

Application for resource consent or fast-track resource consent

(Or Associated Consent Pursuant to the Resource Management Act 1991 (RMA)) (If applying for a Resource Consent pursuant to Section 87AAC or 88 of the RMA, this form can be used to satisfy the requirements of Schedule 4). Prior to, and during, completion of this application form, please refer to Resource Consent Guidance Notes and Schedule of Fees and Charges — [both available on the Council's web page](#).

1. Pre-Lodgement Meeting

Have you met with a council Resource Consent representative to discuss this application prior to lodgement? Yes No

2. Type of Consent being applied for

(more than one circle can be ticked):

- Land Use Discharge
 Fast Track Land Use* Change of Consent Notice (s.221(3))
 Subdivision Extension of time (s.125)
 Consent under National Environmental Standard
(e.g. Assessing and Managing Contaminants in Soil)
 Other (please specify) _____

*The fast track is for simple land use consents and is restricted to consents with a controlled activity status.

3. Would you like to opt out of the Fast Track Process?

Yes No

4. Consultation

Have you consulted with Iwi/Hapū? Yes No

If yes, which groups have you consulted with?

Who else have you consulted with?

For any questions or information regarding iwi/hapū consultation, please contact Te Hono at Far North District Council tehonosupport@fndc.govt.nz

5. Applicant Details

Name/s:

Carter Family Trust

Email:

Phone number:

Postal address:

(or alternative method of service under section 352 of the act)

6. Address for Correspondence

Name and address for service and correspondence (if using an Agent write their details here)

Name/s:

Northland Planning and Development 2020 Limited c/o Rochelle Jacobs

Email:

Phone number:

Postal address:

(or alternative method of service under section 352 of the act)

** All correspondence will be sent by email in the first instance. Please advise us if you would prefer an alternative means of communication.*

7. Details of Property Owner/s and Occupier/s

Name and Address of the Owner/Occupiers of the land to which this application relates (where there are multiple owners or occupiers please list on a separate sheet if required)

Name/s:

Bradyn Carter, Garry Carter, Graeme Carter & Wendy Carter

**Property Address/
Location:**

75a Hokianga Harbour Drive, Opononi

Postcode

8. Application Site Details

Location and/or property street address of the proposed activity:

Name/s:	As above.	
Site Address/ Location:	As above. 75 Hokianga Harbour Drive	
	Opunoni	
		Postcode
Legal Description:	Lot 2 DP 577857	Val Number:
Certificate of title:	ROT- 1067418	

Please remember to attach a copy of your Certificate of Title to the application, along with relevant consent notices and/or easements and encumbrances (search copy must be less than 6 months old)

Site visit requirements:

Is there a locked gate or security system restricting access by Council staff? Yes No

Is there a dog on the property? Yes No

Please provide details of any other entry restrictions that Council staff should be aware of, e.g. health and safety, caretaker's details. This is important to avoid a wasted trip and having to re-arrange a second visit.

9. Description of the Proposal:

Please enter a brief description of the proposal here. Please refer to Chapter 4 of the District Plan, and Guidance Notes, for further details of information requirements.

To undertake extensions to an existing dwelling in the Coastal Residential zone. The proposal infringes the permitted standards for Stormwater Management, Sunlight and setback from boundaries.

If this is an application for a Change or Cancellation of Consent Notice conditions (s.221(3)), please quote relevant existing Resource Consents and Consent Notice identifiers and provide details of the change(s), with reasons for requesting them.

10. Would you like to request Public Notification?

Yes No

11. Other Consent required/being applied for under different legislation

(more than one circle can be ticked):

- Building Consent
- Regional Council Consent (ref # if known)
- National Environmental Standard consent
- Other (please specify)

12. National Environmental Standard for Assessing and Managing Contaminants in Soil to Protect Human Health:

The site and proposal may be subject to the above NES. In order to determine whether regard needs to be had to the NES please answer the following:

Is the piece of land currently being used or has it historically ever been used for an activity or industry on the Hazardous Industries and Activities List (HAIL) Yes No Don't know

Is the proposed activity an activity covered by the NES? Please tick if any of the following apply to your proposal, as the NESCS may apply as a result. Yes No Don't know

- Subdividing land
- Disturbing, removing or sampling soil
- Changing the use of a piece of land
- Removing or replacing a fuel storage system

13. Assessment of Environmental Effects:

Every application for resource consent must be accompanied by an Assessment of Environmental Effects (AEE). This is a requirement of Schedule 4 of the Resource Management Act 1991 and an application can be rejected if an adequate AEE is not provided. The information in an AEE must be specified in sufficient detail to satisfy the purpose for which it is required. Your AEE may include additional information such as Written Approvals from adjoining property owners, or affected parties.

Your AEE is attached to this application Yes

13. Draft Conditions:

Do you wish to see the draft conditions prior to the release of the resource consent decision? Yes No

If yes, do you agree to extend the processing timeframe pursuant to Section 37 of the Resource Management Act by 5 working days? Yes No

14. Billing Details:

This identifies the person or entity that will be responsible for paying any invoices or receiving any refunds associated with processing this resource consent. Please also refer to Council's Fees and Charges Schedule.

Name/s: (please write in full)

Carter Family Trust

Email:

Phone number:

Postal address:

(or alternative method of service under section 352 of the act)

Fees Information

An instalment fee for processing this application is payable at the time of lodgement and must accompany your application in order for it to be lodged. Please note that if the instalment fee is insufficient to cover the actual and reasonable costs of work undertaken to process the application you will be required to pay any additional costs. Invoiced amounts are payable by the 20th of the month following invoice date. You may also be required to make additional payments if your application requires notification.

Declaration concerning Payment of Fees

I/we understand that the Council may charge me/us for all costs actually and reasonably incurred in processing this application. Subject to my/our rights under Sections 357B and 358 of the RMA, to object to any costs, I/we undertake to pay all and future processing costs incurred by the Council. Without limiting the Far North District Council's legal rights if any steps (including the use of debt collection agencies) are necessary to recover unpaid processing costs I/we agree to pay all costs of recovering those processing costs. If this application is made on behalf of a trust (private or family), a society (incorporated or unincorporated) or a company in signing this application I/we are binding the trust, society or company to pay all the above costs and guaranteeing to pay all the above costs in my/our personal capacity.

Name: (please write in full)

Gay-Malen

Signature:

(signature of bill payer)

Date 5/11/24

MANDATORY

15. Important Information:

Note to applicant

You must include all information required by this form. The information must be specified in sufficient detail to satisfy the purpose for which it is required.

You may apply for 2 or more resource consents that are needed for the same activity on the same form. You must pay the charge payable to the consent authority for the resource consent application under the Resource Management Act 1991.

Fast-track application

Under the fast-track resource consent process, notice of the decision must be given within 10 working days after the date the application was first lodged with the authority, unless the applicant opts out of that process at the time of lodgement. A fast-track application may cease to be a fast-track application under section 87AAC(2) of the RMA.

Privacy Information:

Once this application is lodged with the Council it becomes public information. Please advise Council if there is sensitive information in the proposal. The information you have provided on this form is required so that your application for consent pursuant to the Resource Management Act 1991 can be processed under that Act. The information will be stored on a public register and held by the Far North District Council. The details of your application may also be made available to the public on the Council's website, www.fnrc.govt.nz. These details are collected to inform the general public and community groups about all consents which have been issued through the Far North District Council.

15. Important information continued...

Declaration

The information I have supplied with this application is true and complete to the best of my knowledge.

Name: (please write in full)

Gay-Mason

Signature:

[Redacted Signature]

Date 5/11/24

application is made by electronic means

Checklist (please tick if information is provided)

- Payment (cheques payable to Far North District Council)
- A current Certificate of Title (Search Copy not more than 6 months old)
- Details of your consultation with Iwi and hapū
- Copies of any listed encumbrances, easements and/or consent notices relevant to the application
- Applicant / Agent / Property Owner / Bill Payer details provided
- Location of property and description of proposal
- Assessment of Environmental Effects
- Written Approvals / correspondence from consulted parties
- Reports from technical experts (if required)
- Copies of other relevant consents associated with this application
- Location and Site plans (land use) AND/OR
- Location and Scheme Plan (subdivision)
- Elevations / Floor plans
- Topographical / contour plans

Please refer to Chapter 4 of the District Plan for details of the information that must be provided with an application. Please also refer to the RC Checklist available on the Council's website. This contains more helpful hints as to what information needs to be shown on plans.

**Land-Use Consent for
Carter Family Trust
75 Hokianga Harbour Drive, Opononi**

27 February 2025

To: Liz Searle and Nick Williamson - Far North District Council

Please find attached:

- an application form for a Land-use Resource Consent for extensions to an existing dwelling within the ***Coastal Residential Zone***; and
- an Assessment of Environmental Effects of the potential and actual effects of the proposal on the environment.

The application has been assessed as a **Discretionary Activity** under the Far North Operative District Plan and a **Permitted Activity** under the Proposed District Plan.

If you require further information, please do not hesitate to contact our office.

Regards,



Alex Billot

Resource Planner

Reviewed by:



Rochelle Jacobs

Director/Senior Planner

NORTHLAND PLANNING & DEVELOPMENT 2020 LIMITED

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Attachments:

1. **FNDC Application Form**
2. **Record of Title – LINZ**
3. **Easement Document 12855708.2 - LINZ**
4. **Site and Elevation Plans – Mealings Architecture**
5. **Stormwater Memo & Addendum – T Drupsteen CPEng**
6. **Adjoining Landowner Written Approval – Lot 80 DP58962 / 39 Fairlie Crescent, Opononi**
7. **Adjoining Landowner Written Approval – Pt Lot 14 DP16906 / 73 Hokianga Harbour Drive, Opononi**



Assessment of Environment Effects Report

1. Description of the Proposed Activity

1.1. The Applicant is seeking resource consent to undertake extensions to an existing dwelling at 75 Hokianga Harbour Drive, Opononi, which is zoned as Coastal Residential. The proposal will see an attached garage added to the east of the existing dwelling, with a kitchen and living area as well as a deck added to the west of the dwelling. The layout of the existing dwelling will be altered as well. The full set of plans prepared by Mealings Architecture are attached within **Appendix 4** of this application.

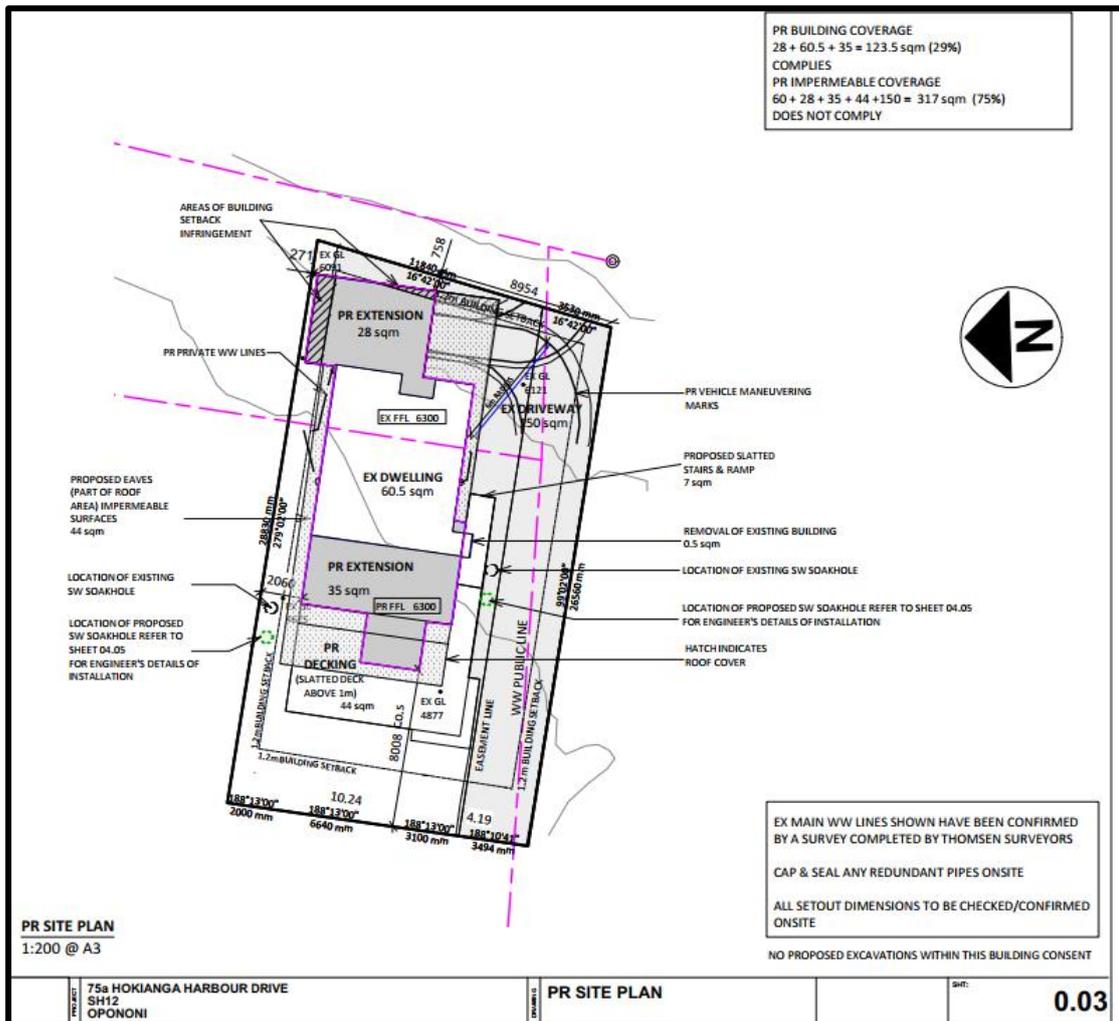


Figure 1: Proposed Site Plan. Source: Mealings Architecture Plan Set



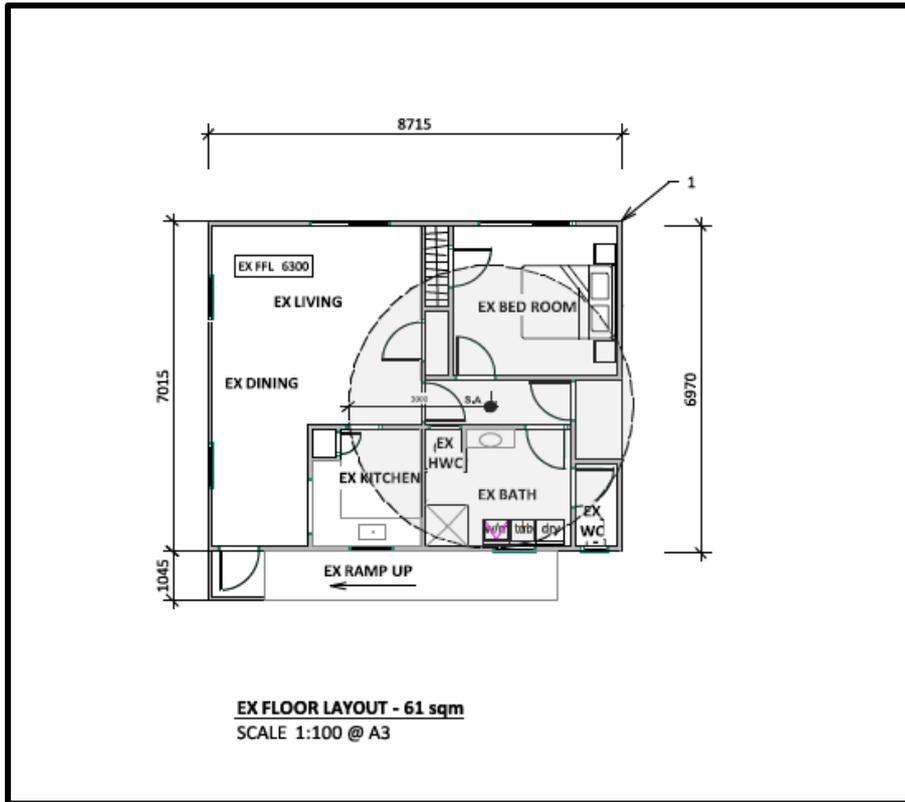


Figure 2: Existing Floor Layout. Source: Mealings Architecture Plan Set

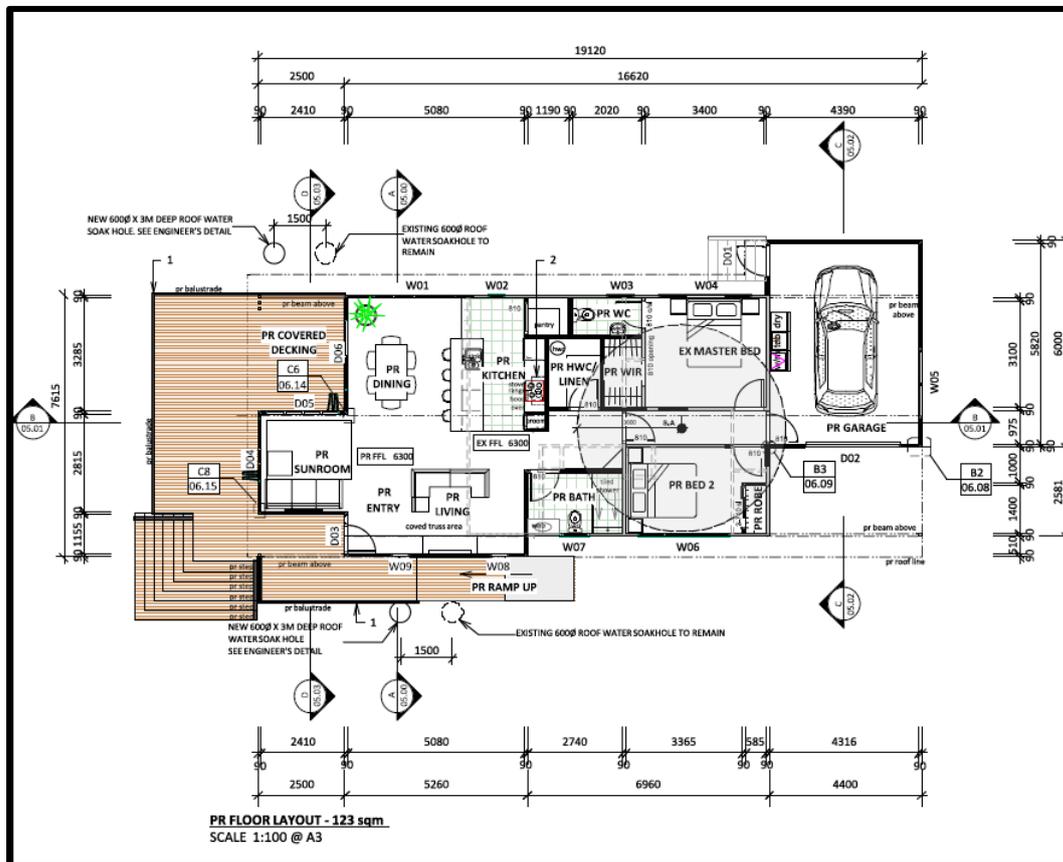


Figure 3: Proposed Floor Plan. Source: Mealings Architecture Plan Set



- 1.2. The proposal will result in a total impermeable surface coverage of 317m² or 75% of the total site area. Thijs Drupsteen (Chartered Professional Engineer) has completed a Stormwater Memo which is also attached within **Appendix 5** of this application. Due to the amount of impermeable surfaces, the proposal infringes the Permitted rule 10.8.5.1.6 and Restricted Discretionary Activity rule 10.8.5.2.8 for Stormwater Management.
- 1.3. The proposal also results in an infringement of permitted rules 10.8.5.1.5 Sunlight and 10.8.5.1.7 Setback from Boundaries, along the eastern and northern boundaries, which adjoin Lot 80 DP 58962 and Part Lot 14 DP16906. Written approval from the affected neighbours have been obtained as part of this application and are attached within **Appendices 6 & 7**.
- 1.4. The proposal has therefore been assessed as a **Discretionary Activity** under the Operative District Plan (ODP).

2. Site Description

- 2.1. The application site address is 75B Hokianga Harbour Drive, Opononi. The site is zoned Coastal Residential as is the surrounding environment. The site is legally described Lot 2 DP 577857. A copy of the record of title is attached at **Appendix 2**.
- 2.2. The site currently contains an existing dwelling, parking and manoeuvring areas as per the existing site plan. Access to the site is existing, via existing easements over the adjoining lot to the west.
- 2.3. The existing built development is connected to existing Council reticulated wastewater and water supply services.
- 2.4. The surrounding environment is an established coastal residential area. Hokianga Harbour is located to the west of the site and is separated from the site by Hokianga Harbour Drive and existing built development.



Figure 4: Aerial Image of the site and surrounding environment.



Site Photos

2.5. A site visit was completed in November 2024, with a compilation of the photos taken shown below:



Figure 5: Image of the existing dwelling and location where the extension to the west of the existing dwelling will occur.



Figure 6: Dividing boundary between the subject site and Pt Lot 14 DP16906.



Figure 10: Existing internal access within the site.

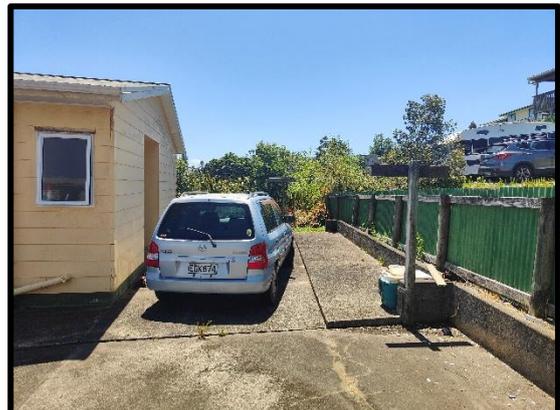


Figure 7: Existing parking areas on site. This is where the proposed attached garage will be located as well as a sunlight and setback breach along the boundary with Lot 80 DP58962.



Figure 9: Existing internal access, looking towards the right of way access over the adjoining lot to the west.



Figure 8: Existing right of way access and crossing place.

3. Background

Record of Title

3.1. The Record of Title is contained within **Appendix 2** of this application. The site is legally described as Lot 2 DP 577857, with a land area of 422m². The site is held within Title Identifier 1067418 which is dated 7th August 2024. There are no consent notices registered on the title. There are easements registered on the title which have been included within **Appendix 3** of this application.

Site Features

3.2. The site is located within the Coastal Residential zone under the ODP and is zoned as General Residential, as well as being within the Coastal Environment overlay under the Proposed District Plan (PDP).

3.3. Under the ODP Maps, the site is not located within the Coastal Hazard Areas, however the Hokianga Harbor Drive as well as lots located closer to the Hokianga Harbor are shown to be susceptible to Coastal Hazards.

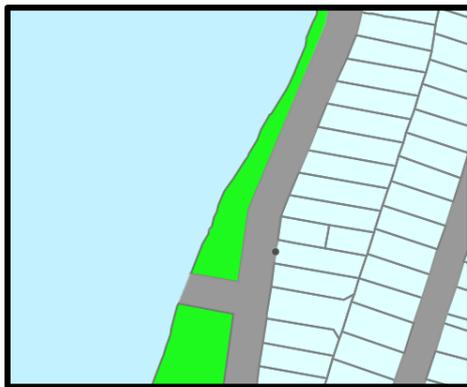


Figure 11: FNDC Zoning Maps



Figure 12: FNDC Maps showing Coastal Hazard Areas

3.4. The site is not shown to be registered as a HAIL site on the FNDC Maps, nor are there any historical sites registered on the property.

3.5. The site is serviced by reticulated wastewater and water. The 3Waters Maps show a public wastewater line which runs through the site. This is also shown on the site plans. Easement D, which is registered on the title, provides FNDC the right to drain sewage.





Figure 13: FNDC 3 waters maps

- 3.6. Under the Regional Policy Statement for Northland, the site is shown to be within the Coastal Environment.
- 3.7. Due to the residential nature of the site and surrounding environment, the site is not shown to contain any areas of PNA or reserves, nor are there any kiwi shown to be present in the area.
- 3.8. The site is not shown to be susceptible to natural hazards.
- 3.9. Hokianga Harbour is identified as a Statutory Acknowledgement area, however the site does not adjoin the Hokianga Harbour and as mentioned, is separated from the Harbour by the existing road network and residential development.

4. Weighting of Plans

- 4.1. The site is zoned as General Residential under the Proposed District Plan and is subject to the Coastal Environment overlay.
- 4.2. The Council notified its' PDP on 27 July 2022. The period for public submissions closed on the 21 October 2022. A summary of submissions was notified on the 4 August 2023. The further submission period closed on the 5 September 2023. It is apparent from the summary of submissions relating to the applicable zone that a large number relate to the application of these provisions. Based on the volume and comprehensive nature of these submissions, the Council has confirmed that no other rules will have legal effect until such time as a decision is made on those provisions.
- 4.3. District Plan hearings on submissions are currently underway and are scheduled to conclude in October 2025. No decision on the PDP has been issued. For this reason, little weight is given to the PDP provisions with the exception of those rules which have immediate legal effect.



5. Activity Status of the Proposal

Operative Far North District Plan (ODP)

- 5.1. The site is zoned 'Coastal Residential' zone in the ODP.
- 5.2. An assessment of the relevant District Plan rule standards is set out in Table 1 and Table 2 below:

Coastal Residential Zone Standards

Table 1 - Assessment against the Coastal Residential Zone rule standards		
Plan Reference	Rule	Performance of Proposal
10.8.5.1.1	Relocated Buildings	<p>This proposal is for extensions to an existing building. No relocated buildings are proposed.</p> <p>Permitted.</p>
10.8.5.1.2	Residential Intensity	<p>The proposal is for extensions to a single residential dwelling on an existing site that is connected to the public reticulated sewerage system.</p> <p>As can be seen on the floor plan of the proposal, the existing kitchen is to be removed from the existing dwelling and will be located in the western portion of the proposed new dwelling layout.</p> <p>The proposal will not alter the number of residential units on the site.</p> <p>Permitted</p>
10.8.5.1.3	Scale of Activities	<p>The proposal does not include any other activities on the site other than for residential purposes.</p> <p>Permitted</p>
10.8.5.1.4	Building Height	<p>The proposed building is within the permitted height limit for the Coastal Residential zone.</p> <p>Permitted</p>
10.8.5.1.5	Sunlight	<p>The proposed building will infringe the permitted sunlight recession planes along the eastern and northern boundaries.</p> <p>This rule allows for an exemption for a maximum of 10m along one boundary, other than a road boundary, provided the maximum height of any building where it exceeds the standard is 2.7m</p>



		<p>Although the length of the building, where the sunlight breach occurs along the eastern boundary, is less than 10m long, the ridge of the roof is the cause of the sunlight breach, which is in excess of 2.7m high.</p> <p>Along the northern boundary, it is the rear of the garage and the eaves along the northern boundary which create the sunlight breach. These have a height of less than 2.7m but the length of the breach is longer than 10m.</p> <p>Therefore, in this instance no exemption is applied.</p> <p>Written approval from the affected owners at Lot 80 DP58962 (39 Fairlie Crescent) and Pt Lot 14 DP16906 (73 Hokianga Harbour Drive) have been obtained and are attached within Appendices 6 & 7.</p> <p>Discretionary Activity</p>
10.8.5.1.6	Stormwater Management	<p>The maximum permitted area of impermeable surface on the site is 50%.</p> <p>The proposed area of impermeable surface on the site is 317m²(75%) and therefore the proposal exceeds the permitted threshold.</p> <p>The proposal cannot comply with the controlled threshold of 60% or 600m² (whichever is the lesser) as it exceeds 60% coverage.</p> <p>Discretionary Activity</p>
10.8.5.1.7	Setback from boundaries	<p>The minimum building set back from road boundaries is 3m. The minimum set back from any boundary other than a road boundary is 1.2m, except that no setback is required for a maximum total length of 10m along any one such boundary.</p> <p>As shown on the Site Plan (Sheet 0.03) of the attached plan set, the minimum setback from the eastern boundary is 0.758m and along the northern boundary, the garage is set back 0.271m.</p> <p>The length of the garage along the northern boundary, which creates the setback breach, is 4.39m and therefore, an exemption is applied in this instance.</p> <p>Written approval from the affected owners at Lot 80 DP 58962 (39 Fairlie Crescent) and Pt Lot 14 DP16906 (73 Hokianga Harbour Drive) has been obtained and are attached within Appendices 6 & 7.</p> <p>Restricted Discretionary Activity</p>



10.8.5.1.8	Screening for Neighbours – Non Residential Activities	Not applicable
10.8.5.1.9	Outdoor Activities	Permitted
10.8.5.1.10	Transportation	Refer below
10.8.5.1.11	Site Intensity – Non-Residential Activities	Not applicable
10.8.5.1.12	Hours of operation – Non-residential activities	Not applicable
10.8.5.1.13	Keeping of Animals	Not applicable
10.8.5.1.14	Noise	Able to comply Permitted
10.8.5.1.15	Helicopter Landing Area	Not applicable
10.8.5.1.16	Building Coverage	The maximum building area permitted on a site is 45% of the total site area. The proposed area of building coverage on the site is 123.5m² or 29% . Permitted

District Wide Standards

Table 2 – Assessment against the relevant District Wide rule standards		
Plan Reference	Rule	Performance of Proposal
Chapter 12 – Natural and Physical Resources		
12.1	Landscapes and Natural Features	Not applicable
12.2	Indigenous Flora and Fauna	Not applicable
12.3 12.3.6.1.2 (P)	Excavation and/or filling	Under the ODP definition of ‘excavation’, excavation for building foundations are exempt. As the excavation for building foundations are exempt and are the only anticipated excavation associated with the proposal, the proposal does therefore not involve any



		excavations which would trigger consent under this rule. No cut or fill faces are proposed. Permitted.
12.4 12.4.6.1.2 (P)	Fire Risk to Residential Units	The proposed extensions are in a residential area and are located at least 20m from the drip line of any trees in a naturally occurring or deliberately planted area of scrub or shrubland, woodlot or forest. Permitted.
Sections 12.5 – 12.9 are not applicable to this proposal.		
Chapter 15 - Transportation		
15.1.6A	Traffic Intensity	Single dwelling is exempt. Permitted
15.1.6B	Parking	Two carparking spaces will be provided on site. Permitted
15.1.6C	Access	The site is accessed directly via a right of way from Hokianga Harbour Drive. This will remain unchanged as part of this proposal. Permitted

ODP Activity Status

- 5.3. The proposal results in a infringement of the Permitted rules 10.8.5.1.5 Sunlight, 10.8.5.1.6 Stormwater Management and 10.8.5.1.7 Setback from Boundaries, within the Coastal Residential Zone. Written approval from the affected owners of the setback and sunlight infringements have been obtained as part of this application and is contained within **Appendices 6 & 7** of this application. A Stormwater Memo prepared by Mr Thijs Drupsteen has also been obtained and is included within **Appendix 5** of this application.
- 5.4. The proposal has been assessed as a **Discretionary Activity** in accordance with Section 10.8.5.3 of the ODP. An assessment of the relevant sections of Chapter 11 will be undertaken as part of this application.



Proposed District Plan (PDP)

- 5.5. The proposal is also subject to the Proposed District Plan process. The proposed site zone is **General Residential** and is located within the Coastal Environment overlay.
- 5.6. An assessment of the proposed activities against the PDP rules that have immediate legal effect, is set out in **Table 3** below:

Table 3 – Assessment against the PDP rule standards that have immediate legal effect		
Chapter	Rule Reference	Compliance of Proposal
Hazardous Substances	<p>The following rules have immediate legal effect:</p> <p>Rule HS-R2 has immediate legal effect but only for a new significant hazardous facility located within a scheduled site and area of significance to Māori, significant natural area or a scheduled heritage resource</p> <p>Rules HS-R5, HS-R6, HS-R9</p>	<p>Not applicable.</p> <p>The site does not contain any hazardous substances nor are any proposed.</p>
Heritage Area Overlays	<p>All rules have immediate legal effect (HA-R1 to HA-R14)</p> <p>All standards have immediate legal effect (HA-S1 to HA-S3)</p>	<p>Not applicable.</p> <p>The site is not located within a Heritage Area Overlay.</p>
Historic Heritage	<p>All rules have immediate legal effect (HH-R1 to HH-R10).</p> <p>Schedule 2 has immediate legal effect.</p>	<p>Not applicable.</p> <p>The site does not contain any areas of Historic Heritage.</p>
Notable Trees	<p>All rules have immediate legal effect (NT-R1 to NT-R9)</p> <p>All standards have legal effect (NT-S1 to NT-S2)</p> <p>Schedule 1 has immediate legal effect</p>	<p>Not applicable.</p> <p>The site does not contain any notable trees.</p>
Sites and Areas of Significance to Maori	<p>All rules have immediate legal effect (SASM-R1 to SASM-R7)</p> <p>Schedule 3 has immediate legal effect</p>	<p>Not applicable.</p> <p>The site does not contain any sites or areas of significance to Māori.</p>
Ecosystems and Indigenous Biodiversity	<p>All rules have immediate legal effect (IB-R1 to IB-R5)</p>	<p>Not applicable.</p> <p>The site does not contain any known ecosystems or indigenous biodiversity to which these rules would apply.</p>
Subdivision	<p>The following rules have immediate legal effect:</p> <p>SUB-R6, SUB-R13, SUB-R14, SUB-R15, SUB-R17</p>	<p>Not applicable.</p> <p>The proposal is not for subdivision.</p>



Activities on the Surface of Water	All rules have immediate legal effect (ASW-R1 to ASW-R4)	Not applicable. The proposal does not involve activities on the surface of water.
Earthworks	The following rules have immediate legal effect: EW-R12, EW-R13 The following standards have immediate legal effect: EW-S3, EW-S5	Permitted. All earthworks in all zones are subject to Accidental Discovery Protocol standards EW-S3 and the GD-005 sediment control standards EW-S5. As mentioned, no excavations which would trigger consent under this rule are proposed. It is noted that the PDP definition of earthworks does not have an exemption for excavations associated with building foundations, however the PDP definitions have no legal weighting as yet.
Signs	The following rules have immediate legal effect: SIGN-R9, SIGN-R10 All standards have immediate legal effect but only for signs on or attached to a scheduled heritage resource or heritage area	Not applicable.
Orongo Bay Zone	Rule OBZ-R14 has partial immediate legal effect because RD-1(5) relates to water	Not applicable.

PDP Activity Status

5.7. The proposed activities are **Permitted** under the PDP.

National Environmental Standards

National Environment Standard for Assessing and Managing Contaminants in Soil to Protect Human Health 2011

5.8. The site is not identified as a HAIL site on the Council database of HAIL sites. The site has no known history of horticulture or agriculture activities.

National Environment Standard for Freshwater Regulations 2020 (NES-F)

5.9. The site does not contain any wetland and would not affect any wetland that is protected by the NES-F.



Control of Earthworks Bylaw

5.10. As per the assessment above, no District or Regional consents are required for earthworks, and as such an assessment under the control of earthworks bylaw is considered necessary.

5.11. The earthworks required for this application generally meet the exemptions under the definition of excavation being *(f) excavation for building foundations and stripping of topsoil to form a building footprint*. For completeness the earthworks triggers have been assessed below.

ASSESSMENT OF THE APPLICABLE CONTROL OF EARTHWORKS RULES:		
<u>PERFORMANCE STANDARDS</u>		
Bylaw Reference	Rule	Performance of Proposal
7.1	(a)	Complies While some works will be undertaken within 3m of the site boundaries these works meet the exemptions within the definition of excavation in the bylaw.
	(b)	Complies Although the works are not anticipated to exceed 500mm in depth over an area greater than 50m ² or exceed 50m ³ , the works are determined to meet the exemptions within the definition of excavation in the bylaw.
	(c)	Complies The site is not located within the Rural Production Zone.
	(d)	Complies The site is outside of any resource features.
	(e)	Complies Stormwater runoff will not adversely impact upon any adjoining properties.

5.12. As per the assessment above, no earthworks permit is required.



6. Statutory Assessment under the Resource Management Act (RMA)

Section 104B of the RMA

- 6.1. Section 104B governs decisions on applications for Discretionary Activities. A consent authority may grant or refuse the application. If it grants the application, it may impose conditions under Section 108.

Section 104(1) of the RMA

- 6.2. The relevant parts of Section 104(1) of the RMA state that when considering an application for resource consent –

“the consent authority must, subject to Part 2, and section 77M have regard to –

(a) any actual and potential effects on the environment of allowing the activity; and

(ab) any measure proposed or agreed to by the applicant for the purpose of ensuring positive effects on the environment that will or may result from allowing the activity; and

(b) any relevant provisions of –

i. a national environmental standard:

ii. other regulations:

iii. a national policy statement:

iv. a New Zealand Coastal Policy Statement:

v. a regional policy statement or proposed regional policy statement:

vi. a plan or proposed plan; and

(c) any other matter the consent authority considers relevant and reasonably necessary to determine the application.”

- 6.3. Actual and potential effects arising from the development as described in 104(1)(a) can be both positive and adverse (as described in Section 3 of the Act). Positive effects arising from this development is that the dwelling will be altered to provide a more functional layout as well as ample area for living and entertaining. Adverse effects are in relation to setback and sunlight issues on adjoining properties, which written approval has been sought and obtained. In regards to stormwater management, two additional soak holes have been incorporated into the design to enable management of stormwater onsite.

- 6.4. Section 104(1)(ab) requires that the consent authority consider *‘any measure proposed or agreed to by the applicant for the purposes of ensuring positive effects on the environment to offset or compensate for any adverse effects on the environment that will or may result from allowing the activity’*. The proposal is not of a scale or nature that would require specific offsetting or environmental compensation measures to ensure positive effects on the environment. Potential adverse effects on the environment would be no more than minor, as will be discussed below.



- 6.5. Section 104(1)(b) requires that the consent authority consider the relevant provisions of national environmental standards, regulations, national policy statements, regional policy statements or plans, including proposed plans. There are no national standards, regulations or national policy statements that are directly relevant to the proposed activities and / or that are not adequately managed within the framework hierarchy of the District Plan. An assessment of the relevant statutory documents is provided below.
- 6.6. Section 104(1)(c) states that consideration must be given to 'any other matters that the consent authority considers relevant and reasonable, necessary to determine the application.' There are no other matters relevant to this application.
- 6.7. In accordance with Section 104(6), adequate information is provided to determine this application.

7. Section 104(1)(a) - Assessment of Effects on the Environment

- 7.1. The proposal is to be assessed as a Discretionary Activity under District Plan Rule 10.8.5.3. The Council has full discretion to consider the broad range of policy matters relating to land use activities in the Coastal Residential zone.
- 7.2. Having reviewed the relevant plan provisions and taking into account the matters to be addressed by an assessment of environmental effects as outlined in Clause 7 of Schedule 4 of the Act, the following environmental effects are identified as being relevant to this application. These include matters relating to the construction of the extensions to the dwelling, in particular the stormwater management activities and effects of the setback and sunlight breaches that require a Discretionary Activity resource consent. Potential adverse effects arising from other built development activities are within the permitted thresholds of the ODP.
- 7.3. The proposal is to extend the existing dwelling on the eastern and western sides as well as changing the layout of the original dwelling to provide a more functional space. Due to the location of the existing dwelling as well as the areas for parking and manoeuvring, setback and sunlight breaches occur on the eastern and northern boundaries. Along the eastern and north-eastern boundary, this is due to the location of the proposed attached garage, with the eaves along the remainder of the northern boundary creating the setback and sunlight breaches. Written approvals from the affected neighbours have been sought and obtained, with no objections raised.
- 7.4. Due to the existing impermeable surface coverage as well as the proposed extensions, the proposal is in breach of the impermeable surface coverage for the zone. To support this application, Mr T Drupsteen (CPEng) has provided a Stormwater Memo which has provided recommendations to ensure stormwater is managed onsite without having adverse effects on the downstream environment. This will be discussed further in the sections below.



7.5. The ODP sets out assessment criteria to be considered when determining an application for Discretionary Activity for Setback, Sunlight and Stormwater Management, which are held within Chapter 11 of the ODP. These are discussed as follows.

11.2 Building Height, Scale & Sunlight

7.6. As mentioned above, the proposal creates a sunlight infringement along the boundaries of Lot 80 DP 58962 and Pt Lot 14 DP 16906. Written approval has been sought and obtained by the affected owners, with no objections raised. The extent of the sunlight breach is detailed within Sheet 01.05, 05.00, 05.01, 05.02 & 05.03 of the Plans and are shown below for clarity.

7.7. Along the eastern boundary, the sunlight breach is caused by the location of the proposed attached garage. As mentioned, although this spans for a distance of less than 10m, the height is more than 2.7m and as such, no exemption can be applied in this instance.

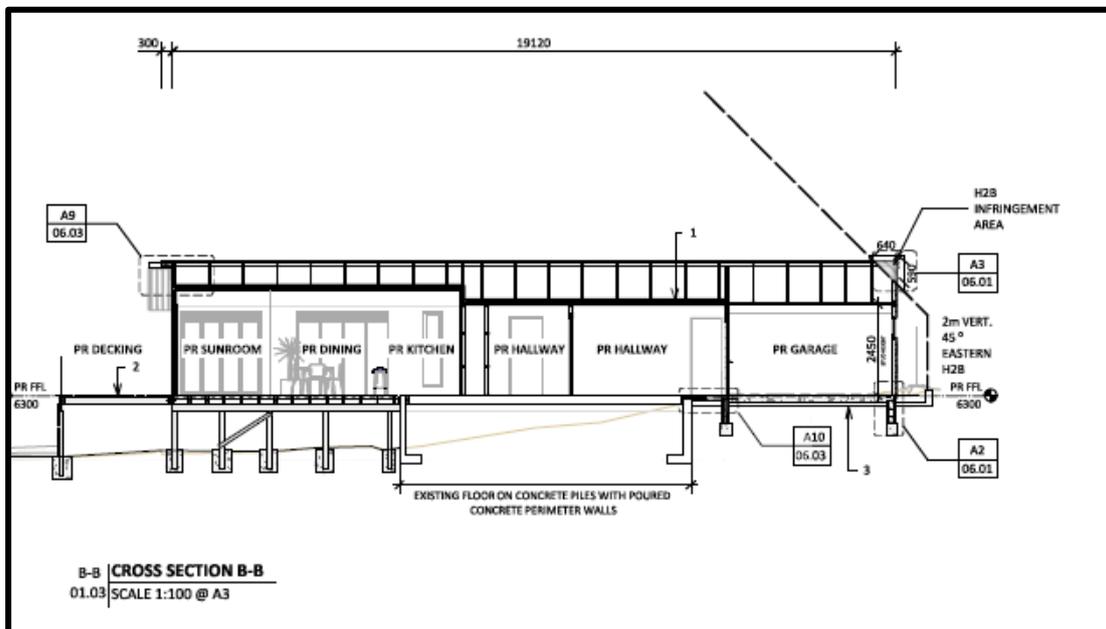


Figure 14: Sunlight infringement along eastern boundary of the site.

7.8. Along the northern boundary, the garage as well as the eaves create a sunlight infringement. Although this portion of the building is less than 2.7m in height, the encroachment spans for longer than 10m and therefore no exemption can be applied in this instance.



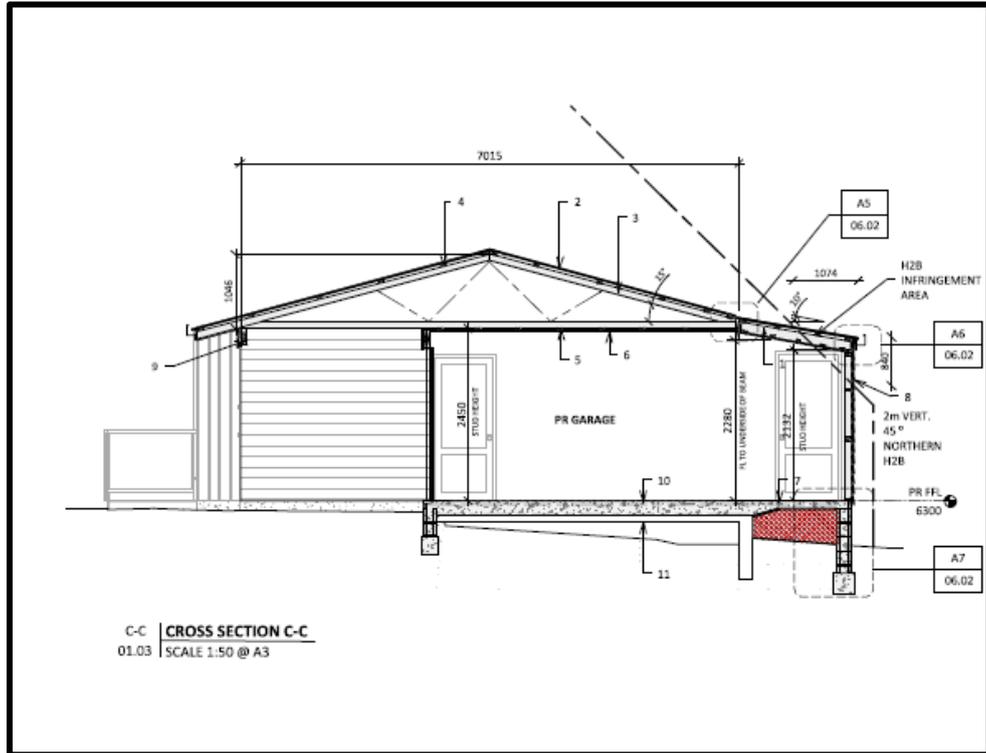


Figure 15: Sunlight infringement along the northern boundary (eastern view).

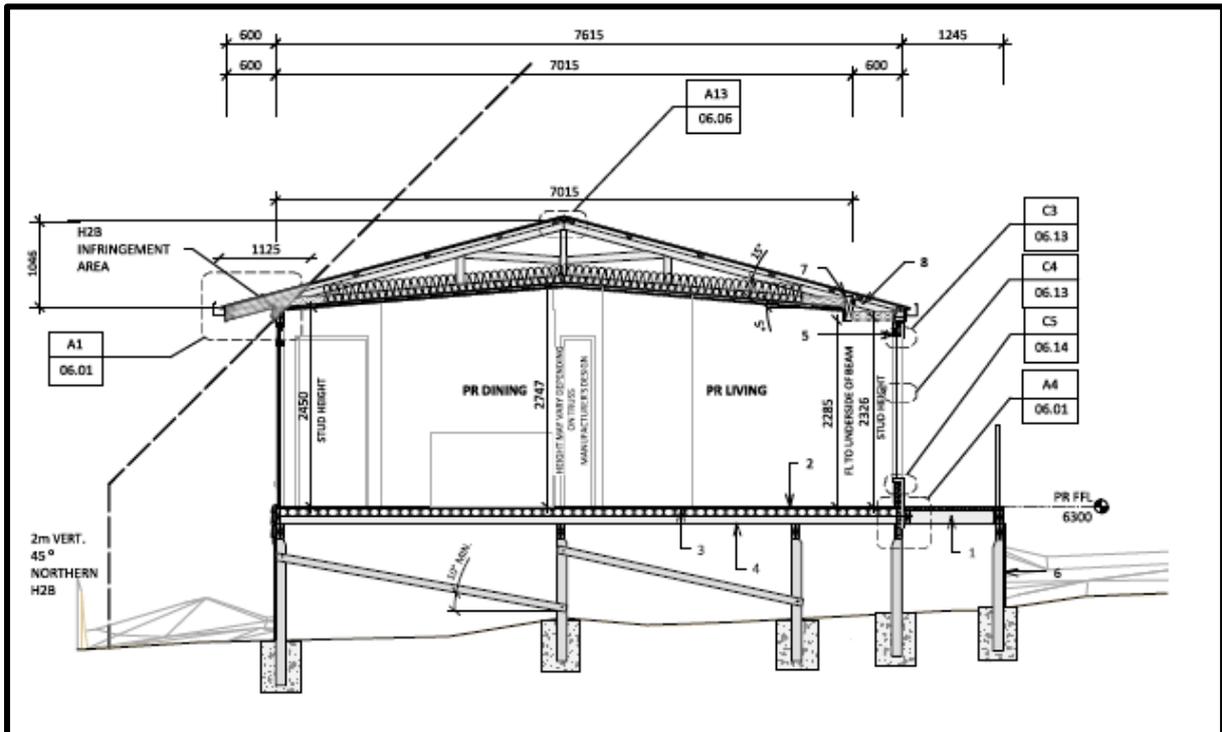


Figure 16: Sunlight infringement along the northern boundary (western view).

7.9. An assessment of Section 11.2 of the ODP has been undertaken below:



- (a) The extent to which adjacent properties will be adversely affected in terms of visual domination, overshadowing, loss of privacy and loss of access to sunlight and daylight.
- (b) The ability to mitigate any adverse effects by way of increased separation distances between buildings or the provision of landscaping and screening.
- (c) The extent of the building area and the scale of the building and the extent to which they are compatible with both the built and natural environments in the vicinity.
- (d) The spatial relationship between the new building and adjacent residential units, and the outdoor space used by those units.
- (e) The nature of the activity to be carried out within the building and its likely generated effects.

7.9.1. As mentioned above, written approval from the adjoining owners of Lot 80 DP 58962 and Pt Lot 14 DP 16906, have been obtained, such that effects can be discounted on these properties to a degree. As can be seen in Figure 17 below, there is existing development on the adjoining lots.



Figure 17: Aerial Image showing subject site (yellow) and adjoining affected allotments (orange).

7.9.2. Effects from visual domination, overshadowing, loss of privacy and loss of access to sunlight and daylight are considered to be less than minor. In terms of the dwelling on Lot 80 DP 58962, this is located over 20 metres from the boundary with the subject site and is located at a higher elevation, such that the sunlight breach will have less than minor effects on the existing dwelling on Lot 80. The area nearest to the subject site boundary appears to be utilised for parking and outdoor area. The proposal will not adversely impact the use of this portion of the site.





Figure 18: Distant image showing the dwelling on Lot 80 and the higher elevation that it is situated on



Figure 19: Closer image of Lot 80 showing the area closest to the dividing boundary with the site is utilised for parking and open space.

- 7.9.3. The dwelling on Pt Lot 14 DP 16906 is located to the NW of the subject site, such that the subject site adjoins the backyard of Pt Lot 14 DP16906, as can be seen in Figure 20 below. As per above, the proposal is not considered to adversely impact the use of this portion of the adjoining site.



Figure 20: Image of the subject site's dwelling and the adjoining Pt Lot 14. As can be seen, the area affected by the sunlight breach is utilised as outdoor space within Pt Lot 14.

- 7.9.4. Shadowing concepts have also been included within Sheet 12 of the Plan set which indicate that shadowing effects will be less than minor. Due to the significant distance between the proposed dwelling and the existing dwelling on adjoining allotments, effects of visual



domination, overshadowing, loss of privacy and loss of access to sunlight and daylight are considered to be less than minor.

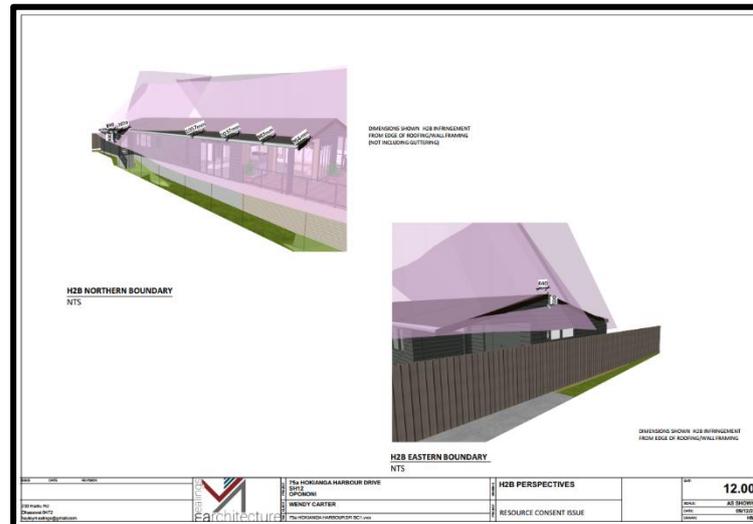


Figure 21: Shadowing concepts.

- 7.9.5. Increased separation distances are not considered applicable to this proposal, as the proposed addition is already in excess of the permitted 1.2m setback distance along the majority of the boundaries. The proposed extensions have also been designed in accordance with the existing structures and impermeable surfaces on the site. Landscaping is also not considered a suitable solution as this will not aid in decreasing effects, which are considered to be less than minor in any case, given the design and location of the dwellings on the neighbouring properties.
- 7.9.6. The site and surrounding environment are residential in nature and the proposed design is considered the most suitable and practical design for the site. The proposal is considered compatible with the built and natural environments in the vicinity.
- 7.9.7. The spatial relationship between the proposed addition and adjacent residential units and their outdoor space is considered consistent with other lots in the surrounding urban environment. As mentioned, the site adjoins the rear of Pt Lot 14 DP16906 and Lot 80 DP 58962, which are utilised as an outdoor spaces. The proposed attached garage will be nearest to the eastern boundary, which is not a space which is regularly used given it is for the storage of vehicles. The rear of the proposed dwelling will adjoin the northern boundary, with proposed living being to the west and south of the proposed dwelling. As such, it is considered that the proposal does not result in a more than minor effect on outdoor spaces of adjacent lots.
- 7.9.8. The proposed nature of the activity will remain unchanged to what is currently in existence, as the site already contains an existing dwelling and the proposal will see that this dwelling is extended. As previously discussed, the intended use of the extensions are for additional residential living of the occupant.



- 7.9.9. Overall, given written approval has been obtained by the affected neighbour and the fact the proposal will continue the residential use of the site, the effects of the sunlight infringements are considered to be less than minor.

11.3 Stormwater Management

- 7.10. Mr Thijs Drupsteen has completed a Stormwater Memo which is attached within **Appendix 5** of this application.

- 7.11. It was determined that the total amount of impermeable surfaces post-development equates to 317m² or 75% of the site area. The total impermeable surfaces exceeds the permitted and restricted discretionary thresholds for the Coastal Residential zone.

- 7.12. It was determined within Mr T Drupsteen's Stormwater Memo and addendum that:

'All the stormwater is piped within Lot 2 and is disposed of by two new and two existing soak holes [four in total] shown on the construction plan sheets 04.03 and 04.05. The existing two soak holes have [and are giving] given satisfactory service for over 20 years to the existing 61 m² house. To cope with proposed expansion of the existing house to 122m² two new soak holes have been added. There is no connection to the stormwater systems located within easements A, B, and C, because there are no stormwater pipes within those easements, the surfaces of which are virtually 100% concrete driveways.

Based on the excellent 20- year plus past performance history of the existing soakpits, I believe that the proposed 4- soakpit system will be able to handle a 10-year,10- minute storm of the HirdsIV RCP 60 208- 2100 intensity. It should also be noted that there is a dip in the driveway and the lawn in the western area of Lot 2, so that no water from Lot 2 flows on to Lot 1. Surface water from the existing concrete driveway and lawn quickly soak away into the Lot 2 lawn. [The concrete driveway has a slight camber falling towards the north, thus shedding driveway water onto the Lot2 lawn.

- 7.13. An assessment of Section 11.3 of the ODP will be undertaken below for completeness.

(a) The extent to which building site coverage and impermeable surfaces result in increased stormwater runoff and contribute to total catchment impermeability and the provisions of any catchment or drainage plan for that catchment.

- 7.13.1. The proposal will see an increase of impermeable surfaces from 207m² (49% of the total site area) to 317m² (75% of the total site area). Two new soak holes have been proposed to be utilised in conjunction with the existing two soak holes on the site.

(b) The extent to which Low Impact Design principles have been used to reduce site impermeability.

- 7.13.2. The soak holes are assumed to be Low Impact Design.



(c) *Any cumulative effects on total catchment impermeability.*

7.13.3. No cumulative adverse effects are anticipated, as the proposed soak hole will accommodate the additional stormwater runoff.

(d) *The extent to which building site coverage and impermeable surfaces will alter the natural contour or drainage patterns of the site or disturb the ground and alter its ability to absorb water.*

7.13.4. Runoff will be directed to the proposed and existing soak holes. Natural contour or drainage patterns are not anticipated to be affected.

(e) *The physical qualities of the soil type.*

7.13.5. While this detail has not been provided, Mr Drupsteen has noted that the soil type is sand providing free draining qualities.

(f) *Any adverse effects on the life supporting capacity of soils.*

7.13.6. No adverse effects on the life supporting capacity of soils are anticipated.

(g) *The availability of land for the disposal of effluent and stormwater on the site without adverse effects on the water quantity and water quality of water bodies (including groundwater and aquifers) or on adjacent sites.*

7.13.7. The site is serviced by a reticulated wastewater system. Runoff will be managed onsite as detailed above.

(h) *The extent to which paved, impermeable surfaces are necessary for the proposed activity.*

7.13.8. The existing and proposed impermeable surfaces are considered necessary for residential living.

(i) *The extent to which landscaping may reduce adverse effects of run-off.*

7.13.9. No specific landscaping has been proposed, nor is it considered necessary.

(j) *Any recognised standards promulgated by industry groups.*

7.13.10. Not applicable.

(k) *The means and effectiveness of mitigating stormwater run-off to that expected by the permitted activity threshold.*



7.13.11. Two additional soak holes have been proposed to account for the increase in impermeable surfaces.

(l) The extent to which the proposal has considered and provided for climate change.

7.13.12. As above, Mr Drupsteen has commented on heavy rainfall events that could occur, thus taking into account the impacts of climate change in his design.

(m) The extent to which stormwater detention ponds and other engineering solutions are used to mitigate any adverse effects.

7.13.13. Not considered applicable to this proposal.

Setback from Boundaries

7.14. The proposal results in setback infringements along the eastern and northern boundaries, similar to the sunlight infringements discussed earlier in this section. The setback infringements occur along the proposed attached garage extension. The setback infringement along the northern boundary is less than 10 metres in length (4.39m) and therefore an exemption is applied along this boundary. The setback infringement along the eastern boundary is also less than 10m in length, however a second exemption cannot be applied. Figure 22 below shows the location of the setback infringements along the northern and eastern boundaries of the site, with Figure 23 being an image of the subject area. Written approvals from the adjoining owners have been obtained with no concerns raised.

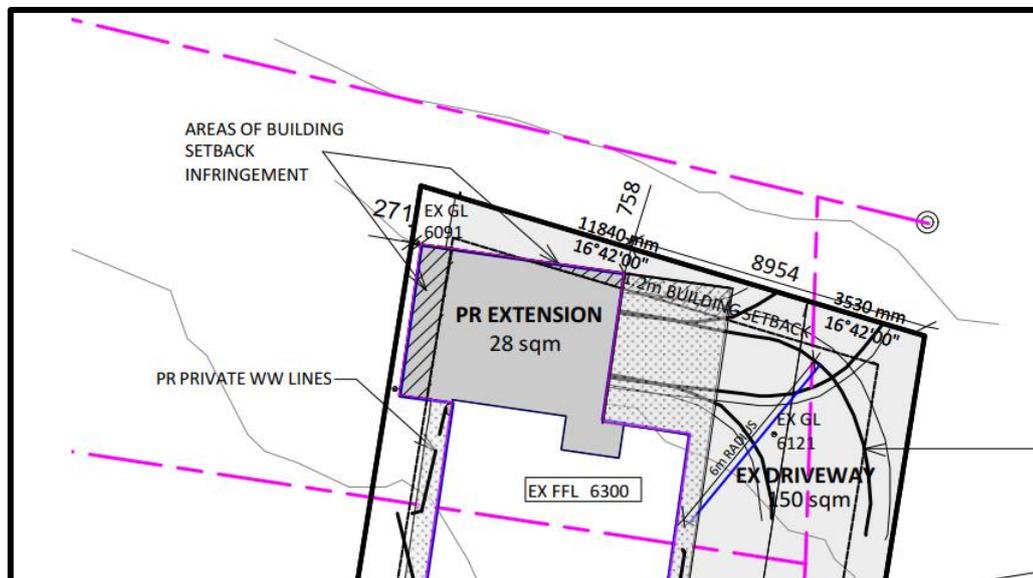


Figure 22: Snippet of the site plan showing setback infringements.



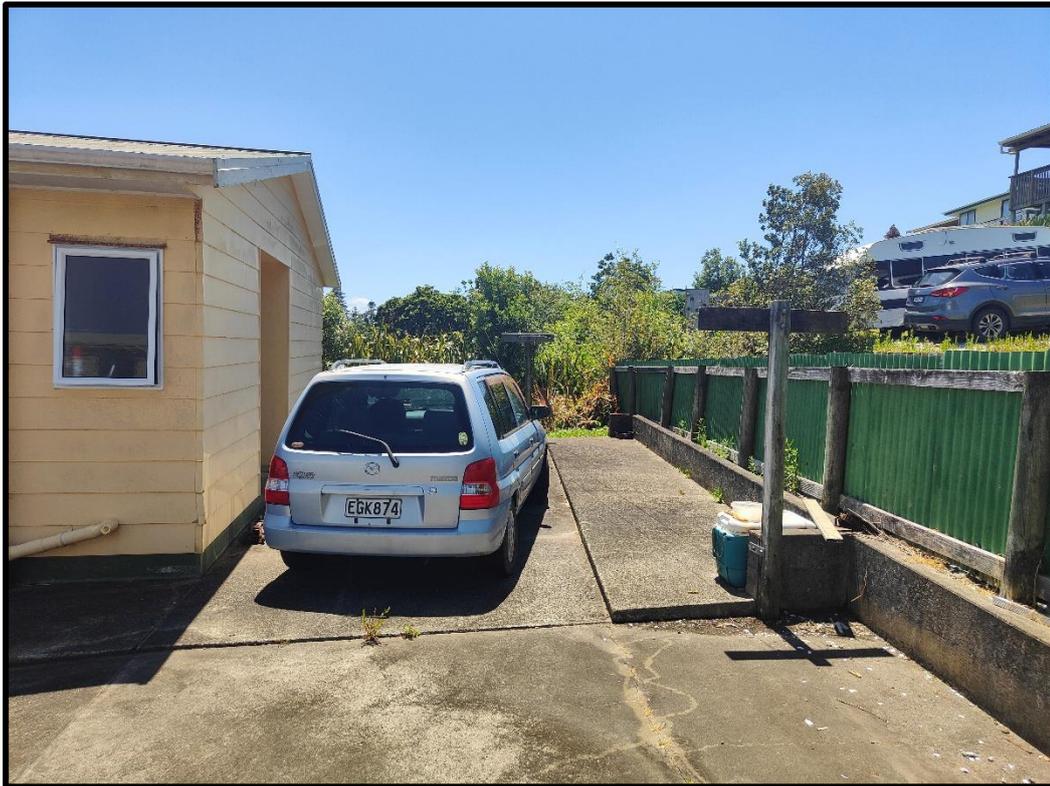


Figure 23: Location of the proposed attached garage and boundaries which will be subject to the setback infringements.

- 7.15. As written approval has been obtained from the affected owners, effects from the infringement can be discounted to a degree. This coupled with the exemption applied along the northern boundary also reduces effects again. Nonetheless, assessment of Chapter 11.6 of the ODP will be undertaken below for completeness.

11.6 SETBACK FROM BOUNDARIES

(a) Where there is a setback, the extent to which the proposal is in keeping with the existing character and form of the street or road, in particular with the external scale, proportions and buildings on the site and on adjacent sites.

(b) The extent to which the building(s) intrudes into the street scene or reduces outlook and privacy of adjacent properties.

(c) The extent to which the buildings restrict visibility for vehicle manoeuvring.

(d) The ability to mitigate any adverse effects on the surrounding environment, for example by way of street planting.

(e) The extent to which provision has been made to enable and facilitate all building maintenance and construction activities to be contained within the boundaries of the site.

- 7.15.1. The site and surrounding environment are zoned Coastal Residential and therefore, the lot sizes are smaller, with the lots being more intensely developed than other zones. As discussed above, the setback breaches occur due to the location of the proposed attached garage which has been located as such to allow for adequate access and manoeuvring areas. The proposal is considered to be consistent with the scale, proportions and buildings on adjacent sites.

7.15.2. The subject site is set back from the street and as such, no intrusion on to the street scene is created. As discussed earlier in this section, the outlook and privacy of adjacent properties is not considered to be adversely affected. The setback breach occurs within the NE corner of the subject site, which adjoins the outdoor areas of the adjacent sites, with the existing dwellings on these adjacent sites being located a considerable distance from the proposed attached garage. Furthermore, written approval has been obtained from the affected owners, such that effects are considered to be less than minor.



Figure 25: View on to Pt Lot 14 where setback infringement occurs.



Figure 24: View on to Lot 80 where setback infringement occurs.

7.15.3. The attached garage has been located as such to increase access and manoeuvrability within the site. Therefore, no restrictions are anticipated.

7.15.4. Planting or other mitigation measures are not considered applicable in this instance as no adverse effects are anticipated.

7.15.5. Building maintenance and construction activities can and will occur within the subject site boundaries.

7.15.6. Overall, it is considered that due to the site restrictions already in place, the location of the proposed attached garage is considered the most suitable and practical for the site. An exemption for the setback infringement has been applied along the northern boundary. Written approvals from the affected owners have been obtained, such that effects on adjoining properties are considered to be less than minor. No adverse effects are anticipated in terms of setback.

8. Section 104(1)(b) – Relevant provisions of any statutory planning document

8.1. In accordance with Section 104(1)(b) of the Act, the following documents are relevant to this application.

National Environmental Standards (Section 104(1)(b)(i) & 2

8.2. There are no National Environmental Standards that are relevant to the consideration of the proposed activity.

National Policy Statements (section 104(1)(b)(iii)

8.3. There are currently 8 National Policy Statements in place. These are as follows:

- National Policy Statement on Urban Development
- National Policy Statement for Freshwater Management
- National Policy Statement for Renewable Electricity Generation
- National Policy Statement on Electricity Transmission
- New Zealand Coastal Policy Statement
- National Policy Standard for Highly Productive Land.
- National Policy Statement for Indigenous Biodiversity
- National Policy Statement for Greenhouse Gas Emissions from Industrial Process Heat.

8.4. The only relevant National Policy Statement considered as part of this proposal is the New Zealand Coastal Policy Statement, no other NPS are considered applicable.

New Zealand Coastal Policy Statement 2010

8.5. The subject site is located within the coastal environment, but is not located within areas of high or outstanding natural character.

Objectives

8.6. The proposal is considered to achieve the objectives of the NZCPS as the proposal does not adversely impact on the integrity, form, functioning or resilience of the coastal environment. The proposal is not considered to affect the natural landscapes and character of the coastal environment.

8.7. The application is not known to create any cultural issues as the proposal will result in extensions to the existing dwelling on the site and will not impact any archaeological features as there are none identified within the site. The proposal will result in extensions to the existing dwelling on the site, which is consistent with other allotments in the surrounding environment. The proposal is considered to result in positive economic effects by providing employment through the construction phase of the building, while creating less than minor effects on the residential/coastal character of the locality.

Policies

8.8. The proposal is also considered to achieve the policies of the NZCPS. The character of the existing built environment will be maintained as the site and surrounding environment is



Coastal residential in nature, meaning that the area is intensively developed. The natural character of the surrounding environment is considered to remain unaffected due to the nature of the proposal.

- 8.9. Overall, the proposed activity is considered to be consistent with the objectives and policies of the NZCPS as the proposal is in keeping with the existing development in the surrounding area.

Regional Policy Statement for Northland 2016 and Regional Plan for Northland (February 2024)

- 8.10. The Regional Policy Statement for Northland (RPS) and the Regional Plan for Northland are the governing regional statutory documents for Northland that includes the application site. The small-scale nature of the proposed land use activity is such that it can be adequately assessed under the provisions of the ODP provisions. The nature and volume of the proposal that would be generated by the proposed residential development activity is not of a regional scale that would be captured by regional rules.
- 8.11. It is considered the proposal would not be contrary to any Regional Policy Statement objective or policy and would not be subject to any Regional Plan rule.

Far North Operative District Plan 2009

- 8.12. The relevant objectives and policies of the Plan are those related to the Coastal Environment, and its' Coastal Residential Zone. As assessed above, it is considered that the proposed activity that infringes the permitted standards would generate less than minor adverse effects on the receiving environment, including the adjacent sites. The proposal would be consistent with the character of the surrounding area. The proposal would not be contrary to the objectives and policies of the ODP, as commented on in the paragraphs below.

Coastal Environment – Objectives

10.3.1 To manage coastal areas in a manner that avoids adverse effects from subdivision, use and development. Where it is not practicable to avoid adverse effects from subdivision use or development, but it is appropriate for the development to proceed, adverse effects of subdivision use or development should be remedied or mitigated.

10.3.2 To preserve and, where appropriate in relation to other objectives, to restore, rehabilitate protect, or enhance:

- (a) the natural character of the coastline and coastal environment;*
- (b) areas of significant indigenous vegetation and significant habitats of indigenous fauna;*
- (c) outstanding landscapes and natural features;*
- (d) the open space and amenity values of the coastal environment;*
- (e) water quality and soil conservation (insofar as it is within the jurisdiction of the Council).*

10.3.3 To engage effectively with Maori to ensure that their relationship with their culture and traditions and taonga is identified, recognised, and provided for.



10.3.4 To maintain and enhance public access to and along the coast whilst ensuring that such access does not adversely affect the natural and physical resources of the coastal environment, including Maori cultural values, and public health and safety.

10.3.5 To secure future public access to and along the coast, lakes and rivers (including access for Maori) through the development process and specifically in accordance with the Esplanade Priority Areas mapped in the District Plan.

10.3.6 To minimise adverse effects from activities in the coastal environment that cross the coastal marine area boundary.

10.3.7 To avoid, remedy or mitigate adverse effects on the environment through the provision of adequate land-based services for mooring areas, boat ramps and other marine facilities.

10.3.8 To ensure provision of sufficient water storage to meet the needs of coastal communities all year round.

10.3.9 To facilitate the sustainable management of natural and physical resources in an integrated way to achieve superior outcomes to more traditional forms of subdivision, use and development through management plans and integrated development.

- 8.13. As assessed within this report, the proposal is not considered to create any adverse effects. The natural character of the coastal environment will be maintained. No significant areas of vegetation or habitats of indigenous fauna will be affected nor any outstanding landscapes or natural features. Water quality and soil conservation will remain unchanged. The relationship of Māori and their culture are considered to remain unaffected, given the proposal is for an extension to an existing dwelling which is located within the Coastal Residential zone. Public access has not been a consideration of this proposal. No activities proposed will cross the CMA boundary. The site is connected to the reticulated water supply system. Natural and physical resources will be maintained.

Coastal Environment – Policies

10.4.1 That the Council only allows appropriate subdivision, use and development in the coastal environment. Appropriate subdivision, use and development is that where the activity generally:

(a) recognises and provides for those features and elements that contribute to the natural character of an area that may require preservation, restoration or enhancement; and

(b) is in a location and of a scale and design that minimises adverse effects on the natural character of the coastal environment; and

(c) has adequate services provided in a manner that minimises adverse effects on the coastal environment and does not adversely affect the safety and efficiency of the roading network; and

(d) avoids, as far as is practicable, adverse effects which are more than minor on heritage features, outstanding landscapes, cultural values, significant indigenous vegetation and significant habitats of indigenous fauna, amenity values of public land and waters and the natural functions and systems of the coastal environment; and

(e) promotes the protection, and where appropriate restoration and enhancement, of areas of significant indigenous vegetation and significant habitats of indigenous fauna; and

(f) recognises and provides for the relationship of Maori and their culture and traditions with their ancestral lands, water, sites, waahi tapu and other taonga; and



(g) where appropriate, provides for and, where possible, enhances public access to and along the coastal marine area; and

(h) gives effect to the New Zealand Coastal Policy Statement and the Regional Policy Statement for Northland.

10.4.2 That sprawling or sporadic subdivision and development in the coastal environment be avoided through the consolidation of subdivision and development as far as practicable, within or adjoining built up areas, to the extent that this is consistent with the other objectives and policies of the Plan.

10.4.3 That the ecological values of significant coastal indigenous vegetation and significant habitats are maintained in any subdivision, use or development in the coastal environment.

10.4.4 That public access to and along the coast be provided, where it is compatible with the preservation of the natural character and amenity, cultural, heritage and spiritual values of the coastal environment, and avoids adverse effects in erosion prone areas.

10.4.5 That access by tangata whenua to ancestral lands, sites of significance to Maori, maahinga mataitai, taiapure and kaimoana areas in the coastal marine area be provided for in the development and ongoing management of subdivision and land use proposals and in the development and administration of the rules of the Plan and by non-regulatory methods. Refer Chapter 2, and in particular Section 2.5, and Council's "Tangata Whenua Values and Perspectives (2004)".

10.4.6 That activities and innovative development including subdivision, which provide superior outcomes and which permanently protect, rehabilitate and/or enhance the natural character of the coastal environment, particularly through the establishment and ongoing management of indigenous coastal vegetation and habitats, will be encouraged by the Council.

10.4.7 To ensure the adverse effects of land-based activities associated with maritime facilities including mooring areas and boat ramps are avoided, remedied or mitigated through the provision of adequate services, including where appropriate:

(a) parking;

(b) rubbish disposal;

(c) waste disposal;

(d) dinghy racks.

10.4.8 That development avoids, remedies or mitigates adverse effects on the relationship of Maori and their culture and traditions with their ancestral lands, water, sites, waahi tapu and other taonga.

10.4.9 That development avoids, where practicable, areas where natural hazards could adversely affect that development and/or could pose a risk to the health and safety of people.

10.4.10 To take into account the need for a year-round water supply, whether this involves reticulation or on-site storage, when considering applications for subdivision, use and development.

10.4.11 To promote land use practices that minimise erosion and sediment run-off, and storm water and waste water from catchments that have the potential to enter the coastal marine area.

10.4.12 That the adverse effects of development on the natural character and amenity values of the coastal environment will be minimised through:

(a) the siting of buildings relative to the skyline, ridges, headlands and natural features;

(b) the number of buildings and intensity of development;



- (c) the colour and reflectivity of buildings;*
- (d) the landscaping (including planting) of the site;*
- (e) the location and design of vehicle access, manoeuvring and parking areas.*

8.14. In terms of Policy 10.4.1, the proposal is considered to achieve this. The proposal is not a sprawling or sporadic subdivision. The proposal will not have any adverse effects on ecological values. Public access has not been a consideration of this proposal. No adverse effects on Māori and their relationship with the land are anticipated to arise. The proposal is not considered to create effects which would require superior outcomes to be achieved, given the proposal is for extensions to an existing dwelling on a site zoned Coastal Residential. No maritime facilities are proposed. The site is not shown to be susceptible to natural hazards. The site is connected to the reticulated water supply system. No adverse effects from sediment runoff, erosion or stormwater are anticipated. No adverse effects on the natural character and amenity values of the coastal environment are anticipated.

Coastal Residential Zone - Objectives

10.8.3.1 To enable the development of residential activity in and around existing coastal settlements.

10.8.3.2 To protect the coastline from inappropriate subdivision, use and development.

10.8.3.3 To enable the development of coastal settlements where urban amenity and coastal environmental values are compatible.

8.15. The site and surrounding environment are zoned Coastal Residential. The proposal will result in extensions to an existing dwelling. The proposal will not change the use of the site which is residential. Amenity and coastal environment values will be maintained.

Coastal Residential Zone - Policies

10.8.4.1 That standards in the zone enable a range of housing types and forms of accommodation to be provided, recognising the diverse needs of the community and the coastal location of the zone.

10.8.4.2 Non-residential activities within the Coastal Residential Zone shall be designed, built, and located so that any effects that are more than minor on the existing character of the residential environment or the scale and intensity of residential activities, are avoided, remedied or mitigated.

10.8.4.3 That residential activities have sufficient land associated with each household unit to provide for outdoor space and sewage disposal.

10.8.4.4 That the portion of a site covered in buildings and other impermeable surfaces be limited to enable open space and landscaping around buildings and avoid or mitigate the effects of stormwater runoff on receiving environments

10.8.4.5 That provision be made for ensuring sites have adequate access to sunlight and daylight.



10.8.4.6 That activities with net effects greater than a single residential unit could be expected to have, be required to minimise adverse effects on the amenity values and general peaceful enjoyment of any adjacent residential activities.

10.8.4.7 That provision be made to ensure a reasonable level of privacy and amenity for inhabitants of buildings.

8.16. As stated above, the proposal involves extensions to an existing dwelling on the site. No non-residential activities are proposed. Outdoor space can be adequately provided for. The dwelling has existing connection to the reticulated wastewater system. Although the proposal results in an impermeable surface breach, stormwater will be managed onsite via two existing and two proposed soak holes. The site has adequate access to sunlight and daylight and as assessed earlier in this report, the proposed setback and sunlight infringements will not create any adverse effects on adjacent allotments. Amenity values and general peaceful enjoyment of adjacent residential activities will be maintained. Privacy and amenity for inhabitants will be adequately provided for.

Proposed Far North District Plan 2022

8.17. The application site is proposed to be zoned 'General Residential'. The site is also located within the Coastal Environment overlay. Based on the proposed rules that have current legal effect, the proposed residential activity is a permitted activity. For completeness, a brief assessment of the area-specific zone objectives and policies is provided below.

General Residential Zone - objectives

GRZ-01	<p><i>GRZ-01 The General Residential zone provides a variety of densities, housing types and lot sizes that respond to:</i></p> <ul style="list-style-type: none"> <i>a. housing needs and demand;</i> <i>b. the adequacy and capacity of available or programmed <u>development infrastructure</u>;</i> <i>c. the amenity and character of the receiving residential <u>environment</u>; and</i> <i>d. <u>historic heritage</u>.</i>
GRZ-02	<p><i>The General Residential zone consolidates urban residential development around available or programmed development infrastructure to improve the function and resilience of the receiving residential environment while reducing urban sprawl.</i></p>
GRZ-03	<p><i>Non-residential activities contribute to the well-being of the community while complementing the scale, character and amenity of the General Residential zone.</i></p>
GRZ-04	<p><i>Land use and subdivision in the General Residential zone is supported where there is adequacy and capacity of available or programmed development infrastructure.</i></p>
GRZ-05	<p><i>Land use and subdivision in the General Residential zone provides communities with functional and high amenity living environments.</i></p>



GRZ-06	<i>Residential communities are resilient to change in climate and are responsive to changes in sustainable development techniques.</i>
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General Residential Zone - policies

GRZ-01	<p><i>Enable land use and <u>subdivision</u> in the General Residential zone where:</i></p> <ul style="list-style-type: none"> <i>a. there is adequacy and capacity of available or programmed <u>development infrastructure</u> to support it; and</i> <i>b. it is consistent with the scale, character and amenity anticipated in the residential <u>environment</u>.</i>
GRZ-02	<p><i>Require all <u>subdivision</u> in the General Residential zone to provide the following reticulated services to the <u>boundary</u> of each <u>lot</u>:</i></p> <ul style="list-style-type: none"> <i>a. telecommunications: <ul style="list-style-type: none"> <i>i. fibre where it is available; or</i> <i>ii. copper where fibre is not available;</i> </i> <i>b. local electricity distribution network; and</i> <i>c. <u>wastewater</u>, potable water and <u>stormwater</u> where they are available.</i>
GRZ-03	<i>Enable <u>multi-unit developments</u> within the General Residential zone, including terraced housing and apartments, where there is adequacy and capacity of available or programmed <u>development infrastructure</u>.</i>
GRZ-04	<p><i>Enable non-residential activities that:</i></p> <ul style="list-style-type: none"> <i>a. do not detract from the vitality and viability of the Mixed Use zone;</i> <i>b. support the social and economic well-being of the community;</i> <i>c. are of a residential scale; and</i> <i>d. are consistent with the scale, character and amenity of the General Residential zone.</i>
GRZ-05	<p><i>Provide for <u>retirement villages</u> where they:</i></p> <ul style="list-style-type: none"> <i>a. compliment the character and <u>amenity values</u> of the surrounding area;</i> <i>b. contribute to the diverse needs of the community;</i> <i>c. do not adversely affect <u>road</u> safety or the efficiency of the transport network; and</i> <i>d. can be serviced by adequate <u>development infrastructure</u>.</i>
GRZ-06	<i>Encourage and support the use of on-site <u>water</u> storage to enable sustainable and efficient use of <u>water</u> resources.</i>
GRZ-07	<i>Encourage energy efficient design and the use of small-scale <u>renewable electricity generation</u> in the construction of residential development.</i>



GRZ-08	<p><i>Manage land use and <u>subdivision</u> to address the <u>effects</u> of the activity requiring resource consent, including (but not limited to) consideration of the following matters where relevant to the application:</i></p> <ul style="list-style-type: none"> <i>a. consistency with the scale, design, amenity and character of the residential <u>environment</u>;</i> <i>b. the location, scale and design of <u>buildings</u> or <u>structures</u>, potential for shadowing and visual dominance;</i> <i>c. for <u>residential activities</u>:</i> <ul style="list-style-type: none"> <i>i. provision for <u>outdoor living space</u>;</i> <i>ii. privacy for <u>adjoining sites</u>;</i> <i>iii. access to sunlight;</i> <i>d. for non-residential activities:</i> <ul style="list-style-type: none"> <i>i. scale and compatibility with <u>residential activities</u></i> <i>ii. hours of operation</i> <i>e. at zone interfaces, any <u>setbacks</u>, fencing, screening or <u>landscaping</u> required to address potential conflicts;</i> <i>f. the adequacy and capacity of available or programmed <u>development infrastructure</u> to accommodate the proposed activity, including:</i> <ul style="list-style-type: none"> <i>i. opportunities for low impact design principles</i> <i>ii. ability of the <u>site</u> to address <u>stormwater</u> and soakage;</i> <i>g. managing <u>natural hazards</u>; and</i> <i>h. any historical, spiritual, or cultural association held by <u>tangata whenua</u>, with regard to the matters set out in Policy TW-P6</i>
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8.18. The proposed activity is consistent with the intent of the General Residential zone, which is for urban residential development. The proposal will see methods implemented to ensure that stormwater flows managed onsite. The proposal will not affect the amenity of the site or surrounding environment.

9. Notification Assessment – Sections 95A to 95G of the RMA

Public Notification Assessment

9.1. Section 95A requires a council to follow specific steps to determine whether to publicly notify an application. The following is an assessment of the application against these steps:

Step 1 Mandatory public notification in certain circumstances

An application must be publicly notified if, under section 95A(3), it meets any of the following criteria:

(a) the applicant has requested that the application be publicly notified:

(b) public notification is required under section 95C:

(c) the application is made jointly with an application to exchange recreation reserve land under section 15AA of the Reserves Act 1977.



- 9.2. Public notification of the application is not required or requested. The application is not made jointly with an application to exchange reserve land. Step 1 does not apply. Step 2 is considered.

Step 2: Public Notification precluded in certain circumstances.

(4) Determine whether the application meets either of the criteria set out in subsection (5)

and,—

(a) if the answer is yes, go to step 4 (step 3 does not apply); and

(b) if the answer is no, go to step 3.

(5) The criteria for step 2 are as follows:

(a) the application is for a resource consent for 1 or more activities, and each activity is subject to a rule or national environmental standard that precludes public notification:

(b) the application is for a resource consent for 1 or more of the following, but no other, activities:

(i) a controlled activity:

(ii) [Repealed]

(iii) a restricted discretionary, discretionary, or non-complying activity, but only if the activity is a boundary activity.

(iv) [Repealed]

(6) [Repealed]

- 9.3. Public Notification is not precluded as the proposal is a Discretionary Activity and includes more than one boundary activity. Step 3 is considered.

Step 3: Public Notification required in certain circumstances

- 9.4. The proposal is not subject to a rule or NES requiring public notification and the proposal does not have effects that will be more than minor. Public Notification is not required. Step 4 is considered.

Step 4: Public notification in special circumstances

- 9.5. Section 95A(9) states that a council must publicly notify an application for resource consent if it considers that 'special circumstances' exist.

- 9.6. There are no special circumstances that would warrant public notification of the application. The proposal is for extensions to an existing dwelling. All potential adverse effects can be avoided or mitigated to the extent that they will be no more than minor.

Public Notification Summary

- 9.7. It is considered that the public notification of the application is not required.

Limited Notification Assessment

- 9.8. If the application is not publicly notified, a consent authority must follow the steps of section 95B to determine whether to give limited notification of an application.



Step 1: Certain affected groups and affected persons must be notified

- (2) Determine whether there are any—
- (a) affected protected customary rights groups; or
 - (b) affected customary marine title groups (in the case of an application for a resource consent for an accommodated activity).
- (3) Determine—
- (a) whether the proposed activity is on or adjacent to, or may affect, land that is the subject of a statutory acknowledgement made in accordance with an Act specified in Schedule 11; and
 - (b) whether the person to whom the statutory acknowledgement is made is an affected person under section 95E.
- (4) Notify the application to each affected group identified under subsection (2) and each affected person identified under subsection (3).

9.9. There are no protected customary rights groups or customary marine title groups or statutory acknowledgement areas that are relevant to this application. Step 1 does not apply and Step 2 must be considered.

Step 2: Limited notification precluded in certain circumstances

- (5) Determine whether the application meets either of the criteria set out in subsection (6) and,—
- (a) if the answer is yes, go to step 4 (step 3 does not apply); and
 - (b) if the answer is no, go to step 3.
- (6) The criteria for step 2 are as follows:
- (a) the application is for a resource consent for 1 or more activities, and each activity is subject to a rule or national environmental standard that precludes limited notification;
 - (b) the application is for a controlled activity (but no other activities) that requires a resource consent under a district plan (other than a subdivision of land).

9.10. There is no rule in the plan or national environmental standard that precludes notification. The application is not for a controlled activity. Step 2 does not apply. Step 3 is considered.

Step 3: Certain other affected persons must be notified

- (7) In the case of a boundary activity, determine in accordance with section 95E whether an owner of an allotment with an infringed boundary is an affected person.
- (8) In the case of any other activity, determine whether a person is an affected person in accordance with section 95E.
- (9) Notify each affected person identified under subsections (7) and (8) of the application.

9.11. The proposal does include a boundary activity which is a setback and sunlight infringement along the boundaries with Lot 80 DP 58962 and Part Lot 14 DP 16906. As previously discussed,



written approval from the affected owners have been sought and obtained, such that effects can be discounted to a degree. The written approvals are included within **Appendices 6 & 7**.

- 9.12. The potential adverse effects on any persons are less than minor. Step 3 does not apply. Step 4 is considered.

Step 4: Further notification in special circumstances

(10) whether special circumstances exist in relation to the application that warrant notification of the application to any other persons not already determined to be eligible for limited notification under this section (excluding persons assessed under section 95E as not being affected persons),

- 9.13. The proposal is for extensions to an existing dwelling. There are no special circumstances that would apply.

Limited Notification Assessment Summary

- 9.14. For the reasons set out above, it is concluded that Steps 1, 2 & 4 do not apply, and that this application can be processed on a non-notified basis. Based on the details discussed within this report, the potential adverse effects on adjoining neighbours would be no more than minor. Written approval from the affected owners have been provided with this application.

10. RMA Part 2 Assessment

- 10.1. The application is subject to Part 2 of the RMA contained in Sections 5 to 8 inclusive.
- 10.2. The proposed activity will achieve the sustainable management purpose of the RMA expressed in Section 5 and enable social and economic wellbeing of the Applicant. Future sustainable use of natural and physical resources and the life-supporting capacity of air, water, soil and ecosystems will not be affected. Adverse effects on the environment can be avoided and/or mitigated.
- 10.3. The scale of the proposed activity is such that Section 6 of Matters of National Importance are not relevant. The activity would not affect the natural character the coastal environment, wetlands, lakes or rivers, any outstanding natural features or landscapes, any significant indigenous vegetation or habitats. The relationship of Māori and their culture and traditions would not be affected. The activity would not affect any historic heritage, area with identified customary rights and would not affect any natural hazard risk.
- 10.4. Section 7 matters are not affected by the proposed activity. The amenity and quality of the Coastal Residential zone will be maintained in accordance with Section 7(c) and (f).
- 10.5. Section 8 relates to the principles of the Treaty of Waitangi. The proposed activity would not be contrary to the principles of the Treaty of Waitangi.



11. Conclusion

- 11.1. The Applicant seeks resource consent to construct extensions to the existing dwelling on site. Discretionary resource consent is required for a departure of the Stormwater Management, Setback and Sunlight rules in the Coastal Residential Zone.
- 11.2. This AEE concludes that any adverse effects arising from the proposed extensions will be no more than minor. Written approval from the potentially affected neighbours within Lot 80 DP58962 and Pt Lot 14 DP16906 have been provided with this application.
- 11.3. The proposed activity would not be contrary to any relevant statutory policy statement or operative or proposed plan objectives or policies.
- 11.4. The proposed activity will enable the social and economic wellbeing of the Applicant.
- 11.5. The Applicant requests that the application be granted on a non-notified basis.

12. Limitations

- 12.1. This report has been commissioned solely for the benefit of our client, in relation to the project as described above, and to the limits of our engagement, with the exception that the Far North District Council or Northland Regional Council may rely on it to the extent of its appropriateness, conditions and limitations, when issuing their subject consent.
- 12.2. Copyright of Intellectual Property remains with Northland Planning and Development 2020 Limited, and this report may NOT be used by any other entity, or for any other proposals, without our written consent. Therefore, no liability is accepted by this firm or any of its directors, servants or agents, in respect of any information contained within this report.
- 12.3. Where other parties may wish to rely on it, whether for the same or different proposals, this permission may be extended, subject to our satisfactory review of their interpretation of the report.
- 12.4. Although this report may be submitted to a local authority in connection with an application for a consent, permission, approval, or pursuant to any other requirement of law, this disclaimer shall still apply and require all other parties to use due diligence where necessary.





**RECORD OF TITLE
UNDER LAND TRANSFER ACT 2017
FREEHOLD**

**Guaranteed Search Copy issued under Section 60 of the Land
Transfer Act 2017**




R. W. Muir
Registrar-General
of Land

Identifier **1067418**
Land Registration District **North Auckland**
Date Issued 07 August 2024

Prior References
NA35A/1416

Estate Fee Simple
Area 422 square metres more or less
Legal Description Lot 2 Deposited Plan 577857

Registered Owners

Wendy Lorraine Carter, Garry Andrew Carter and Graeme Nathan Carter as to a 3/4 share
Wendy Lorraine Carter and Bradyn Guy Carter as to a 1/4 share

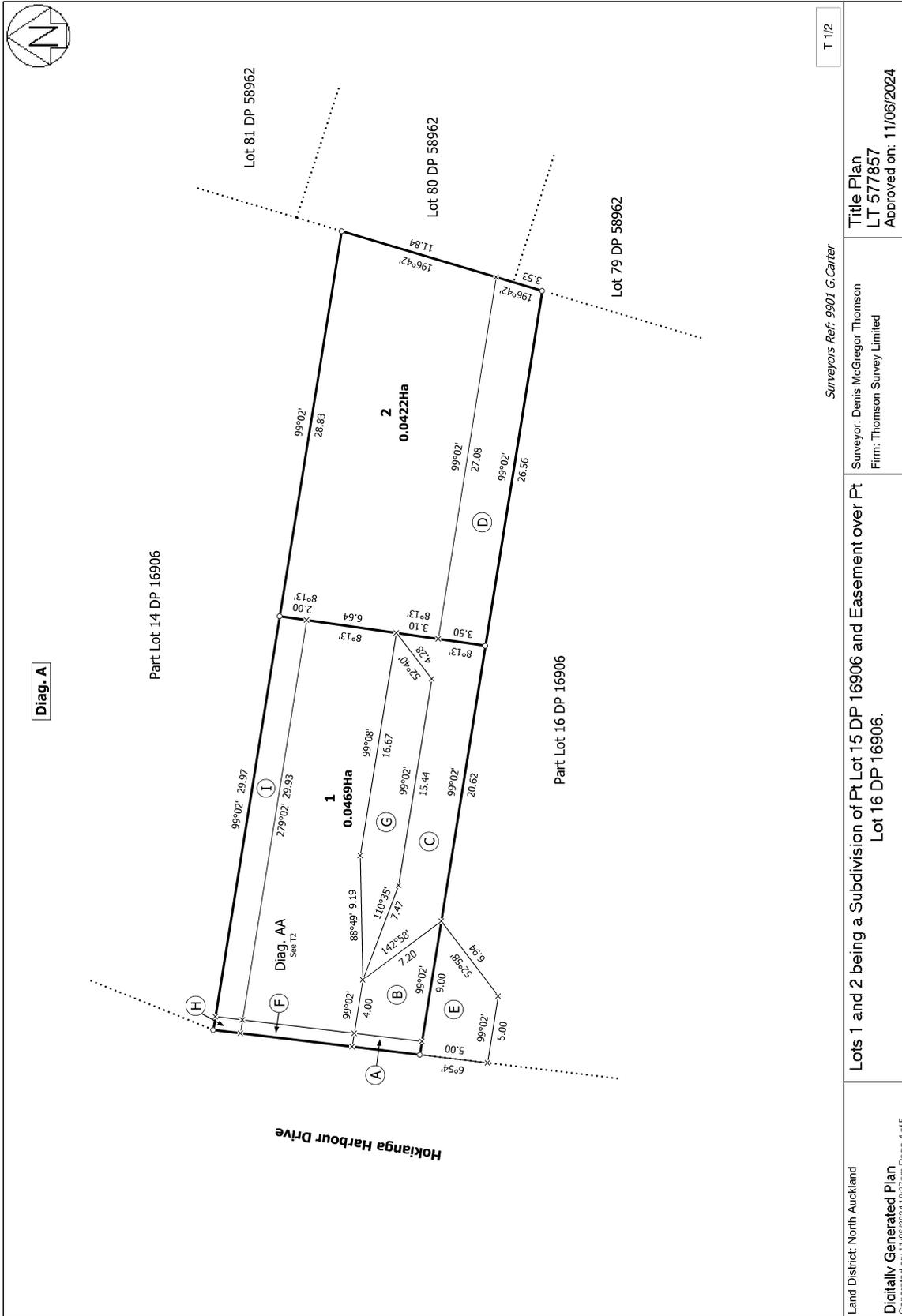
Interests

Appurtenant hereto is a right of way, a right to convey electricity, telecommunications and water, and a right to drain sewage and water created by Easement Instrument 12855708.2 - 7.8.2024 at 10:34 am

The easements created by Easement Instrument 12855708.2 are subject to Section 243 (a) Resource Management Act 1991

Subject to a right (in gross) to drain sewage over part marked D on DP 577857 in favour of Far North District Council created by Easement Instrument 12855708.3 - 7.8.2024 at 10:34 am

13172564.1 CAVEAT BY WENDY LORRAINE CARTER - 27.11.2024 at 1:43 pm



View Instrument Details



Instrument No 12855708.2
Status Registered
Date & Time Lodged 07 August 2024 10:34
Lodged By Davis, Loryn Anne
Instrument Type Easement Instrument



Affected Records of Title	Land District
1067417	North Auckland
1067418	North Auckland

Annexure Schedule Contains 2 Pages.

Grantor Certifications

I certify that I have the authority to act for the Grantor and that the party has the legal capacity to authorise me to lodge this instrument

I certify that I have taken reasonable steps to confirm the identity of the person who gave me authority to lodge this instrument

I certify that any statutory provisions specified by the Registrar for this class of instrument have been complied with or do not apply

I certify that I hold evidence showing the truth of the certifications I have given and will retain that evidence for the prescribed period

Signature

Signed by Dinnel Ilene Bailey-Gordon as Grantor Representative on 06/08/2024 01:30 PM

Grantee Certifications

I certify that I have the authority to act for the Grantee and that the party has the legal capacity to authorise me to lodge this instrument

I certify that I have taken reasonable steps to confirm the identity of the person who gave me authority to lodge this instrument

I certify that any statutory provisions specified by the Registrar for this class of instrument have been complied with or do not apply

I certify that I hold evidence showing the truth of the certifications I have given and will retain that evidence for the prescribed period

Signature

Signed by Dinnel Ilene Bailey-Gordon as Grantee Representative on 06/08/2024 01:30 PM

***** End of Report *****

This approved format may be used for lodgement as an electronic instrument under the Land Transfer Act 2017

Form 22

Easement instrument to grant easement or *profit à prendre*

(Section 109 Land Transfer Act 2017)

Grantor

Wendy Lorraine Carter, Garry Andrew Carter and Graeme Nathan Carter as to a ¾ share
 Wendy Lorraine Carter and Bradyn Guy Carter as to a ¼ share

Grantee

Wendy Lorraine Carter, Garry Andrew Carter and Graeme Nathan Carter as to a ¾ share
 Wendy Lorraine Carter and Bradyn Guy Carter as to a ¼ share

Grant of Easement or *Profit à prendre*

The Grantor being the registered owner of the burdened land set out in Schedule A **grants to the Grantee** (and, if so stated, in gross) the easement(s) or *profit(s) à prendre* set out in Schedule A, with the rights and powers or provisions set out in the Annexure Schedule(s)

Schedule A
required

Continue in additional Annexure Schedule, if

Purpose of Easement, or <i>profit</i>	Shown (plan reference)	Burdened Land (Record of Title)	Benefited Land (Record of Title) or in gross
Right of Way, Right to Convey Telecommunications & Electricity, Right to Convey Water, Right to Drain Water & Sewage	"A", "B" & "C" DP 577857	RT 1067417	RT 1067418
Right to Convey Telecommunications & Electricity, Right to Convey Water, Right to Drain Water & Sewage	"G" DP 577857	RT 1067417	RT 1067418
Right to Convey Water	"H" & "I" DP 577857	RT 1067417	RT 1067418

This approved format may be used for lodgement as an electronic instrument under the Land Transfer Act 2017

Easements or *profits à prendre* rights and powers (including terms, covenants and conditions)

Delete phrases in [] and insert memorandum number as required; continue in additional Annexure Schedule, if required

Unless otherwise provided below, the rights and powers implied in specified classes of easement are those prescribed by the Land Transfer Regulations 2018 and/or Schedule 5 of the Property Law Act 2007

The implied rights and powers are hereby ~~[varied] [negatived] [added to] or [substituted]~~ by:

~~[Memorandum number _____, registered under section 209 of the Land Transfer Act 2017]~~

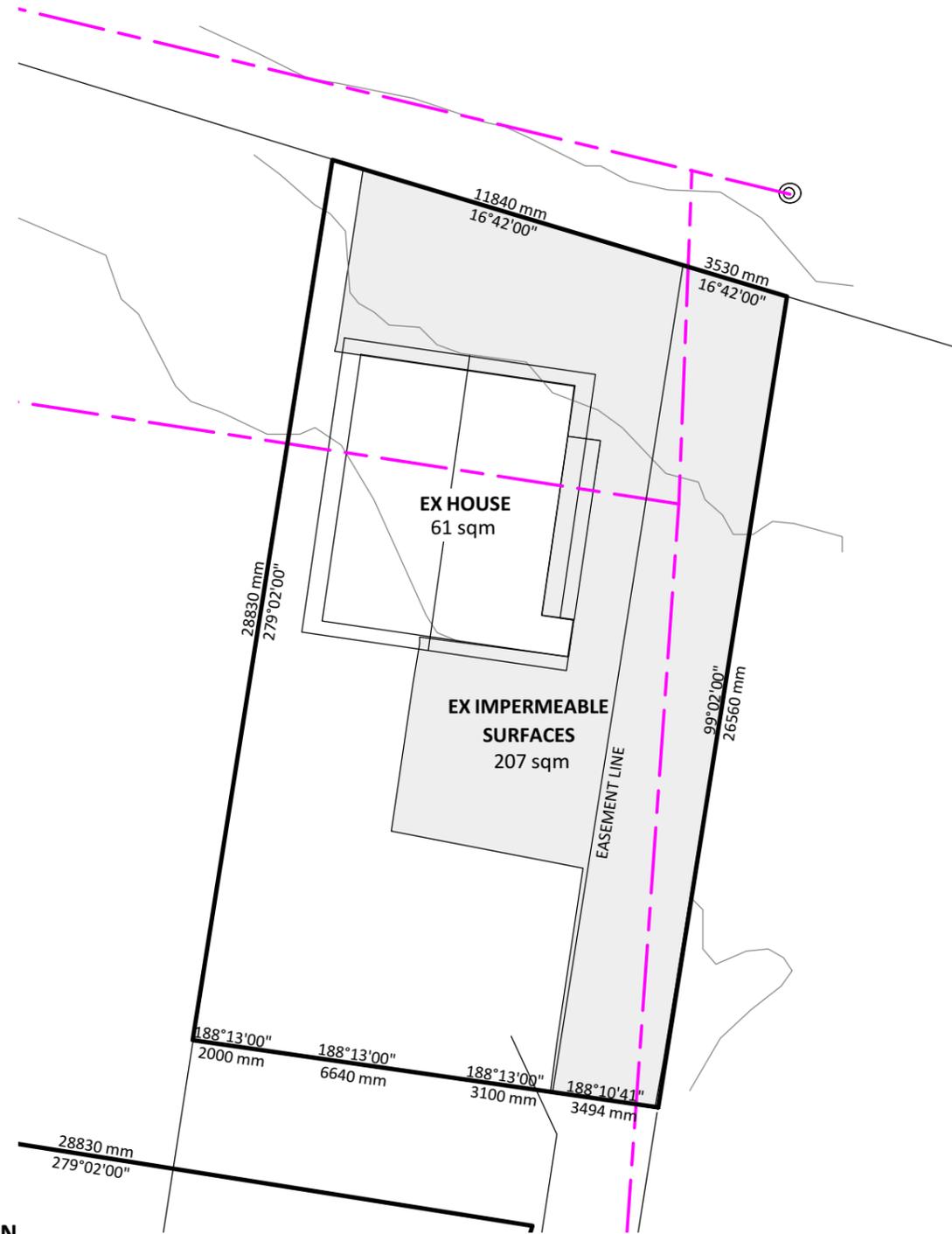
~~[the provisions set out in Annexure Schedule]~~

75a HOKIANGA HARBOUR DRIVE, STATE HIGHWAY 12, OMAPERE

Lot 2 DP 16906

WIND ZONE: VERY HIGH
 EARTHQUAKE ZONE: 1
 EXPOSURE ZONE: D
 CLIMATE ZONE: 1
 SNOW LOADING: NO
 SITE AREA: 422 SQM
 DISTRICT ZONE: FAR NORTH DISTRICT COUNCIL
 COASTAL RESIDENTIAL

PR BUILDING COVERAGE
 61 sqm (14%)
 COMPLIES
 PR IMPERMEABLE COVERAGE
 207 sqm (49%)
 COMPLIES



EX SITE PLAN
 SCALE 1:200 @ A3

ISSUE	DATE	REVISION		PROJECT 75a HOKIANGA HARBOUR DRIVE SH12 OMONONI	DRAWING EX SITE PLAN	PROJECT RESOURCE CONSENT ISSUE	SHT:	0.02
230 Hariru Rd Ohaeawai 0472 hayleymealings@gmail.com	WENDY CARTER	75a HOKIANGA HARBOUR DR BC1.vwx		SCALE:			1:200 @ A3	DATE:

75a HOKIANGA HARBOUR DRIVE, STATE HIGHWAY 12, OMAPERE

Lot 2 DP 16906

WIND ZONE: VERY HIGH
EARTHQUAKE ZONE: 1
EXPOSURE ZONE: D
CLIMATE ZONE: 1
SNOW LOADING: NO
SITE AREA: 422 SQM
DISTRICT ZONE: FAR NORTH DISTRICT COUNCIL
 COASTAL RESIDENTIAL

PR BUILDING COVERAGE
 28 + 60.5 + 35 = 123.5 sqm (29%)
 COMPLIES
 PR IMPERMEABLE COVERAGE
 60 + 28 + 35 + 44 + 150 = 317 sqm (75%)
 DOES NOT COMPLY

10.8.5.1.2 RESIDENTIAL INTENSITY

EACH RESIDENTIAL UNIT FOR A SINGLE HOUSEHOLD SHALL HAVE AVAILABLE TO IT A MINIMUM NET SITE AREA OF:

SEWERED SITES: 800 sqm

UNSEWERED SITES: 3000 sqm

THIS MINIMUM NET SITE AREA MAY BE FOR THE EXCLUSIVE USE OF THE RESIDENTIAL UNIT, OR AS PART OF LAND HELD ELSEWHERE ON THE PROPERTY, PROVIDED THAT A RATIO OF ONE RESIDENTIAL UNIT PER MINIMUM NET SITE AREA IS NOT EXCEEDED

COMPLIES

10.8.5.1.4 BUILDING HEIGHT

THE MAXIMUM HEIGHT OF ANY BUILDING SHALL BE 8m **COMPLIES**

10.8.5.1.5 SUNLIGHT

NO PART OF ANY BUILDING SHALL PROJECT BEYOND A 45 DEGREE RECESION PLANE AS MEASURED INWARDS FROM ANY POINT 2m VERTICALLY ABOVE GROUND LEVEL ON ANY SITE BOUNDARY EXCEPT THAT:
 a) A BUILDING MAY EXCEED THE STANDARD FOR A MAXIMUM DISTANCE OF 10m ALONG ANY ONE BOUNDARY OTHER THAN A ROAD BOUNDARY, PROVIDED THAT THE MAXIMUM HEIGHTS OF ANY BUILDING WHERE IT EXCEEDS THE STANDARD IS 2.7m.

DOES NOT COMPLY - REFER TO SHEET 12.00

10.8.5.1.6 STORMWATER MANAGEMENT

THE MAXIMUM PROPORTION OF THE GROSS SITE AREA COVERED BY BUILDING AND OTHER IMPERMEABLE SURFACES SHALL BE 50% OR 1000sqm: WHICHEVER IS THE LESSER

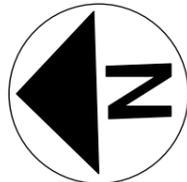
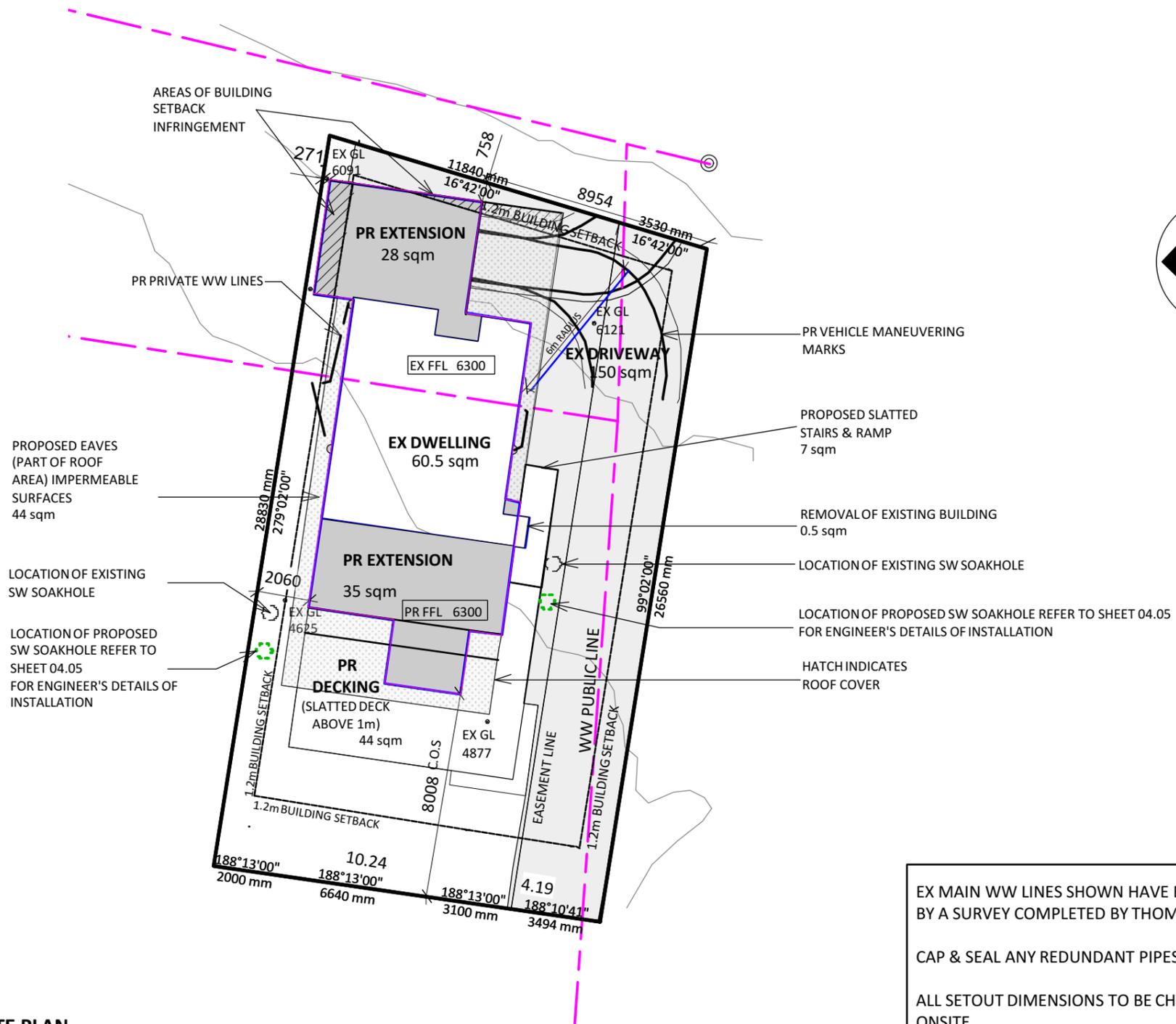
DOES NOT COMPLY

10.8.5.1.16 BUILDING COVERAGE

ANY NEW BUILDING OR ALTERATION/ADDITION TO AN EXISTING BUILDING IS A PERMITTED ACTIVITY IF THE TOTAL BUILDING COVERAGE OF A SITE DOES NOT EXCEED 45% OR 900 sqm, WHICHEVER IS THE LESSER OF THE GROSS SITE AREA **COMPLIES**

10.8.5.1.7 BUILDING SETBACKS

a) THE MINIMUM BUILDING SETBACK FROM ROAD BOUNDARIES SHALL BE 3m; AND
 b) THE MINIMUM SETBACK FROM ANY BOUNDARY APART FROM A ROAD BOUNDARY IS 1.2m EXCEPT THAT NO SET-BACK IS REQUIRED FOR A MAXIMUM TOTAL LENGTH OF 10m ALONG ANY ONE SUCH BOUNDARY AND
 c) NOT LESS THAN 50% OF THAT PART OF THE SITE BETWEEN THE ROAD BOUNDARY AND A PARALLEL LINE 2m THEREFROM SHALL BE LANDSCAPED
DOES NOT COMPLY



PR SITE PLAN
 1:200 @ A3

EX MAIN WW LINES SHOWN HAVE BEEN CONFIRMED BY A SURVEY COMPLETED BY THOMSEN SURVEYORS
 CAP & SEAL ANY REDUNDANT PIPES ONSITE
 ALL SETOUT DIMENSIONS TO BE CHECKED/CONFIRMED ONSITE

NO PROPOSED EXCAVATIONS WITHIN THIS BUILDING CONSENT

ISSUE	DATE	REVISION		PROJECT 75a HOKIANGA HARBOUR DRIVE SH12 OPONONI	DRAWING PR SITE PLAN	SHT: 0.03
230 Hariru Rd Ohaeawai 0472 hayleymealings@gmail.com				CLIENT WENDY CARTER		
				FILE CLIENT 75a HOKIANGA HARBOUR DR BC1.vwx		DATE: 09/12/24
						DRAWN: HM

75a HOKIANGA HARBOUR DRIVE, STATE HIGHWAY 12, OMAPERE

Lot 2 DP 16906

WIND ZONE: VERY HIGH
EARTHQUAKE ZONE: 1
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 COASTAL RESIDENTIAL

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EACH RESIDENTIAL UNIT FOR A SINGLE HOUSEHOLD SHALL HAVE AVAILABLE TO IT A MINIMUM NET SITE AREA OF:

SEWERED SITES: 800 sqm

UNSEWERED SITES: 3000 sqm

THIS MINIMUM NET SITE AREA MAY BE FOR THE EXCLUSIVE USE OF THE RESIDENTIAL UNIT, OR AS PART OF LAND HELD ELSEWHERE ON THE PROPERTY, PROVIDED THAT A RATIO OF ONE RESIDENTIAL UNIT PER MINIMUM NET SITE AREA IS NOT EXCEEDED

COMPLIES

10.8.5.1.4 BUILDING HEIGHT

THE MAXIMUM HEIGHT OF ANY BUILDING SHALL BE 8m **COMPLIES**

10.8.5.1.5 SUNLIGHT

NO PART OF ANY BUILDING SHALL PROJECT BEYOND A 45 DEGREE RECESSION PLANE AS MEASURED INWARDS FROM ANY POINT 2m VERTICALLY ABOVE GROUND LEVEL ON ANY SITE BOUNDARY EXCEPT THAT:
 a) A BUILDING MAY EXCEED THE STANDARD FOR A MAXIMUM DISTANCE OF 10m ALONG ANY ONE BOUNDARY OTHER THAN A ROAD BOUNDARY, PROVIDED THAT THE MAXIMUM HEIGHTS OF ANY BUILDING WHERE IT EXCEEDS THE STANDARD IS 2.7m.

DOES NOT COMPLY - REFER TO SHEET 12.00

10.8.5.1.6 STORMWATER MANAGEMENT

THE MAXIMUM PROPORTION OF THE GROSS SITE AREA COVERED BY BUILDING AND OTHER IMPERMEABLE SURFACES SHALL BE 50% OR 1000sqm: WHICHEVER IS THE LESSER

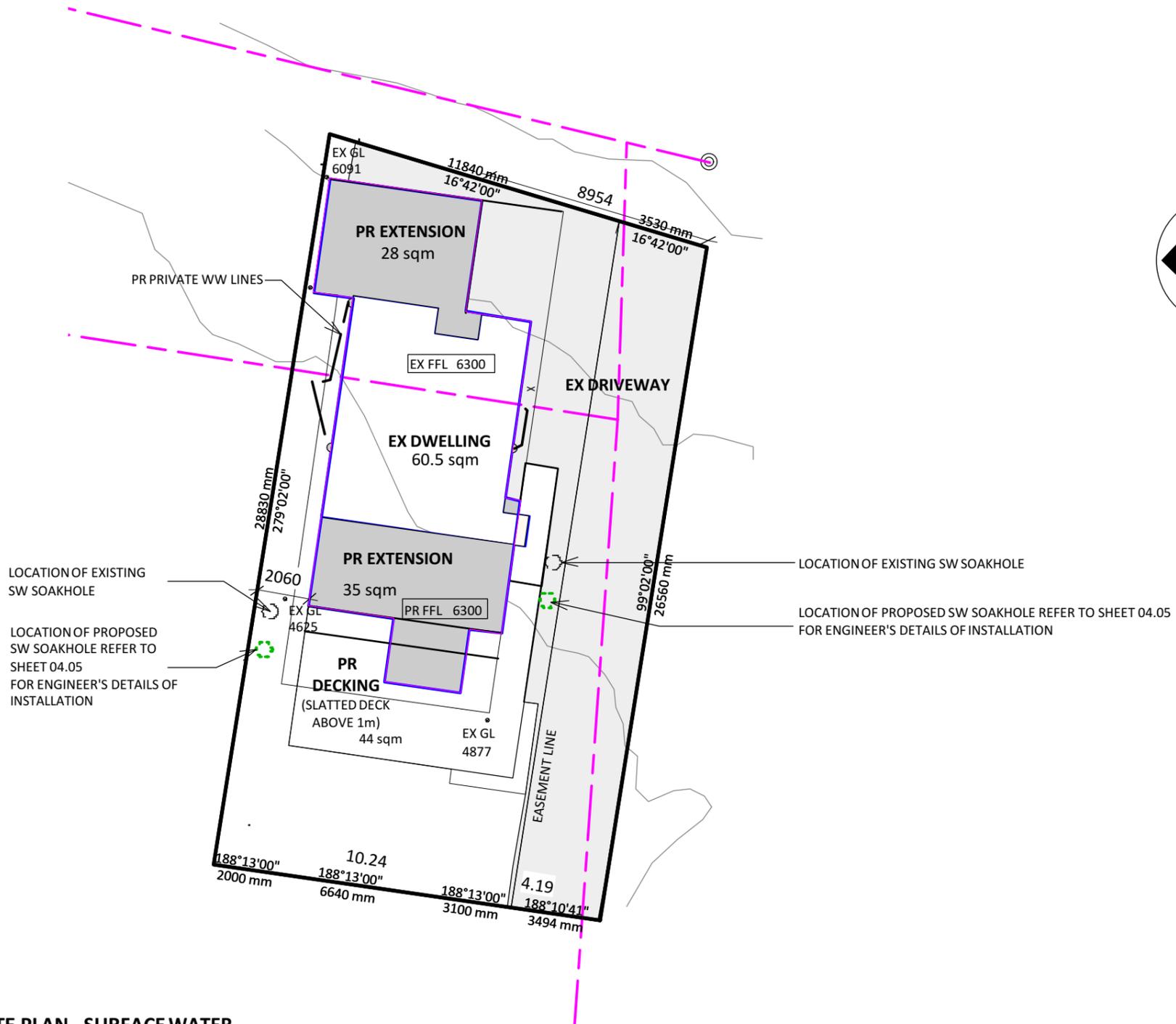
DOES NOT COMPLY

10.8.5.1.16 BUILDING COVERAGE

ANY NEW BUILDING OR ALTERATION/ADDITION TO AN EXISTING BUILDING IS A PERMITTED ACTIVITY IF THE TOTAL BUILDING COVERAGE OF A SITE DOES NOT EXCEED 45% OR 900 sqm, WHICHEVER IS THE LESSER OF THE GROSS SITE AREA **COMPLIES**

10.8.5.1.7 BUILDING SETBACKS

a) THE MINIMUM BUILDING SETBACK FROM ROAD BOUNDARIES SHALL BE 3m; AND
 b) THE MINIMUM SETBACK FROM ANY BOUNDARY APART FROM A ROAD BOUNDARY IS 1.2m EXCEPT THAT NO SET-BACK IS REQUIRED FOR A MAXIMUM TOTAL LENGTH OF 10m ALONG ANY ONE SUCH BOUNDARY AND
 c) NOT LESS THAN 50% OF THAT PART OF THE SITE BETWEEN THE ROAD BOUNDARY AND A PARALLEL LINE 2m THEREFROM SHALL BE LANDSCAPED
DOES NOT COMPLY



PR SITE PLAN - SURFACE WATER

1:200 @ A3

NO PROPOSED EXCAVATIONS WITHIN THIS BUILDING CONSENT

ISSUE	DATE	REVISION		PROJECT 75a HOKIANGA HARBOUR DRIVE SH12 OPONONI	DRAWING PR SITE PLAN -SURFACE WATER	SHT: 0.04
230 Hariru Rd Ohaeawai 0472 hayleymealings@gmail.com				CLIENT WENDY CARTER		
				FILE 75a HOKIANGA HARBOUR DR BC1.vwx		DATE: 09/12/24
						DRAWN: HM

Notes

1. EXISTING FOUNDATION IS A CONCRETE SLAB

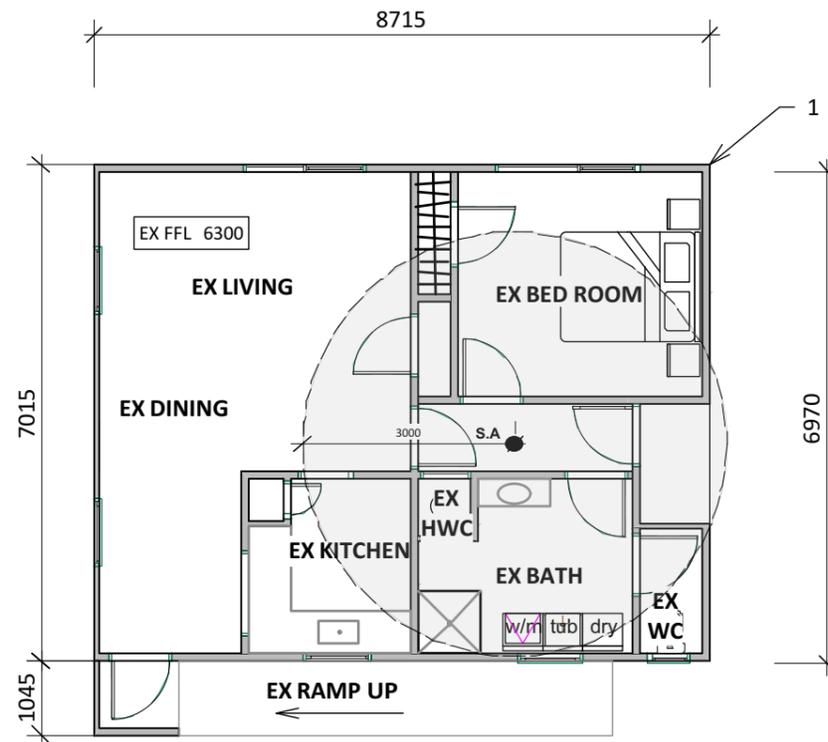
GENERAL NOTES:

- *EX WINDOW + DOOR SIZES AND LOCATIONS ARE FOR INFORMATION PURPOSE ONLY.
- *ALL EXISTING DIMENSIONS TO BE CONFIRMED ON SITE PRIOR TO COMMENCING ANY WORKS, ANY DISCREPANCIES TO BE REPORTED TO THE DESIGNER.
- * EX ROOFING PITCH YET TO BE CONFIRMED
- * EXISTING DIMENSIONS TO HAVE A MARGIN OF ERROR WITHIN 100mm

NOTE: EXISTING ROOF STRUCTURE TO BE REMOVED
ALL EXISTING JOINERY TO BE REMOVED & REPLACED

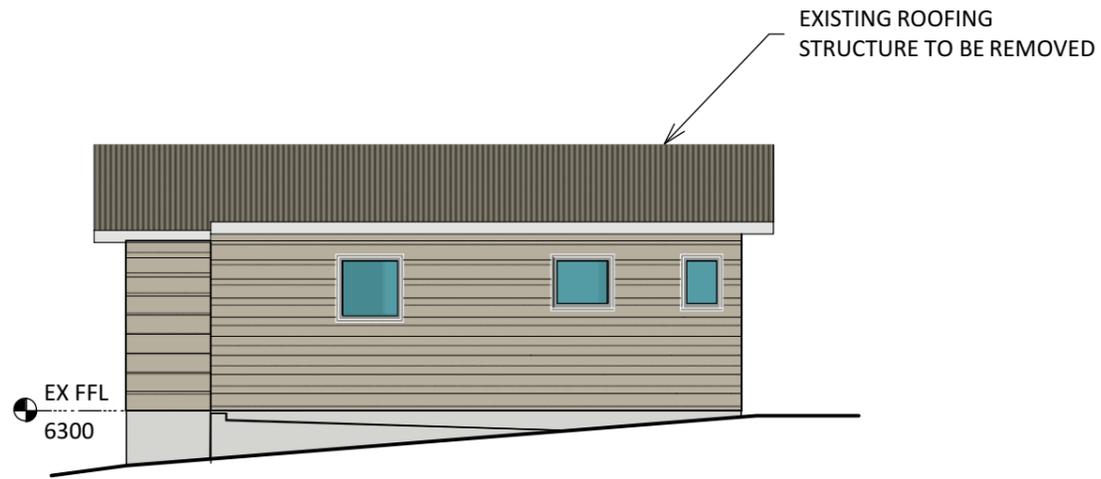
● **S.A - SMOKE ALARMS**

SMOKE ALARMS SHALL BE LOCATED ON THE ESCAPE ROUTES ON ALL LEVELS WITHIN THE HOUSEHOLD UNIT. ON LEVELS CONTAINING THE SLEEPING SPACES, THE SMOKE ALARMS SHALL BE LOCATED EITHER:
A) IN EVERY SLEEPING SPACE, OR
B) WITHIN 3.0 M OF EVERY SLEEPING SPACE DOOR. IN THIS CASE, THE SMOKE ALARMS MUST BE AUDIBLE TO SLEEPING OCCUPANTS ON THE OTHER SIDE OF THE CLOSED DOORS. REFER TO 3.3 OF COMPLIANCE DOCUMENT CLAUSE F7-WARNING SYSTEMS

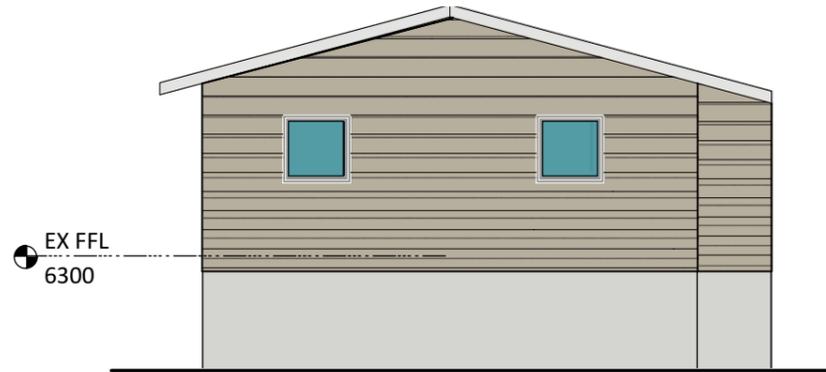


EX FLOOR LAYOUT - 61 sqm
SCALE 1:100 @ A3

ISSUE	DATE	REVISION		PROJECT 75a HOKIANGA HARBOUR DRIVE SH12 OPONONI	DRAWING EX FLOOR PLAN	PROJECT RESOURCE CONSENT ISSUE	SHT:	01.01		
				CLIENT WENDY CARTER			SCALE:	1:100 @ A3	DATE:	09/12/24
				FILE 75a HOKIANGA HARBOUR DR BC1.vwx			DRAWN:	HM		



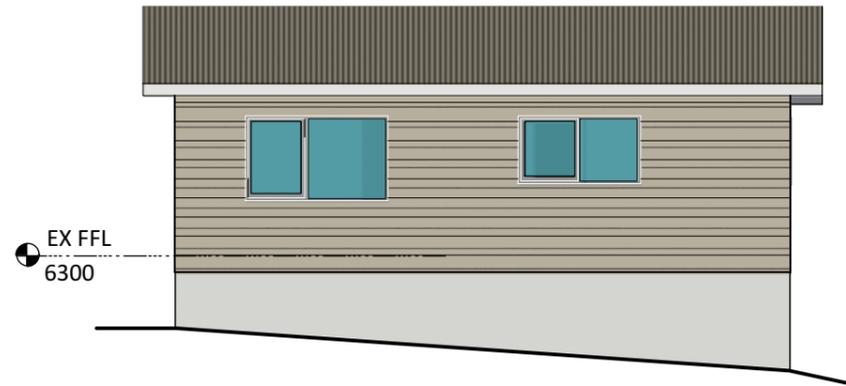
EX SOUTH ELEVATION
SCALE 1:100 @ A3



EX WEST ELEVATION
SCALE 1:100 @ A3



EX EAST ELEVATION
SCALE 1:100 @ A3



EX NORTH ELEVATION
SCALE 1:100 @ A3

ISSUE	DATE	REVISION		PROJECT 75a HOKIANGA HARBOUR DRIVE SH12 OPONONI	DRAWING EX ELEVATIONS	SHT: 01.02
				CLIENT WENDY CARTER		
230 Hariru Rd Ohaeawai 0472 hayleymealings@gmail.com				FILE 75a HOKIANGA HARBOUR DR BC1.vwx		
					DATE: 09/12/24	
						DRAWN: HM

Notes

1. PR GLASS/ALUMINIUM BALUSTRADE. REFER TO SHEETS 10.00 -10.02 FOR SPECIFICATIONS/DETAILS
2. PR RANGEHOOD OVER STOVE

WALL LEGEND:

-  EX WALL
-  WALL TO BE REMOVED
-  PR 90MM THICK WALL

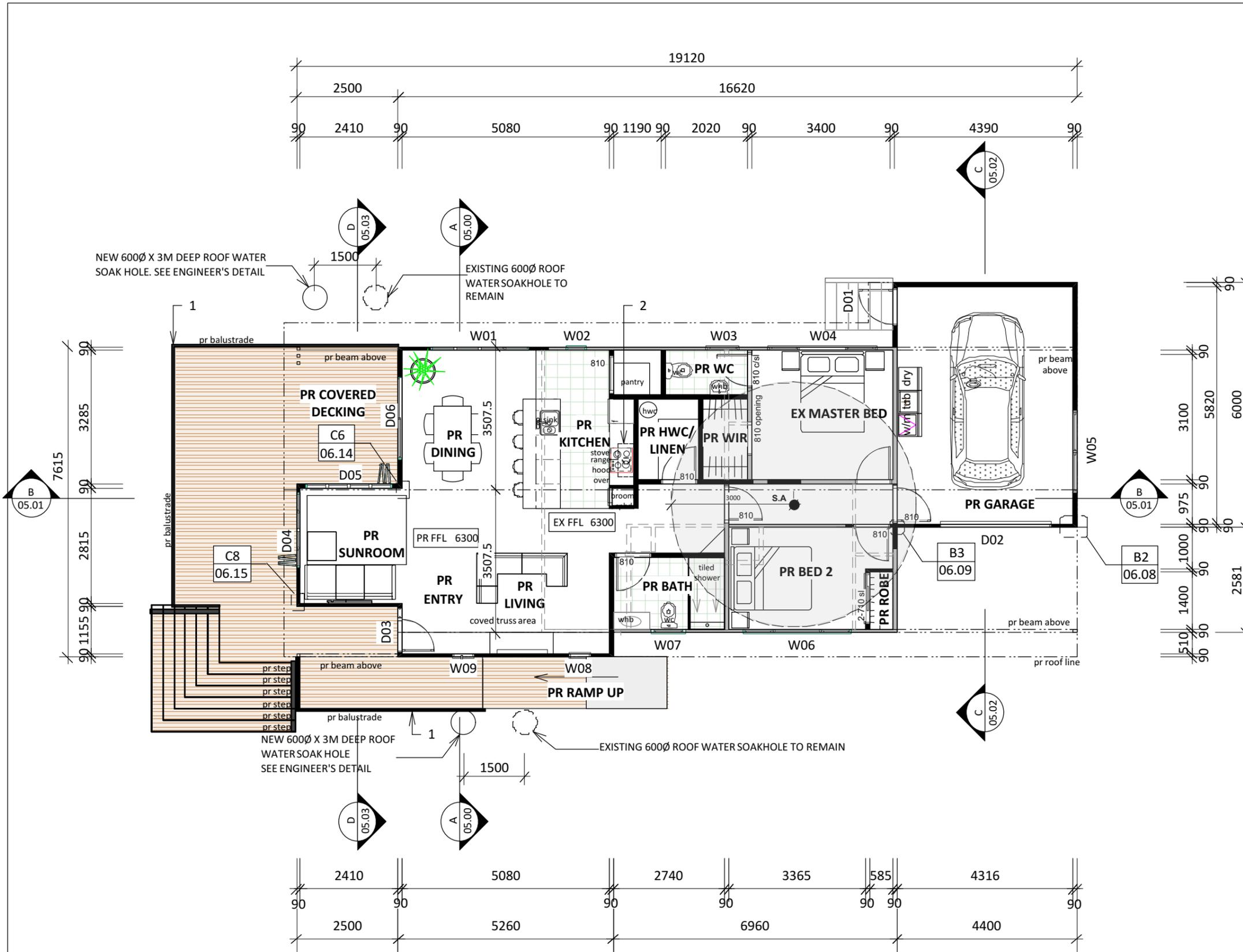
S.A

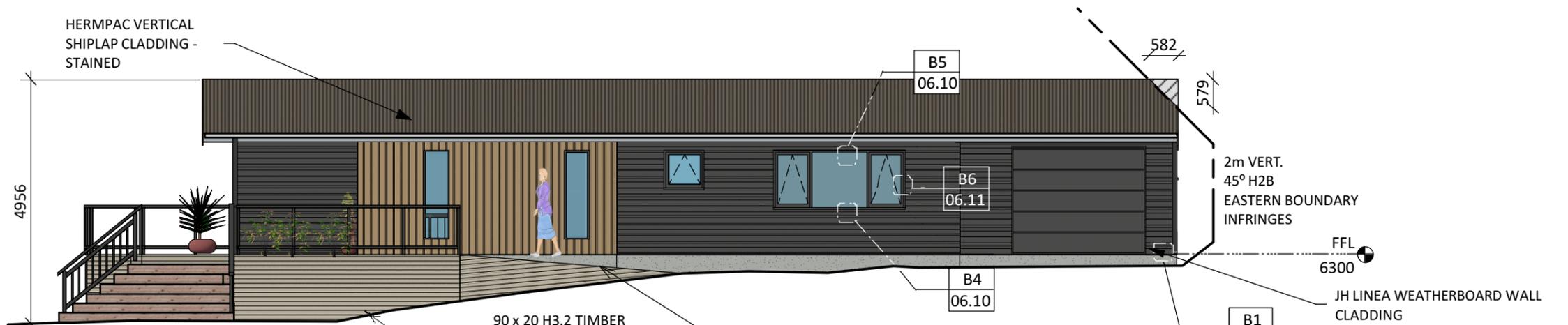
S.A - SMOKE ALARMS
 SMOKE ALARMS SHALL BE LOCATED ON THE ESCAPE ROUTES ON ALL LEVELS WITHIN THE HOUSEHOLD UNIT. ON LEVELS CONTAINING THE SLEEPING SPACES, THE SMOKE ALARMS SHALL BE LOCATED EITHER:
 A) IN EVERY SLEEPING SPACE, OR
 B) WITHIN 3.0 M OF EVERY SLEEPING SPACE DOOR. IN THIS CASE, THE SMOKE ALARMS MUST BE AUDIBLE TO SLEEPING OCCUPANTS ON THE OTHER SIDE OF THE CLOSED DOORS. REFER TO 3.3 OF COMPLIANCE DOCUMENT CLAUSE F7-WARNING SYSTEMS

LINTEL SIZES

ID	DIMENSIONS	LINTEL SIZE	FIXING TYPE
D01	925w x 2115	2-90 x 45 SG8 H1.2	F
D02	2715w x 2150h	2-240 x 45 SG8 H1.2	H
D03	1155w x 2215h	L1: 2 - 240 x 45 SG8 H1.2 TOP OF LINTEL FROM FL TO BE 2285mm FOR RB3 END CONNECTION	BASE CONNECTION AS SHOWN ON SHEET 06.22 DETAIL C22 (16 kN FIXING)
D04	1815w x 2215h	2-140 x 45 SG8 H1.2	F
D05	2115w x 2215h	2-190 x 45 SG8 H1.2	H
D06	2015w x 2215h	2-140 x 45 SG8 H1.2	F
W01	2415w x 2215h	2-190 x 45 SG8 H1.2	H
W02	515w x 2000h	2-90 x 45 SG8 H1.2	F
W03	815w x 1000h	2-90 x 45 SG8 H1.2	F
W04	2675w x 1200h	2-240 x 45 SG8 H1.2	H
W05	2015w x 600h	2-140 x 45 SG8 H1.2	F
W06	2675w x 1200h	2-240 x 45 SG8 H1.2	H
W07	815w x 800h	2-90 x 45 SG8 H1.2	F
W08	515w x 1800h	2-90 x 45 SG8 H1.2	F
W09	515w x 1800h	2-90 x 45 SG8 H1.2	F

PR FLOOR LAYOUT - 123 sqm
 SCALE 1:100 @ A3

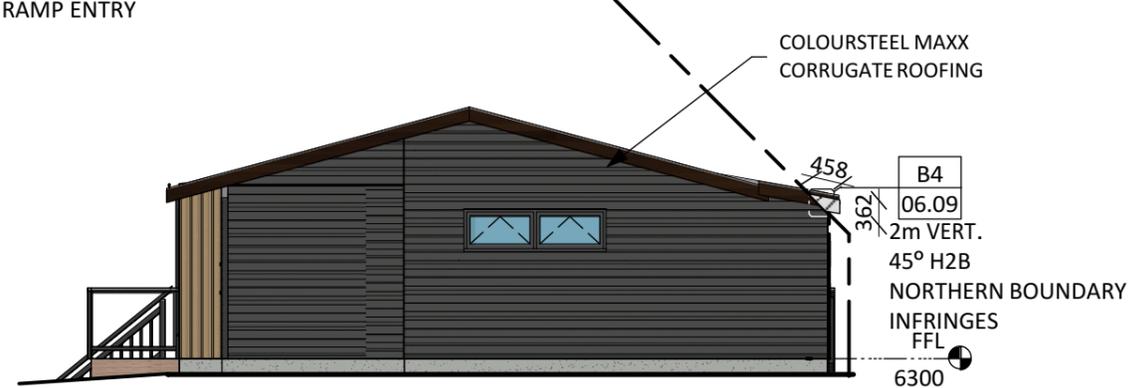




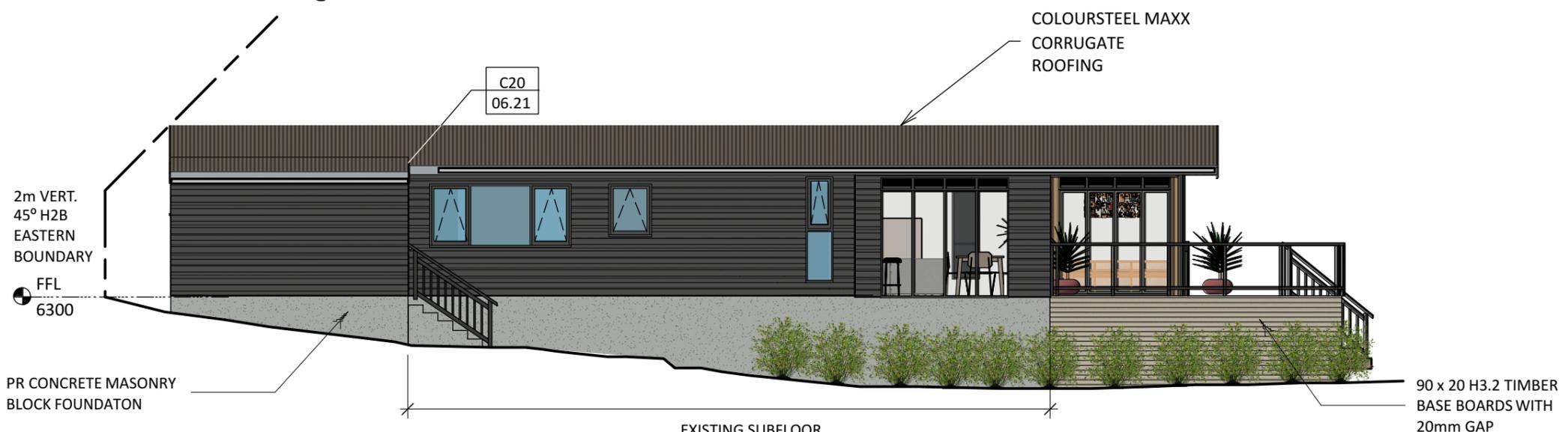
PR SOUTH ELEVATION
SCALE 1:100 @ A3



PR WEST ELEVATION
SCALE 1:100 @ A3



PR EAST ELEVATION
SCALE 1:100 @ A3



PR NORTH ELEVATION
SCALE 1:100 @ A3

BUILDING ENVELOPE RISK MATRIX - WEST

A) Wind Zone:	VERY HIGH	- 2
B) Number of Storeys:	LOW	- 0
C) Roof/Wall Intersection:	VERY HIGH	- 5
D) Eaves Width:	HIGH	- 2
E) Envelope Complexity:	MEDIUM	- 2
F) Deck Design:	LOW	- 0

TOTAL RISK FACTOR: 11

BUILDING ENVELOPE RISK MATRIX - NORTH

A) Wind Zone:	VERY HIGH	- 2
B) Number of Storeys:	LOW	- 0
C) Roof/Wall Intersection:	VERY HIGH	- 5
D) Eaves Width:	HIGH	- 2
E) Envelope Complexity:	MEDIUM	- 2
F) Deck Design:	LOW	- 0

TOTAL RISK FACTOR: 11

BUILDING ENVELOPE RISK MATRIX - EAST

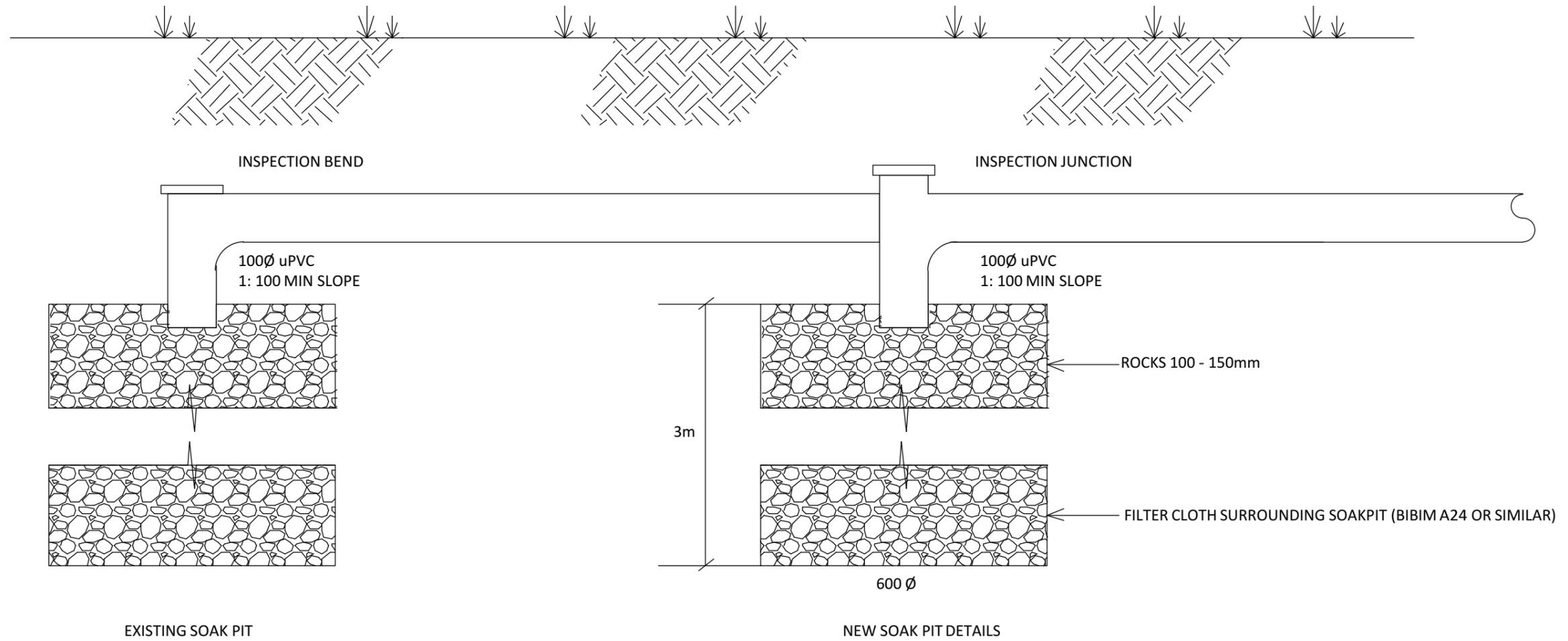
A) Wind Zone:	VERY HIGH	- 2
B) Number of Storeys:	LOW	- 0
C) Roof/Wall Intersection:	VERY HIGH	- 5
D) Eaves Width:	HIGH	- 2
E) Envelope Complexity:	MEDIUM	- 2
F) Deck Design:	LOW	- 0

TOTAL RISK FACTOR: 11

BUILDING ENVELOPE RISK MATRIX - SOUTH

A) Wind Zone:	VERY HIGH	- 2
B) Number of Storeys:	LOW	- 0
C) Roof/Wall Intersection:	VERY HIGH	- 5
D) Eaves Width:	HIGH	- 2
E) Envelope Complexity:	MEDIUM	- 2
F) Deck Design:	LOW	- 0

TOTAL RISK FACTOR: 11



STORMWATER SOAK PIT DETAILS

ISSUE	DATE	REVISION

230 Hariru Rd
 Ohaeawai 0472
 hayleymealings@gmail.com



PROJECT: 75a HOKIANGA HARBOUR DRIVE
 SH12
 OPONONI

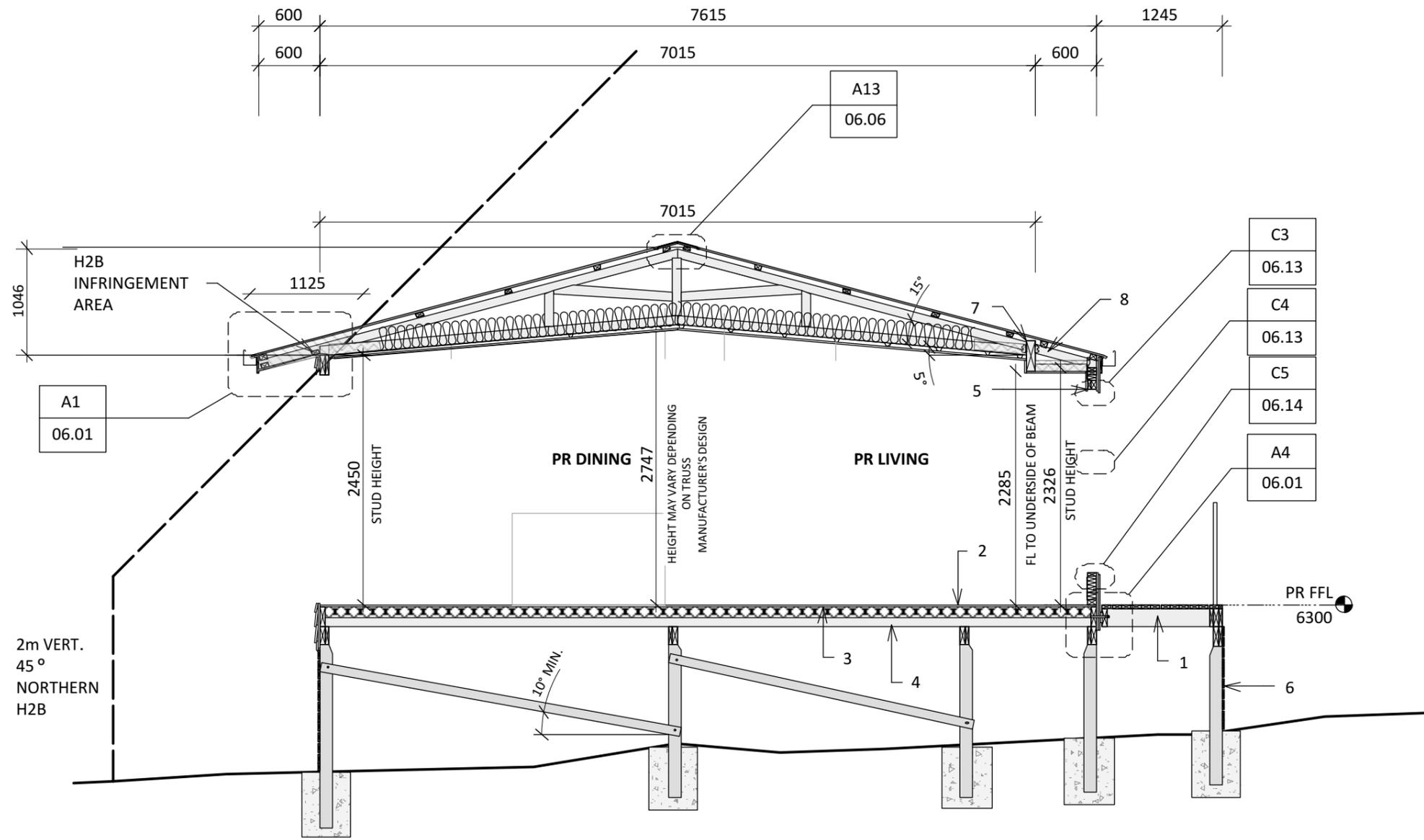
CLIENT: WENDY CARTER

FILE: 75a HOKIANGA HARBOUR DR BC1.vwx

DRAWING: SW SOAKPIT DETAILS

PROJECT: RESOURCE CONSENT ISSUE

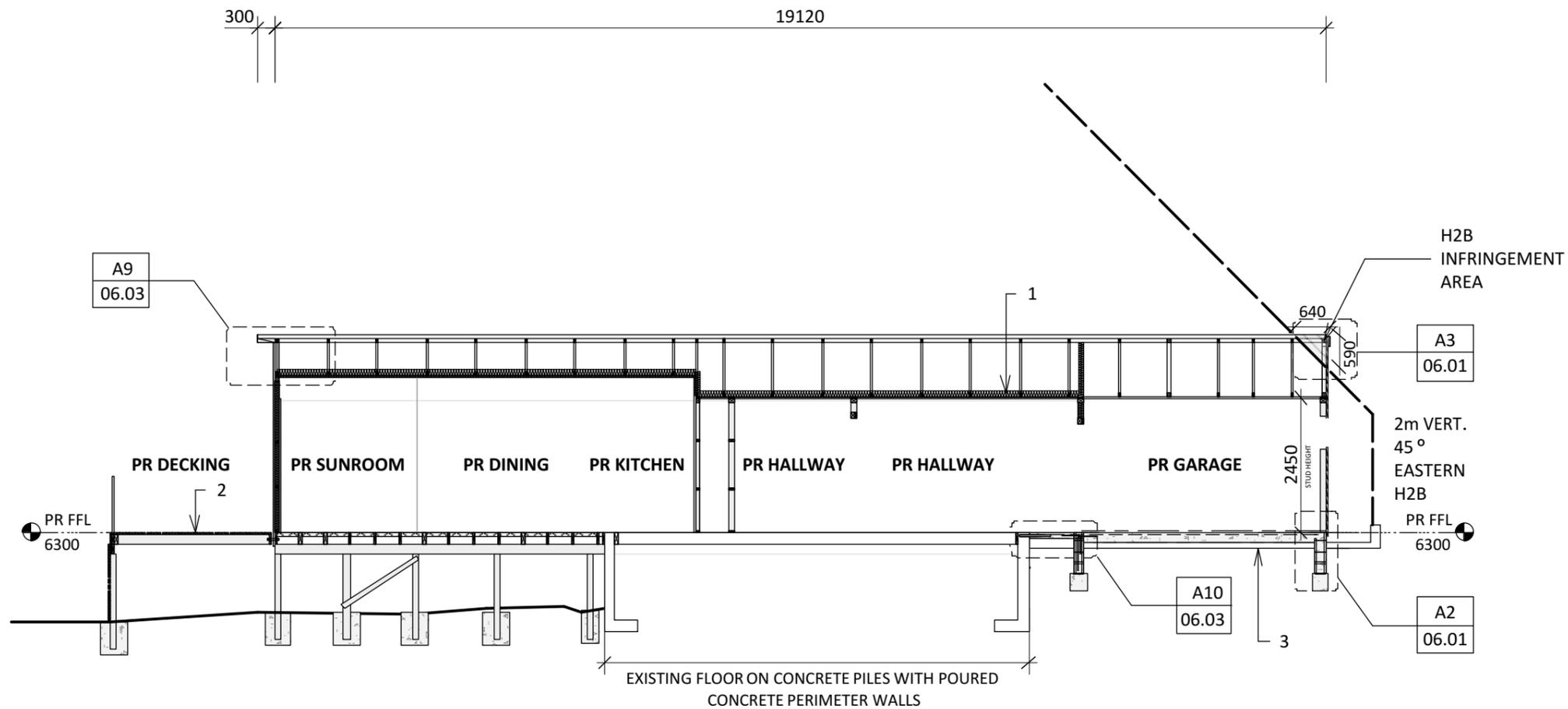
SHT:	04.03
SCALE:	NTS
DATE:	09/12/24
DRAWN:	HM



- Notes**
- 190 x 45 SG8 H3.2 DECK JOISTS @ 400 CTRS MAX.
 - 19mm H3.1 ECOPLY FLOORING
 - REFER TO SHEET 0.01 FOR SUBFLOOR INSULATION
 - 190 x 45 SG8 H1.2 HOUSE FLOOR JOISTS @ 450 CTRS
 - 10mm GIB WALL LINING
 - 90 x 20 H3.2 TIMBER BASE BOARDS WITH 20mm GAP
 - FOR TRUSS TO BEAM FIXINGS REFER TO TRUSS DESIGN FOR FIXING REQUIREMENTS
 - 90 x 45 SG8 H1.2 RAFTERS FIXED TO BEAM IN THIS AREA ONLY (ON THIS SIDE ONLY) FIXED TO BEAM WITH 1 - PAIR LUMBERLOK MULTIGRIPS PER CONNECTION. FILL ALL HOLES WITH 30 x 3.15 PRODUCT NAILS. RAFTER TO TOP PLATE FIXING: 1 - PAIR LUMBERLOK CT200 TIES PER CONNECTION. FILL ALL HOLES WITH 30 x 3.15 PRODUCT NAILS

A-A **CROSS SECTION A-A**
01.03 SCALE 1:50 @ A3

ISSUE	DATE	REVISION		PROJECT 75a HOKIANGA HARBOUR DRIVE SH12 OPONONI	DRAWING CROSS SECTION A-A	SHT: 05.00		
230 Hariru Rd Ohaeawai 0472 hayleymealings@gmail.com				CLIENT WENDY CARTER			PROJECT RESOURCE CONSENT ISSUE	SCALE: 1:50 @ A3
				FILE 75a HOKIANGA HARBOUR DR BC1.vwx				DATE: 09/12/24



B-B | **CROSS SECTION B-B**
01.03 | SCALE 1:100 @ A3

Notes

1. REFER TO SHEET 0.01 FOR CEILING INSULATION REQUIREMENTS
2. 90 x 32 GRIP TREAD DECKING. DECKING SPACING: IF MOISTURE CONTENT IS 20% OR LESS THEN ALLOW A 5mm SPACE BEFORE DECKING STRIPS. IF MOISTURE CONTENT IS 21% OR MORE THEN SOFT BUTT EACH DECKING STRIP.
3. EXISTING CONCRETE SLAB. ENGINEER HAS CONFIRMED TO KEEP IN PLACE & ADD A LEVELLING COURSE OF 20 mPa CONCRETE REFER TO ENGINEER'S DETAILS

ISSUE	DATE	REVISION

230 Hariru Rd
Ohaeawai 0472
hayleymealings@gmail.com



PROJECT
**75a HOKIANGA HARBOUR DRIVE
SH12
OPONONI**

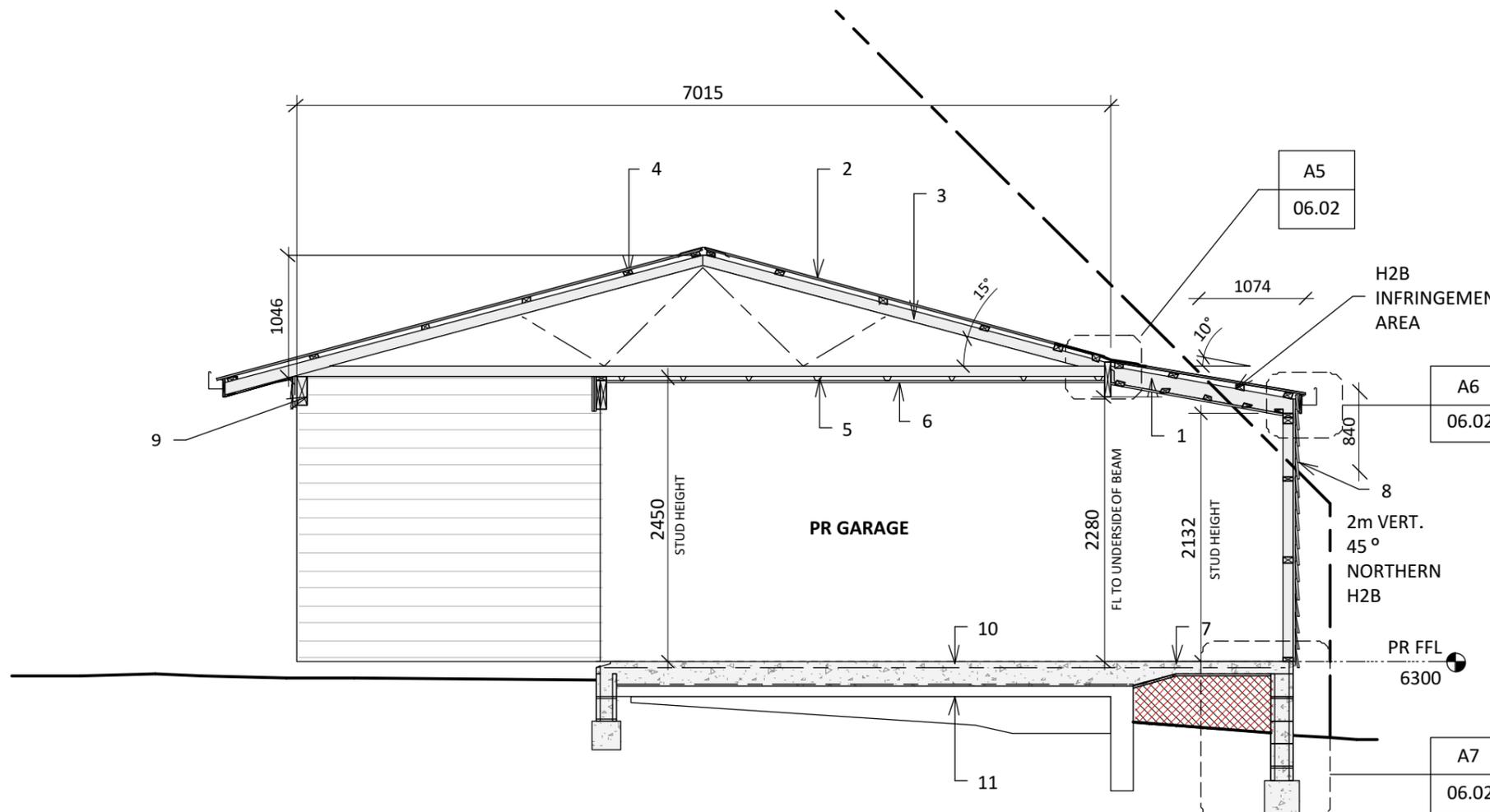
CLIENT
WENDY CARTER

FILE
75a HOKIANGA HARBOUR DR BC1.vwx

DRAWING
CROSS SECTION B-B

PROJECT
RESOURCE CONSENT ISSUE

SHT:	05.01
SCALE:	1:100 @ A3
DATE:	09/12/24
DRAWN:	HM

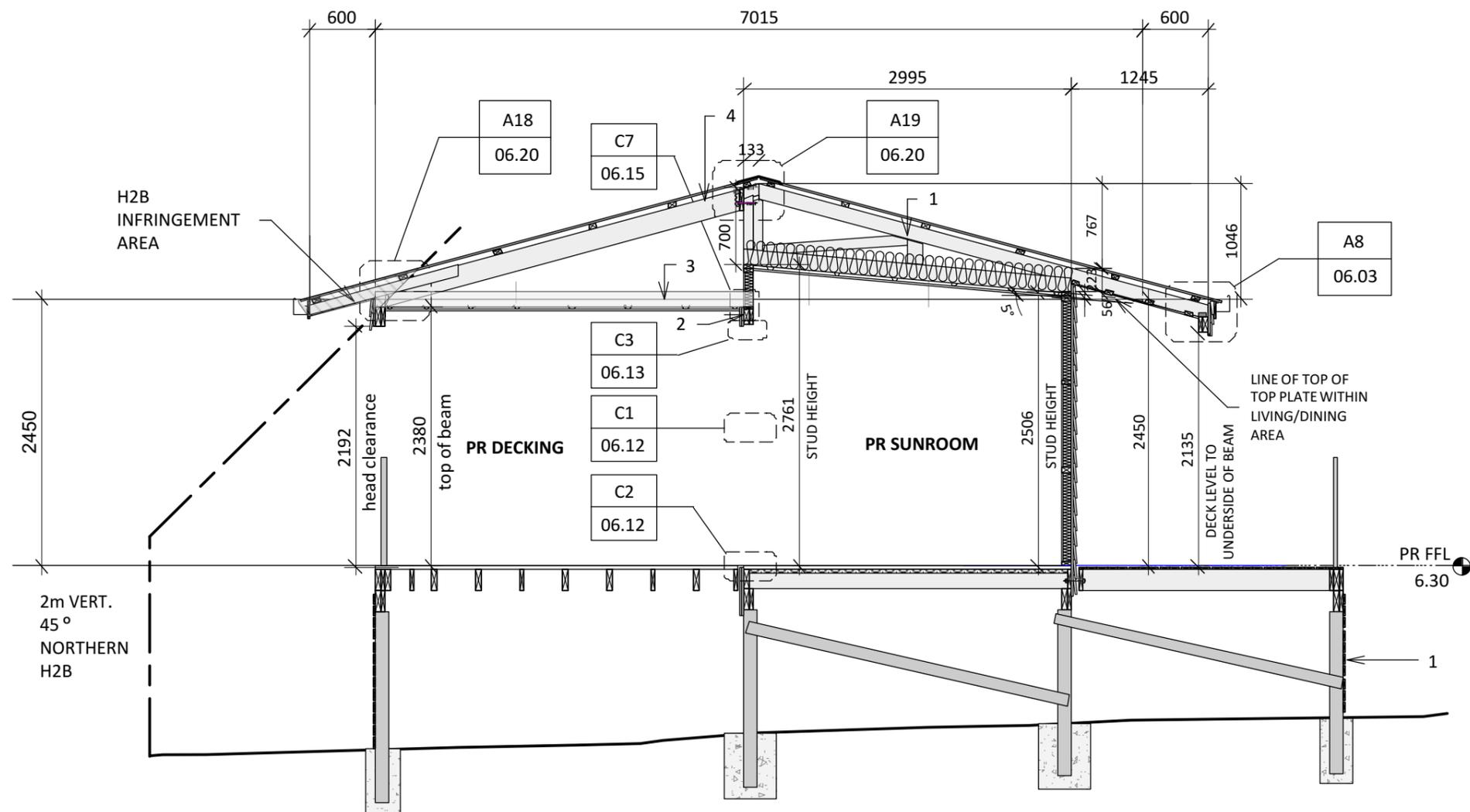


- Notes**
1. 140 x 45 SG8 H1.2 RAFTERS @ 900 CTRS
 2. 0.55 COLOURSTEEL MAXX CORRUGATE ROOFING OVER THERMAKRAFT COVERTEK 407 ROOFING UNDERLAY
 3. TIMBER MITEK SCISSOR TRUSSES @ 900 CTRS. REFER TO TRUSS MANUFACTURER'S SPECIFICATIONS
 4. 70 x 45 SG8 H1.2 PURLINS @ 900 CTRS. FIRST & LAST @ 600 CTRS. FIXED TO TRUSSES PER CONNECTION WITH 1 - ST.ST. LUMBERLOK BLUE SCREW.
 5. GIB RONDO METAL CEILING BATTENS @ 600 CTRS MAX
 6. 15mm PLYWOOD CEILING LINING
 7. 100mm THICK 25MPa CONC FLOOR SLAB, DUCTILE 500 E SE62 MESH 30 TOP COVER (LAP JOINS 225) OVER 0.25 POLYTHENE MOISTURE BARRIER (TAPE ALL CUTS & PENETRATIONS & LAP 225 @ ALL SEAMS) OVER 20mm THICK SAND BLINDING OVER 100mm MIN WELL ROLLED & COMPACTED GAP 40 OR OTHER ACCEPTABLE HARDFILL
 8. JAMES HARDIE LINEA 180 SERIES WEATHERBOARD CLADDING OVER 20mm CAVITY BATTENS & WATERGATE PLUS BUILDING WRAP
 9. RB1: 240 x 90 HYSpan BEAM. REFER TO DESIGNIT CALCS. TO BE CONCEALED WITH 6mm HARDIFLEX SOFFIT LINING
 10. 200mm THICK 25MPa CONC TOPPING OVER EXISTING SLAB (TO ACHIEVE FLUSH FL WITH EXISTING HOUSE FL), DUCTILE 500 E SE62 MESH 30 TOP COVER (LAP JOINS 225) OVER LIQUID APPLIED DPM
 11. EXISTING SLAB TO REMAIN

C-C | **CROSS SECTION C-C**
 01.03 | SCALE 1:50 @ A3

Notes

1. TIMBER MITEK SCISSOR TRUSSES @ 900 CTRS. REFER TO TRUSS MANUFACTURER'S SPECIFICATIONS
2. HERMPAC VERTICAL TIMBER SHIPLAP OVER A 20mm CAVITY SYSTEM & WATERGATE PLUS BUILDING WRAP
3. 140 x 45 SG8 H1.2 CEILING JOISTS @ 600 CTRS MAX. FIXED TO TOP PLATE/BEAM WITH 1 - CPC40 EACH END
4. 190 x 45 SG8 H1.2 RAFTERS (OVER OUTDOOR AREA ONLY) @ 480 CTRS MAX

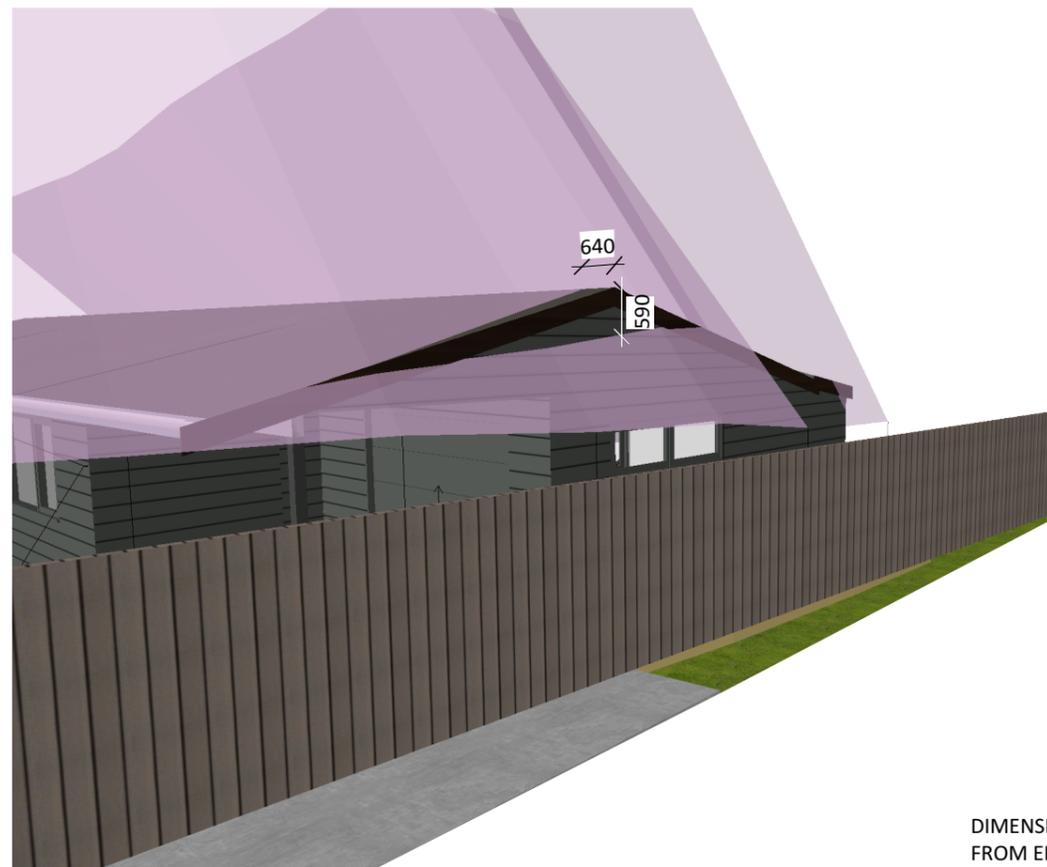


D-D | **CROSS SECTION D-D**
01.03 | SCALE 1:50 @ A3



DIMENSIONS SHOWN H2B INFRINGEMENT
FROM EDGE OF ROOFING/WALL FRAMING
(NOT INCLUDING GUTTERING)

H2B NORTHERN BOUNDARY
NTS



DIMENSIONS SHOWN H2B INFRINGEMENT
FROM EDGE OF ROOFING/WALL FRAMING

H2B EASTERN BOUNDARY
NTS

ISSUE	DATE	REVISION

230 Hariru Rd
Ohaeawai 0472
hayleymealings@gmail.com



PROJECT	75a HOKIANGA HARBOUR DRIVE SH12 OPONONI
CLIENT	WENDY CARTER
FILE	75a HOKIANGA HARBOUR DR BC1.vwx

DRAWING	H2B PERSPECTIVES
PROJECT	RESOURCE CONSENT ISSUE

SHT:	12.00
SCALE:	AS SHOWN
DATE:	09/12/24
DRAWN:	HM

T.DRUPSTEEN CPENG

B.E, CPEng
61652,
IntPE, CMEngNZ

RMA SUB
3264 State Highway 12
R D 3
Kaikohe 0473
Ph: 9-4014737
Mob: 02 111 43 443
drupsteenthij65@gmail.com

TD Ref: 24/ 70
Date: 18 /12 / 2024

To Whom it May Concern

Wendy L Carter Subdivision 75a [Lot 2 DP 16906] Hokianga Harbour Drive
2300531-RMASUB Condition 3[b] Stormwater

In response to condition 3[b] I confirm that:

all the stormwater is piped within Lot 2 and is disposed of by two new and two existing soak holes [four in total] shown on the construction plan sheets 04.03 and 04.05. The existing two soak holes have [and are giving] given satisfactory service for over 20 years to the existing 61 m² house. To cope with proposed expansion of the existing house to 122m² two new soak holes have been added. *There is no connection to the stormwater systems located within easements A, B, and C, because there are no stormwater pipes within those easements, the surfaces of which are virtually 100% concrete driveways.*



Thijs Drupsteen

Chartered Professional Engineer 61652 [Structural and Civil]



NOTICE OF WRITTEN APPROVAL

Written Approval of Affected Parties in accordance with Section 95E of the Resource Management Act

PART A – To be completed by Applicant

Applicant/s Name:	Carter Family Trust
Address of proposed activity:	75B Hokianga Harbour Drive, Opononi
Legal description:	Lot 2 DP577857
Description of the proposal (including why you need resource consent):	Application for land use resource consent for extensions to an existing dwelling which breaches the permitted standard for setback to boundaries, sunlight and stormwater management within the Coastal Residential Zone.
Details of the application are given in the attached documents & plans (list what documents & plans have been provided to the party being asked to provide written approval):	<ol style="list-style-type: none"> 1. <u>Plan Set prepared by Mealings Architecture</u> 2. _____ 3. _____ 4. _____ 5. _____ 6. _____

Notes to Applicant:

1. Written approval must be obtained from all registered owners and occupiers.
2. The **original copy** of this signed form and **signed plans and accompanying documents** must be supplied to the Far North District Council.
3. The amount and type of information provided to the party from whom you seek written approval should be sufficient to give them a full understanding of your proposal, its effects and why resource consent is needed.

PART B – To be completed by Parties giving approval

Notes to the party giving written approval:

1. If the owner and the occupier of your property are different people then separate written approvals are required from each.
2. You should only sign in the place provided on this form and accompanying plans and documents if you **fully understand** the proposal and if you **support** or have **no opposition** to the proposal. Council will not accept conditional approvals. If you have conditions on your approval, these should be discussed and resolved with the applicant directly.
3. Please note that when you give your written approval to an application, council cannot take into consideration any actual or potential effects of the proposed activity on you unless you formally withdraw your written approval **before** a decision has been made as to whether the application is to be notified or not. After that time you can no longer withdraw your written approval.
4. Please sign and date all associated plans and documentation as referenced overleaf and return with this form.
5. If you have any concerns about giving your written approval or need help understanding this process, please feel free to contact the duty planner on 0800 920 029 or (09) 401 5200.

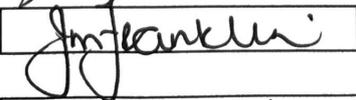
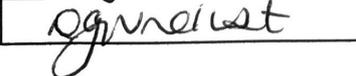
Full name/s of party giving approval: John Willis Greville, Janene Margaret Franklin and Debra Gae Windust

Address of affected property including legal description: 39 Fairlie Crescent, Opononi / Lot 80 DP58962

Contact Phone Number/s and email address: Daytime: 021 947 887 email: grevbros@xtra.co.nz

I am/we are the OWNER(S) / OCCUPIER(S) of the property (circle which is applicable)
Please note: in most instances the approval of all the legal owners and the occupiers of the affected property will be necessary.

1. I/We have been provided with the details concerning the application submitted to Council and understand the proposal and aspects of non-compliance with the Operative District Plan.
2. I/We have signed each page of the plans and documentation in respect of this proposal (these need to accompany this form).
3. I/We understand and accept that once I/we give my/our approval the Consent Authority (Council) cannot take account of any actual or potential effect of the activity and/or proposal upon me/us when considering the application and the fact that any such effect may occur shall not be relevant grounds upon which the Consent Authority may refuse to grant the application.
4. I/We understand that at any time before the notification decision is made on the application, I/we may give notice in writing to Council that this approval is withdrawn.

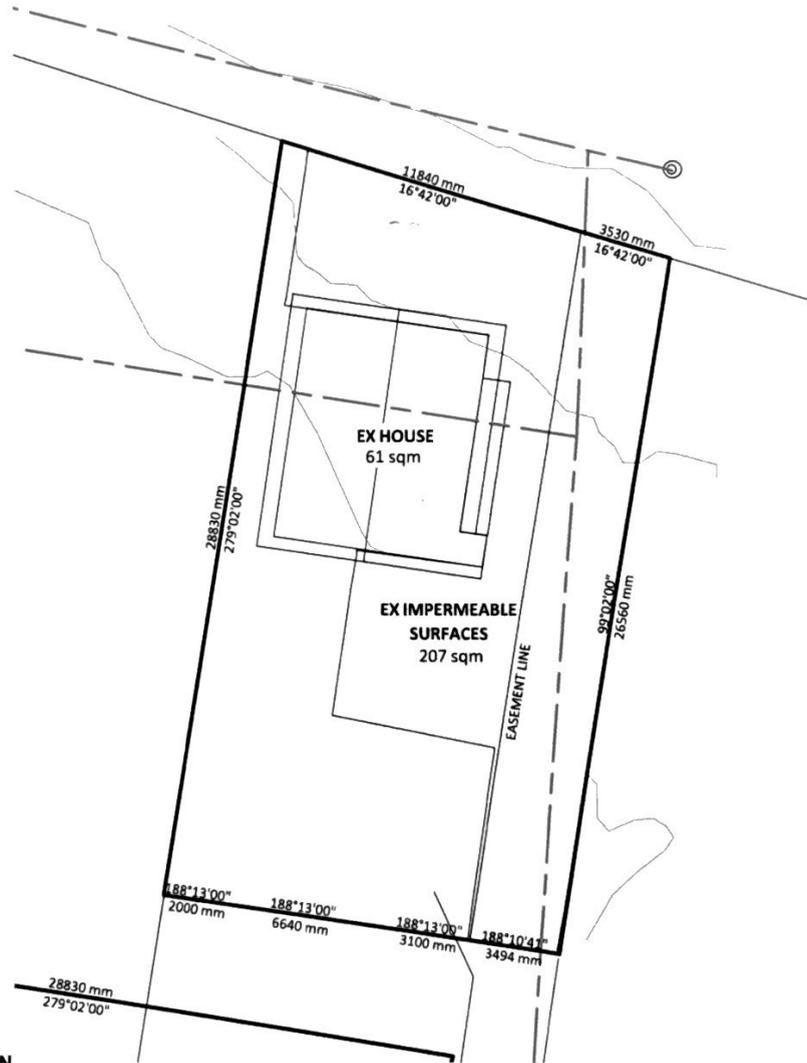
Signature		Date	22/02/25
Signature		Date	23/02/25
Signature		Date	22/02/25
Signature	 	Date	

75a HOKIANGA HARBOUR DRIVE, STATE HIGHWAY 12, OMAPERE

Lot 2 DP 16906

WIND ZONE: VERY HIGH
 EARTHQUAKE ZONE: 1
 EXPOSURE ZONE: D
 CLIMATE ZONE: 1
 SNOW LOADING: NO
 SITE AREA: 422 SQM
 DISTRICT ZONE: FAR NORTH DISTRICT COUNCIL
 COASTAL RESIDENTIAL

PR BUILDING COVERAGE
 61 sqm (14%)
 COMPLIES
 PR IMPERMEABLE COVERAGE
 207 sqm (49%)
 COMPLIES



EX SITE PLAN
 SCALE 1:200 @ A3

Handwritten signature and initials

ISSUE	DATE	REVISION		PROJECT	75a HOKIANGA HARBOUR DRIVE SH12 OPONONI	DRAWING	EX SITE PLAN	SHT:	0.02
				CLIENT	WENDY CARTER		PROJECT		RESOURCE CONSENT ISSUE
230 Hariu Rd Ohaeawai 0472 hayleymealings@gmail.com				FILE	75a HOKIANGA HARBOUR DR BC1.vwx			DATE:	09/12/24
								DRAWN:	HM

75a HOKIANGA HARBOUR DRIVE, STATE HIGHWAY 12, OMAPERE

Lot 2 DP 16906

WIND ZONE:	VERY HIGH
EARTHQUAKE ZONE:	1
EXPOSURE ZONE:	D
CLIMATE ZONE:	1
SNOW LOADING:	NO
SITE AREA:	422 SQM
DISTRICT ZONE:	FAR NORTH DISTRICT COUNCIL COASTAL RESIDENTIAL

PR BUILDING COVERAGE
 $28 + 60.5 + 35 = 123.5 \text{ sqm}$ (29%)
 COMPLIES
 PR IMPERMEABLE COVERAGE
 $60 + 28 + 35 + 44 + 150 = 317 \text{ sqm}$ (75%)
 DOES NOT COMPLY

10.8.5.1.2 RESIDENTIAL INTENSITY

EACH RESIDENTIAL UNIT FOR A SINGLE HOUSEHOLD SHALL HAVE AVAILABLE TO IT A MINIMUM NET SITE AREA OF:

SEWERED SITES: 800 sqm
 UNSEWERED SITES: 3000 sqm

THIS MINIMUM NET SITE AREA MAY BE FOR THE EXCLUSIVE USE OF THE RESIDENTIAL UNIT, OR AS PART OF LAND HELD ELSEWHERE ON THE PROPERTY, PROVIDED THAT A RATIO OF ONE RESIDENTIAL UNIT PER MINIMUM NET SITE AREA IS NOT EXCEEDED
COMPLIES

10.8.5.1.4 BUILDING HEIGHT

THE MAXIMUM HEIGHT OF ANY BUILDING SHALL BE 8m **COMPLIES**

10.8.5.1.5 SUNLIGHT

NO PART OF ANY BUILDING SHALL PROJECT BEYOND A 45 DEGREE RECEPTION PLANE AS MEASURED INWARDS FROM ANY POINT 2m VERTICALLY ABOVE GROUND LEVEL ON ANY SITE BOUNDARY EXCEPT THAT:
 a) A BUILDING MAY EXCEED THE STANDARD FOR A MAXIMUM DISTANCE OF 10m ALONG ANY ONE BOUNDARY OTHER THAN A ROAD BOUNDARY, PROVIDED THAT THE MAXIMUM HEIGHTS OF ANY BUILDING WHERE IT EXCEEDS THE STANDARD IS 2.7m.

DOES NOT COMPLY - REFER TO SHEET 12.00

10.8.5.1.6 STORMWATER MANAGEMENT

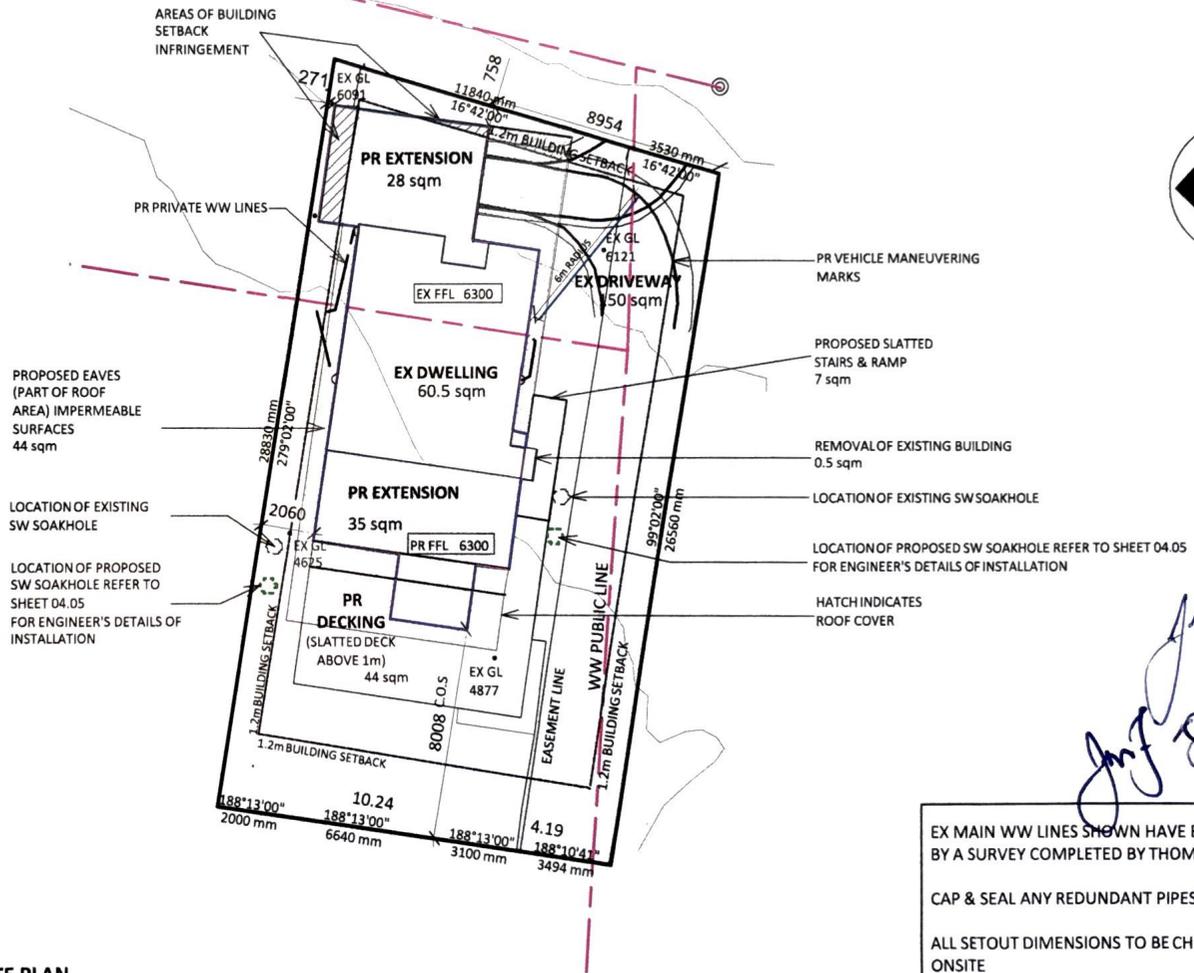
THE MAXIMUM PROPORTION OF THE GROSS SITE AREA COVERED BY BUILDING AND OTHER IMPERMEABLE SURFACES SHALL BE 50% OR 1000sqm: WHICHEVER IS THE LESSER
DOES NOT COMPLY

10.8.5.1.16 BUILDING COVERAGE

ANY NEW BUILDING OR ALTERATION/ADDITION TO AN EXISTING BUILDING IS A PERMITTED ACTIVITY IF THE TOTAL BUILDING COVERAGE OF A SITE DOES NOT EXCEED 45% OR 900 sqm, WHICHEVER IS THE LESSER OF THE GROSS SITE AREA **COMPLIES**

10.8.5.1.7 BUILDING SETBACKS

- a) THE MINIMUM BUILDING SETBACK FROM ROAD BOUNDARIES SHALL BE 3m; AND
 - b) THE MINIMUM SETBACK FROM ANY BOUNDARY APART FROM A ROAD BOUNDARY IS 1.2m EXCEPT THAT NO SET-BACK IS REQUIRED FOR A MAXIMUM TOTAL LENGTH OF 10m ALONG ANY ONE SUCH BOUNDARY AND
 - c) NOT LESS THAN 50% OF THAT PART OF THE SITE BETWEEN THE ROAD BOUNDARY AND A PARALLEL LINE 2m THEREFROM SHALL BE LANDSCAPED
- DOES NOT COMPLY**



Handwritten signature: J. J. O'Connell

EX MAIN WW LINES SHOWN HAVE BEEN CONFIRMED BY A SURVEY COMPLETED BY THOMSEN SURVEYORS
 CAP & SEAL ANY REDUNDANT PIPES ONSITE
 ALL SETOUT DIMENSIONS TO BE CHECKED/CONFIRMED ONSITE

PR SITE PLAN
 1:200 @ A3

NO PROPOSED EXCAVATIONS WITHIN THIS BUILDING CONSENT

ISSUE	DATE	REVISION		PROJECT	75a HOKIANGA HARBOUR DRIVE SH12 OPONONI	DRAWING	PR SITE PLAN	SHT:	0.03
FILE	CLIENT	75a HOKIANGA HARBOUR DR BC1.vwx		CLIENT	WENDY CARTER		PROJECT	RESOURCE CONSENT ISSUE	SCALE:
230 Hariru Rd Ohaeawai 0472 hayleymeatings@gmail.com				75a HOKIANGA HARBOUR DR BC1.vwx				DATE:	09/12/24
								DRAWN:	HM

75a HOKIANGA HARBOUR DRIVE, STATE HIGHWAY 12, OMAPERE

Lot 2 DP 16906

WIND ZONE: VERY HIGH
 EARTHQUAKE ZONE: 1
 EXPOSURE ZONE: D
 CLIMATE ZONE: 1
 SNOW LOADING: NO
 SITE AREA: 422 SQM
 DISTRICT ZONE: FAR NORTH DISTRICT COUNCIL COASTAL RESIDENTIAL

10.8.5.1.2 RESIDENTIAL INTENSITY

EACH RESIDENTIAL UNIT FOR A SINGLE HOUSEHOLD SHALL HAVE AVAILABLE TO IT A MINIMUM NET SITE AREA OF:

SEWERED SITES: 800 sqm

UNSEWERED SITES: 3000 sqm

THIS MINIMUM NET SITE AREA MAY BE FOR THE EXCLUSIVE USE OF THE RESIDENTIAL UNIT, OR AS PART OF LAND HELD ELSEWHERE ON THE PROPERTY, PROVIDED THAT A RATIO OF ONE RESIDENTIAL UNIT PER MINIMUM NET SITE AREA IS NOT EXCEEDED

COMPLIES

10.8.5.1.4 BUILDING HEIGHT

THE MAXIMUM HEIGHT OF ANY BUILDING SHALL BE 8m **COMPLIES**

10.8.5.1.5 SUNLIGHT

NO PART OF ANY BUILDING SHALL PROJECT BEYOND A 45 DEGREE RECEPTION PLANE AS MEASURED INWARDS FROM ANY POINT 2m VERTICALLY ABOVE GROUND LEVEL ON ANY SITE BOUNDARY EXCEPT THAT:
 a) A BUILDING MAY EXCEED THE STANDARD FOR A MAXIMUM DISTANCE OF 10m ALONG ANY ONE BOUNDARY OTHER THAN A ROAD BOUNDARY, PROVIDED THAT THE MAXIMUM HEIGHTS OF ANY BUILDING WHERE IT EXCEEDS THE STANDARD IS 2.7m.

DOES NOT COMPLY - REFER TO SHEET 12.00

10.8.5.1.6 STORMWATER MANAGEMENT

THE MAXIMUM PROPORTION OF THE GROSS SITE AREA COVERED BY BUILDING AND OTHER IMPERMEABLE SURFACES SHALL BE 50% OR 1000sqm; WHICHEVER IS THE LESSER

DOES NOT COMPLY

10.8.5.1.16 BUILDING COVERAGE

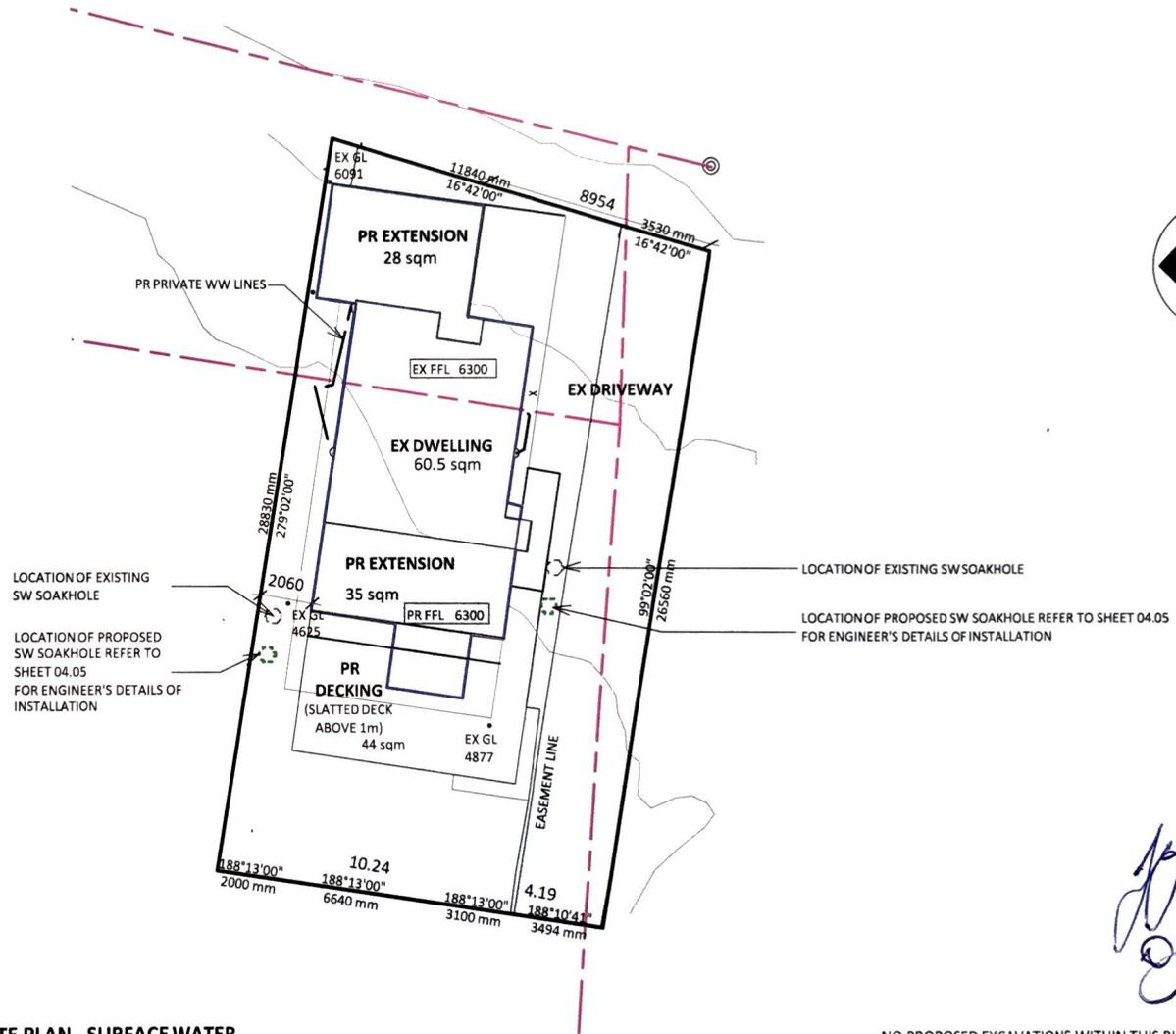
ANY NEW BUILDING OR ALTERATION/ADDITION TO AN EXISTING BUILDING IS A PERMITTED ACTIVITY IF THE TOTAL BUILDING COVERAGE OF A SITE DOES NOT EXCEED 45% OR 900 sqm, WHICHEVER IS THE LESSER OF THE GROSS SITE AREA **COMPLIES**

10.8.5.1.7 BUILDING SETBACKS

a) THE MINIMUM BUILDING SETBACK FROM ROAD BOUNDARIES SHALL BE 3m; AND

b) THE MINIMUM SETBACK FROM ANY BOUNDARY APART FROM A ROAD BOUNDARY IS 1.2m EXCEPT THAT NO SET-BACK IS REQUIRED FOR A MAXIMUM TOTAL LENGTH OF 10m ALONG ANY ONE SUCH BOUNDARY AND

c) NOT LESS THAN 50% OF THAT PART OF THE SITE BETWEEN THE ROAD BOUNDARY AND A PARALLEL LINE 2m THEREFROM SHALL BE LANDSCAPED **DOES NOT COMPLY**



PR SITE PLAN - SURFACE WATER

1:200 @ A3

NO PROPOSED EXCAVATIONS WITHIN THIS BUILDING CONSENT

ISSUE	DATE	REVISION

230 Hariru Rd
 Ohaeawai 0472
 hayleymealings@gmail.com



PROJECT:	75a HOKIANGA HARBOUR DRIVE SH12 Opononi
CLIENT:	WENDY CARTER
FILE:	75a HOKIANGA HARBOUR DR BC1.vwx

DRAWING:	PR SITE PLAN -SURFACE WATER
PROJECT:	RESOURCE CONSENT ISSUE

SHT:	0.04
SCALE:	1:200 @ A3
DATE:	09/12/24
DRAWN:	HM

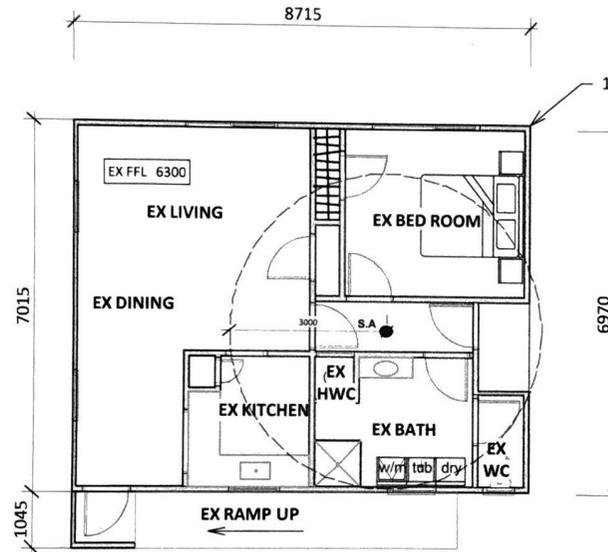
Notes

1. EXISTING FOUNDATION IS A CONCRETE SLAB

GENERAL NOTES:

- * EX WINDOW + DOOR SIZES AND LOCATIONS ARE FOR INFORMATION PURPOSE ONLY.
- * ALL EXISTING DIMENSIONS TO BE CONFIRMED ON SITE PRIOR TO COMMENCING ANY WORKS, ANY DISCREPANCIES TO BE REPORTED TO THE DESIGNER.
- * EX ROOFING PITCH YET TO BE CONFIRMED
- * EXISTING DIMENSIONS TO HAVE A MARGIN OF ERROR WITHIN 100mm

NOTE: EXISTING ROOF STRUCTURE TO BE REMOVED
ALL EXISTING JOINERY TO BE REMOVED & REPLACED



EX FLOOR LAYOUT - 61 sqm
SCALE 1:100 @ A3

S.A - SMOKE ALARMS

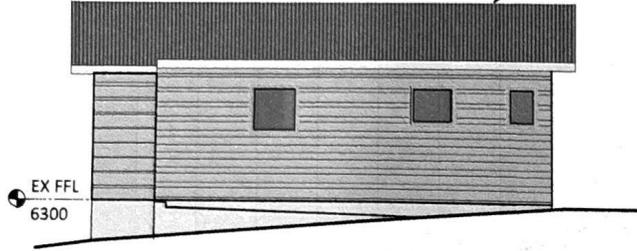
SMOKE ALARMS SHALL BE LOCATED ON THE ESCAPE ROUTES ON ALL LEVELS WITHIN THE HOUSEHOLD UNIT. ON LEVELS CONTAINING THE SLEEPING SPACES, THE SMOKE ALARMS SHALL BE LOCATED EITHER:

- A) IN EVERY SLEEPING SPACE, OR
- B) WITHIN 3.0M OF EVERY SLEEPING SPACE DOOR.

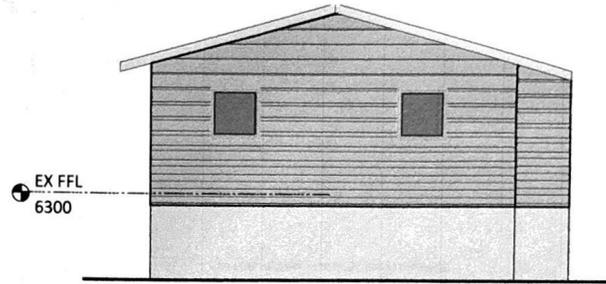
IN THIS CASE, THE SMOKE ALARMS MUST BE AUDIBLE TO SLEEPING OCCUPANTS ON THE OTHER SIDE OF THE CLOSED DOORS. REFER TO 3.3 OF COMPLIANCE DOCUMENT CLAUSE F7-WARNING SYSTEMS

ISSUE	DATE	REVISION		PROJECT 75a HOKIANGA HARBOUR DRIVE SH12 OPONONI	DRAWING EX FLOOR PLAN	SHEET 01.01
230 Hariru Rd Ohaeawai 0472 hayleymealings@gmail.com				CLIENT WENDY CARTER	PROJECT RESOURCE CONSENT ISSUE	SCALE: 1:100 @ A3 DATE: 09/12/24 DRAWN: HM

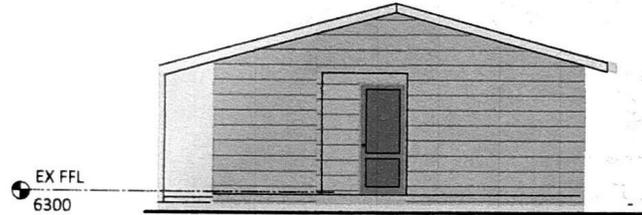
EXISTING ROOFING
STRUCTURE TO BE REMOVED



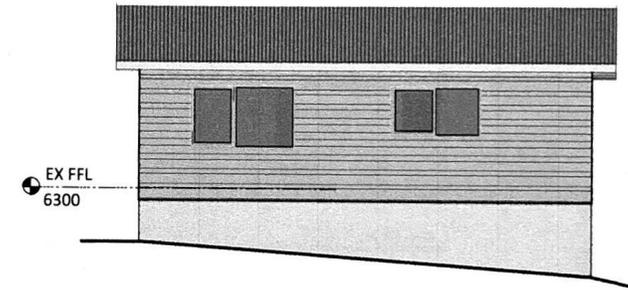
EX SOUTH ELEVATION
SCALE 1:100 @ A3



EX WEST ELEVATION
SCALE 1:100 @ A3



EX EAST ELEVATION
SCALE 1:100 @ A3



EX NORTH ELEVATION
SCALE 1:100 @ A3

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ISSUE	DATE	REVISION		PROJECT 75a HOKIANGA HARBOUR DRIVE SH12 OPONONI	DRAWING EX ELEVATIONS	SHEET: 01.02
				CLIENT WENDY CARTER		
230 Hariru Rd Ohaeawai 0472 hayleymealings@gmail.com			FILE 75a HOKIANGA HARBOUR DR BC1.vwx			DATE: 09/12/24
						DRAWN: HM

Notes

1. PR GLASS/ALUMINIUM BALUSTRADE. REFER TO SHEETS 10.00 - 10.02 FOR SPECIFICATIONS/DETAILS
2. PR RANGEHOOD OVER STOVE

WALL LEGEND:

-  EX WALL
-  WALL TO BE REMOVED
-  PR 90MM THICK WALL

• S.A

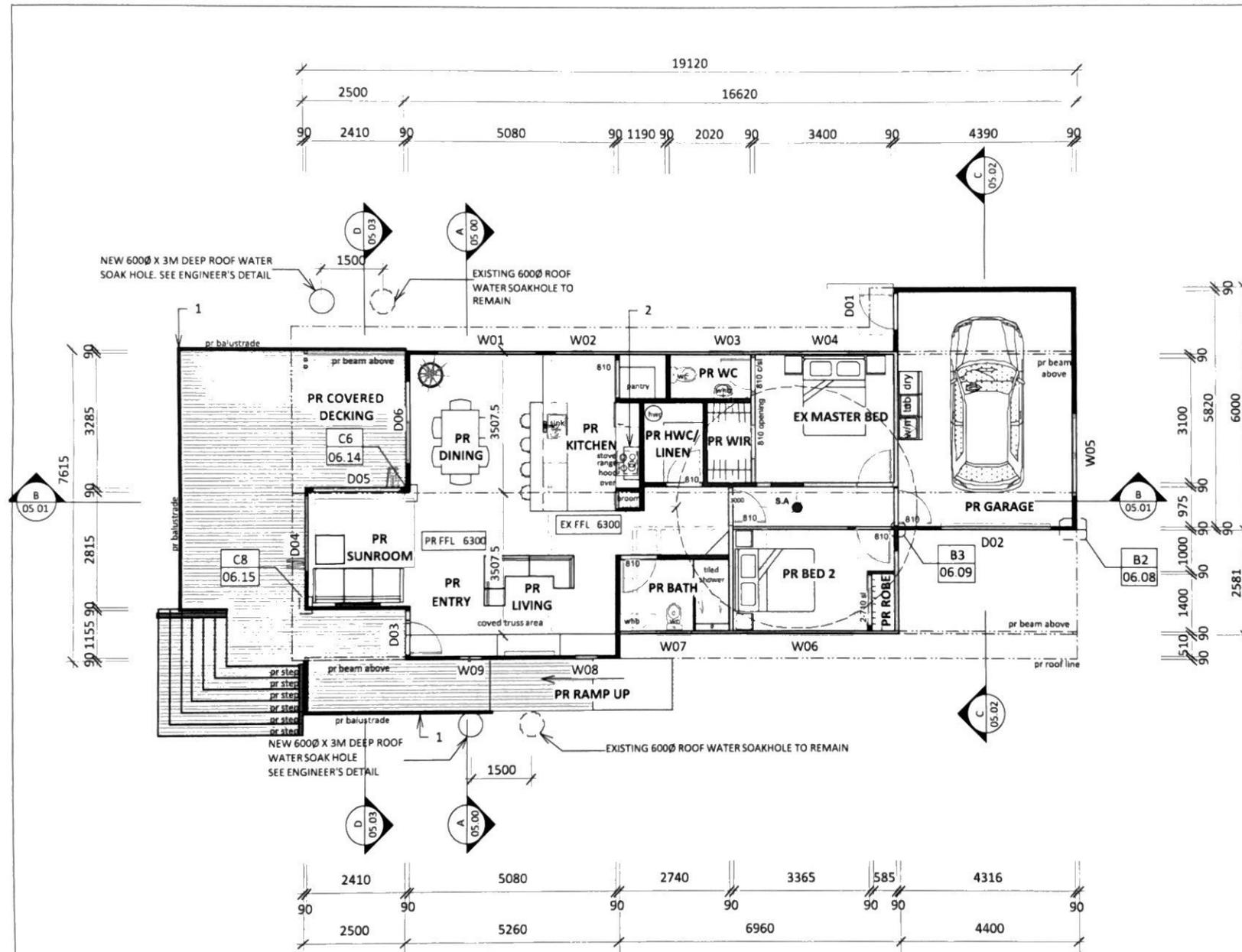
S.A - SMOKE ALARMS

SMOKE ALARMS SHALL BE LOCATED ON THE ESCAPE ROUTES ON ALL LEVELS WITHIN THE HOUSEHOLD UNIT. ON LEVELS CONTAINING THE SLEEPING SPACES, THE SMOKE ALARMS SHALL BE LOCATED EITHER:

- A) IN EVERY SLEEPING SPACE, OR
- B) WITHIN 3.0 M OF EVERY SLEEPING SPACE DOOR. IN THIS CASE, THE SMOKE ALARMS MUST BE AUDIBLE TO SLEEPING OCCUPANTS ON THE OTHER SIDE OF THE CLOSED DOORS. REFER TO 3.3 OF COMPLIANCE DOCUMENT CLAUSE F7-WARNING SYSTEMS

LINTEL SIZES

ID	DIMENSIONS	LINTEL SIZE	FIXING TYPE
D01	925w x 2115	2-90 x 45 SG8 H1.2	F
D02	2715w x 2150h	2-240 x 45 SG8 H1.2	H
D03	1155w x 2215h	L1: 2 - 240 x 45 SG8 H1.2 TOP OF LINTEL FROM FL TO BE 2285mm FOR RB3 END CONNECTION	BASE CONNECTION AS SHOWN ON SHEET 06.22 DETAIL C22 (16 kN FIXING)
D04	1815w x 2215h	2-140 x 45 SG8 H1.2	F
D05	2115w x 2215h	2-190 x 45 SG8 H1.2	H
D06	2015w x 2215h	2-140 x 45 SG8 H1.2	F
W01	2415w x 2215h	2-190 x 45 SG8 H1.2	H
W02	515w x 2000h	2-90 x 45 SG8 H1.2	F
W03	815w x 1000h	2-90 x 45 SG8 H1.2	F
W04	2675w x 1200h	2-240 x 45 SG8 H1.2	H
W05	2015w x 600h	2-140 x 45 SG8 H1.2	F
W06	2675w x 1200h	2-240 x 45 SG8 H1.2	H
W07	815w x 800h	2-90 x 45 SG8 H1.2	F
W08	515w x 1800h	2-90 x 45 SG8 H1.2	F
W09	515w x 1800h	2-90 x 45 SG8 H1.2	F



PR FLOOR LAYOUT - 123 sqm
SCALE 1:100 @ A3

ISSUE DATE REVISION

230 Hariu Rd
Ohaeawai 0472
hayleymealings@gmail.com

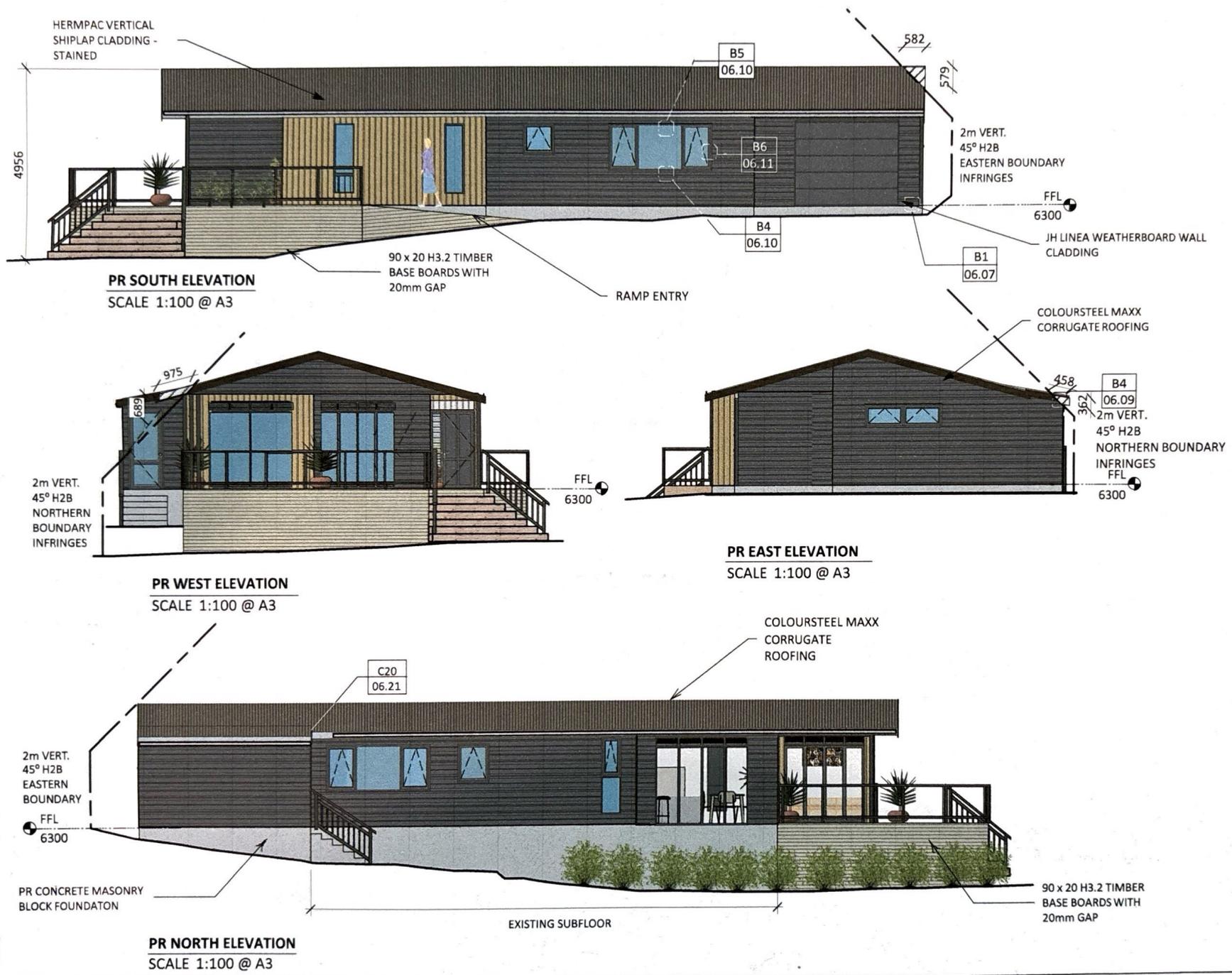


75a HOKIANGA HARBOUR DRIVE
SH12
OPONONI
WENDY CARTER
75a HOKIANGA HARBOUR DR BC1.vwx

PR FLOOR PLAN

RESOURCE CONSENT ISSUE

SHT: 01.03
SCALE: 1:100 @ A3
DATE: 09/12/24
DRAWN: HM



BUILDING ENVELOPE RISK MATRIX - WEST

A) Wind Zone:	VERY HIGH	- 2
B) Number of Storeys:	LOW	- 0
C) Roof/Wall Intersection:	VERY HIGH	- 5
D) Eaves Width:	HIGH	- 2
E) Envelope Complexity:	MEDIUM	- 2
F) Deck Design:	LOW	- 0
TOTAL RISK FACTOR:		11

BUILDING ENVELOPE RISK MATRIX - NORTH

A) Wind Zone:	VERY HIGH	- 2
B) Number of Storeys:	LOW	- 0
C) Roof/Wall Intersection:	VERY HIGH	- 5
D) Eaves Width:	HIGH	- 2
E) Envelope Complexity:	MEDIUM	- 2
F) Deck Design:	LOW	- 0
TOTAL RISK FACTOR:		11

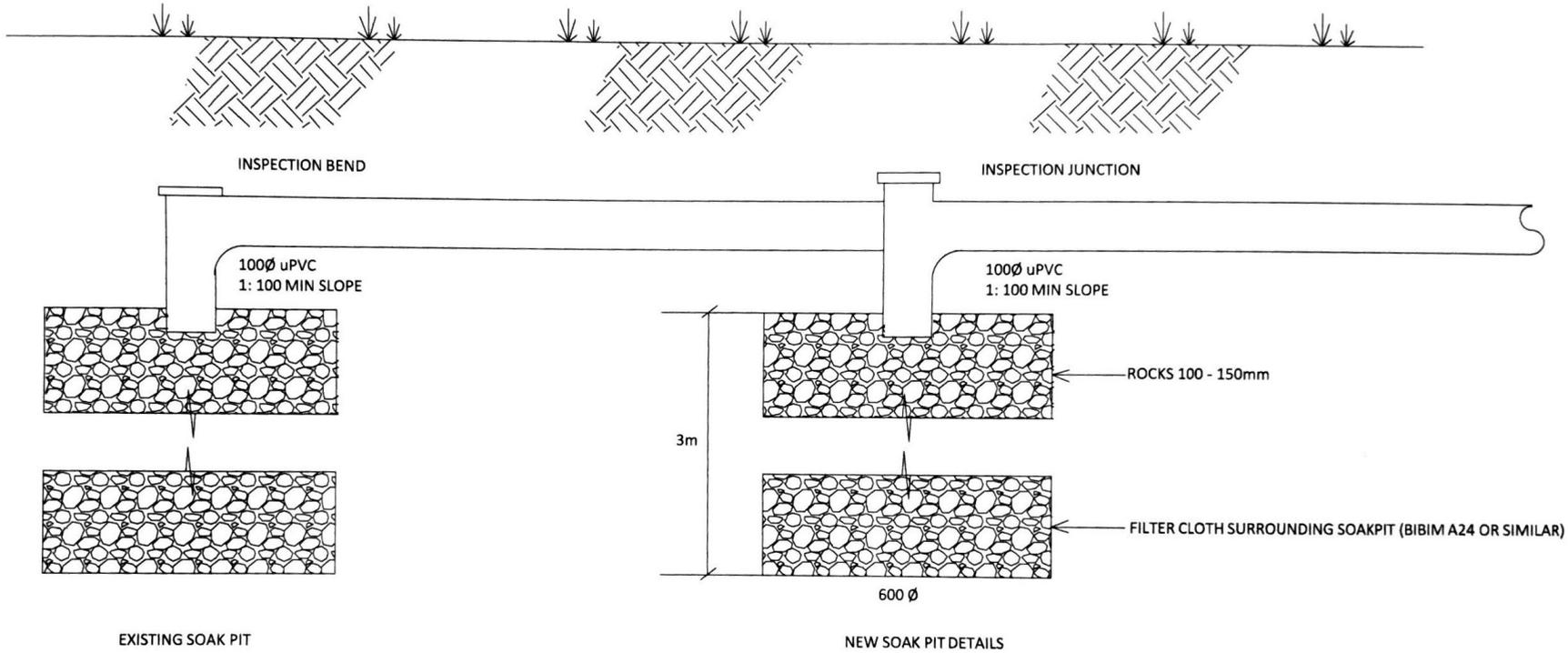
BUILDING ENVELOPE RISK MATRIX - EAST

A) Wind Zone:	VERY HIGH	- 2
B) Number of Storeys:	LOW	- 0
C) Roof/Wall Intersection:	VERY HIGH	- 5
D) Eaves Width:	HIGH	- 2
E) Envelope Complexity:	MEDIUM	- 2
F) Deck Design:	LOW	- 0
TOTAL RISK FACTOR:		11

BUILDING ENVELOPE RISK MATRIX - SOUTH

A) Wind Zone:	VERY HIGH	- 2
B) Number of Storeys:	LOW	- 0
C) Roof/Wall Intersection:	VERY HIGH	- 5
D) Eaves Width:	HIGH	- 2
E) Envelope Complexity:	MEDIUM	- 2
F) Deck Design:	LOW	- 0
TOTAL RISK FACTOR:		11

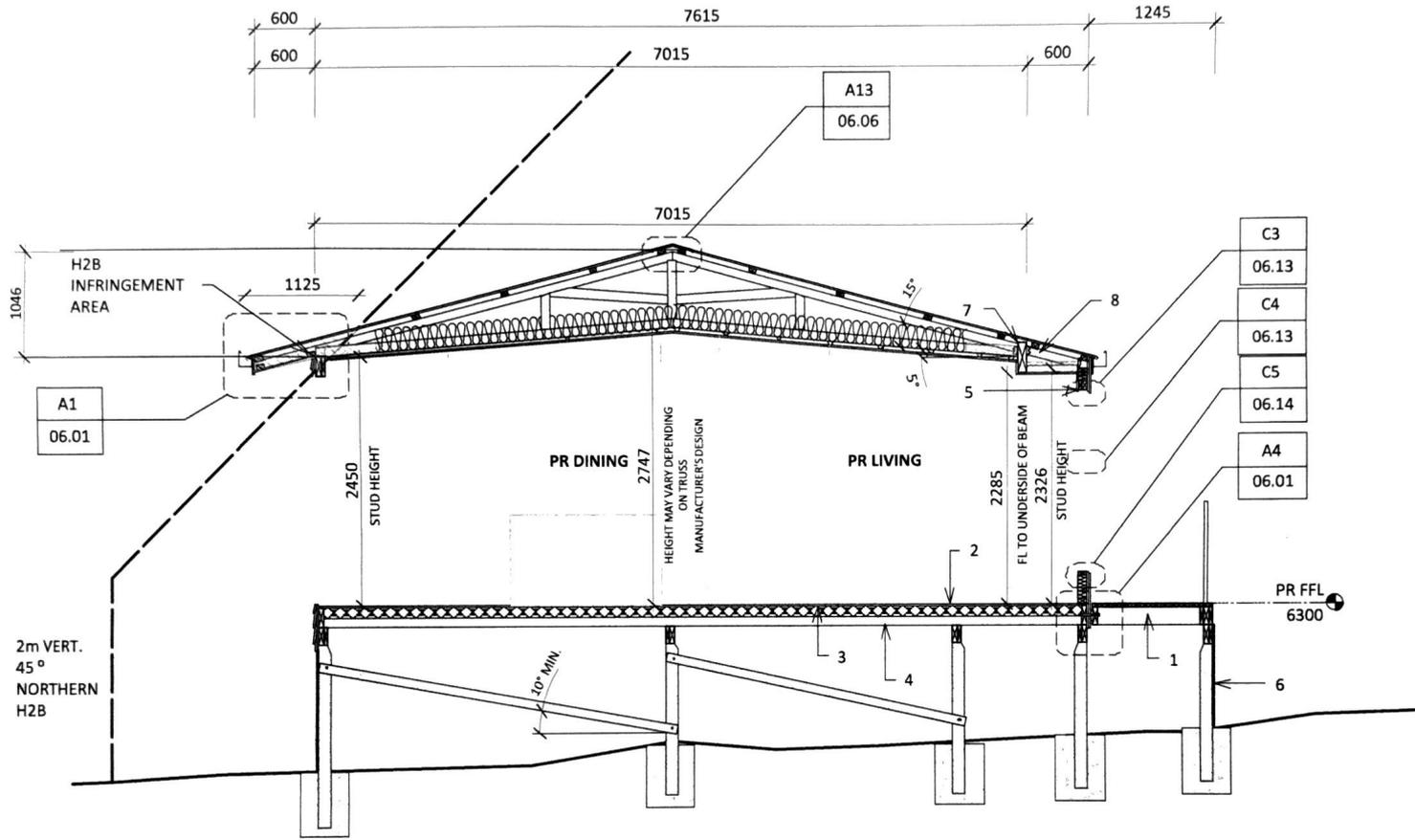
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01.05



STORMWATER SOAK PIT DETAILS

Handwritten signature and date:
 04.03

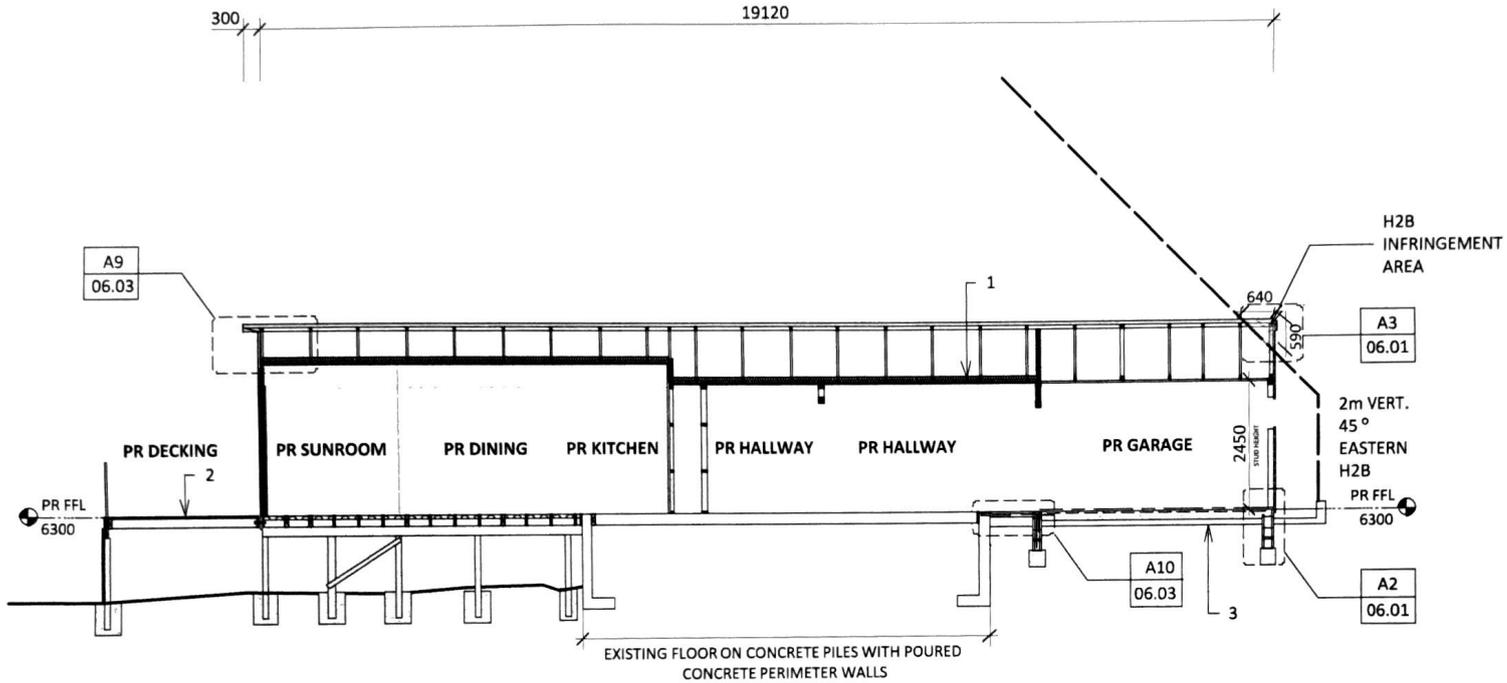
ISSUE	DATE	REVISION		PROJECT 75a HOKIANGA HARBOUR DRIVE SH12 OPONONI	DRAWING SW SOAKPIT DETAILS	SHEET 04.03
				CLIENT WENDY CARTER		
			FILE 75a HOKIANGA HARBOUR DR BC1.vwx			DATE: 09/12/24
230 Harinu Rd Ohāeawai 0472 hayleymealings@gmail.com					DRAWN: HM	



- Notes**
- 190 x 45 SG8 H3.2 DECK JOISTS @ 400 CTRS MAX.
 - 19mm H3.1 ECOPLY FLOORING
 - REFER TO SHEET 0.01 FOR SUBFLOOR INSULATION
 - 190 x 45 SG8 H1.2 HOUSE FLOOR JOISTS @ 450 CTRS
 - 10mm GIB WALL LINING
 - 90 x 20 H3.2 TIMBER BASE BOARDS WITH 20mm GAP
 - FOR TRUSS TO BEAM FIXINGS REFER TO TRUSS DESIGN FOR FIXING REQUIREMENTS
 - 90 x 45 SG8 H1.2 RAFTERS FIXED TO BEAM IN THIS AREA ONLY (ON THIS SIDE ONLY) FIXED TO BEAM WITH 1 - PAIR LUMBERLOK MULTIGRIPS PER CONNECTION. FILL ALL HOLES WITH 30 x 3.15 PRODUCT NAILS. RAFTER TO TOP PLATE FIXING: 1 - PAIR LUMBERLOK CT200 TIES PER CONNECTION. FILL ALL HOLES WITH 30 x 3.15 PRODUCT NAILS

A-A CROSS SECTION A-A
01.03 SCALE 1:50 @ A3

ISSUE	DATE	REVISION		PROJECT 75a HOKIANGA HARBOUR DRIVE SH12 OPONONI	DRAWING CROSS SECTION A-A	SHEET 05.00
230 Hariru Rd Ohaeawai 0472 hayleymealings@gmail.com				CLIENT WENDY CARTER		
				FILE 75a HOKIANGA HARBOUR DR BC1.vwx		DATE: 09/12/24
						DRAWN: HM



B-B CROSS SECTION B-B
01.03 SCALE 1:100 @ A3

Notes

1. REFER TO SHEET 0.01 FOR CEILING INSULATION REQUIREMENTS
2. 90 x 32 GRIP TREAD DECKING. DECKING SPACING: IF MOISTURE CONTENT IS 20% OR LESS THEN ALLOW A 5mm SPACE BEFORE DECKING STRIPS. IF MOISTURE CONTENT IS 21% OR MORE THEN SOFT BUTT EACH DECKING STRIP.
3. EXISTING CONCRETE SLAB. ENGINEER HAS CONFIRMED TO KEEP IN PLACE & ADD A LEVELLING COURSE OF 20 mPa CONCRETE REFER TO ENGINEER'S DETAILS

ISSUE	DATE	REVISION

230 Hariru Rd
Ohaeawai 0472
hayleymealings@gmail.com



PROJECT
75a HOKIANGA HARBOUR DRIVE
SH12
OPONONI

CLIENT
WENDY CARTER

75a HOKIANGA HARBOUR DR BC1.vwx

DRAWING
CROSS SECTION B-B

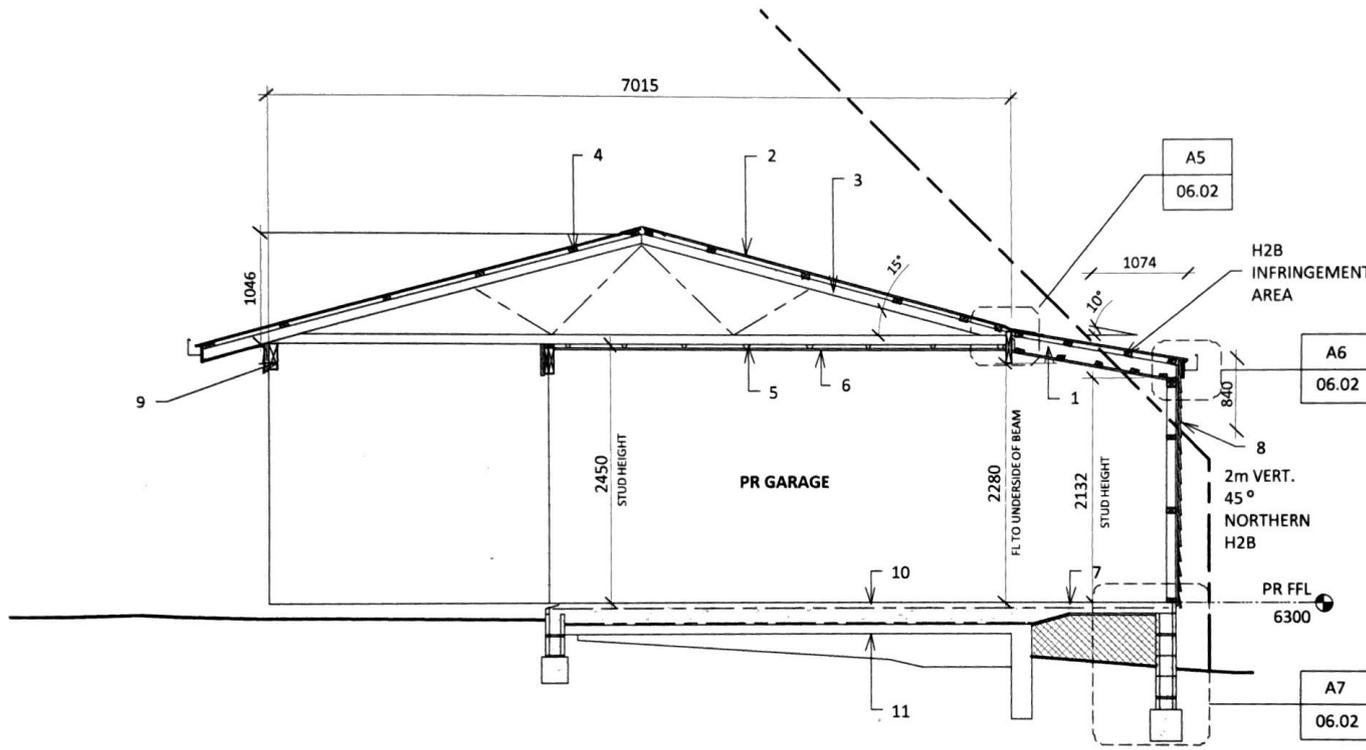
PROJECT
RESOURCE CONSENT ISSUE

SHT:
05.01

SCALE:
1:100 @ A3

DATE:
09/12/24

DRAWN:
HM



C-C | **CROSS SECTION C-C**
01.03 | SCALE 1:50 @ A3

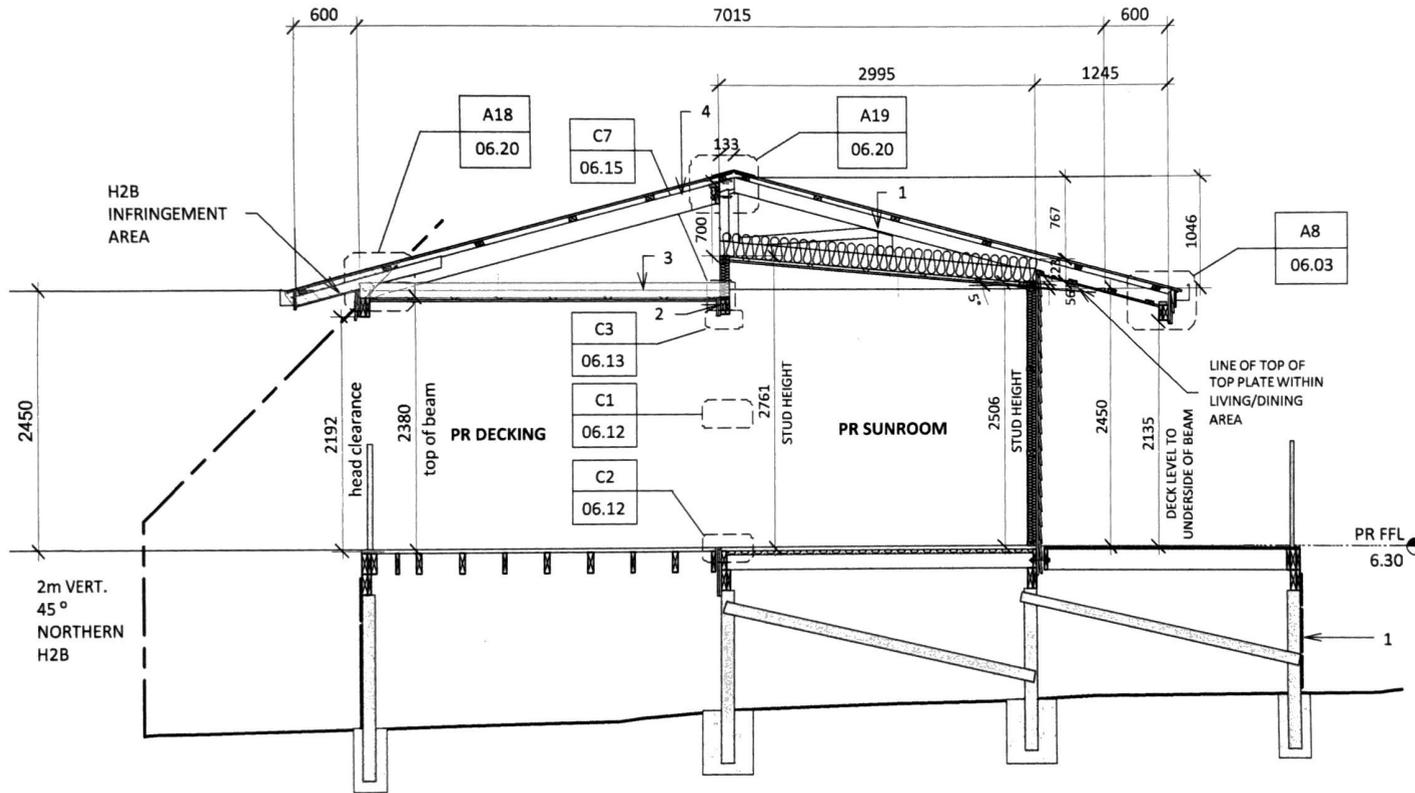
- Notes**
1. 140 x 45 SG8 H1.2 RAFTERS @ 900 CTRS
 2. 0.55 COLOURSTEEL MAXX CORRUGATE ROOFING OVER THERMAKRAFT COVERTEK 407 ROOFING UNDERLAY
 3. TIMBER MITEK SCISSOR TRUSSES @ 900 CTRS. REFER TO TRUSS MANUFACTURER'S SPECIFICATIONS
 4. 70 x 45 SG8 H1.2 PURLINS @ 900 CTRS. FIRST & LAST @ 600 CTRS. FIXED TO TRUSSES PER CONNECTION WITH 1 - ST.ST. LUMBERLOK BLUE SCREW.
 5. GIB RONDO METAL CEILING BATTENS @ 600 CTRS MAX
 6. 15mm PLYWOOD CEILING LINING
 7. 100mm THICK 25MPa CONC FLOOR SLAB, DUCTILE 500 E SE62 MESH 30 TOP COVER (LAP JOINS 225) OVER 0.25 POLYTHENE MOISTURE BARRIER (TAPE ALL CUTS & PENETRATIONS & LAP 225 @ ALL SEAMS) OVER 20mm THICK SAND BLINDING OVER 100mm MIN WELL ROLLED & COMPACTED GAP 40 OR OTHER ACCEPTABLE HARDFILL
 8. JAMES HARDIE LINEA 180 SERIES WEATHERBOARD CLADDING OVER 20mm CAVITY BATTENS & WATERGATE PLUS BUILDING WRAP
 9. RB1: 240 x 90 HYSBAN BEAM. REFER TO DESIGNIT CALCS. TO BE CONCEALED WITH 6mm HARDIFLEX SOFFIT LINING
 10. 200mm THICK 25MPa CONC TOPPING OVER EXISTING SLAB (TO ACHIEVE FLUSH FL WITH EXISTING HOUSE FL), DUCTILE 500 E SE62 MESH 30 TOP COVER (LAP JOINS 225) OVER LIQUID APPLIED DPM
 11. EXISTING SLAB TO REMAIN

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ISSUE	DATE	REVISION	75a HOKIANGA HARBOUR DRIVE SH12 OPONONI	CROSS SECTION C-C	05.02
230 Hariu Rd	Ohaeawai 0472	hayleymealings@gmail.com			
			75a HOKIANGA HARBOUR DR BC1.vwx		09/12/24
					HM

Notes

1. TIMBER MITEK SCISSOR TRUSSES @ 900 CTRS. REFER TO TRUSS MANUFACTURER'S SPECIFICATIONS
2. HERMPAC VERTICAL TIMBER SHIPLAP OVER A 20mm CAVITY SYSTEM & WATERGATE PLUS BUILDING WRAP
3. 140 x 45 SG8 H1.2 CEILING JOISTS @ 600 CTRS MAX. FIXED TO TOP PLATE/BEAM WITH 1 - CPC40 EACH END
4. 190 x 45 SG8 H1.2 RAFTERS (OVER OUTDOOR AREA ONLY) @ 480 CTRS MAX



D-D | **CROSS SECTION D-D**
01.03 | SCALE 1:50 @ A3

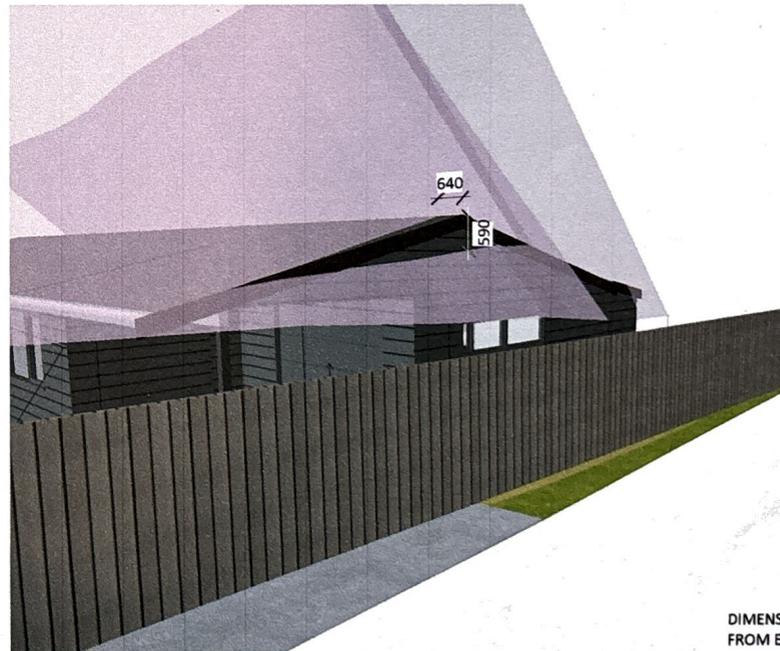
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ISSUE	DATE	REVISION		PROJECT 75a HOKIANGA HARBOUR DRIVE SH12 OPONONI	DRAWING CROSS SECTION D-D	SHT: 05.03
230 Hariru Rd Ohaeawai 0472 hayleymealings@gmail.com				CLIENT WENDY CARTER		
				FILE 75a HOKIANGA HARBOUR DR BC1.vwx		DATE: 09/12/24
						DRAWN: HM



H2B NORTHERN BOUNDARY
NTS

DIMENSIONS SHOWN H2B INFRINGEMENT
FROM EDGE OF ROOFING/WALL FRAMING
(NOT INCLUDING GUTTERING)



H2B EASTERN BOUNDARY
NTS

DIMENSIONS SHOWN H2B INFRINGEMENT
FROM EDGE OF ROOFING/WALL FRAMING

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ISSUE	DATE	REVISION		CLIENT PROJECT 75a HOKIANGA HARBOUR DRIVE SH12 OPONONI	DRAWING H2B PERSPECTIVES	SHEET: 12.00
230 Hariu Rd Ohaeawai 0472 hayleymealings@gmail.com				CLIENT PROJECT WENDY CARTER	PROJECT RESOURCE CONSENT ISSUE	
				PROJECT 75a HOKIANGA HARBOUR DR BC1.vwx		DATE: 09/12/24
						DRAWN: HM

NOTICE OF WRITTEN APPROVAL

Written Approval of Affected Parties in accordance with Section 95E of the Resource Management Act

PART A – To be completed by Applicant

Applicant/s Name:	Carter Family Trust
Address of proposed activity:	75B Hokianga Harbour Drive, Opononi
Legal description:	Lot 2 DP577857
Description of the proposal (including why you need resource consent):	Application for land use resource consent for extensions to an existing dwelling which breaches the permitted standard for setback to boundaries, sunlight and stormwater management within the Coastal Residential Zone.
Details of the application are given in the attached documents & plans (list what documents & plans have been provided to the party being asked to provide written approval):	<ol style="list-style-type: none"> 1. <u>Plan Set prepared by Mealings Architecture</u> 2. _____ 3. _____ 4. _____ 5. _____ 6. _____

Notes to Applicant:

1. Written approval must be obtained from all registered owners and occupiers.
2. The **original copy** of this signed form and **signed plans and accompanying documents** must be supplied to the Far North District Council.
3. The amount and type of information provided to the party from whom you seek written approval should be sufficient to give them a full understanding of your proposal, its effects and why resource consent is needed.

PART B – To be completed by Parties giving approval

Notes to the party giving written approval:

1. If the owner and the occupier of your property are different people then separate written approvals are required from each.
2. You should only sign in the place provided on this form and accompanying plans and documents if you **fully understand** the proposal and if you **support** or have **no opposition** to the proposal. Council will not accept conditional approvals. If you have conditions on your approval, these should be discussed and resolved with the applicant directly.
3. Please note that when you give your written approval to an application, council cannot take into consideration any actual or potential effects of the proposed activity on you unless you formally withdraw your written approval **before** a decision has been made as to whether the application is to be notified or not. After that time you can no longer withdraw your written approval.
4. Please sign and date all associated plans and documentation as referenced overleaf and return with this form.
5. If you have any concerns about giving your written approval or need help understanding this process, please feel free to contact the duty planner on 0800 920 029 or (09) 401 5200.

Full name/s of party giving approval:

Francis Nicola Ball and Wayne Robert Versey

Address of affected property including legal description

73 Hokianga Harbour Drive, Opononi / Part Lot 14 DP16906

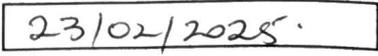
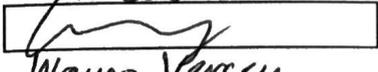
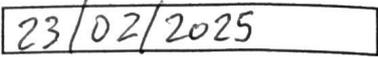
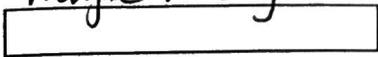
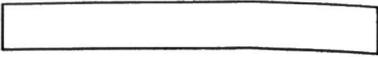
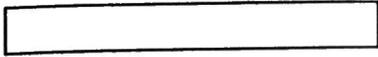
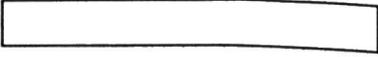
Contact Phone Number/s and email address

Daytime: 02102997534 email: fnbnz@yahoo.com

I am/we are the OWNER(S) / OCCUPIER(S) of the property (circle which is applicable)

Please note: in most instances the approval of all the legal owners and the occupiers of the affected property will be necessary.

1. I/We have been provided with the details concerning the application submitted to Council and understand the proposal and aspects of non-compliance with the Operative District Plan.
2. I/We have signed each page of the plans and documentation in respect of this proposal (these need to accompany this form).
3. I/We understand and accept that once I/we give my/our approval the Consent Authority (Council) cannot take account of any actual or potential effect of the activity and/or proposal upon me/us when considering the application and the fact that any such effect may occur shall not be relevant grounds upon which the Consent Authority may refuse to grant the application.
4. I/We understand that at any time before the notification decision is made on the application, I/we may give notice in writing to Council that this approval is withdrawn.

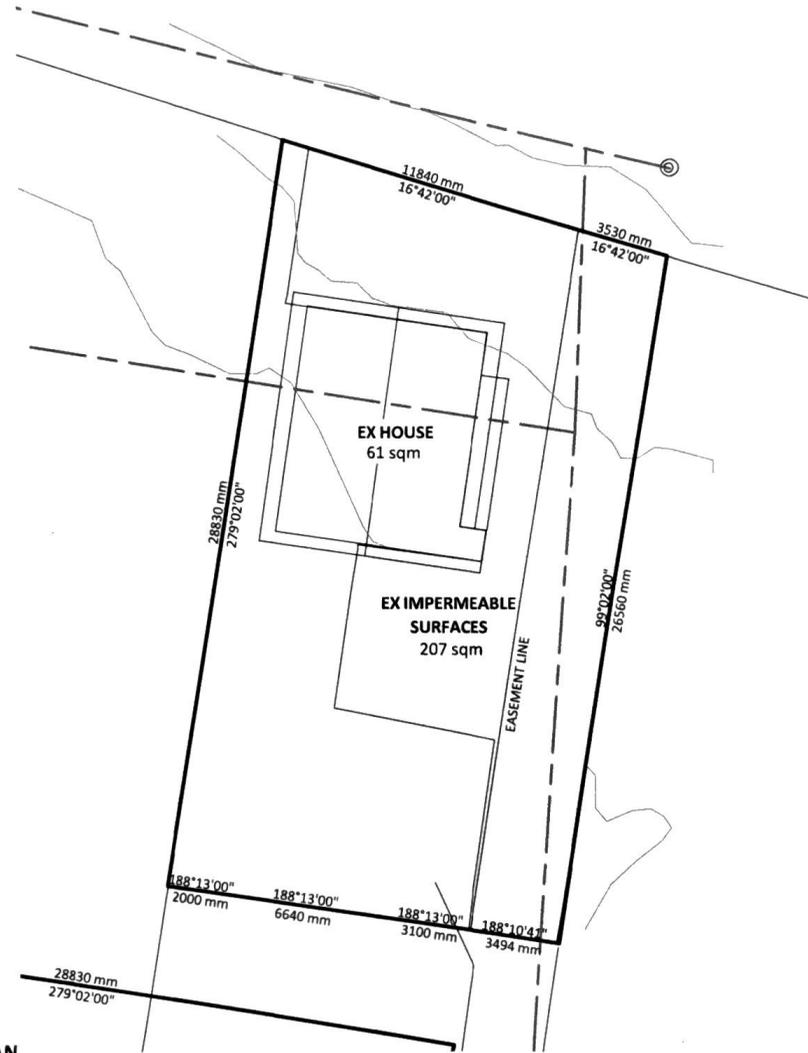
Signature		Date	
	FRANCES BALL.		
Signature		Date	
Signature		Date	
Signature		Date	

75a HOKIANGA HARBOUR DRIVE, STATE HIGHWAY 12, OMAPERE

Lot 2 DP 16906

WIND ZONE: VERY HIGH
 EARTHQUAKE ZONE: 1
 EXPOSURE ZONE: D
 CLIMATE ZONE: 1
 SNOW LOADING: NO
 SITE AREA: 422 SQM
 DISTRICT ZONE: FAR NORTH DISTRICT COUNCIL
 COASTAL RESIDENTIAL

PR BUILDING COVERAGE
 61 sqm (14%)
 COMPLIES
 PR IMPERMEABLE COVERAGE
 207 sqm (49%)
 COMPLIES



EX SITE PLAN
 SCALE 1:200 @ A3

Hayley Carter

ISSUE	DATE	REVISION		PROJECT: 75a HOKIANGA HARBOUR DRIVE SH12 OPONONI CLIENT: WENDY CARTER FILE: 75a HOKIANGA HARBOUR DR BC1.vwx	DRAWING: EX SITE PLAN PROJECT: RESOURCE CONSENT ISSUE	SH1: 0.02 SCALE: 1:200 @ A3 DATE: 09/12/24 DRAWN: HM
230 Hariru Rd Ohaeawai 0472 hayleymealings@gmail.com						

75a HOKIANGA HARBOUR DRIVE, STATE HIGHWAY 12, OMAPERE

Lot 2 DP 16906

WIND ZONE: VERY HIGH
 EARTHQUAKE ZONE: 1
 EXPOSURE ZONE: D
 CLIMATE ZONE: 1
 SNOW LOADING: NO
 SITE AREA: 422 SQM
 DISTRICT ZONE: FAR NORTH DISTRICT COUNCIL
 COASTAL RESIDENTIAL

PR BUILDING COVERAGE
 28 + 60.5 + 35 = 123.5 sqm (29%)
 COMPLIES
 PR IMPERMEABLE COVERAGE
 60 + 28 + 35 + 44 + 150 = 317 sqm (75%)
 DOES NOT COMPLY

10.8.5.1.2 RESIDENTIAL INTENSITY

EACH RESIDENTIAL UNIT FOR A SINGLE HOUSEHOLD SHALL HAVE AVAILABLE TO IT A MINIMUM NET SITE AREA OF:

SEWERED SITES: 800 sqm
 UNSEWERED SITES: 3000 sqm

THIS MINIMUM NET SITE AREA MAY BE FOR THE EXCLUSIVE USE OF THE RESIDENTIAL UNIT, OR AS PART OF LAND HELD ELSEWHERE ON THE PROPERTY, PROVIDED THAT A RATIO OF ONE RESIDENTIAL UNIT PER MINIMUM NET SITE AREA IS NOT EXCEEDED
COMPLIES

10.8.5.1.4 BUILDING HEIGHT

THE MAXIMUM HEIGHT OF ANY BUILDING SHALL BE 8m **COMPLIES**

10.8.5.1.5 SUNLIGHT

NO PART OF ANY BUILDING SHALL PROJECT BEYOND A 45 DEGREE RECESSION PLANE AS MEASURED INWARDS FROM ANY POINT 2m VERTICALLY ABOVE GROUND LEVEL ON ANY SITE BOUNDARY EXCEPT THAT:
 a) A BUILDING MAY EXCEED THE STANDARD FOR A MAXIMUM DISTANCE OF 10m ALONG ANY ONE BOUNDARY OTHER THAN A ROAD BOUNDARY, PROVIDED THAT THE MAXIMUM HEIGHTS OF ANY BUILDING WHERE IT EXCEEDS THE STANDARD IS 2.7m.
DOES NOT COMPLY - REFER TO SHEET 12.00

10.8.5.1.6 STORMWATER MANAGEMENT

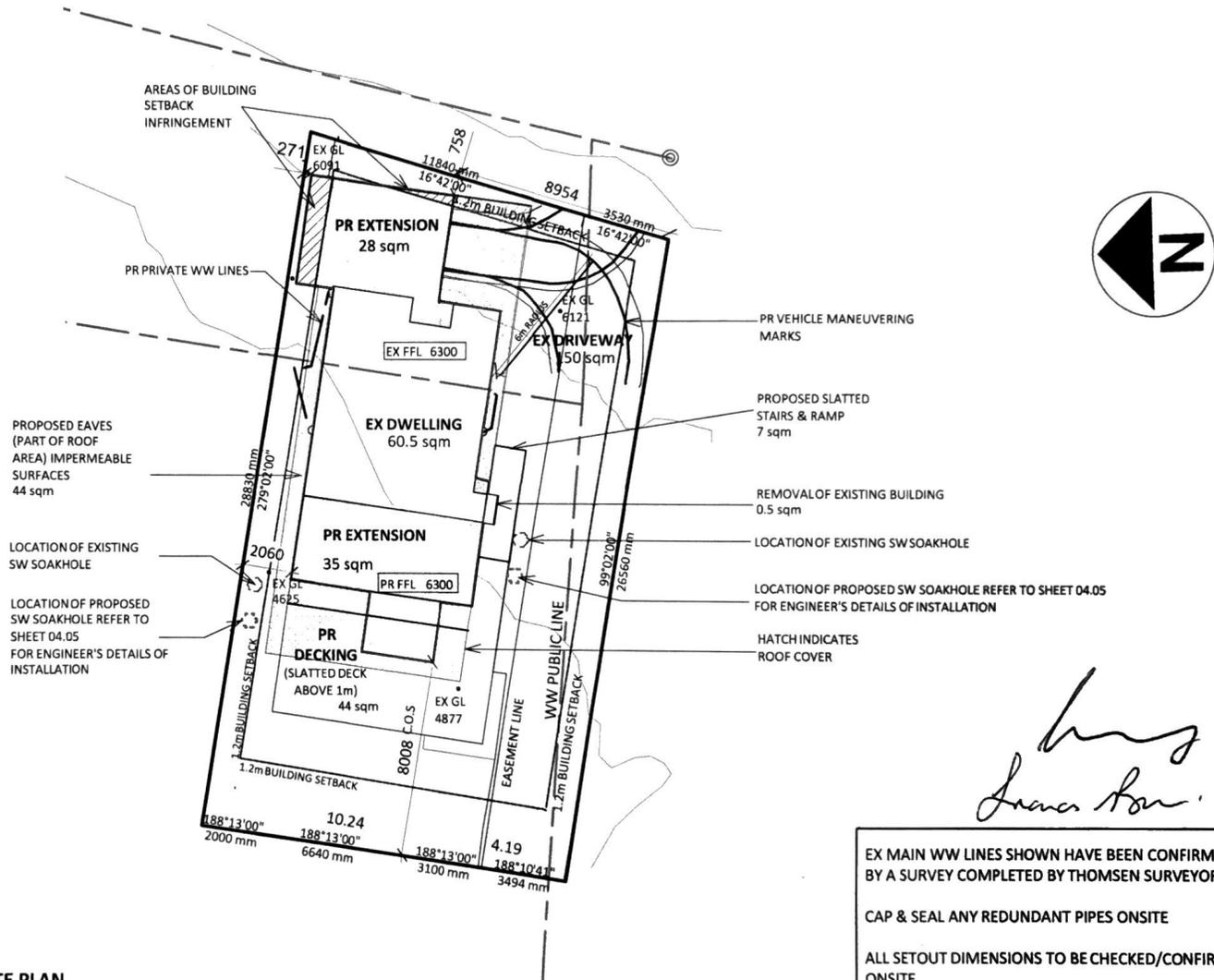
THE MAXIMUM PROPORTION OF THE GROSS SITE AREA COVERED BY BUILDING AND OTHER IMPERMEABLE SURFACES SHALL BE 50% OR 1000sqm; WHICHEVER IS THE LESSER
DOES NOT COMPLY

10.8.5.1.16 BUILDING COVERAGE

ANY NEW BUILDING OR ALTERATION/ADDITION TO AN EXISTING BUILDING IS A PERMITTED ACTIVITY IF THE TOTAL BUILDING COVERAGE OF A SITE DOES NOT EXCEED 45% OR 900 sqm, WHICHEVER IS THE LESSER OF THE GROSS SITE AREA **COMPLIES**

10.8.5.1.7 BUILDING SETBACKS

a) THE MINIMUM BUILDING SETBACK FROM ROAD BOUNDARIES SHALL BE 3m; AND
 b) THE MINIMUM SETBACK FROM ANY BOUNDARY APART FROM A ROAD BOUNDARY IS 1.2m EXCEPT THAT NO SET-BACK IS REQUIRED FOR A MAXIMUM TOTAL LENGTH OF 10m ALONG ANY ONE SUCH BOUNDARY AND
 c) NOT LESS THAN 50% OF THAT PART OF THE SITE BETWEEN THE ROAD BOUNDARY AND A PARALLEL LINE 2m THEREFROM SHALL BE LANDSCAPED
DOES NOT COMPLY



PR SITE PLAN
 1:200 @ A3

EX MAIN WW LINES SHOWN HAVE BEEN CONFIRMED BY A SURVEY COMPLETED BY THOMSEN SURVEYORS
 CAP & SEAL ANY REDUNDANT PIPES ONSITE
 ALL SETOUT DIMENSIONS TO BE CHECKED/CONFIRMED ONSITE

NO PROPOSED EXCAVATIONS WITHIN THIS BUILDING CONSENT



Lucas Brown

ISSUE	DATE	REVISION		PROJECT	75a HOKIANGA HARBOUR DRIVE SH12 OPONONI	DRAWING	PR SITE PLAN	SHT:	0.03
CLIENT	WENDY CARTER	PROJECT		75a HOKIANGA HARBOUR DR BC1.vwx	SCALE:				
230 Hariru Rd Ohaeawai 0472 haylmealings@gmail.com			Mealings Architecture	PROJECT	75a HOKIANGA HARBOUR DR BC1.vwx	PROJECT	RESOURCE CONSENT ISSUE	DATE:	09/12/24
						PROJECT		DRAWN:	HM

75a HOKIANGA HARBOUR DRIVE, STATE HIGHWAY 12, OMAPERE

Lot 2 DP 16906

WIND ZONE:	VERY HIGH
EARTHQUAKE ZONE:	1
EXPOSURE ZONE:	D
CLIMATE ZONE:	1
SNOW LOADING:	NO
SITE AREA:	422 SQM
DISTRICT ZONE:	FAR NORTH DISTRICT COUNCIL COASTAL RESIDENTIAL

10.8.5.1.2 RESIDENTIAL INTENSITY

EACH RESIDENTIAL UNIT FOR A SINGLE HOUSEHOLD SHALL HAVE AVAILABLE TO IT A MINIMUM NET SITE AREA OF:

SEWERED SITES: 800 sqm

UNSEWERED SITES: 3000 sqm

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COMPLIES

10.8.5.1.4 BUILDING HEIGHT

THE MAXIMUM HEIGHT OF ANY BUILDING SHALL BE 8m **COMPLIES**

10.8.5.1.5 SUNLIGHT

NO PART OF ANY BUILDING SHALL PROJECT BEYOND A 45 DEGREE RECESSION PLANE AS MEASURED INWARDS FROM ANY POINT 2m VERTICALLY ABOVE GROUND LEVEL ON ANY SITE BOUNDARY EXCEPT THAT:

a) A BUILDING MAY EXCEED THE STANDARD FOR A MAXIMUM DISTANCE OF 10m ALONG ANY ONE BOUNDARY OTHER THAN A ROAD BOUNDARY, PROVIDED THAT THE MAXIMUM HEIGHTS OF ANY BUILDING WHERE IT EXCEEDS THE STANDARD IS 2.7m.

DOES NOT COMPLY - REFER TO SHEET 12.00

10.8.5.1.6 STORMWATER MANAGEMENT

THE MAXIMUM PROPORTION OF THE GROSS SITE AREA COVERED BY BUILDING AND OTHER IMPERMEABLE SURFACES SHALL BE 50% OR 1000sqm: WHICHEVER IS THE LESSER

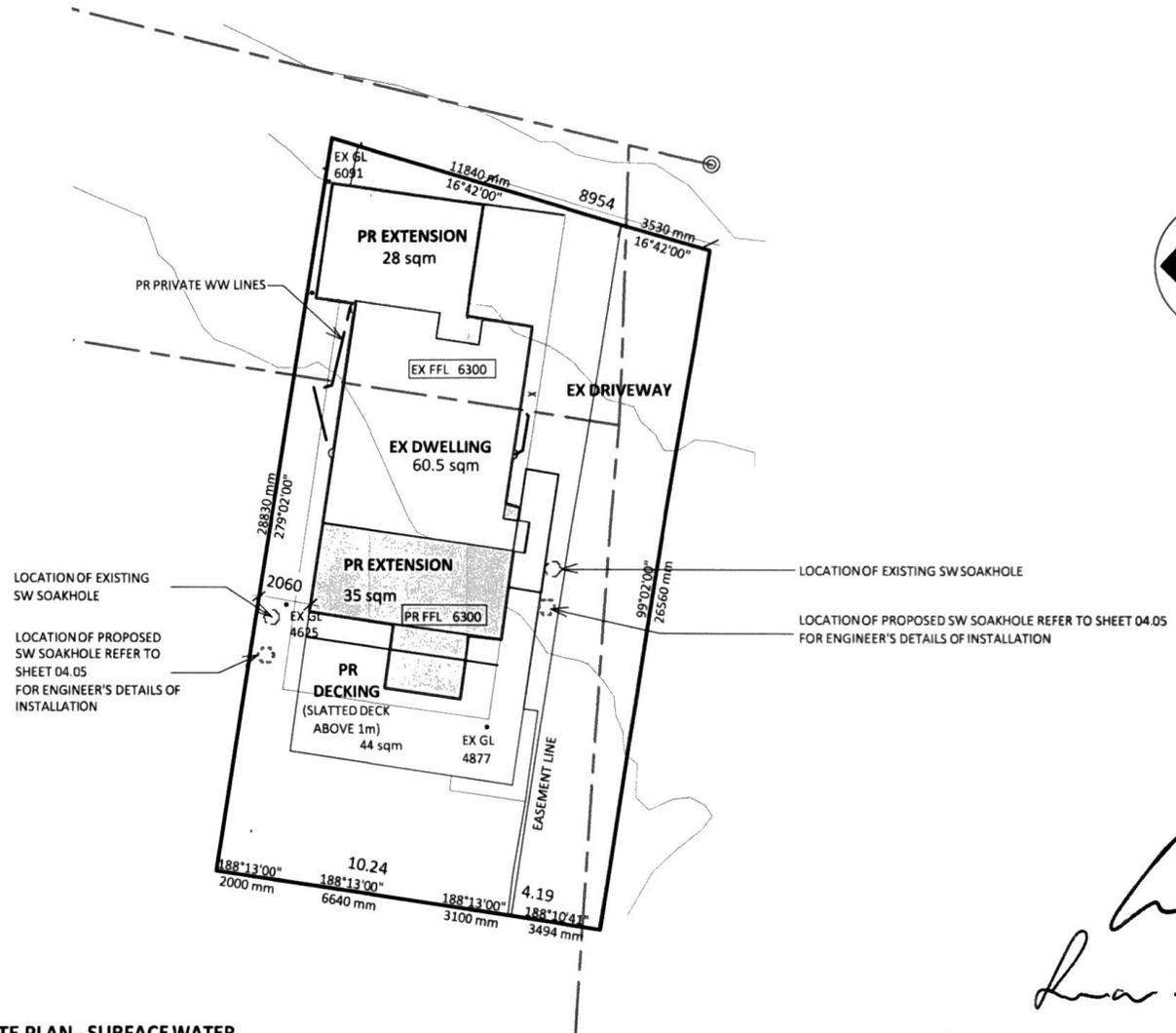
DOES NOT COMPLY

10.8.5.1.16 BUILDING COVERAGE

ANY NEW BUILDING OR ALTERATION/ADDITION TO AN EXISTING BUILDING IS A PERMITTED ACTIVITY IF THE TOTAL BUILDING COVERAGE OF A SITE DOES NOT EXCEED 45% OR 900 sqm, WHICHEVER IS THE LESSER OF THE GROSS SITE AREA **COMPLIES**

10.8.5.1.7 BUILDING SETBACKS

- a) THE MINIMUM BUILDING SETBACK FROM ROAD BOUNDARIES SHALL BE 3m; AND
- b) THE MINIMUM SETBACK FROM ANY BOUNDARY APART FROM A ROAD BOUNDARY IS 1.2m EXCEPT THAT NO SET-BACK IS REQUIRED FOR A MAXIMUM TOTAL LENGTH OF 10m ALONG ANY ONE SUCH BOUNDARY AND
- c) NOT LESS THAN 50% OF THAT PART OF THE SITE BETWEEN THE ROAD BOUNDARY AND A PARALLEL LINE 2m THEREFROM SHALL BE LANDSCAPED
- DOES NOT COMPLY**



ISSUE	DATE	REVISION



PROJECT	75a HOKIANGA HARBOUR DRIVE SH12 OPONONI
CLIENT	WENDY CARTER
PROJECT	75a HOKIANGA HARBOUR DR BC1.vwx

DRAWING	PR SITE PLAN - SURFACE WATER
PROJECT	RESOURCE CONSENT ISSUE

SHT:	0.04
SCALE:	1:200 @ A3
DATE:	09/12/24
DRAWN:	HM

230 Hariru Rd
Ohaeawai 0472
hayleymealings@gmail.com

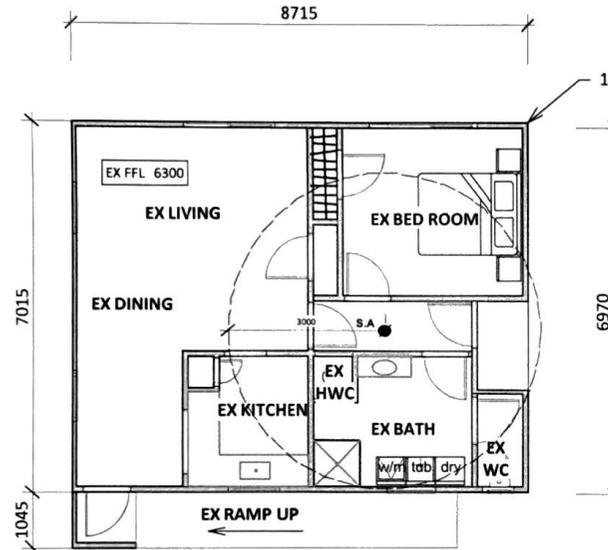
Notes

1. EXISTING FOUNDATION IS A CONCRETE SLAB

GENERAL NOTES:

- * EX WINDOW + DOOR SIZES AND LOCATIONS ARE FOR INFORMATION PURPOSE ONLY.
- * ALL EXISTING DIMENSIONS TO BE CONFIRMED ON SITE PRIOR TO COMMENCING ANY WORKS, ANY DISCREPANCIES TO BE REPORTED TO THE DESIGNER.
- * EX ROOFING PITCH YET TO BE CONFIRMED
- * EXISTING DIMENSIONS TO HAVE A MARGIN OF ERROR WITHIN 100mm

NOTE: EXISTING ROOF STRUCTURE TO BE REMOVED
ALL EXISTING JOINERY TO BE REMOVED & REPLACED

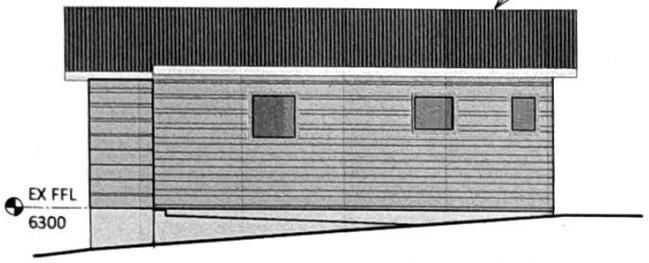


EX FLOOR LAYOUT - 61 sqm
SCALE 1:100 @ A3

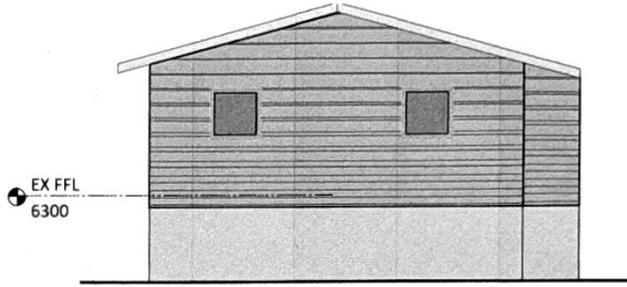
- **S.A - SMOKE ALARMS**
SMOKE ALARMS SHALL BE LOCATED ON THE ESCAPE ROUTES ON ALL LEVELS WITHIN THE HOUSEHOLD UNIT. ON LEVELS CONTAINING THE SLEEPING SPACES, THE SMOKE ALARMS SHALL BE LOCATED EITHER:
A) IN EVERY SLEEPING SPACE, OR
B) WITHIN 3.0 M OF EVERY SLEEPING SPACE DOOR. IN THIS CASE, THE SMOKE ALARMS MUST BE AUDIBLE TO SLEEPING OCCUPANTS ON THE OTHER SIDE OF THE CLOSED DOORS. REFER TO 3.3 OF COMPLIANCE DOCUMENT CLAUSE F7-WARNING SYSTEMS

ISSUE	DATE	REVISION		75a HOKIANGA HARBOUR DRIVE SH12 OPONONI WENDY CARTER	PROJECT DRAWING EX FLOOR PLAN	SH 01.01
230 Hariru Rd Ohaeawai 0472 hayleymealings@gmail.com				75a HOKIANGA HARBOUR DR BC1.vwx	PROJECT DRAWING RESOURCE CONSENT ISSUE	

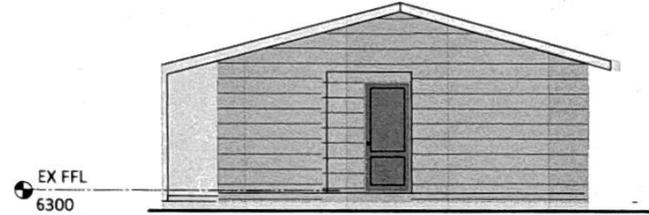
EXISTING ROOFING
STRUCTURE TO BE REMOVED



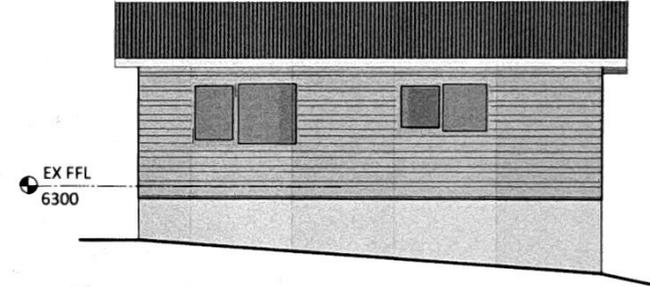
EX SOUTH ELEVATION
SCALE 1:100 @ A3



EX WEST ELEVATION
SCALE 1:100 @ A3



EX EAST ELEVATION
SCALE 1:100 @ A3



EX NORTH ELEVATION
SCALE 1:100 @ A3

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ISSUE	DATE	REVISION		PROJECT 75a HOKIANGA HARBOUR DRIVE SH12 OPONONI	DRAWN EX ELEVATIONS	SHEET: 01.02
				CLIENT WENDY CARTER		
230 Hariru Rd Ohaeawai 0472 hayleymealings@gmail.com				PROJECT 75a HOKIANGA HARBOUR DR BC1.vwx	DRAWN RESOURCE CONSENT ISSUE	DATE: 09/12/24
						DRAWN: HM

- Notes
1. PR GLASS/ALUMINIUM BALUSTRADE. REFER TO SHEETS 10.00 -10.02 FOR SPECIFICATIONS/DETAILS
 2. PR RANGEHOOD OVER STOVE

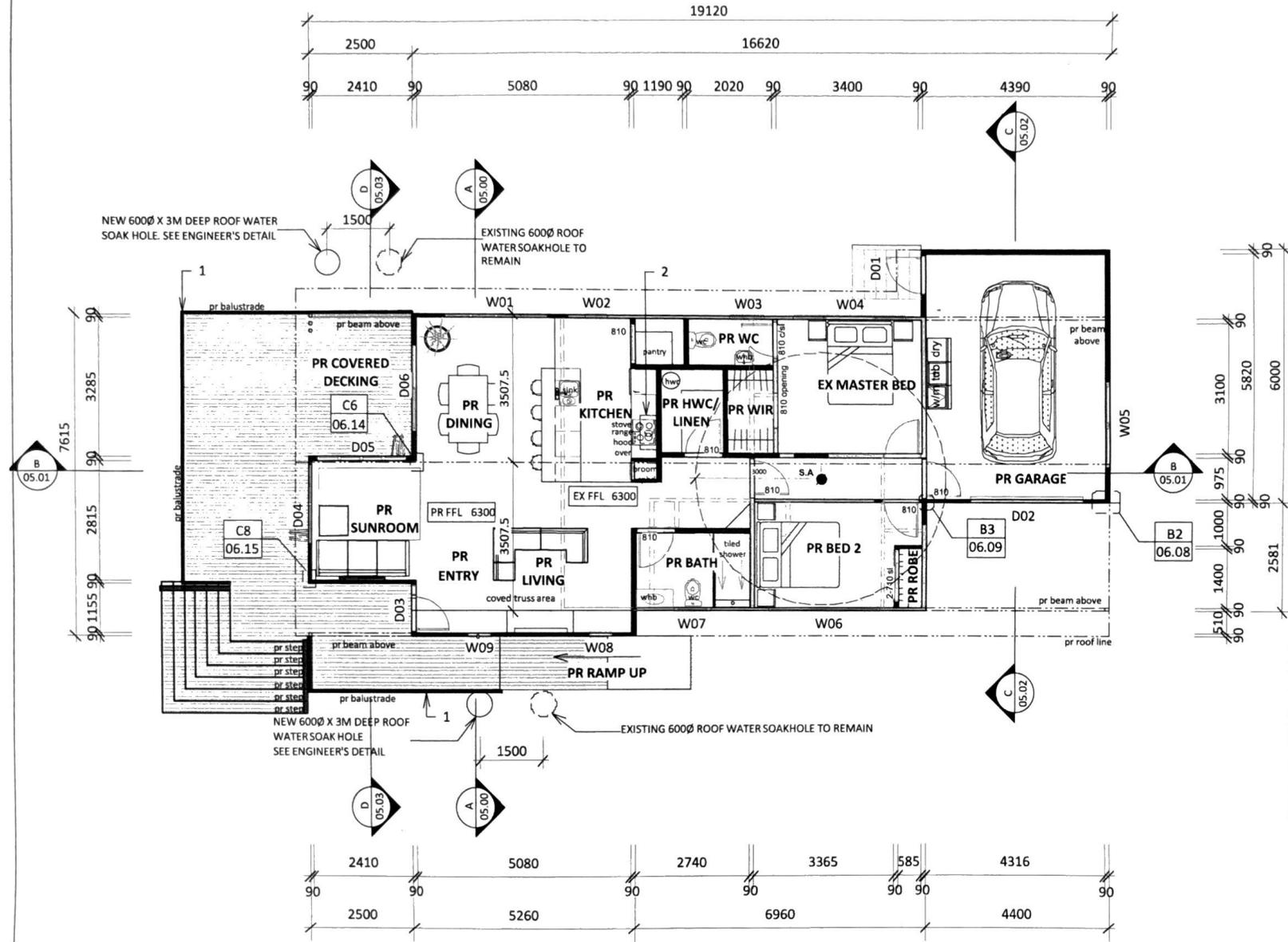
WALL LEGEND:

	EX WALL
	WALL TO BE REMOVED
	PR 90MM THICK WALL

S.A - SMOKE ALARMS
 SMOKE ALARMS SHALL BE LOCATED ON THE ESCAPE ROUTES ON ALL LEVELS WITHIN THE HOUSEHOLD UNIT. ON LEVELS CONTAINING THE SLEEPING SPACES, THE SMOKE ALARMS SHALL BE LOCATED EITHER:
 A) IN EVERY SLEEPING SPACE, OR
 B) WITHIN 3.0 M OF EVERY SLEEPING SPACE DOOR. IN THIS CASE, THE SMOKE ALARMS MUST BE AUDIBLE TO SLEEPING OCCUPANTS ON THE OTHER SIDE OF THE CLOSED DOORS. REFER TO 3.3 OF COMPLIANCE DOCUMENT CLAUSE F7-WARNING SYSTEMS

LINTEL SIZES

ID	DIMENSIONS	LINTEL SIZE	FIXING TYPE
D01	925w x 2115	2-90 x 45 SG8 H1.2	F
D02	2715w x 2150h	2-240 x 45 SG8 H1.2	H
D03	1155w x 2215h	L1: 2 - 240 x 45 SG8 H1.2 TOP OF LINTEL FROM FL TO BE 2285mm FOR RB3 END CONNECTION	BASE CONNECTION AS SHOWN ON SHEET 06.22 DETAIL C22 (16 kN FIXING)
D04	1815w x 2215h	2-140 x 45 SG8 H1.2	F
D05	2115w x 2215h	2-190 x 45 SG8 H1.2	H
D06	2015w x 2215h	2-140 x 45 SG8 H1.2	F
W01	2415w x 2215h	2-190 x 45 SG8 H1.2	H
W02	515w x 2000h	2-90 x 45 SG8 H1.2	F
W03	815w x 1000h	2-90 x 45 SG8 H1.2	F
W04	2675w x 1200h	2-240 x 45 SG8 H1.2	H
W05	2015w x 600h	2-140 x 45 SG8 H1.2	F
W06	2675w x 1200h	2-240 x 45 SG8 H1.2	H
W07	815w x 800h	2-90 x 45 SG8 H1.2	F
W08	515w x 1800h	2-90 x 45 SG8 H1.2	F
W09	515w x 1800h	2-90 x 45 SG8 H1.2	F



PR FLOOR LAYOUT - 123 sqm
 SCALE 1:100 @ A3

ISSUE DATE REVISION
 230 Haruru Rd
 Ohauwahi 0472
 hayleymealings@gmail.com

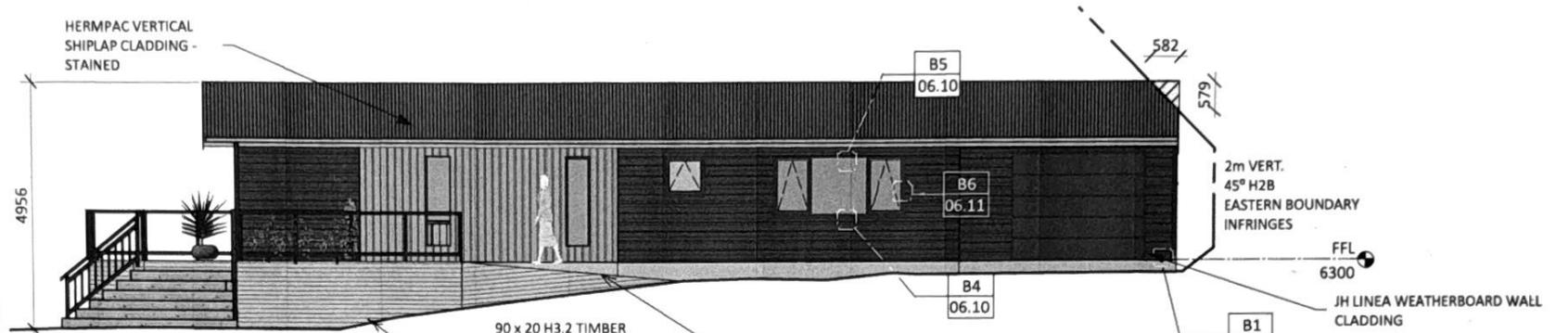


PROJECT: 75a HOKIANGA HARBOUR DRIVE SH12 OPONONI
 CLIENT: WENDY CARTER
 FILE: 75a HOKIANGA HARBOUR DR BC1.vwx

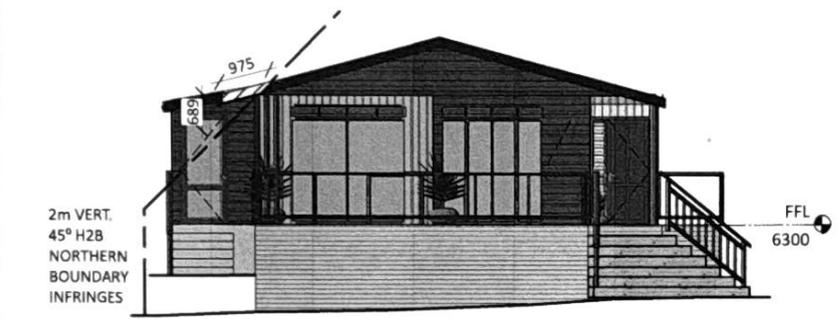
PR FLOOR PLAN
 RESOURCE CONSENT ISSUE

Handwritten signatures and initials

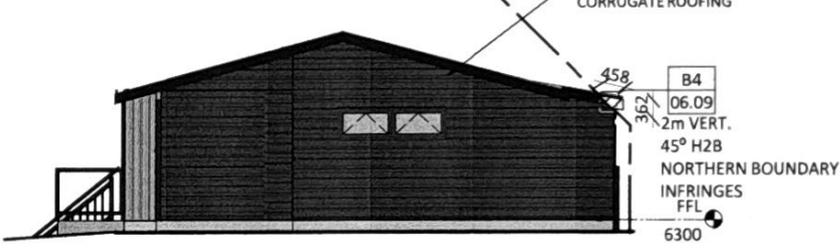
BHT: 01.03
 SCALE: 1:100 @ A3
 DATE: 09/12/24
 DRAWN: HM



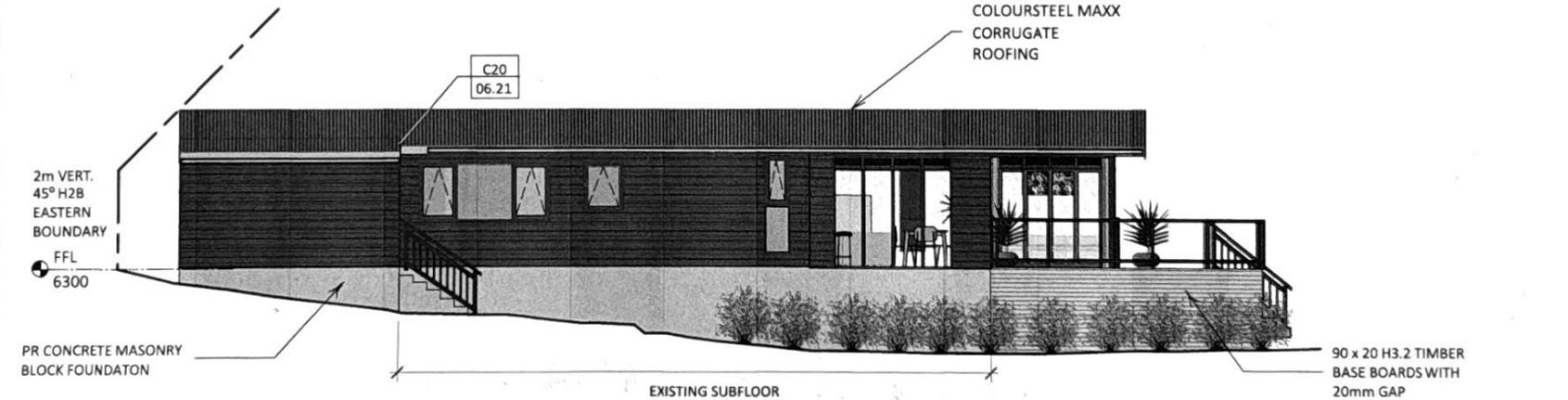
PR SOUTH ELEVATION
SCALE 1:100 @ A3



PR WEST ELEVATION
SCALE 1:100 @ A3



PR EAST ELEVATION
SCALE 1:100 @ A3



PR NORTH ELEVATION
SCALE 1:100 @ A3

BUILDING ENVELOPE RISK MATRIX - WEST

A) Wind Zone:	VERY HIGH	- 2
B) Number of Storeys:	LOW	- 0
C) Roof/Wall Intersection:	VERY HIGH	- 5
D) Eaves Width:	HIGH	- 2
E) Envelope Complexity:	MEDIUM	- 2
F) Deck Design:	LOW	- 0
TOTAL RISK FACTOR:		11

BUILDING ENVELOPE RISK MATRIX - NORTH

A) Wind Zone:	VERY HIGH	- 2
B) Number of Storeys:	LOW	- 0
C) Roof/Wall Intersection:	VERY HIGH	- 5
D) Eaves Width:	HIGH	- 2
E) Envelope Complexity:	MEDIUM	- 2
F) Deck Design:	LOW	- 0
TOTAL RISK FACTOR:		11

BUILDING ENVELOPE RISK MATRIX - EAST

A) Wind Zone:	VERY HIGH	- 2
B) Number of Storeys:	LOW	- 0
C) Roof/Wall Intersection:	VERY HIGH	- 5
D) Eaves Width:	HIGH	- 2
E) Envelope Complexity:	MEDIUM	- 2
F) Deck Design:	LOW	- 0
TOTAL RISK FACTOR:		11

BUILDING ENVELOPE RISK MATRIX - SOUTH

A) Wind Zone:	VERY HIGH	- 2
B) Number of Storeys:	LOW	- 0
C) Roof/Wall Intersection:	VERY HIGH	- 5
D) Eaves Width:	HIGH	- 2
E) Envelope Complexity:	MEDIUM	- 2
F) Deck Design:	LOW	- 0
TOTAL RISK FACTOR:		11

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ISSUE DATE REVISION

230 Hanru Rd
Ohaeawai 0472
hayleymealings@gmail.com

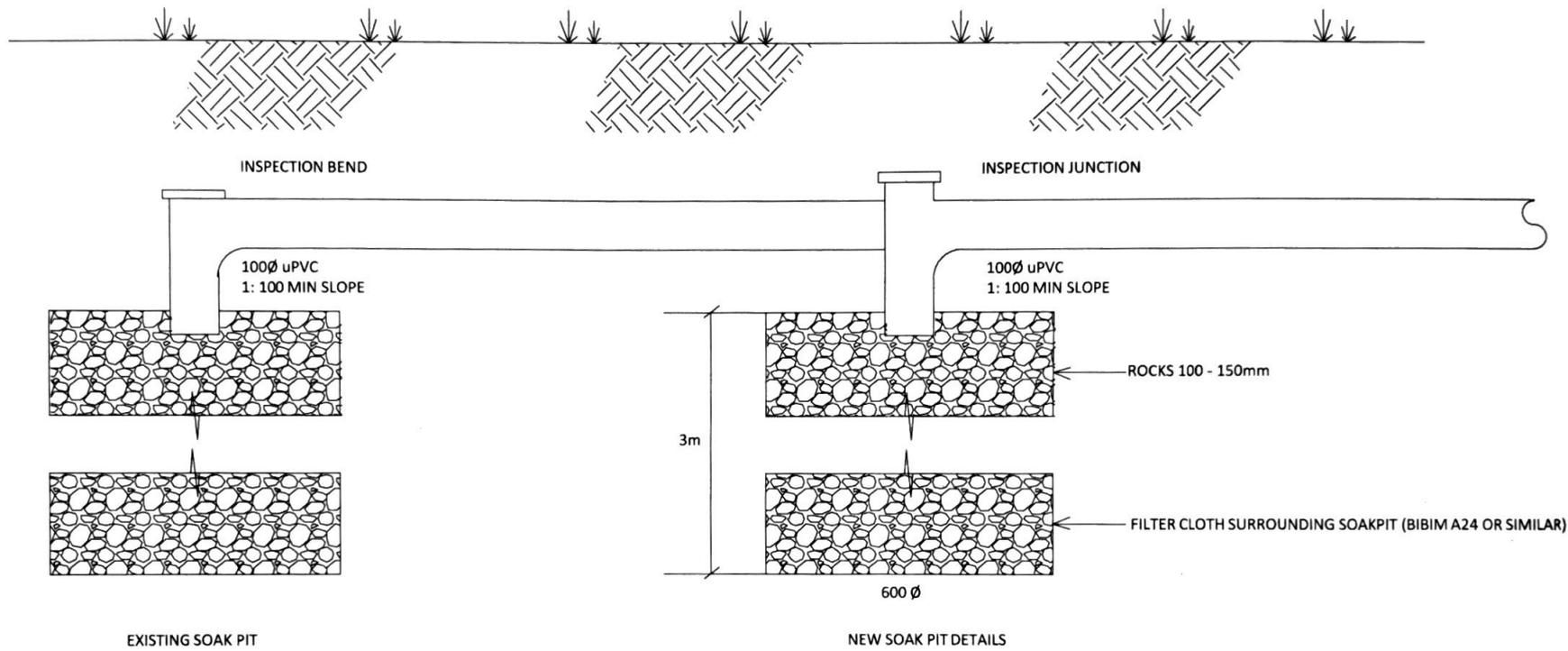


PROJECT 75a HOKIANGA HARBOUR DRIVE SH12 OPONONI
CLIENT WENDY CARTER
FILE 75a HOKIANGA HARBOURDR BC1.vwx

DRAWING PR ELEVATIONS
PROJECT RESOURCE CONSENT ISSUE

DATE: 09/12/24
SCALE: 1:100 @ A3
DRAWN: HM

01.05



STORMWATER SOAK PIT DETAILS

Hayley Mealings

ISSUE	DATE	REVISION

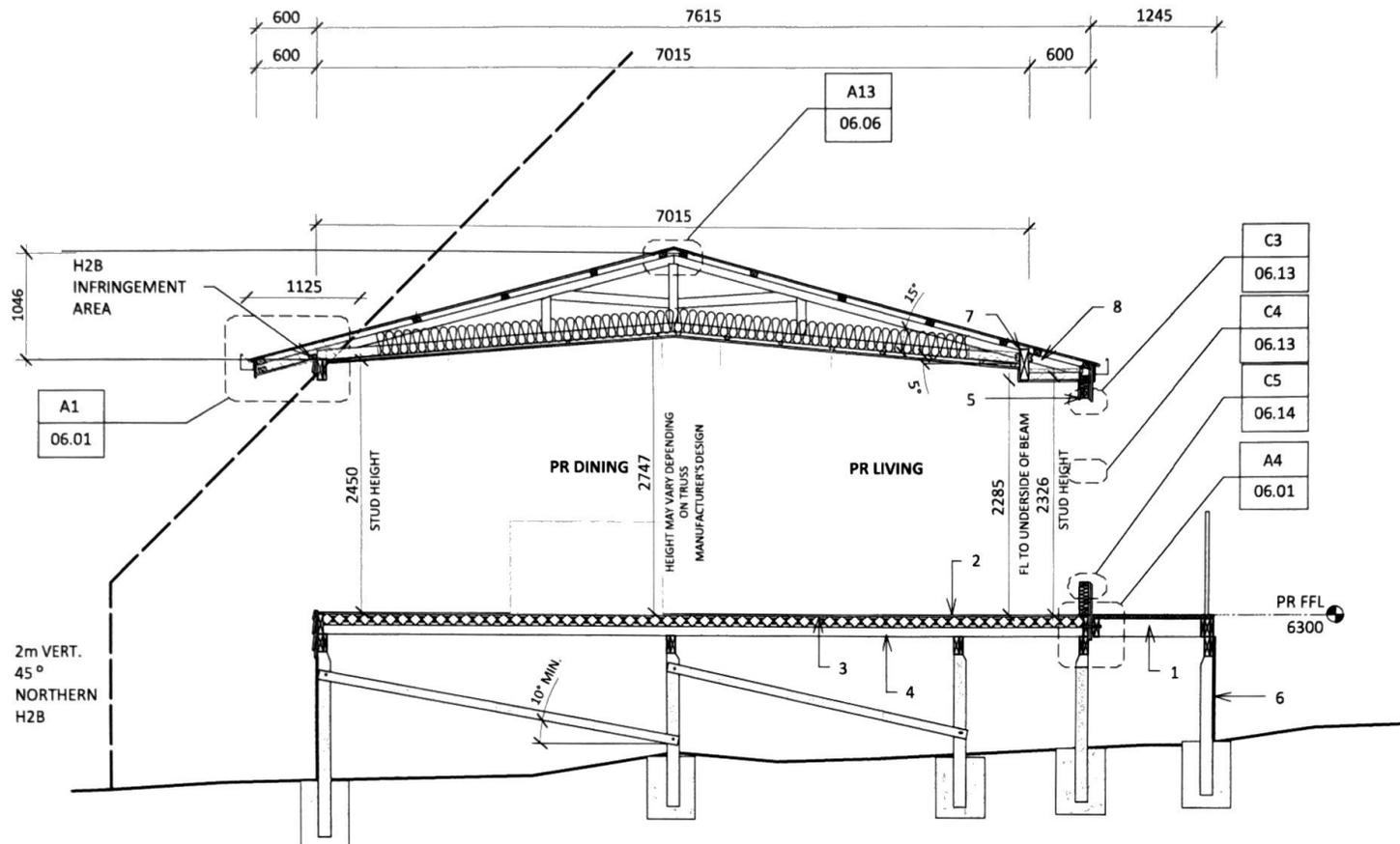


PROJECT	75a HOKIANGA HARBOUR DRIVE SH12 OPONONI
CLIENT	WENDY CARTER
FILE	75a HOKIANGA HARBOUR DR BC1.vwx

DRAWING	SW SOAKPIT DETAILS
PROJECT	RESOURCE CONSENT ISSUE

SHT:	04.03
SCALE:	NTS
DATE:	09/12/24
DRAWN:	HM

230 Hariu Rd
Ohaeawai 0472
hayleymealings@gmail.com



Notes

1. 190 x 45 SG8 H3.2 DECK JOISTS @ 400 CTRS MAX.
2. 19mm H3.1 ECOPLY FLOORING
3. REFER TO SHEET 0.01 FOR SUBFLOOR INSULATION
4. 190 x 45 SG8 H1.2 HOUSE FLOOR JOISTS @ 450 CTRS
5. 10mm GIB WALL LINING
6. 90 x 20 H3.2 TIMBER BASE BOARDS WITH 20mm GAP
7. FOR TRUSS TO BEAM FIXINGS REFER TO TRUSS DESIGN FOR FIXING REQUIREMENTS
8. 90 x 45 SG8 H1.2 RAFTERS FIXED TO BEAM IN THIS AREA ONLY (ON THIS SIDE ONLY) FIXED TO BEAM WITH 1 - PAIR LUMBERLOK MULTIGRIPS PER CONNECTION. FILL ALL HOLES WITH 30 x 3.15 PRODUCT NAILS. RAFTER TO TOP PLATE FIXING: 1 - PAIR LUMBERLOK CT200 TIES PER CONNECTION. FILL ALL HOLES WITH 30 x 3.15 PRODUCT NAILS

A-A **CROSS SECTION A-A**
01.03 SCALE 1:50 @ A3

ISSUE DATE REVISION

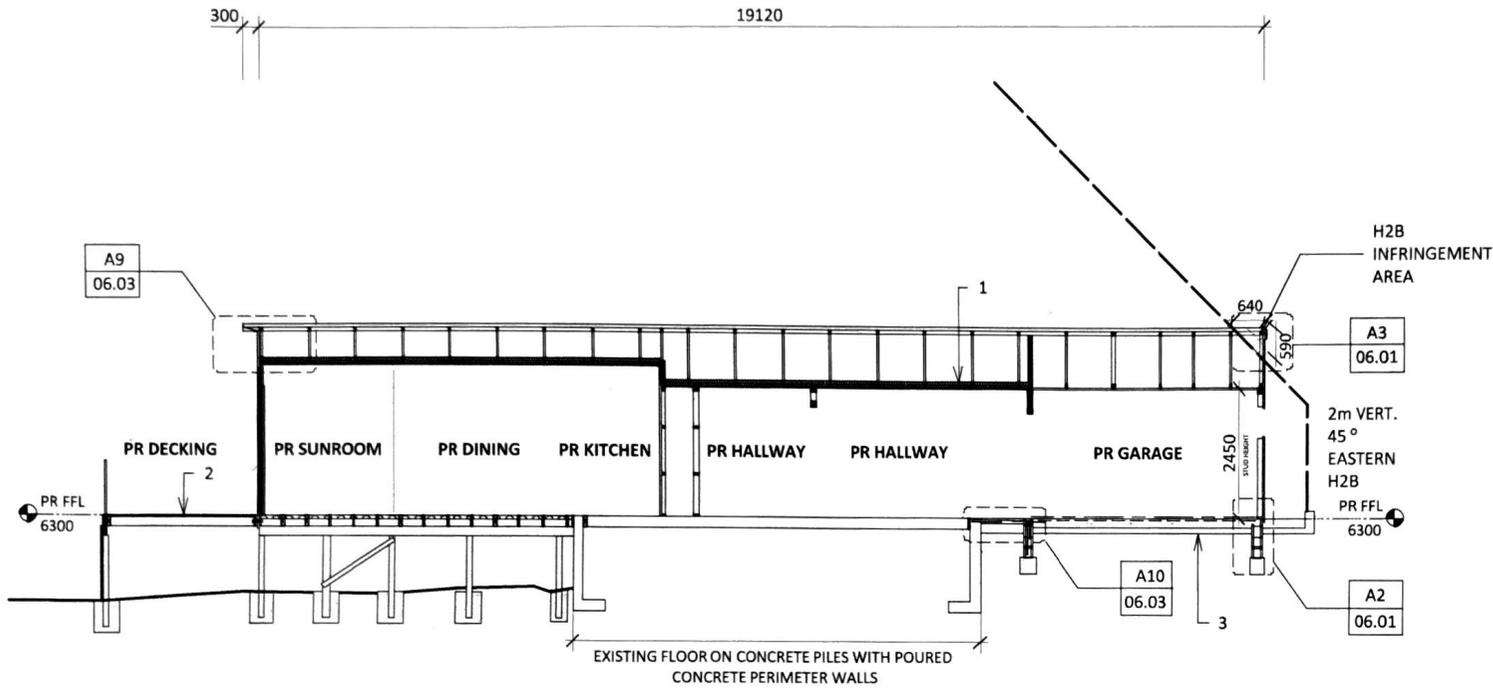
230 Hariu Rd
Chaeawai 0472
hayleymealings@gmail.com

mealings
architecture

PROJECT 75a HOKIANGA HARBOUR DRIVE
SH12
OPONONI
CLIENT WENDY CARTER
75a HOKIANGA HARBOUR DR BC1.vwx

DRAWING CROSS SECTION A-A
PROJECT RESOURCE CONSENT ISSUE

SHT 05.00
SCALE: 1:50 @ A3
DATE: 09/12/24
DRAWN: HM

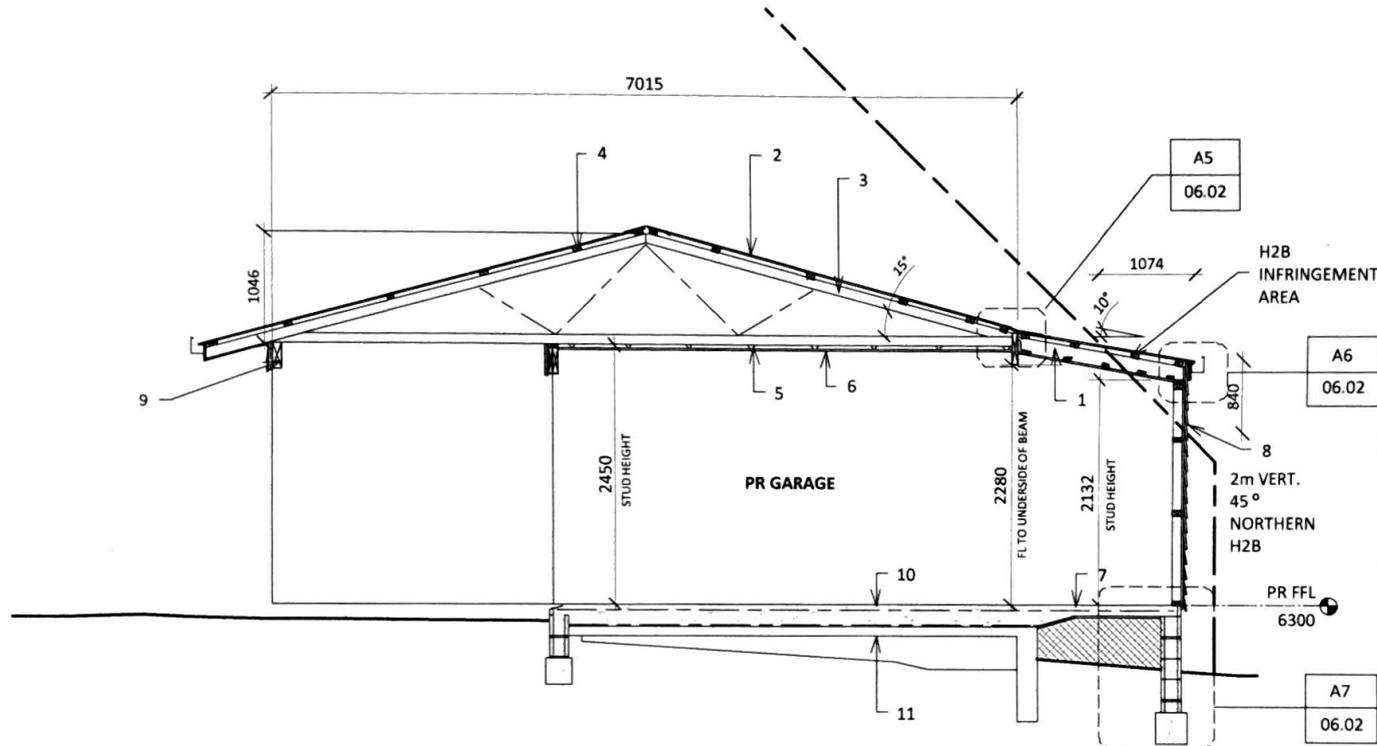


B-B | **CROSS SECTION B-B**
01.03 | SCALE 1:100 @ A3

- Notes**
1. REFER TO SHEET 0.01 FOR CEILING INSULATION REQUIREMENTS
 2. 90 x 32 GRIP TREAD DECKING. DECKING SPACING: IF MOISTURE CONTENT IS 20% OR LESS THEN ALLOW A 5mm SPACE BEFORE DECKING STRIPS. IF MOISTURE CONTENT IS 21% OR MORE THEN SOFT BUTT EACH DECKING STRIP.
 3. EXISTING CONCRETE SLAB. ENGINEER HAS CONFIRMED TO KEEP IN PLACE & ADD A LEVELLING COURSE OF 20 mPa CONCRETE REFER TO ENGINEER'S DETAILS

Handwritten signature

ISSUE	DATE	REVISION		PROJECT 75a HOKIANGA HARBOUR DRIVE SH12 OPONONI	DRAWING CROSS SECTION B-B	SMT: 05.01
230 Hariu Rd Ohaeawai 0472 hayleymealings@gmail.com				CLIENT WENDY CARTER		
				FILE 75a HOKIANGA HARBOUR DR BC1.vwx		DATE: 09/12/24
						DRAWN: HM

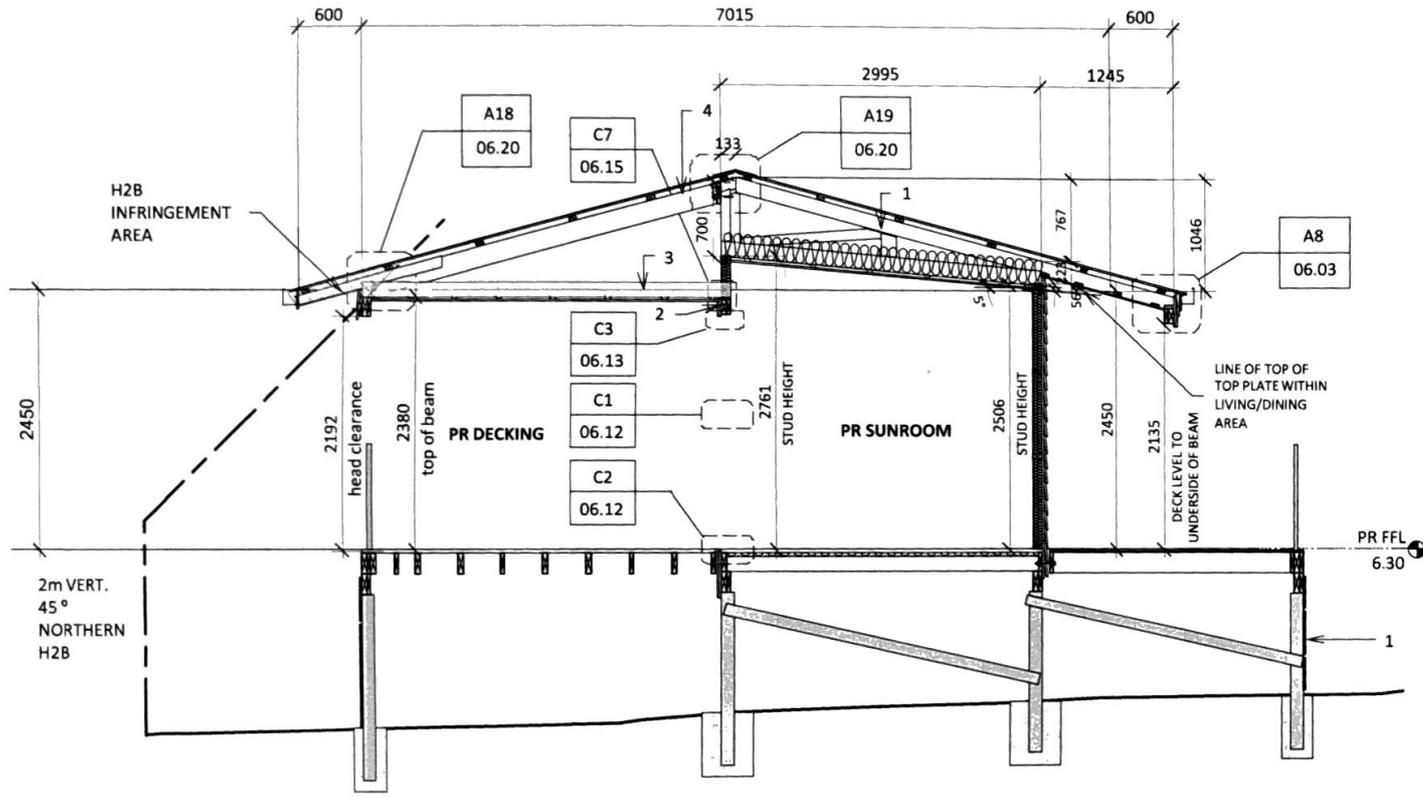


C-C | **CROSS SECTION C-C**
01.03 | SCALE 1:50 @ A3

Notes

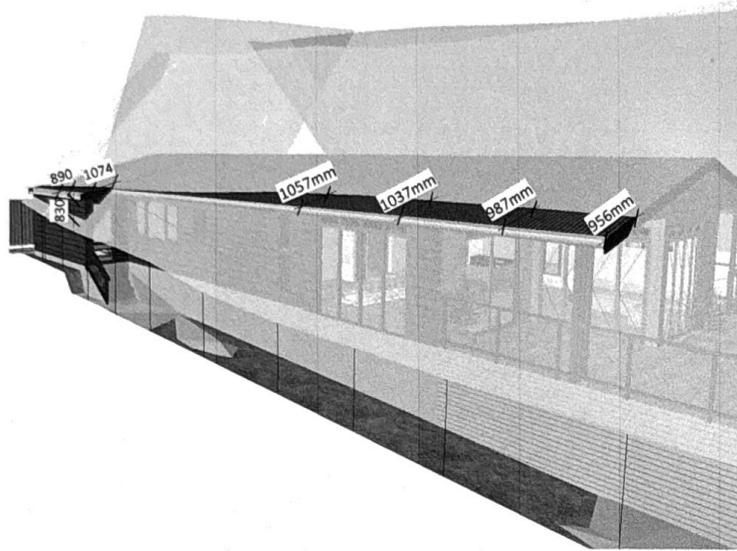
1. 140 x 45 SG8 H1.2 RAFTERS @ 900 CTRS
2. 0.55 COLOURSTEEL MAXX CORRUGATE ROOFING OVER THERMAKRAFT COVERTEK 407 ROOFING UNDERLAY
3. TIMBER MITEK SCISSOR TRUSSES @ 900 CTRS. REFER TO TRUSS MANUFACTURER'S SPECIFICATIONS
4. 70 x 45 SG8 H1.2 PURLINS @ 900 CTRS. FIRST & LAST @ 600 CTRS. FIXED TO TRUSSES PER CONNECTION WITH 1 - ST.ST. LUMBERLOK BLUE SCREW.
5. GIB RONDO METAL CEILING BATTENS @ 600 CTRS MAX
6. 15mm PLYWOOD CEILING LINING
7. 100mm THICK 25MPa CONC FLOOR SLAB, DUCTILE 500 E SE62 MESH 30 TOP COVER (LAP JOINS 225) OVER 0.25 POLYTHENE MOISTURE BARRIER (TAPE ALL CUTS & PENETRATIONS & LAP 225 @ ALL SEAMS) OVER 20mm THICK SAND BLINDING OVER 100mm MIN WELL ROLLED & COMPACTED GAP 40 OR OTHER ACCEPTABLE HARDFILL
8. JAMES HARDIE LINEA 180 SERIES WEATHERBOARD CLADDING OVER 20mm CAVITY BATTENS & WATERGATE PLUS BUILDING WRAP RB1: 240 x 90 HYSpan BEAM. REFER TO DESIGNIT CALCS. TO BE CONCEALED WITH 6mm HARDIFLEX SOFFIT LINING
10. 200mm THICK 25MPa CONC TOPPING OVER EXISTING SLAB (TO ACHIEVE FLUSH FL WITH EXISTING HOUSE FL), DUCTILE 500 E SE62 MESH 30 TOP COVER (LAP JOINS 225) OVER LIQUID APPLIED DPM
11. EXISTING SLAB TO REMAIN

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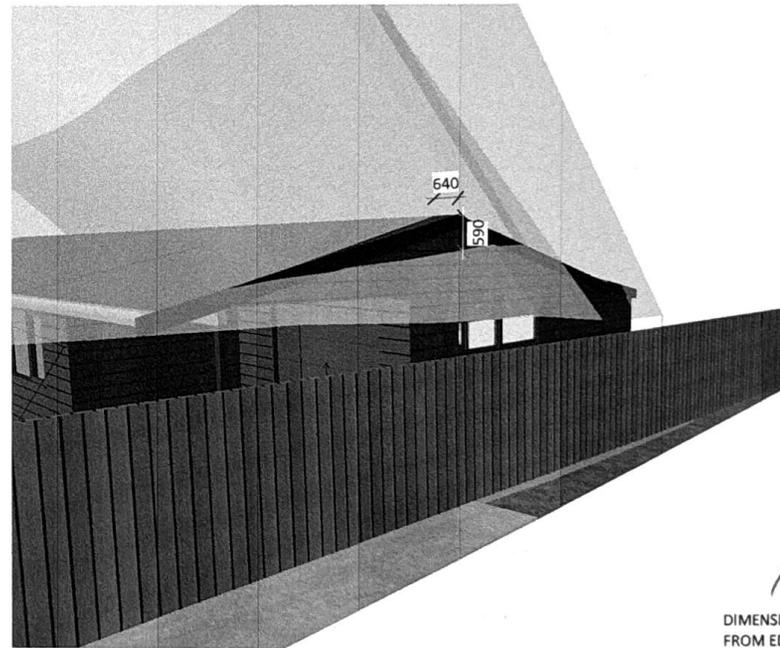
- Notes**
1. TIMBER MITEK SCISSOR TRUSSES @ 900 CTRS. REFER TO TRUSS MANUFACTURER'S SPECIFICATIONS
 2. HERMPAC VERTICAL TIMBER SHIPLAP OVER A 20mm CAVITY SYSTEM & WATERGATE PLUS BUILDING WRAP
 3. 140 x 45 SG8 H1.2 CEILING JOISTS @ 600 CTRS MAX. FIXED TO TOP PLATE/BEAM WITH 1 - CPC40 EACH END
 4. 190 x 45 SG8 H1.2 RAFTERS (OVER OUTDOOR AREA ONLY) @ 480 CTRS MAX

D-D **CROSS SECTION D-D**
01.03 SCALE 1:50 @ A3



H2B NORTHERN BOUNDARY
NTS

DIMENSIONS SHOWN H2B INFRINGEMENT
FROM EDGE OF ROOFING/WALL FRAMING
(NOT INCLUDING GUTTERING)



H2B EASTERN BOUNDARY
NTS

DIMENSIONS SHOWN H2B INFRINGEMENT
FROM EDGE OF ROOFING/WALL FRAMING

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ISSUE DATE REVISION

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PROJECT 75a HOKIANGA HARBOUR DRIVE
SH12
OPONONI
CLIENT WENDY CARTER
75a HOKIANGA HARBOUR DR BC1.vwx

PROJECT DRAWING H2B PERSPECTIVES
PROJECT DRAWING RESOURCE CONSENT ISSUE

SHT: 12.00
SCALE: AS SHOWN
DATE: 09/12/24
DRAWN: HM