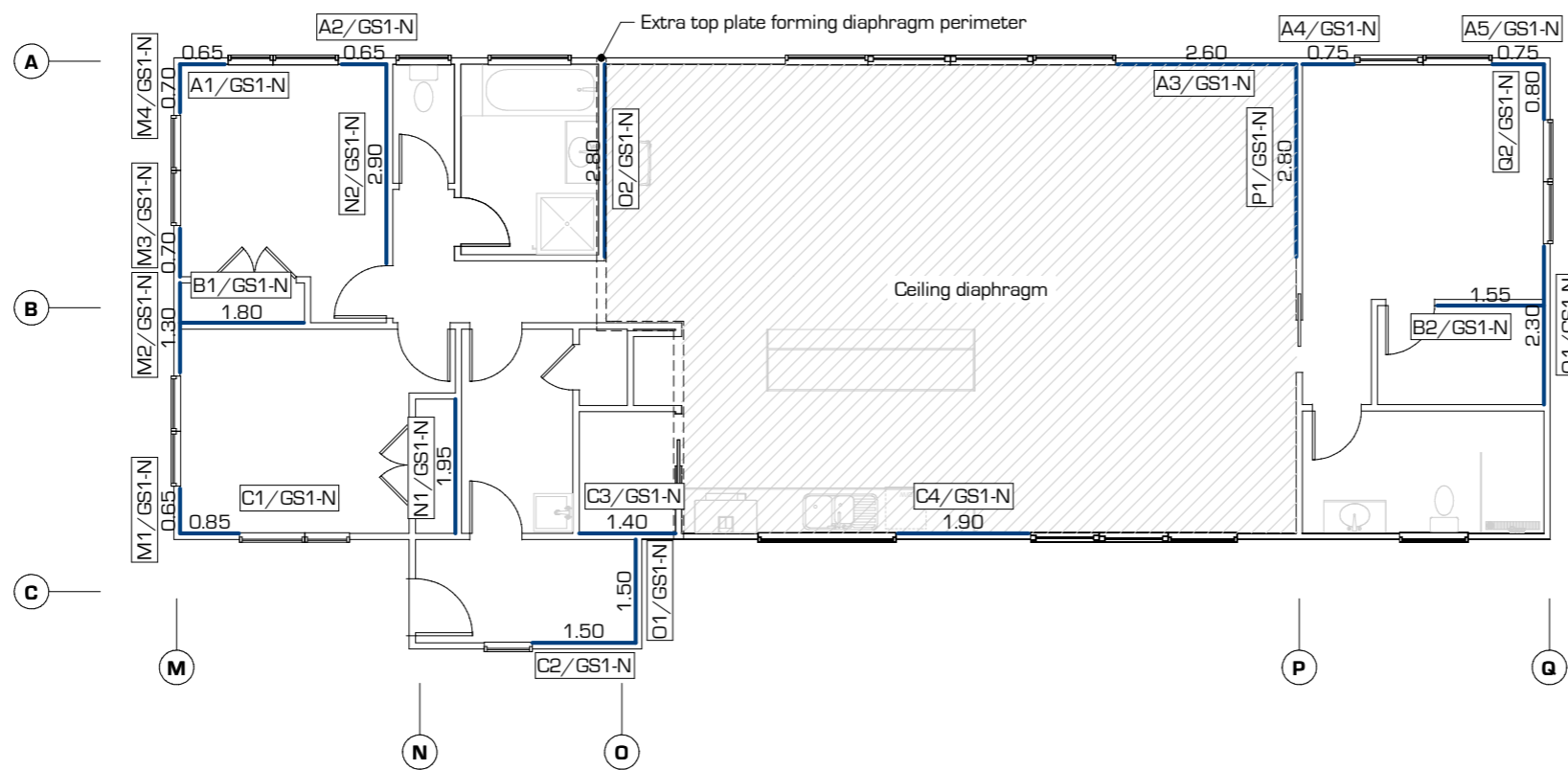
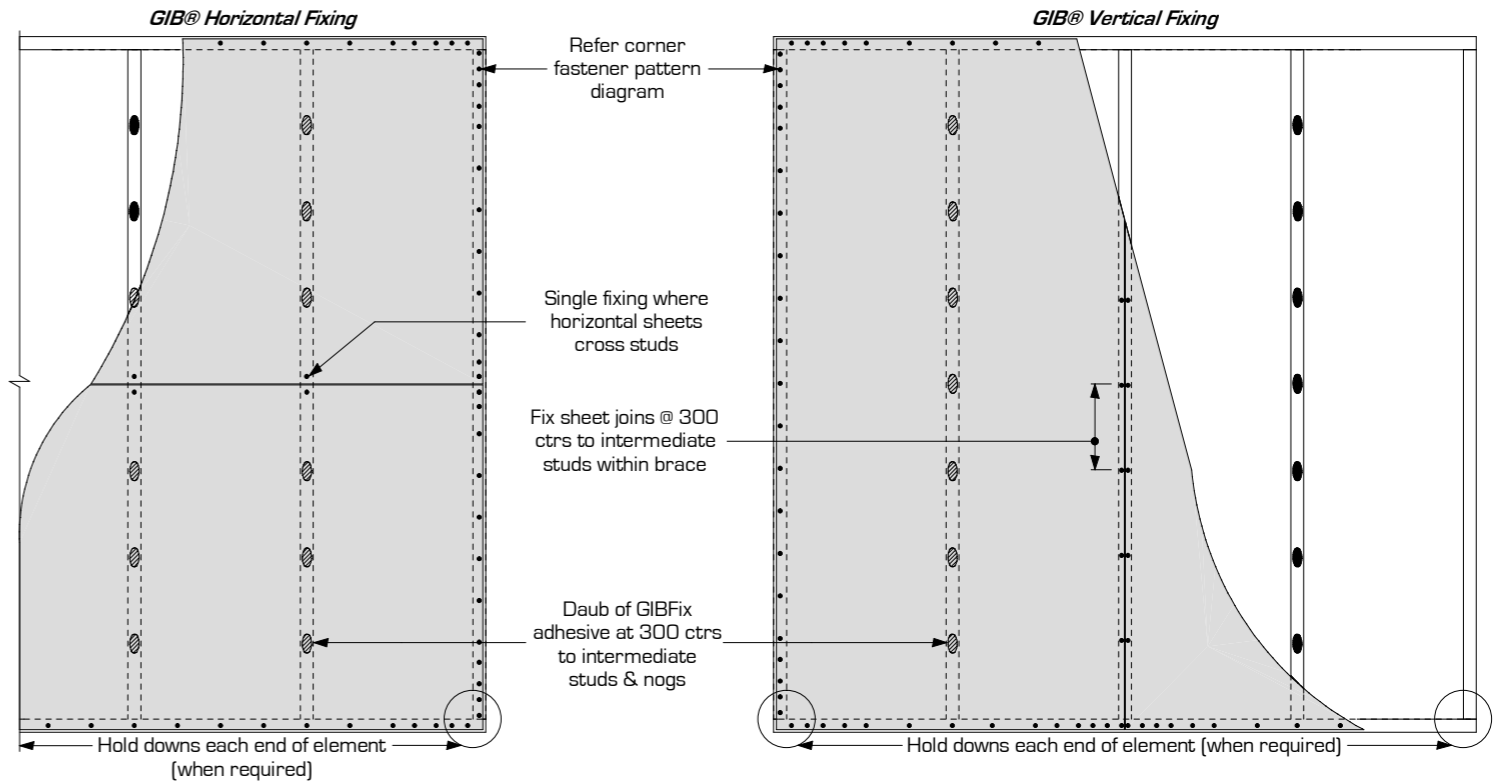
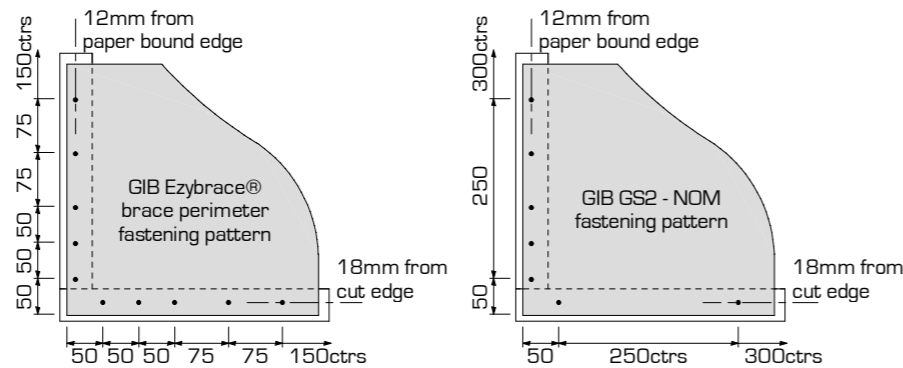
Gib EzyBrace System
Small openings (e.g. power outlets) of 90 x 90mm or less may be placed no closer than 90 mm to the edge of the braced element.

TOP PLATE CONNECTION

Walls that are at right angles to the external walls require jointing at top plates as follows:

- Walls that contain bracing elements of not more than 125 BUs require at least one fixing of 6 kN capacity to an external wall.
- Walls that contain bracing elements that exceed 125 BUs and up to 250 BUs require a minimum of 6 kN connections to two external walls.
- Walls that contain bracing elements over 250 BUs, require a minimum of two connections to external walls, each connection to be a minimum of 2.4 kN per 100 BUs contained in the wall.
- The fixings required for the walls at right angles, as above, can be direct attachment or through framing members in line with wall; eg. a truss bottom cord or ceiling joist.

Element Code	Minimum Wall Length	Lining Requirements	Hold Downs
GS2-NOM	400mm	10mm or 13mm GIB® Std plasterboard both sides	n/a
GS1-N	400mm	10mm or 13mm GIB® Std plasterboard one side	n/a
GS2-N	400mm	10mm or 13mm GIB® Std plasterboard both sides	n/a
GSP-H	400mm	10mm or 13mm GIB® Std plasterboard one side + minimum 7mm D-D grade Ecoply (EP1) other side	required
BL1-H	400mm	10mm or 13mm GIB Braceline® plasterboard one side	required
BLG-H	400mm	10mm or 13mm GIB Braceline® plasterboard one side + any 10mm or 13mm GIB® plasterboard other side	required
BLP-H	400mm	10mm or 13mm GIB® Braceline plasterboard one side + minimum 7mm D-D grade Ecoply (EP1) other side	required



CEILING DIAPHRAGM

Basic shape of diaphragm is to be square or rectangular. Protrusions are permitted but cut-outs are not. The length of the diaphragm shall not exceed twice its width. Dimensions are measured between supporting bracing lines. Supporting bracing lines on all four sides must contain at least 100 bracing units each or 15 bracing units per metre of diaphragm dimension, measured at right angles to the line being considered.

GIB® Ceiling Diaphragms:

- For diaphragms not steeper than 25° and not exceeding 12m in length, any GIB® plasterboard may be used provided perimeter fixing is at 100mm centres with corners fastened using the GIB EzyBrace® 2011 fastener pattern.
- Sheets shall be supported by framing members (e.g. ceiling battens) spaced at no more than 500mm ctrs for 10mm GIB Plasterboard and at no more than 600mm ctrs for 13mm GIB Plasterboard.
- Use full width sheets where possible. At least 900mm wide sheets with a length not less than 1800mm shall be used. Sheets less than 900mm wide but no less than 600mm may be used provided all adjacent joints are back-blocked.

CEILING BATTENS

H1.2 70x35 kiln dried ceiling battens @ 600ctrs maximum. Fix to roof framing with 2/75x3.06mm power driven nails.

INTERNAL LININGS (GENERAL)

Moisture content of timber framing at time of lining must be 18% or less. Always refer to the latest manufacturers specification. Should there be any conflicting information, manufacturers specifications shall take precedence.

Typical linings:
Walls (10mm) & Ceilings (13mm)
GIB linings (standard) - Stopping to level 4 paint finish.

Wet area linings:
Walls (10mm) & Ceilings (13mm)
GIB Aqualine - Stopping to level 4 paint finish. 1/coat GIB Sealer with 2/coats semi-gloss or gloss, acrylic enamel paint.

Fixing of GIB lining:
25mm x 6g (walls) or 32mm x 6g (ceilings) GIB® Grabber high thread drywall screws with GIBFIX® adhesive as appropriate. Fastening shall be no less than 12mm from sheet edges or less than 18mm from sheet end.

Handle, store, install, fix and maintain GIB® products in accordance with the latest Winstones GIB® fixing site guide. These instructions must be followed if GIB® systems are to achieve their claimed performance levels. Ensure compatibility of jointing compounds, adhesives, fasteners and other drywall products. Control joints spaced @ 9m ctrs along unbroken wall runs and 9m in each direction in ceilings.

CONSTRUCTION 'R' VALUES

Floor 'R' 1.33
Raft floor
Non-rebated slab
90mm perimeter frame
No perimeter insulation
(BRANZ House Insulation Guide)

Walls 'R' 1.98
7.5mm Fibre cement weatherboards
20mm ventilated cavity
24%, 90mm timber framing
R2.8 Insulation
(BRANZ House Insulation Guide)

Roof 'R' 6.44
Profiled metal clad trussed roof
R7.0 Insulation, (Typical)
Perimeter edge:
R2.6 Insulation, (Outer 430mm)
Trusses @ 900ctrs
(BRANZ House Insulation Guide)

Windows 'R' 0.46
Double glazed thermally broken aluminium joinery
Argon gas filled with Low-E₃ coating
(H1/AS1:2022 Table E.1.1.1 a)

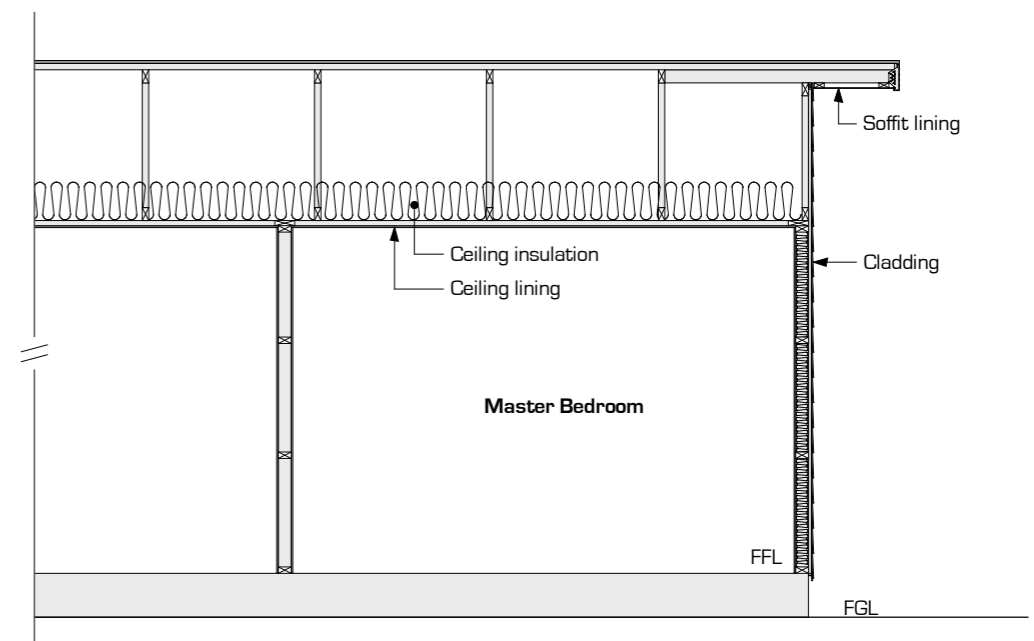
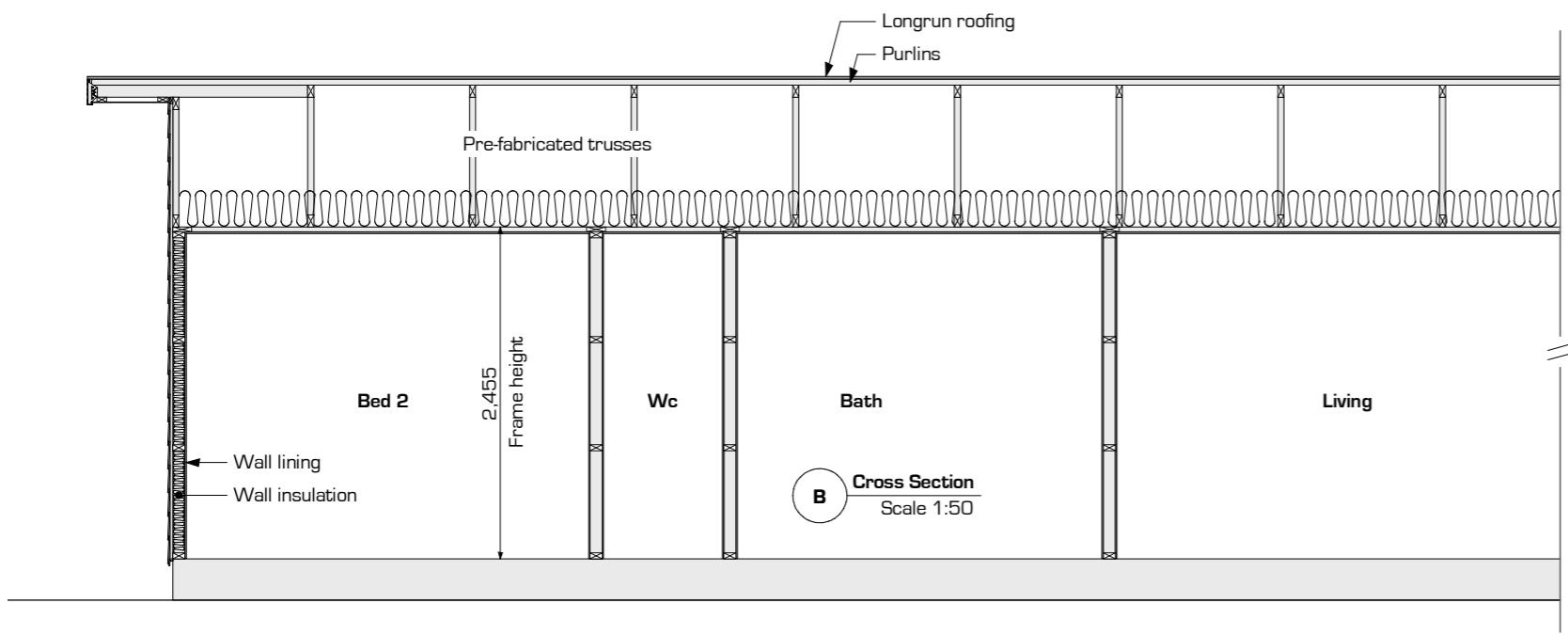
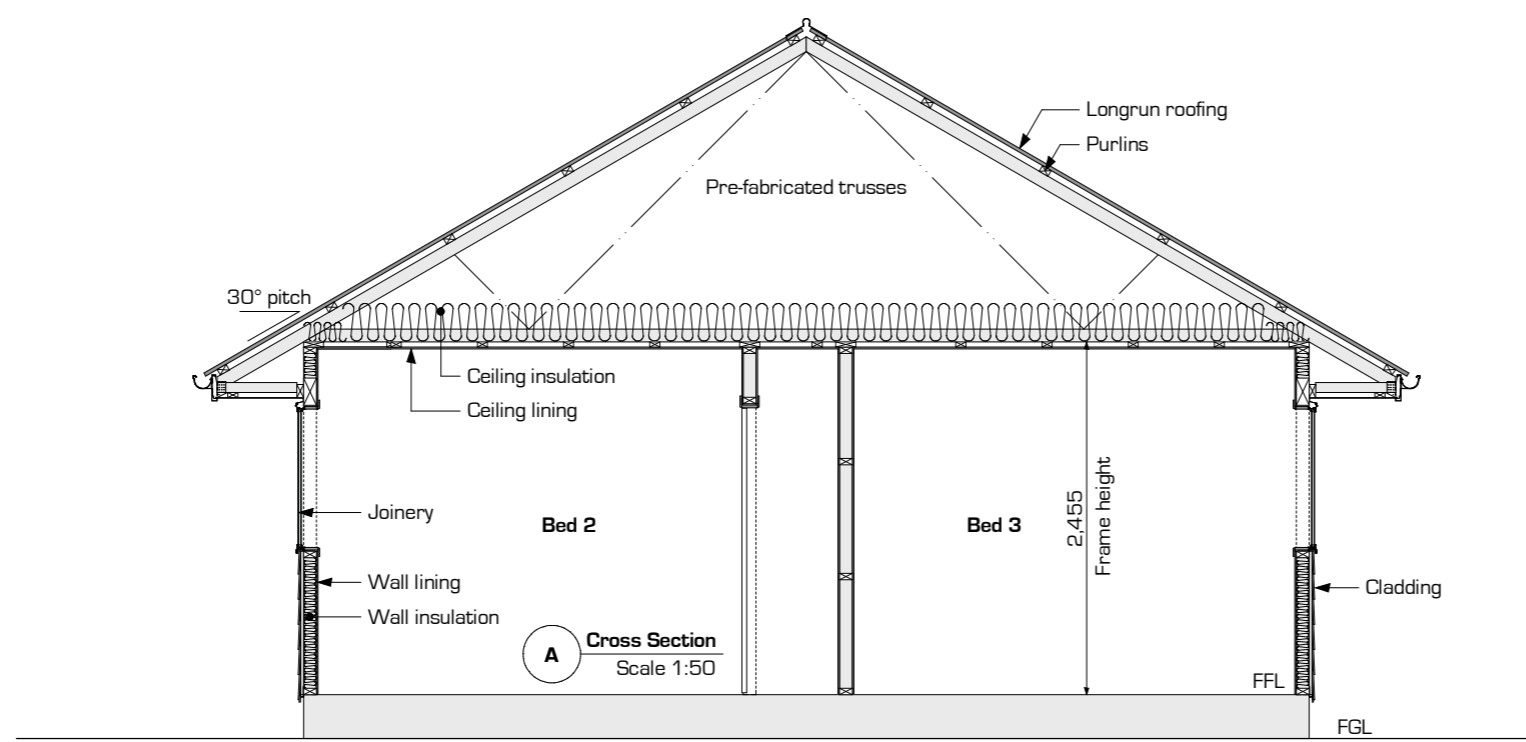
INSULATION

Walls - R2.8 'Pink Batts Ultra Wall' - Nominal stabilised thickness 90mm. Install insulation to all exterior wall cavities excluding garage, however including walls between house & garage, ensure snug fit not a tight fit.

Ceilings - R7.0 'Pink SuperBatts' - Nominal stabilised thickness 275mm. Install insulation to all ceilings except garage. To ensure a min 25mm clearance is maintained between insulation and roofing underlay use the following around roof edge perimeter where there is insufficient room for typical insulation
R2.6C 'Pink Batts 110mm' (Nominal stabilised thickness 110mm) to outer perimeter edge (0mm to 420mm)

- Clearance guidelines** (confirm with manufacturer specifications)
- Ca rated light - Nil (abutted only. Do not install insulation over the top)
 - IC rated downlight - Nil (abutted & covered. Insulation can be installed over the top)
 - Un-ducted fans - 200mm (From outer edge of extractor fan to ALL other insulation)
 - Metal chimneys - 50mm (From outer edge of chimney to ALL other insulation)
 - Roofing material - 25mm (To the roofing material i.e., to the roof itself and roofing underlay)

Refer to NZS4246 for installation of insulation around electrical auxiliary devices and downlights



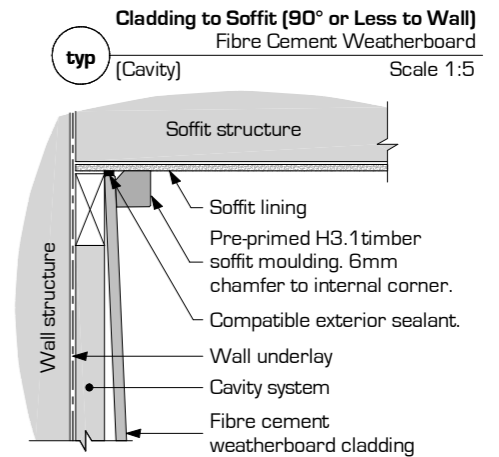
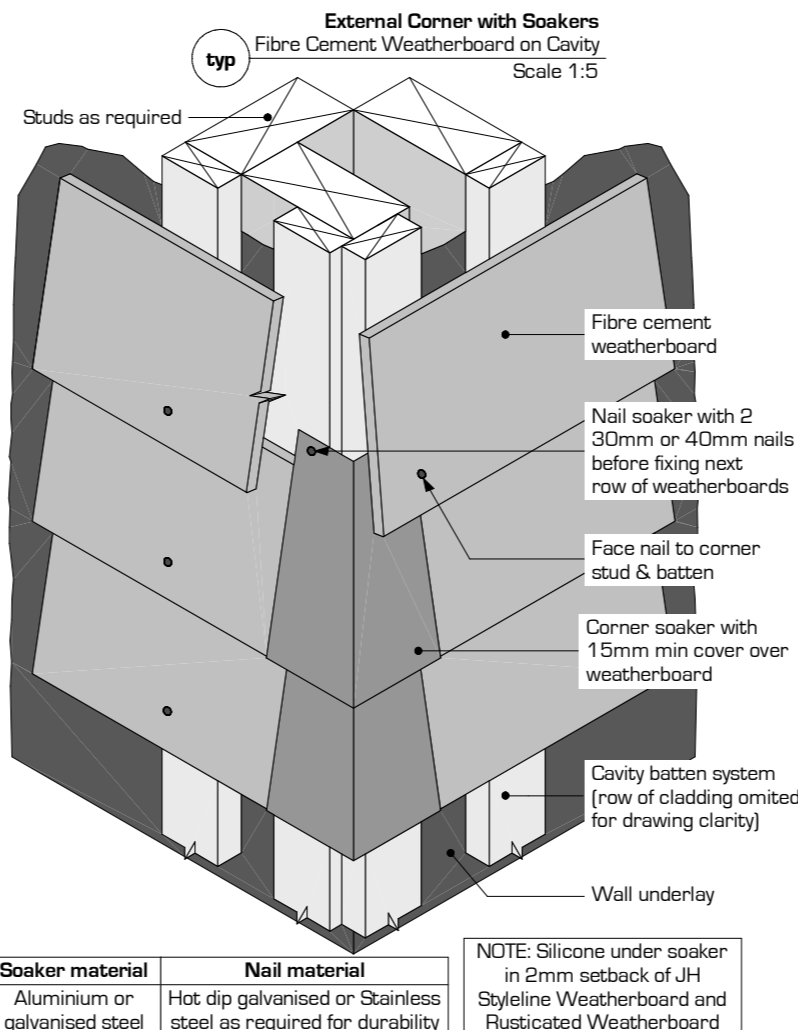
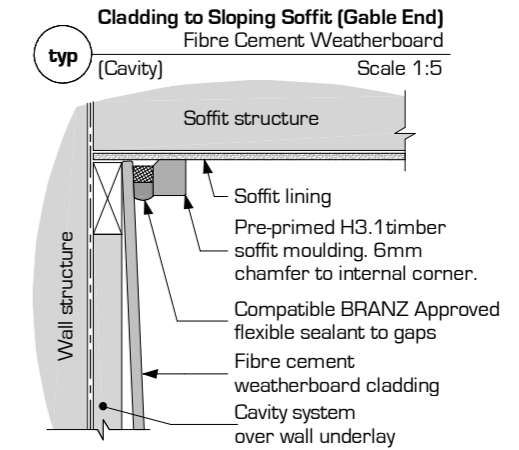
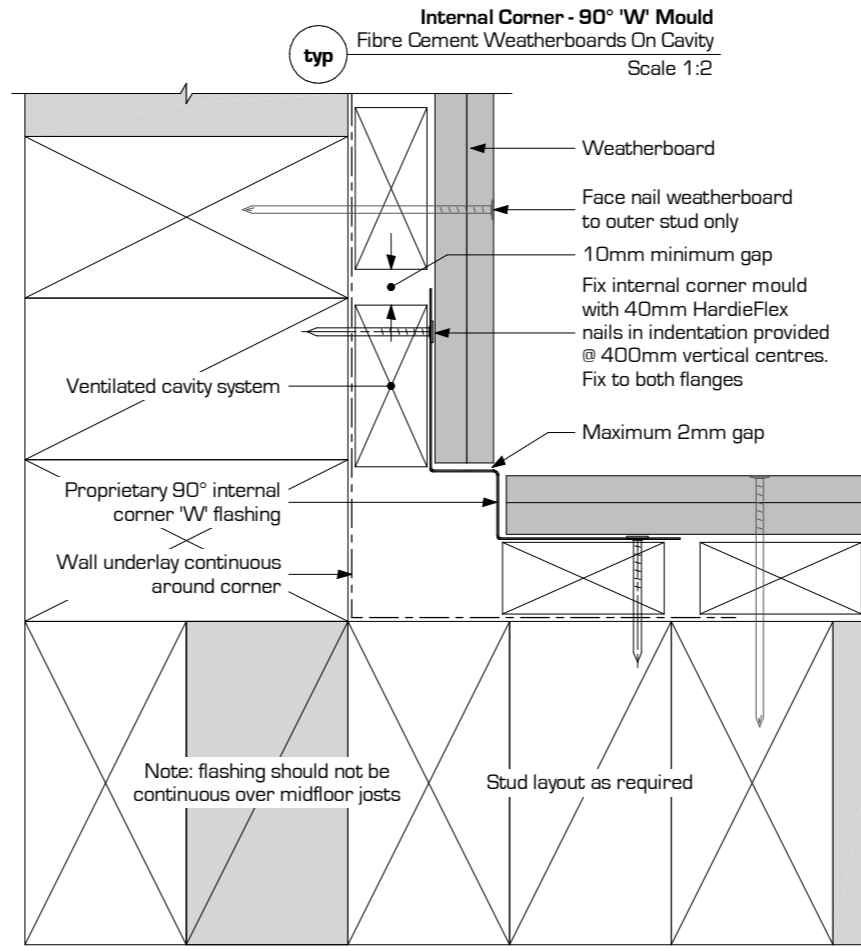
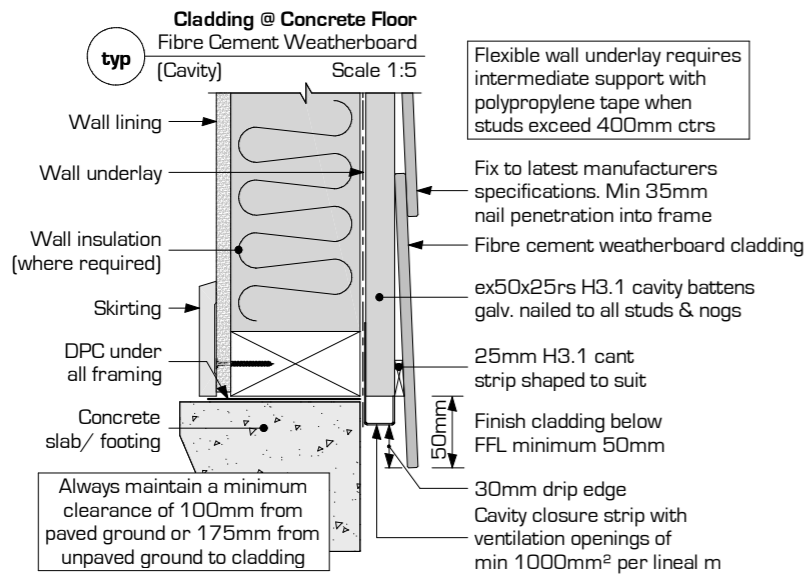
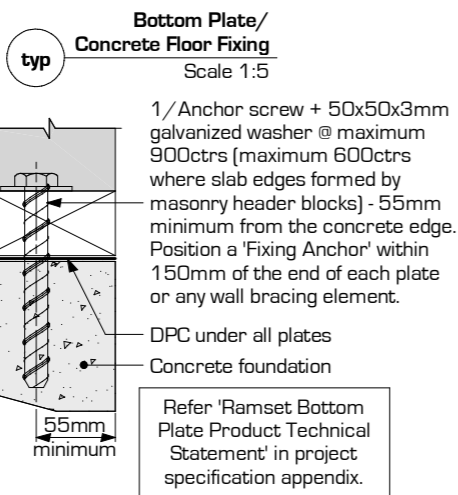
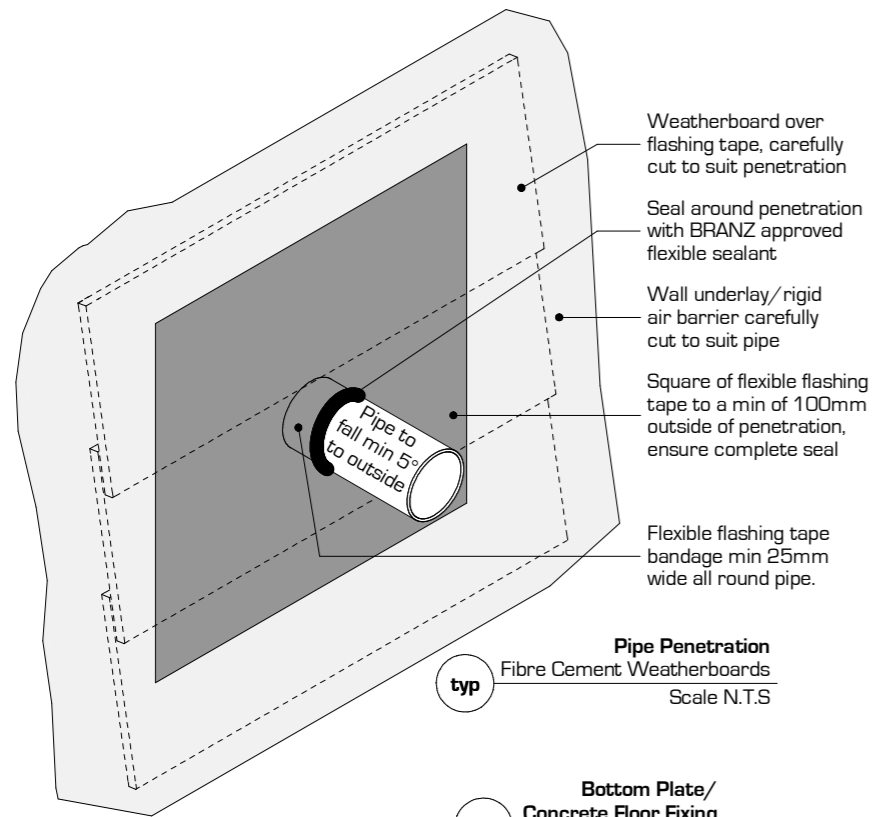
JULIAN & SARAH TRINDER **NZB-140 Altered**

562d WAIMATE NORTH ROAD, KERIKERI **A10**

LATITUDE HOMES

Project: N899 **Date:** 19/07/2024 **Designer:** T.Rex **Phone:** (09) 430 3065

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Soaker material	Nail material
Aluminium or galvanised steel	Hot dip galvanised or Stainless steel as required for durability

0 50 100 150 200 250m Scale 1:5 @ A3

JULIAN & SARAH TRINDER
562d WAIMATE NORTH ROAD, KERIKERI

NZB-140 Altered

A11

CLADDING DETAILS

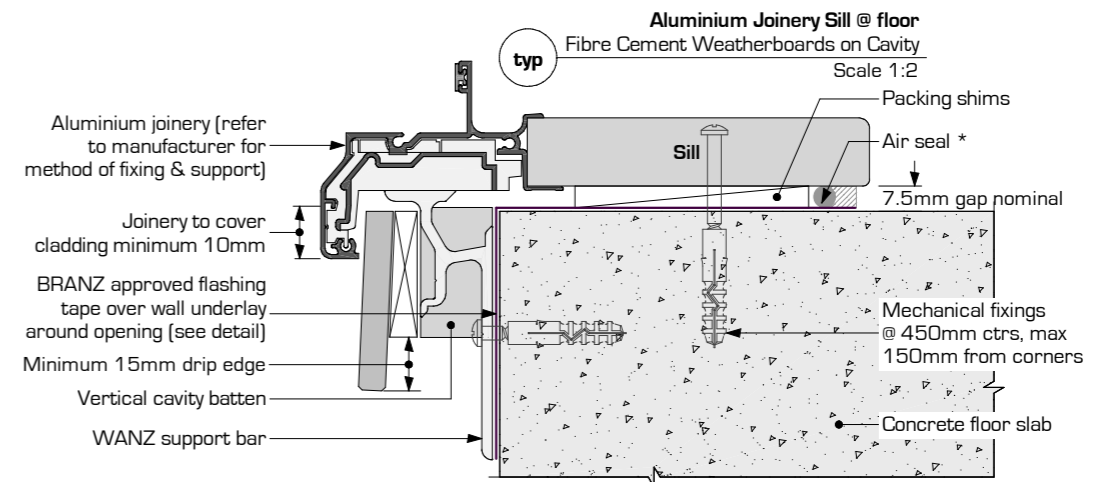
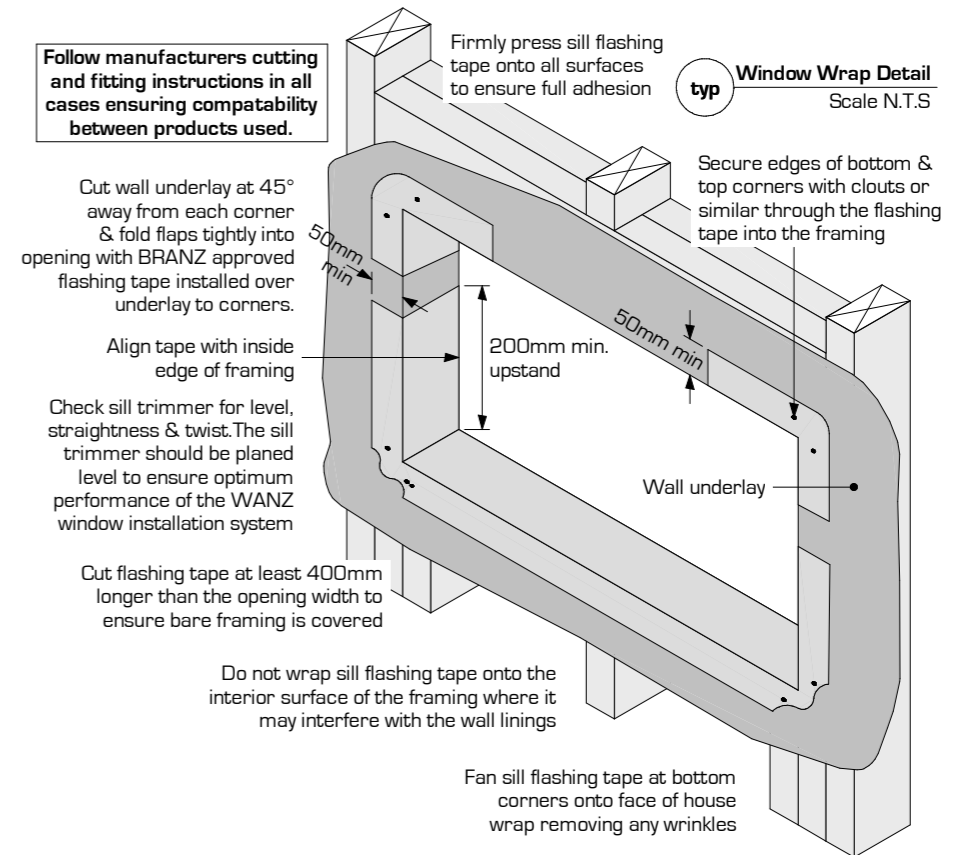
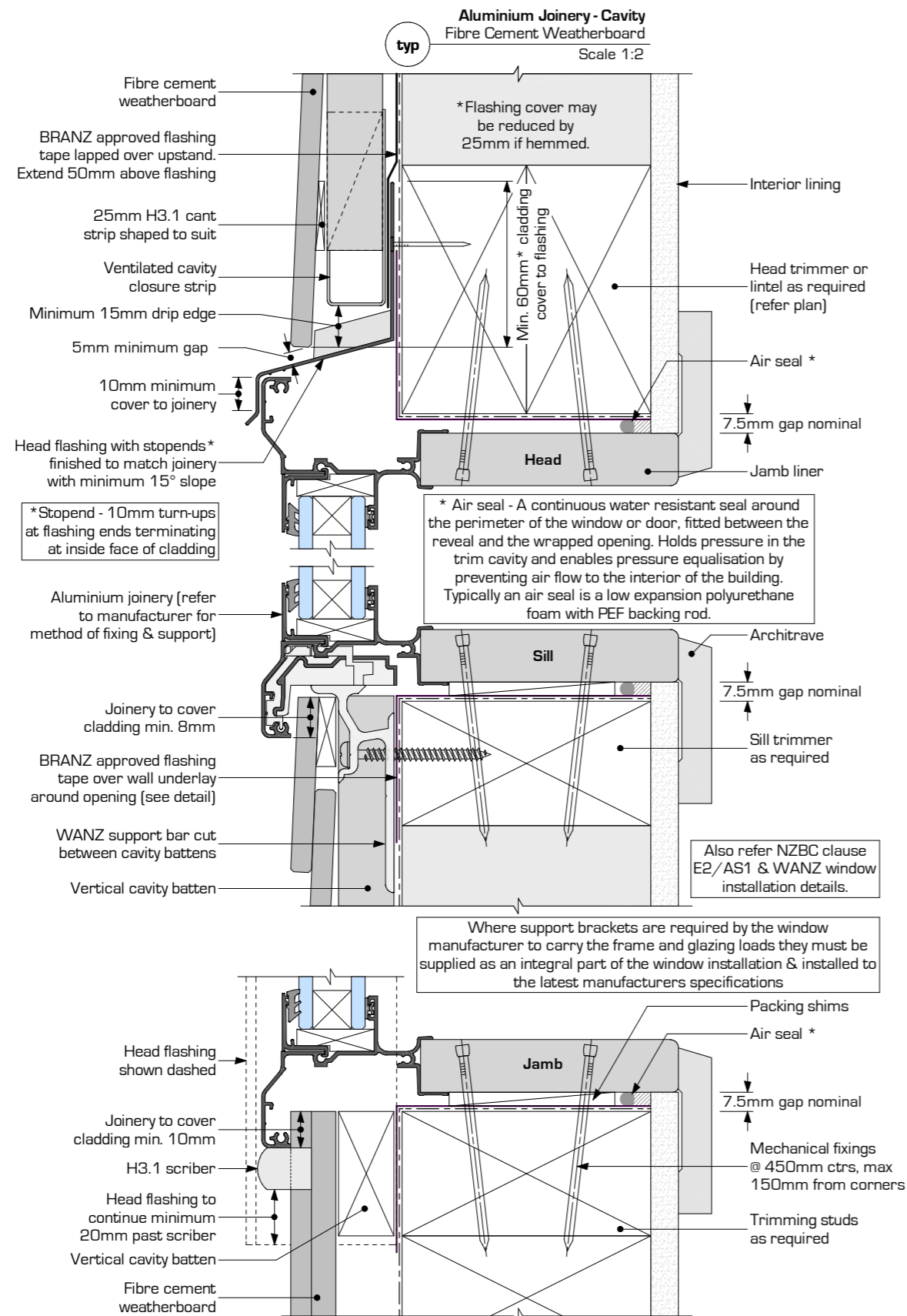


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WET AREA GENERAL NOTES

As the edge profiles of showers and baths can vary significantly between manufacturers, these details are intended only as a guide.

Attention should be paid to ensure:

- Sufficient sealant to effect a waterproof barrier has been used
- The sealant has been applied in a manner that does not permit water ingress

Note: The gap between the front face of the shower/bath upstand and the front face of the compressed sheet / GIB Aqualine should be 1-4mm. This may require checking shower tray or bath into framing. Silicone sealants must be of the mould inhibiting type such as GIB® Aquaseal type and must be compatible with shower/bath surfaces and the impervious lining.

SURFACE FINISHING

Wet areas such as bathrooms, toilets, laundries and kitchens etc fall into two categories:

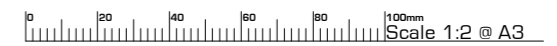
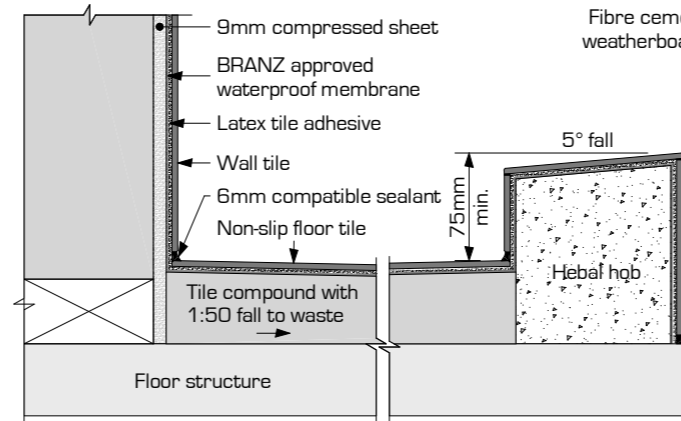
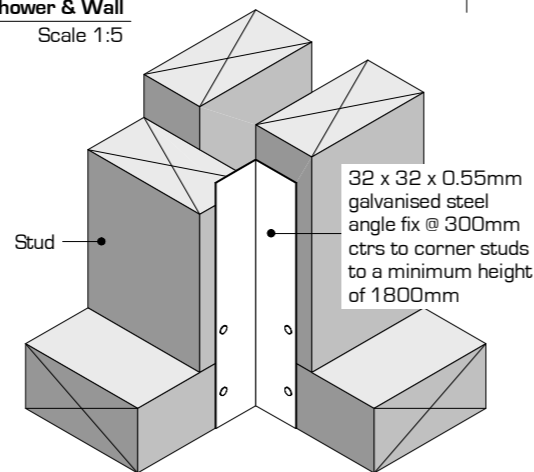
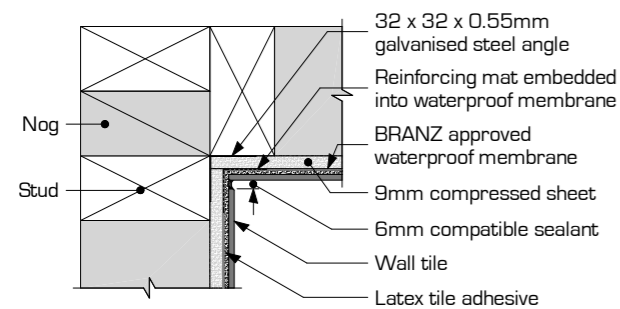
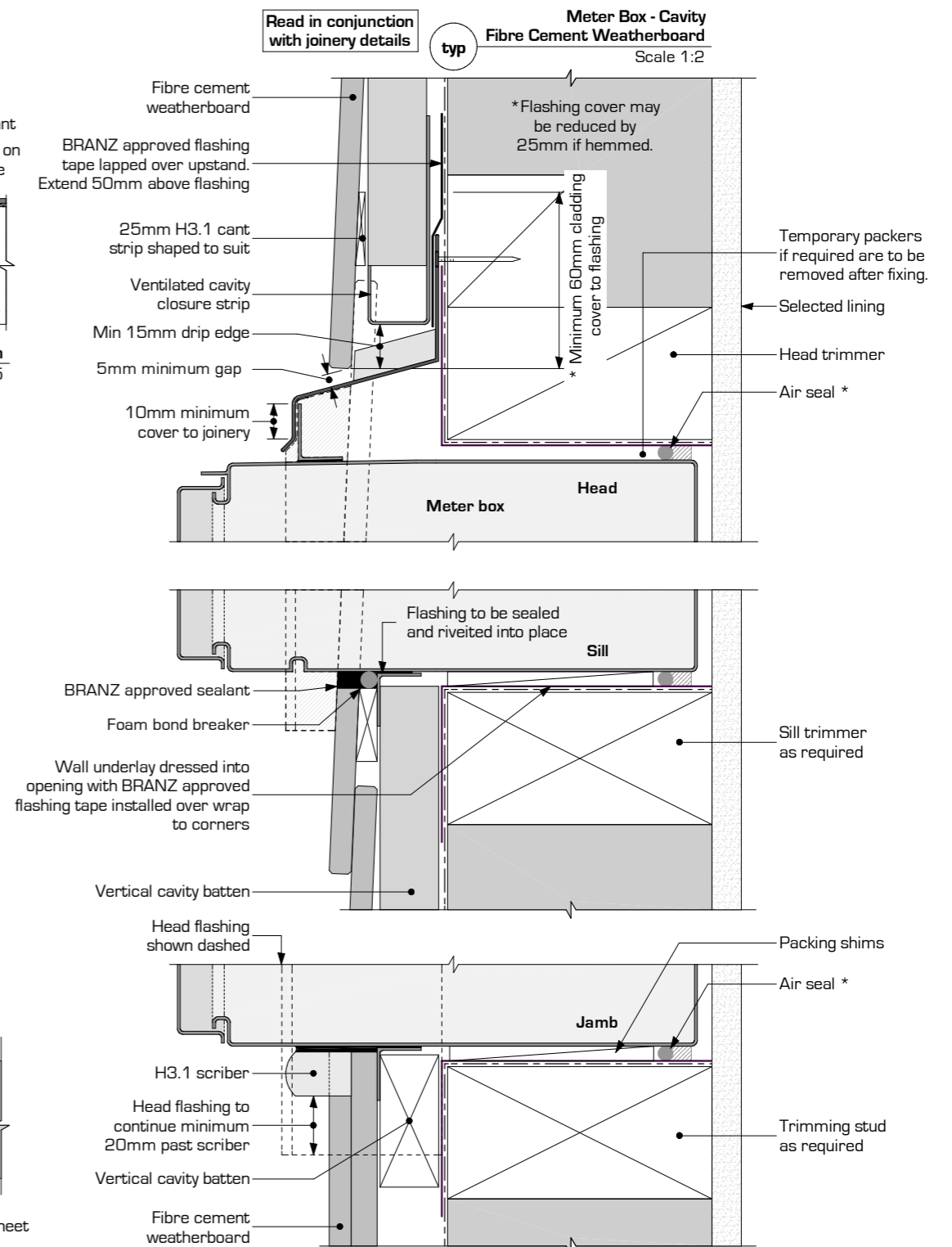
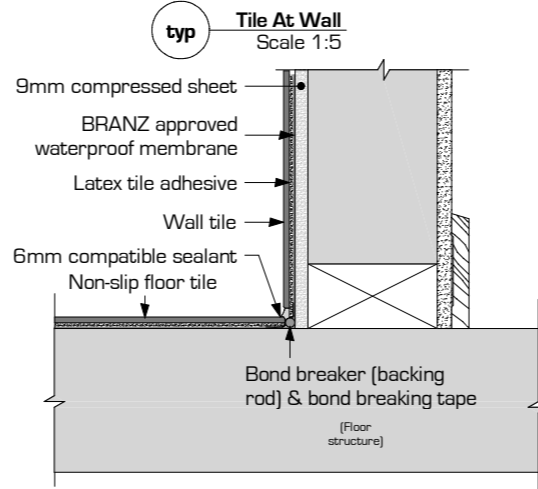
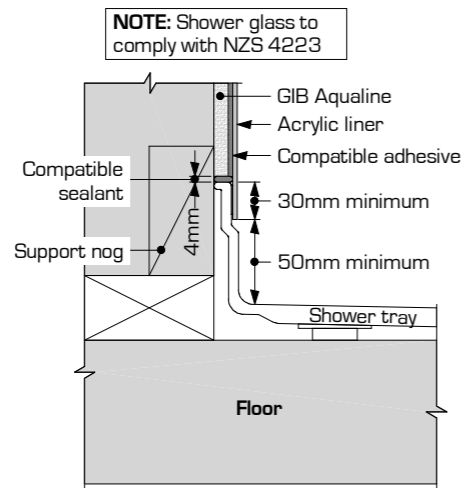
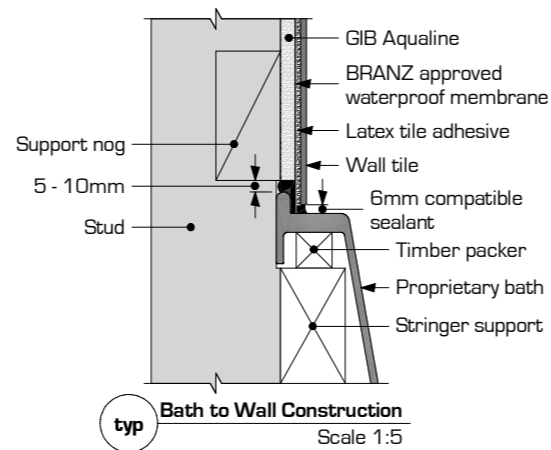
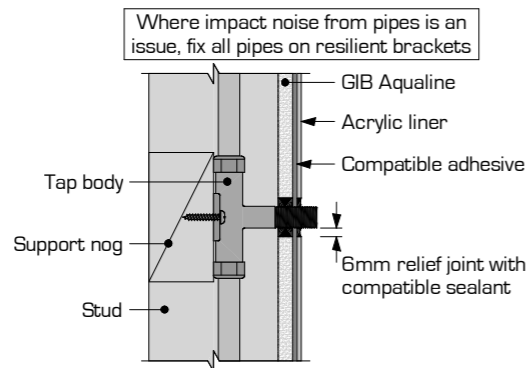
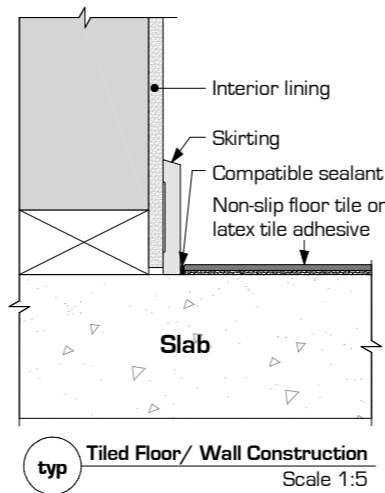
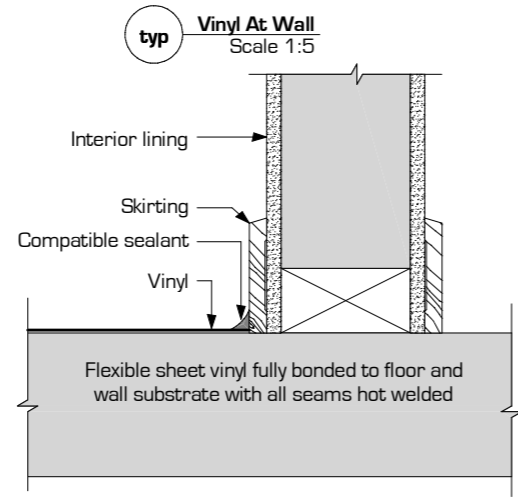
- 1) Water splash areas:** Areas subject to intermittent splash of water around sanitary fittings and appliances such as baths, vanities, laundry tubs, sinks, etc. These areas are required to have an impervious, easily cleaned surface. Sheet linings must be finished with vinyl coated wallpaper or 1/coat GIB® Sealer + 2/coats gloss or semi gloss enamel or acrylic enamel paint.
- 2) Shower enclosures:** Areas subject to more frequent, larger quantities of water, and include shower enclosures and shower over bath areas. The NZBC E3/AS1 requires these areas to be impervious, and specifically excludes any paint and wallpaper finishes. Where ceramic tile or stone finishes are applied, E3/AS1 requires that they "shall be laid on a continuous impervious substrate or membrane".

Floor surfaces: Slip resistance to wet area floors shall have a mean coefficient of friction μ , of not less than 0.4 when tested in accordance with AS/NZS 3661.1. Refer D1/AS1 Table 2

Ongoing maintenance of wet areas is also important to maximise the life of the wet area.

TILE WATER PROOFING

Aqua Blok permanently flexible undertile water proofing system - Work to be carried out by an Aqua Blok approved applicator. Applicator to provide a producer statement of work upon completion.



JULIAN & SARAH TRINDER
562d WAIMATE NORTH ROAD, KERIKERI

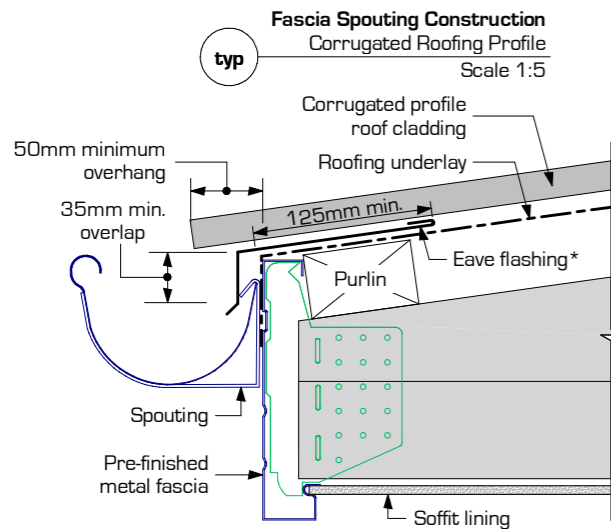
NZB-140 Altered
CONSTRUCTION DETAILS

A13



To the best of our knowledge these plans comply with the owners and/or builders specifications. Any changes will be made at the owners and/or builders expense and responsibility. The contractor shall verify all dimensions and enclosed drawings prior to construction and be solely responsible thereafter. The designer is not liable for errors once construction has begun. While every effort has been made in the preparation of this plan the maker can not guarantee against human error.

Project: N899 Date: 19/07/2024 Designer: T.Rex Phone: (09) 430 3065



*[Eave Flashing required if roof pitch is less than 10° and the fascia is 100mm or less from cladding and the wind zone is Very High or Extra high]

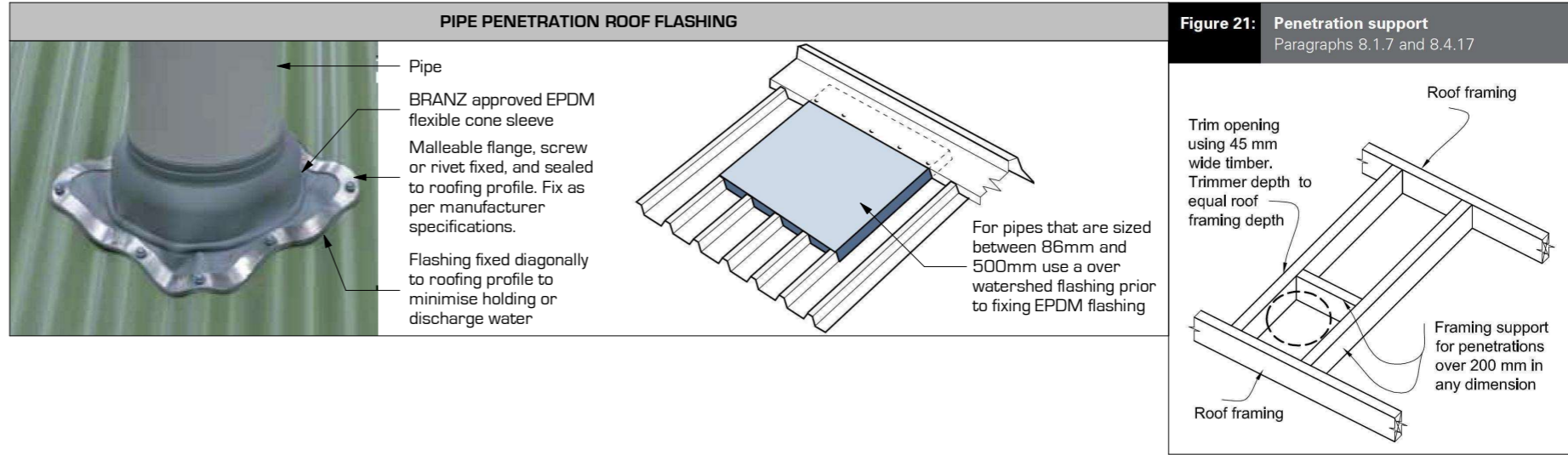
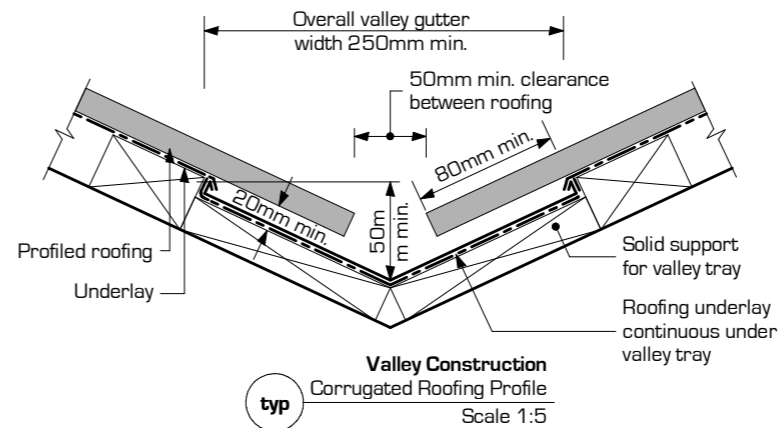
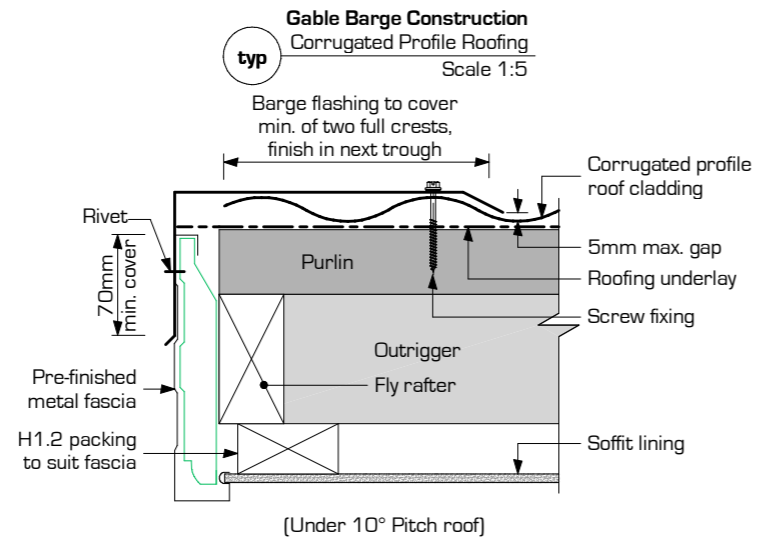
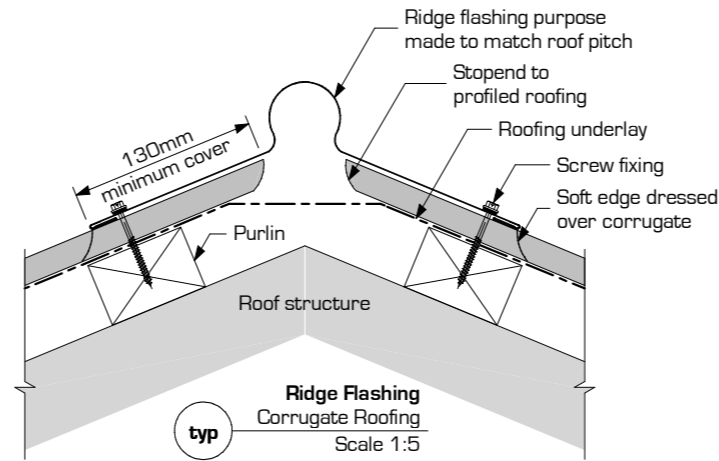


Figure 21: Penetration support
Paragraphs 8.1.7 and 8.4.17

Table 4: Tempering Valve and Nominal Pipe Diameters
Paragraphs 5.3.1 and 6.12.1

	Low pressure (i.e. header tank supply or low pressure)	Low and medium pressure unvented (valve vented) and open vented	Mains pressure
Pressure of water at tempering valve (kPa)	20 – 30	30 – 120	over 300
Metres head (m)	2 – 3	>3 – 12	over 30
Minimum tempering valve size	25 mm	20 mm	15 mm
Pipes to tempering valve	25 mm (see Note 3)	20 mm	20 mm (15 mm optional) (see Note 1)
Pipes to shower	20 mm	20 mm (see Note 4)	20 mm (see Note 5) (15 mm optional) (see Note 1)
Pipes to sink/laundry (see Note 2)	20 mm	20 mm	15 mm
Pipes to bath (see Note 2)	20 mm	20 mm	15 mm
Pipes to basins (see Note 2)	15 mm	15 mm	10 mm

Notes:

1. If supplied by separate pipe from *storage water heater* to a single outlet.
2. This table is based on maximum pipe lengths of 20 metres.
3. 2 m maximum length from *water heater* outlet to tempering valve.
4. 15 mm if dedicated line to shower.
5. 10 mm if dedicated line to shower.
6. Table 3 pipe sizes have been calculated to deliver water simultaneously to the kitchen sink and one other *fixture*.

Table 3: Acceptable Flow Rates to Sanitary Fixtures
Paragraph 5.3.1

Sanitary fixture	Flow rate and temperature l/s and °C	How measured
Bath	0.3 at 45°C	Mix hot and cold water to achieve 45°C
Sink	0.2 at 60°C* (hot) and 0.2 (cold)	Flow rates required at both hot and cold taps but not simultaneously
Laundry tub	0.2 at 60°C* (hot) and 0.2 (cold)	Flow rates required at both hot and cold taps but not simultaneously
Basin	0.1 at 45°C	Mix hot and cold water to achieve 45°C
Shower	0.1 at 42°C	Mix hot and cold water to achieve 42°C

* The temperatures in this table relate to the temperature of the water used by people in the daily use of the *fixture*.

Note:

The flow rates required by Table 3 shall be capable of being delivered simultaneously to the kitchen sink and one other *fixture*.

H1 ENERGY EFFICIENCY - HOT WATER SYSTEMS
(Additional to the requirements of NZBC G12)

Hot water systems complying with NZS 4305 satisfy the requirements of NZBC H1.3.4. NZS 4305 prescribes a smaller nominal diameter pipe size for distribution to kitchen sinks than that of NZBC G12. As such NZS 4305 shall take precedence.

Kitchen sink pipe run:

NZS4305: 3.2.1 - in a Household unit, the developed length of the pipe run from the water heater to the kitchen sink outlet shall be minimized. Table 5 provides acceptable maximum pipe lengths. Where the pipe supplying the kitchen sink unit is composed of sections of different diameters, the total volume of water in the pipe run shall not exceed 2 litres.

Table 5
Acceptable maximum pipe lengths (Kitchen)

Nominal Pipe size (mm)	10	15	20
Length (m)	25	12	7

Distribution pipes:

Hot water distribution pipes shall be thermally insulated as per NZS4305: 3.7 with closed cell polymer insulation of nominal 12mm thickness

CYLINDER & REGULATOR INSTALLATION

Cylinder support:

Cylinders shall be installed on supporting bases that are firm, level, of non-combustible material, and with a finished surface that is drained and at least 50mm above the surrounding surface. Soil is not considered an acceptable supporting base. All cylinders larger than 25L capacity shall be securely held in place by chains and brackets. The brackets shall be fastened to a wall or similar robust anchorage. The cylinders fastenings must be capable of withstanding a steady applied load equal to four times the weight of the filled cylinder. Cylinders shall not be supported by other cylinders.

Cylinder clearances:

Cylinders should be installed with clearances complying with **Figures F1 & F2** and at least 1 meter from any readily ignitable material. Ready ignitable materials include paper, dry grass or oily substances.

1000mm from door, drain or air vent,
1500mm from any point of ignition, 150mm for exchange cylinders or 500mm for In situ cylinders from any opening window.

Regulators:

First and second stage regulators should be located outside buildings, except where an indoor location is permitted by AS/NZS 1596.

First stage regulators should be:

- Rigidly fixed to an adequate support independent of the cylinder and mounted with the diaphragm vertical or horizontal and the vent pointing vertically downwards;
- Connected to the cylinder by pipe-work or pigtailed in accordance with AS/NZS 5601.1:2013.
- Protected from the entry and accumulation of water (eg. sprinkler water, rainwater etc) and other foreign matter.
- The minimum height of the first stage regulator above the cylinder valves should be 75mm.

Test points:

A pressure test point should be installed immediately downstream of each stage regulator. Such test points may be an integral part of the regulator.

First stage regulators:

- First stage regulators to be checked for correct accordance with the manufacturers recommendations, or in the absence of any recommendation of atleast every ten years.
- The condensate trap to be drained by removing the drain plug provided at intervals not exceeding two years, and at every visit to the gas fitter.

Second stage regulators:

- To be checked for correct operation in accordance with the manufacturers recommendations, or in the absence of any recommendation, at least every ten years. The rubber diaphragm and rubber seat must be inspected for deterioration and replaced if necessary.

Cylinder maintenance:

Cylinders should not be filled unless they have been tested and certified within the last ten years.

Figure F1 - Minimum clearance to ignition sources(mm)

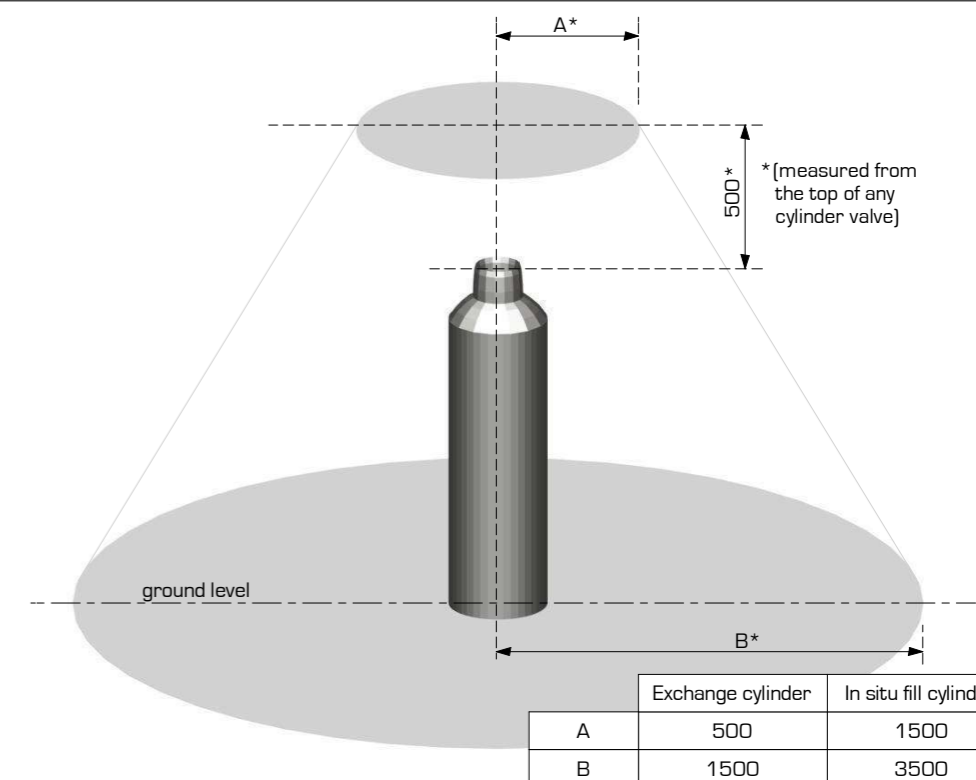
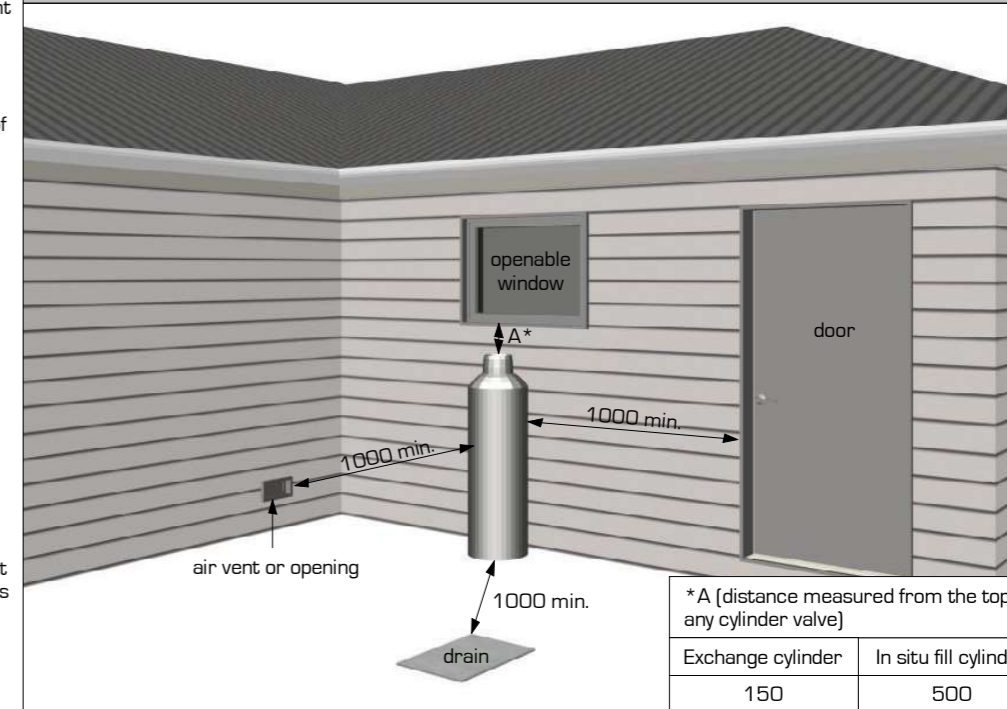


Figure F2 - Minimum clearance to drain or openings into a building(mm)



JULIAN & SARAH TRINDER

NZB-140 Altered

A15

562d WAIMATE NORTH ROAD, KERIKERI

G12/GAS NOTES



LATITUDE HOMES

To the best of our knowledge these plans comply with the owners and or builders specifications. Any changes will be made at the owners and or builders expense and responsibility. The contractor shall verify all dimensions and enclosed drawings prior to construction and be solely responsible thereafter. The designer is not liable for errors once construction has begun. While every effort has been made in the preparation of this plan the maker can not guarantee against human error.

Project: N899

Date: 19/07/2024

Designer: T.Rex

Phone: (09) 430 3065



Far North
District Council

FAR NORTH DISTRICT COUNCIL

**FAR NORTH OPERATIVE DISTRICT PLAN
DECISION ON RESOURCE CONSENT APPLICATION (LANDUSE)**

Resource Consent Number: 2300410-RMALUC

Pursuant to section 104 B of the Resource Management Act 1991 (the Act), the Far North District Council hereby grants resource consent to:

Julian Miles Trinder and Sarah Ann Trinder

The activities to which this decision relates:

**Decision A)
Hearing Waiver.**

Decision B)

Landuse Consent to relocate the existing residence on site and build a new dwelling in the Rural Production Zone. Consent is required as a Discretionary Activity pursuant to Rules 8.6.5.3.6 Residential Intensity, 12.4.6.1.2 Fire Risk to Residential Units and 15.1.6C.1.1(d) Private Accessway in All Zones.

Subject Site Details

Address: 562D Waimate North Road, Kerikeri 0293
Legal Description: Lot 2 DP 467790
Certificate of Title reference: CT-626672

Decision A: Hearing Waiver

Pursuant to section 100 of the Resource Management Act 1991 (the Act), the Far North District Council waives the requirement to hold a hearing for the following reasons:

1. There were four parties notified under the Limited Notification process. One submitter provided a submission through the notification process. The submitter did not wish to be heard.
2. The submission stated they would like ROW D to be upgraded to a 5-metre width. Conditions imposed under Decision B address the concerns raised by the submitter.
3. The applicants are agreeable to the conditions within Decision B and have waived their requirement for a hearing.

4. The effects of the proposal are considered to be no more than minor with the imposition of the agreed conditions of consent;
5. Therefore, it is considered that a hearing is not necessary.

Decision B:

Pursuant to Section 108 of the Act, this consent is issued subject to the following conditions:

1. The activity shall be carried out in accordance with the approved plans prepared by Absolute Build, referenced 2020251, dated May 2020, and attached to this consent with the Council's "Approved Stamp" affixed to them.
2. Prior to the issue of building consent the Consent Holder must submit plans and details of all works for the approval of Far North District Council. Such works are to be designed in accordance with Far North District Council: Engineering Standards & Guidelines 2004 – Revised 2009 and NZS 4404:2010 to the approval of the Development Engineering Officer or their delegated representative.

In particular the plans shall show:

- (a) Formed and metalled access on ROW easement D to serve the relocated dwelling in its new location, to 5-metre finished metalled carriageway width. The formation is to consist of a minimum of 200mm of compacted hard fill plus a GAP 30 or GAP 40 running course and is to include water table drains and culverts as required to direct and control stormwater runoff.
3. Upgrade ROW D in accordance with the approved plans within 6 months of the relocation of the existing residence on site.

Advice Notes

1. Archaeological sites are protected pursuant to the Heritage New Zealand Pouhere Taonga Act 2014. It is an offence, pursuant to the Act, to modify, damage or destroy an archaeological site without an archaeological authority issued pursuant to that Act. Should any site be inadvertently uncovered, the procedure is that work should cease, with the Trust and local iwi consulted immediately. The New Zealand Police should also be consulted if the discovery includes koiwi (human remains). A copy of Heritage New Zealand's Archaeological Discovery Protocol (ADP) is attached for your information. This should be made available to all person(s) working on site.
2. During the assessment of your application it was noted that a private Land Covenant exists on your property. Council does not enforce private land covenants, and this does not affect Council approving your plans. However, you may wish to get independent legal advice, as despite having a resource consent from Council, the private land covenant can be enforced by those parties specified in the covenant.
3. The property owner is responsible for the repair and reinstatement of the right of way carriageway, if damaged as a result of the site works and building operations.

4. Upon construction of any habitable dwelling, sufficient water supply for firefighting purposes is to be provided by way of tank storage, and that this water supply be accessible by firefighting appliances in accordance with the 'NZFS Fire Fighting Code of Practice SNZ PAS 4509:2008'. Storage requirements to be in accordance with conditions included in the written approval from Fire and Emergency New Zealand dated 3 February 2021.

Reasons for the Decision

- a) The Council has determined (by way of an earlier report and resolution) that the application should be limited notified with the following summarising the Section 95 assessment:

- The application proposes a level of development consistent with the character of the immediately surrounding environment.
- The dwellings are setback a minimum of 10 metres from the ROW and are separated a distance of approximately 200 metres and as such the application will not create a dominant development when viewed from adjoining properties and users of the ROW.
- The existing, relocated dwelling, will be largely screened in all directions due to existing vegetation and the contour of the site.
- The proposed new dwelling will be partially viewed from the localised environment, however the design of the dwelling is consistent with that in the surrounding environment, the exterior colours of the building are recessive in nature and the building complies with all bulk and location requirements in the Rural Production Zone.
- The application has been assessed by Council's consultant engineer Henk de Wet and Nick Marshall of the Northland Transport Alliance. This assessment has determined that the effects on the transport network and road safety are less than minor.
- The application proposes access via an existing Right of Way which serves more than 8 household equivalents. The access will not be vested in Council or developed to a public road standard. As such the application provides additional traffic over and above what the current users experience and beyond what the District Plan has provided for. As such, it is considered that the effects on the users of the ROW have the potential to be more than minor.

There are no affected customary rights group or customary marine title group

- b) There were four parties notified under the Limited Notification process. One submitter provided a submission through the notification process. The submitter did not wish to be heard. The submission stated they would like ROW D to be upgraded to a 5-metre width. The submitter raised concerns particularly in regards to the use of the ROW by logging trucks and the health and safety effects of this.
- c) The applicant has agreed to a condition of consent requiring Right of Way D to be upgraded to a 5-metre width. As such the condition of consent addresses the

concerns raised by the submitter. Overall, it is considered that the effects of the application are less than minor.

1. District Plan Rules Affected:

Rule # & Name	Non Compliance Aspect	Activity Status
8.6.5.3.6 Residential Intensity	The application proposed one residential unit per 8.5ha which exceeds the permitted standard of one dwelling per 12ha.	Restricted Discretionary
Rule 12.4.6.1.2 Fire Risk to Residential Units	The application proposes the construction of a residential unit within 20 metres of the drip line of any trees in a naturally occurring or deliberately planted area of scrub or shrubland, woodlot or forest.	Discretionary
Rule 15.1.6C.1.1(d) Private Accessway in All Zones.	The application proposes access via an existing Right of Way which serves more than 8 household equivalents. The access will not be vested in Council or developed to a public road standard.	Discretionary

Adverse effects will be minor:

It is considered the relevant and potential effects have been addressed within the assessment of effects above, and it has been concluded that the adverse effects will be less than minor subject to the conditions of consent.

Positive and potential effects of the proposal:

Under s104(1)(a) the positive and potential effects of the proposal are:

It is considered the relevant and potential effects have been addressed within the assessment of effects above, and it has been concluded that the adverse effects will be less than minor.

- a) Overall, taking into consideration the existing character of the site and wider area, it is considered that the character and amenity effects on the wider environment are no more than minor;
- b) Landscape and visual effects of the proposal will be less than minor due to the location and design of the dwellings and screening provided by existing covenanted vegetation.
- c) The proposal will not result in any adverse social, economic or cultural effects;
- d) The proposal enables the sustainable use of natural and physical resources, as the proposed development is located outside the covenanted area that has protected flora or fauna;
- e) Any adverse effects arising from the development and servicing of the site will be avoided, remedied or mitigated by adherence to the proposed conditions of consent, consent notices and ensuring compliance with Council Engineering Standards and Guidelines.

- f) Subject to conditions of consent requiring ROW D to be upgraded to 5 metres it is considered that the access effects of the application are less than minor.

Positive effects of the proposal:

- a. The application seeks to provide for an additional dwelling to allow people to provide for their social and economic wellbeing.

Objectives and policies of the District Plan:

Chapter 8 – Rural Production Zone

The following objectives and policies of the District Plan have been considered:

8.3.1 *To promote the sustainable management of natural and physical resources of the rural environment.*

8.3.2 *To ensure that the life supporting capacity of soils is not compromised by inappropriate subdivision, use or development.*

8.3.3 *To avoid, remedy or mitigate the adverse and cumulative effects of activities on the rural environment.*

8.3.4 *To protect areas of significant indigenous vegetation and significant habitats of indigenous fauna.*

8.3.5 *To protect outstanding natural features and landscapes.*

8.3.6 *To avoid actual and potential conflicts between land use activities in the rural environment.*

8.3.7 *To promote the maintenance and enhancement of amenity values of the rural environment to a level that is consistent with the productive intent of the zone.*

8.3.9 *To enable rural production activities to be undertaken in the rural environment.*

8.3.10 *To enable the activities compatible with the amenity values of rural areas and rural production activities to establish in the rural environment.*

8.4.2 *That activities be allowed to establish within the rural environment to the extent that any adverse effects of these activities are able to be avoided, remedied or mitigated and as a result the life supporting capacity of soils and ecosystems is safeguarded and rural productive activities are able to continue.*

8.4.5 *That plan provisions encourage the avoidance of adverse effects from incompatible land uses, particularly new developments adversely affecting existing land-uses (including by constraining the existing land-uses on account of sensitivity by the new use to adverse affects from the existing use – i.e. reverse sensitivity).*

8.4.7 *That Plan provisions encourage the efficient use and development of natural and physical resources, including consideration of demands upon infrastructure.*

8.4.8 *That, when considering subdivision, use and development in the rural environment, the Council will have particular regard to ensuring that its intensity, scale and type is controlled to ensure that adverse effects on habitats (including freshwater habitats), outstanding natural features and landscapes on the amenity value of the rural environment, and where appropriate on natural character of the coastal environment, are avoided, remedied or mitigated. Consideration will further be given to the functional need for the activity to be within rural environment and the potential cumulative effects of non-farming activities.*

Comments:

Overall, the relevant objectives and policies seek to protect the values of rurally zoned land particularly those associated with the life supporting capacity of soils,

natural features and landscapes and amenity. They seek to prevent reverse sensitivity by ensuring land use activities are compatible with the rural environment.

The application seeks to provide further development in the Rural Production Zone and as such the activity itself does not achieve direct alignment with the objectives and policies and the outcomes they seek to achieve.

However, Policy 8.4.5 in particular addresses incompatible uses, referring to new developments which adversely affect existing land-uses. In this instance the application proposes the construction of one additional dwelling. The dwelling is to be located a significant distance from the covenanted area of the site and as such will not impact the protection of this vegetation. The additional dwelling will not affect the current land use of the site being a rural lifestyle block. As such it is considered that the use is compatible with the receiving and wider environment. As such it is considered the reverse sensitivity effects resulting from the proposal are less than minor.

Policy 8.4.8 requires Council to have particular regard to development activities, ensuring that the intensity, scale and type is controlled to ensure that adverse effects on habitats, outstanding natural features, landscapes and the amenity value of the rural environment are avoided, remedied or mitigated. Consideration is also required to be given to the functional need for the activity to be within the rural environment and the potential cumulative effects of non-farming activities.

In this instance the area of the site recognised for having significant habitats is protected and no changes to this area are proposed. As the majority of the site is protected and consent notice conditions restrict any grazing in the area, the majority of this site is unable to be used for farming. The addition of one additional residential unit and the continued use of the site for lifestyle purposes is considered compatible with the site and wider area.

Overall, on balance, the proposal is not considered contrary to the relevant objectives and policies of the District Plan.

Chapter 15- Transportation

Objective 15.1.3.1- To minimise the adverse effects of traffic on the natural and physical environment.

Objective 15.1.3.5 - To promote safe and efficient movement and circulation of vehicular, cycle and pedestrian traffic, including for those with disabilities.

Policy 15.1.4.1 - That the traffic effects of activities be evaluated in making decisions on resource consent applications.

Policy 15.1.4.7 -That the needs and effects of cycle and pedestrian traffic be taken into account in assessing development proposals.

Comments:

Overall, the relevant objectives and policies seek to provide for the safe and efficient functioning of the road network. Emphasis is placed on both pedestrian, cycle and vehicle safety. Overall it is considered that the additional dwelling will have less than minor effects on the road network. While the application proposes a lesser right of way standard this has been assessed by Council's Resource Consent Engineer and the Northland Transport Alliance as having less than minor effects on traffic safety and the road network. As such it is considered the proposal is not considered contrary to the relevant objectives and policies of the District Plan.

2. In accordance with an assessment under s104(1)(b) of the RMA the proposal is consistent with the relevant statutory documents.
- a) The Northland Regional Policy Statement 2018
 - b) Northland Regional Plan 2019
 - c) New Zealand Coastal Policy Statement 2010
 - d) National Environmental Standards (Air/ NESCS/ Forestry etc)

No other non – statutory documents were considered relevant in making this decision.

3. No other matters were considered in relevant in making this decision.

4. Part 2 Matters

The Council has taken into account the purpose & principles outlined in sections 5, 6, 7 & 8 of the Act. It is considered that granting this resource consent application achieves the purpose of the Act.

5. In summary it is considered that the activity is consistent with the sustainable management purpose of the RMA.

Approval

This resource consent has been prepared by Elisha Oldridge (Consultant Planner) and is approved for submission to commissioner by:



Pat Killalea, Principal Planner

Date: 21/10/2021

Approval

This resource consent is granted under delegated authority (pursuant to section 34A of the Resource Management Act 1991) from the Far North District Council by:



Name: William (Bill) Smith, Independent Hearings Commissioner

Date: 22 October 2021

Right of Objection

If you are dissatisfied with the decision or any part of it, you have the right (pursuant to section 357A of the Act) to object to the decision. The objection must be in writing, stating reasons for the objection and must be received by Council within 15 working days of the receipt of this decision.

Lapsing of Consent

Pursuant to section 125 of the Act, this resource consent will lapse 5 years after the date of commencement of consent unless, before the consent lapses;

The consent is given effect to; or

An application is made to the Council to extend the period of consent, and the council decides to grant an extension after taking into account the statutory considerations, set out in section 125(1)(b) of the Act.



FLOOR AREAS

Proposed Relocated House:	99.0m ²
Proposed Residence Ground Floor:	263.9m ²
Proposed Residence Upper Floor:	74.8m ²
Total Residence Floor Area:	338.7m ²

BUILDING COVERAGE


Site Area:	17.0810Ha (170810m ²)
Proposed Relocated House:	99.0m ²
Proposed Residence:	267.0m ²
Total:	366.0m² (0.3%)

STORMWATER MANAGEMENT

Site Area:	17.0810Ha (170810m ²)
Proposed Relocated House to eaves:	18.0m ²
Proposed Metal Driveway:	135.0m ²
Proposed Residence to eaves:	365.0m ²
Existing Metal Driveway:	102.0m ²
Proposed Concrete Patio/Driveway:	106.0m ²
Water Tanks x 5 (-20m ²):	28.0m ²
Total:	854.0m² (0.5%)

APPROVED PLAN

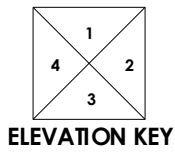
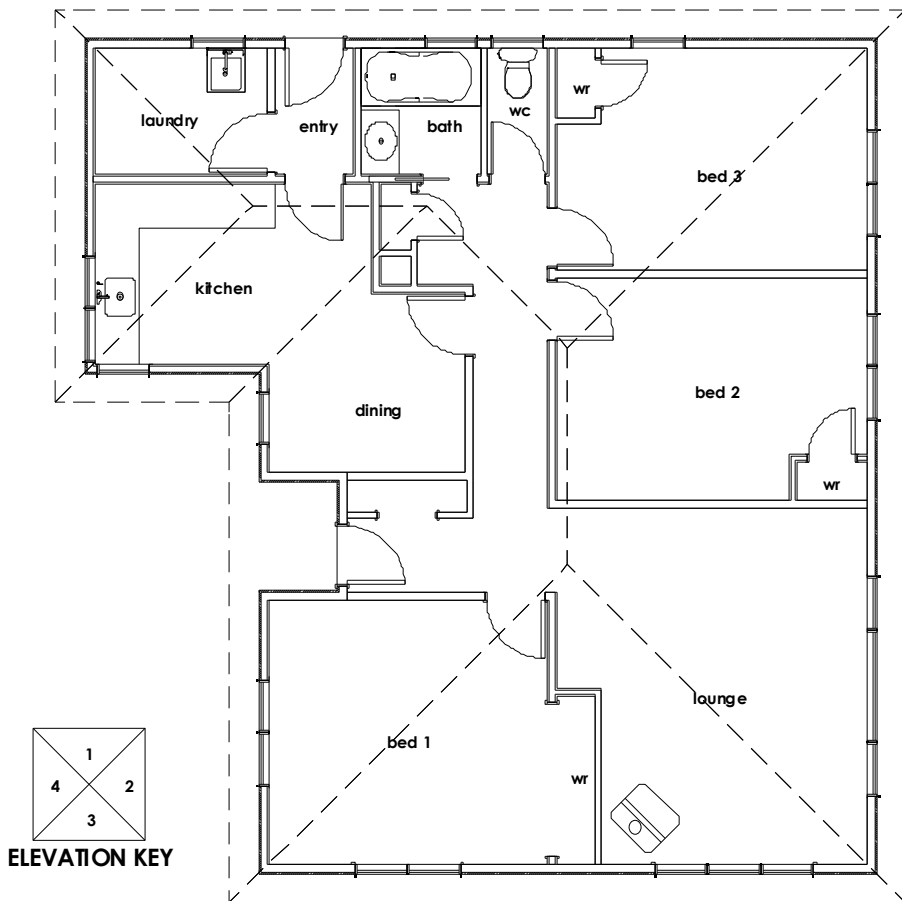
Planner: pkillalea
RC: 2300410
Date: 27/10/2021



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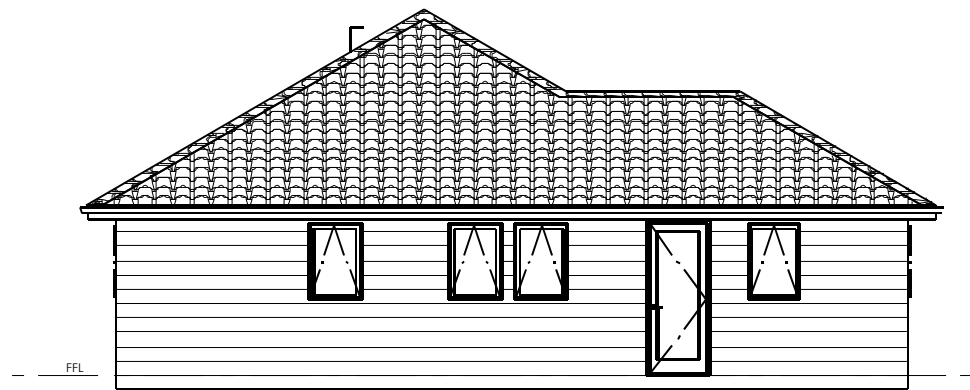
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Client	Julian and Sarah Trinder	
Drawing	Overall Site Plan	
Rev. No.	Description	Date
Designed	N Todd	Job No. 2020251
Drawn	N Todd	Drawing Number
Date	May 2020	1
Scale: 1:1000 @ A1	Revision	OF 8
1:2000 @ A3		

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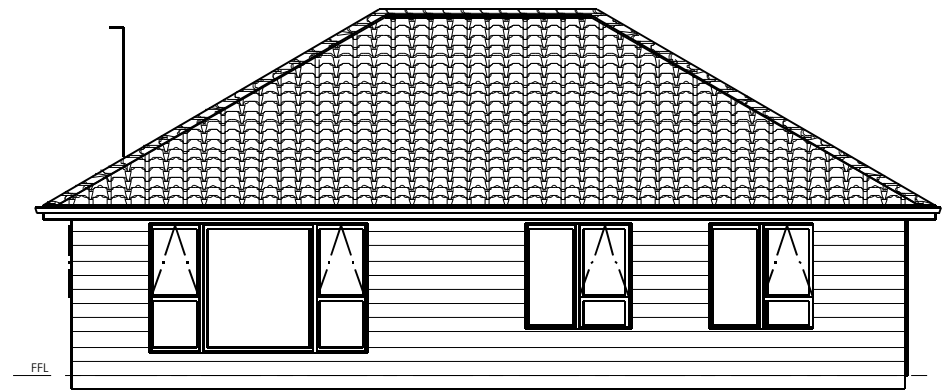


Relocated Residence Existing Floor Plan - Scale 1:50

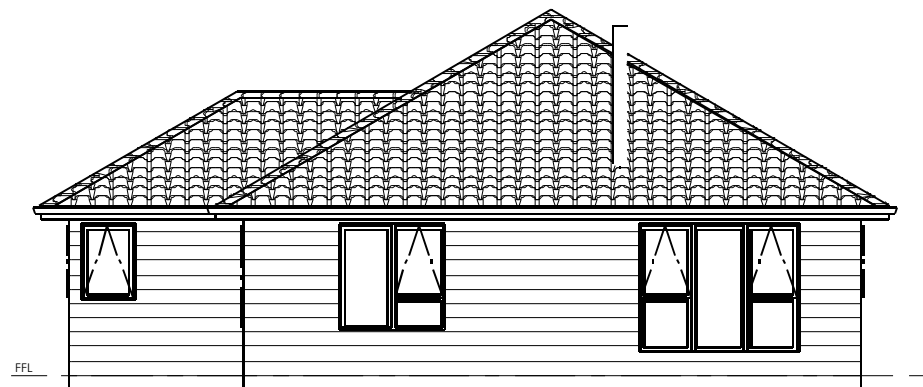
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Planner: pkillalea
RC: 2300410
Date: 27/10/2021



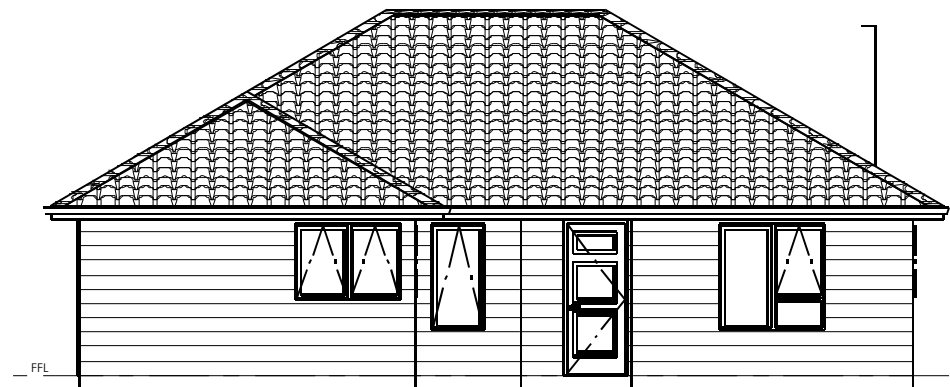
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 Scale 1:50



Relocated Residence Existing Elevation 2
 Scale 1:50



Relocated Residence Existing Elevation 3
 Scale 1:50



Relocated Residence Existing Elevation 4
 Scale 1:50

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Job
 Proposed House Relocation and New Residence at 562D Waimate North Road, Kerikeri

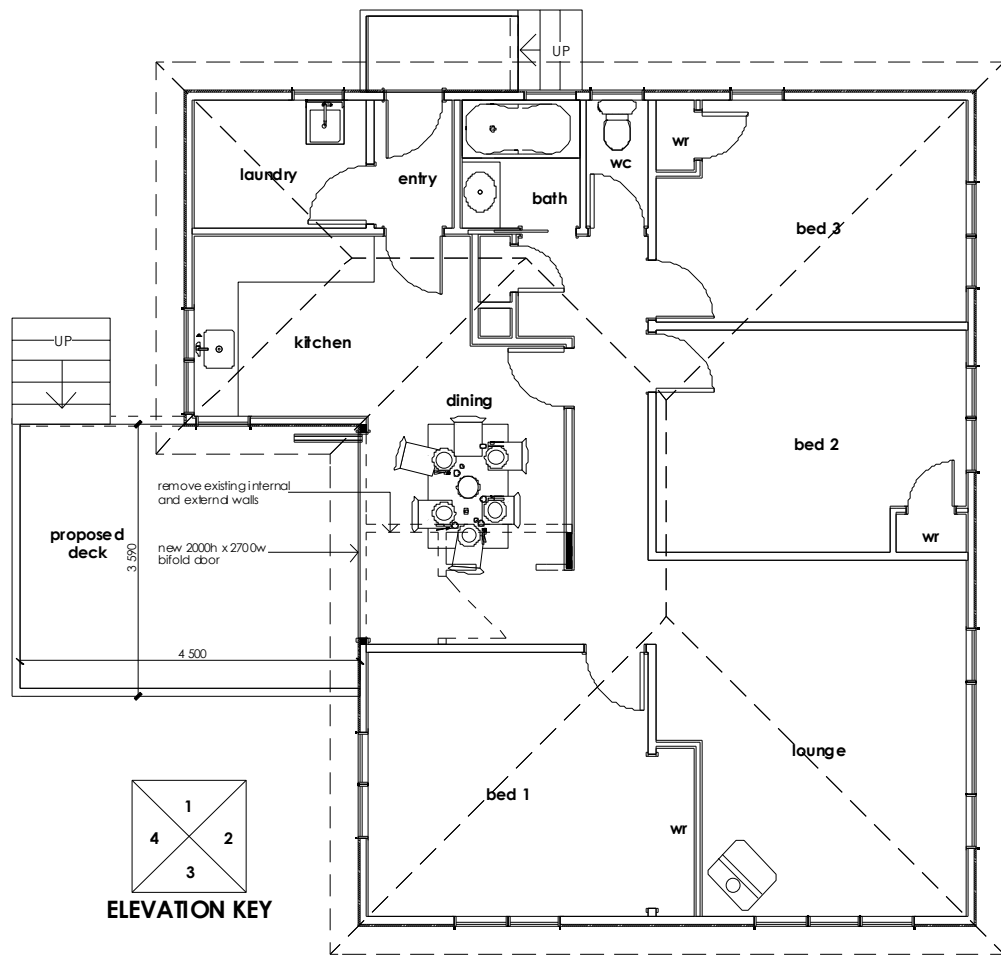
Client
 Julian and Sarah Trinder

Drawing
 Floor Plan and Elevations Residence to be Relocated

Rev. No.	Description	Date

Designed N Todd	Job No. 2020251
Drawn N Todd	Drawing Number 3
Date May 2020	
Scale 1:50@A1 1:100@A3	Revision

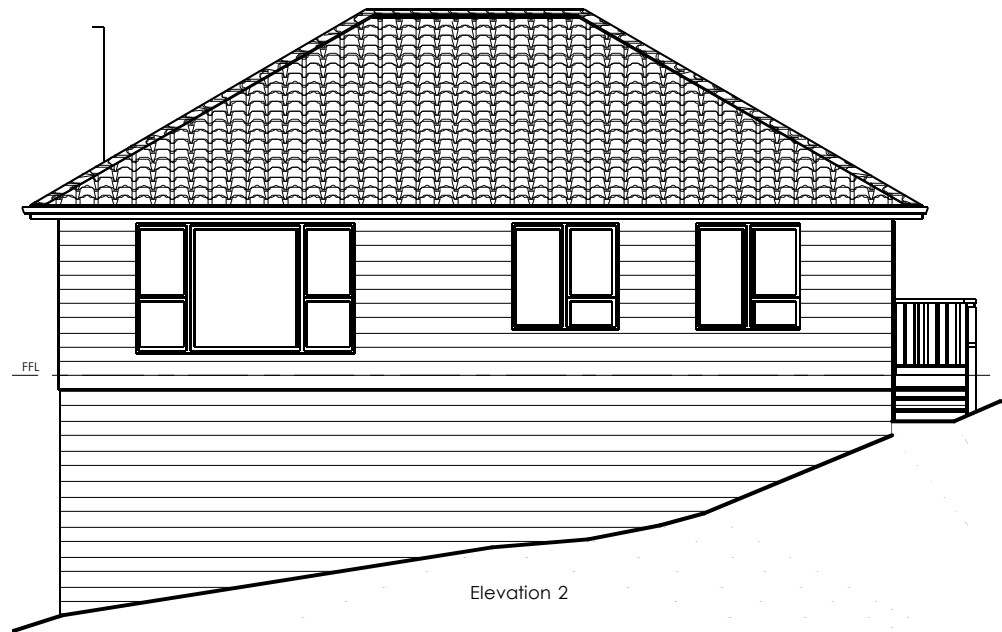
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Relocated Residence Proposed Floor Plan - Scale 1:50



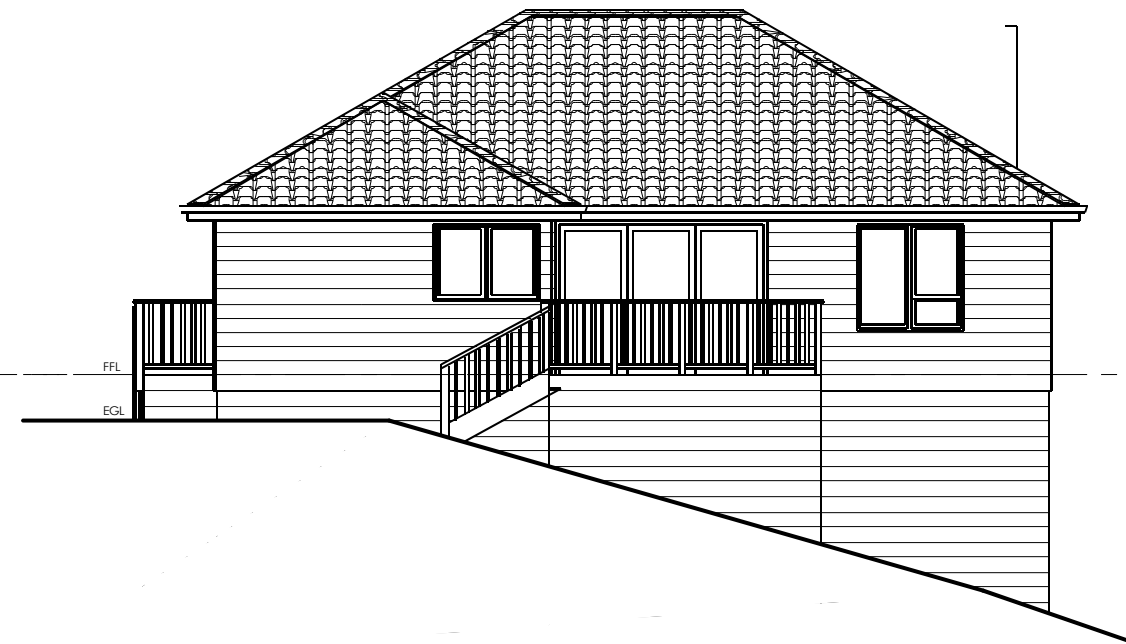
Elevation 1



Elevation 2



Elevation 3



Elevation 4

APPROVED PLAN
Planner: pkillalea
RC: 2300410
Date: 27/10/2021



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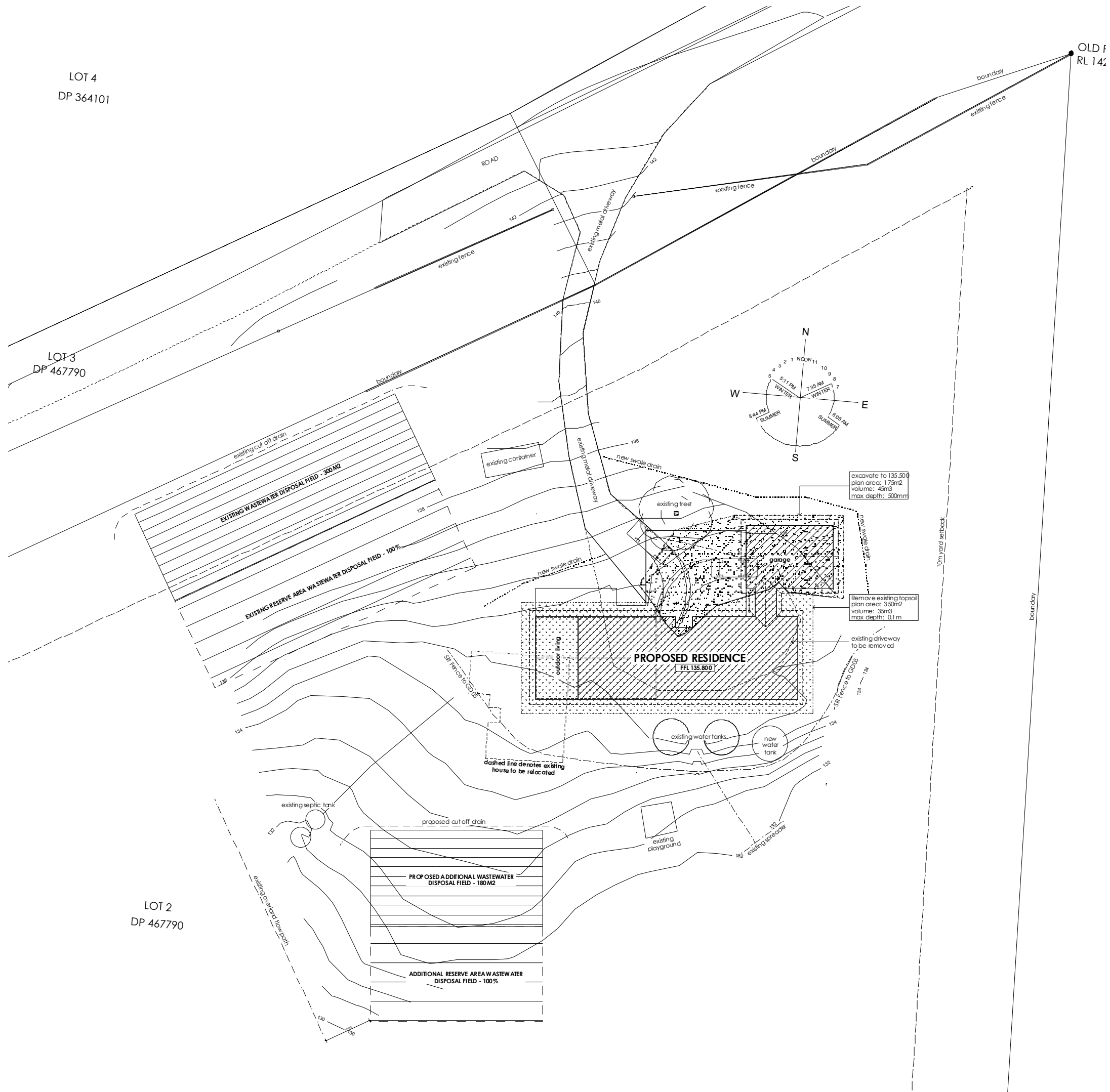
Job
 Proposed House Relocation and New Residence at 562D Waimate North Road, Kerikeri

Client
 Julian and Sarah Trinder


Drawing
 Floor Plan and Elevations Relocated Residence

Rev. No.	Description	Date

Designed N Todd	Job No. 2020251
Drawn N Todd	Drawing Number 4
Date May 2020	
Scale 1:50@A1 1:100@A3	Revision



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Job
 Proposed House Relocation and New Residence at 562D Waimate North Road, Kerikeri

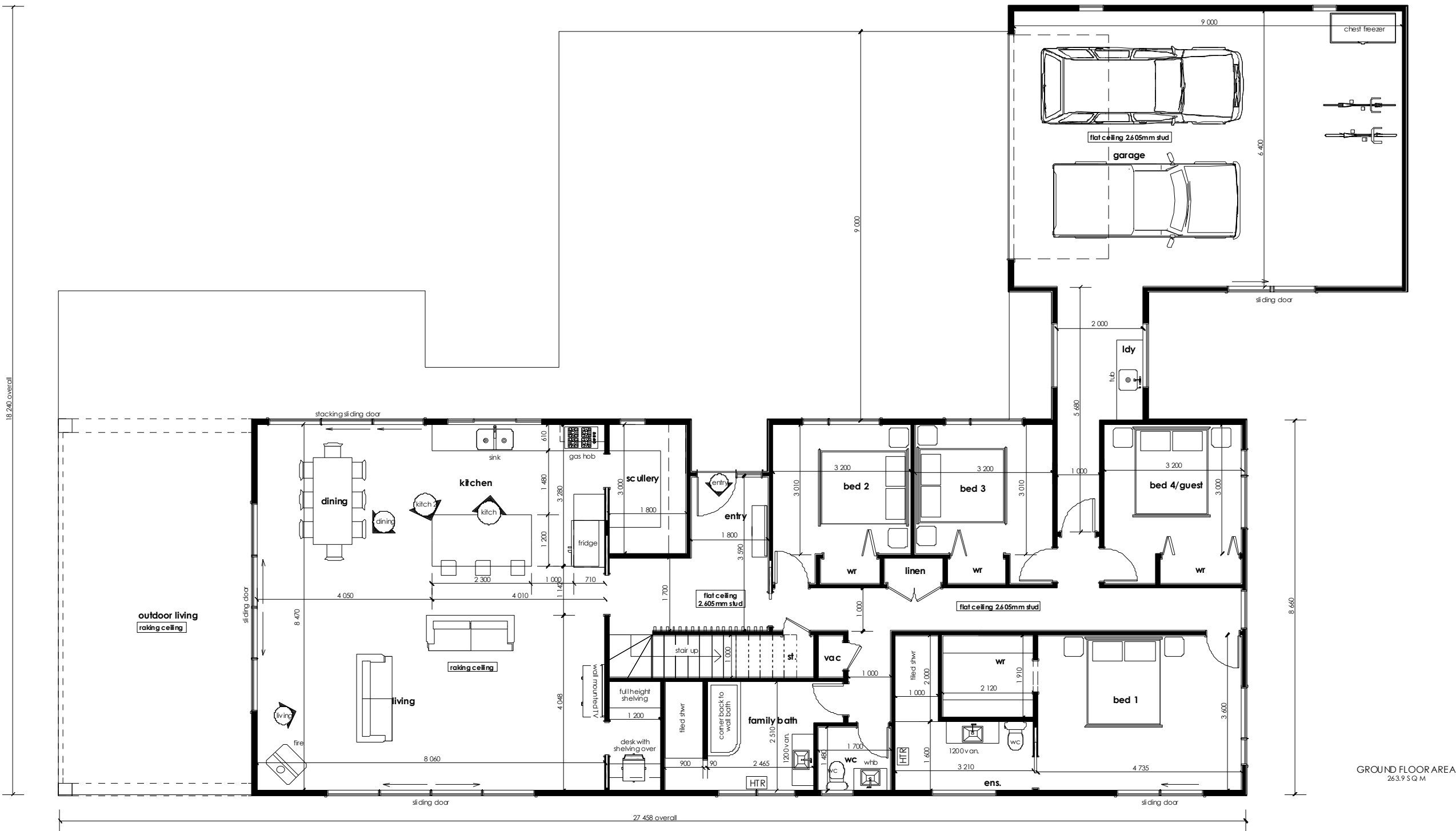
Client
 Julian and Sarah Trinder

Drawing
 Part Site Plan Proposed Residence

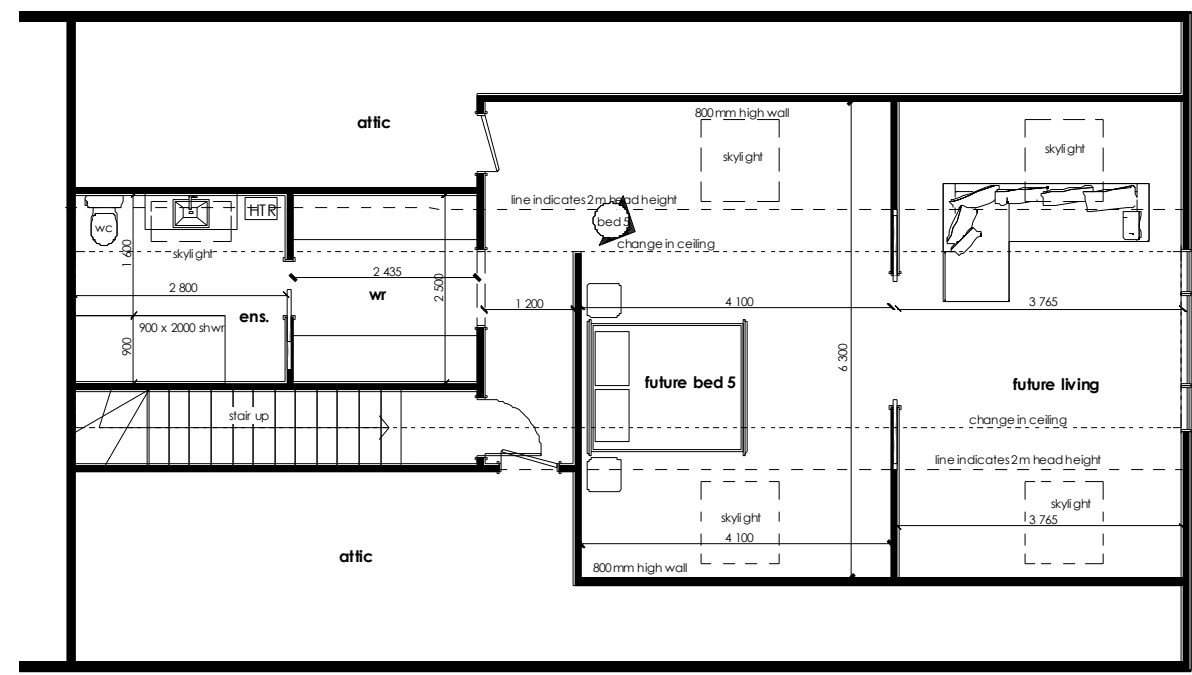
Rev. No.	Description	Date

Designed N Todd	Job No. 2020251
Drawn N Todd	Drawing Number 5
Date May 20 20	
Scale 1:200@A1 1:400@A3	Revision

ORIGINAL DRAWING SIZE IS A1 OF 8



APPROVED PLAN
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Date: 27/10/2021



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Job
 Proposed House Relocation and New Residence at 562D Waimate North Road, Kerikeri

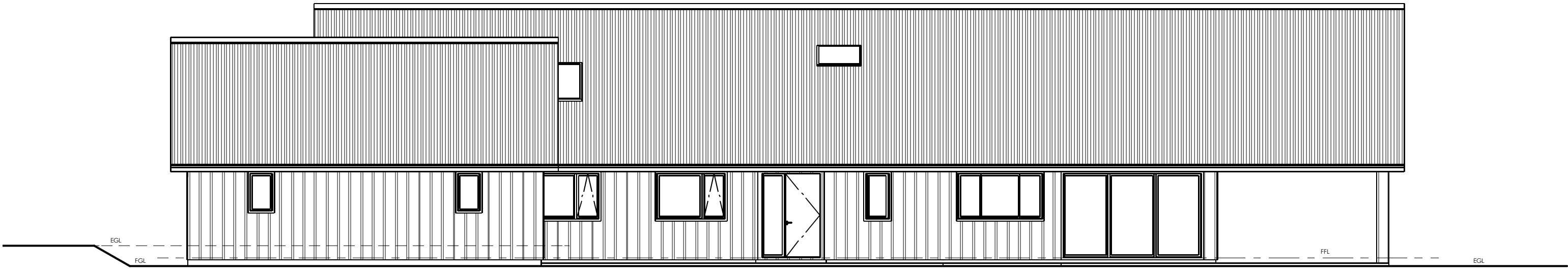
Client
 Julian and Sarah Trinder

Drawing
 Proposed Residence Ground Floor Plan and Upper Floor Plan

Rev. No.	Description	Date

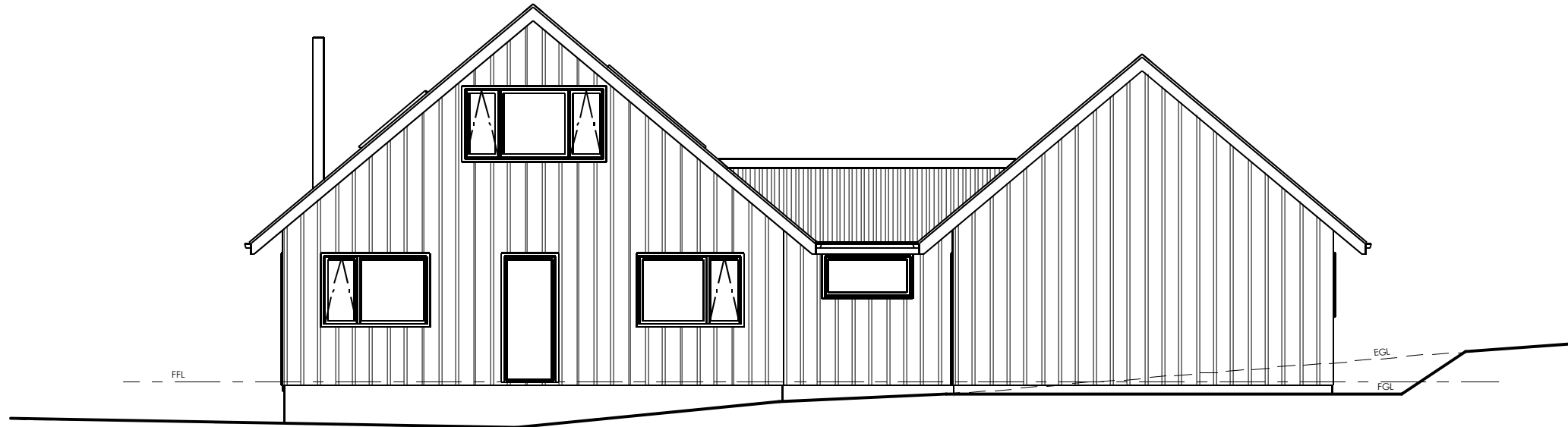
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Drawn N Todd	Drawing Number 6
Date May 20 20	
Scale 1:50@A1 1:100@A3	Revision

ORIGINAL DRAWING SIZE IS A1 OF 8



North Elevation

APPROVED PLAN
Planner: pkillalea
RC: 2300410
Date: 27/10/2021



East Elevation



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Job
 Proposed House Relocation and New Residence at 562D Waimate North Road, Kerikeri

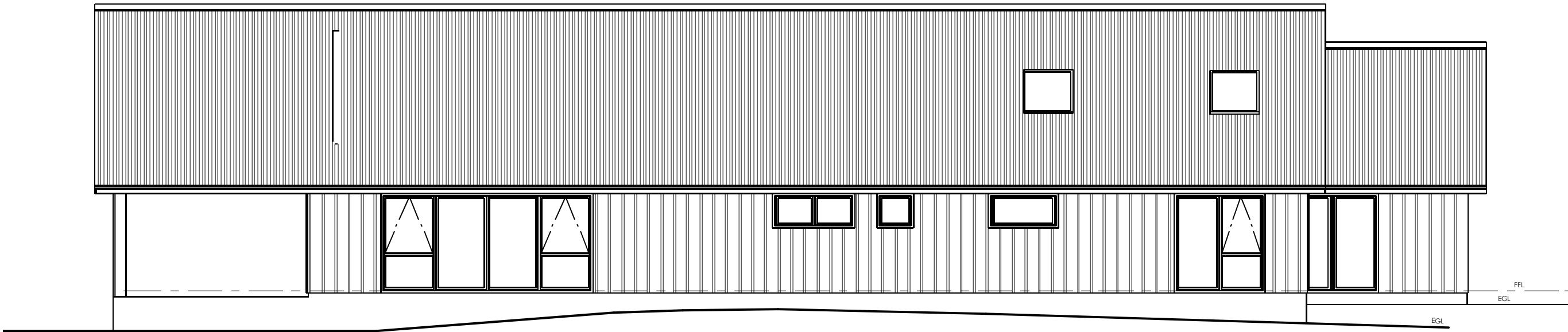
Client
 Julian and Sarah Trinder

Drawing
 Proposed Residence North and East Elevations

Rev. No.	Description	Date

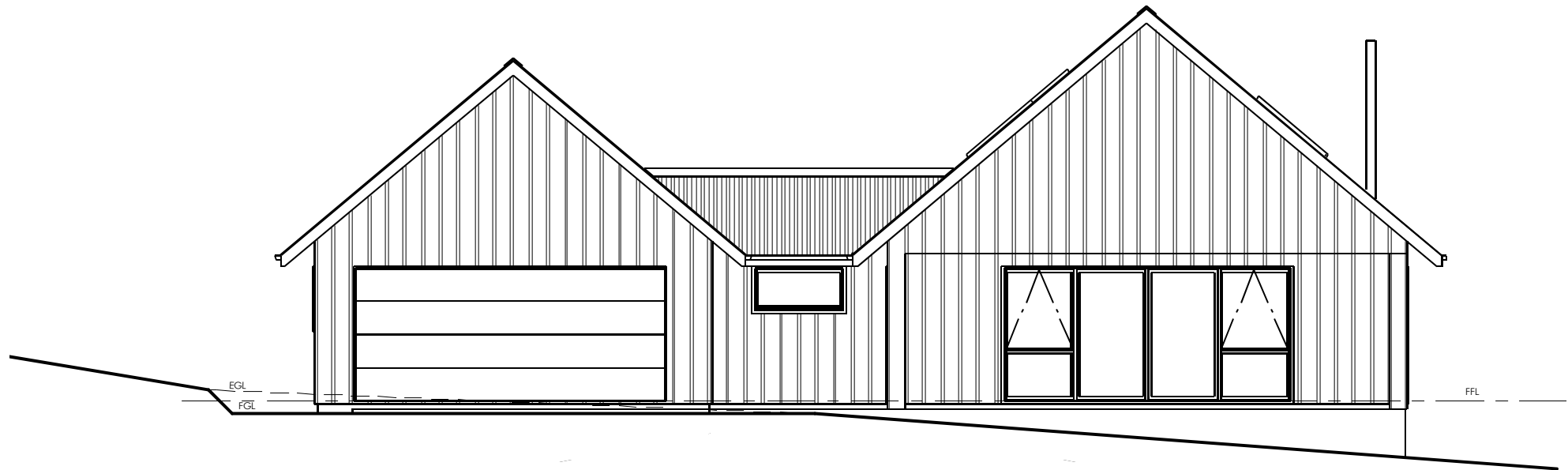
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Drawn N Todd	Drawing Number 7
Date May 2020	
Scale 1:50	Revision

ORIGINAL DRAWING SIZE IS A1 OF 8




South Elevation

APPROVED PLAN
Planner: pkillalea
RC: 2300410
Date: 27/10/2021



West Elevation

absolute build 

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Job
 Proposed House Relocation and New Residence at 562D Waimate North Road, Kerikeri

Client
 Julian and Sarah Trinder

Drawing
 Proposed Residence South and West Elevation

Rev. No.	Description	Date

Designed N Todd	Job No. 2020251
Drawn N Todd	Drawing Number 8
Date May 2020	
Scale 1:50	Revision

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