



Office Use Only Application Number:

APPLICATION FOR RESOURCE CONSENT OR FAST-TRACK RESOURCE CONSENT

(Or Associated Consent Pursuant to the Resource Management Act 1991 (RMA))

(If applying for a Resource Consent pursuant to Section 87AAC or 88 of the RMA, this form can be used to satisfy the requirements of Form 9)

Prior to, and during, completion of this application form, please refer to Resource Consent Guidance Notes and Schedule of Fees and Charges – both available on the Council’s web page.

1. Pre-Lodgement Meeting

Have you met with a Council Resource Consent representative to discuss this application prior to lodgement? **Yes / No**

2. Type of Consent being applied for (more than one circle can be ticked):

- Land Use
- Fast Track Land Use*
- Subdivision
- Discharge
- Extension of time (s.125)
- Change of conditions (s.127)
- Change of Consent Notice (s.221(3))
- Consent under National Environmental Standard (e.g. Assessing and Managing Contaminants in Soil)
- Other (please specify) _____

***The fast track for simple land use consents is restricted to consents with a controlled activity status and requires you provide an electronic address for service.**

3. Would you like to opt out of the Fast Track Process? Yes / No

4. Applicant Details:

Name/s: Matthew Paraha

Electronic Address for Service (E-mail): _____

Phone Numbers: _____ Home: _____

Postal Address: _____
(or alternative method of service under section 352 of the Act)

Post Code: _____

5. Address for Correspondence: Name and address for service and correspondence (if using an Agent write their details here).

Name/s: Bay of Islands Planning Limited

Electronic Address for Service (E-mail): _____

Phone Numbers: _____ Home: _____

Postal Address: _____
(or alternative method of service under section 352 of the Act)

Post Code: 0247

All correspondence will be sent by email in the first instance. Please advise us if you would prefer an alternative means of communication.

6. Details of Property Owner/s and Occupier/s: Name and Address of the Owner/Occupiers of the land to which this application relates (where there are multiple owners or occupiers please list on a separate sheet if required)

Name/s: Refer Record of Titles appended to the AEE

Property Address/
Location: As above

7. Application Site Details:

Location and/or Property Street Address of the proposed activity:

Site Address/
Location: As above

Legal Description: Refer CT Attached Val Number: _____

Certificate of Title: Refer CT Attached
Please remember to attach a copy of your Certificate of Title to the application, along with relevant consent notices and/or easements and encumbrances (search copy must be less than 6 months old)

Site Visit Requirements:

Is there a locked gate or security system restricting access by Council staff? **Yes / No**

Is there a dog on the property? **Yes / No**

Please provide details of any other entry restrictions that Council staff should be aware of, e.g. health and safety, caretaker's details. **This is important to avoid a wasted trip and having to re-arrange a second visit.**

Email applicant prior to site visit.

8. Description of the Proposal:

Please enter a brief description of the proposal here. Attach a detailed description of the proposed activity and drawings (to a recognized scale, e.g. 1:100) to illustrate your proposal. Please refer to Chapter 4 of the District Plan, and Guidance Notes, for further details of information requirements.

Changes to conditions of consent for 2240220 RMALUC

If this is an application for an Extension of Time (s.125); Change of Consent Conditions (s.127) or Change or Cancellation of Consent Notice conditions (s.221(3)), please quote relevant existing Resource Consents and Consent Notice identifiers and provide details of the change(s) or extension being sought, with reasons for requesting them.

9. Would you like to request Public Notification

Yes/No

10. Other Consent required/being applied for under different legislation (more than one circle can be ticked):

- Building Consent (BC ref # if known) Regional Council Consent (ref # if known)
- National Environmental Standard consent Other (please specify)

11. National Environmental Standard for Assessing and Managing Contaminants in Soil to Protect Human Health:

The site and proposal may be subject to the above NES. In order to determine whether regard needs to be had to the NES please answer the following (further information in regard to this NES is available on the Council's planning web pages):

Is the piece of land currently being used or has it historically ever been used for an activity or industry on the Hazardous Industries and Activities List (HAIL) yes no don't know

Is the proposed activity an activity covered by the NES? (If the activity is any of the activities listed below, then you need to tick the 'yes' circle). yes no don't know

- Subdividing land Changing the use of a piece of land
- Disturbing, removing or sampling soil Removing or replacing a fuel storage system

12. Assessment of Environmental Effects:

Every application for resource consent must be accompanied by an Assessment of Environmental Effects (AEE). This is a requirement of Schedule 4 of the Resource Management Act 1991 and an application can be rejected if an adequate AEE is not provided. The information in an AEE must be specified in sufficient detail to satisfy the purpose for which it is required. Your AEE may include additional information such as Written Approvals from adjoining property owners, or affected parties.

Please attach your AEE to this application.

13. Billing Details:

This identifies the person or entity that will be responsible for paying any invoices or receiving any refunds associated with processing this resource consent. Please also refer to Council's Fees and Charges Schedule.

Name/s: (please write all names in full) Matthew Paraha

Email: 


Postal Address: 

Post Code: _____

Phone Numbers: Work: _____ Home: _____ Fax: _____

Fees Information: An instalment fee for processing this application is payable at the time of lodgement and must accompany your application in order for it to be lodged. Please note that if the instalment fee is insufficient to cover the actual and reasonable costs of work undertaken to process the application you will be required to pay any additional costs. Invoiced amounts are payable by the 20th of the month following invoice date. You may also be required to make additional payments if your application requires notification.

Declaration concerning Payment of Fees: I/we understand that the Council may charge me/us for all costs actually and reasonably incurred in processing this application. Subject to my/our rights under Sections 357B and 358 of the RMA, to object to any costs, I/we undertake to pay all and future processing costs incurred by the Council. Without limiting the Far North District Council's legal rights if any steps (including the use of debt collection agencies) are necessary to recover unpaid processing costs I/we agree to pay all costs of recovering those processing costs. If this application is made on behalf of a trust (private or family), a society (incorporated or unincorporated) or a company in signing this application I/we are binding the trust, society or company to pay all the above costs and guaranteeing to pay all the above costs in my/our personal capacity.

 _____ (please print)

_____ (signature of bill payer – **mandatory**) Date: 1 July 2024

Print name: Matthew Paraha

Date: 26/10/2022

14. Important Information:

Note to applicant

You must include all information required by this form. The information must be specified in sufficient detail to satisfy the purpose for which it is required.

You may apply for 2 or more resource consents that are needed for the same activity on the same form.

You must pay the charge payable to the consent authority for the resource consent application under the Resource Management Act 1991.

Fast-track application

Under the fast-track resource consent process, notice of the decision must be given within 10 working days after the date the application was first lodged with the authority, unless the applicant opts out of that process at the time of lodgement.

A fast-track application may cease to be a fast-track application under section 87AAC(2) of the RMA.

Privacy Information:

Once this application is lodged with the Council it becomes public information. Please advise Council if there is sensitive information in the proposal. The information you have provided on this form is required so that your application for consent pursuant to the Resource Management Act 1991 can be processed under that Act. The information will be stored on a public register and held by the Far North District Council. The details of your application may also be made available to the public on the Council's website, www.fndc.govt.nz. These details are collected to inform the general public and community groups about all consents which have been issued through the Far North District Council.

Declaration: The information I have supplied with this application is true and complete to the best of my knowledge.

Name: _____ (please print)

Signature: _____ (signature)

Date: _____

(A signature is not required if the application is made by electronic means)

Checklist (please tick if information is provided)

- Payment (cheques payable to Far North District Council)
- A current Certificate of Title (Search Copy not more than 6 months old)
- Copies of any listed encumbrances, easements and/or consent notices relevant to the application
- Applicant / Agent / Property Owner / Bill Payer details provided
- Location of property and description of proposal
- Assessment of Environmental Effects
- Written Approvals / correspondence from consulted parties
- Reports from technical experts (if required)
- Copies of other relevant consents associated with this application
- Location and Site plans (land use) AND/OR
- Location and Scheme Plan (subdivision)
- Elevations / Floor plans
- Topographical / contour plans

Please refer to Chapter 4 of the District Plan for details of the information that must be provided with an application. Please also refer to the RC Checklist available on the Council's website. This contains more helpful hints as to what information needs to be shown on plans.

Only one copy of an application is required, but please note for copying and scanning purposes, documentation should be:

UNBOUND

SINGLE SIDED

NO LARGER THAN A3 in SIZE



Assessment of Environmental Effects

Application for Resource Consent:

Proposed Variation of 2240220-RMALUC

Prepared for: Matthew Paraha
By: Andrew McPhee | Consultant Planner
Reviewed: Steven Sanson | Consultant Planner
Date: 1 July 2024

1.0 APPLICANT & PROPERTY DETAILS

Applicant	Matthew Paraha
Address for Service	Bay of Islands Planning Limited PO Box 318 PAIHIA 0247 C/O – Andrew McPhee andrew@bayplan.co.nz 021-784-331
Legal Description	Part Motatau No.5 E No.11 Block
Record Of Title	RoT: 476313
Physical Address	6295 Mangakahia Road, Tautoro
Site Area	3.2526 ha
Owner of the Site	Florence Matire Padlie, Davina Matire Padlie, Alice Ngahuia Padlie, Marina Padlie, Mattie Paraha and Garry Reginald Bainbridge as trustees
District Plan Zone	Rural Production Zone
District Plan Features	Nil
Other	Access is on to SH15

Schedule 1

2.0 SUMMARY OF PROPOSAL

Proposal	Proposed variation of 2240220-RMALUC to alter the location of the proposed dwellings and alter the crossing standard.
Reason for Application	Section 127 Variation under the RMA 1991 – Discretionary Activity.
Appendices	Appendix 1 – Record of Title and Instruments. Appendix 2 – Updated Architectural Drawings. Appendix 3 – NZTA correspondence. Appendix 4 – Previous Decision [2240220-RMALUC].
Consultation	Nil
Pre Application Consultation	Nil

3.0 INTRODUCTION & PROPOSAL

3.1 Report Requirements

This report has been prepared for Matthew Paraha in support of a land use consent application (variation) at 6295 Mangakahia Road, Tautoro.

The application has been prepared in accordance with the provisions of Section 88 and the Fourth Schedule of the Resource Management Act 1991. This report serves as the Assessment of Environmental Effects.

The report also includes an analysis of the relevant provisions of the Far North District Plan, relevant National Policy Statements and Environmental Standards, as well as Part 2 of the Resource Management Act 1991.

Section 127 allows the holder of a resource consent to apply to the consent authority for a change or cancellation of a condition of the consent.

Sections 88 to 121 apply, with all necessary modifications, as if—

- a) the application were an application for a resource consent for a discretionary activity; and
- b) the references to a resource consent and to the activity were references only to the change or cancellation of a condition and the effects of the change or cancellation respectively.

Section 127(4) also applies including:

-
- (4) For the purposes of determining who is adversely affected by the change or cancellation, the consent authority must consider, in particular, every person who—
 - (a) made a submission on the original application; and
 - (b) may be affected by the change or cancellation.

The conditions sought to be changed are provided in this report. The original proposal was not public or limited notified.

3.2 Proposal

Application Site: A range of details regarding the site are outlined in Schedule 1 of this report. These details are supplemented by the Record of Title and relevant instruments located in Appendix 1.

A broader description of the site is provided in Section 4 of the Report below.

Land Use Consent: The proposal seeks amendments to the following aspects of the original approval:

1. Changes to Condition 1 in relation to the approved plans by Relocate.
2. Changes to Condition 5 in relation to the requirement to upgrade the vehicle crossing with Mangakahia Road to a New Zealand Transport Agency.

Activity Status: The proposal is a Discretionary Activity.

3.3 Proposed Change of Consent Conditions

The conditions sought to be changed with the proposed wording is provided below. The proposed variation is to read as follows (refer underlined for additions and ~~strikethrough~~ for deletions).

Condition

1. The works shall be carried out in accordance with:
 - a. The approved plans by Relocate It Reference Project No. 2304, Sheets BC(1)003 to 08, BC(1)13, and BC(2)00 to BC(2)05 dated ~~30/11/2023~~ 31/05/24 attached to this permit/consent with the Council's Approved Stamp affixed to them.

5. The vehicle crossing with Mangakahia Road shall be upgraded in accordance with the NZ Transport Agency's Diagram DC as outlined in the Planning Policy Manual (2007) and to the satisfaction of the NZ Transport Agency Network Manager.

The rationale for the proposed changes is to accommodate the minor changes to the location of the dwellings.

Clarification with the New Zealand Transport Authority in terms of the access arrangements for dwellings on the site has implications for the standard of vehicle crossing with Mangakahia Road.

These changes do not result in additional rule breaches and are therefore considered to be within scope of the original proposal.

The proposal includes the following appendices:

- Appendix 1 – Record of Title and Instruments.
- Appendix 2 – Updated Architectural Drawings.
- Appendix 3 – NZTA correspondence.
- Appendix 4 – Previous Decision [2240220-RMALUC].

4.0 SITE & SURROUNDING ENVIRONMENT

The following features were described in the original Assessment of Environmental Effects.

- Zoning and Resource Features
- Record of Title and Instruments
- Built Form & Access
- Surrounding Environment.

For the purposes of this s127 application there is little that has changed on site to warrant further description other than:

- The dwelling footprints have been moved in a southern direction by approximately two metres.
- The introduction of an internal fireplace into Block 1.

5.0 ASSESSMENT OF RELEVANT RULES

5.1 Assessment Summary

According to the previous application the proposal breached the following rules:

- 8.6.5.1.1 Residential Intensity
- 8.6.5.1.4 Setback from Boundaries
- 8.6.5.2.2 Papakainga Housing
- 8.6.5.4.2 Integrated Development

As outlined earlier, s127 is considered as a Discretionary Activity. Overall, the proposal is a Discretionary Activity.

6.0 NOTIFICATION ASSESSMENT

6.1 Public Notification

The table below outlines the steps associated with public notification insofar as it relates to s95 of the Resource Management Act 1991.

Table 1 – s95 Adverse Effects Assessment

<u>Step 1</u>	<u>Mandatory public notification in certain circumstances</u>	
S95A(3)(a)	Has the applicant requested that the application be publicly notified?	No

S95A(3)(b)	Is public notification required under section 95C?(after a request for further information)	TBC
S95A(3)(c)	Has the application been made jointly with an application to exchange recreation reserve land under section 15AA of the Reserves Act 1977.	No
<u>Step 2</u>	<u>if not required by step 1, public notification precluded in certain circumstances</u>	
S95A(5)(a)	Is the application for a resource consent for 1 or more activities and each activity is subject to a rule or national environmental standard that precludes public notification?	No
S95A(5)(b)	Is the application for a resource consent for 1 or more of the following, but no other, activities; (i) a controlled activity; (iii) a restricted discretionary, discretionary, or non-complying activity, but only if the activity is a boundary activity;	No
<u>Step 3</u>	<u>if not precluded by step 2, public notification required in certain circumstances</u>	
S95A(8)(a)	Is the application for a resource consent for 1 or more activities, and any of those activities is subject to a rule or national environmental standard that requires public notification.	No
S95A(8)(b)	Does the consent authority decides, in accordance with section 95D, that the activity will have or is likely to have adverse effects on the environment that are more than minor	TBC
<u>Step 4</u>	<u>public notification in special circumstances</u>	
S95A(9)	Do special circumstances exist in relation to the application that warrant the application being publicly notified.	No

1. Public notification is not sought.
2. The application is not precluded from notification as the preclusion requirements are not met.
3. It is contended that there are no additional rule breach or effects resulting from this variation.

Both conditions [1 and 5] were effectively part of a conditions suite (refer 2240220-RMALUC).

New Zealand Transport Agency are now comfortable with the change in vehicle crossing standard.

The proposed minor change of location for the proposed dwellings is not considered to result in any change or additional effects.

4. There are no special circumstances that arise in this instance.

Having considered the requirements above, it is considered that the effects of the proposal are no more than minor. Public notification is not required.

7.0 EFFECTS TO PEOPLE

The table below outlines the steps associated with limited notification insofar as it relates to s95 of the Resource Management Act 1991.

<u>Step 1</u>	<u>certain affected groups and affected persons must be notified</u>	
S95B(2)(a)	Are there any affected protected customary rights groups?	No
S95B(2)(b)	Are there any affected customary marine title groups (in the case of an application for a resource consent for an accommodated activity)?	No
S95B(3)(a)	Is the proposed activity on or adjacent to, or may affect, land that is the subject of a statutory acknowledgement made in accordance with an Act specified in Schedule 11?	No
S95B(3)(b)	Is the person to whom the statutory acknowledgement is made is an affected person under section 95E?	No
<u>Step 2</u>	<u>if not required by step 1, limited notification precluded in certain circumstances</u>	
S95B(6)(a)	the application is for a resource consent for 1 or more activities, and each activity is subject to a rule or national environmental standard that precludes limited notification:	No
S95B(6)(b)	the application is for a controlled activity (but no other activities) that requires a resource consent under a district plan (other than a subdivision of land)	No
<u>Step 3</u>	<u>if not precluded by step 2, certain other affected persons must be notified</u>	
S95B(7)	If in the case of a boundary activity, whether an owner of an allotment with an infringed boundary is an affected person in accordance with s95E.	TBA
S95B(8)	If in the case of any other activity, a person is an affected person in accordance with section 95E.	TBA

<u>Step 4</u>	<u>further notification in special circumstances</u>	
<u>S95B(10)</u>	If special circumstances exist in relation to the application that warrant notification of the application to any other persons not already determined to be eligible for limited notification under this section.	No

1. Not applicable.
2. Limited notification is not precluded.
3. The proposed changes are acceptable when considered against the assessment undertaken for the existing approval [2240220-RMLUC].
4. No special circumstances exist.

Having considered the requirements above, it is considered that the effects of the proposal to persons are less than minor. Limited notification is not required.

8.0 STATUTORY CONTEXT

8.1 Far North District Plan

There have been no wholesale changes to the Far North District Plan that would warrant reconsideration of the proposal in light of the minor changes proposed. Further, the Proposed Far North District Plan is not sufficiently through the review process to warrant further consideration.

8.2 Regional Policy Statement for Northland (RPS)

There have been no wholesale changes to RPS that would warrant reconsideration of the proposal in light of the minor changes proposed.

8.3 National Policy Statements and Plans

These matters were all materially assessed under the previous approval. There are no new matters to consider. As the proposal results in such minor changes a re-assessment is not considered to be required.

8.4 Conclusion

The above assessment finds that the proposal is not inconsistent with relevant statutory and higher order objectives and policies.

9.0 PART 2 ASSESSMENT

9.1 Section 5 - Purpose of the Resource Management Act 1991

Section 5 in Part 2 of the Resource Management Act 1991 identifies the purpose as being the sustainable management of natural and physical resources. This means managing the use of natural and physical resources in a way that enables people and communities to provide for their social, cultural and economic well-being which sustain those resources for future generations, protecting the life supporting capacity of ecosystems, and avoiding remedying or mitigating adverse effects on the environment.

It is considered that proposal represents Part 2, Section 5 of the Resource Management Act 1991.

9.2 Section 6 - Matters of National Importance

In achieving the purpose of the Resource Management Act 1991, a range of matters are required to be recognised and provided for. This includes:

- a) the preservation of the natural character of the coastal environment (including the coastal marine area), wetlands, and lakes and rivers and their margins, and the protection of them from inappropriate subdivision, use, and development:
- b) the protection of outstanding natural features and landscapes from inappropriate subdivision, use, and development:
- c) the protection of areas of significant indigenous vegetation and significant habitats of indigenous fauna:
- d) the maintenance and enhancement of public access to and along the coastal marine area, lakes, and rivers:
- e) the relationship of Maori and their culture and traditions with their ancestral lands, water, sites, waahi tapu, and other taonga:
- f) the protection of historic heritage from inappropriate subdivision, use, and development:
- g) the protection of protected customary rights:
- h) the management of significant risks from natural hazards.

In context, the relevant items to the proposal have been recognised and provided for.

9.3 Section 7 - Other Matters

In achieving the purpose of the Resource Management Act 1991, a range of matters are to be given particular regard. This includes:

- (a) kaitiakitanga:
- (aa) the ethic of stewardship:

- (b) the efficient use and development of natural and physical resources:
- (ba) the efficiency of the end use of energy:
- (c) the maintenance and enhancement of amenity values:
- (d) intrinsic values of ecosystems:
- (e) [Repealed]
- (f) maintenance and enhancement of the quality of the environment:
- (g) any finite characteristics of natural and physical resources:
- (h) the protection of the habitat of trout and salmon:
- (i) the effects of climate change:
- (j) the benefits to be derived from the use and development of renewable energy.

These matters have been given particular regard through the design of the proposal.

9.4 Section 8 - Treaty of Waitangi

The Far North District Council is required to take into account the principles of the Treaty of Waitangi when processing this consent. This consent application may be sent to local Iwi and hapū who may have an interest in this application.

9.5 Part 2 Conclusion

Given the above, it is considered that the proposal meets the purpose of the Resource Management Act 1991.


10.0 CONCLUSION

A Discretionary Activity resource consent is sought from the Far North District Council to carry out the proposed adjustments (variation).

The proposal is considered to result in less than minor effects on the environment and through assessment, there are no minor or more than minor effects to persons.

The proposal is consistent with the objectives and policies of the Far North District Plan, the Regional Policy Statement for Northland, and achieves the purpose of the Resource Management Act 1991. Relevant NPS' and NES' have been considered with the proposal finding consistency with their general aims and intent.

Regards,



Andrew McPhee

Consultant Planner



**RECORD OF TITLE
UNDER LAND TRANSFER ACT 2017
FREEHOLD**

**Guaranteed Search Copy issued under Section 60 of the Land
Transfer Act 2017**




R. W. Muir
Registrar-General
of Land

Identifier **476313**
Land Registration District **North Auckland**
Date Issued 06 May 2009

Prior References
476312

Estate Fee Simple
Area 3.2526 hectares more or less
Legal Description Part Motatau No.5 E No.11 Block

Registered Owners

Florence Matire Padlie, Davina Matire Padlie, Alice Ngahuia Padlie, Marina Padlie, Mattie Paraha and Garry Reginald Bainbridge as trustees

Interests

8153766.2 Status Order determining the status of the within land to be Maori Freehold Land - 6.5.2009 at 9:00 am

Title Diagram 476312

Copy - 01/01.Pgs - 001.12/05/09.09.06



DocID: 517007208

VIII. PUNAKITERE S. D.

Nº 5 E Nº 12.

99.91

MOTATAU

Tautoro School Site

Nº 5 E Nº 11.

8. 2. 37.
D.A. 8. 0. 06.

Nº 5 E Nº 12.



Signature
Deputy Chief Clerk

3. ...
P. Chambers
B. Knight



Report on Maori Land details for the following Record(s) of Title



Record(s) of Title

476313

Identified as potentially Maori Freehold Land

***** End of Report *****

Sheet Index	
Sheet No:	Sheet Name:
BC(1)00	COVER SHEET
BC(1)01	KEYNOTE SCHEDULE
BC(1)02	SITE PLAN
BC(1)03	SITE PLAN EXISTING
BC(1)04	SITE PLAN PROPOSED
BC(1)05	SITE PLAN 1:200
BC(1)06	FLOOR PLAN EXISTING
BC(1)07	FLOOR PLAN PROPOSED
BC(1)08	DIMENSION PLAN
BC(1)09	FOUNDATION PLAN
BC(1)10	SITE MANAGEMENT PLAN
BC(1)11	PLUMBING PLAN
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BC(2)05	PROPOSED ELEVATIONS
BC(3)00	SECTION A
BC(4)00	DETAILS
BC(4)01	DETAILS
BC(4)02	DETAILS
BC(4)03	DETAILS
BC(4)04	DETAILS
BC(4)05	DETAILS
BC(4)06	DETAILS
BC(4)07	DETAILS
BC(4)08	DETAILS
BC(4)09	DETAILS
BC(4)10	DETAILS
BC(4)11	DETAILS
BC(4)12	DETAILS
BC(4)13	DETAILS
BC(5)00	DOOR & WINDOW SCHEDULE
BC(5)01	ENG
BC(5)02	ENG
BC(5)03	ENG



STATUS:

BUILDING CONSENT

PROJECT NAME +
ADDRESS:

MANGAKAHIA
6277B Mangakahia Road,
Tautoro, Moerewa, 0474

DATE:

31/05/24

PROJECT NUMBER:

2304



RELOCATE IT

WWW.RELOCATEIT.CO.NZ
T: 02102867410
E: OFFICE@RELOCATEIT.CO.NZ

SHEET NUMBER

REVISION

BC(1)00

KEYNOTES

DEMOLITION

- DE01 EXISTING EXTERNAL WALL TO BE DEMOLISHED
Existing external timber stud wall to be demolished.
- DE02 EXISTING INTERNAL WALL TO BE DEMOLISHED
Existing internal timber stud wall to be demolished.
- DE03 EXISTING JOINERY TO BE DEMOLISHED
Existing joinery to be removed/demolished.

FOUNDATIONS

- (AP) ANCHOR PILE SED
New 200x200sq H5 timber anchor piles embedded into 450x2500mm min. deep concrete footings (2500mm below cleared ground) as per Geotech Report & Structural engineering design. Ensure pile/pole is no more than 600mm max. height from cleared ground to top of pile. Read in conjunction with geotech engineer investigations and report. Concrete strength to be 20MPa min. Lumberlok 12kN fixing.
- (BP) BRACED TIMBER PILES SED
New 200x200sq H5 timber braced piles embedded into 450x2500mm min deep concrete footings (2500mm below cleared ground) as per Geotech Report & Structural engineering design. Read in conjunction with geotech engineer investigations and report. Concrete strength to be 20MPa min. Lumberlok 12kN fixing.
- (OP) 125 SQ. ORDINARY TIMBER PILES SED
New 125x125sq H5 timber ordinary piles embedded into 450x2500mm min deep concrete footings (2500mm below cleared ground) as per Geotech Report & Structural engineering design. Read in conjunction with geotech engineer

investigations and report. Concrete strength to be 20MPa min. 2x wiredogs, 1 per side & 2/100x3.75 skew nails up into bearer.

FLOORS

- F01 TIMBER FLOOR - CARPET
Carpet floor overlay existing or new to be replaced on a like for like basis.
- F02 TIMBER FLOOR - T&G FLOOR BOARDS
Existing timber T&G floor boards to remain over existing timber structure. Existing floor boards to be replaced if required.
- F03 TIMBER FLOOR - LINO
Existing Lino to remain over existing timber floor structure. Ensure floor finish is compliant with Watersplash impervious finish required as per E3/AS1.
- F04 TIMBER DECK
New Timber deck, to be under 1m from NG to FDL & by others (not apart of this consent). Ensure to be built/completed prior to CCC.

WALLS

- W01 EXISTING WEATHERBOARDS
Existing timber bevelback weatherboards to remain on existing timber framed walls. Allow to make good as required on a like for like basis.
- W02 NEW INTERNAL WALL
New H1.2 internal 90x45 framed wall. Studs @300crs, nogs @400crs. Ensure compliance w/ NZS3604:2011. GIB lining finish over with paint and plaster finish unless noted to be GIB Aqualine.
- W03 NEW EXTERNAL WALL
New H1.2 SG8 external 90x45 framed wall. Studs @300crs, nogs @400crs. Ensure compliance w/ NZS3604:2011. Wall cladding to match existing and waterproofing + cladding junctions to comply with E2. Internal GIB lining finish over with paint and plaster finish unless

noted to be GIB Aqualine.

ROOFS

- RF01 EXISTING ROOF
Existing metal roofing to remain over existing timber roof structure. Refer to building report condition of structure and materials. Replace sheets of roofing if effected by move on a like by like basis.

EXTERIOR JOINERY

- JY01 EXISTING JOINERY
Existing timber joinery. Replace any finishing lines or units that are effected from move.
- JY02 NEW JOINERY
New timber joinery installed as per manufactureres installation instructions. Ensure compliance with E2/AS1. For weathertightness information refer to E2/AS1 & for safety glass info refer to NZS4223.3.2016.

SERVICES - ELECTRICAL

- FAN EXTRACT FAN
Existing or new wall-mounted extract fan ducted to exterior. Ensure meets G4/AS1 requirements. Min. extraction rate to be 25L/s in bathroom areas and 50L/s in kitchen (cooking areas)
- SD SMOKE DETECTOR
New Smoke detector to be installed and be within a 3m diameter reach to all bedrooms in the dwelling. As per F7/AS1.

SERVICES - RAINWATER DISPOSAL

- DP.ex DOWNPIPE - EXISTING
Existing downpipes to remain.

SERVICES - PLUMBING

- HWC HOT WATER CYLNDER
Existing HWC, COS and upgrade/replace as required to suit. Ensure seismic restraints to comply with G12/AS1 Fig. 14. Also to comply with G13

INTERIOR - FINISHES

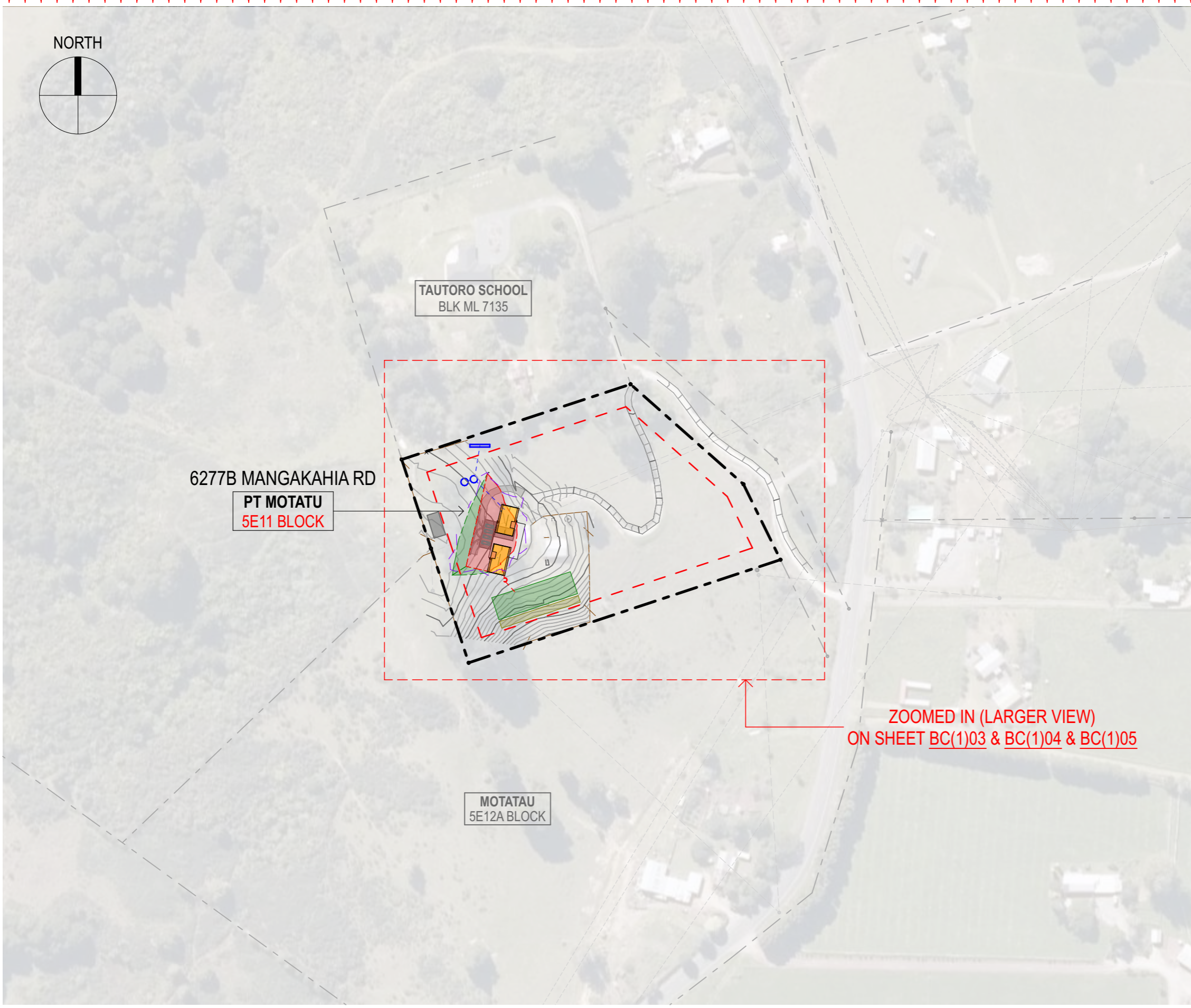
- FIRE INTERNAL FIRE PLACE
New Kent KWF250 woodfire. Install as per manufacturers instructions. Refer to details for flue information. Dektite Premium roof flashing installed as per manufacturers specifications. Ensure flue is sufficiently braced as overall heighth from roof is more than 1.2m.

STRUCTURE

- S01 FLOOR BEARER EXISTING
Existing 100x70 timber bearer, 200mm max cantilever. COS.
- S02 FLOOR JOIST EXISTING
Existing 140x45 timber joists @ 500crs.
- S03 NEW TIMBER BEARER
New 2/140x45 SG8 H3.2 Timber bearers as per NZS3604 2011: 2.4.4.7. Max cantilever 200mm.
- S04 NEW TIMBER JOISTS
New H3.2 140x45 timber joists @ 500crs.
- S05 NEW TIMBER JOISTS
New H3.2 2/140x45 timber floor joists to support / collect point loads as per engineering.
- S06 NEW TIMBER JOISTS
New H3.2 140x45 timber floor joists to support / collect point loads as per engineering.
- S11 SUBFLOOR BOARDS
New Timber 100x20 subfloor boards w/ min 20mm ventilation gaps between boards to comply as per NZS3604:2011 sec 6:14. Ensure sufficient subfloor access.

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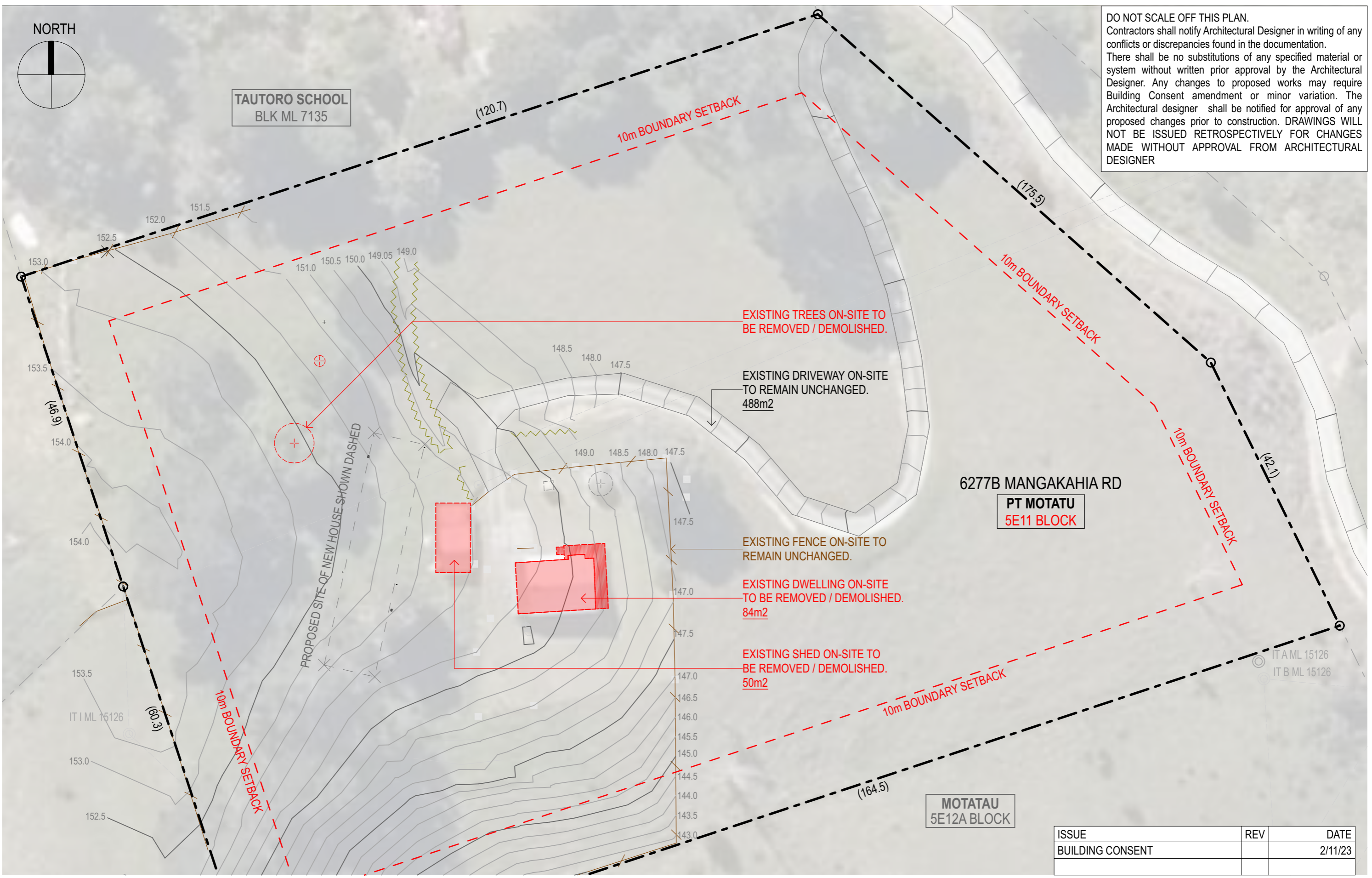
SITE INFORMATION	
Site Address:	6277B Mangakahia Road, Tautoro
Legal Description:	Part Motatau 5E11 Block
CT No:	476313
Gross Site Area:	3.2526 Ha
Net Site Area:	3.2526 Ha
Planning Zone:	Rural Production Zone Maori Purpose - Rural
Wind Zone:	High as per SED design
Earthquake Zone:	Zone 1
Exposure Zone:	Zone B
Climate Zone:	Zone 1
Soil Classification:	As per Geotech report
Existing building coverage:	Existing building to be demolished = 84m ² Existing shed to be demolished = 50m ² = 134m² total
Proposed building coverage:	Proposed Relocated dwelling = 204m ² = 204m² total (0.6%)
Existing impermeable:	Existing building to be demolished = 84m ² Existing shed to be demolished = 50m ² Existing metal driveway = 488m ² = 622m² total
Proposed impermeable:	Existing metal driveway = 488m ² + Proposed Relocated dwelling = 261m ² + Proposed metal driveway = 250m ² = 999m² total (3.1%)

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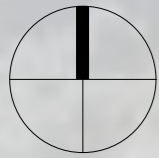
TAUTORO SCHOOL
BLK ML 7135

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NORTH



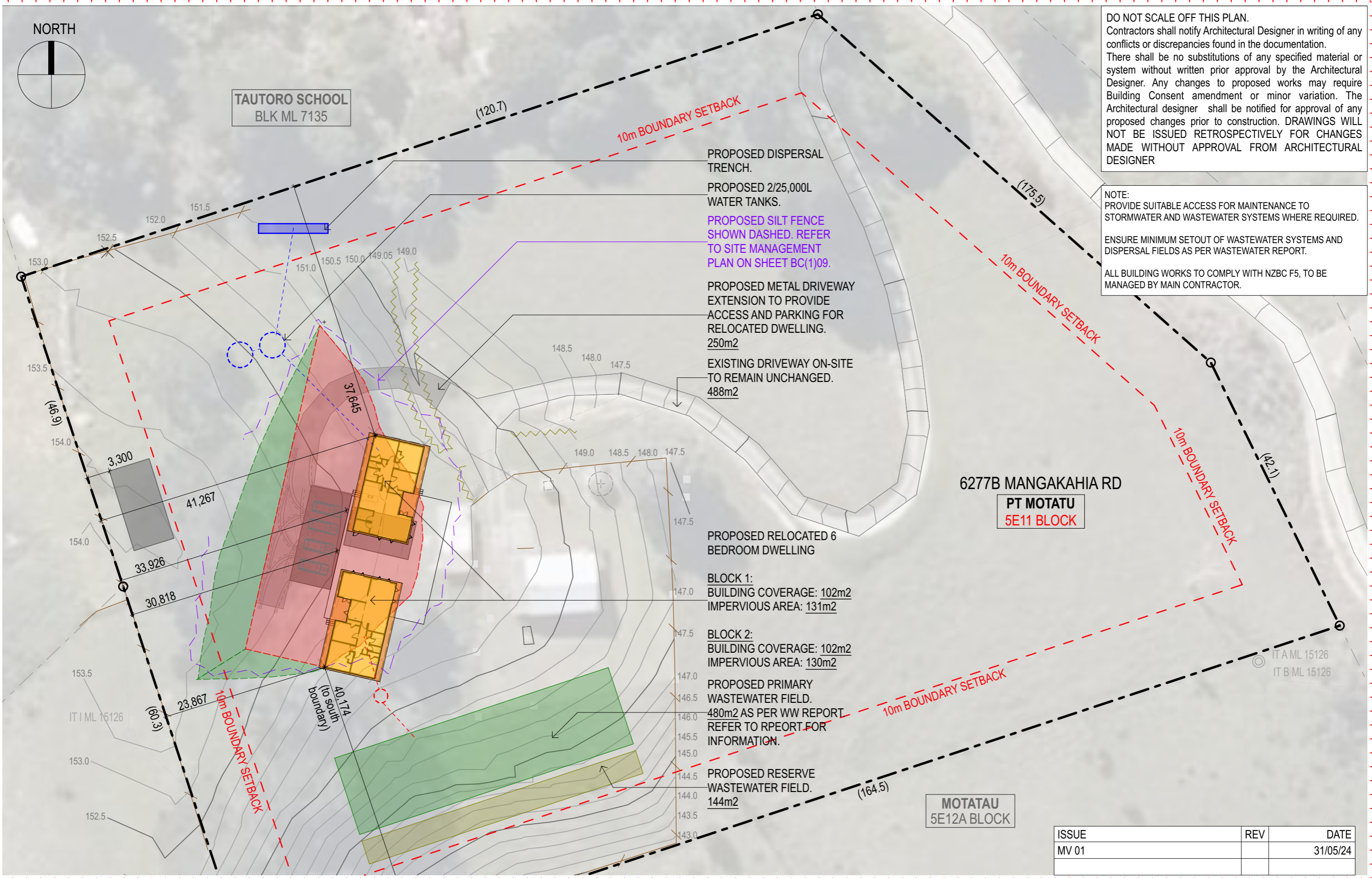
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BLK ML 7135

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NOTE:
PROVIDE SUITABLE ACCESS FOR MAINTENANCE TO STORMWATER AND WASTEWATER SYSTEMS WHERE REQUIRED.

ENSURE MINIMUM SETOUT OF WASTEWATER SYSTEMS AND DISPERSAL FIELDS AS PER WASTEWATER REPORT.

ALL BUILDING WORKS TO COMPLY WITH NZBC F5, TO BE MANAGED BY MAIN CONTRACTOR.



6277B MANGAKAHIA RD
PT MOTATU
5E11 BLOCK

MOTATAU
5E12A BLOCK

PROPOSED DISPERSAL TRENCH.
PROPOSED 2/25,000L WATER TANKS.
PROPOSED SILT FENCE SHOWN DASHED. REFER TO SITE MANAGEMENT PLAN ON SHEET BC(1)09.
PROPOSED METAL DRIVEWAY EXTENSION TO PROVIDE ACCESS AND PARKING FOR RELOCATED DWELLING. 250m²
EXISTING DRIVEWAY ON-SITE TO REMAIN UNCHANGED. 488m²

PROPOSED RELOCATED 6 BEDROOM DWELLING
BLOCK 1:
BUILDING COVERAGE: 102m²
IMPERVIOUS AREA: 131m²

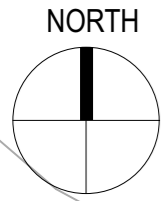
BLOCK 2:
BUILDING COVERAGE: 102m²
IMPERVIOUS AREA: 130m²

PROPOSED PRIMARY WASTEWATER FIELD.
480m² AS PER WW REPORT. REFER TO RPEORT FOR INFORMATION.

PROPOSED RESERVE WASTEWATER FIELD.
144m²

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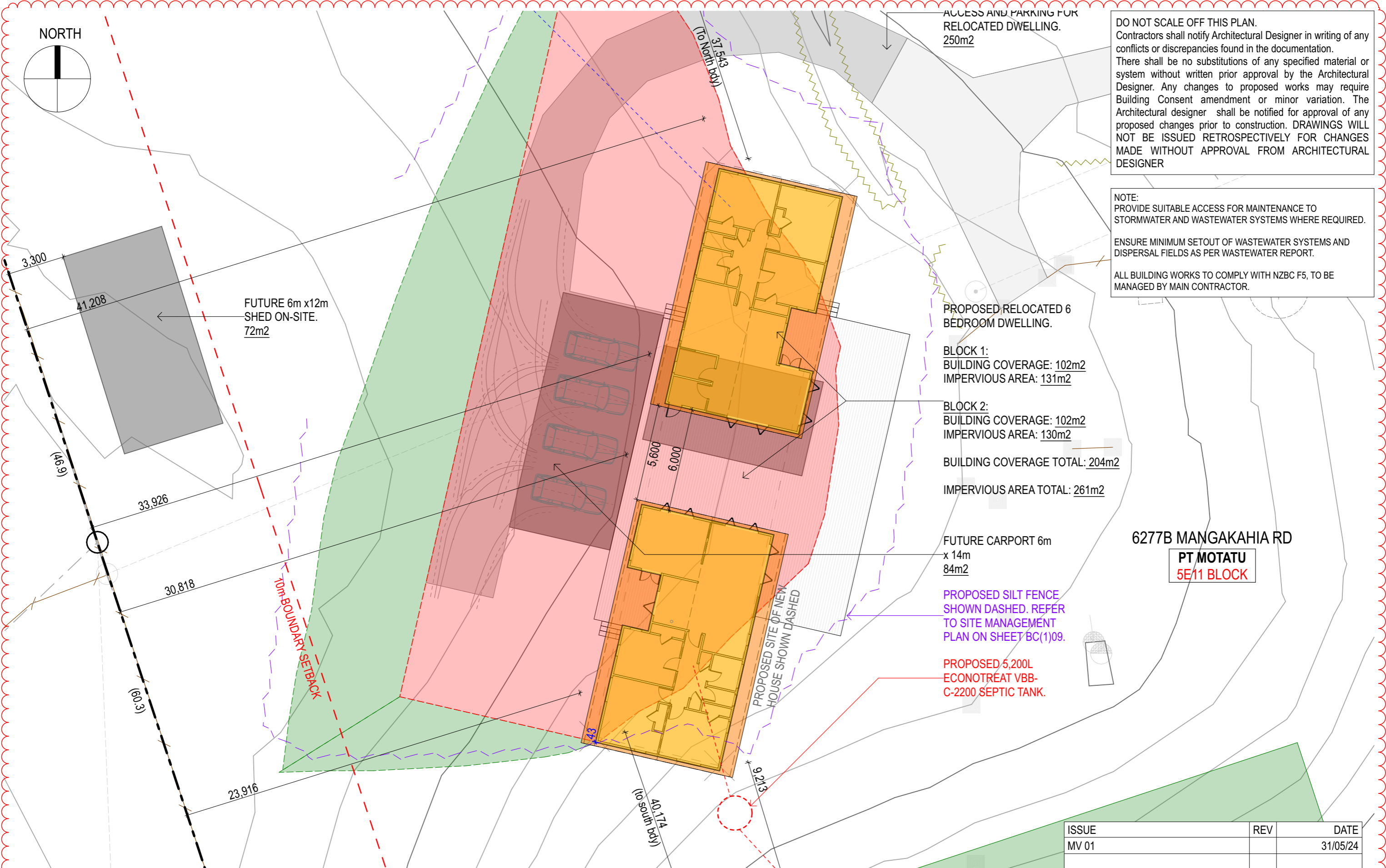


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NOTE:
 PROVIDE SUITABLE ACCESS FOR MAINTENANCE TO STORMWATER AND WASTEWATER SYSTEMS WHERE REQUIRED.

ENSURE MINIMUM SETOUT OF WASTEWATER SYSTEMS AND DISPERSAL FIELDS AS PER WASTEWATER REPORT.

ALL BUILDING WORKS TO COMPLY WITH NZBC F5, TO BE MANAGED BY MAIN CONTRACTOR.



ACCESS AND PARKING FOR
 RELOCATED DWELLING.
 250m²

FUTURE 6m x12m
 SHED ON-SITE.
 72m²

PROPOSED RELOCATED 6
 BEDROOM DWELLING.

BLOCK 1:
 BUILDING COVERAGE: 102m²
 IMPERVIOUS AREA: 131m²

BLOCK 2:
 BUILDING COVERAGE: 102m²
 IMPERVIOUS AREA: 130m²

BUILDING COVERAGE TOTAL: 204m²
 IMPERVIOUS AREA TOTAL: 261m²

FUTURE CARPORT 6m
 x 14m
 84m²

PROPOSED SILT FENCE
 SHOWN DASHED. REFER
 TO SITE MANAGEMENT
 PLAN ON SHEET BC(1)09.




PROPOSED 5,200L
 ECONOTREAT VBB-
 C-2200 SEPTIC TANK.

6277B MANGAKAHIA RD
 PT MOTATU
 5E11 BLOCK

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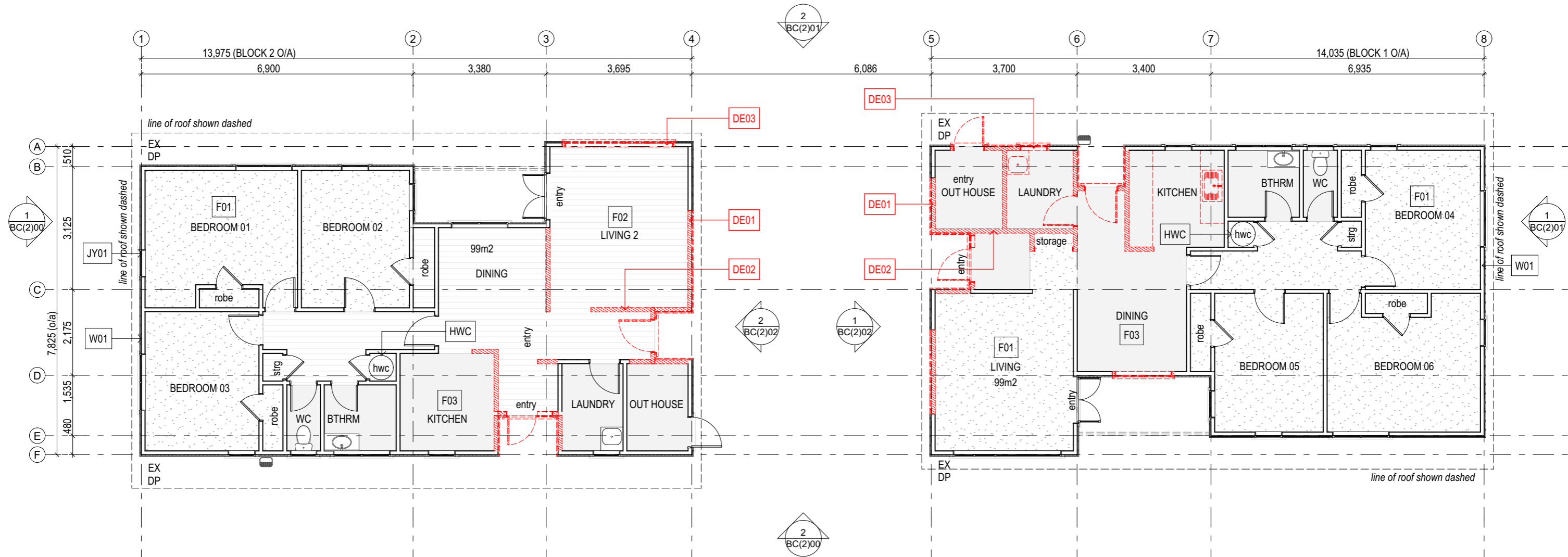


WALL STATUS

-  Existing timber framed wall
-  Demolished timber framed wall
-  Proposed timber framed wall

Refer to Keynote for wall type/construction.

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NOTES

- All new framing shall be SG8 grade rad. pine unless noted otherwise, and meet durability requirements of NZBC B2 'Durability' Cl.3.2.
- All fixings as per NZS3604:2011 unless specified by Engineer or shown otherwise.
- New Timber WB cladding to areas of new wall cladding to match up and to external wall replacing like for like to ensure 12mm gap is maintained between cladding and decking.
- Wall insulation to be replaced where required and meet minimum R2.2 R-value. Where wall is replaced by opening or vice versa ensure insulation is installed to suit.
- Top plate fixing - 2/90x3.15 dia end nails + 2 wire dogs as per NZS 3604:2011 or 4.7kN alternative fixing.
- Bottom plate fixing (NLBW) 90x3.15 power driven nails @ 600crs. max
- Contractor to confirm roof trusses do not load any internal walls. Engineer to be notified if otherwise.

STRUCTURAL LEGEND

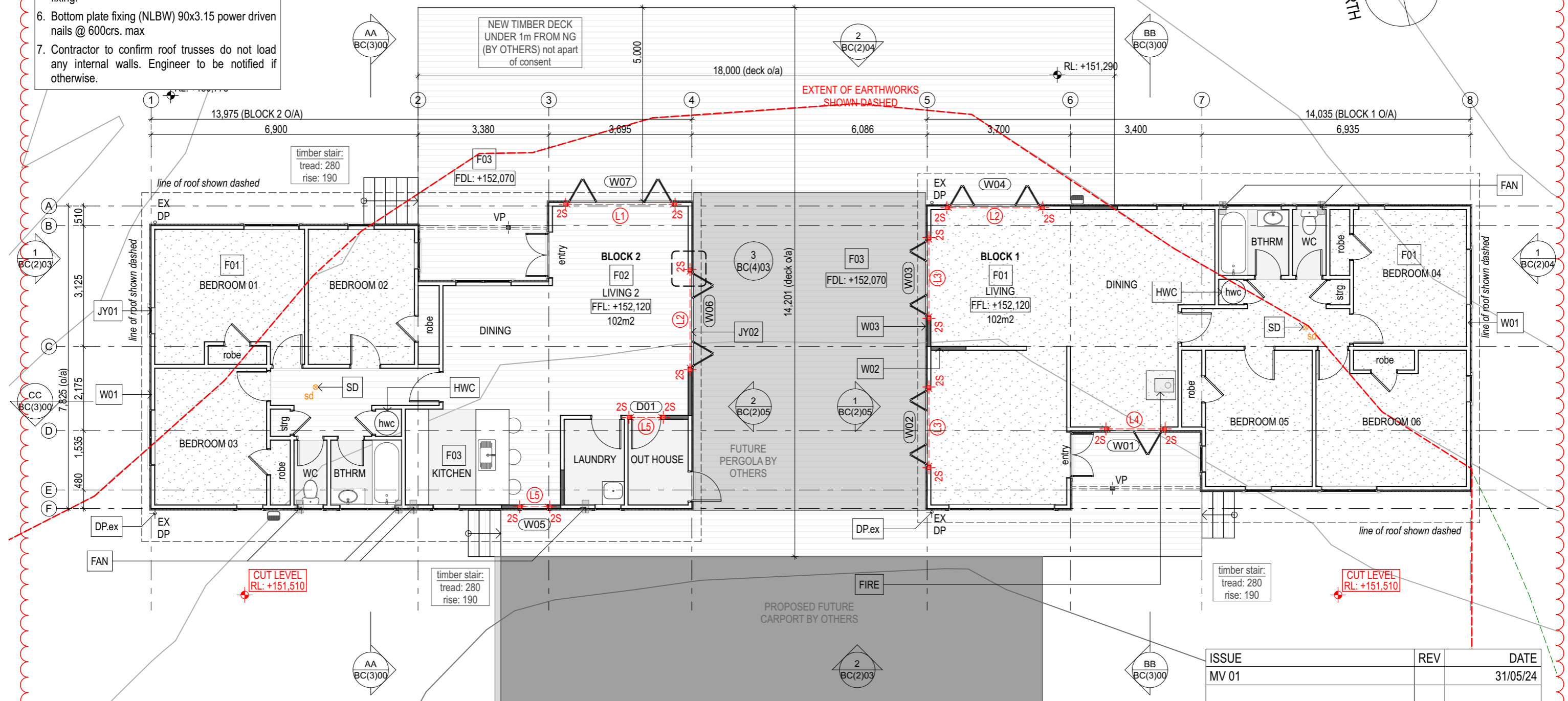
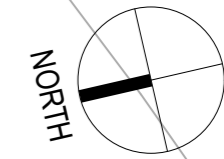
- 2S Doubled stud
- L1 2/290x45 SG8 H1.2 - Lintel Fixing Type G - refer to Lintel fix diagram
- L2 2/240x45 SG8 H1.2 - Lintel Fixing Type G - refer to Lintel fix diagram
- L3 2/190x45 SG8 H1.2 - Lintel Fixing Type F - refer to Lintel fix diagram
- L4 2/140x45 SG8 H1.2 - Lintel Fixing Type G - refer to Lintel fix diagram
- L5 2/140x45 SG8 H1.2 - Lintel Fixing Type F - refer to Lintel fix diagram
- ⊕ 90x90 SG8 H5 - Verandah post
- ↔ Lintels in area of plan

WALL STATUS

- ▭ Existing timber framed wall
 - ▨ Demolished timber framed wall.
 - ▬ Proposed timber framed wall.
- Refer to Keynote for wall type/construction.

DO NOT SCALE OFF THIS PLAN.

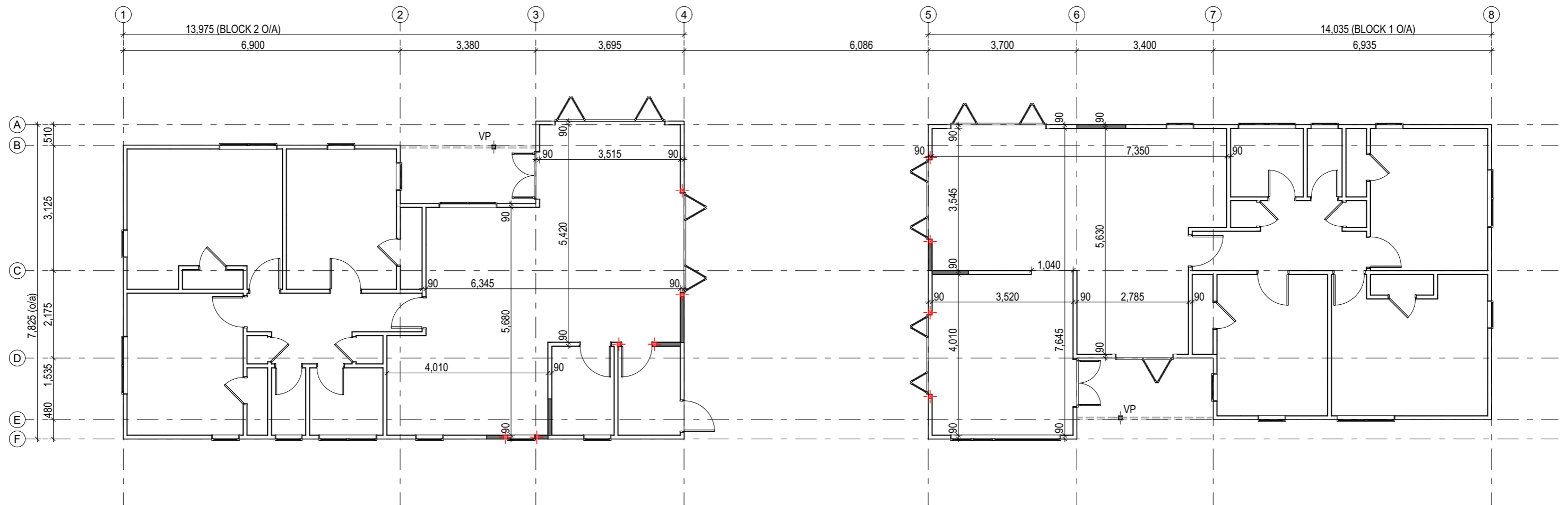
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KEYNOTES

FOUNDATIONS

- (AP) ANCHOR PILE SED
New 200x200sq H5 timber anchor piles embedded into 450x2500mm min. deep concrete footings (2500mm below cleared ground) as per Geotech Report & Structural engineering design. Ensure pile/pole is no more than 600mm max. height from cleared ground to top of pile. Read in conjunction with geotech engineer investigations and report. Concrete strength to be 20MPa min. Lumberlok 12kN fixing.
- (BP) BRACED TIMBER PILES SED
New 200x200sq H5 timber braced piles

- (OP) 125 SQ. ORDINARY TIMBER PILES SED
New 125x125sq H5 timber ordinary piles embedded into 450x2500mm min deep concrete footings (2500mm below cleared ground) as per Geotech Report & Structural engineering design. Read in conjunction with geotech engineer investigations and report. Concrete strength to be 20MPa min. 2x

embedded into 450x2500mm min deep concrete footings (2500mm below cleared ground) as per Geotech Report & Structural engineering design. Read in conjunction with geotech engineer investigations and report. Concrete strength to be 20MPa min. Lumberlok 12kN fixing.

wiredogs, 1 per side & 2/100x3.75 skew nails up into bearer.

STRUCTURE

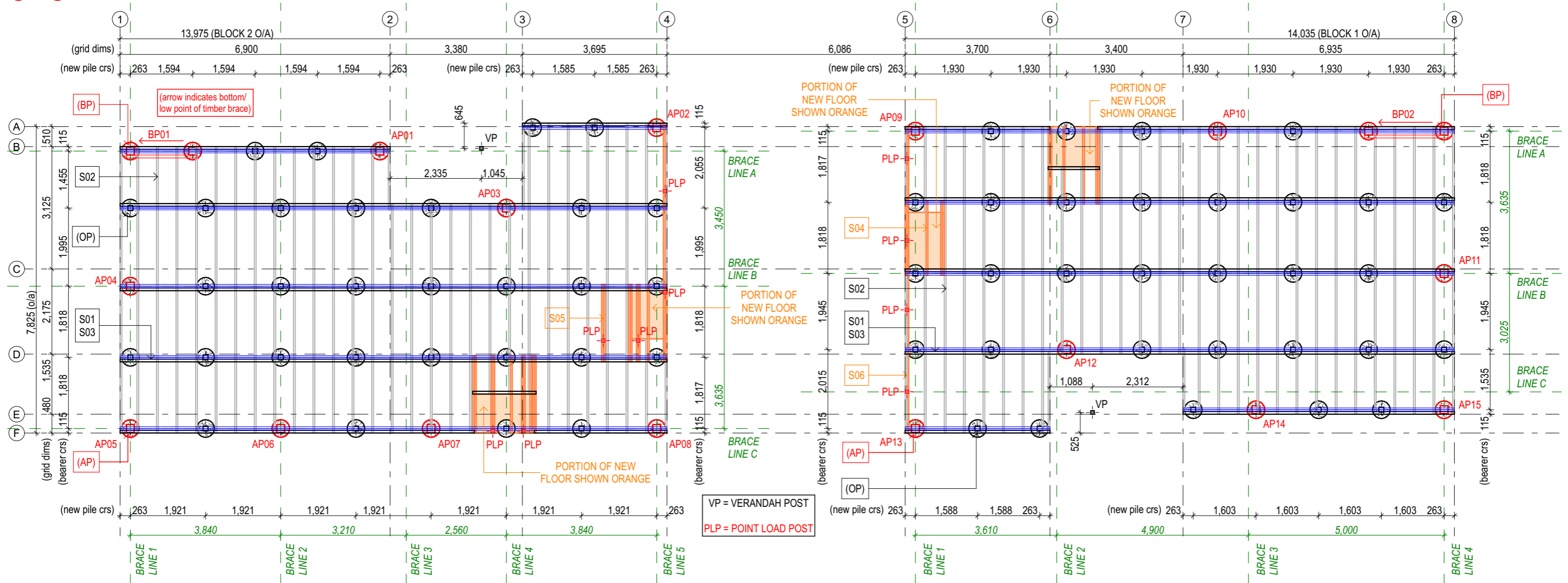
- S01 FLOOR BEARER EXISTING
Existing 100x70 timber bearer, 200mm max cantilever. COS.
- S02 FLOOR JOIST EXISTING
Existing 140x45 timber joists @ 500crs.
- S03 NEW TIMBER BEARER
New 2/140x45 SG8 H3.2 Timber bearers as per NZS3604 2011: 2.4.4.7. Max cantilever 200mm.
- S04 NEW TIMBER JOISTS
New H3.2 140x45 timber joists @ 500crs.

- S05 NEW TIMBER JOISTS
New H3.2 2/140x45 timber floor joists to support / collect point loads as per engineering.
- S06 NEW TIMBER JOISTS
New H3.2 140x45 timber floor joists to support / collect point loads as per engineering.

FIXING & DURABILITY NOTES:

Use Stainless Steel fixings for subfloor if:
 - Seaspray zone (500m from Coast)
 - Exposed subfloor (including baseboards)
 Fixings in contact w/ CCA treated timber
 - Within 600mm of ground to be 304 stainless steel. otherwise galv. steel fixings.

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FRAMING/FOUNDATION PLAN NOTES:

- Min 450mm of crawl space to underside of new and existing floor joists. Subfloor ventilation as per NZS3604:2011, 6.14.
- All new fixings within 600mm of ground to be 304 stainless steel.
- Please refer to subfloor bracing calcs attached.
- Subfloor ventilation as per NZS3604:2011 6.14.2

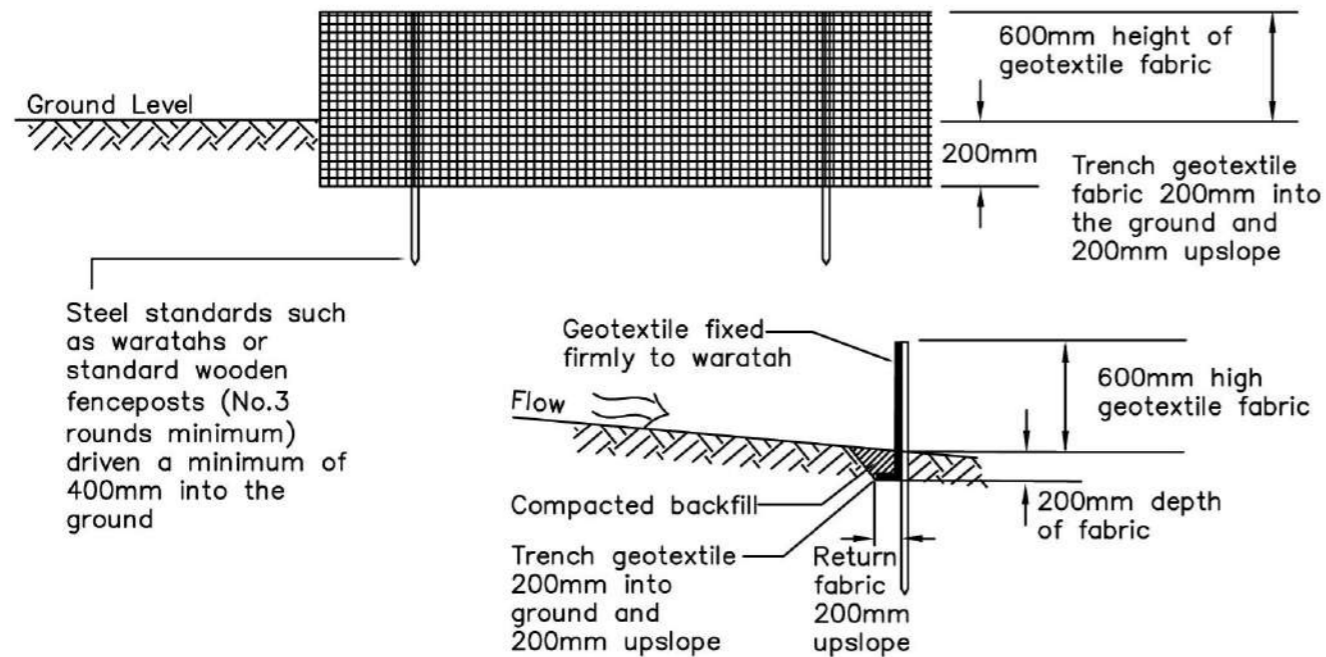
ENSURE PILE AT JOIN BELOW EVERY FLOOR BEARER TAKING DWELLING LOAD. READ IN CONJUNCTION WITH GEOTECHNICAL ENGINEERING.

GEOTECHNICAL ENGINEER'S
GEOLOGIX CONSULTING ENGINEERS
 09 392 0007
STRUCTURAL ENGINEER'S
K2 CONSULTANTS LTD
CONTACT DETAILS:
 022 751 992

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Post spacing can be increased from 2m to 4m if supported by a 2.5mm diameter high tensile wire along the top with clips every 200mm



SILT FENCE _ TYP DETAL

SITE MANAGEMENT PLAN:

1. Silt fences to be constructed as per detail this sheet and located as shown on plan.
 2. Where existing downpipes removed provide new temporary downpipes and divert stormwater to existing soakholes.
 3. Minimise areas of ground disturbance to those shown on plan.
 4. On-site washouts to be over wash pit to capture discharge.
 5. Provide temporary downpipes to discharge roof water into cesspits.
 6. Stockpiled material to be covered with plastic sheet and protected by silt fence.
 7. Delivered building materials to be stockpiled in designated area.
 8. Rubbish skips to be delivered to designated areas.
 9. Working times:
Monday to Saturday 7.30am to 6.00pm.
Heavy machinery may have engines started and warming up from 7.00am.
- Sunday and Public Holidays - no work shall proceed.
10. Site Manager: TBA
 11. Contractor to allow for erection of gated temporary safety fencing/hoarding located as shown on this plan.

DEWATERING AND DIVERSION DURING EXCAVATION *AUP Operative in part - E7*

Taking, using, damming and diversion of water and drilling

Dewatering or groundwater must comply with Standard E7.6.1.6;

- (1) The water take must not be geothermal water;
- (2) The water take must not be for a period of more than 10 days where it occurs in peat soils, or 30 days in other types of soil or rock; and
- (3) The water take must only occur during construction.

Diversion of groundwater caused by any excavation (including trench) must comply with Standard E7.6.10

- (1) All of the following activities are exempt from the Standards E7.6.1.10(2) – (6):
 - (a) pipes cables or tunnels including associated structures which are drilled or thrust and are up to 1.2m in external diameter;
 - (b) pipes including associated structures up to 1.5m in external diameter where a closed faced or earth pressure balanced machine is used;
 - (c) piles up to 1.5m in external diameter are exempt from these standards;
 - (d) diversions for no longer than 10 days; or
 - (e) diversions for network utilities and road network linear trenching activities that are progressively opened, closed and stabilised where the part of the trench that is open at any given time is no longer than 10 days
- (2) Any excavation that extends below natural groundwater level, must not exceed:
 - (a) 1ha in total area; and
 - (b) 6m depth below the natural ground level.
- (3) The natural groundwater level must not be reduced by more than 2m on the boundary of any adjoining site.
- (4) Any structure, excluding sheet piling that remains in place for no more than 30 days, that physically impedes the flow of groundwater through the site must not:
 - (a) impede the flow of groundwater over a length of more than 20m; and
 - (b) extend more than 2m below the natural groundwater level.
- (5) The distance to any existing building or structure (excluding timber fences and small structures on the boundary) on an adjoining site from the edge of any:
 - (a) trench or open excavation that extends below natural groundwater level must be at least equal to the depth of the excavation;
 - (b) tunnel or pipe with an external diameter of 0.2 - 1.5m that extends below natural groundwater level must be 2m or greater; or
 - (c) a tunnel or pipe with an external diameter of up to 0.2m that extends below natural groundwater level has no separation requirement.
- (6) The distance from the edge of any excavation that extends below natural groundwater level, must not be less than:
 - (a) 50m from the Wetland Management Areas Overlay;
 - (b) 10m from a scheduled Historic Heritage Overlay; or
 - (c) 10m from a lawful groundwater take.

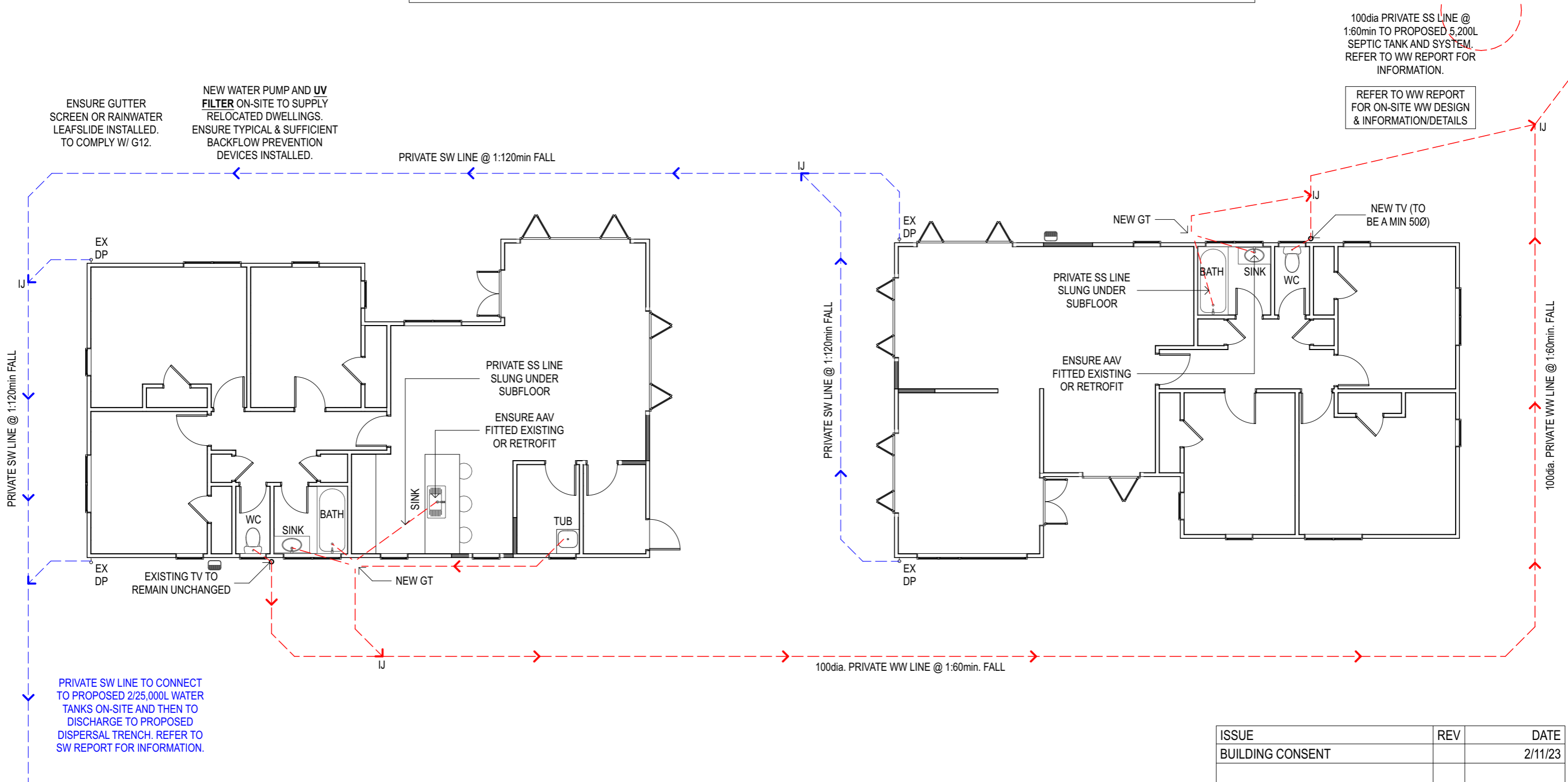
NOTES:

1. Plumbing is a schematic only. Plumber to confirm all drain runs on-site and provide as built drawing.
2. Size stormwater drainage in accordance to NZBC/E1.
3. Ensure all cess pits located at low points with fall towards them. Size cesspits in accordance to min noted in NZBC/E1.
4. Ensure all plumbing pipes and wastes are concealed when in walls.

5. Contractor to confirm stormwater and wastewater systems and build as per stormwater & wastewater management designs.
5. 100Ø uPVC waste pipe 1:60 fall
6. 100Ø uPVC roof catchment pipe 1:120 fall.
7. Private drainage to comply with AS/NZS 3500.2.

Min service pipe sizes
 Sink 40Ø : min 1:40 fall
 Bath 40Ø : min 1:40 fall
 Laundry tub 40Ø : min 1:40 fall
 Sewerpipes 100Ø : min 1:60 fall
 WC 100Ø : min 1:60 fall
 Downpipes 80Ø

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KEYNOTES

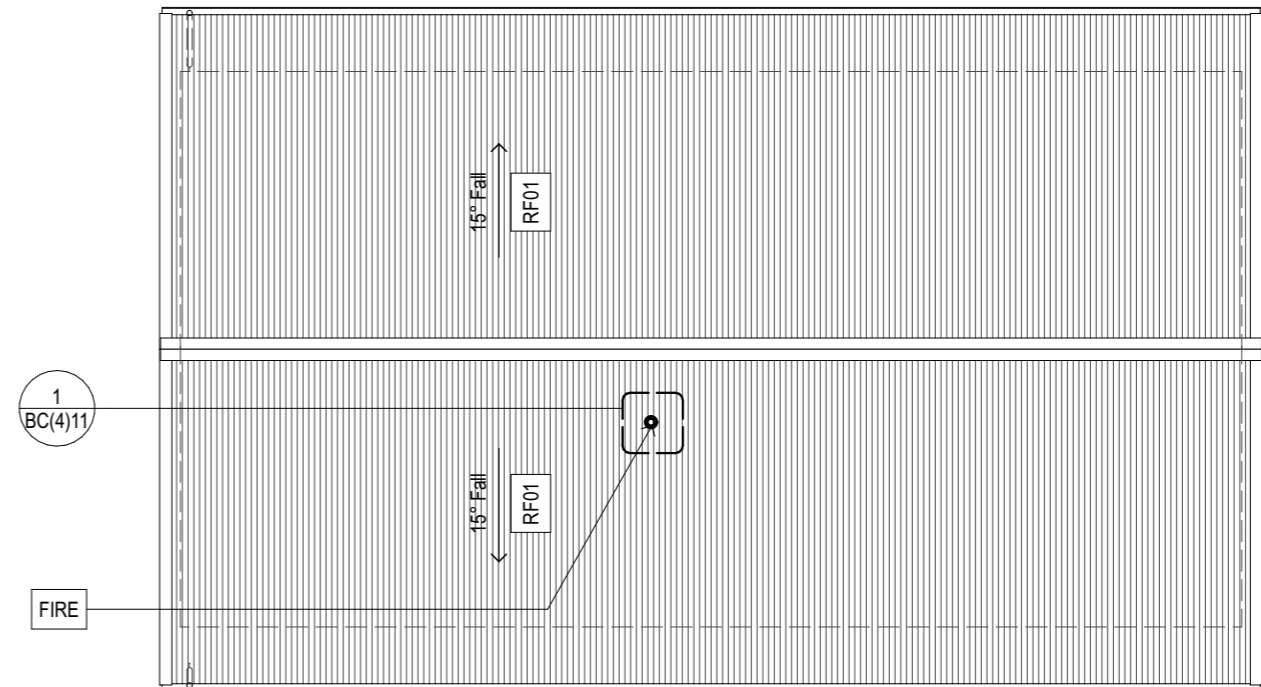
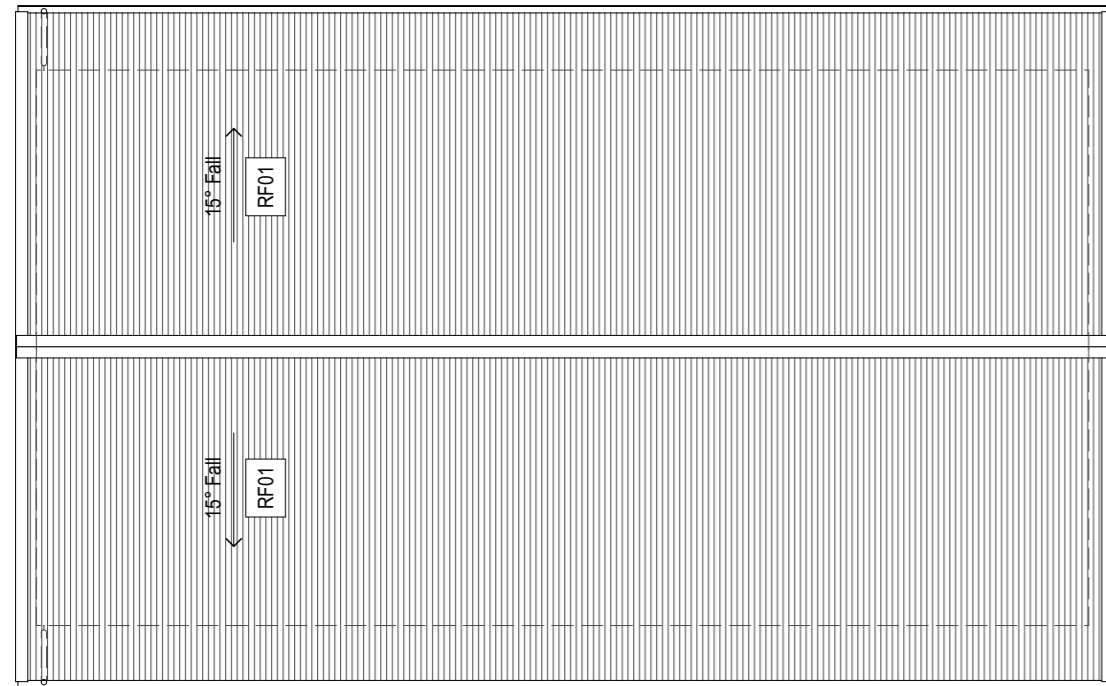
ROOFS

RF01 EXISTING ROOF
Existing metal roofing to remain over existing timber roof structure. Refer to building report condition of structure and materials. Replace sheets of roofing if effected by move on a like by like basis.

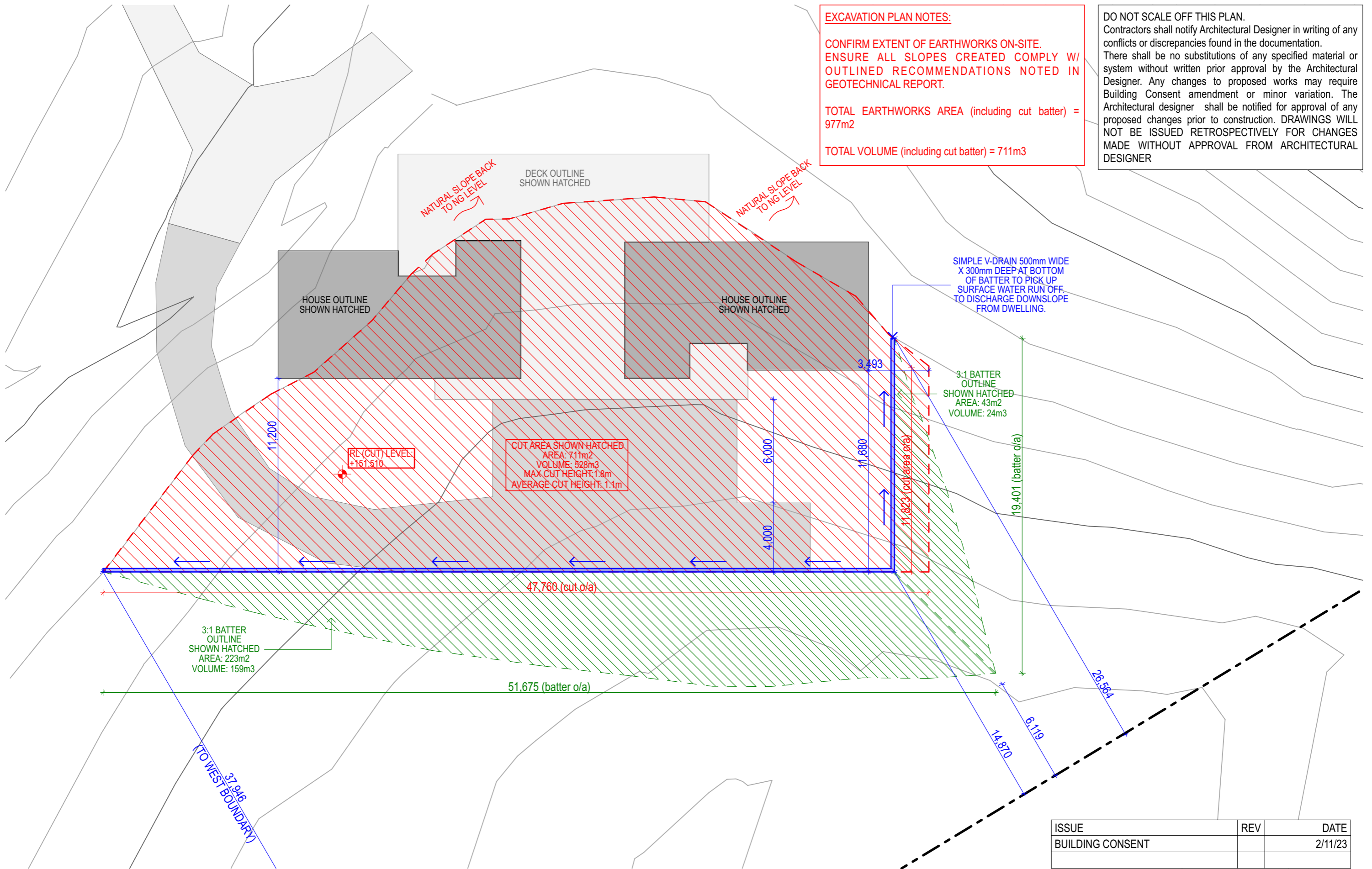
INTERIOR - FINISHES

FIRE INTERNAL FIRE PLACE
New Kent KWF250 woodfire. Install as per manufacturers instructions. Refer to details for flue information. Deklite Premium roof flashing installed as per manufacturers specifications. Ensure flue is sufficiently braced as overall height from roof is more than 1.2m.

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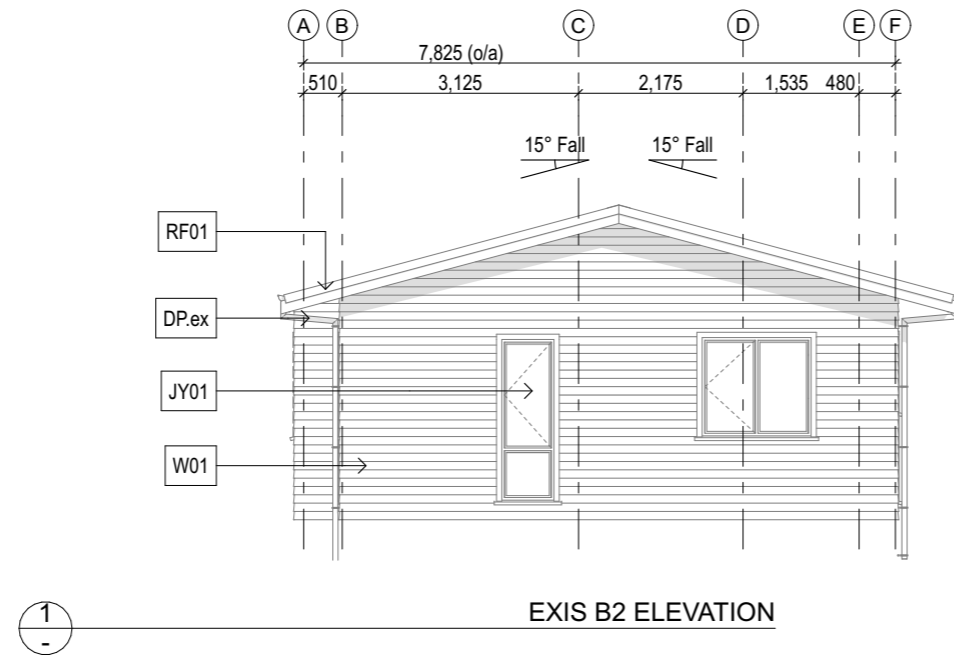
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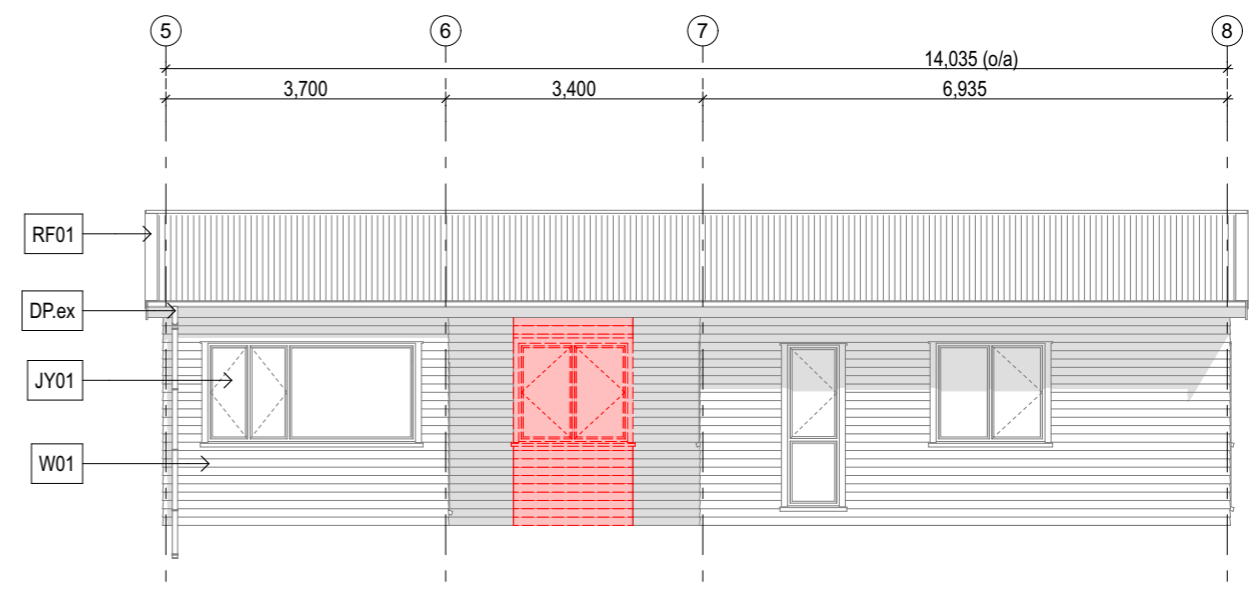
- KEYNOTES**
- DEMOLITION**
- DE01 EXISTING EXTERNAL WALL TO BE DEMOLISHED
Existing external timber stud wall to be demolished.
 - DE03 EXISTING JOINERY TO BE DEMOLISHED
Existing joinery to be removed/demolished.
- WALLS**
- W01 EXISTING WEATHERBOARDS
Existing timber bevelback weatherboards to remain on existing timber framed walls. Allow to make good as required on a like for like basis.
- ROOFS**
- RF01 EXISTING ROOF
Existing metal roofing to remain over existing timber roof structure. Refer to building report condition of structure and materials. Replace sheets of roofing if effected by move on a like by like basis.
- EXTERIOR JOINERY**
- JY01 EXISTING JOINERY
Existing timber joinery. Replace any finishing lines or units that are effected from move.
- SERVICES - RAINWATER DISPOSAL**
- DP.ex DOWNPIPE - EXISTING
Existing downpipes to remain.



EXIS B2 ELEVATION



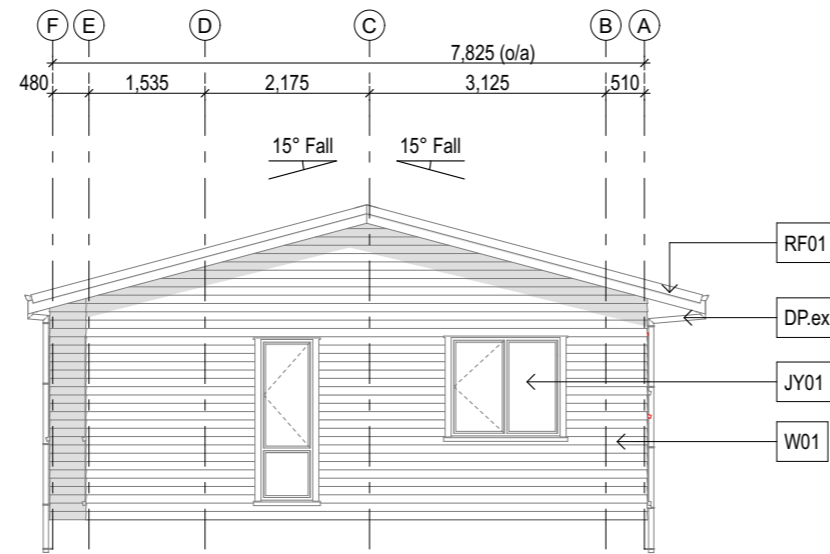
EXIS B1 & B2 ELEVATION



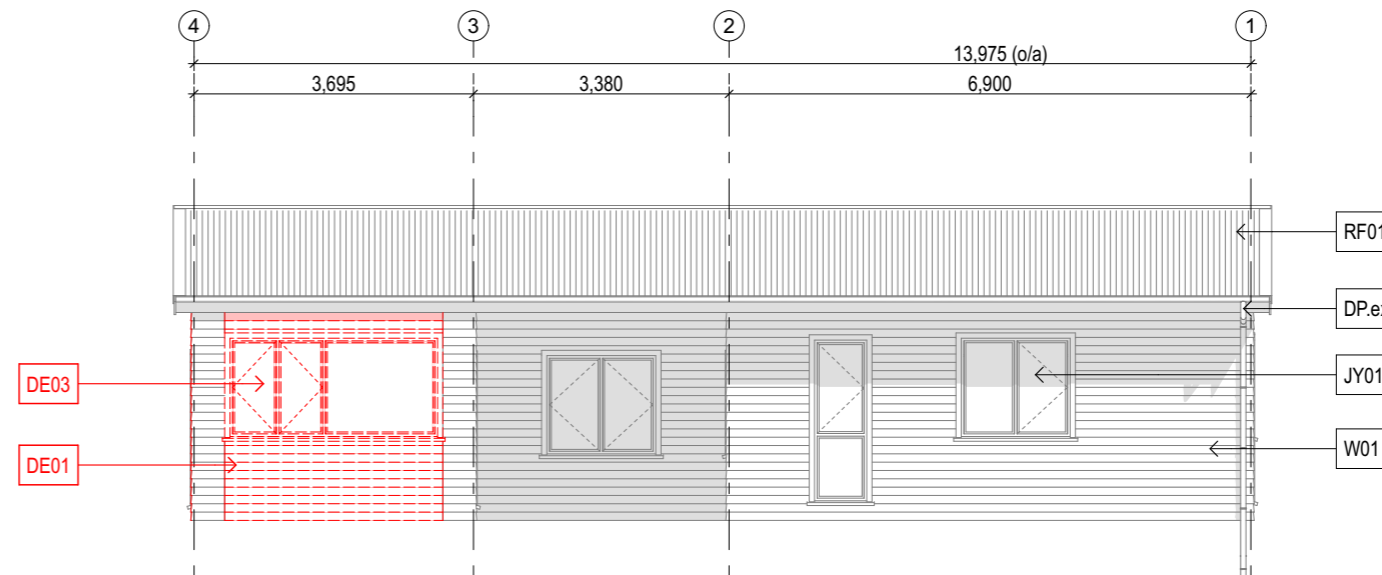
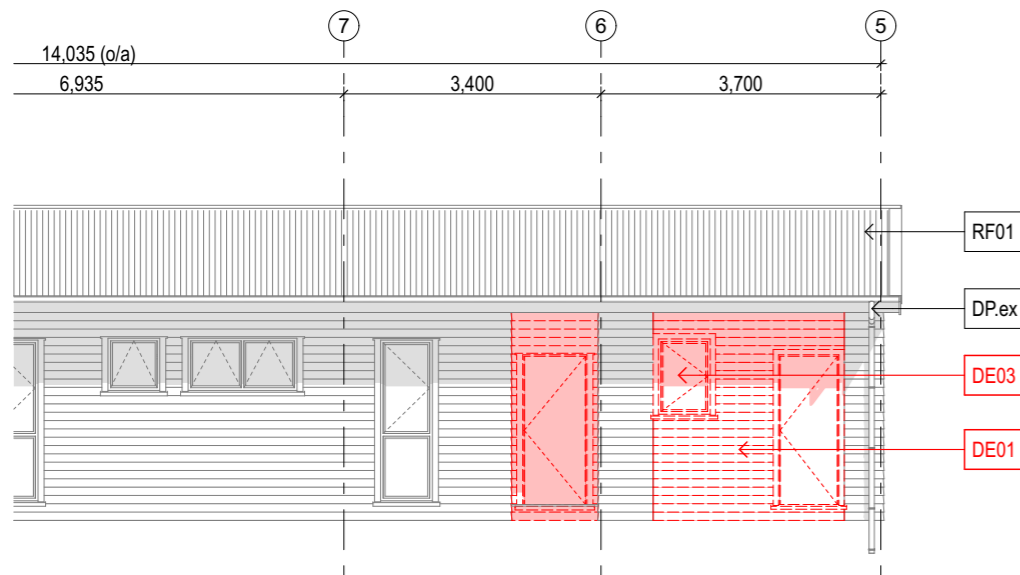
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BUILDING CONSENT		2/11/23

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- KEYNOTES**
- DEMOLITION**
- DE01 EXISTING EXTERNAL WALL TO BE DEMOLISHED
 - Existing external timber stud wall to be demolished.
 - DE03 EXISTING JOINERY TO BE DEMOLISHED
 - Existing joinery to be removed/demolished.
- WALLS**
- W01 EXISTING WEATHERBOARDS
 - Existing timber bevelback weatherboards to remain on existing timber framed walls. Allow to make good as required on a like for like basis.
- ROOFS**
- RF01 EXISTING ROOF
 - Existing metal roofing to remain over existing timber roof structure. Refer to building report condition of structure and materials. Replace sheets of roofing if effected by move on a like by like basis.
- EXTERIOR JOINERY**
- JY01 EXISTING JOINERY
 - Existing timber joinery. Replace any finishing lines or units that are effected from move.
- SERVICES - RAINWATER DISPOSAL**
- DP.ex DOWNPIPE - EXISTING
 - Existing downpipes to remain.



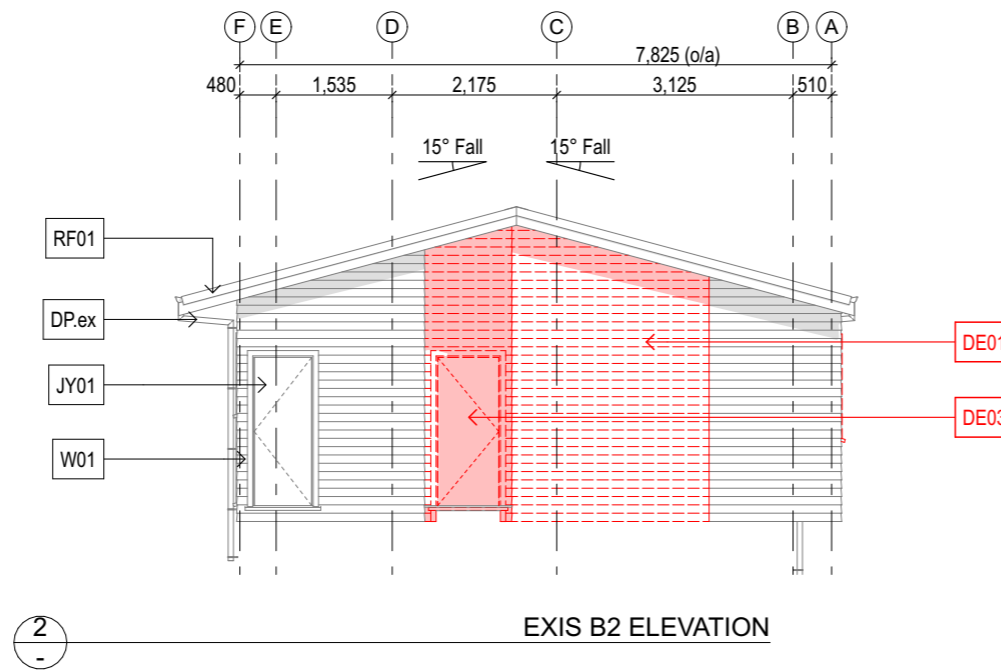
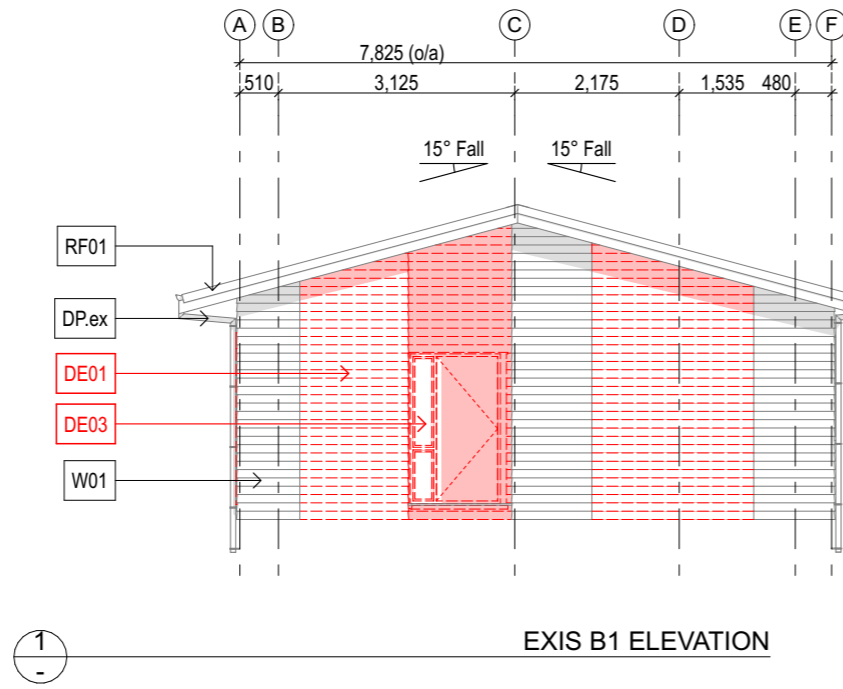
1
-
EXIS B1 ELEVATION



2
-
EXIS B1 & B2 ELEVATION

ISSUE	REV	DATE
BUILDING CONSENT		2/11/23

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KEYNOTES

DEMOLITION

- DE01 EXISTING EXTERNAL WALL TO BE DEMOLISHED
Existing external timber stud wall to be demolished.
- DE03 EXISTING JOINERY TO BE DEMOLISHED
Existing joinery to be removed/demolished.

WALLS

- W01 EXISTING WEATHERBOARDS
Existing timber bevelback weatherboards to remain on existing timber framed walls. Allow to make good as required on a like for like basis.

ROOFS

- RF01 EXISTING ROOF
Existing metal roofing to remain over existing timber roof structure. Refer to building report condition of structure and materials. Replace sheets of roofing if effected by move on a like by like basis.

EXTERIOR JOINERY

- JY01 EXISTING JOINERY
Existing timber joinery. Replace any finishing lines or units that are effected from move.

SERVICES - RAINWATER DISPOSAL

- DP.ex DOWNPIPE - EXISTING
Existing downpipes to remain.

ISSUE	REV	DATE
BUILDING CONSENT		2/11/23

KEYNOTES

FLOORS

F04 **TIMBER DECK**
New Timber deck, to be under 1m from NG to FDL & by others (not apart of this consent). Ensure to be built/completed prior to CCC.

WALLS

W01 **EXISTING WEATHERBOARDS**
Existing timber bevelback weatherboards to remain on existing timber framed walls. Allow

ROOFS

RF01 **EXISTING ROOF**
Existing metal roofing to remain over existing timber roof structure. Refer to building report condition of structure and materials. Replace sheets of roofing if effected by move on a like by like basis.

to make good as required on a like for like basis.

EXTERIOR JOINERY

JY01 **EXISTING JOINERY**
Existing timber joinery. Replace any finishing lines or units that are effected from move.
JY02 **NEW JOINERY**
New timber joinery installed as per manufactureres installation instructions. Ensure compliance with E2/AS1. For weathertightness information refer to E2/AS1 & for safety glass info refer to NZS4223.3.2016.

SERVICES - RAINWATER DISPOSAL

DP.ex **DOWNPIPE - EXISTING**
Existing downpipes to remain.

INTERIOR - FINISHES

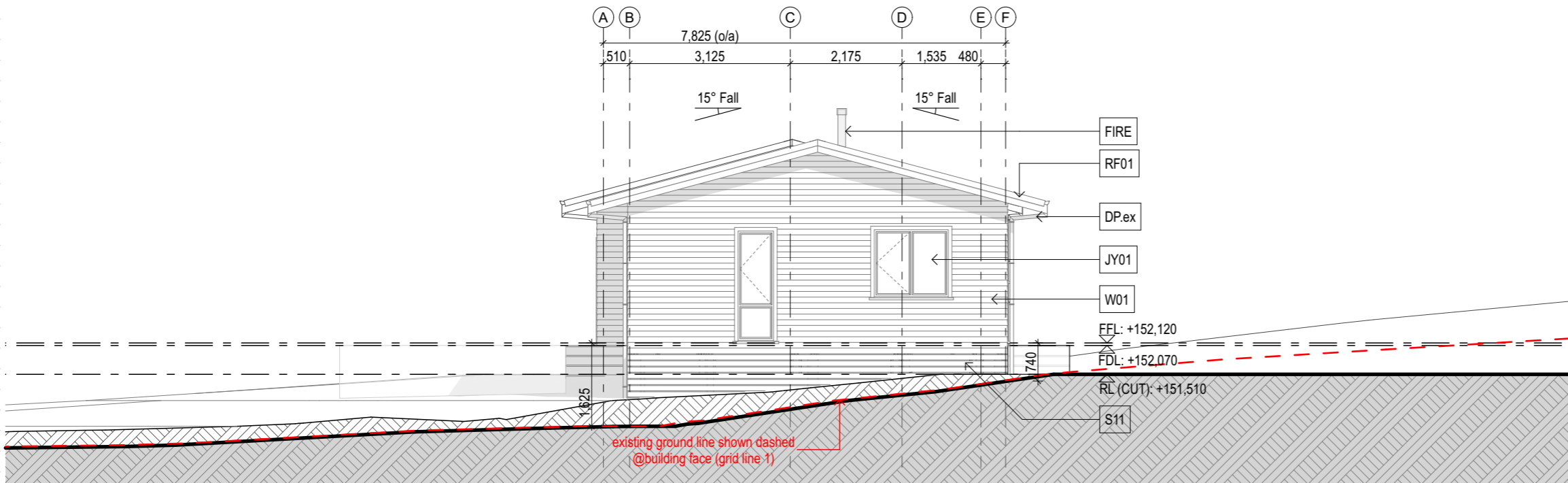
FIRE **INTERNAL FIRE PLACE**
New Kent KWF250 woodfire. Install as per manufactureres instructions. Refer to details for flue information. Dektite Premium roof flashing installed as per manufactureres specifications. Ensure flue is sufficiently braced as overall

height from roof is more than 1.2m.

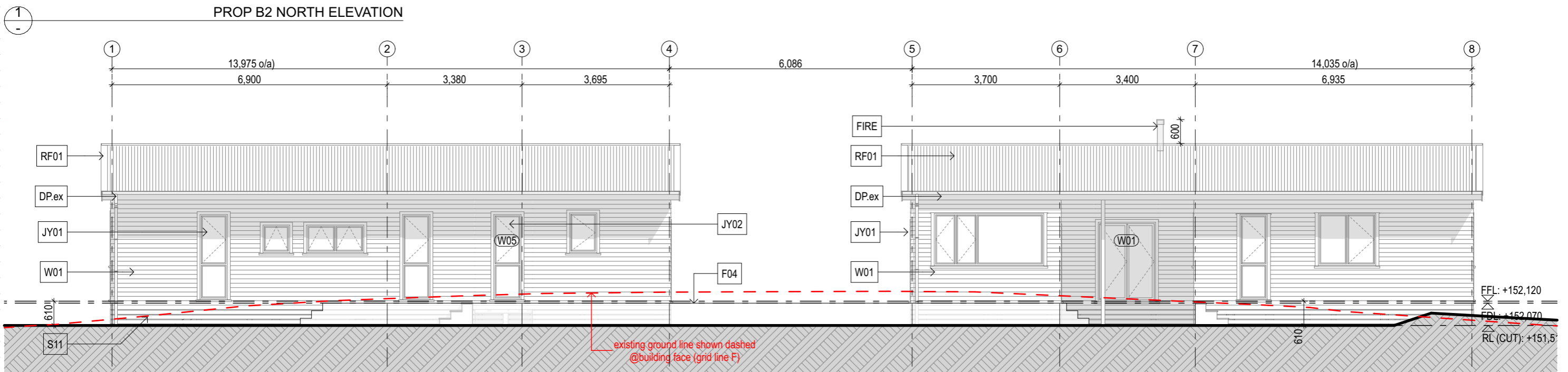
STRUCTURE

S11 **SUBFLOOR BOARDS**
New Timber 100x20 subfloor boards w/ min 20mm ventilation gaps between boards to comply as per NZS3604:2011 sec 6:14. Ensure sufficient subfloor access.

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PROP B2 NORTH ELEVATION



PROP B1 & B2 WEST ELEVATION

ISSUE	REV	DATE
MV 01		31/05/24



KEYNOTES

FLOORS
F04 **TIMBER DECK**
 New Timber deck, to be under 1m from NG to FDL & by others (not apart of this consent). Ensure to be built/completed prior to CCC.

WALLS
W01 **EXISTING WEATHERBOARDS**
 Existing timber bevelback weatherboards to remain on existing timber framed walls. Allow

ROOFS
RF01 **EXISTING ROOF**
 Existing metal roofing to remain over existing timber roof structure. Refer to building report condition of structure and materials. Replace sheets of roofing if effected by move on a like by like basis.

to make good as required on a like for like basis.

EXTERIOR JOINERY
JY01 **EXISTING JOINERY**
 Existing timber joinery. Replace any finishing lines or units that are effected from move.
JY02 **NEW JOINERY**
 New timber joinery installed as per manufactureres installation instructions. Ensure compliance with E2/AS1. For weathertightness information refer to E2/AS1 & for safety glass info refer to NZS4223.3.2016.

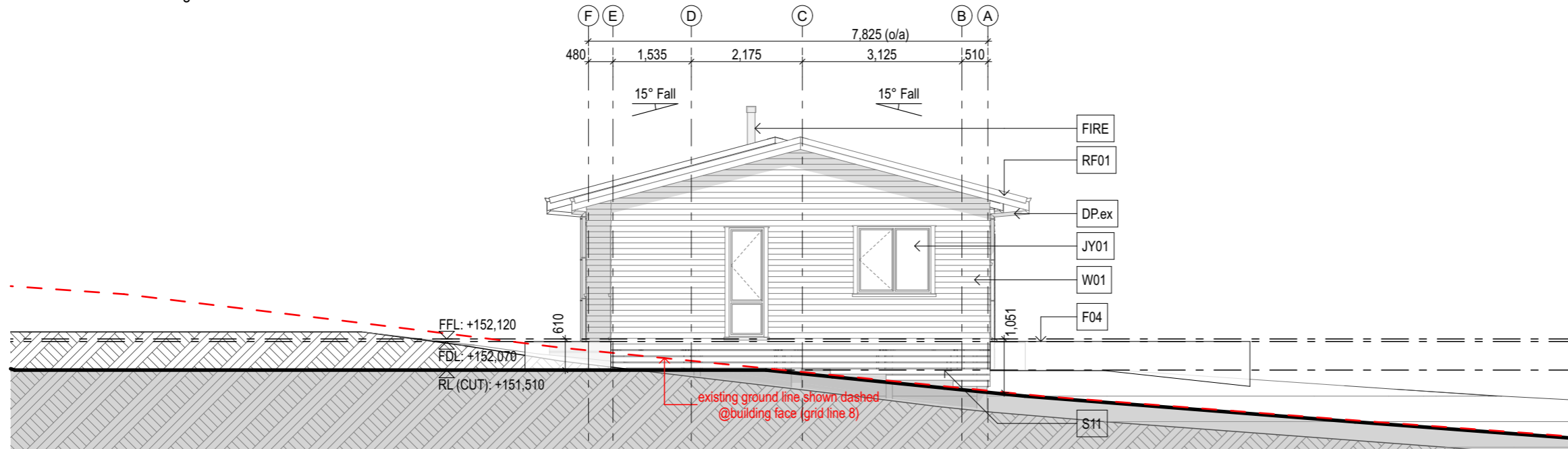
SERVICES - RAINWATER DISPOSAL
DP.ex **DOWNPIPE - EXISTING**
 Existing downpipes to remain.

INTERIOR - FINISHES
FIRE **INTERNAL FIRE PLACE**
 New Kent KWF250 woodfire. Install as per manufacturers instructions. Refer to details for flue information. Dektite Premium roof flashing installed as per manufacturers specifications. Ensure flue is sufficiently braced as overall

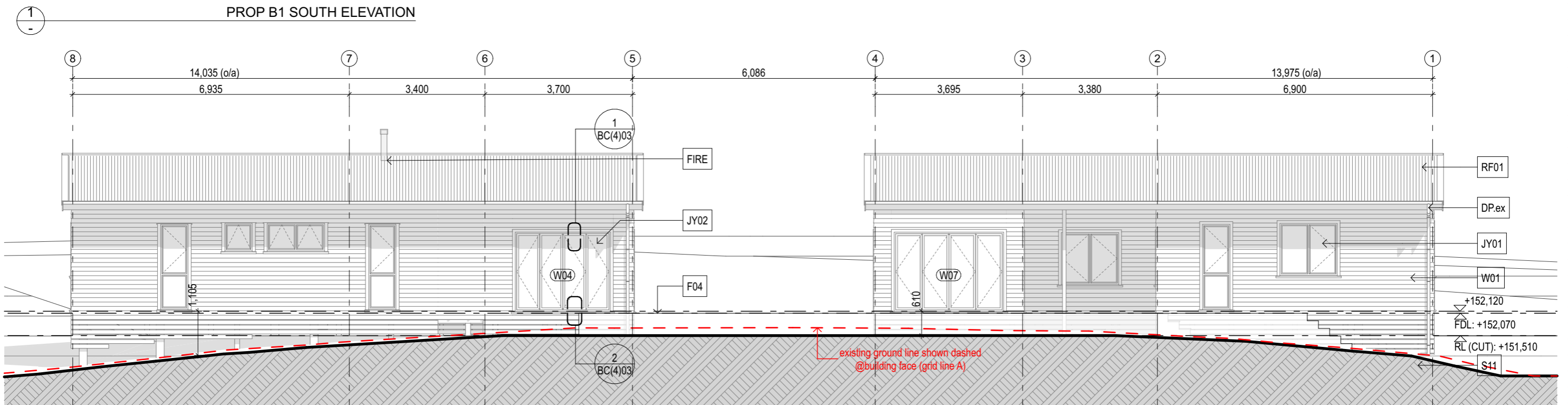
height from roof is more than 1.2m.

STRUCTURE
S11 **SUBFLOOR BOARDS**
 New Timber 100x20 subfloor boards w/ min 20mm ventilation gaps between boards to comply as per NZS3604:2011 sec 6.14. Ensure sufficient subfloor access.

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PROP B1 SOUTH ELEVATION



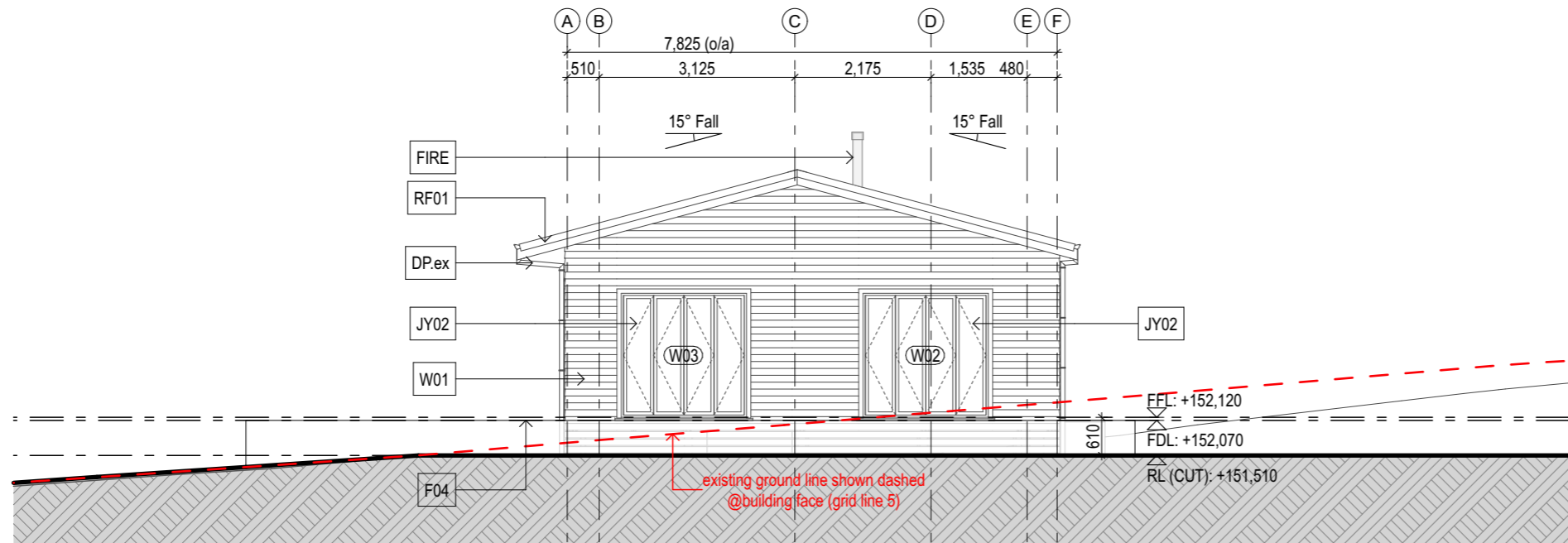
PROP B1 & B2 EAST ELEVATION

ISSUE	REV	DATE
MV 01		31/05/24

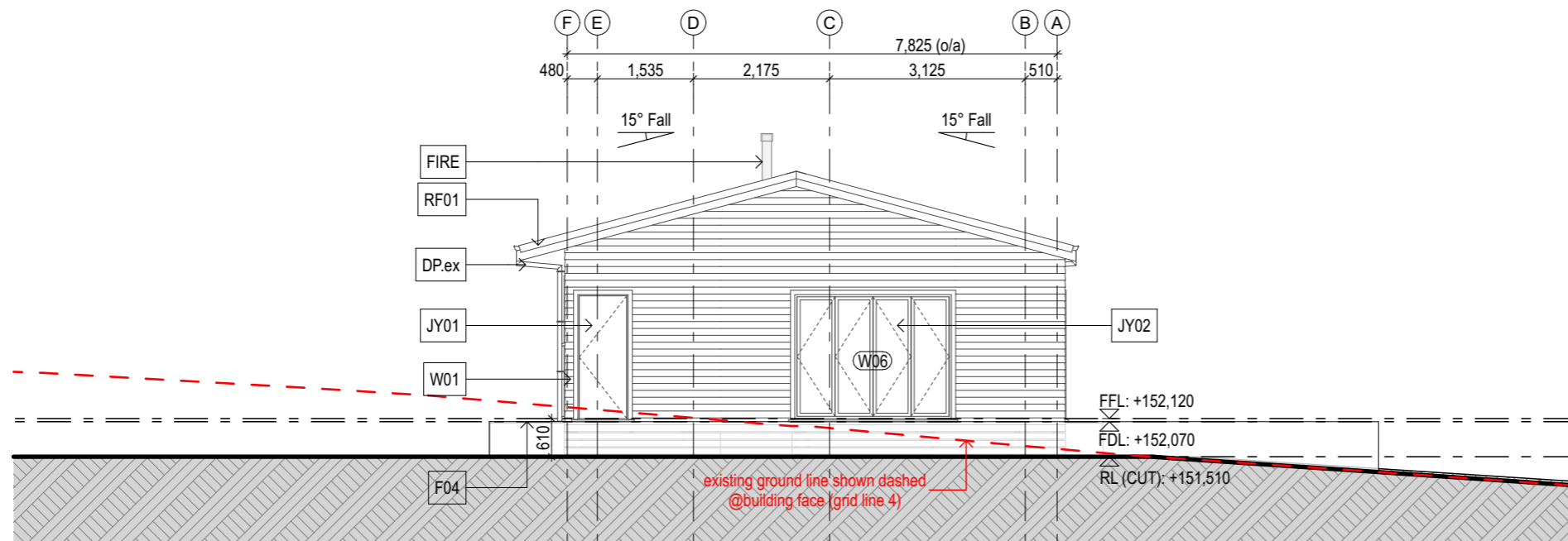


MAXIMUM BUILDING HEIGHT (12m) 12m rolling max building height

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1
-
PROP B1 NORTH ELEVATION



2
-
PROP B2 SOUTH ELEVATION

KEYNOTES

FLOORS

F04 **TIMBER DECK**
New Timber deck, to be under 1m from NG to FDL & by others (not apart of this consent). Ensure to be built/completed prior to CCC.

WALLS

W01 **EXISTING WEATHERBOARDS**
Existing timber bevelback weatherboards to remain on existing timber framed walls. Allow to make good as required on a like for like basis.

ROOFS

RF01 **EXISTING ROOF**
Existing metal roofing to remain over existing timber roof tructure. Refer to building report condition of structure and materials. Replace sheets of roofing if effected by move on a like by like basis.

EXTERIOR JOINERY

JY01 **EXISTING JOINERY**
Existing timber joinery. Replace any finishing lines or units that are effected from move.
JY02 **NEW JOINERY**
New timber joinery installed as per manufactureres installation instructions. Ensure compliance with E2/AS1. For weathertightness information refer to E2/AS1 & for safety glass info refer to NZS4223.3.2016.

SERVICES - RAINWATER DISPOSAL

DP.ex **DOWNPIPE - EXISTING**
Existing downpipes to remain.

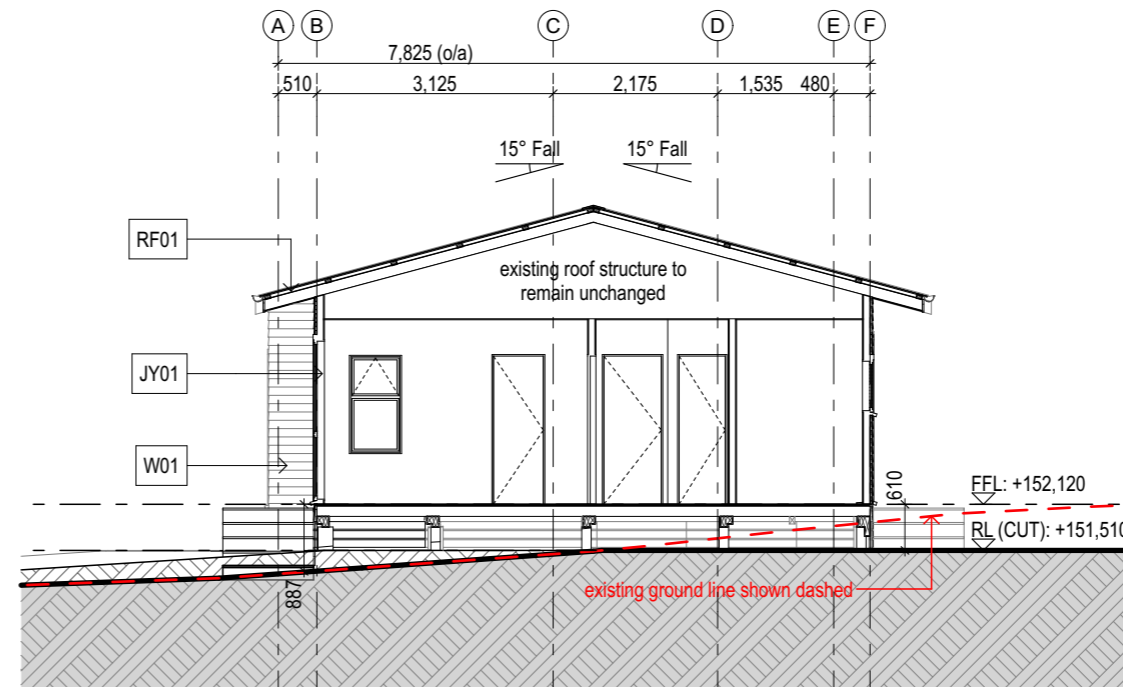
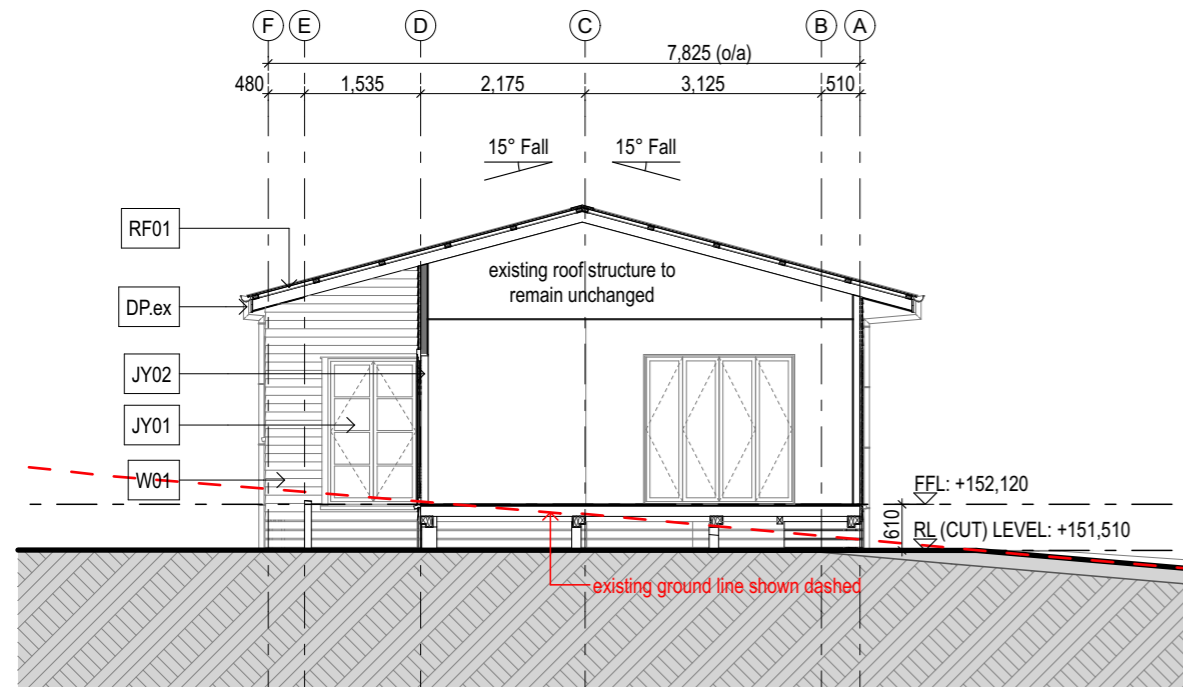
INTERIOR - FINISHES

FIRE **INTERNAL FIRE PLACE**
New Kent KWF250 woodfire. Install as per manufacturers instructions. Refer to details for flue information. Dektite Premium roof flashing installed as per manufacturers specifications. Ensure flue is sufficiently braced as overall heighth from roof is more than 1.2m.

ISSUE	REV	DATE
MV 01		31/05/24

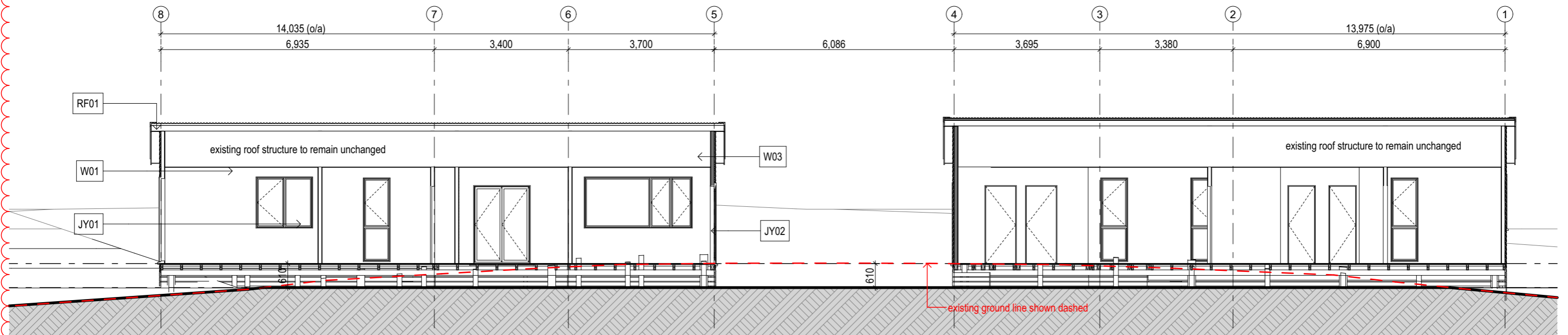


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1 SECTION AA

2 SECTION BB



3 SECTION CC

ISSUE	REV	DATE
MV 01		31/05/24

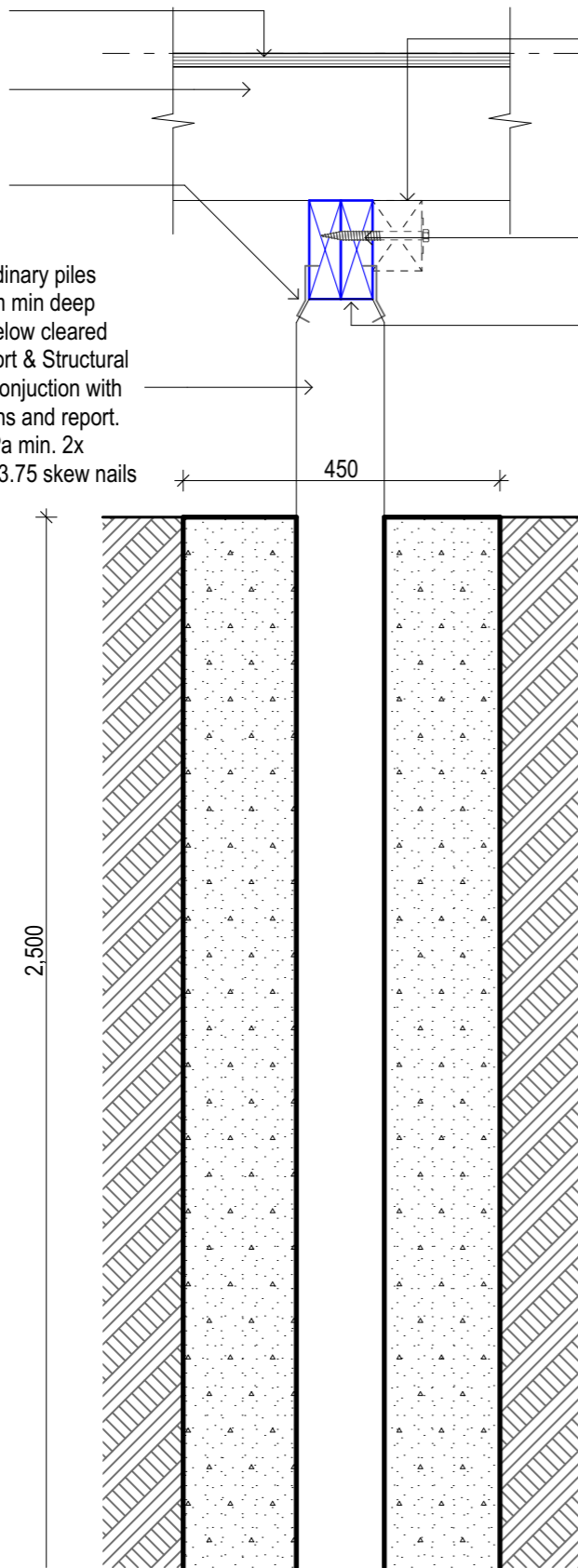


Existing flooring to remain unchanged

Existing floor framing to remain unchanged

2/Wiredogs and 2/100x3.75 skew nails up into bearer for fixing

New 125x125sq H5 timber ordinary piles embedded into 450x2500mm min deep concrete footings (2500mm below cleared ground) as per Geotech Report & Structural engineering design. Read in conjunction with geotech engineer investigations and report. Concrete strength to be 20MPa min. 2x wiredogs, 1 per side & 2/100x3.75 skew nails up into bearer.

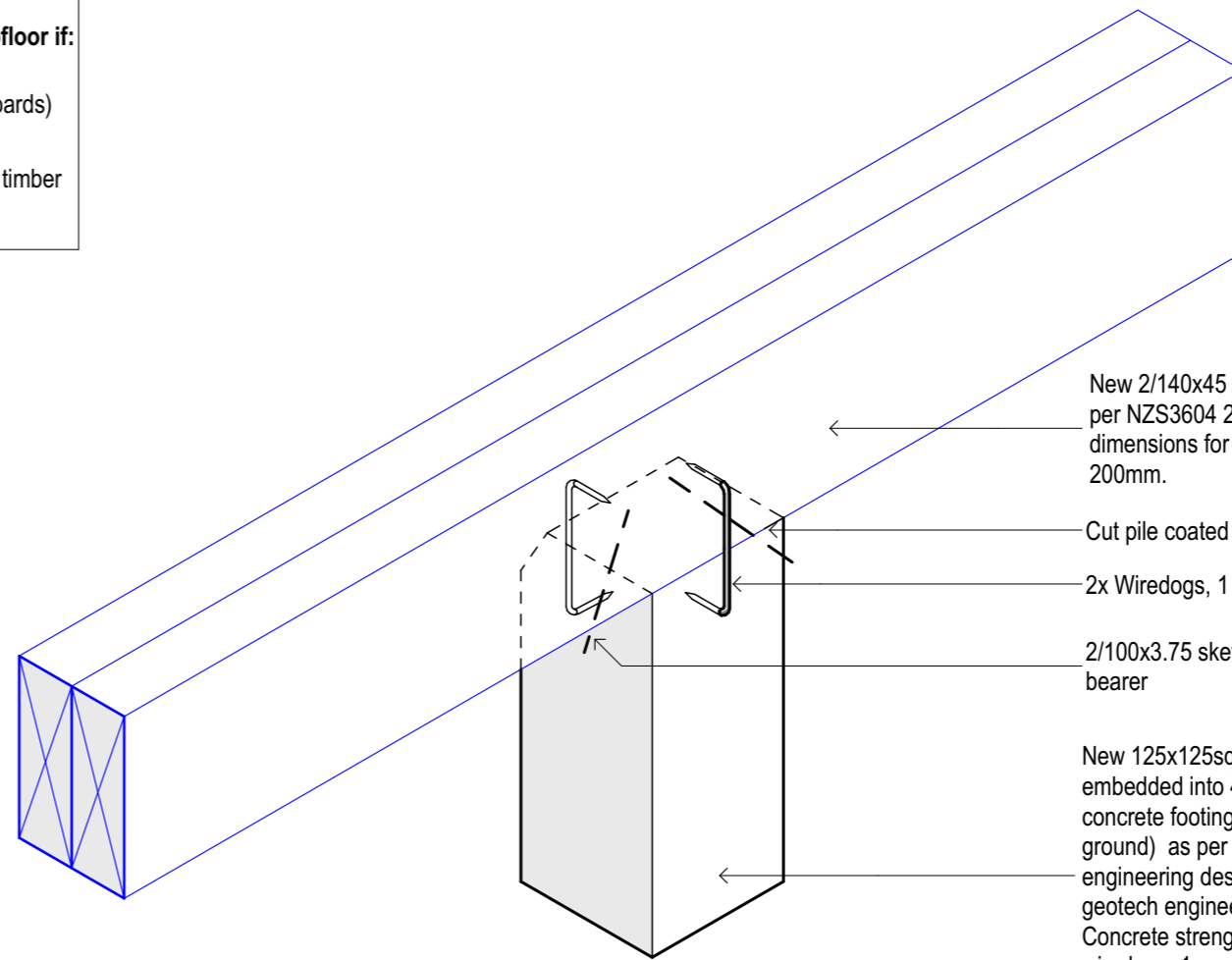


If existing bearer is to remain, cut back 300mm either side of pile to allow for fixing of new bearer to joist. Existing portion of bearer to be fixed to new bearer with M12 coach screw @ 1200crs

New 2/140x45 SG8 H3.2 Timber bearers as per NZS3604 2011: 2.4.4.7. Refer to dimensions for max. span, max. cantilever 200mm.

Cut pile coated with Metalex

Fixing durability requirements
Use Stainless Steel fixings for subfloor if:
 - Seaspray zone (500m from coast)
 - Exposed subfloor (including baseboards)
 - Fixing within 600mm from ground
 - Fixings in contact with CCA treated timber
otherwise use galv. steel fixings



New 2/140x45 SG8 H3.2 Timber bearers as per NZS3604 2011: 2.4.4.7. Refer to dimensions for max. span, max. cantilever 200mm.

Cut pile coated with Metalex

2x Wiredogs, 1 per side

2/100x3.75 skew nails up into bearer

New 125x125sq H5 timber ordinary piles embedded into 450x2500mm min deep concrete footings (2500mm below cleared ground) as per Geotech Report & Structural engineering design. Read in conjunction with geotech engineer investigations and report. Concrete strength to be 20MPa min. 2x wiredogs, 1 per side & 2/100x3.75 skew nails up into bearer.

1

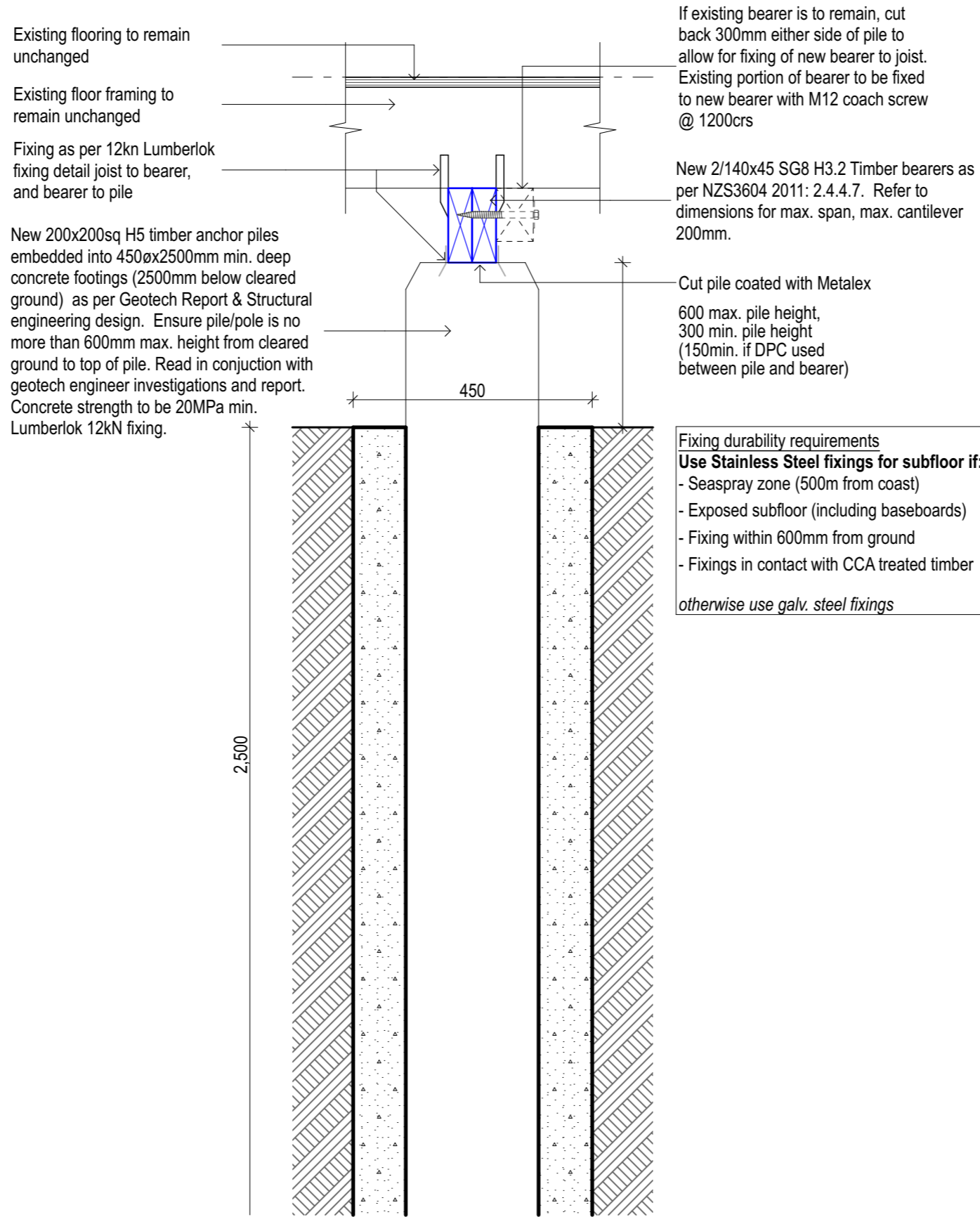
ORDINARY PILE DETAIL (2D)

2

ORDINARY PILE DETAIL (3D)

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1
-

ANCHOR PILE DETAIL

ISSUE	REV	DATE
BUILDING CONSENT		2/11/23



Existing floor framing to remain unchanged

Fixing as per 12kn Lumberlok fixing detail.

New 200x200sq H5 timber braced piles embedded into 450x2500mm min deep concrete footings (2500mm below cleared ground) as per Geotech Report & Structural engineering design. Read in conjunction with geotech engineer investigations and report. Concrete strength to be 20MPa min. Lumberlok 12kN fixing.

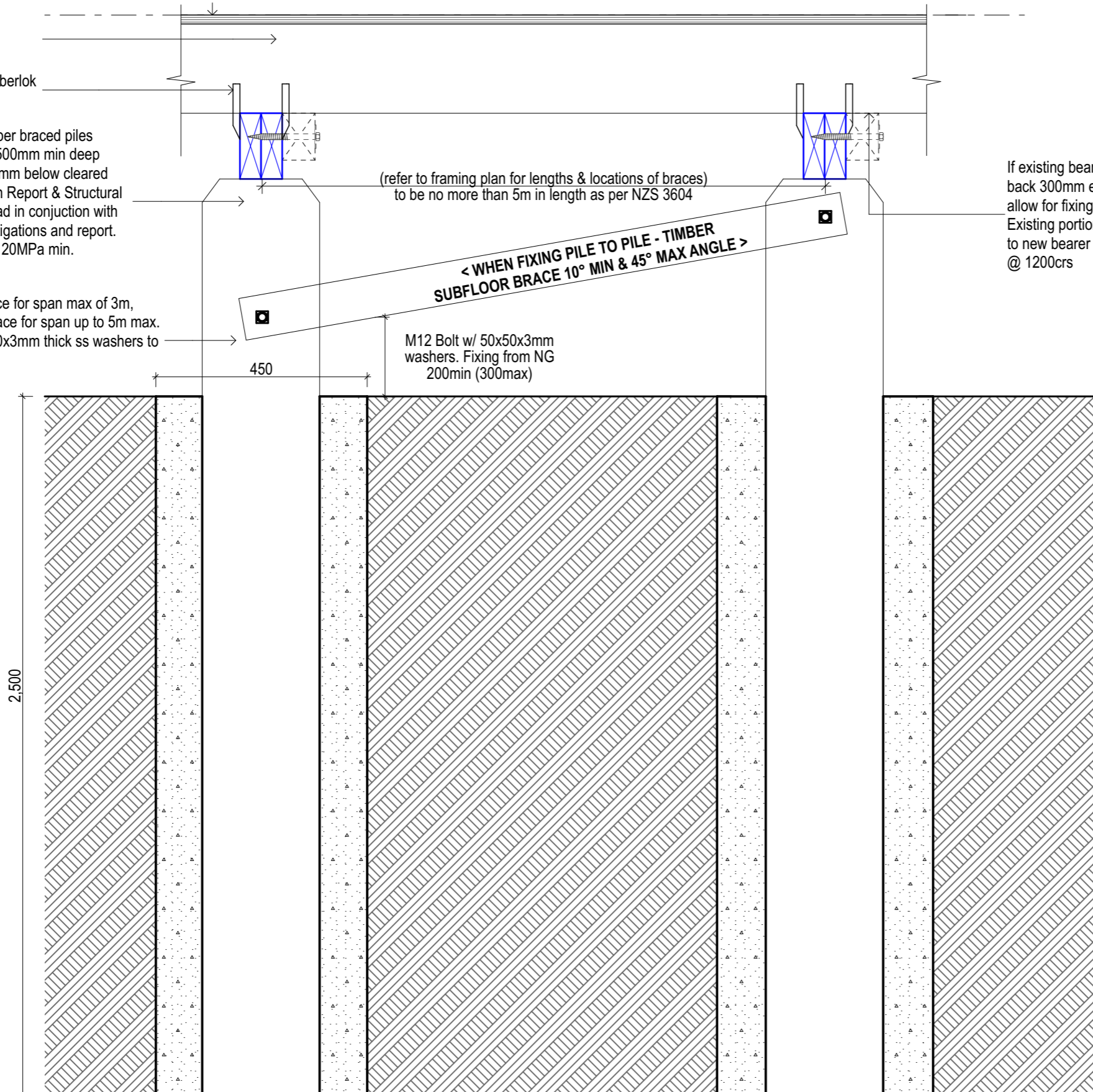
100x75 H3.2 timber brace for span max of 3m,
100x100 H3.2 timber brace for span up to 5m max.
1x M12 ss bolt w/ .50x50x3mm thick ss washers to each connection point.

(refer to framing plan for lengths & locations of braces)
to be no more than 5m in length as per NZS 3604

< WHEN FIXING PILE TO PILE - TIMBER
SUBFLOOR BRACE 10° MIN & 45° MAX ANGLE >

M12 Bolt w/ 50x50x3mm washers. Fixing from NG 200min (300max)

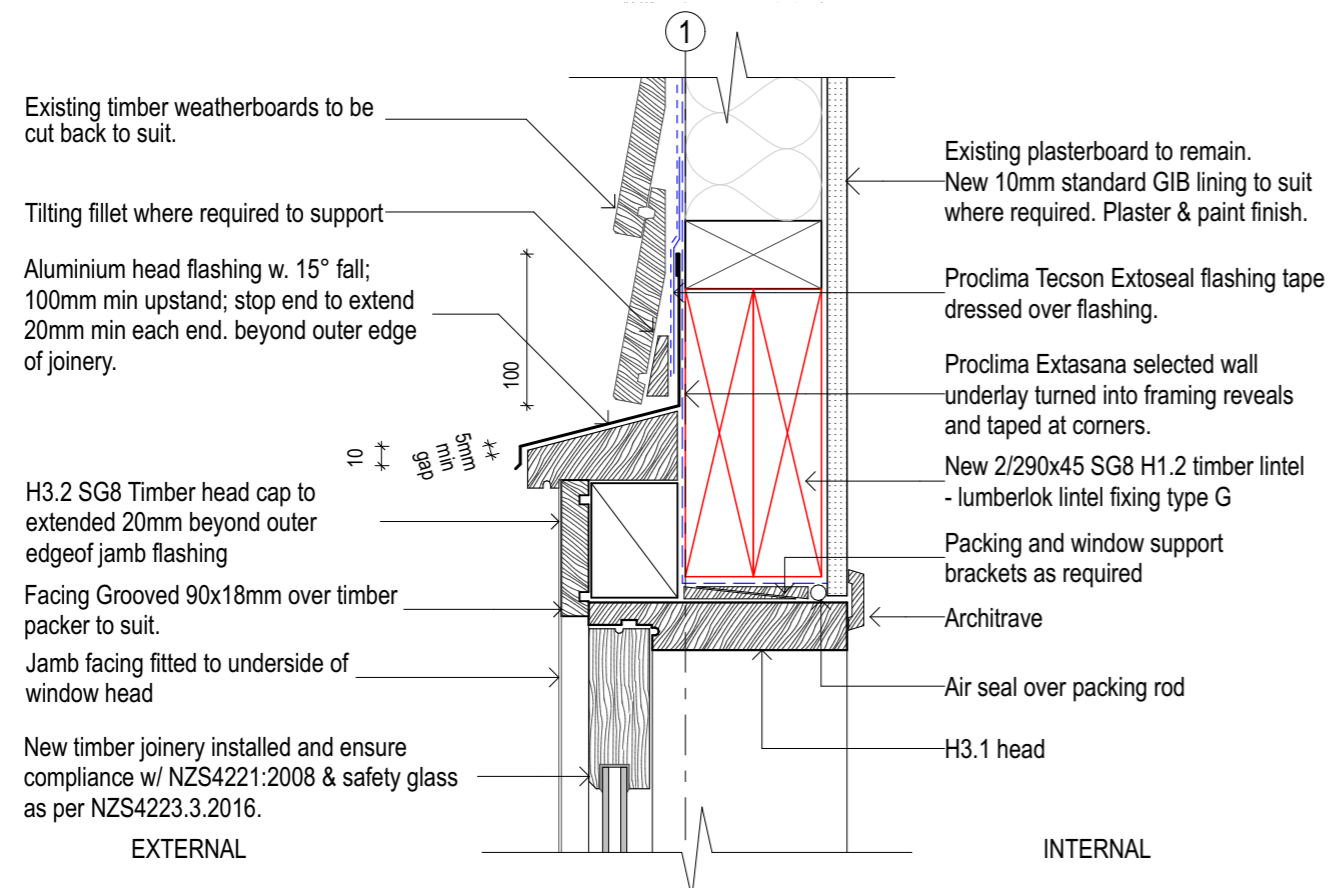
If existing bearer is to remain, cut back 300mm either side of pile to allow for fixing of new bearer to joist. Existing portion of bearer to be fixed to new bearer with M12 coach screw @ 1200crs



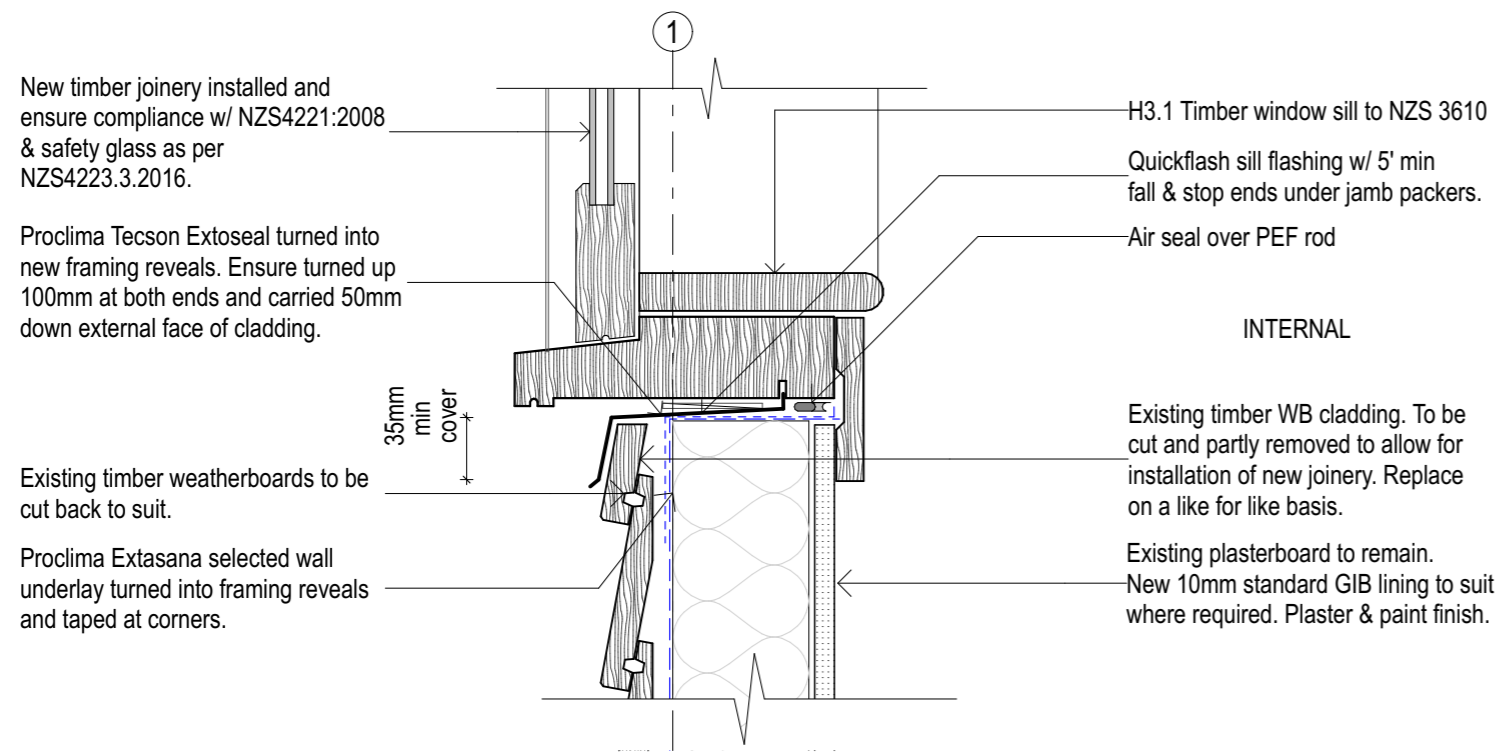
BRACED PILE DETAIL

ISSUE	REV	DATE
BUILDING CONSENT		2/11/23

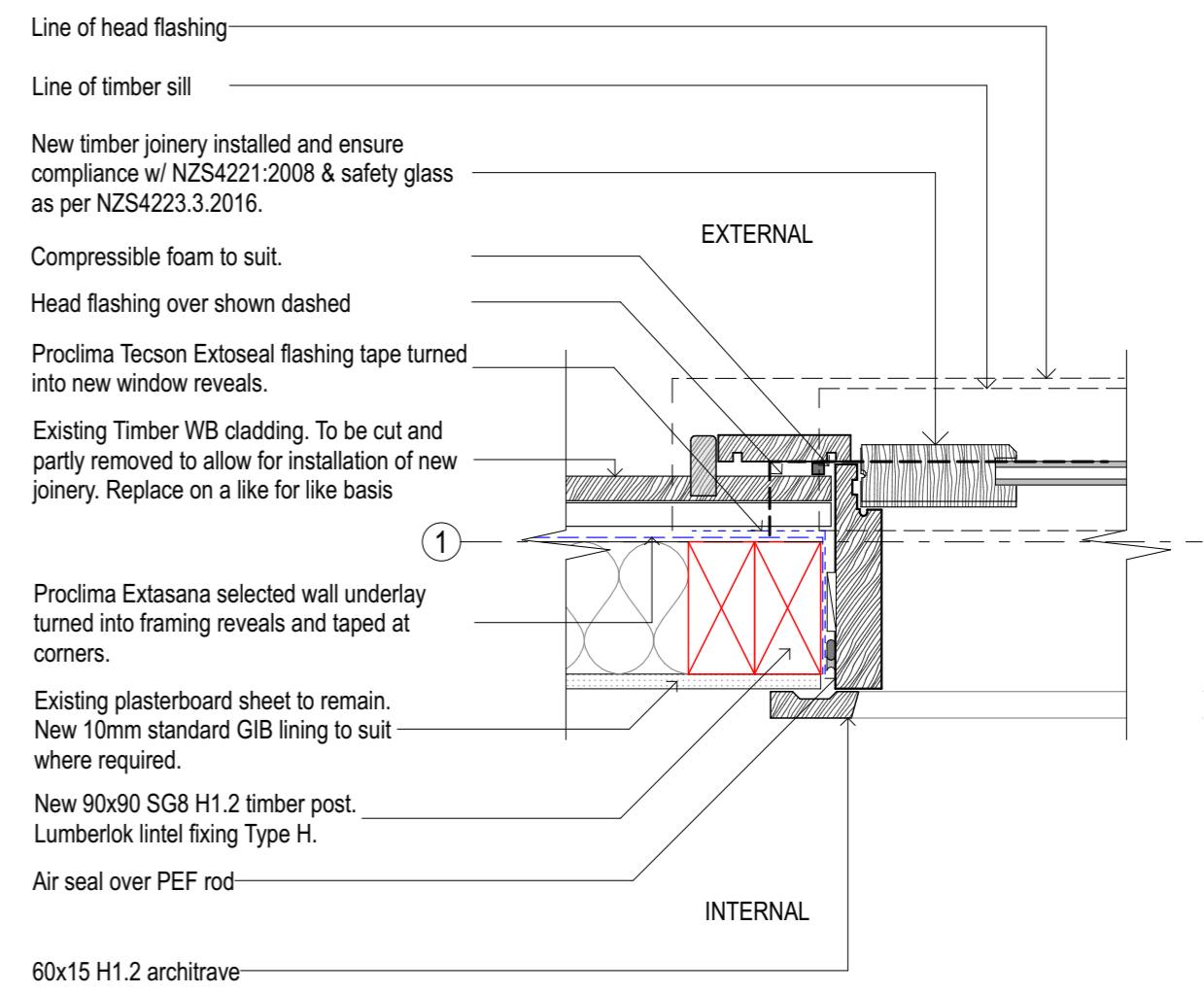




1 - TIMBER B-FOLD HEAD DETAIL



2 - TIMBER B-FOLD SILL DETAIL



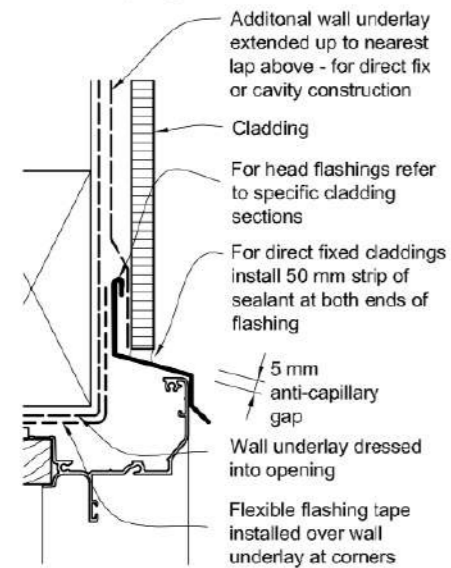
3 - TIMBER B-FOLD JAMB DETAIL

ISSUE	REV	DATE
BUILDING CONSENT		2/11/23

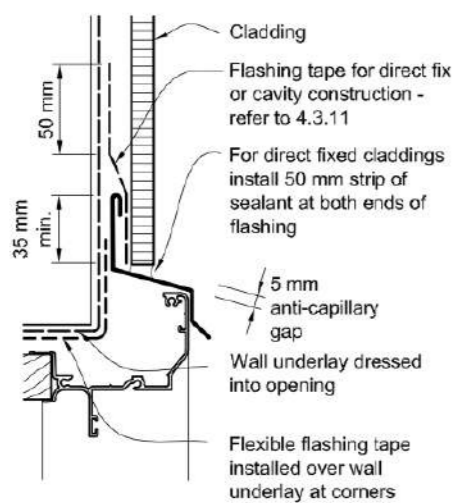
NOTE: DETAIL IS FOR REFERENCE TO WEATHERTIGHTNESS ONLY.
NO ALUMINIUM JOINERY PROPOSED.

Figure 71: General sealing of head flashing
Paragraphs 9.1.7, 9.1.10.3 and 9.1.10.4

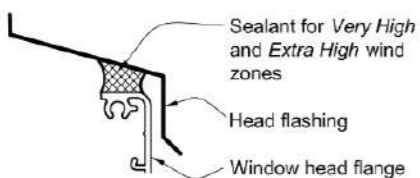
NOTE: May also use wall underlay lapped over flashing upstand in lieu of flexible flashing tape. Refer cladding window details, for example Figure 115.



(a) METAL HEAD FLASHING - WITH ADDITIONAL UNDERLAY OPTION

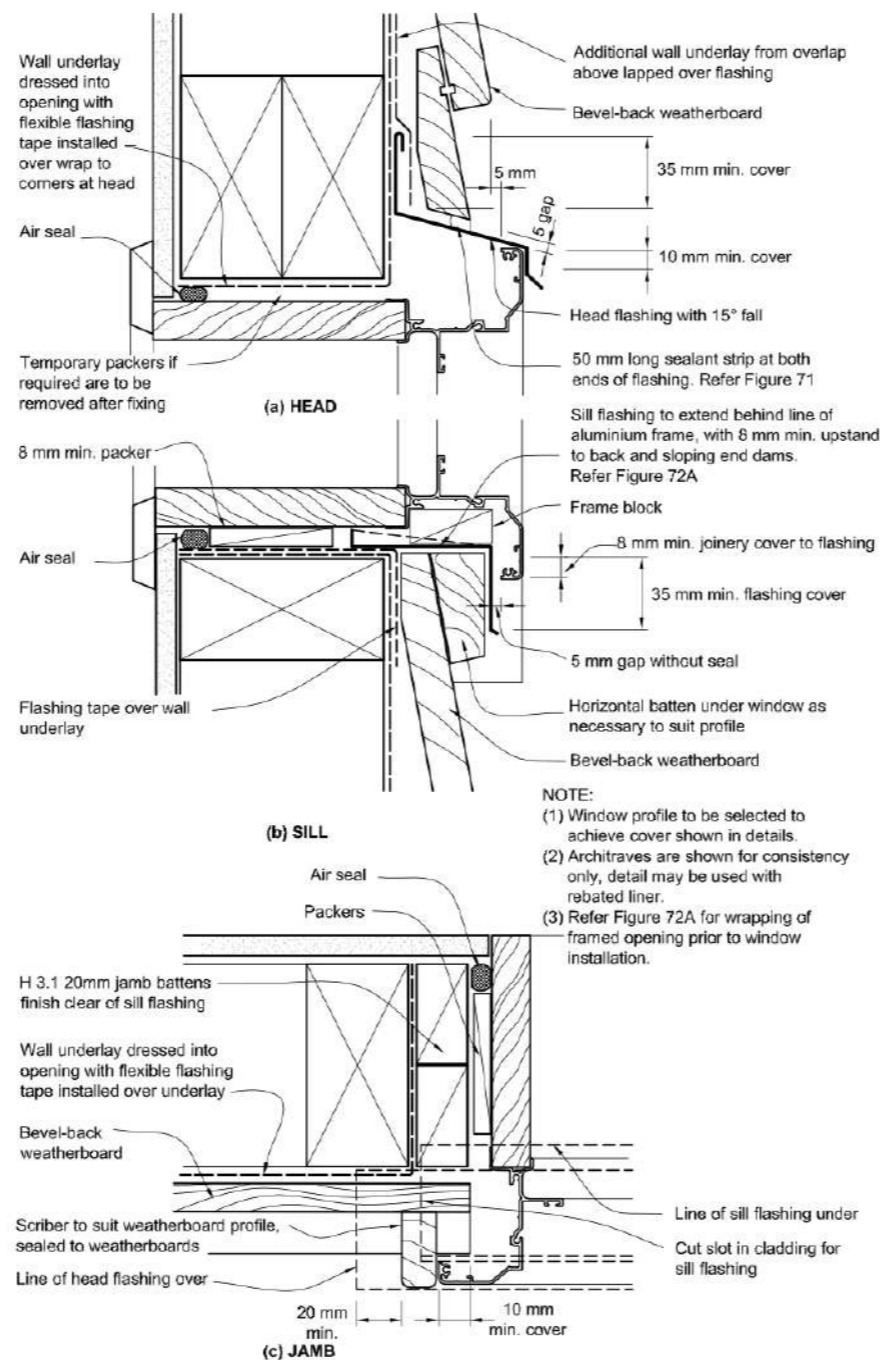


(b) METAL HEAD FLASHING WITH FLASHING TAPE OPTION



(c) METAL HEAD FLASHING SEALANT FOR VERY HIGH AND EXTRA HIGH WIND ZONES

Figure 81: Windows and doors for direct fixed bevel-back weatherboards
Paragraph 9.4.6



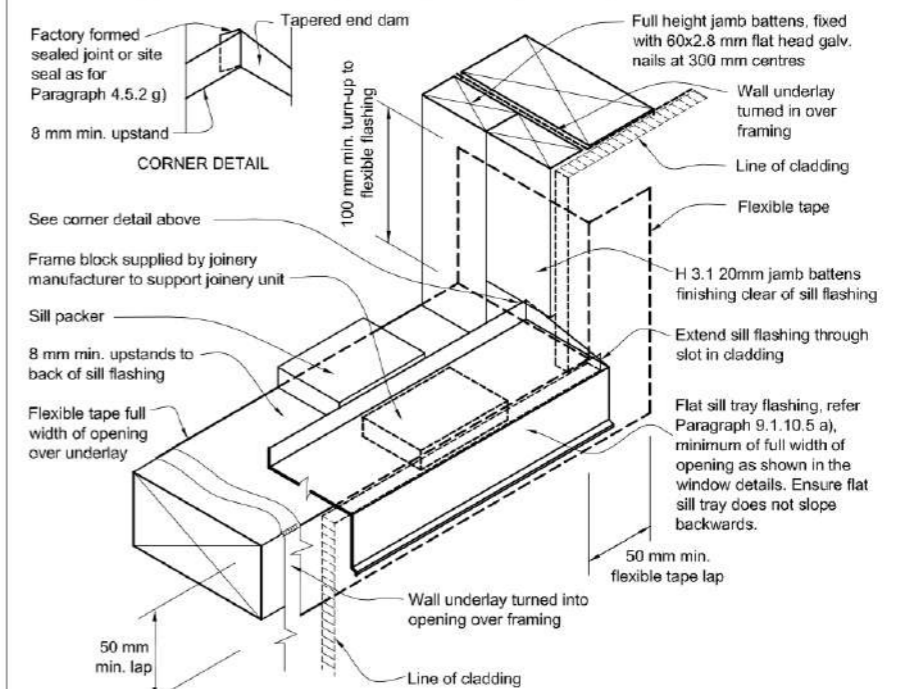
NOTE:
(1) Window profile to be selected to achieve cover shown in details.
(2) Architraves are shown for consistency only, detail may be used with rebated liner.
(3) Refer Figure 72A for wrapping of framed opening prior to window installation.

Amend 5
Aug 2011

Amend 5
Aug 2011

Figure 72A: General window and door opening for direct fixed
Paragraphs 9.1.5, 9.1.10.2, Figures 81, 82, 83, 84, 90, 95 and 115

NOTE:
(1) Detailed cladding omitted for clarity, refer to specific claddings.
(2) Sill flashing shall extend back past the condensation channel of the window.
(3) Head to be treated similarly with continuous building underlay and flexible tape at corners.
(4) Refer individual cladding details for jamb flashings and sill tray return requirements



Amend 5
Aug 2011

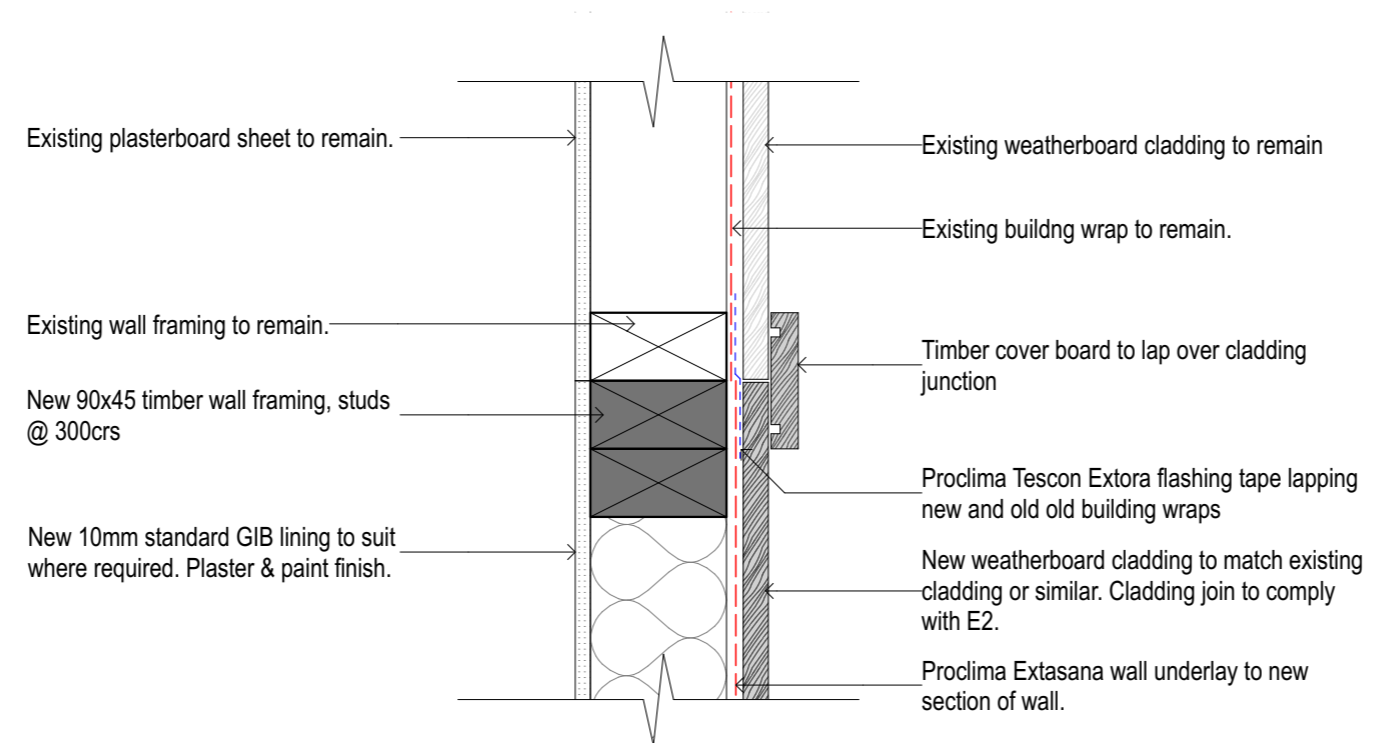
Amend 2
Jul 2005

Errata 2
Dec 2011

ISSUE	REV	DATE
BUILDING CONSENT		2/11/23

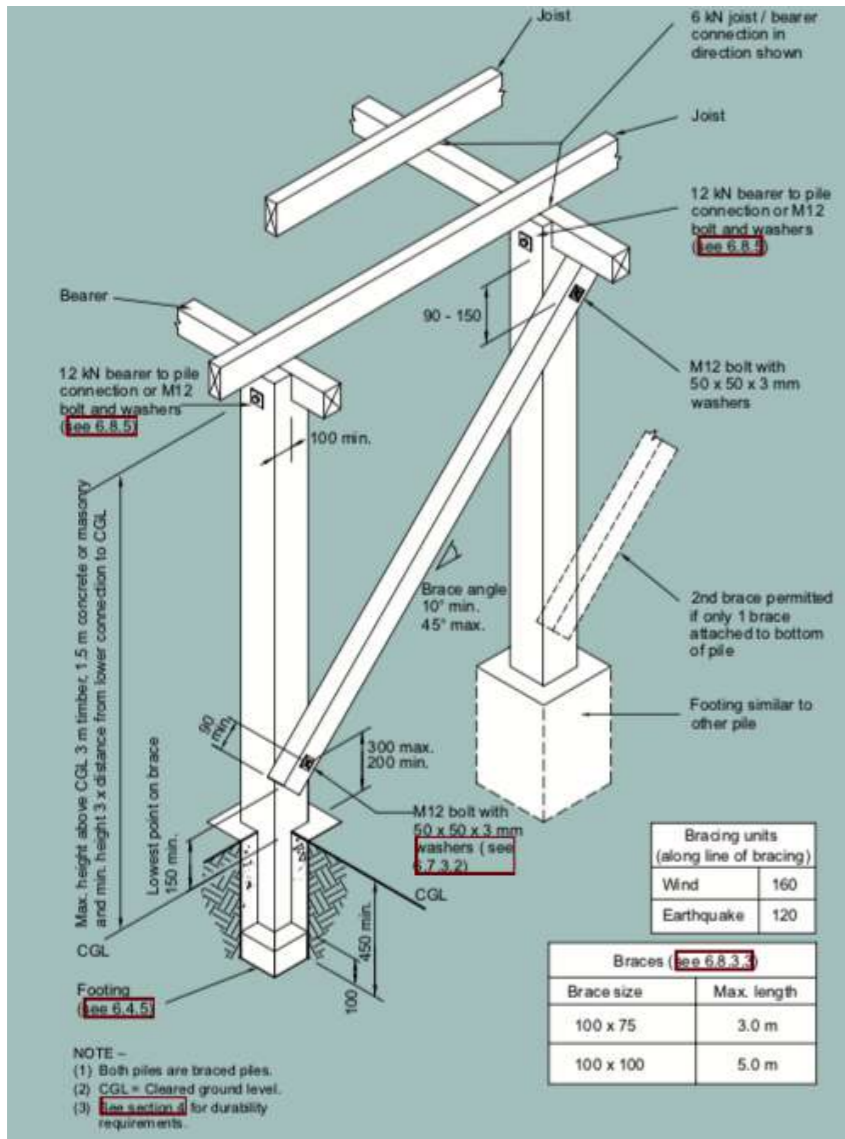


NOTE:
 DETAIL IS APPLICABLE FOR RE-JOINING OF HOUSE AS WELL. ALL EXISTING WALL FRAMING TO REMAIN WHERE SUITABLE.

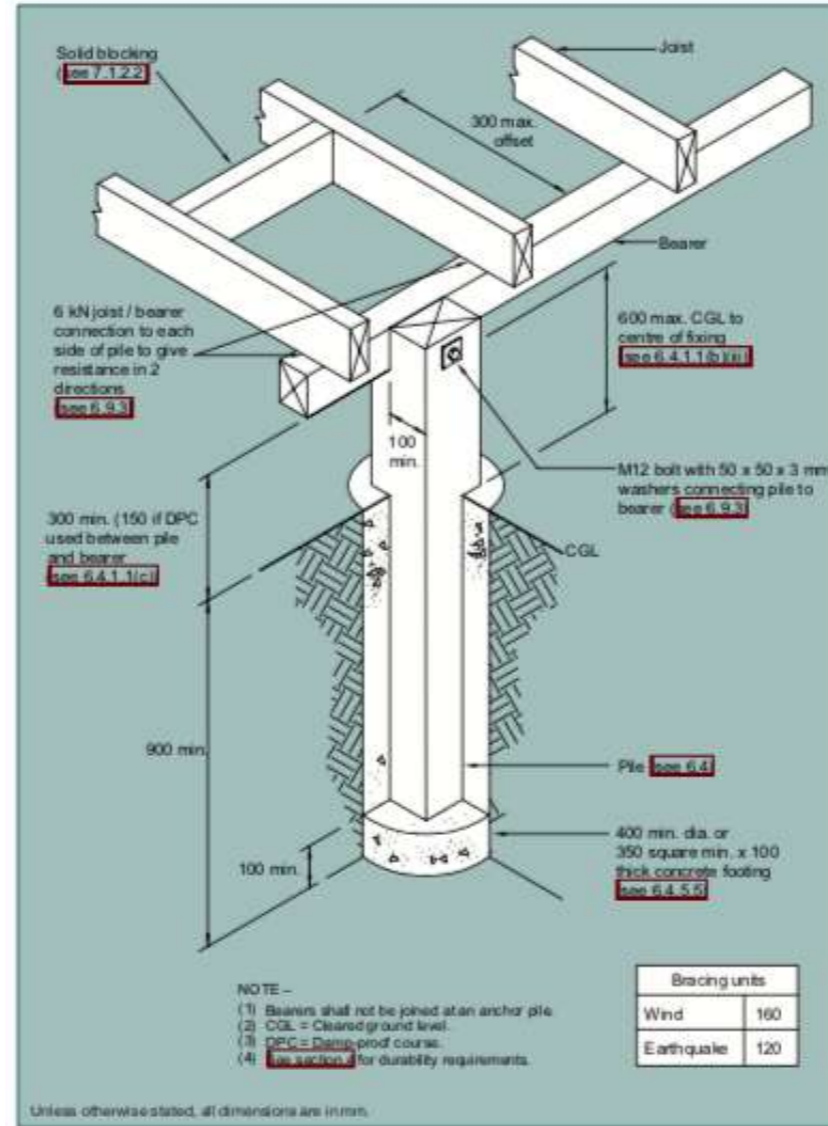


1
-
WALL INFILL DETAIL

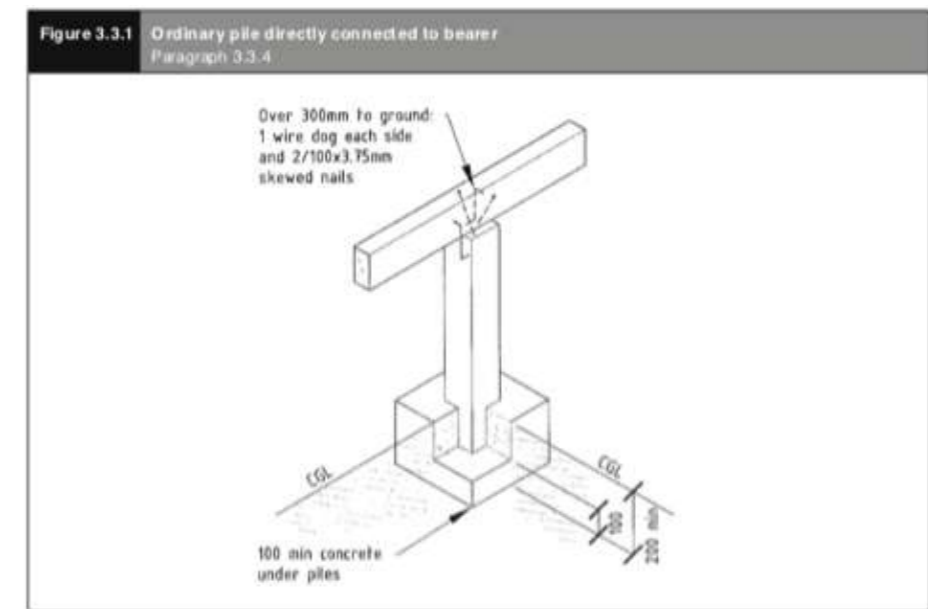
ISSUE	REV	DATE
BUILDING CONSENT		2/11/23



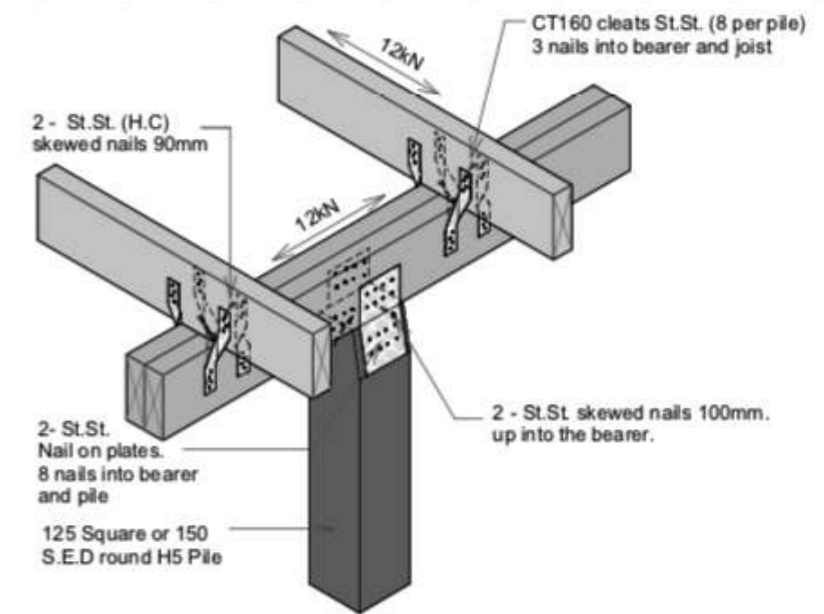
1 BRACED PILE_PILE TO PILE CONNECTION 3604



2 ANCHOR PILE_PILE TO BEARER ONLY 3604



3 STANDARD PILE DETAIL



12kN Connection

4 12KN PILE CONNECTION

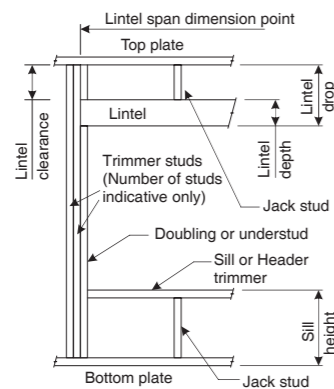
ISSUE	REV	DATE
BUILDING CONSENT		2/11/23

LINTEL FIXING SCHEDULE ALTERNATIVE TO TABLE 8.14 & FIGURE 8.12 NZS 3604:2011

NOTE:

- ★ All fixings are designed for vertical loads only. Dead loads include the roof weight and standard ceiling weight of 0.20kPa.
- ★ Refer to Table 8.19 NZS 3604:2011 for nailing schedule to resist horizontal loads.
- ★ These fixings assume the correct choice of rafter/truss to top plate connections have been made.
- ★ All fixings assume bottom plate thickness of 45mm maximum. Note: TYLOK options on timber species.
- ★ Wall framing arrangements under girder trusses are not covered in this schedule.
- ★ All timber selections are as per NZS 3604:2011.

DEFINITIONS



Roof Tributary Area	Lintel Supporting Girder Trusses					
	Light Roof Wind Zone			Heavy Roof Wind Zone		
	L, M, H	VH	EH	L, M, H	VH	EH
8.6m ²	G	G	H	G	G	H
11.6m ²	G	H	H	G	G	H
12.1m ²	G	H	H	G	H	H
15.3m ²	H	H	-	G	H	H
19.1m ²	H	-	-	G	H	-
20.9m ²	H	-	-	H	H	-
21.8m ²	H	-	-	H	-	-
34.3m ²	-	-	-	H	-	-

- NOTES:**
- Roof Tributary Area = approx. 1/2 x (Total roof area on girder and rafter trusses supported by lintel)
 - Assumed girder truss is at mid-span or middle third span of lintel
 - Use similar fixings for both ends of lintel
 - All other cases require specific engineering design

Lintel Span (m)	Loaded Dimension (m) (See Fig. 1.3 NZS 3604:2011)	Light Roof Wind Zone				Heavy Roof Wind Zone					
		L	M	H	VH	EH	L	M	H	VH	EH
1.0	2.0	E	E	E	F	F	E	E	E	E	F
	3.0	E	E	F	F	F	E	E	E	F	F
	4.0	E	F	F	F	G	E	E	F	F	F
	5.0	E	F	F	F	G	E	E	F	F	G
	6.0	E	F	F	F	G	E	E	F	F	G
1.2	2.0	E	E	F	F	F	E	E	F	F	F
	3.0	E	E	F	F	F	E	E	F	F	F
	4.0	E	F	F	F	G	E	E	F	F	G
	5.0	E	F	F	F	G	E	E	F	F	G
	6.0	F	F	F	F	G	H	E	F	F	G
1.5	2.0	E	E	F	F	F	E	E	F	F	F
	3.0	E	F	F	F	G	E	E	F	F	F
	4.0	E	F	F	F	G	E	E	F	F	G
	5.0	F	F	F	F	G	H	E	F	F	G
	6.0	F	F	F	F	G	H	E	F	F	G
2.0	2.0	E	F	F	F	G	E	E	F	F	F
	3.0	E	F	F	F	G	E	E	F	F	G
	4.0	F	F	F	F	G	H	E	F	F	G
	5.0	F	F	F	F	G	H	E	F	F	G
	6.0	F	F	F	F	G	H	E	F	F	G
2.4	2.0	E	F	F	F	G	E	E	F	F	G
	3.0	F	F	F	F	G	H	E	F	F	G
	4.0	F	F	F	F	G	H	E	F	F	G
	5.0	F	F	F	F	G	H	E	F	F	G
	6.0	F	F	F	F	G	H	E	F	F	G
3.0	2.0	E	F	F	F	G	E	E	F	F	G
	3.0	F	F	F	F	G	H	E	F	F	G
	4.0	F	F	F	F	G	H	E	F	F	G
	5.0	F	F	F	F	G	H	E	F	F	G
	6.0	F	F	F	F	G	H	E	F	F	G
3.6	2.0	F	F	F	F	G	H	E	F	F	G
	3.0	F	F	F	F	G	H	E	F	F	G
	4.0	F	F	F	F	G	H	E	F	F	G
	5.0	F	F	F	F	G	H	E	F	F	G
	6.0	F	F	F	F	G	H	E	F	F	G
4.2	2.0	F	F	F	F	G	H	E	F	F	G
	3.0	F	F	F	F	G	H	E	F	F	G
	4.0	F	F	F	F	G	H	E	F	F	G
	5.0	F	F	F	F	G	H	E	F	F	G
	6.0	F	F	F	F	G	H	E	F	F	G
4.5	2.0	F	F	F	F	G	H	E	F	F	G
	3.0	F	F	F	F	G	H	E	F	F	G
	3.4	F	F	F	F	G	H	E	F	F	G
	4.0	F	F	F	F	G	H	E	F	F	G
	5.0	F	F	F	F	G	H	E	F	F	G
4.8	2.0	F	F	F	F	G	H	E	F	F	G
	3.0	F	F	F	F	G	H	E	F	F	G
	3.2	F	F	F	F	G	H	E	F	F	G
	4.0	F	F	F	F	G	H	E	F	F	G
	5.0	F	F	F	F	G	H	E	F	F	G
5.1	2.0	F	F	F	F	G	H	E	F	F	G
	3.0	F	F	F	F	G	H	E	F	F	G
	3.5	F	F	F	F	G	H	E	F	F	G
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	5.0	F	F	F	F	G	H	E	F	F	G
5.4	2.0	F	F	F	F	G	H	E	F	F	G
	2.8	F	F	F	F	G	H	E	F	F	G
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	5.0	F	F	F	F	G	H	E	F	F	G

LINTEL FIXING OPTIONS

TYPE E 1.4kN

TYPE F 4.0kN

TYPE G 7.5kN

TYPE H 13.5kN



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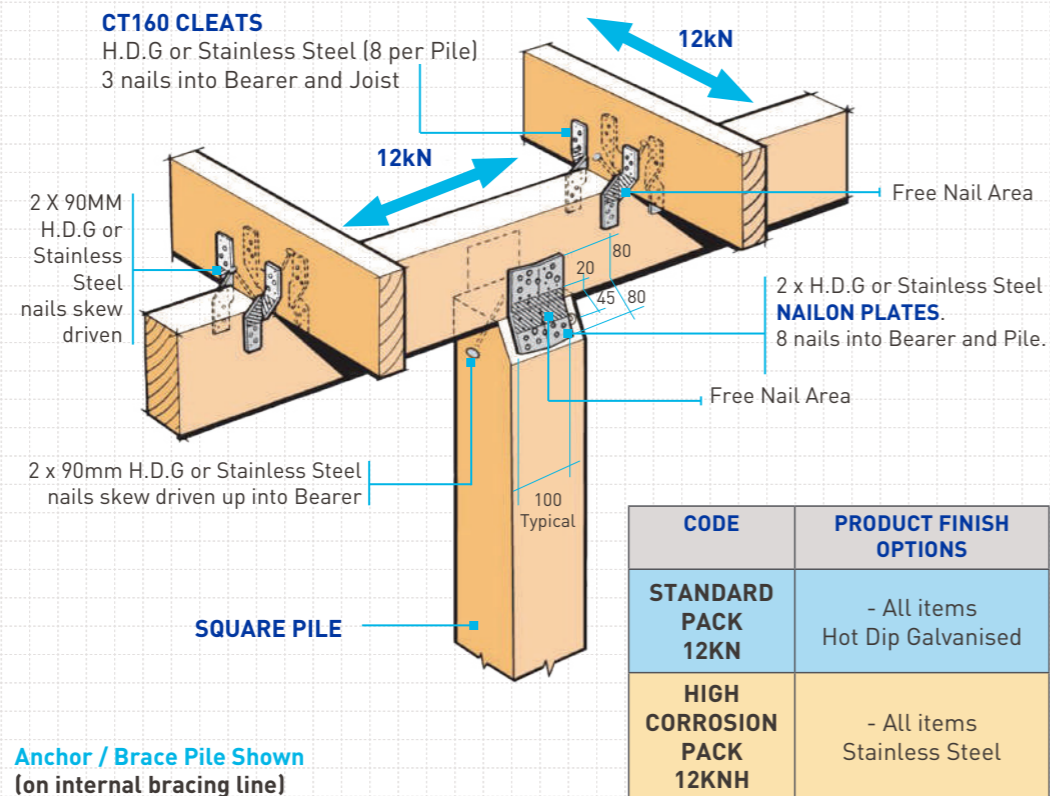
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12kN PILE FIXING

FOR BRACED PILES OR ANCHOR PILES

- The 12kN Pile Fixing must be installed in accordance with this brochure.
- Auckland University Tested Ref. 4613.
- All Subfloor construction must be in accordance with NZS 3604:2011.
- NZS 3604 requires lines of lateral support to floor joists within 300mm of bearer or bracing lines, refer clause 7.1.2.
- Joists deeper than 150mm require solid nogging over braced or anchor pile.



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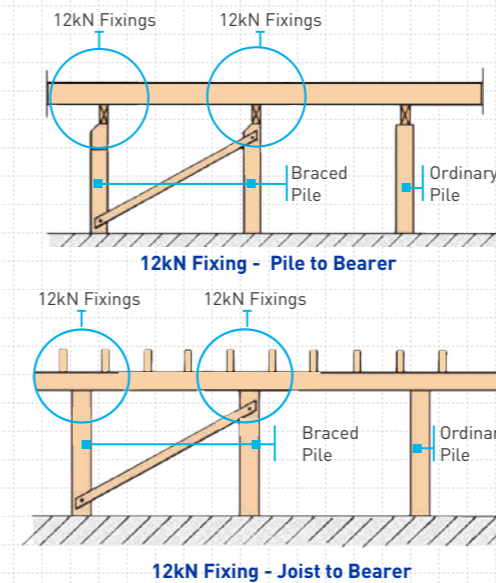
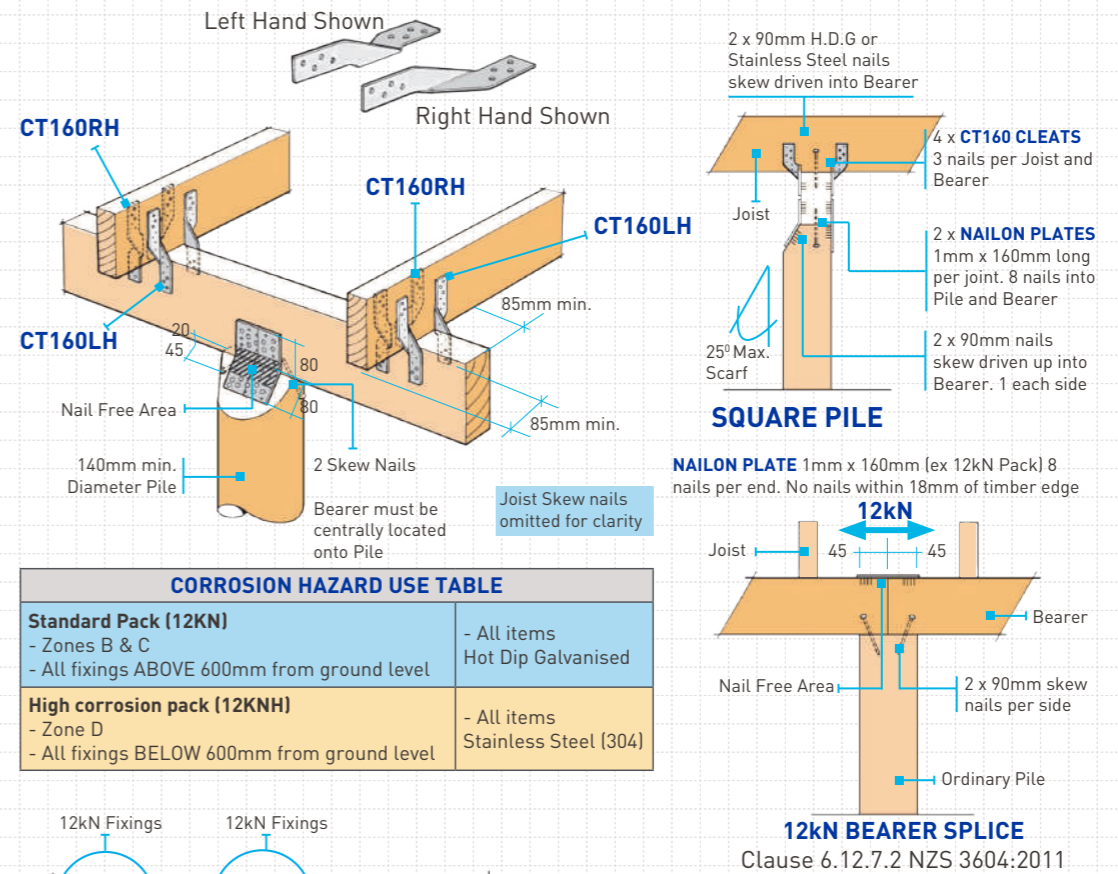
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Timber Connectors

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12kN PILE FIXING



12kN Joint Fixing Schedule

- PILE TO BEARER**
- Nailon Plate (2 per joint) 1mm x 100mm (Typical) x 160mm long
 - 8 Nails per Plate into Pile
 - 8 Nails per Plate into Bearer
 - 2 Skew Nails 90mm (1 per face)
- JOIST TO BEARER**
- CT160 Cleats (4 per Joist) 160mm long
 - 3 Nails per Cleat into Joist
 - 3 Nails per Cleat into Bearer
 - 2 Skew Nails 90mm (1 per side)
- NAILS**
- 80 x 45mm x 3.55 dia. Spiral Nails
 - 6 x 90mm x 4 dia. St. Steel Nails (12KNH Pack only)

12kN Pile Set Contents

- Each set represents 1 x 12kN Pile Fixing (4 per carton)
- 2 x Nailon Plates 160mm long
 - 8 x CT160 Cleats
 - 80 x 45mm x 3.55 dia. Spiral Nails
 - 90mm x 4 dia. St. Steel Angular Groove 6 - 12KNH Pack

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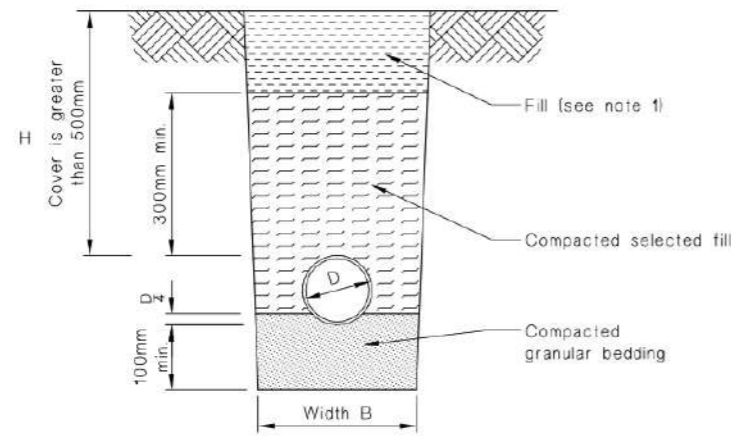
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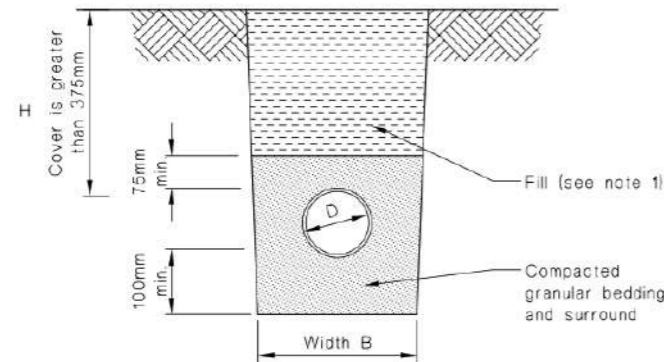
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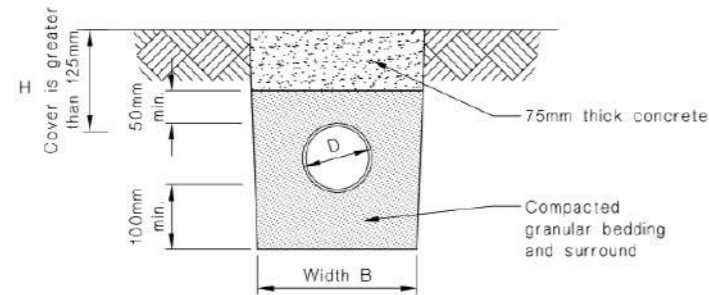
Figure 7: Bedding and backfilling
Paragraphs 5.2.1, 5.3.1 and 5.4.1



(a) Bedding type 'B' of NZS 7643
Cover greater than 500mm



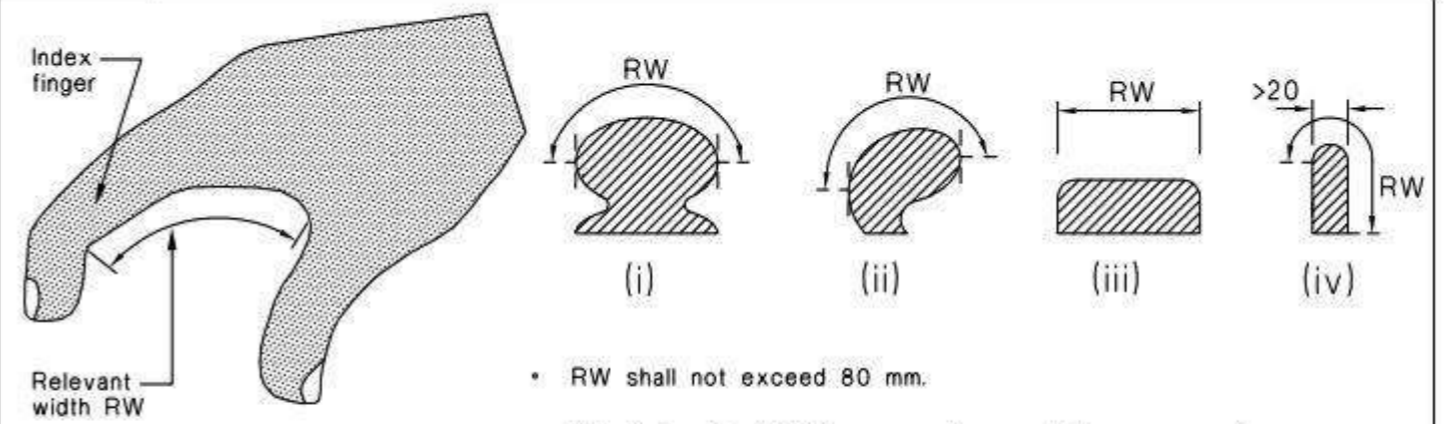
(b) Bedding type 'D' of NZS 7643
Cover greater than 375mm



(c) Cover between 125mm and 375mm

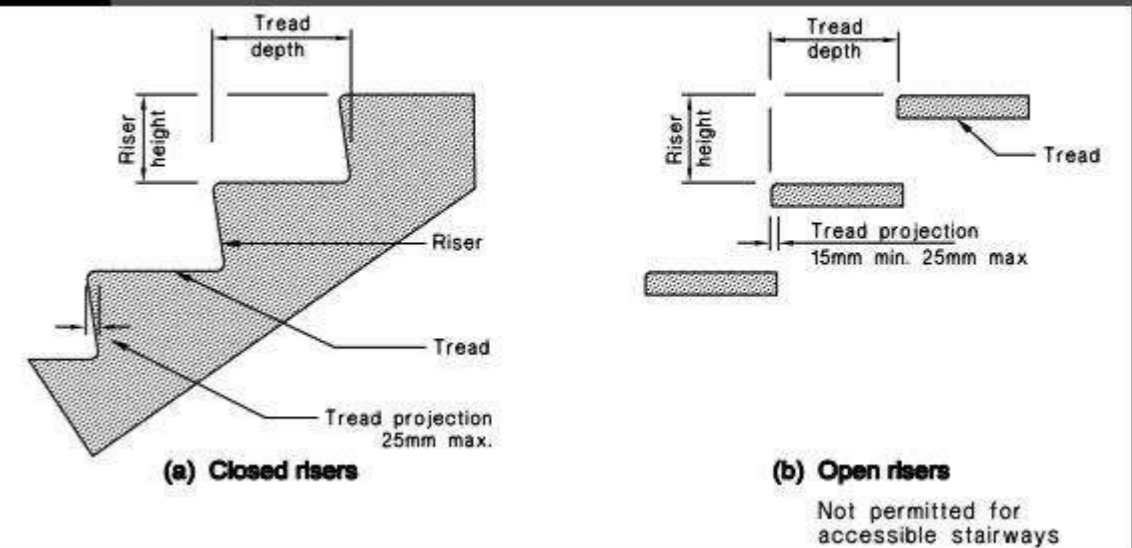
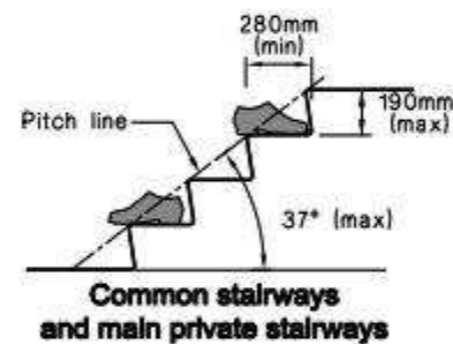
NOTE:
1. Fill shall be:
- Ordinary fill where drains are located below gardens and open country.
- Compacted selected fill where the drains are located below residential driveways and similar areas subject to light traffic.

Figure 26: Handrail Profiles and Clearances
Paragraphs 6.0.8 and 6.0.9



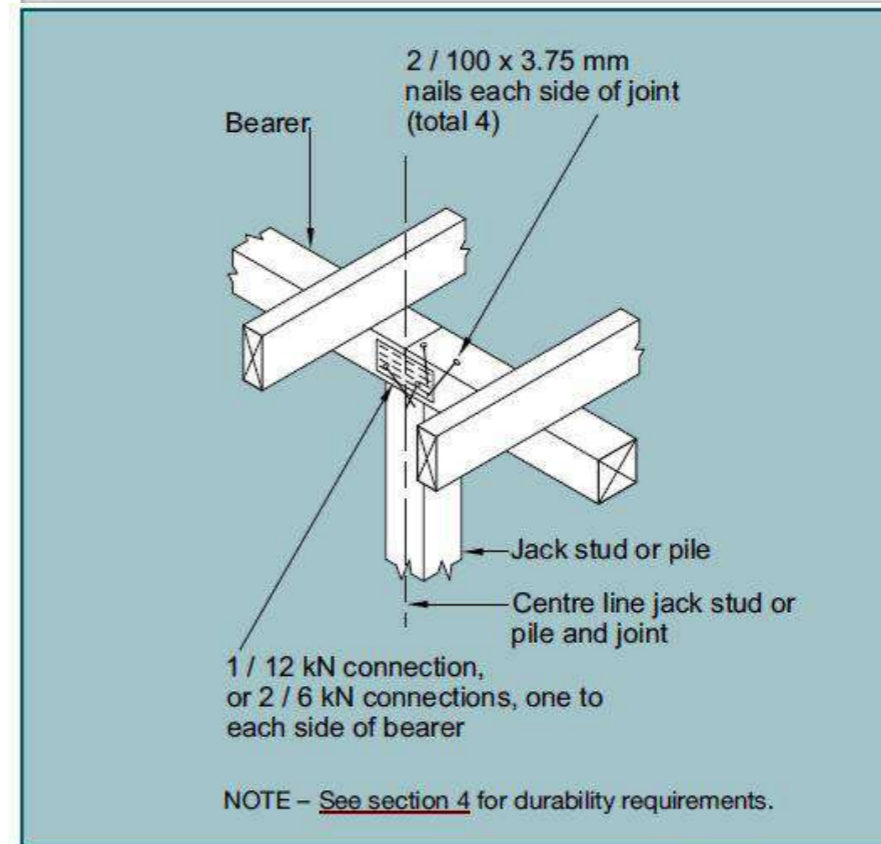
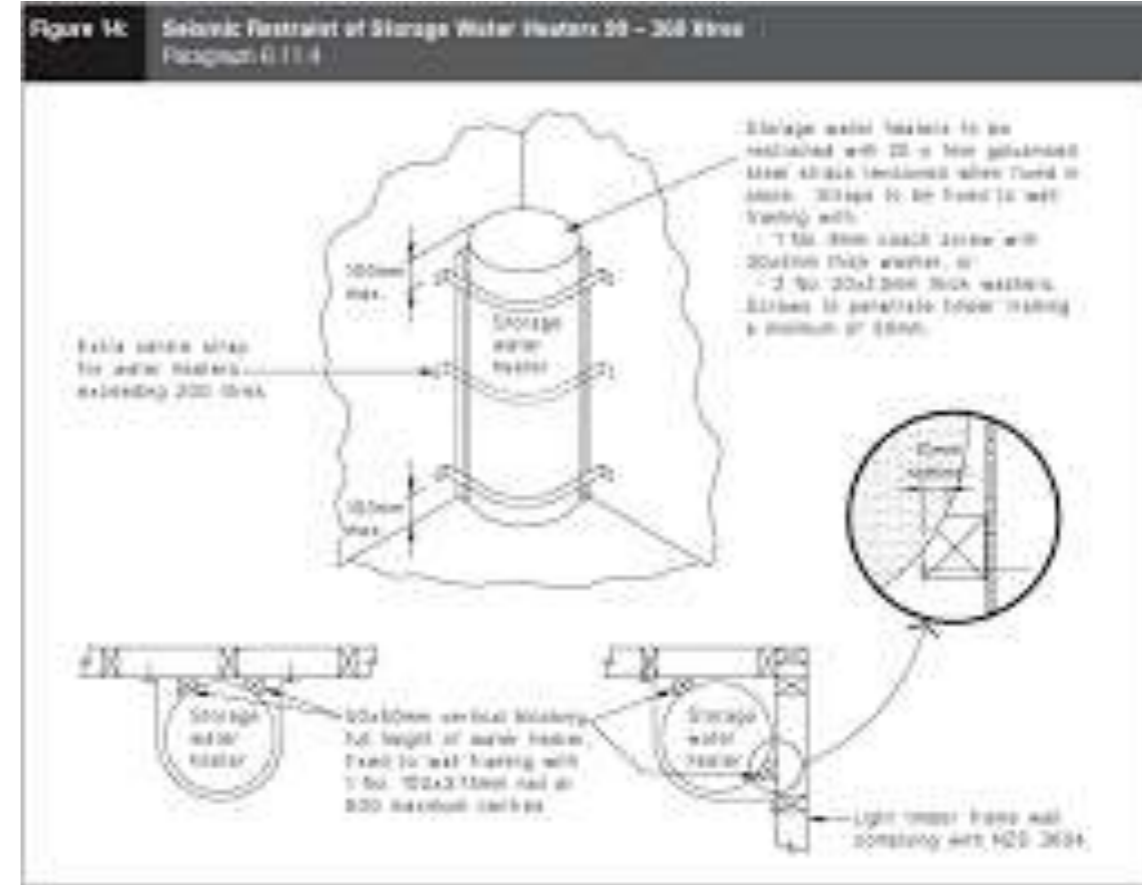
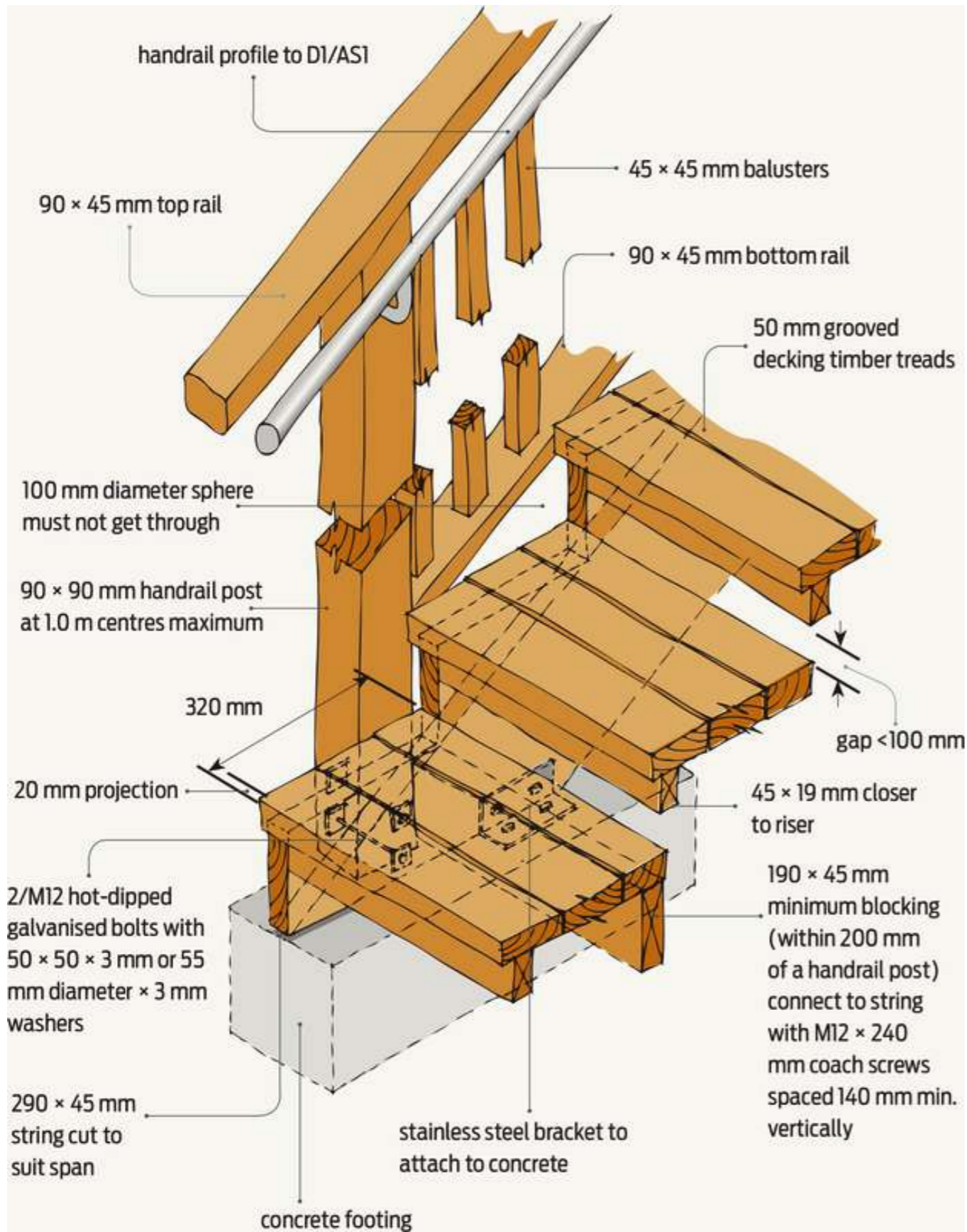
- RW shall not exceed 80 mm.
- RW (relevant width) is measured around the upper surface perimeter of the handrail section between the vertical tangents on either side.
- Variations in shape are acceptable provided the effective grip is not reduced. For example, the side faces shown as vertical in details (iii) and (iv) are still acceptable even if slightly curved or sloped up to 5° from vertical.
- See fig. 26 (b) for wall clearances.

Figure 12: Measurement of Rise and Tread Depth
Paragraphs 4.1.2 and 4.1.6



TYPICAL DETAILS

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**TYPICAL
DETAILS**

Figure 6.19 – Joints in bearers (see 6.12.7.1 and 6.12.7.2)

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Dektite Premium

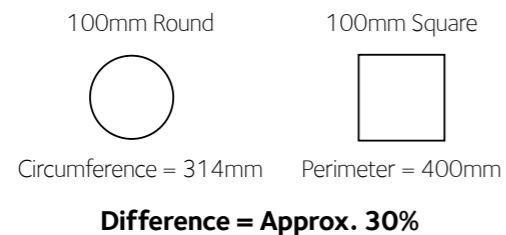
The versatile solution

CODE: BLACK EPDM	CODE: GREY EPDM	CODE: RED SILICONE	BASE (MM)	PIPE (MM)	ROOF PITCH
DFE10MB			71 x 71	0-20	Up to 60° See foot note
DFE100B	DFE100G		101 x 101	0-35	
DFE100BS*		DFE200RES	100 x 100	0-35	
DFE101B	DFE101G		139 x 139	5-55	Up to 45° See foot note
DFE101BS*		DFE201RES	139 x 139	5-55	
DFE102BA	DFE102GA	DFE202REA	181 x 181	50-70	
DFE103B	DFE103G	DFE203RE	220 x 220	5-127	
DFE104B	DFE104G	DFE204RE	280 x 280	75-175	
DFE105B	DFE105G	DFE205RE	308 x 308	100-200	
DFE106B	DFE106G	DFE206RE	363 x 363	125-230	
DFE107B	DFE107G	DFE207RE	456 x 456	150-300	
DFE108B	DFE108G	DFE208RE	496 x 496	170-355	
DFE109B	DFE109G	DFE209RE	681 x 681	230-508	

* DFE100BS and DFE101BS both have multiple cable nipples



Can a Dektite flash a square pipe? **YES!**



Therefore, to suit square pipes/stanchions add 30% to the diameter of the pipe and cut accordingly.

100mm x 30% = 130mm to suit a square

NOTE: Refer to page 7 for Dektite Combo Square

*For guidance on good flashing design and installation, please refer to the New Zealand Metal Roof Manufacturers Association Code Of Practise, and NZBC E2/AS1

Sheet Lead and Acrylead

Time proven reliability



- ✓ Conforms to AS/NZ1804 – 1976
- ✓ Extremely malleable
- ✓ Proven quality and performance

DLM Sheet Lead

- Sheet Lead is the softest of all the common metals, it is extremely malleable; it is capable of being shaped to most profiles at ambient temperatures.
- Sheet lead is a tried and proven product used in the construction industry for hundreds of years, mainly used as weatherings and flashings.
- The most important feature of any well designed roof is the flashing detail. The use of Sheet Lead will ensure that quality and performance are not compromised.
- DLM Sheet Lead is ideal for applications of radiation shielding, sound proofing, chimney flashings, lead slate for pipe penetrations, apron and abutment flashing, canopies and projections, curved parapets, windows and door flashings.

Range of thickness and weight

Weight (Kg/m ²)	Nominal Thickness (mm)	Typical Uses
6	0.50	Strip edge for metal flashing, sound proofing.
12	1.0	Sound and radiation proofing.
17	1.50	Apron and cover flashings, hip and ridge flashings, pitched valley gutters, lead slates, chimney flashings and weatherings to cornices, parapets etc. Full roof cladding.
20	1.80	
25	2.25	
30	2.65	Parapet, box and tapered gutters or situations that demand extra length.
35	3.15	
40	3.55	

DLM Acrylead

- Acrylead has a factory applied thermo baked acrylic primer coating on both sides of the sheet. The process developed by DLM inhibits the contact of water runoff with the lead and its oxides, reducing the potential of the run off staining adjacent materials, and entering ground water systems.
- Acrylead allows you to improve the look of exposed flashings by finish coating of your choice to match roof or surrounding trim colours.

E2 / AS1 Compliance

- DLM Sheet Lead and Acrylead are the only apron/abutment flashings that can meet and exceed the 50 YEAR DURABILITY offered by Concrete, Clay, and Slate Tile manufacturers and is a must for compliance with E2/AS1.

Standard Roll Sizes

- Sheet lead: Both 3m and 6m rolls:** 150, 300, 375mm
3m rolls only: 450, 600, 750, 900mm
- Acrylead: 6m rolls:** 150, 300, 340, 375mm
3m rolls only: 450, 600mm

Recommended maximum sizes of individual pieces of lead for all applications

Weight (Kg/m ²)	Maximum Length (mm)	Maximum overall girth (mm)
17	1300	600
20	1500	750
25	2000	800
30	2250	850
35	2500	900
40	3000	1000

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SPECIFICATIONS

Model	Model No.	External fire dimensions (mm)			Performance		ECAN NO *
		Width	Depth	Height	Average emissions	Average efficiency	
Ruapehu	KWF295-6965	760	462	718	0.54g/kg	65.7%	TBC

* ECAN NO = Environment Canterbury authorisation number.

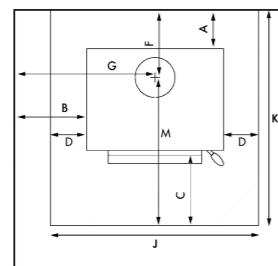
TABLE 1

RECOMMENDED FLUE KITS FOR KENT FREE STANDING WOOD FIRES

Description	Model No.	
Standard - 4.2m	KWF298-7005	Tested to AS/NZS 2918, Appendix F, ARS report No:16/2801
Energy Saver - 4.2m	KWF298-7006	Tested to AS/NZS 2918, Appendix F, ARS report No: 02/649
Sloping Ceiling - 4.2m	KWF298-7354	Tested to AS/NZS 2918, Appendix F, ARS report No:14/2718

MINIMUM INSTALLATION CLEARANCES

Wall Clearances



Corner Clearances

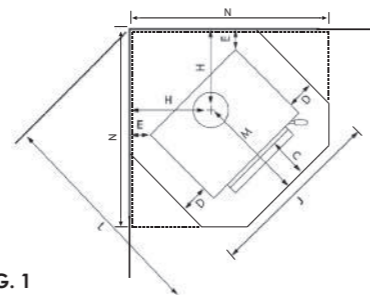


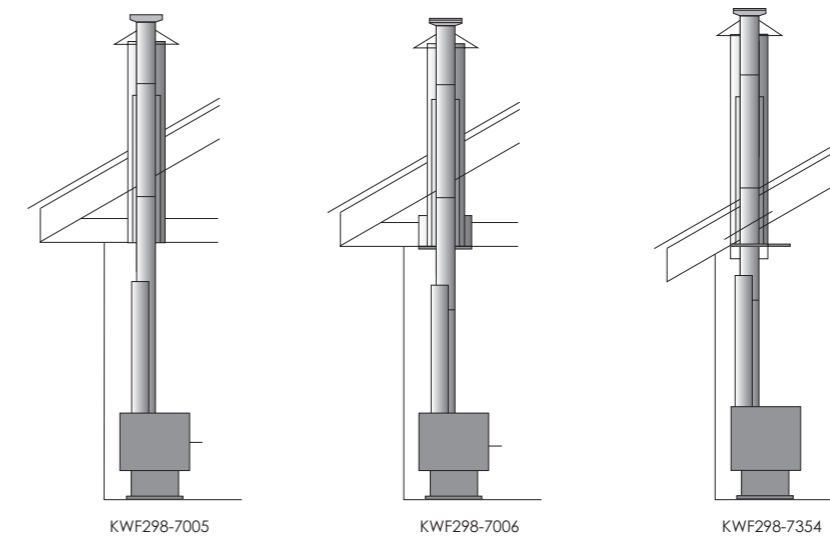
FIG. 1

Model	Model No.	Minimum Installation Clearances (with flue shield) mm								Hearth Clearances (mm)				
		A	B	C*	D	E	F	G	H	J	K	L	M	N
Ruapehu	KWF295-6965	150	200	300	100	170	315	580	540	960	913	1375	640	1180

* Fuel loading opening to end of floor protector.

TABLE 2

Single story flue installation options (side elevation)



Model No.	Description
KWF298-7005	Kent standard flue kit 4.2m
KWF298-7006	Kent energy saver flue kit 4.2m
KWF298-7354	Kent sloping ceiling flue kit 4.2m

Extra flue components available

Model No.	Description
KWF298-6033	Kent single length stainless steel flue 150 x 1200mm
KWF298-6022	Kent stainless steel flue reflector
KWF298-6029	Kent stainless steel flue twin pack 150mm
KWF298-6049	Kent black stainless steel flue twin pack 150 x 1200mm
KWF298-6051	Kent floor penetration 200/250mm diameter
KWF298-6053	Kent 360 degree flue pipe guard
KWF298-6328	Kent stainless steel hat and cowl
KWF298-6614	Kent extension flue 150-200-250 - 1200mm
KWF298-7025	Kent galvanised flue 200 x 1200mm
KWF298-7026	Kent galvanised flue 250 x 1200mm
KWF298-7351	Kent black flue 150 x 1200mm

2

3

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Fit a suitable flashing over the flue and roof penetration hole to flash the outer casing to the roof. Seal and fix flashing to roof and outer casing with an appropriate waterproof seal.

Place the top flue spacer bracket in position and tighten. Slide weather cowl over flue pipe until it sits firmly on spacer bracket. Fit the rain hat cowl. NOTE: it must be removable for cleaning.

Where the flue terminates more than one full section above the roof penetration, it must be restrained with guy wires or bracing support bars for stability in high wind conditions.

NOTE: The flue pipe shall extend not less than 4.6m above the top of the floor protector.

The flue cowl must be at least 0.6m above the highest point of the roof, if within 3 metres of the ridge. The flue cowl must be at least 1m above the roof penetration if more than 3 metres from the ridge (Refer Fig. 2).

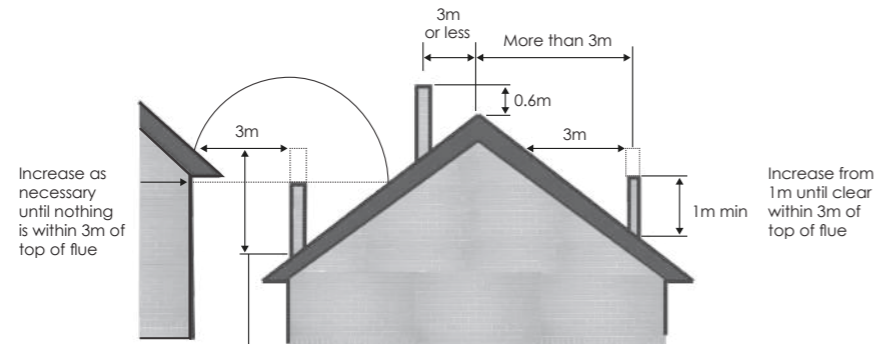


FIG. 2

No part of a building, or any adjacent object, may be above flue in a circular area of 3 metres from the flue exit.

These heights are given as a minimum, and in actual practice the presence of surrounding structures, trees, fences, etc. may necessitate additional flue height for satisfactory performance.

FOR MORE INFORMATION, REFER TO THE INSTALLATION INSTRUCTIONS INCLUDED WITH THE FLUE KIT.

Before the wood fire is used, ensure that a Compliance Certificate (supplied by a Registered Installer and/or Territorial Authority Inspector) is obtained for the user. We encourage initial demonstrations on how to light and operate the fire to ensure the user can confidently operate the fire for safe and efficient performance.

DOOR HANDLE AND DOOR

The door handle is pre-fitted and should not require any adjustment on assembly of the fire.

To ensure the door is shutting correctly cut a plain piece of paper about 50mm wide and place between the open door and the door frame. Close the door and try to pull the piece of paper out. If the paper can be freely pulled out, the door will need to be adjusted so when the door and handle is in the locked closed position pressure is applied to the paper strip ensuring the door is sealed correctly.

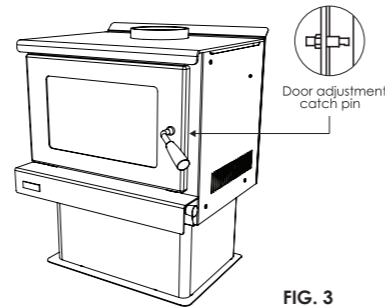


FIG. 3

If the handle has too much sideways movement the back nut on the hinge screw will need to be released. Tighten the hinge screw with an Allen key until the desired movement is achieved (not too tight, not too loose), then re-tighten the back nut to hold screw in position.



RUAPEHU WOOD FIRE

KWF295-6965



FEATURES

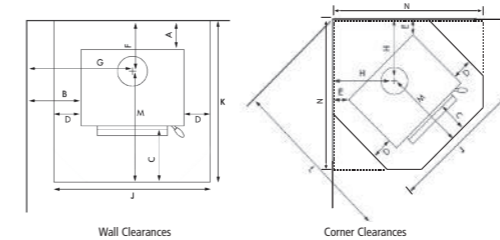
- Clean air approved large-size radiant wood fire
- Heat is emitted directly and warms all objects in its path before heating the air
- Ideal for draughty homes or higher ceilings
- Traditional matt black design, 6mm steel
- Vermiculite brick lined firebox
- Multi-burn firebox helps glass remain clear
- Steel plate top for cooking use

SPECIFICATIONS

- Estimated maximum heat output: 22kW
- Heats area up to 250m²
- Average emission rate: 0.54g/kg
- Overall average efficiency: 66%
- ECAN Authorisation No. 191312

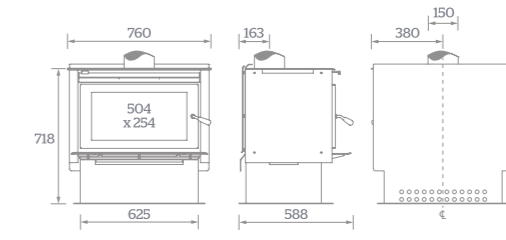


INSTALLATION CLEARANCES



Minimum Installation Clearances (with flue shield) mm							Hearth Clearances (mm)					
A	B	C	D	E	F	G	H	J	K	L	M	N
150	200	300	100	170	315	580	540	960	913	1375	640	1180

DIMENSIONS (MM)



RECOMMENDED FLUE KITS

Standard	KWF298-7005
Energy Saver	KWF298-7006

Flue kits are tested to AS/NZS2918 Appendix F report no. 02/649.

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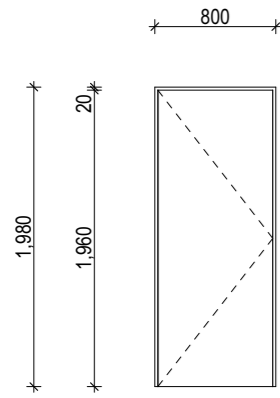
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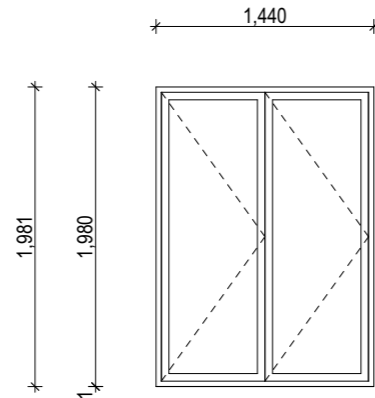


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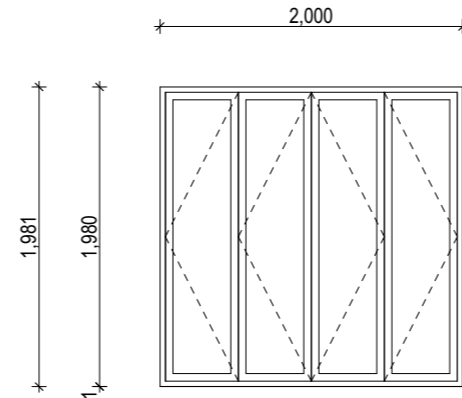
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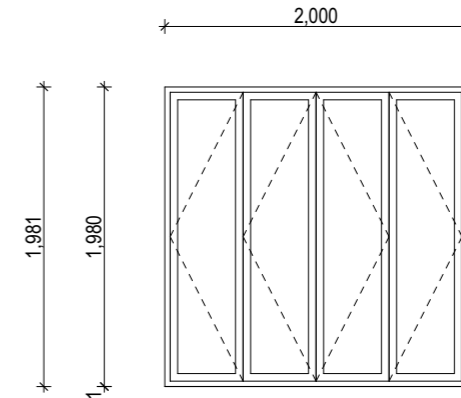
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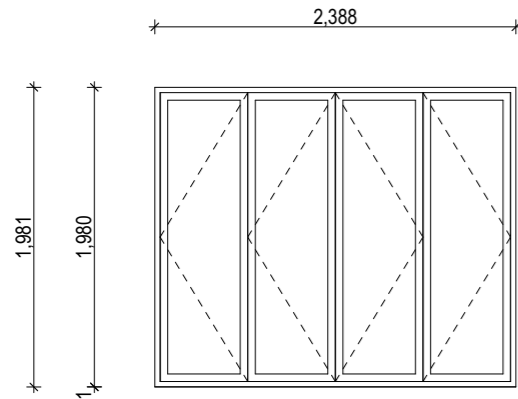
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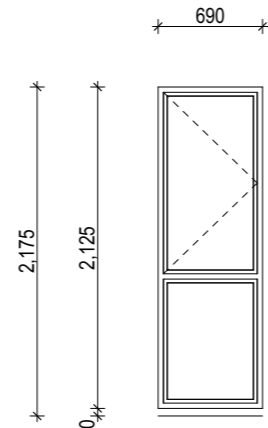
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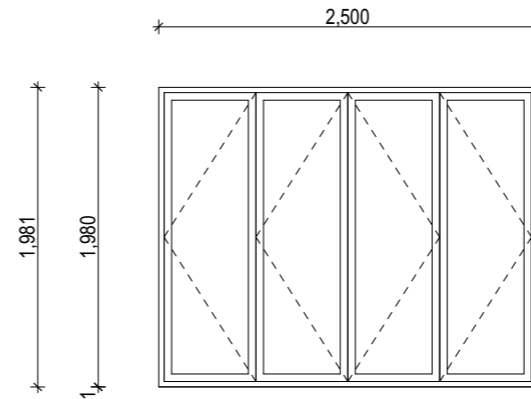
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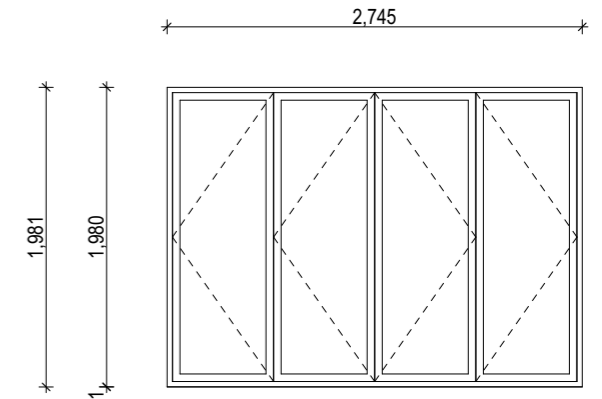
W04



W05



W06



W07

NOTE:
 -ALL INTERNAL DOORS TO BE HOLLOW CORE LEAFS UNLESS NOTED.
 -ALL 20mm PINE JAMBS
 -ALL 20mm BASE CLEARANCE
 -ALL HANDLES TO BE PLACED 1000mm ABOVE FFL

NOTE:
 ALL GLAZING TO BE DOUBLE GLAZED. ALL OPENINGS ARE TO BE CONFIRMED ON-SITE WITH A SITE MEASURE FROM JOINERY MANUFACTURER. ENSURE COMPLIANCE WITH NZS4223.3:2016 SAFETY GLASS (HUMAN IMPACT)

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BH01
 10M OFFSET BUILDING RESTRICTION LINE FROM THE SITE BOUNDARY

NTS

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Revision	Issue	Date

geologix
consulting engineers
AUCKLAND | NORTHLAND

Project Name and Address
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 TAUTORO
 PART MOTATAU 5E11 BLOCK**

Project C0204	Drawn By GB
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Client
MATTHEW PARAHA

Sheet Title
GEOTECHNICAL PLAN

Sheet
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3.	FEATURES PRESENTED ARE INDICATIVE AND HAVE NOT BEEN VERIFIED.	
4.	DO NOT SCALE FROM THIS DRAWING.	
CONCEPT WASTEWATER DESIGN		
CONCEPT DEVELOPMENT	5 BEDROOM	
CONCEPT NO. OF OCCUPANTS	8 PERSONS	
DAILY WASTEWATER GEN.	160 LITRES/ PERSON/ DAY	
TOTAL WASTEWATER GEN.	1,280 LITRES/ DAY	
SOIL CATEGORY (TP58)	CATEGORY 6	
SOIL CATEGORY (NZS1547)	CATEGORY 5	
SOIL LOADING RATE	3.0 mm/ DAY	
TREATMENT SYSTEM CONSENT	TBC AT BUILDING	
PRIMARY DISPOSAL AREA	427 m ²	
RESERVE DISPOSAL AREA	129 m ² (30 %)	
FINAL DESIGN?	NO - SUBJECT TO BUILDING	
CONSENT DESIGN	NO	
CUT OFF DRAINS?	NO	
DISCHARGE CONSENT?	NO	
<ul style="list-style-type: none"> — WATERCOURSE — OVERLAND FLOWPATH — EDGE OF MAPPED WETLAND (BY OTHERS) — SW — EXISTING ROADSIDE GRASSED SWALE DRAIN 		
<ul style="list-style-type: none"> PRIMARY DISPOSAL FIELD RESERVE DISPOSAL FIELD CONCEPT 25,000 LITRE WATER TANK ATTENUATING TO DISPERSION DEVICE TO CONTROL 300 m² AREA 		
A	CONSENT	01/2023
Revision	Issue	Date
AUCKLAND NORTHLAND		
Project Name and Address		
6277A MANGAKAHIA ROAD		
TAUTORO		
PART MOTATAU 5E11 BLOCK		
Project	Drawn By	
C0204	GB	
Client		
MATTHEW PARAHA		
Sheet Title		
3 WATERS PLAN		
Sheet		
500		

NTS

**REFER TO
SITE &
DWELLING
SPECIFIC
WW REPORT
ON SHEET
BC(5)03**

ISSUE	REV	DATE
BC RFIs 01		24/11/23





NTS

REFER TO
WW REPORT
FOR MORE
INFO



DATE DRAW: 21/11/2023 PREPARED BY: Alexandra Sabath REVISED: Matt Riddell	SITE LAYOUT PLAN: Matthew Paraha 6277B Mangakahia Road o Pt Motatau 5E11 3.2526HA	SCALE: <div style="text-align: center; font-size: 24px; font-weight: bold;">1 : 531</div> <div style="text-align: center; font-weight: bold;">@ A3</div>
--	---	--

Onsite Wastewater Site Evaluation Investigation Checklist – Doc 1161 Copyright

ISSUE	REV	DATE
BC RFIs 02		30/11/23

6277B Mangakahia Road

NTS @ A3

ENG

31/05/24

BC
Ref: 2304

BC(5)03
REV:

RELOCATE IT

WWW.RELOCATEIT.CO.NZ
T: 02102867410
E: OFFICE@RELOCATEIT.CO.NZ

Fw: Submit application 2023-0135

Matt P <matgenie@hotmail.com>

To: Neil Cates <Neil@siteworx.co.nz>, Steven Sanson <steve@sansons.co.nz>

Hi Neil, Steven

Is this ask that my accessway be upgraded to Diagram C only

Thanks.

From: Vonnie Veen-Grimes <Vonnies.Veen-Grimes@nzta.govt.nz>**Sent:** Wednesday, 19 June 2024 11:26 am**To:** Matt P <matgenie@hotmail.com>**Subject:** RE: Submit application 2023-0135

Hi Matt,

Thank you for your patience here and thank you for consulting the NZ Transport Agency Waka Kotahi (NZTA) seeking approval pursuant to s95E of the Resource Management Act 1991. NZTA has reviewed the proposal and determined that conditions would mitigate potential effects on State Highway 15. These conditions will need to be volunteered in writing with the resource consent application prior to written approval being provided by NZTA.

*Please note: The legal name of NZTA is the **New Zealand Transport Agency**; therefore, our full legal name is referred to in the requested conditions.*

Conditions:

1. Vehicle crossing located at X: 1676254.91, Y: 6073836.44 shall be upgraded in accordance with New Zealand Transport Agency Diagram C standard as outlined in satisfaction of the New Zealand Transport Agency Network Manager.
2. Prior to the occupation of the dwelling the consent holder shall provide to Council, correspondence from the New Zealand Transport Agency confirming that works in relation to the crossings, have been constructed to New Zealand Transport Agency standards.

Reasoning:

- The subject lot shares access to vehicle crossing located at X: 1676254.91, Y: 6073836.44 with 'Tautoro School Block ML 7135' held under Record of Title NA91D/1.
- Across both lots there is currently a total of three dwellings however one dwelling located on the southeast of the subject lot has a separate vehicle crossing located on the subject lot. NZTA understands the proposed results in the subject access serving a total of three dwellings.
- It should be noted that the subject crossing does not meet NZTA standard sight distance as determined by the Planning Policy Manual (2007) Appendix 5b (PPM) which requires a sight distance of 203m and 121m to the south. The standard as determined by the PPM is 203m for 80km/h road environment.
- NZTA has also considered the following factors in assessment:
 - recent speed limit reduction to 80km/h,
 - existing 40km/h speed limit during school hours,
 - the existing vehicle crossing on the opposite side of subject vehicle crossing.
- As determined by the PPM, NZTA considers the proposed to result in the subject access having an estimated 31.2 vehicle movements per day.
- With consideration of the above assessment, NZTA has determined the access shall be upgraded to Diagram C access standard.

Please consider the above and, if you agree, please amend your resource consent application to include the above conditions and provide a copy of this revised consent application to council requesting that the conditions are included in the application as an addendum to the application and provide a copy of this request to NZTA.

Upon receiving your revised application or email confirming that you have volunteered the above conditions to council; NZTA will continue to process the application with the delegated authority).

If you have any queries regarding the above, please feel free to contact me via the details below.

Ngā mihi

Vonnies Veen-Grimes**Planner, Environmental Planning (Auckland/Northland)**

Poutiaki Taiao | System Design

Email: Vonnies.Veen-Grimes@nzta.govt.nz**Waka Kotahi New Zealand Transport Agency**

Auckland, Level 5, AON Centre, 29 Customs Street West

Private Bag 106602, Auckland 1143, New Zealand

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From: Vonnie Veen-Grimes**Sent:** Friday, May 3, 2024 4:11 PM**To:** Matt P <matgenie@hotmail.com>**Subject:** RE: Submit application

Hi Matt,

I will run this past our safety engineer when I meet with him next week see if the position changes. As stated earlier, his issue is with the poor sight distance but I will do work to improve it.

Ngā mihi

Vonnies Veen-Grimes**Planner, Environmental Planning (Auckland/Northland)**

Poutiaki Taiao | System Design

Email: Vonnies.Veen-Grimes@nzta.govt.nz

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From: Matt P <matgenie@hotmail.com>

Sent: Friday, May 3, 2024 2:48 PM

To: Vonnie Veen-Grimes <Vonnies.Veen-Grimes@nzta.govt.nz>

Subject: Re: Submit application

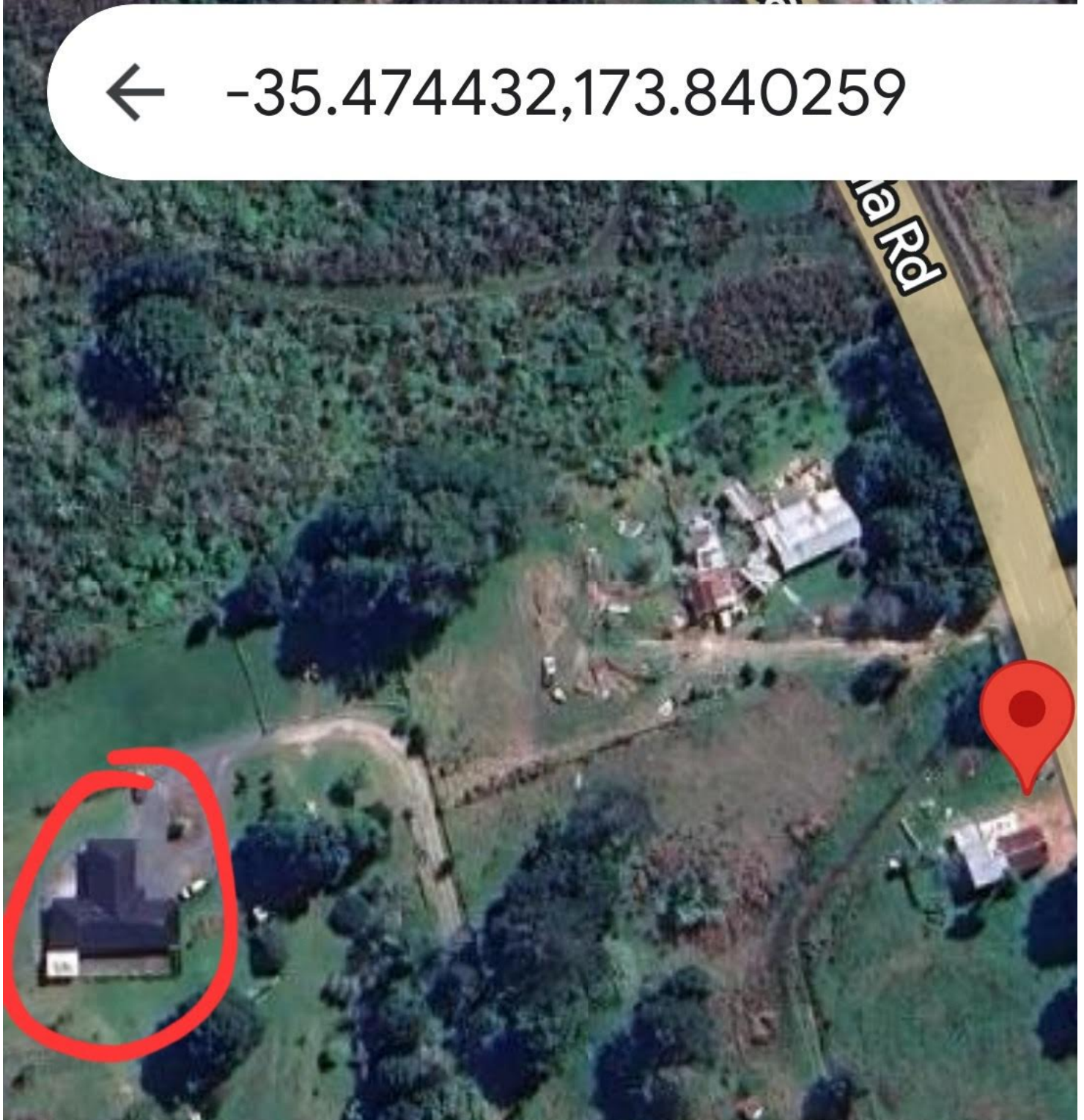
The reason the house in blue has access from the back of her house up the paper road is because her son was living in the house in yellow for many years and our whanau onto the paper road.

He has since moved away and the house in yellow has now been removed, it is currently being stored on the area marked green till it can be removed completely.

The whanau in the blue house no longer use the paper road since their son moved away and they never used the accessway from the highway because they had their own driveway.

My current build is marked orange. The only properties that use the accessway, are marked orange and red. Blue no longer uses the road and yellow has been removed.

← -35.474432,173.840259





From: Vonnie Veen-Grimes <Vonnie.Veen-Grimes@nzta.govt.nz>

Sent: Friday, 3 May 2024 1:31 pm

To: Matt P <matgenie@hotmail.com>

Subject: RE: Submit application

Hi Matt,

The guidance of the PPM indicates an average of 10.4 VPD per dwelling. You stated the other day that the dwelling circled in blue also uses this access. The dwelling you are proposing then would be a fourth. As stated, if the house circled and blue is comfortable to close the access your crossing then our safety engineer t

As to your question of how is it calculated; it is based on research and data gathered back prior to 2007 when the PPM prepared. It is not always strict to this number, but corner and having short sight distance, the safety engineer is less willing to change his position here that Diagram D is the safest treatment for this access.



Ngā mihi

Vonnie Veen-Grimes

Planner, Environmental Planning (Auckland/Northland)

Poutiaki Taiao| System Design

Email: Vonnie.Veen-Grimes@nzta.govt.nz

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Private Bag 106602, Auckland 1143, New Zealand

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From: Matt P <matgenie@hotmail.com>
Sent: Thursday, May 2, 2024 8:47 PM
To: Vonnie Veen-Grimes <Vonnie.Veen-Grimes@nzta.govt.nz>
Subject: Re: Submit application

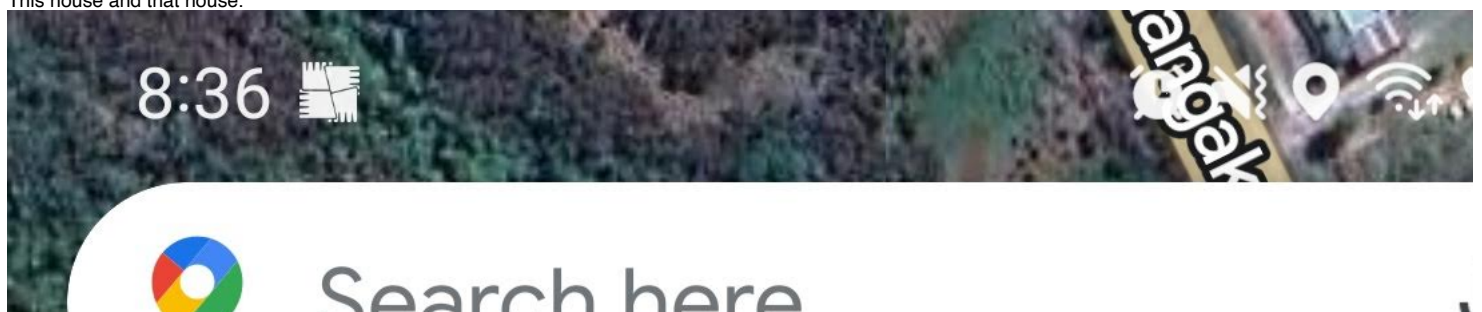
Hi Vonnie.
 How can NZTA assume that there is more that 30 vehical movement per day. How is it calculated

Appendix 5B – Accessway standards and guidelines

Table App5B/4 – Accessway types

Type of traffic using accessway (more than one slow, heavy or long vehicle movements per week?)	Volume of traffic using accessway (ecm/day ⁵)	Volume of traffic using state highway (vpd)	Accessway type
No	1-30	< 10,000	Diagram and

There are two dwellings that use this road.
 This house and that house.





Search here



Work



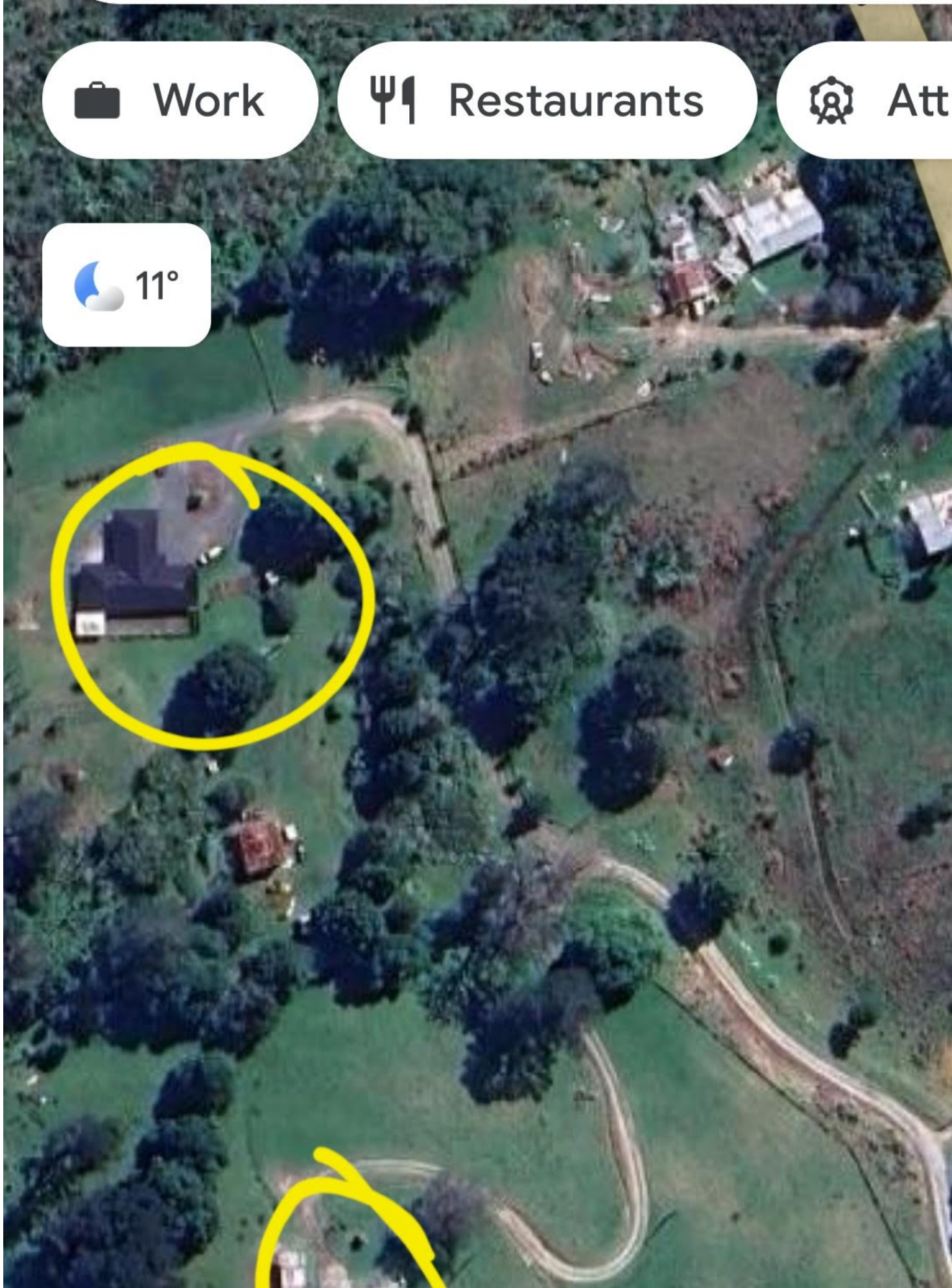
Restaurants



Att



11°





From: Vonnie Veen-Grimes <Vonnie.Veen-Grimes@nzta.govt.nz>
Sent: Wednesday, 1 May 2024 2:08 pm
To: Matt P <matgenie@hotmail.com>
Subject: RE: Submit application

Kia ora Matt,

As previously raised, the issue is that the volume of vehicle movements being generated to your crossing place warrants the requirement for a Diagram D upgrade. You (or your agent below) has access to two accesses. If we can move them to just using their own existing access, then our safety engineer is happy to revisit the vehicle movements per day.

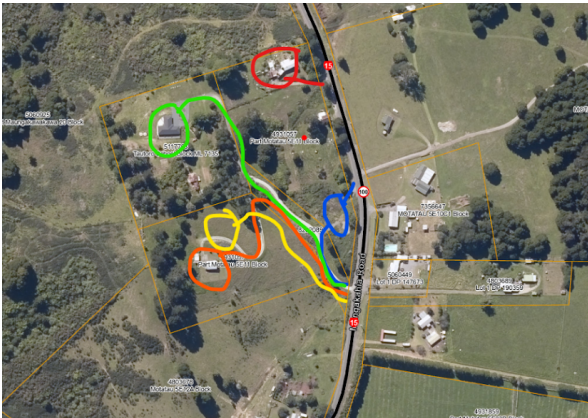


Image below from our latest network video shows that current standard of the direct access into the property highlighted in blue in the planning memo – it appears to be for a standard.



Something else to consider is the limited sight lines to the north because of the curve. While we appreciate the reduction in the speed limit to 80km/h is imminent this does PPM, one needs to be achieving around 200m (based on the 80km/h) but as far as we can determine it looks like there is only 100m being achieved.

In conclusion, the information provided recently is not sufficient in changing NZTA position of the access treatment in order to mitigate safety risks. The location which has reduce the VMPD to the subject crossing by removing blue house's access (and showing evidence of this) then this could potentially be a solution. It may also mean that Diagram C. In addition, you mentioned being able to provide a speed test. This may assist if it is shown the operative speed is lower than 80km/h. This being said, I am unsure of the outcome at this stage.

Ngā mihi

Vonnie Veen-Grimes

Planner, Environmental Planning (Auckland/Northland)

Poutiaki Taiao| System Design

Email: Vonnie.Veen-Grimes@nzta.govt.nz

Waka Kotahi New Zealand Transport Agency

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Private Bag 106602, Auckland 1143, New Zealand

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From: Matt P <matgenie@hotmail.com>
Sent: Tuesday, April 30, 2024 4:06 PM
To: Vonnie Veen-Grimes <Vonnie.Veen-Grimes@nzta.govt.nz>
Subject: Re: Submit application

Could you add that I am willing to get the speed tested at my cost to verify the 85th percentage of average speeds

From: Vonnie Veen-Grimes <Vonnie.Veen-Grimes@nzta.govt.nz>
Sent: Tuesday, 30 April 2024 1:21 pm
To: Matt P <matgenie@hotmail.com>
Subject: RE: Submit application

Hi there,

Sorry for the delay. The regional safety engineer has been on leave and is behind on requests for review. We should have a formal response by end of week.

Ngā mihi

Vonnie Veen-Grimes

Planner, Environmental Planning (Auckland/Northland)

Poutiaki Taiao| System Design

Email: Vonnie.Veen-Grimes@nzta.govt.nz

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From: Matt P <matgenie@hotmail.com>
Sent: Monday, April 29, 2024 12:25 PM
To: Vonnie Veen-Grimes <Vonnie.Veen-Grimes@nzta.govt.nz>
Subject: Re: Submit application

Hi do you have any updates for me.

From: Vonnie Veen-Grimes <Vonnie.Veen-Grimes@nzta.govt.nz>
Sent: Monday, 15 April 2024 4:25 pm
To: Matt P <matgenie@hotmail.com>
Subject: RE: Submit application

Thanks, Matt. I'll add this to my query with the SME's.

Ngā mihi

Vonnie Veen-Grimes

Planner, Environmental Planning (Auckland/Northland)

Poutiaki Taiao| System Design
Email: Vonnie.Veen-Grimes@nzta.govt.nz

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From: Matt P <matgenie@hotmail.com>
Sent: Monday, April 15, 2024 3:24 PM
To: Vonnie Veen-Grimes <Vonnie.Veen-Grimes@nzta.govt.nz>
Subject: Re: Submit application





Hi, there are new signage here that may help my case.

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From: Matt P <matgenie@hotmail.com>
Sent: Monday, April 15, 2024 2:05:02 PM
To: Vonnie Veen-Grimes <Vonnies.Veen-Grimes@nzta.govt.nz>
Subject: Re: Submit application

The house closest to the road has a driveway but still uses the paper road, my neighbors house up to the left, the original house at the bottom left has been moved to the house was.

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From: Vonnie Veen-Grimes <Vonnies.Veen-Grimes@nzta.govt.nz>
Sent: Monday, April 15, 2024 1:53:23 PM
To: Matt P <matgenie@hotmail.com>

Subject: RE: Submit application

Hi Matt,

I'm just taking another look at this and it appears another dwelling as been added to the site since previously assessed. Can you please confirm how many dwellings curr



Ngā mihi

Vonnie Veen-Grimes

Planner, Environmental Planning (Auckland/Northland)

Poutiaki Taiao| System Design
Email: Vonnie.Veen-Grimes@nzta.govt.nz

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Auckland, Level 5, AON Centre, [29 Customs Street West](#)
Private Bag 106602, Auckland 1143, New Zealand

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From: Matt P <matgenie@hotmail.com>
Sent: Monday, April 15, 2024 1:41 PM
To: Vonnie Veen-Grimes <Vonnie.Veen-Grimes@nzta.govt.nz>
Subject: Re: Submit application

Thank you

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From: Vonnie Veen-Grimes <Vonnie.Veen-Grimes@nzta.govt.nz>
Sent: Monday, April 15, 2024 1:38:05 PM
To: Matt P <matgenie@hotmail.com>
Subject: RE: Submit application

Hi Matt,

I'm happy to enquire and come back to you. It may take a week or so to get a response from our safety SMEs as they have significant workloads at the moment.

Ngā mihi

Vonnie Veen-Grimes

Planner, Environmental Planning (Auckland/Northland)

Poutiaki Taiao| System Design
Email: Vonnie.Veen-Grimes@nzta.govt.nz

Waka Kotahi New Zealand Transport Agency

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Private Bag 106602, Auckland 1143, New Zealand

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From: Matt P <matgenie@hotmail.com>
Sent: Monday, April 15, 2024 1:30 PM
To: Vonnie Veen-Grimes <Vonnies.Veen-Grimes@nzta.govt.nz>
Subject: Re: Submit application

Hi Vonnie, does the school 40km zone hold any weight. Thanks

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From: Vonnie Veen-Grimes <Vonnies.Veen-Grimes@nzta.govt.nz>
Sent: Monday, April 15, 2024 11:16:07 AM
To: matgenie@hotmail.com <matgenie@hotmail.com>
Subject: RE: Submit application

Hi Matthew,

Hope you are well. NZTA is unable to change its position in relation to a Diagram D upgrade at this stage. This condition was based on a site specific assessment which n approximately 87m. The recommended sight distance as in the [Planning Policy Manual \(2007\) Appendix 5b](#) on a 100km/h road is 282m.

NZTA are aware there are no other appropriate locations for an access therefore this cannot be helped. A Diagram D upgrade provides widening on the opposite side miti in a high speed environment.

If you disagree with this assessment, evidence would need to be provided as to why NZTA should change its position via a formal traffic assessment. This can then be pre However, even with this, I cannot guarantee the position will be changed.

Please let me know if you have any additional information in relation to access that NZTA can assess. Until then, NZTA position will remain consistent.

Ngā mihi

Vonnies Veen-Grimes

Planner, Environmental Planning (Auckland/Northland)

Poutiaki Taiao| System Design
Email: Vonnies.Veen-Grimes@nzta.govt.nz

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Auckland, Level 5, AON Centre, 29 Customs Street West

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-----Original Message-----

From: EnvironmentalPlanning@noreply.nzta.govt.nz <EnvironmentalPlanning@noreply.nzta.govt.nz>
Sent: Saturday, April 13, 2024 9:37 AM
To: Environmental Planning <EnvironmentalPlanning@nzta.govt.nz>
Subject: Submit application

Select reason for contact: Submit application Contact details:

First name: Matthew
Last name: Paraha
Consultant name (if applicable):
Email address: matgenie@hotmail.com
Phone number: 0212625194
Preferred method of contact: Email

Proposal details:

What is your reason for applying?: Land use development Describe your proposal: I have a Kainga Ora loan to move relocatable houses onto my Maori land. The land ne way maintenance. One of the conditions of the resource consent was a major upgrade to the access way, I am required to upgrade to diagram D spec which I believe is to diagram C Give site address: [6277b Mangakahia rd, Tautoro, Kaikohe](#) Legal description of the property: [6295 Mangakahia rd Tautoro, Kaikohe](#) Select your region: Nort Far North District Council Attachment 1: [https://aus01.safelinks.protection.outlook.com/?url=https%3A%2F%2Fwww.nzta.govt.nz%2Fassets%2Fsecure-assets%2Flandusehighway2021%2F77c3405%7C02%7CVonnies.Veen-Grimes%40nzta.govt.nz%7C3f1b1a04ec174abc4c3708dc5cc9900f%7C7245e48ca9ff4b2898ef05cfa8edb518%7C0%7C0%7C638487268204751448%7CUnknown%7CTWfPbGZsb3d8eyJWljoIMC4wLjAwMDAiLCJQljoiv2luMzliLCJBjTil6lk1haWwiLCJXVCi6Mn0%3D%7C0%7C%7C%7C&sdata=WksYppOeMf6BwREybxiz8O3BGi8xN](https://aus01.safelinks.protection.outlook.com/?url=https%3A%2F%2Fwww.nzta.govt.nz%2Fassets%2Fsecure-assets%2Flandus449_0-Approved-Stamped-Plans.pdf&data=05%7C02%7CVonnies.Veen-Grimes%40nzta.govt.nz%7C3f1b1a04ec174abc4c3708dc5cc9900f%7C7245e48ca9ff4b2898ef0%7C638487268204751448%7CUnknown%7CTWfPbGZsb3d8eyJWljoIMC4wLjAwMDAiLCJQljoiv2luMzliLCJBjTil6lk1haWwiLCJXVCi6Mn0%3D%7C0%7C%7C%7C&sdata=2BqTZj8bh7QW9RmDM%2BA%3D&reserved=0)

Attachment 2: <https://aus01.safelinks.protection.outlook.com/?url=https%3A%2F%2Fwww.nzta.govt.nz%2Fassets%2Fsecure-assets%2Flandusehighway2021%2F77c3405%7C02%7CVonnies.Veen-Grimes%40nzta.govt.nz%7C3f1b1a04ec174abc4c3708dc5cc9900f%7C7245e48ca9ff4b2898ef05cfa8edb518%7C0%7C0%7C638487268204751448%7CUnknown%7CTWfPbGZsb3d8eyJWljoIMC4wLjAwMDAiLCJQljoiv2luMzliLCJBjTil6lk1haWwiLCJXVCi6Mn0%3D%7C0%7C%7C%7C&sdata=WksYppOeMf6BwREybxiz8O3BGi8xN>
Attachment 3:

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DECISION ON LAND USE CONSENT APPLICATION UNDER THE RESOURCE MANAGEMENT ACT 1991

Decision

Pursuant to section 34(1) and sections 104, 104B and Part 2 of the Resource Management Act 1991 (the Act), the Far North District Council **grants** land use resource consent for a Discretionary Activity, subject to the conditions listed below, to:

Applicant:	Matthew Paraha
Council Reference:	2240220-RMALUC
Property Address:	6295 Mangakahia Road, Tautoro 0474
Legal Description:	Part Motatau No.5 E No.11 Block (RT 476313)

The activities to which this decision relates are listed below:

To establish two additional connected dwellings on a site in the Rural Production Zone in breach of 8.6.5.1.1 RESIDENTIAL INTENSITY, 8.6.5.2.2 PAPAKAINGA HOUSING and 8.6.5.4.2 INTEGRATED DEVELOPMENT, being a discretionary activity under 8.6.5.4 DISCRETIONARY ACTIVITIES

Conditions

Pursuant to sections 108 of the Act, this consent is granted subject to the following [conditions](#):

1. The works shall be carried out in accordance with:
 - a. The approved plans by Relocate It Reference Project No. 2304, Sheets BC(1)03 to 08, (1)13, and (2)00 to 05 dated 30/11/2023 attached to this permit/consent with the Council's Approved Stamp affixed to them.
2. The construction works shall be carried out in accordance with the report by Geologix Consulting Engineers Reference C0204-S-01 Revision 1 dated January 2023.
3. The exterior of the relocated dwellings shall not be left unfinished or shall be allowed to fall into such a condition; and no land shall be allowed to deteriorate or to remain in such a condition that it would, in the opinion of the Council, visually detract from the amenities of the property, or adjoining properties, or the neighbourhood.
4. Without the prior approval of the Council, no building shall be erected, nor any works which increase impermeable surfaces be undertaken, nor any planting or structure placed which may create a flow obstruction, on any area of the site which can be considered as an overland flow path.

5. The vehicle crossing with Mangakahia Road shall be upgraded in accordance with the NZ Transport Agency's Diagram D as outlined in the Planning Policy Manual (2007) and to the satisfaction of the NZ Transport Agency Network Manager.
6. Prior to the occupation of the dwelling the consent holder shall provide to Council, correspondence from the NZ Transport Agency confirming that works in the State Highway, including the upgrading of vehicle crossings, have been constructed to the NZ Transport Agency standards.
7. Prior to the occupation of the dwelling the consent holder shall upgrade the entirety of the private access road from Mangakahia Road to the proposed dwellings and provide passing bays in accordance with 15.1.6C.1.1 and 15.1.6C.1.3 of the Operative District Plan.
8. The consent holder is to notify Council two weeks prior to commencement of the earthworks and provide photo evidence to the FNDC Resource Consents Monitoring Officer (Email to: Consents Monitoring rcmonitoring@fndc.govt.nz) that sediment and dust control measures are constructed and are in place prior to the commencement of earthworks in accordance with the principles and practices contained the Auckland Council document entitled "GD05: Erosion and Sediment Control Guide for Land Disturbing Activities in the Auckland Region". These measures are to be maintained during the construction phase and can only be removed once appropriate stabilization has been completed.

Advice Notes

Lapsing of Consent

1. *Pursuant to section 125 of the Act, this resource consent will lapse 5 years after the date of commencement of consent unless, before the consent lapses;*
 - a) *The consent is given effect to; or*
 - b) *An application is made to the Council to extend the period of consent, and the council decides to grant an extension after taking into account the statutory considerations, set out in section 125(1)(b) of the Act.*

Right of Objection

2. *If you are dissatisfied with the decision or any part of it, you have the right (pursuant to section 357A of the Act) to object to the decision. The objection must be in writing, stating reasons for the objection and must be received by Council within 15 working days of the receipt of this decision.*

Archaeological Sites

3. *Archaeological sites are protected pursuant to the Heritage New Zealand Pouhere Taonga Act 2014. It is an offence, pursuant to the Act, to modify, damage or destroy an archaeological site without an archaeological authority issued pursuant to that Act. Should any site be inadvertently uncovered, the procedure is that work should cease, with the Trust and local iwi consulted immediately. The New Zealand Police should also be consulted if the discovery includes koiwi (human remains). A copy of Heritage New Zealand's Archaeological Discovery Protocol (ADP) is attached for your information. This should be made available to all person(s) working on site.*

Reasons for the Decision

1. By way of an earlier report that is contained within the electronic file of this consent, it was determined that pursuant to sections 95A and 95B of the Act the proposed activity will not have, and is not likely to have, adverse effects on the environment that are more than minor, there are also no affected persons and no special circumstances exist. Therefore, under delegated authority, it was determined that the application be processed without notification.
2. The application is for a Discretionary activity resource consent as such under section 104 the Council can consider all relevant matters.
3. In regard to section 104(1)(a) of the Act the actual and potential effects of the proposal will be acceptable as:
 - a) The proposed dwellings are consistent with the character and use of the land and the intent of Papakainga housing in the Rural Production Zone under the Integrated Development rule.
 - b) The built form of the dwellings will not result in adverse visual effects on the receiving environment.
 - c) Appropriate on-site services for water, wastewater and stormwater can be provided at the time of building consent.
 - d) Vehicle access is existing and adequate subject to upgrade works to the driveway and highway crossing.
 - e) The proposal will also result in positive effects, including papakainga housing contributing to economic and social well-being of the applicant and their whanau.
4. In regard to section 104(1)(ab) of the Act there are no offsetting or environmental compensation measures proposed or agreed to by the applicant for the activity.
5. In regard to section 104(1)(b) of the Act the following statutory documents are considered to be relevant to the application:
 - a) National Environmental Standard for Assessing Contaminants in Soil to Protect Human Health (NESCS)
 - b) National Environmental Standard for Freshwater (NESFW)
 - c) National Policy Statement for Freshwater
 - d) National Policy Statement for Highly Productive Land (NESHPL)

The site is exempt from the NPS HPL as it is Maori land.

- e) National Policy Statement for Indigenous Biodiversity

The proposal is not contrary to the above national instruments.

- f) Northland Regional Policy Statement 2016

The Northland Regional Policy Statement is relevant to this proposal, in particular the following objectives:

- Objective 3.2 Region-Wide Water Quality
- Objective 3.11 Regional Form

The proposal enables development of a rural settlement site with Papakainga Housing. The dwellings will not be obtrusive within the landscape, earthworks will be appropriately managed and wastewater and stormwater services will contain wastewater within the site. The proposal is therefore consistent with the RPS.

g) Regional Plans

Consent is not required from Northland Regional Council for breaches of the Regional Plan.

h) Operative Far North District Plan 2009

i) Proposed Far North District Plan 2022

Operative Far North District Plan

8 RURAL ENVIRONMENT

8.3.7 To promote the maintenance and enhancement of amenity values of the rural environment to a level that is consistent with the productive intent of the zone

8.3.8 To facilitate the sustainable management of natural and physical resources in an integrated way to achieve superior outcomes to more traditional forms of subdivision, use and development through management plans and integrated development.

8.3.8 To facilitate the sustainable management of natural and physical resources in an integrated way to achieve superior outcomes to more traditional forms of subdivision, use and development through management plans and integrated development.

8.4.4 That development which will maintain or enhance the amenity value of the rural environment and outstanding natural features and outstanding landscapes be enabled to locate in the rural environment.

8.4.8 That, when considering subdivision, use and development in the rural environment, the Council will have particular regard to ensuring that its intensity, scale and type is controlled to ensure that adverse effects on habitats (including freshwater habitats), outstanding natural features and landscapes on the amenity value of the rural environment, and where appropriate on natural character of the coastal environment, are avoided, remedied or mitigated. Consideration will further be given to the functional need for the activity to be within rural environment and the potential cumulative effects of non-farming activities.

8.6 RURAL PRODUCTION ZONE

8.6.3.2 To enable the efficient use and development of the Rural Production Zone in a way that enables people and communities to provide for their social, economic, and cultural well being and for their health and safety.

8.6.3.3 To promote the maintenance and enhancement of the amenity values of the Rural Production Zone to a level that is consistent with the productive intent of the zone.

8.6.4.4 That the type, scale and intensity of development allowed shall have regard to the maintenance and enhancement of the amenity values of the Rural Production Zone to a level that is consistent with the productive intent of the zone.

8.6.4.5 That the efficient use and development of physical and natural resources be taken into account in the implementation of the Plan.

Proposed Far North District Plan

Maori Purpose – Rural

MPZ-O2

The Māori Purpose zone enables a range of social, cultural and economic development opportunities that support the occupation, use, development and ongoing relationship with ancestral land.

MPZ-O3

Use and development in the Māori Purpose zone reflects the sustainable carrying capacity of the land and surrounding environment.

MPZ-P3

Provide for development on Māori land where it is demonstrated:

- a. it is compatible with surrounding activities;*
- b. it will not compromise occupation, development and use of Māori land;*
- c. it will not compromise use of adjacent land or other zones to be efficiently and effectively used for their intended purpose;*
- d. it maintains character and amenity of surrounding area;*
- e. it provides for community wellbeing, health and safety;*
- f. it can be serviced by onsite infrastructure or reticulated infrastructure where this is available; and*
- g. that any adverse effects can be avoided, remedied or mitigated.*

MPZ-P4

Manage land use and subdivision to address the effects of the activity requiring resource consent, including (but not limited to) consideration of the following matters where relevant to the application:

- a. consistency with the scale, density, design and character of the environment and purpose of the zone;*
- b. the location, scale and design of buildings and structures;*
- c. the positive effects resulting from the economic, social and cultural wellbeing provided by the proposed activity.*
- d. at zone interfaces:*
 - i. any setbacks, fencing, screening or landscaping required to address potential conflicts;*
 - ii. managing reverse sensitivity effects on adjacent land uses, including the ability of surrounding properties to undertake primary production activities in a rural environment;*
- e. the adequacy and capacity of available or programmed development infrastructure to accommodate the proposed activity; or the capacity of the site to cater for on-site infrastructure associated with the proposed activity;*

- f. *the adequacy of roading infrastructure to service the proposed activity;*
- g. *managing natural hazards;*
- h. *any loss of highly productive land;*
- i. *adverse effects on areas with historic heritage and cultural values, natural features and landscapes, natural character or indigenous biodiversity values; and*
- j. *any historical, spiritual, or cultural association held by tangata whenua, with regard to the matters set out in Policy TW-P6.*

The proposal is not contrary to the objectives and policies of both plans. The additional dwellings are modest in size, will have the appearance of a single connected dwelling and will not be visible from public vantage points. All built form will be consistent with the character of the settlement.

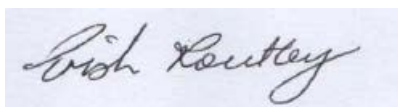
The dwellings will maintain the rural-residential use of the property by providing additional Papakainga accommodation for whanau and are submitted under the Integrated Development rule with a management plan assessment relevant to the site and proposal. No mitigation measures are proposed or required.

Appropriate on-site infrastructure will contain wastewater and stormwater discharges within the property. Improved vehicle access to State Highway 15 via an upgraded driveway and crossing will enhance road safety.

6. In regard to section 104(1)(c) of the Act there are no other matters relevant and reasonably necessary to determine the application.
7. Based on the assessment above the activity will be consistent with Part 2 of the Act.
The activity will avoid, remedy or mitigate any potential adverse effects on the environment while providing for the sustainable management of natural and physical resources and is therefore in keeping with the Purpose and Principles of the Act. There are no matters under section 6 that are relevant to the application. The proposal is an efficient use and development of the site that will maintain existing amenity values without compromising the quality of the environment. The activity is not considered to raise any issues in regard to Te Tiriti o Waitangi.
8. Overall, for the reasons above it is appropriate for consent to be granted subject to the imposed conditions.

Approval

This resource consent has been prepared by Katrina Roos - Boffa Miskell, Associate Principal Planner. I have reviewed this and the associated information (including the application and electronic file material) and for the reasons and subject to the conditions above, and under delegated authority, grant this resource consent.



Patricia (Trish) Routley

Date: 10 January 2024

Manager Resource Consents