

Application for resource consent or fast-track resource consent

(Or Associated Consent Pursuant to the Resource Management Act 1991 (RMA)) (If applying for a Resource Consent pursuant to Section 87AAC or 88 of the RMA, this form can be used to satisfy the requirements of Schedule 4). Prior to, and during, completion of this application form, please refer to Resource Consent Guidance Notes and Schedule of Fees and Charges — [both available on the Council's web page](#).

1. Pre-Lodgement Meeting

Have you met with a council Resource Consent representative to discuss this application prior to lodgement? Yes No

2. Type of Consent being applied for

(more than one circle can be ticked):

- Land Use
- Fast Track Land Use*
- Subdivision
- Consent under National Environmental Standard
(e.g. Assessing and Managing Contaminants in Soil)
- Other (please specify) _____
- Discharge
- Change of Consent Notice (s.221(3))
- Extension of time (s.125)

* *The fast track is for simple land use consents and is restricted to consents with a controlled activity status.*

3. Would you like to opt out of the Fast Track Process?

Yes No

4. Consultation

Have you consulted with Iwi/Hapū? Yes No

If yes, which groups have you consulted with?

Who else have you consulted with?

For any questions or information regarding iwi/hapū consultation, please contact Te Hono at Far North District Council tehonosupport@fndc.govt.nz

5. Applicant Details

Name/s:

TriOceans Limited

Email:

Phone number:

Postal address:

(or alternative method of service under section 352 of the act)

6. Address for Correspondence

Name and address for service and correspondence (if using an Agent write their details here)

Name/s:

Steven Sanson Bay of Islands Planning

Email:

Phone number:

Postal address:

(or alternative method of service under section 352 of the act)

** All correspondence will be sent by email in the first instance. Please advise us if you would prefer an alternative means of communication.*

7. Details of Property Owner/s and Occupier/s

Name and Address of the Owner/Occupiers of the land to which this application relates (where there are multiple owners or occupiers please list on a separate sheet if required)

Name/s:

Refer CT attached

**Property Address/
Location:**

54 Te Kemara Avenue, Paihia

Postcode

0200

8. Application Site Details

Location and/or property street address of the proposed activity:

Name/s:

**Site Address/
Location:**

Postcode

Legal Description:

Val Number:

Certificate of title:

Please remember to attach a copy of your Certificate of Title to the application, along with relevant consent notices and/or easements and encumbrances (search copy must be less than 6 months old)

Site visit requirements:

Is there a locked gate or security system restricting access by Council staff? Yes No

Is there a dog on the property? Yes No

Please provide details of any other entry restrictions that Council staff should be aware of, e.g. health and safety, caretaker's details. This is important to avoid a wasted trip and having to re-arrange a second visit.

9. Description of the Proposal:

Please enter a brief description of the proposal here. Please refer to Chapter 4 of the District Plan, and Guidance Notes, for further details of information requirements.

If this is an application for a Change or Cancellation of Consent Notice conditions (s.221(3)), please quote relevant existing Resource Consents and Consent Notice identifiers and provide details of the change(s), with reasons for requesting them.

10. Would you like to request Public Notification?

Yes No

11. Other Consent required/being applied for under different legislation

(more than one circle can be ticked):

- Building Consent
- Regional Council Consent (ref # if known)
- National Environmental Standard consent
- Other (please specify)

12. National Environmental Standard for Assessing and Managing Contaminants in Soil to Protect Human Health:

The site and proposal may be subject to the above NES. In order to determine whether regard needs to be had to the NES please answer the following:

Is the piece of land currently being used or has it historically ever been used for an activity or industry on the Hazardous Industries and Activities List (HAIL) Yes No Don't know

Is the proposed activity an activity covered by the NES? Please tick if any of the following apply to your proposal, as the NESCS may apply as a result. Yes No Don't know

- Subdividing land
- Changing the use of a piece of land
- Disturbing, removing or sampling soil
- Removing or replacing a fuel storage system

13. Assessment of Environmental Effects:

Every application for resource consent must be accompanied by an Assessment of Environmental Effects (AEE). This is a requirement of Schedule 4 of the Resource Management Act 1991 and an application can be rejected if an adequate AEE is not provided. The information in an AEE must be specified in sufficient detail to satisfy the purpose for which it is required. Your AEE may include additional information such as Written Approvals from adjoining property owners, or affected parties.

Your AEE is attached to this application Yes

13. Draft Conditions:

Do you wish to see the draft conditions prior to the release of the resource consent decision? Yes No

If yes, do you agree to extend the processing timeframe pursuant to Section 37 of the Resource Management Act by 5 working days? Yes No

14. Billing Details:

This identifies the person or entity that will be responsible for paying any invoices or receiving any refunds associated with processing this resource consent. Please also refer to Council's Fees and Charges Schedule.

Name/s: (please write in full)

Thibaud Guerin

Email:

Phone number:

Postal address:

(or alternative method of service under section 352 of the act)

Fees Information

An instalment fee for processing this application is payable at the time of lodgement and must accompany your application in order for it to be lodged. Please note that if the instalment fee is insufficient to cover the actual and reasonable costs of work undertaken to process the application you will be required to pay any additional costs. Invoiced amounts are payable by the 20th of the month following invoice date. You may also be required to make additional payments if your application requires notification.

Declaration concerning Payment of Fees

I/we understand that the Council may charge me/us for all costs actually and reasonably incurred in processing this application. Subject to my/our rights under Sections 357B and 358 of the RMA, to object to any costs, I/we undertake to pay all and future processing costs incurred by the Council. Without limiting the Far North District Council's legal rights if any steps (including the use of debt collection agencies) are necessary to recover unpaid processing costs I/we agree to pay all costs of recovering those processing costs. If this application is made on behalf of a trust (private or family), a society (incorporated or unincorporated) or a company in signing this application I/we are binding the trust, society or company to pay all the above costs and guaranteeing to pay all the above costs in my/our personal capacity.

Name: (please write in full)

Thibaud Guerin

Signature:

(signature of bill payer)



Date

15/01/25

MANDATORY

15. Important Information:

Note to applicant

You must include all information required by this form. The information must be specified in sufficient detail to satisfy the purpose for which it is required.

You may apply for 2 or more resource consents that are needed for the same activity on the same form. You must pay the charge payable to the consent authority for the resource consent application under the Resource Management Act 1991.

Fast-track application

Under the fast-track resource consent process, notice of the decision must be given within 10 working days after the date the application was first lodged with the authority, unless the applicant opts out of that process at the time of lodgement. A fast-track application may cease to be a fast-track application under section 87AAC(2) of the RMA.

Privacy Information:

Once this application is lodged with the Council it becomes public information. Please advise Council if there is sensitive information in the proposal. The information you have provided on this form is required so that your application for consent pursuant to the Resource Management Act 1991 can be processed under that Act. The information will be stored on a public register and held by the Far North District Council. The details of your application may also be made available to the public on the Council's website, www.fndc.govt.nz. These details are collected to inform the general public and community groups about all consents which have been issued through the Far North District Council.

15. Important information continued...

Declaration

The information I have supplied with this application is true and complete to the best of my knowledge.

Name: (please write in full)

Steven Sanson

Signature:

[Redacted]

Date

A signature is not required if the application is made by electronic means

Checklist (please tick if information is provided)

- Payment (cheques payable to Far North District Council)
- A current Certificate of Title (Search Copy not more than 6 months old)
- Details of your consultation with Iwi and hapū
- Copies of any listed encumbrances, easements and/or consent notices relevant to the application
- Applicant / Agent / Property Owner / Bill Payer details provided
- Location of property and description of proposal
- Assessment of Environmental Effects
- Written Approvals / correspondence from consulted parties
- Reports from technical experts (if required)
- Copies of other relevant consents associated with this application
- Location and Site plans (land use) AND/OR
- Location and Scheme Plan (subdivision)
- Elevations / Floor plans
- Topographical / contour plans

Please refer to Chapter 4 of the District Plan for details of the information that must be provided with an application. Please also refer to the RC Checklist available on the Council's website. This contains more helpful hints as to what information needs to be shown on plans.

BAY OF ISLANDS PLANNING (2022) LIMITED

**2 Cochrane Drive, Kerikeri
127 Commerce Street, Kaitaia
PO Box 318
Paihia**

Phone [09] 407 5253; Email – office@bayplan.co.nz Website - www.bayplan.co.nz

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Environmental Management Department
Far North District Council
John Butler Centre
Kerikeri

17 January 2025

Dear Team Leaders

Re: Application for Resource Consent – Proposed Structures in the Conservation Zone [Paihia]

The applicant, Tangaroa Research Institute of Oceanographic Studies Limited [TriOceans Ltd], is seeking consent for structures associated with the Sugar Boat / The Tui in the Conservation Zone at Te Kemara Avenue, Paihia

The structure is, for the most part, located in the Coastal Marine Area. However, access to the structure is to be located on parts of the FNDC owned recreation reserve. This access component requires a resource consent from FNDC.

Alterations to the structure within the CMA is being considered through an application to NRC concurrent with this.

Yours sincerely,



Steven Sanson
Consultant Planner

INTRODUCTION & PROPOSAL

1. The applicant TriOceans Ltd are seeking to undertake additions / alterations to the Sugarboat / The Tui, located in Paihia.



Figure 1 – Structure of Relevance [Source: TriOceans]

2. The additions / alterations are summarised as follows:
 - Bottom deck alterations to the Marine Exhibition Space which includes a refurbished level access to the lower deck, the addition of 2 x WC's, and removal of internal partitions.
 - Top deck alterations to provide a classroom [29m²] and cafe [66.27m²], 1 x accessible WC, partitioning off and opening up of foredeck areas with steps and handrails.
 - Multiple piles and bearers in the CMA to support an enhanced ramp and landing area.
 - Signage associated with the new use, up to 10m².
3. The majority of the works are within the CMA and therefore require NRC consent which will be applied for concurrently. The only works of relevance to this application to FNDC are those associated with the ramps and landing areas proposed for access to the structure which are located on the FNDC owned reserve. The reserve is in the Conservation Zone.
4. Figure 2 highlights the works in relation to the reserve [generally] which require resource consent from FNDC.

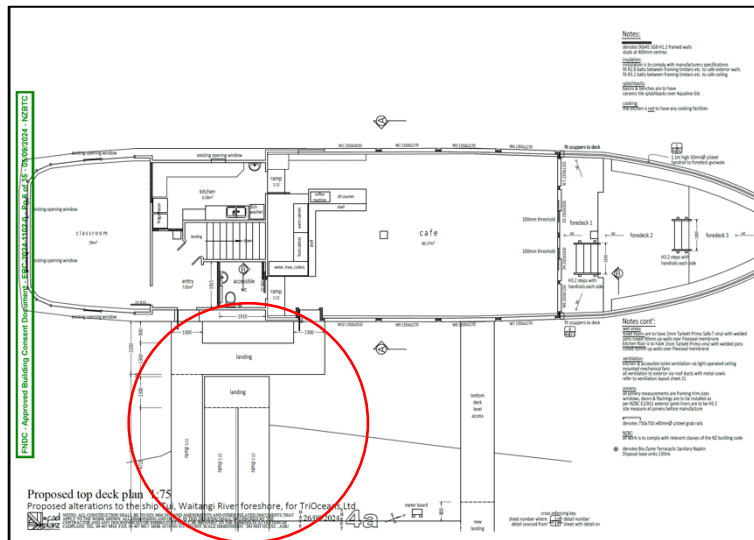


Figure 2 – Approved BC Drawing of Ramps / Landing Areas [Source: Cad Plantz]

5. The structure already contains ramps / access in the Conservation Zone / Reserve. The re-fit of the structure requires upgrades to the ramp / access areas, hence the need for consent.
6. The structure, overall, is ~100ft in length by 6.2m in width. Numerous activities have been run from this structure, typically associated with a museum [opened by Kelly Tarlton]. Food and beverage activities have also recently been undertaken [Brown Sugar & Shippeys].
7. The ship structure is located and placed atop a concrete foundation. It is at / near the high tide mark and is surrounded by sand, rock and shell substrate.
8. The structure has been at this location for a number of years and is a landmark in the area.
9. TriOceans Ltd is a collective of scientists and innovators largely focussed on marine mammal science and marine education. They undertake high quality research and weave Mātauranga Māori with modern science techniques, based out of the Bay of Islands. They wish to continue the use of this structure and are undertaking and applying for the necessary approvals to use the structure and refit it for future use.

APPLICATION SITE AND LOCALITY

10. The structure is located adjacent to the Far North District Council historic reserve at the southern end of the Waitangi Road Bridge. The structure is accessed from this reserve and relies on this, in terms of car parking.
11. [Figure 3](#) below outlines the location of the structure in relation to relevant features. These features include the local bridge, marae, wharf and boat launching areas.

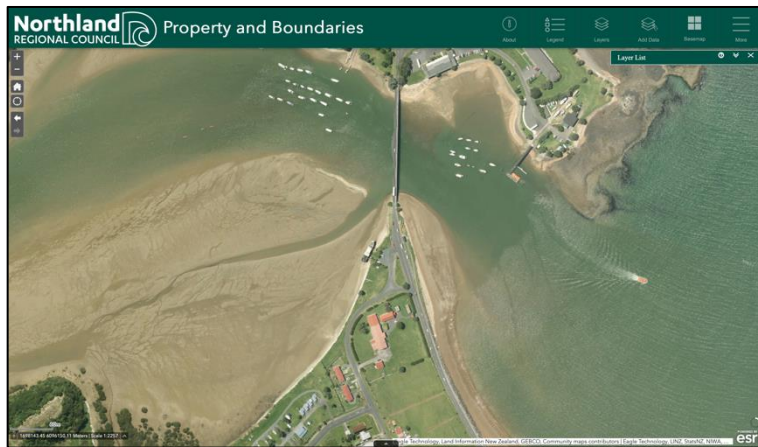


Figure 3 - Site Location [Source: NRC Maps]



Figure 4 – Site [Source: Prover]



Figure 5 – Aerial Photo of Adjacent Title [Source: Prover]

12. The surrounds have a mixed use, with the adjacent site being used as a historic reserve with access and parking, and landholdings further afield promoting cultural and residential uses. The Waitangi Wharf and boat launch areas are also located in close proximity, as well as areas set aside as moorings for local boat owners.
13. Access to the structure is by vehicle or foot via the reserve. The Record of Title for the adjacent reserve is found in **Appendix 1**. The reserve is covered in a mixture of grass, vegetation and carparking. The impervious surfaces are ~300m².



Figure 6 – Coverage [Source: Far North Maps]

14. Architectural plans are provided in **Appendix 2**. These outline all the proposed works, but it can be easily identified which works are proposed within the FNDC reserve, subject to this assessment.

15. **Appendix 3** provides a foundation assessment for the piles required for the access ramps and landing areas. These have been approved in terms of the building act process.
16. The works have been approved from a Building Consent perspective. This approval is found in **Appendix 4**. The proposal has been discussed with numerous parties and these discussions are found in **Appendix 5**. Relevant occupation permits have already been applied for.
17. Emails of support for the activity are provided in **Appendix 6**. A consent from the Northland Regional Council is also required and this will be applied for concurrently.

REASONS FOR CONSENT

18. Under the ODP, the site is zoned Conservation. Under the PDP, the site is zoned Natural Open Space, within the Coastal Environment, and subject to natural hazards.

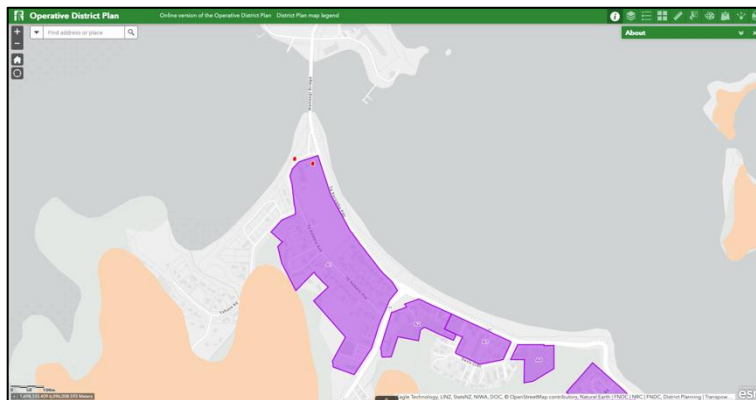


Figure 7 – ODP Resource Map [Source: Far North Maps]



Figure 8 – ODP Zone Map [Source: Far North Maps]

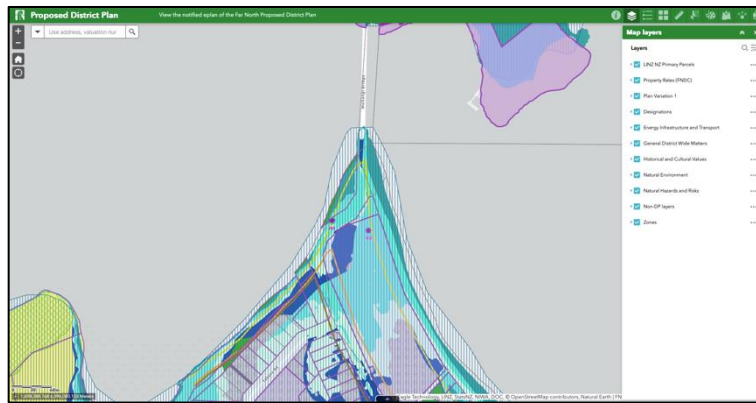


Figure 9 – PDP Zone and Features Map [Source: Far North Maps]

Table 1 - Conservation Zone Assessment

Rule	Assessment
Purpose of Buildings	The proposal is not strictly related to a conservation activity on the site. Non-Complying Activity.
Scale of Activities	Proposal does not include overnight accommodation. Complies
Building Height	All buildings will be less than 8m high. Complies
Sunlight	The building works straddle the CMA so will breach the rule. Restricted Discretionary
Stormwater Management	The reserve is currently in car parking at ~300m ² . The proposal elements do not exceed 1,000m ² total [700m ² additional] for the site. Complies
Screening for neighbours	Not relevant. Complies
Keeping of Animals	Not relevant. Complies
Noise	Not relevant.

	Complies
Helicopter Movements	Not relevant. Complies
Setback from Boundaries	Not relevant. Complies
Building Coverage	The proposal does not create building coverage exceeding 800m ² . Complies

Table 2 – District Wide Assessment

Rule	Assessment
12.1 Landscapes & Natural Features	Not relevant as these features do not occur at the site. Complies
12.2 Indigenous Flora & Fauna	Not relevant Complies
12.3 Soils & Minerals	Earthworks are for foundations only which are excluded. Complies
12.4 Natural Hazards	Not relevant Complies
12.5 Heritage	Not relevant Complies
12.7 Lakes, Rivers and Wetlands	The buildings are within 30m of the CMA. Discretionary Activity
12.8 Hazardous Substances	Not relevant as not proposed. Complies

12.9 Renewable Energy & Energy Efficiency	Not relevant as not proposed. Complies
13 Subdivision	Not relevant as not proposed. Complies
14 Financial Contributions	Not relevant. Complies
15 Transportation	The buildings / activities proposed do not trigger any traffic, parking or access requirements. Complies
16 Signs and Lighting	Not relevant. Signs to be authorised under the NRC application. Complies
17 Designation	Not relevant. Complies
18 Special Areas	Not relevant. Complies
19 GMO's	Not relevant. Complies

Table 3 – Proposed District Plan

Rule	Assessment
Hazardous Substances	Not relevant as no such substances proposed. Complies
Heritage Area Overlays	Not indicated on Far North Proposed District Plan. Complies
Historic Heritage	Not indicated on Far North Proposed District

	Plan. Complies
Notable Trees	Not indicated on Far North Proposed District Plan. Complies
Sites and Areas of Significance to Māori	Not indicated on Far North Proposed District Plan. Complies
Ecosystems and Indigenous Biodiversity	No vegetation clearance required. Complies
Activities on the Surface of Water	Not indicated on Far North Proposed District Plan Complies
Earthworks	Proposed earthworks will be in accordance with the relevant standards including GD-05 and the consent decision can have an ADP applied. Complies
Signs	Not indicated on Far North Proposed District Plan Complies
Orongo Bay Zone	Not indicated on Far North Proposed District Plan Complies
Subdivision	Not proposed. Complies

19. Overall, the application will be considered as a **Non-Complying Activity**.

STATUTORY CONSIDERATIONS

20. Section 104B of the Resource Management Act (RMA) governs the determination of applications for non-complying activities:

104B Determination of applications for discretionary or non-complying activities

After considering an application for a **resource** consent for a discretionary activity or non-complying activity, a consent authority—

- (a) may grant or refuse the application; and
- (b) if it grants the application, may impose conditions under [section 108](#).

21. With respect to non-complying activities, a consent authority may refuse to grant an application and may impose conditions. Section 104D requires that the ‘gateway test’ be satisfied before granting consent to a non-complying activity:

104D Particular restrictions for non-complying activities

- (1) Despite any decision made for the purpose of notification in relation to adverse effects, a consent authority may grant a **resource** consent for a non-complying activity only if it is satisfied that either—
 - (a) the adverse effects of the activity on the environment (other than any effect to which [section 104\(3\)\(a\)\(ii\)](#) applies) will be minor; or
 - (b) the application is for an activity that will not be contrary to the objectives and policies of—
 - (i) the relevant plan, if there is a plan but no proposed plan in respect of the activity; or
 - (ii) the relevant proposed plan, if there is a proposed plan but no relevant plan in respect of the activity; or
 - (iii) both the relevant plan and the relevant proposed plan, if there is both a plan and a proposed plan in respect of the activity.
- (2) To avoid doubt, [section 104\(2\)](#) applies to the determination of an application for a non-complying activity.

22. When considering an application for resource consent, a consent authority must have regard to the matters under section 104 of the Resource Management Act 1991, including any matters relating to Part 2. References to Part 2 in applications are only required where Plans may be deficient in terms of giving effect to the purpose and principles of the Act.

23. Section 104 of the RMA sets out matters to be considered when assessing an application for a resource consent.

104 Consideration of applications

- (1) When considering an application for a **resource** consent and any submissions received, the consent authority must, subject to Part 2, have regard to—
 - (a) any actual and potential effects on the environment of allowing the activity; and
 - (ab) any measure proposed or agreed to by the applicant for the purpose of ensuring positive effects on the environment to offset or compensate for any adverse effects on the environment that will or may result from allowing the activity; and
 - (b) any relevant provisions of—
 - (i) a national environmental standard;
 - (ii) other regulations;
 - (iii) a national policy statement;
 - (iv) a New Zealand coastal policy statement;
 - (v) a regional policy statement or proposed regional policy statement;
 - (vi) a plan or proposed plan; and
 - (c) any other matter the consent authority considers relevant and reasonably necessary to determine the application.

24. In the determination of this application, those considerations include the actual and potential effects of an activity on the environment, the relevant provisions of the New Zealand Coastal Policy Statement (NZCPS), the Northland Regional Policy Statement (or other relevant statutory document), both the Operative and Proposed Far North District Plan along with any other matter the consent authority considers relevant and reasonably necessary to determine the application.

25. The following assessment addresses all of the relevant considerations under s104 of the RMA.

26. The RMA definition of ‘Environment’ includes:

- (a) *Ecosystems and the constituent parts, including people and communities; and*
- (b) *All natural and physical resources; and*
- (c) *Amenity values; and*
- (d) *The social, economic, aesthetic, and cultural conditions which affect the matters stated in paragraphs (a) to (c) of this definition or which are affected by those matters.*

27. The definition of ‘Environment’ also includes the concept of a ‘future state of the environment’ where the environment as it currently exists might be modified by permitted activities and by resource consents that have been granted, and where it appears likely that those consents will be implemented.

28. The RMA meaning of ‘effect’ includes:

3 Meaning of effect

In this Act, unless the context otherwise requires, the term **effect** includes—

- (a) any positive or adverse effect; and
- (b) any temporary or permanent effect; and
- (c) any past, present, or future effect; and
- (d) any cumulative effect which arises over time or in combination with other effects—
regardless of the scale, intensity, duration, or frequency of the effect, and also includes—
- (e) any potential effect of high probability; and
- (f) any potential effect of low probability which has a high potential impact.

29. For this application, the potential adverse effects to be assessed are those both temporary and permanent that arise from aspects of the proposal that have been identified as requiring resource consent above and broadly captured under Part 2 of the RMA.

Effects related to Purpose of Buildings

30. The proposed buildings represent upgraded access opportunities for visitors and users of the structure to access it safely and efficiently. The structure has always relied upon the reserve, seemingly without the various FNDC approvals now required. The applicant proposes to use the structure, and the associated access sought under this consent for community and education purposes whilst still seeking to make some turnover from the museum and café components.

31. It is not clear what the conservation ethos is in relation to the site and why it would be zoned in that manner. It appears to be standard reserve and there is no known reserve management plan that provides any clues for the future plans for the site.

32. There are no additional effects resulting from the status quo, and therefore effects are considered to be less than minor.

Sunlight Effects

33. There are no effects arising to persons from the access ramps and landings. They provide access to a credible activity / use that has been located in its place for some time. Users of the reserve can utilise other areas of the site and the nearby CMA / beach areas of Paihia to get sunlight. Effects are less than minor.

Setback Effects

34. Similar to the effects associated with sunlight, the proposed structure does little to impact

access or other uses within the reserve given the location proposed for pedestrian access to the structure. Effects are less than minor.

Other Effects

35. Feedback from FNDC's reserves planner is that any works within the site would require an archaeological authority. This aspect can be conditioned prior to works commencing.

Conclusion on Effects

36. Based on the above assessment, it is considered that the actual and potential adverse effects of the proposal that would be less than minor. No offsetting or compensation for adverse effects is proposed or considered necessary as per RMA Section 104(1)(ab).

RELEVANT PLAN CONSIDERATIONS

37. Section 104 (1)(b) requires that regard be given to the relevant provisions of:

- A national environmental standard.
- Other regulations.
- A national policy statement.
- A New Zealand coastal policy statement.
- A regional policy statement or proposed regional policy statement.
- A plan or proposed plan

38. There are no applicable National Environmental Standards. It is concluded that the site is not a HAIL site and that the National Environmental Standard for Assessing and Managing Contaminants in Soil to Protect Human Health does not apply to this proposal. Furthermore, the activity is not affected by the NES – Freshwater.

39. The NES for productive land is not relevant as the soil associated with this site does not meet the definition of versatile.

New Zealand Coastal Policy Statement 2010

40. The New Zealand Coastal Policy Statement 2010 [NZCPS 2010] contains objectives and policies designed to achieve the sustainable management purpose of the Resource Management Act in respect of New Zealand’s coastal environment. It is relevant to this application to the extent that the lower order regional and district plans must consistently give effect to the NZPCS in terms of any proposed subdivision, use or development of land or coastal areas comprising the coastal environment.

41. The proposed structure landward side of the CMA is of such a small nature and character that it is considered to meet the objectives and policies of the NZCPS.

Northland Regional Policy Statement 2018

42. The subject site is in the Northland region and is subject to the governing objectives and policies of the operative Northland Regional Policy Statement. The part of the property is within the mapped coastal environment.

43. The relevant RPS objectives and policies are addressed in Table 3 below:

Table 4 - Northland Regional Policy Statement Objectives and Policies

Objective / Policy	Assessment
Integrated Catchment Management	Not relevant
Region Wide Water Quality	The proposal does not affect water quality.
Ecological Flows and Water Quality	Not relevant
Indigenous Ecosystems & Biodiversity	There are no SNAs at the development location.
Enabling Economic Wellbeing	The proposal allows for various goods/services in the land development sector in the Far North. The proposal will generate economic wellbeing and employment for Paihia.

Economic Activities – Reverse Sensitivity and Sterilization	The proposal does not result in any reverse sensitivity or sterilization effects given the reuse / refit of an existing structure in a location where it has been located for some time.
Regionally Significant Infrastructure	The proposal does not impact any regionally significant infrastructure.
Efficient and Effective Infrastructure	The proposal seeks to use existing FNDC infrastructure where appropriate or is otherwise serviced appropriately.
Security of Energy Supply	Power is already provided to the boundary of the site.
Use and Allocation of Common Resources	Not relevant.
Regional Form	The proposal does not result in any reverse sensitivity effects, or a change in character or sense of place. Versatile soils are not adversely affected.
Tangata Whenua Role in Decision Making	FNDC may send this application to relevant hapū or iwi, noting that the proposal already includes feedback from hapū.
Natural Hazard Risk	The site given its coastal location is subject to flooding but the access ramps are well clear of this potential.
Natural Character, Outstanding Natural Features, Outstanding Natural Landscapes and Historic Heritage	Not relevant.

44. Overall, it is considered that the proposal would not be contrary to any objective and policy within the Northland Regional Policy Statement.

FNDC Operative Plan Objectives and Policies

45. The District Plan provisions that apply to this Non-complying Activity application are the objectives and policies for the Recreation/Conservation Environment and the Conservation zone.

Table 5 – Recreation/Conservation Environment - Objectives and Policies

Objective / Policies	Assessment
9.3.1 To protect recreation and conservation areas for the purposes for which they have been set aside or reserved.	The proposed access to the structure is small in nature and character and preserves the majority of the reserve.
9.3.2 To identify and preserve areas that have high conservation value.	Noted.
9.3.3 To ensure integrated management of the effects of recreational activities, especially where these cross the land/water interface.	Planning applications are promoted to both FNDC and NRC.
9.4.1 That existing recreation and conservation areas be managed so as to ensure that the effects of activities remain similar to the existing situation or enhanced.	The proposal to refit the building results in enhanced effects.
9.4.2 That areas identified as having a high priority for protection for conservation purposes and which are included in the Conservation or Recreational Activities Zone are managed so that the effects of activities in those areas do not compromise conservation values.	The conservation values of the site are not known but the structures on the land are so small in character and nature that they do not affect the lands intended use.
9.4.3 That the effects of recreational activities, especially where these cross the land/water interface, are managed by the regulatory authorities in an integrated way.	Noted.
9.4.4 That the effects of activities in the vicinity of recreation and conservation areas are managed so that recreation and conservation areas are not compromised.	Noted.

Table 6 - Objectives and Policies for the Conservation Zone

Objective / Policies	Assessment
9.7.3.1 To protect the conservation values and the natural and physical resources of the district for present and future generations.	The proposal does not offend this objective as ramp access is provided and the proposal seeks to enhance this.
9.7.3.2 To ensure the use, development and protection of land zoned conservation is consistent with the conservation values of the site and avoids adverse effects on the surrounding environment.	Considered in Table 4 above.
9.7.3.3 To protect the historic values of conservation areas.	Not known. An archaeological authority is required.
9.7.3.4 To provide for recreational and educational opportunities that are compatible with the protection of natural and historic resources.	The proposal [overall] promotes this.
9.7.4.1 That the existing conservation values of areas be maintained or enhanced.	These will be maintained.
9.7.4.2 That existing conservation areas are used and developed in a way which will avoid adverse effects on the conservation values of the site, and which will avoid adverse effects on the surrounding area.	Addressed above in Table 4.
9.7.4.3 That land zoned Conservation is permanently protected through the use of protective mechanisms (including acquisition as an esplanade reserve where appropriate as a financial contribution arising from subdivision or land use activities). See Chapter 14 for the implementation of this policy.	Not relevant.
9.7.4.4 That areas worthy of conservation are identified and provided permanent protection.	Noted.

FNDC Proposed District Plan Objectives and Policies

46. The PDP provisions that apply to this application are the objectives and policies for the Open Space and Recreational Zones and the Coastal Environment .

Table 7 - Objectives and Policies for the Open Space and Recreational Zone

Objectives	Assessment
NOSZ-O1 - The ecological, historic heritage, cultural and natural character values of the Natural Open Space zone are protected and enhanced for the benefit of current and future generations.	These matters can be addressed through consent conditions i.e archaeological authority.
NOSZ-O2 - Land use is of a scale and type that complements and is consistent with the conservation values of the Natural Open Space Zone.	The overall land use is already existing and the proposal merely requires access for its continued use.
NOSZ-O3 - Natural open spaces where appropriate are accessible for the public for the use of leisure and customary activities.	The balance of the reserve remains available to the public. The ramp will be closed off outside of business hours.
NOSZ-P1 - Enable land use that conserves, protects and enhances the natural, ecological, historic heritage, cultural and natural character values of the zone.	This is considered to be achieved.
NOSZ-P2 - Provide for land use that supports leisure and customary activities that are complementary to, consistent with and protect the values of the zone.	The ramp provides access to an activity that does have cultural support and relevance.
NOSZ-P3 - Avoid land use and subdivision that is incompatible with the ecological, historic heritage, cultural and natural character values of the zone.	The proposal is considered to be compatible.
<p>NOSZ-P4 - Manage the effects of land use and subdivision to address the effects of the activity requiring resource consent, including (but not limited to) consideration of the following matters where relevant to the application:</p> <ul style="list-style-type: none"> a. consistency with the scale, density, design and character of the environment and purpose of the zone; b. the location, scale and design of buildings or structures; c. the public benefit provided by the proposed activity; d. at zone interfaces: 	<p>The scale, density and design of the ramps are to meet building act standards for the overall use.</p> <p>The location, scale and design are all known and considered appropriate for the zone / location.</p> <p>The public benefit includes the repurposing of the overall structure as well as improved access. There are wider community and education benefits as well as economic opportunities arising from the proposal.</p> <p>There are no zone interface issues arising.</p>

<ul style="list-style-type: none"> i. any setbacks, fencing, screening or landscaping required to address potential conflicts. ii. adverse effects on the character and amenity of adjacent zones; e. the extent to which the activity is consistent with any relevant adopted reserve management plan for the area; f. effects on public access and use; g. managing natural hazards; h. any adverse effects on areas with historic heritage and cultural values, natural features and landscapes, natural character or indigenous biodiversity values; and i. any historical, spiritual, or cultural association held by tangata whenua, with regard to the matters set out in Policy TW-P6. 	
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Table 8 - Objectives and Policies of the Coastal Environment

Objectives / Policies	Assessment
CE-P1 – Identify the extent of the coastal environment as well as areas of high and outstanding natural character using the assessment criteria in APP1- Mapping methods and criteria.	This is completed.
CE-P2 – Avoid adverse effects of land use and subdivision on the characteristics and qualities of the coastal environment identified as: <ul style="list-style-type: none"> a. outstanding natural character; b. ONL; c. ONF. 	These features are not present.
CE-P3 – Avoid significant adverse effects and avoid, remedy or mitigate other adverse effects of land use and subdivision on the characteristics and qualities of the coastal environment not identified as: <ul style="list-style-type: none"> a. outstanding natural character; b. ONL; 	These features are not present.

c. ONF.	
<p>CE-P4 – Preserve the visual qualities, character and integrity of the coastal environment by:</p> <ul style="list-style-type: none"> • consolidating land use and subdivision around existing urban centres and rural settlements; and • avoiding sprawl or sporadic patterns of development. 	The proposal is around the Pahia / Waitangi settlement.
<p>CE-P5 – Enable land use and subdivision in urban zones within the coastal environment where:</p> <ol style="list-style-type: none"> a. there is adequacy and capacity of available or programmed development infrastructure; and b. the use is consistent with and does not compromise the characteristics and qualities. 	The site is not within an urban zone.
<p>CE-P6 – Enable farming activities within the coastal environment where:</p> <ol style="list-style-type: none"> a. the use forms part of the values that established the natural character of the coastal environment; or b. the use is consistent with and does not compromise the characteristics and qualities. 	Farming is not proposed.
<p>CE-P7 – Provide for the use of Māori Purpose zoned land and Treaty Settlement land in the coastal environment where:</p> <ol style="list-style-type: none"> a. the use is consistent with the ancestral use of that land; and b. the use does not compromise any identified characteristics and qualities. 	The site is not within this zone.
<p>CE-P8 – Encourage the restoration and enhancement of the natural character of the coastal environment.</p>	Noted.
<p>CE-P9 – Prohibit land use and subdivision that would result in any loss and/or destruction of the characteristics and qualities in outstanding natural character areas.</p>	These features are not present.
<p>CE-P10 – Manage land use and subdivision to preserve and protect the natural character of the coastal environment, and to address the effects of the activity requiring resource consent, including (but not limited to)</p>	The proposal supports an existing structure that has infrastructure provided to it. The structure requires access and ramps / landings to a coastal structure is not inappropriate.

<p>consideration of the following matters where relevant to the application:</p> <ol style="list-style-type: none"> a. the presence or absence of buildings, structures or infrastructure; b. the temporary or permanent nature of any adverse effects; c. the location, scale and design of any proposed development; d. any means of integrating the building, structure or activity; e. the ability of the environment to absorb change; f. the need for and location of earthworks or vegetation clearance; g. the operational or functional need of any regionally significant infrastructure to be sited in the particular location; h. any viable alternative locations for the activity or development; i. any historical, spiritual or cultural association held by tangata whenua, with regard to the matters set out in Policy TW-P6; j. the likelihood of the activity exacerbating natural hazards; k. the opportunity to enhance public access and recreation; l. the ability to improve the overall quality of coastal waters; and m. any positive contribution the development has on the characteristics and qualities. 	<p>No vegetation clearance is required, and earthworks are for foundations only which is exempt.</p> <p>The structure already contains access and landings for pedestrian use, the proposal simply seeks to upgrade them to meet the building code.</p>
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Proposed Far North District Plan Objectives & Policies & Weighting

47. Section 88A(2) provides that “any plan or proposed plan which exists when the application is considered must be had regard to in accordance with section 104(1)(b).” This requires applications to be assessed under both the operative and proposed objective and policy frameworks from the date of notification of the proposed district plan.

48. In the event of differing directives between objective and policy frameworks, it is well established by case law that the weight to be given to a proposed district plan depends on what stage the relevant provisions have reached, the weight generally being greater as a proposed plan move through the notification and hearing process. In *Keystone Ridge Ltd v Auckland City Council*, the High Court held that the extent to which the provisions of a proposed plan are relevant should be considered on a case by case basis and might include:

- The extent (if any) to which the proposed measure might have been exposed to testing and independent decision making;
- Circumstances of injustice; and
- The extent to which a new measure, or the absence of one, might implement a coherent pattern of objectives and policies in a plan.

49. In my view the PDP has not gone through the sufficient process to allow a considered view of the objectives and policies for the Natural Open Space Zone with a Coastal Environment overlay. However, an assessment is provided, along with an assessment of the Operative District Plan Conservation Zone objectives and policies.

PART 2 ASSESSMENT

Section 5 – Purpose of The Act

50. Section 5 in Part 2 of the Act identifies the purpose as being the sustainable management of natural and physical resources. This means managing the use of natural and physical resources in a way that enables people and communities to provide for their social, cultural and economic well-being which sustain those resources for future generations, protecting the life supporting capacity of ecosystems, and avoiding remedying or mitigating adverse effects on the environment.

51. It is considered that proposal represents a sustainable use of existing resources that allow people and the community to provide for its social and economic wellbeing in a manner that mitigates adverse effects on the environment.

Section 6 – Matters of National Importance

52. In achieving the purpose of the Act, a range of matters are required to be recognised and provided for. This includes:

- a) the preservation of the natural character of the coastal environment (including the coastal marine area), wetlands, and lakes and rivers and their margins, and the protection of them from inappropriate subdivision, use, and development:
- b) the protection of outstanding natural features and landscapes from inappropriate subdivision, use, and development:
- c) the protection of areas of significant indigenous vegetation and significant habitats of indigenous fauna:
- d) the maintenance and enhancement of public access to and along the coastal marine area, lakes, and rivers:
- e) the relationship of Māori and their culture and traditions with their ancestral lands, water, sites, wāhi tapu, and other taonga:
- f) the protection of historic heritage from inappropriate subdivision, use, and development:
- g) the protection of protected customary rights:
- h) the management of significant risks from natural hazards.

53. In context, the relevant items to the proposal and have been recognised and provided for in the design of the development.

Section 7 – Other Matters

54. In achieving the purpose of the Act, a range of matters are to be given particular regard. This includes:

- (a) kaitiakitanga:
- (aa) the ethic of stewardship:
- (b) the efficient use and development of natural and physical resources:
 - (ba) the efficiency of the end use of energy:
- (c) the maintenance and enhancement of amenity values:
- (d) intrinsic values of ecosystems:
- (e) [Repealed]
- (f) maintenance and enhancement of the quality of the environment:
- (g) any finite characteristics of natural and physical resources:
- (h) the protection of the habitat of trout and salmon:
- (i) the effects of climate change:
- (j) the benefits to be derived from the use and development of renewable energy.

55. These matters have been given particular regard through the design of the proposal.

Section 8 – Treaty of Waitangi

56. The Far North District Council is required to take into account the principles of the Treaty of Waitangi when processing this consent. This consent application may be sent to local iwi and hapū who may have an interest in this application.

Section 8 – Part 2 Conclusion

57. Given the above, it is considered that the proposal meets the purpose of the Act.

CONCLUSION

58. A Non Complying resource consent is sought from the Far North District Council to carry out the proposed development.
59. The proposal is not precluded from public notification and is considered to have less than minor effects on the wider environment. Through assessment, there are considered to be no affected persons.
60. The proposal is consistent with the objectives and policies of the Far North District Plan (operative and proposed), the Regional Policy Statement for Northland, and achieves the purpose of the Act.
61. Given the assessment carried out in this report, it is considered that this proposal can be determined non-notified under the RMA 1991. We would appreciate the review of draft conditions when available.

Regards,



Steven Sanson BPlan (Hons)

Consultant Planner

NZPI Member No 4230



**RECORD OF TITLE
UNDER LAND TRANSFER ACT 2017
FREEHOLD**

**Guaranteed Search Copy issued under Section 60 of the Land
Transfer Act 2017**

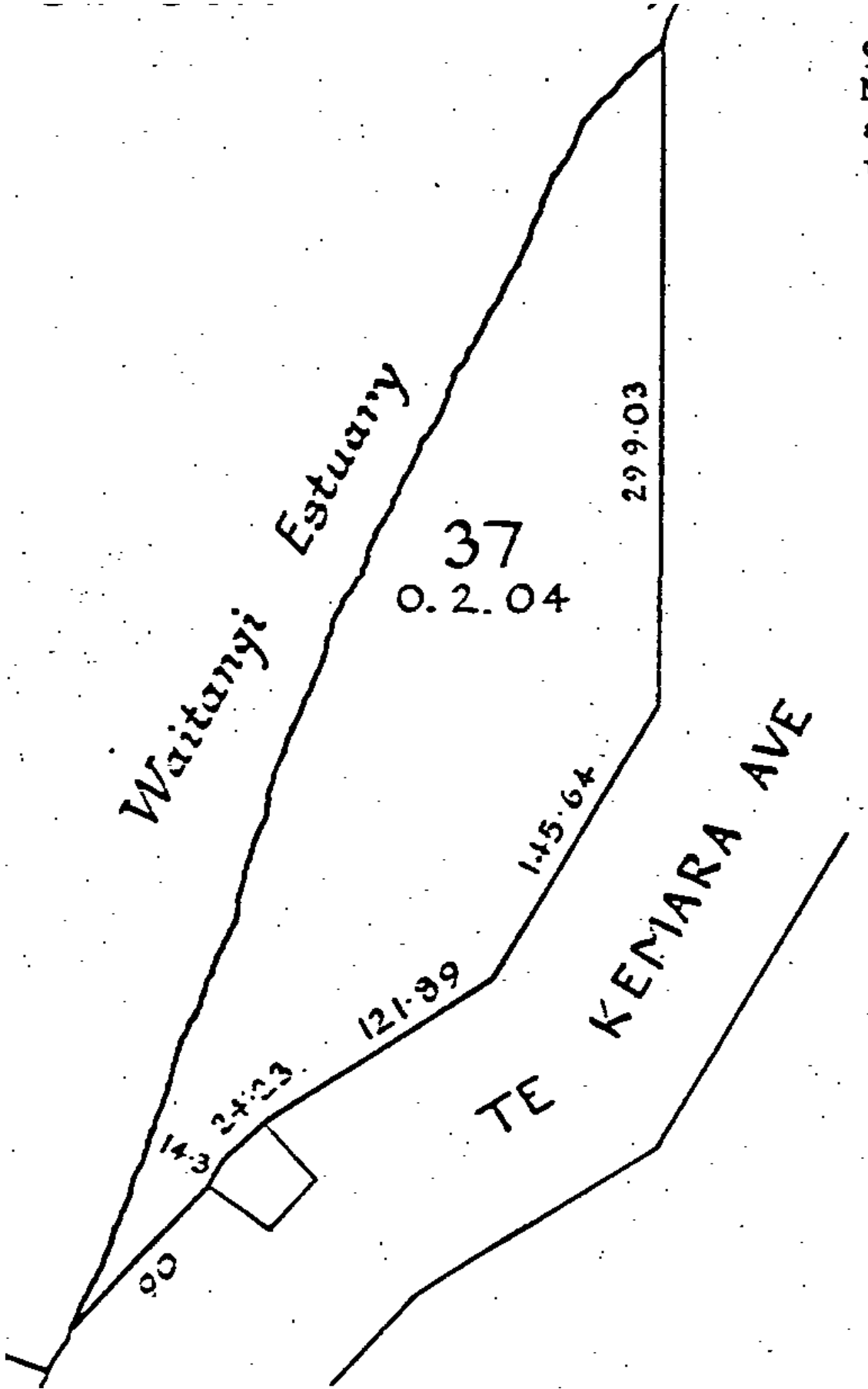


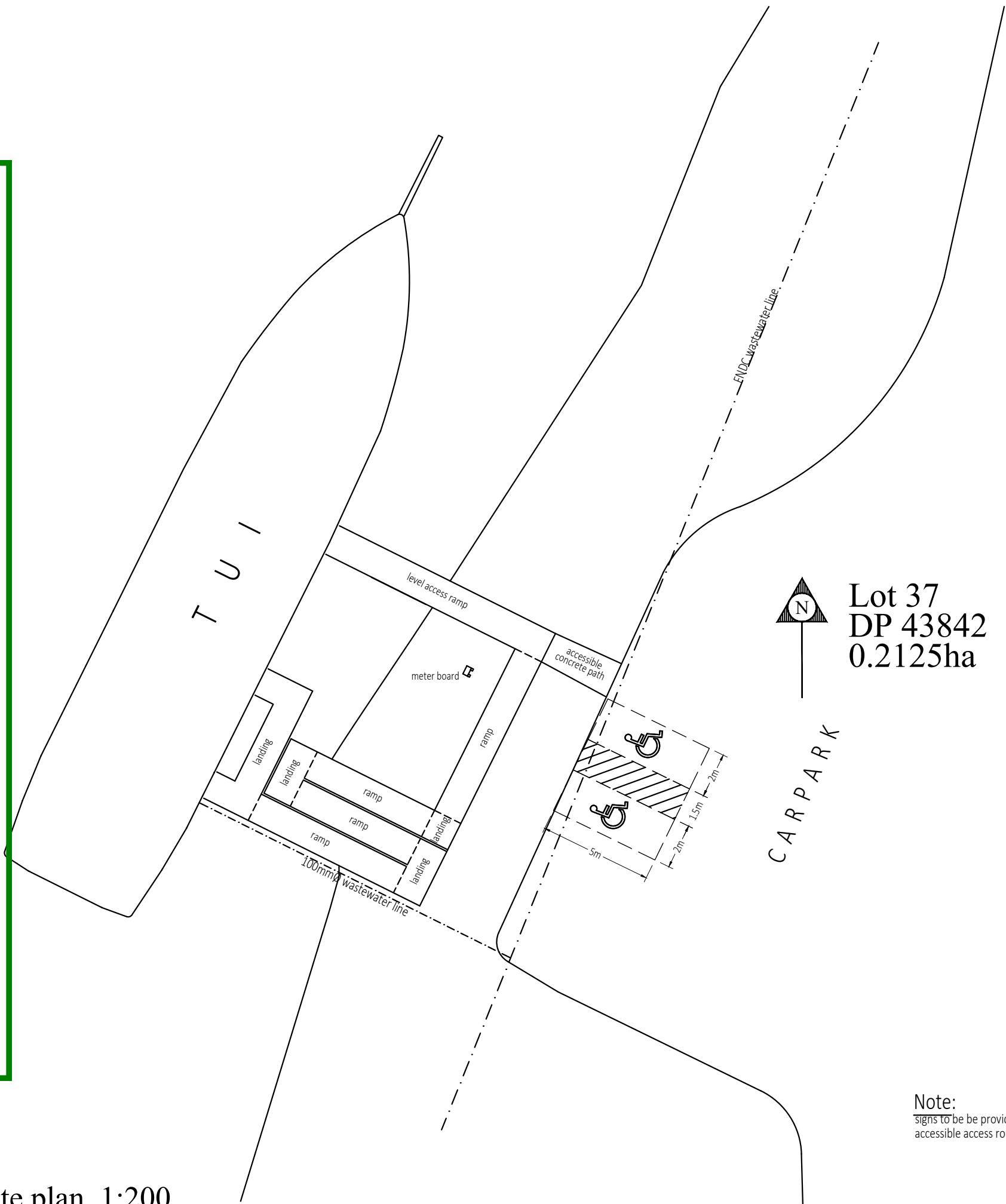

R. W. Muir
Registrar-General
of Land

Identifier **NA21A/1344**
Land Registration District **North Auckland**
Date Issued 08 March 1971

Estate Fee Simple
Area 2125 square metres more or less
Legal Description Lot 37 Deposited Plan 43842
Purpose Recreation reserve
Registered Owners
Bay of Islands County Council

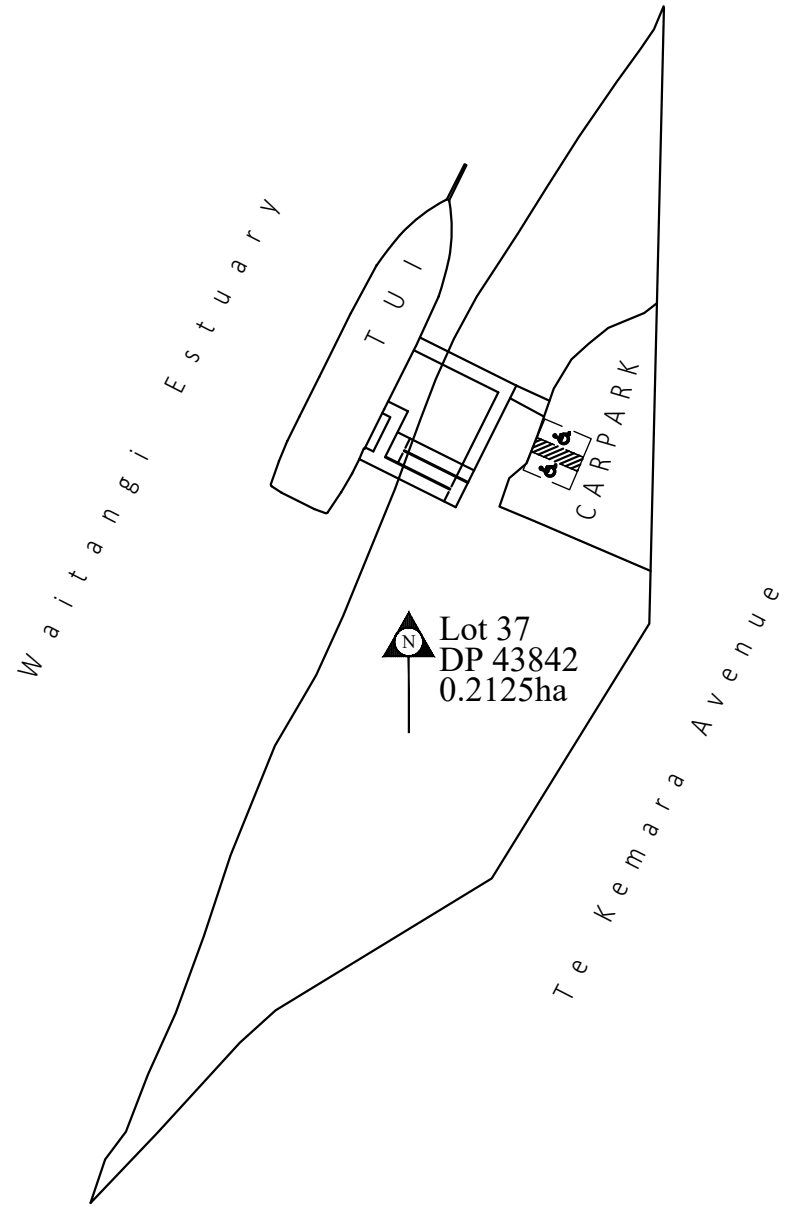
Interests
SUBJECT TO THE RESERVES ACT 1977





Lot 37
 DP 43842
 0.2125ha

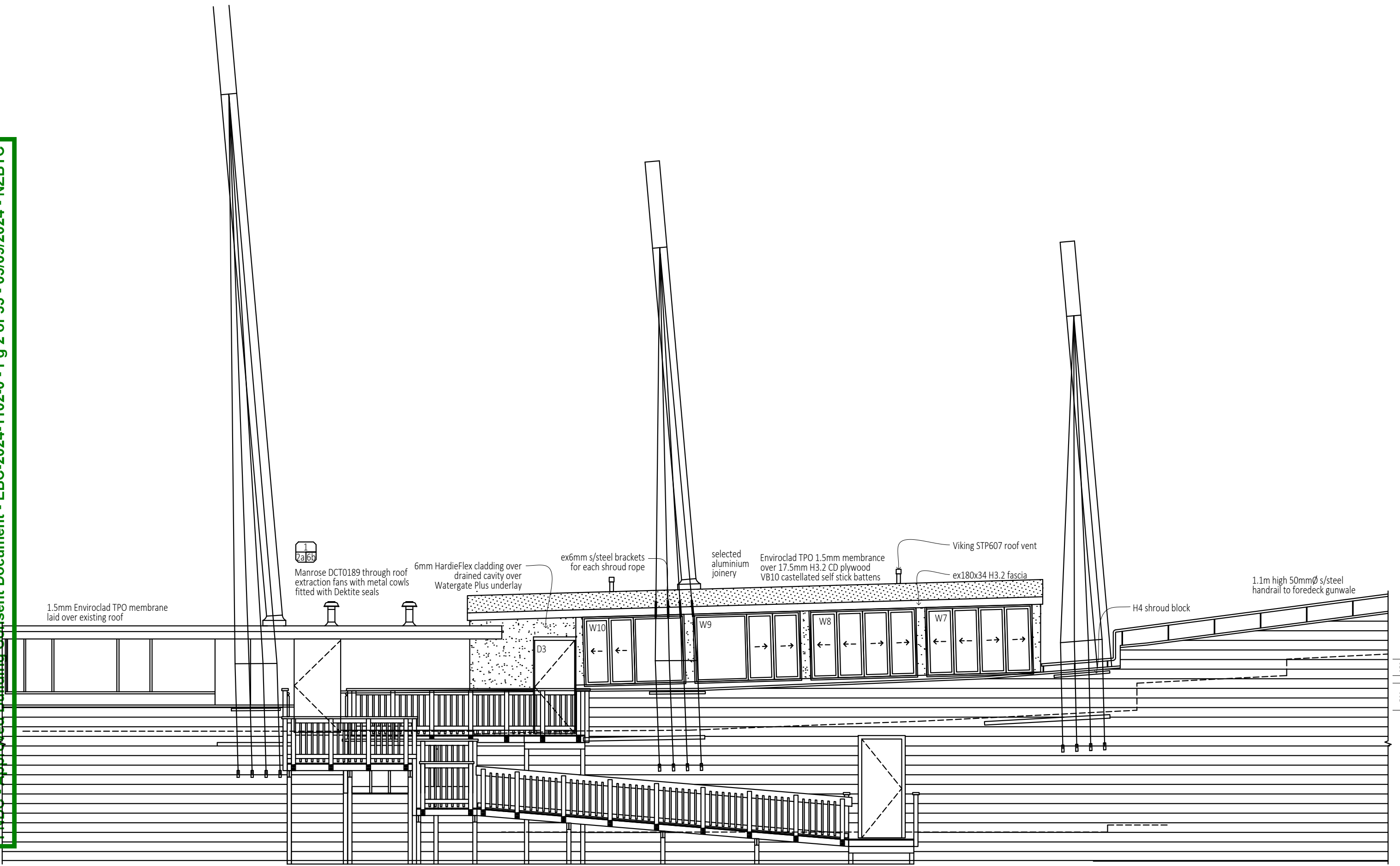
CARPARK



site plan 1:750

Note:
 signs to be provided denoting
 accessible access route

site plan 1:200
 Proposed alterations to the ship Tui, Waitangi River foreshore, for TriOceans Ltd



H3.2 timber ramps & landings
125mm² H5 piles

elevation #1 1:75

south east elevation

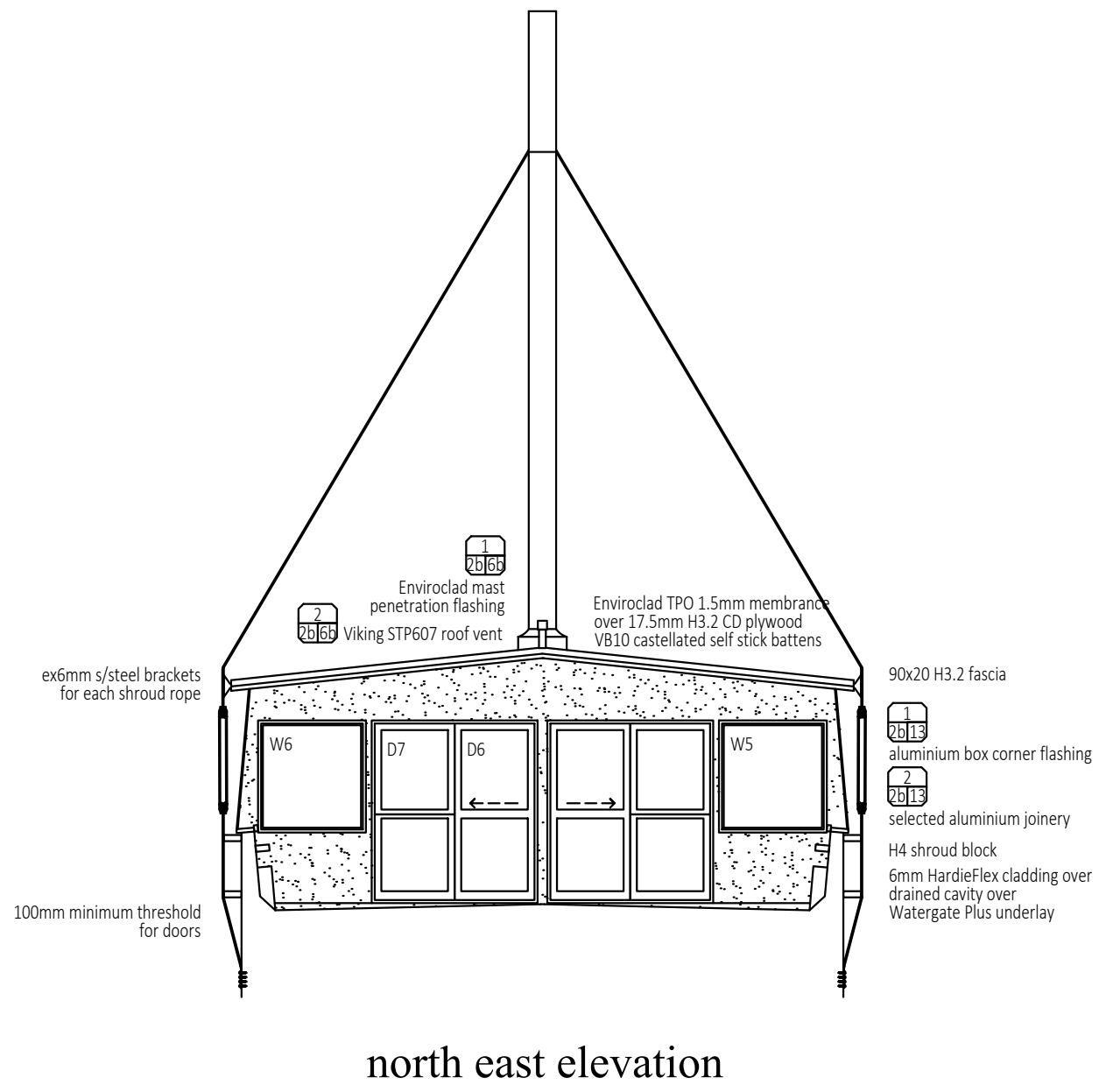
Proposed alterations to the ship Tui, Waitangi River foreshore, for TriOceans Ltd



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sheet number where detail sourced from 1-78 detail number sheet with detail on



elevations #2 1:75

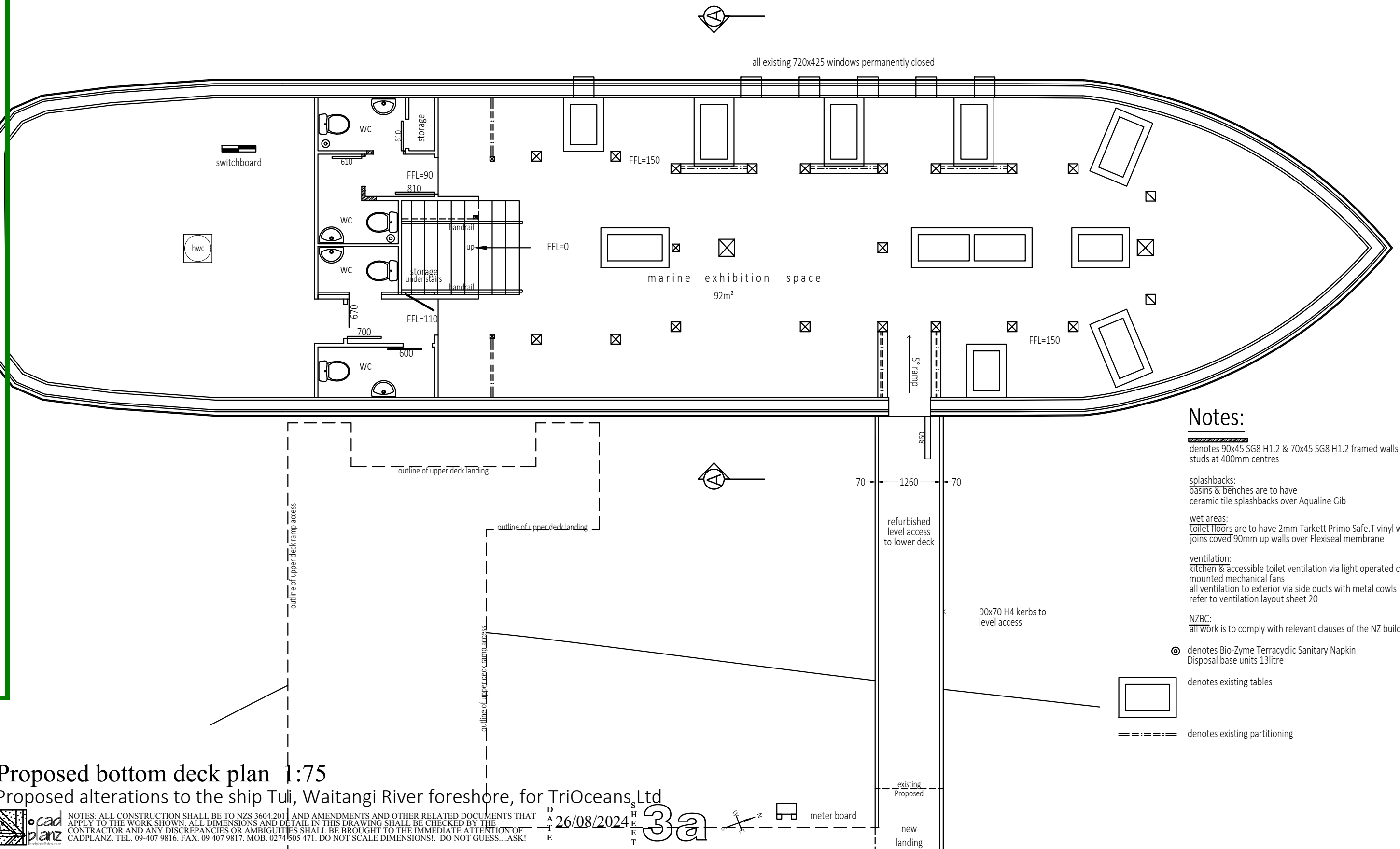
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 CHECKED BY: S H E T
2b

cross referencing key
 sheet number where detail is sourced from: 1-78 detail number
 detail sourced from: 78 sheet with detail on



- Notes:**
- denotes 90x45 SG8 H1.2 & 70x45 SG8 H1.2 framed walls studs at 400mm centres
 - splashbacks:
basins & benches are to have ceramic tile splashbacks over Aqualine Gib
 - wet areas:
toilet floors are to have 2mm Tarkett Primo Safe.T vinyl with welded joints covered 90mm up walls over Flexiseal membrane
 - ventilation:
kitchen & accessible toilet ventilation via light operated ceiling mounted mechanical fans
all ventilation to exterior via side ducts with metal cowls refer to ventilation layout sheet 20
 - NZBC:
all work is to comply with relevant clauses of the NZ building code
 - ⊙ denotes Bio-Zyme Terracyclic Sanitary Napkin Disposal base units 13litre
 - denotes existing tables
 - denotes existing partitioning

Proposed bottom deck plan 1:75

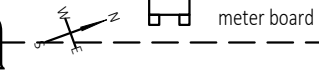
Proposed alterations to the ship Tuli, Waitangi River foreshore, for TriOceans Ltd



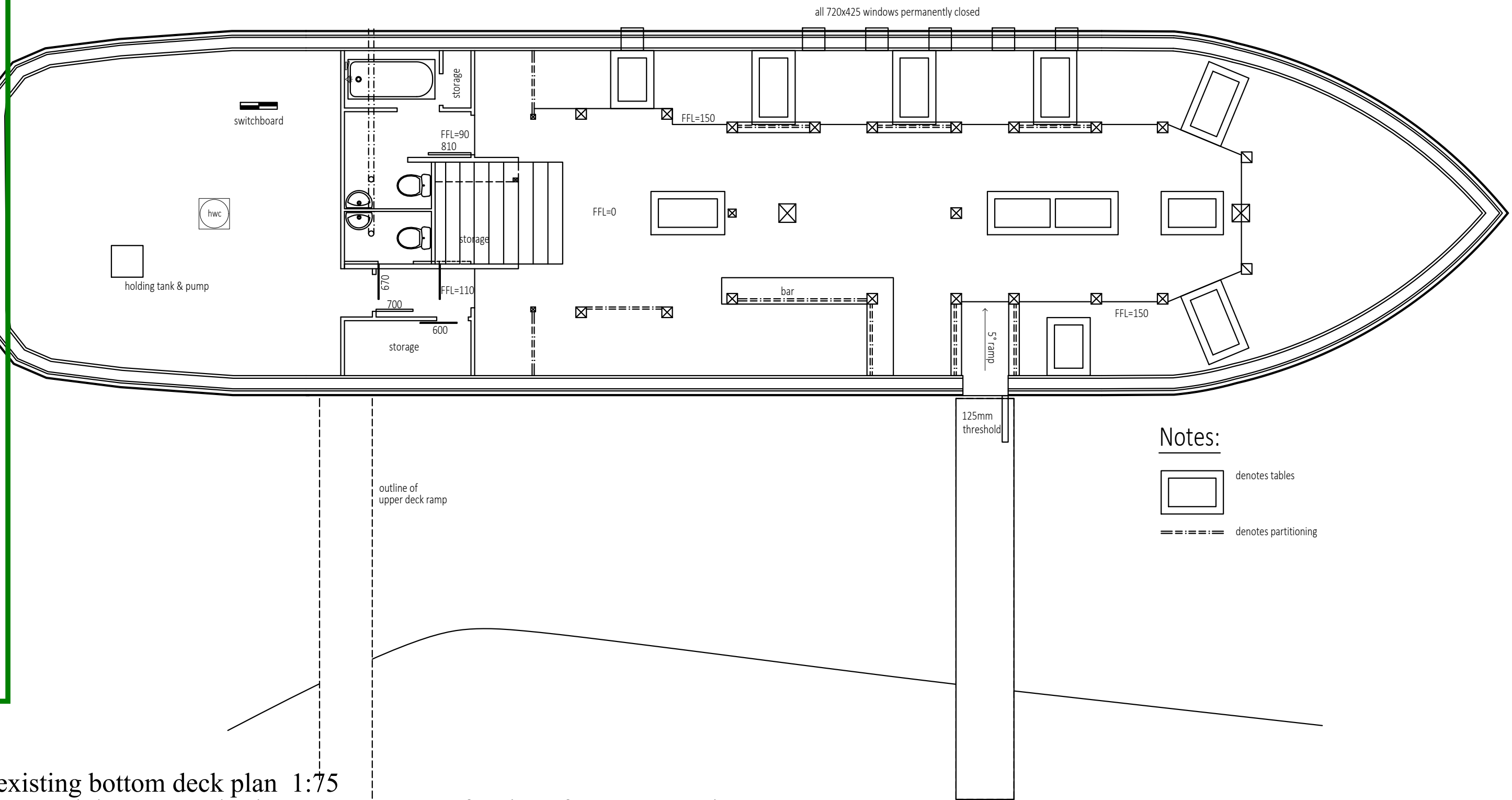
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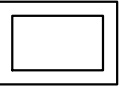
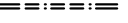
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3a



new landing

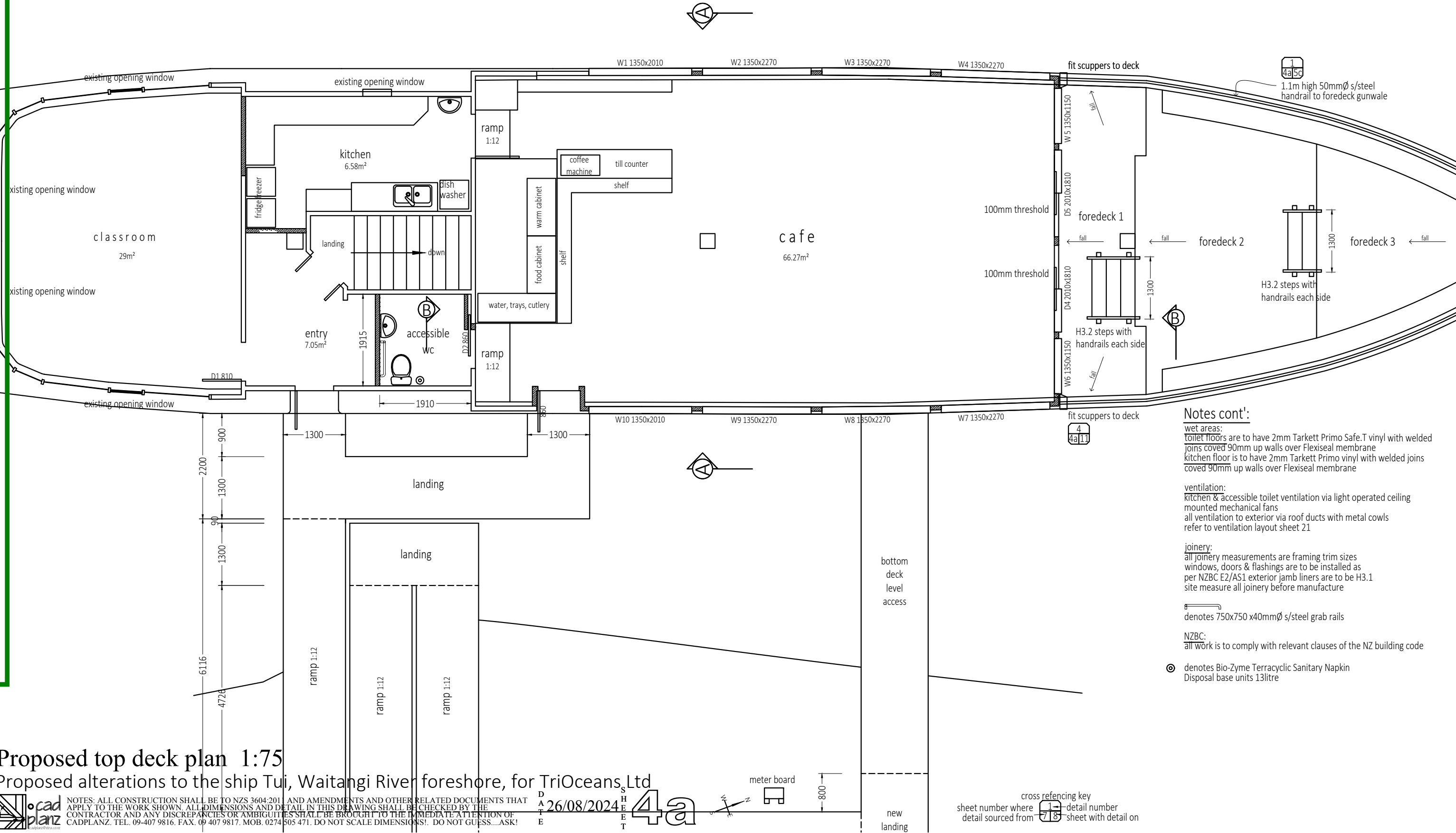


- Notes:**
-  denotes tables
 -  denotes partitioning

existing bottom deck plan 1:75
Proposed alterations to the ship Tui, Waitangi River foreshore, for TriOceans Ltd

Notes:

- denotes 90x45 SG8 H1.2 framed walls studs at 400mm centres
- insulation: installation is to comply with manufacturers specifications fit R2.8 batts between framing timbers etc. to cafe exterior walls fit R3.2 batts between framing timbers etc. to cafe ceiling
- splashbacks: basins & benches are to have ceramic tile splashbacks over Aqualine Gib
- cooking: the kitchen is not to have any cooking facilities



Notes cont':

- wet areas:** toilet floors are to have 2mm Tarkett Primo Safe.T vinyl with welded joints covered 90mm up walls over Flexiseal membrane kitchen floor is to have 2mm Tarkett Primo vinyl with welded joints covered 90mm up walls over Flexiseal membrane
- ventilation:** kitchen & accessible toilet ventilation via light operated ceiling mounted mechanical fans all ventilation to exterior via roof ducts with metal cowls refer to ventilation layout sheet 21
- joinery:** all joinery measurements are framing trim sizes windows, doors & flashings are to be installed as per NZBC E2/AS1 exterior jamb liners are to be H3.1 site measure all joinery before manufacture
- denotes 750x750 x40mm diameter steel grab rails
- NZBC:** all work is to comply with relevant clauses of the NZ building code
- denotes Bio-Zyme Terracyclic Sanitary Napkin Disposal base units 13litre

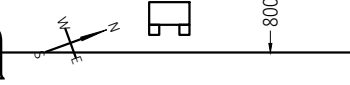
Proposed top deck plan 1:75

Proposed alterations to the ship Tui, Waitangi River foreshore, for TriOceans Ltd

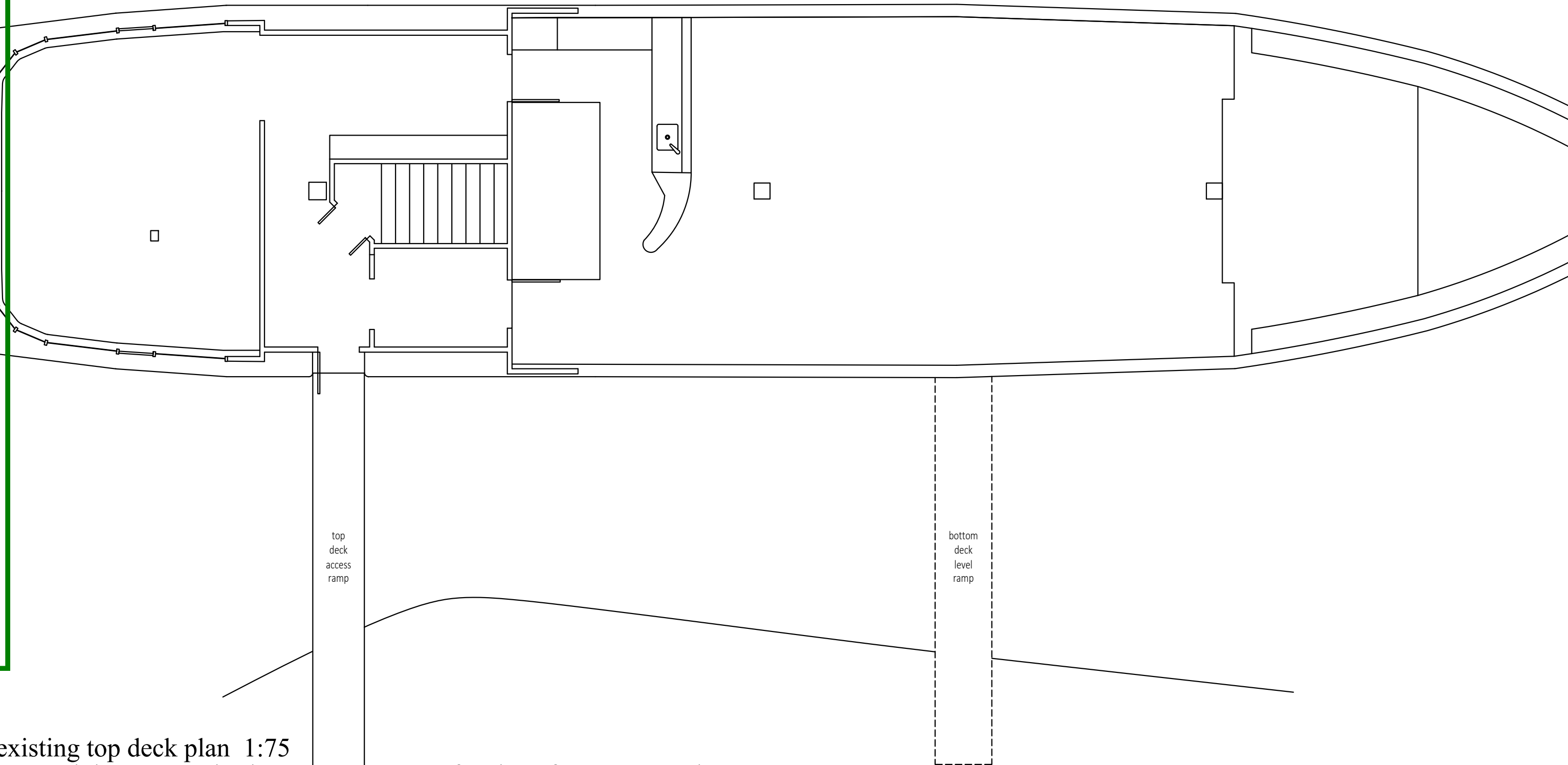


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 DRAWING NO: 4a



cross referencing key
 sheet number where detail sourced from: 718
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existing top deck plan 1:75

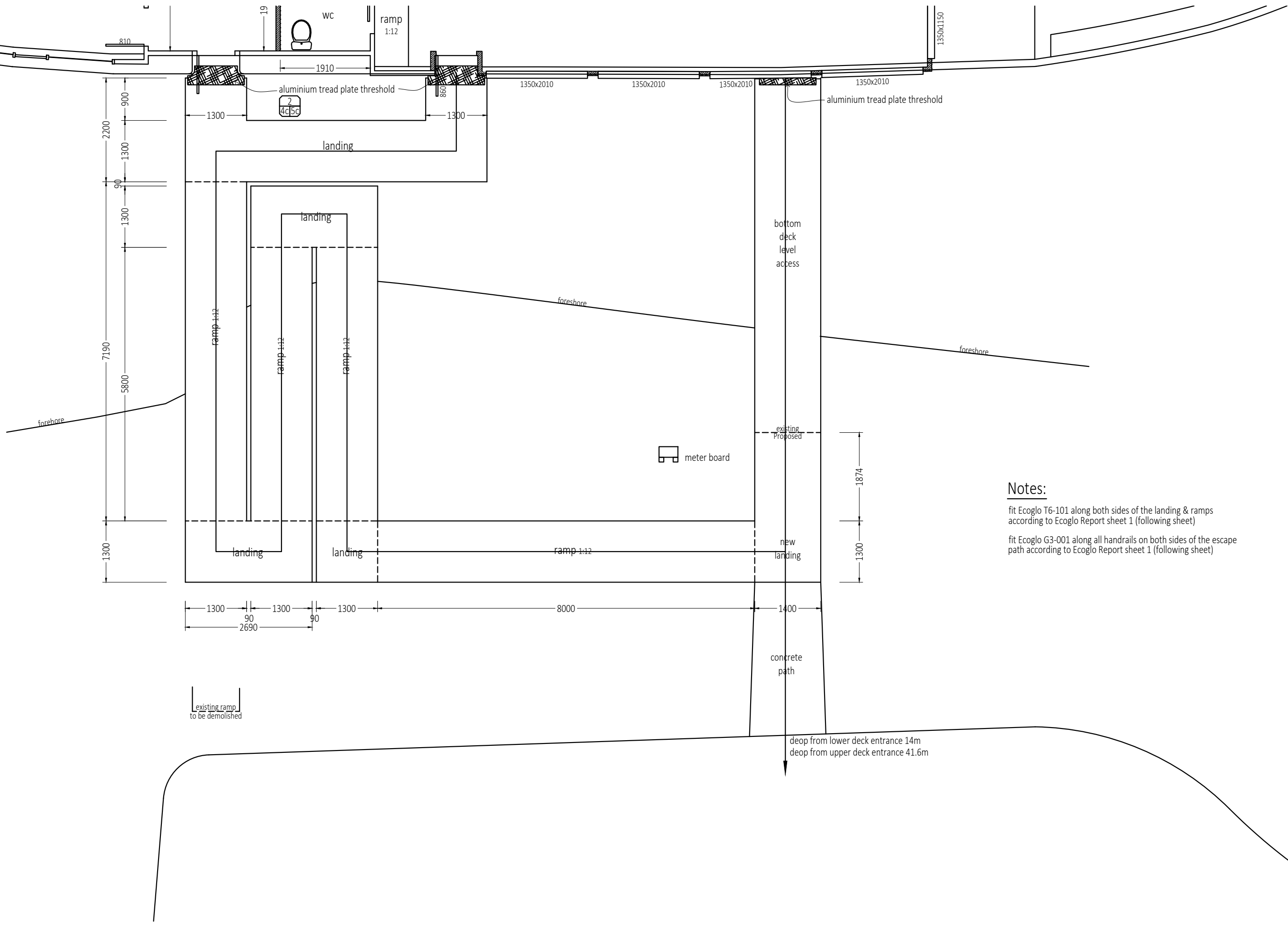
Proposed alterations to the ship Tui, Waitangi River foreshore, for TriOceans Ltd



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DATE 26/08/2024

4b



Notes:
 fit Ecoglo T6-101 along both sides of the landing & ramps according to Ecoglo Report sheet 1 (following sheet)
 fit Ecoglo G3-001 along all handrails on both sides of the escape path according to Ecoglo Report sheet 1 (following sheet)

Proposed access & carpark plan 1:75

Proposed alterations to the ship Tui, Waitangi River foreshore, for TriOceans Ltd



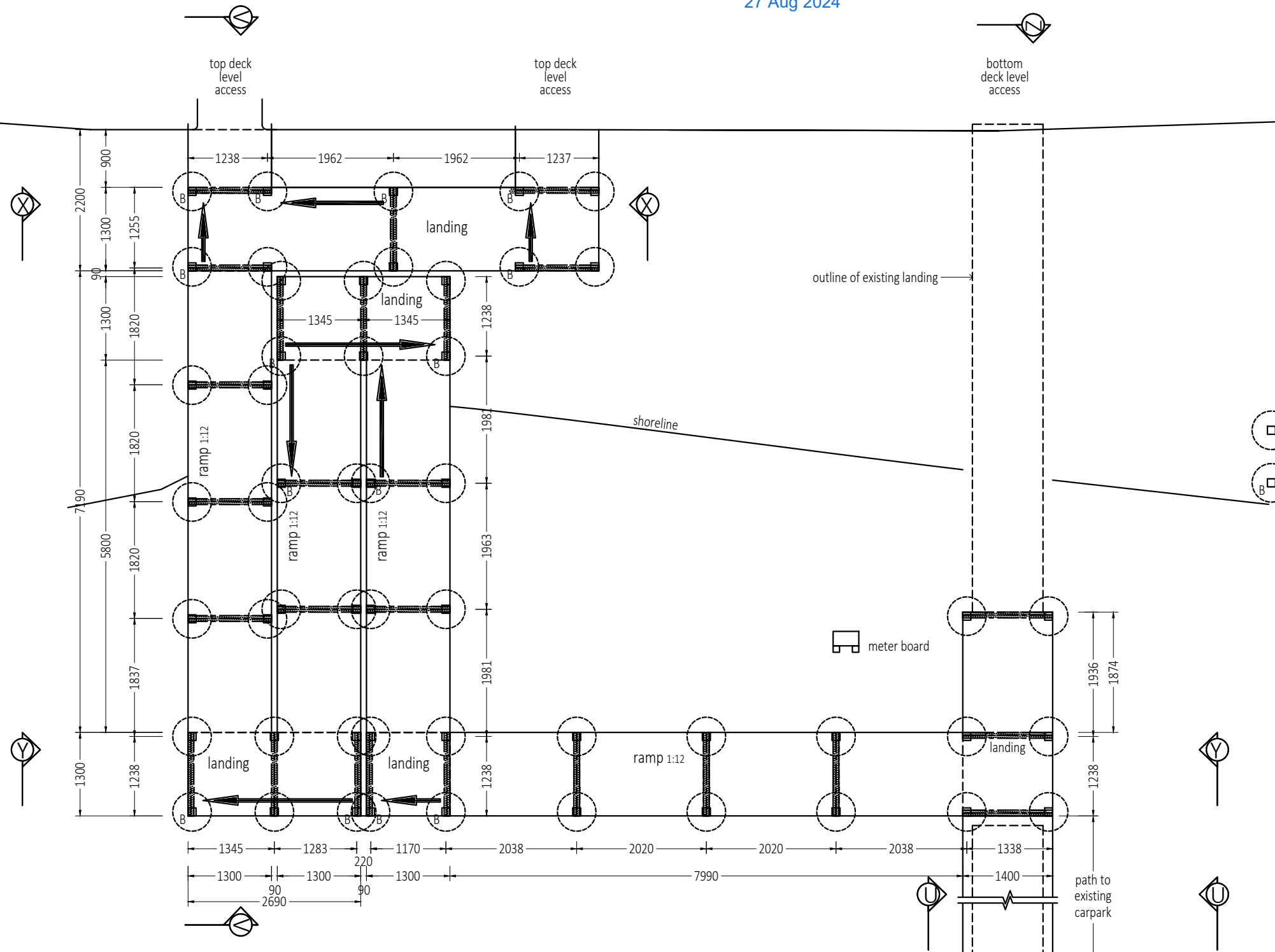
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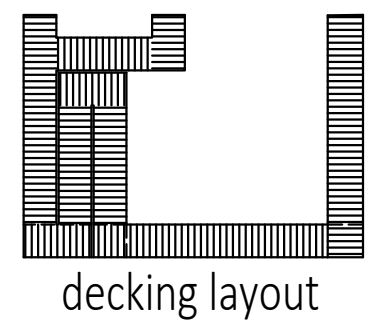
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 detail number: 13
 sheet with detail on: 7/8

I STATE ON REASONABLE GROUNDS THAT THESE DRAWINGS ARE IN ACCORDANCE WITH OUR CALCULATIONS WHERE APPLICABLE

TEO PILAPIL CPEng: 
27 Aug 2024




- Notes:**
all structural timber is to be SG8 grade or better
pile footing concrete is to be minimum 25MPa
- bearers:**
bearers etc made up of 2-members up to 150mm w are to be nailed together with 2-90x3.15mm nails at at 300mm centres from each side offset by 150mm
-  denotes 2-140x45 SG8 H3.2 bearer fixed to piles with 4-90x3.15mm skew nails & 2-110x160x1mm s/steel Nailon plates with 8-30x3.15mm product nails to each member
- piles:**
ordinary pile; 125mm² H5 pile embedded 700mm in 600mmØ x800mm deep 25MPa concrete footing

braced pile; 125mm² H5 pile embedded 700mm in 600mmØ x800mm deep 25MPa concrete footing

- bracing:**
 denotes diagonal brace;
<3m - 90x70 SG8 H4
>3m - 90x90 SG8 H4
fixed each end with 1-M12 s/steel bolt with 50mm² washers
arrow head denotes top of brace

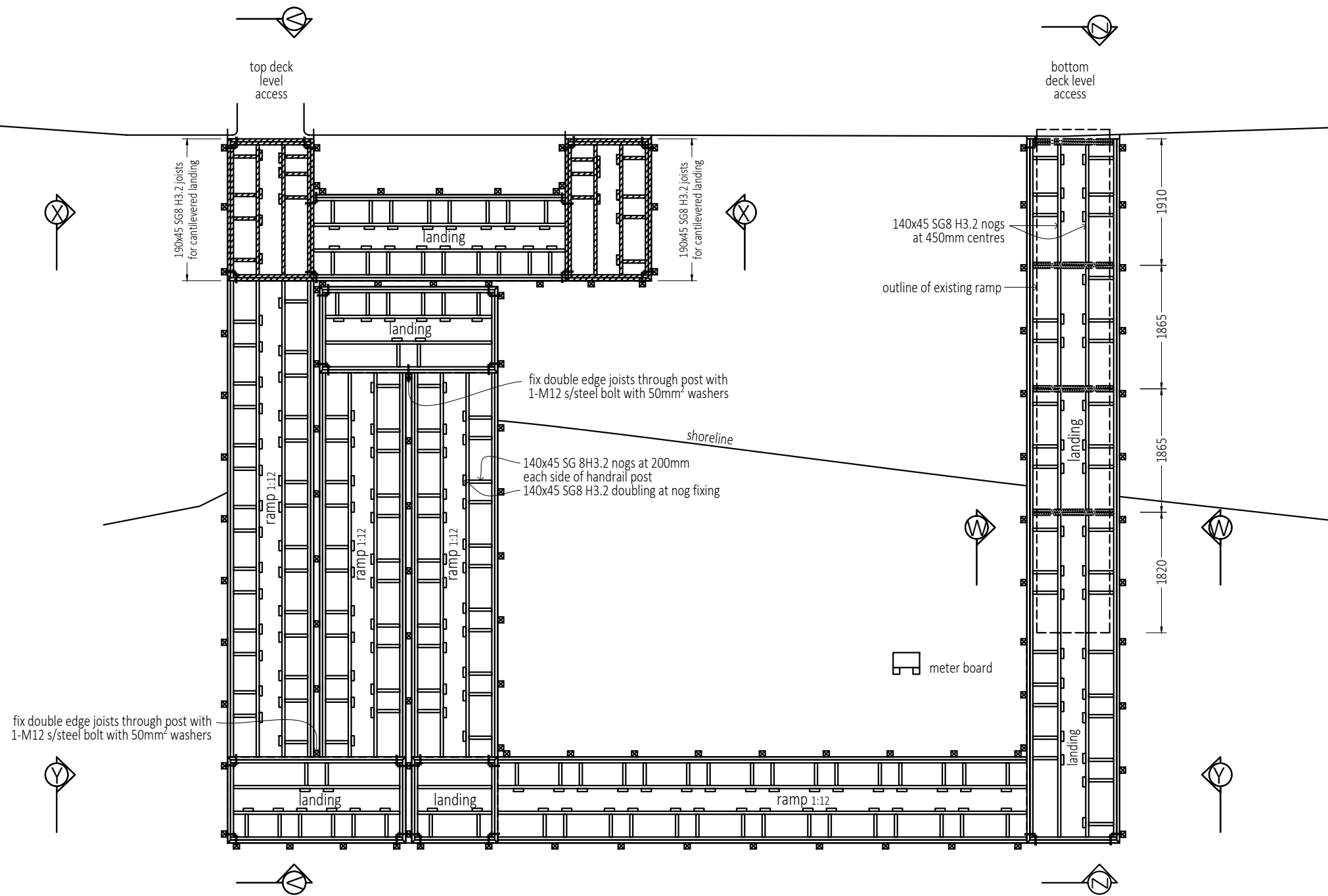


subfloor pile & bearer plan 1:75

Proposed alterations to the ship Tui, Waitangi River foreshore, for TriOceans Ltd

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CHECKED BY: S H E T
SCALE: 5a

75mm thick unreinforced 25MPa concrete path with 100mm deep x 150mm w edge thickening over compacted layers of suitable hardfill where necessary hardfill to comply with NZS 3604:2011 7.5.3.2 concrete to be placed & cured as per NZS 3109:1997



Notes:

- all structural timber is to be SG8 grade or better
- existing bottom deck level access ramp:
- existing ramp in-line bearers:
- denotes 2-140x45 SG8 H3.2 in-line bearer fixed with 2-CPCSS40 each side with each CPCSS40 being fixed with 2-Type 17-14x75mm s/steel screws to edge joist & 3-Type 17-14x35mm s/steel screws to bearer
- fix bearers to each existing ramp joist with 2-90x3.15mm skew nails & 1-s/steel 'Z' nail
- nogs:
- 140x45 SG8 H3.2 nogs at 450mm centres fixed with s/steel joist hangers each end
- new landings & ramps:
- denotes 2-140x45 SG8 H3.2 edge joist fixed to bearers with 4-90x3.15mm skew nails & 2-s/steel 'Z' nails & fix ends of ramp edge joists by first fixing outer joist with 1-fully nailed s/steel Multigrip & then by fixing inner joist with 1-fully nailed s/steel Multigrip
- Note: fix double joists of landings at all corners with BS175 brackets
- denotes 2-190x45 SG8 H3.2 cantilevered edge joist fixed to bearers with 4-90x3.15mm skew nails & 2-s/steel 'Z' nails &
- Note: fix double joists of landings at all corners with BS176 brackets
- denotes 140x45 SG8 H3.2 joists at 450mm centres fixed to bearers with 2-90x3.15mm skew nails & 1-s/steel 'Z' nail fix to edge joists at each end with s/steel joist hangers
- denotes 190x45 SG8 H3.2 joists at 450mm centres fixed to bearers with 2-90x3.15mm skew nails & 1-s/steel 'Z' nail fix to edge joists at each end with s/steel joist hangers
- handrail posts:
- fix 90mm SG8 H3.2 handrail posts at <1m centres with 2-M12 s/steel bolts with 50mm² washers
- denotes BS175 brackets fixed with M12 bolts through 2-140x45 SG8 H3.2 double joists at all corners of landings

subfloor joist & post layout 1:75

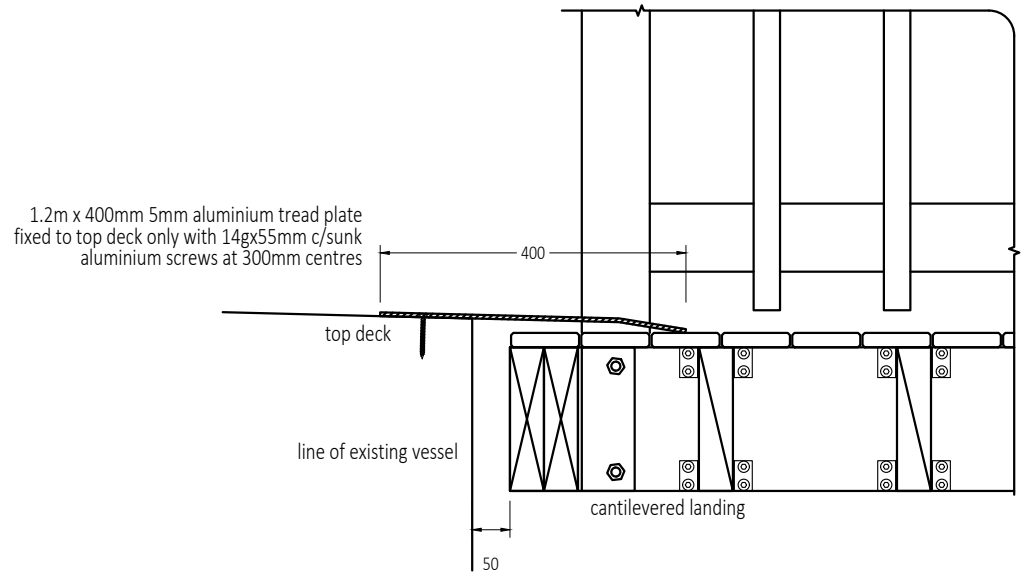
Proposed alterations to the ship Tui, Waitangi River foreshore, for TriOceans Ltd



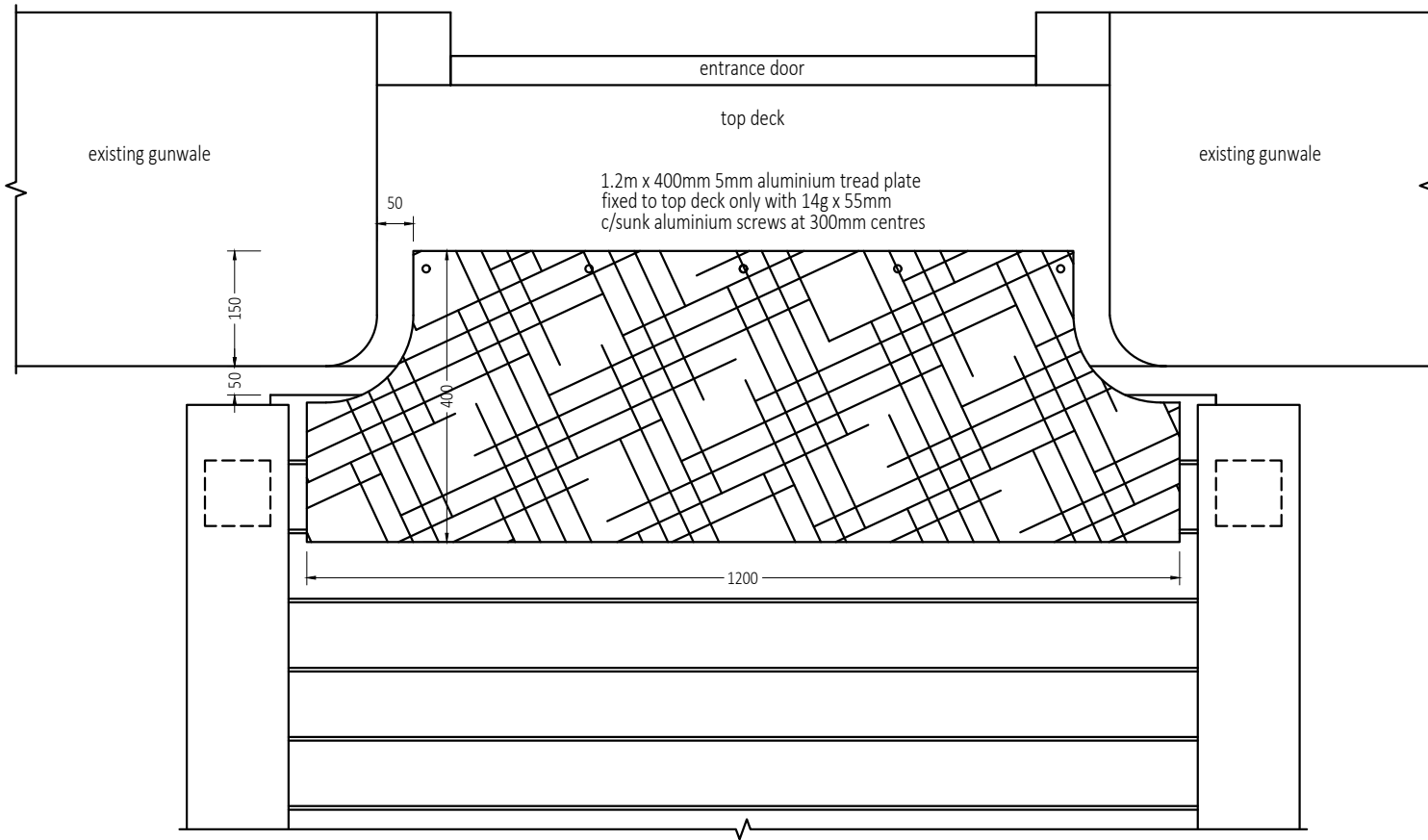
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5b

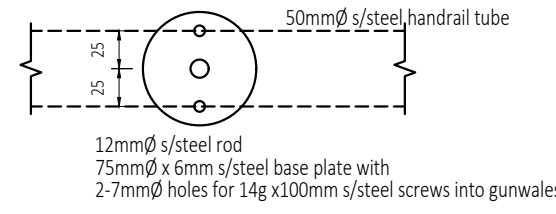
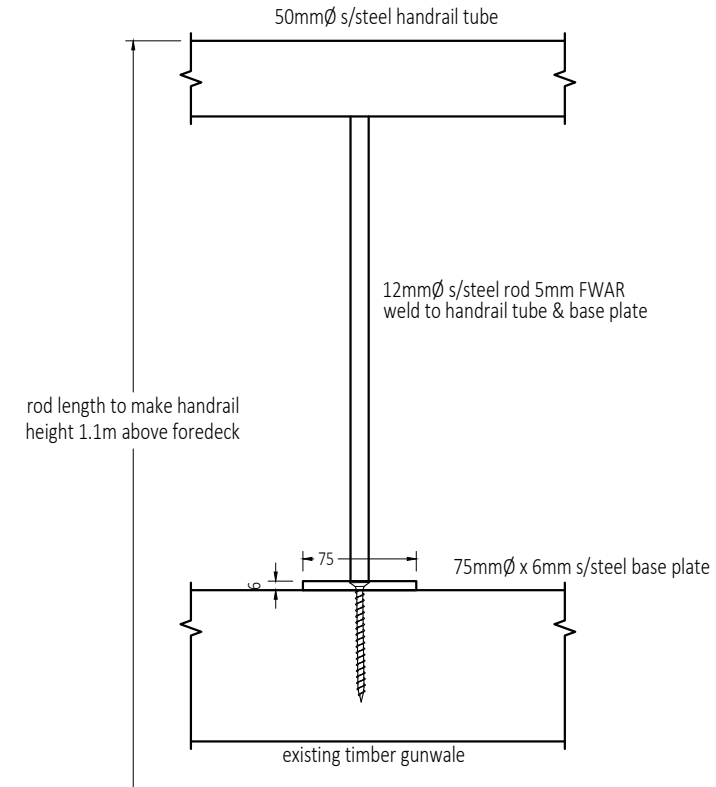


treadplate threshold detail 1:10



cantilevered landing with Griptread decking & 1.1m handrail

1
1450 2
4c50 tread plate threshold plan 1:10



1
4a50 foredeck handrail detail 1:5

accessway 1:10 & foredeck handrail detail 1:5

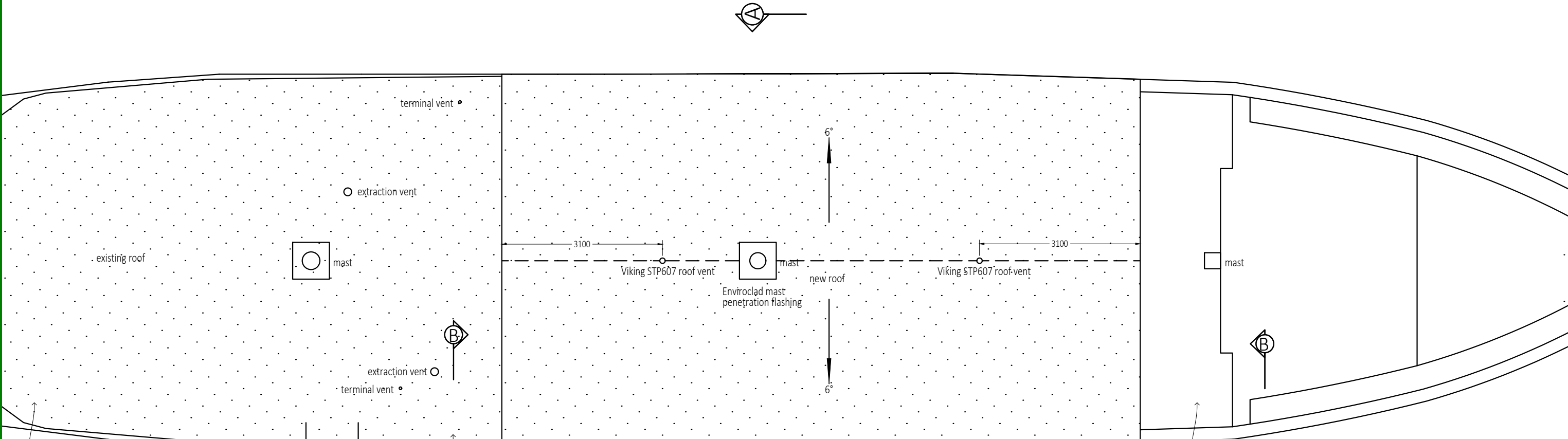
Proposed alterations to the ship Tui, Waitangi River foreshore, for TriOceans Ltd



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 CHECKED BY: T
 APPROVED BY: E

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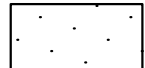


Note: membrane roof substrate is vented via vessel structure below

Note new roof overlaps existing membrane roof

Note: deck membrane substrate is vented via vessel structure below



Notes:

 denotes Enviroclad TPO 1.5mm membrane over 17.5mm H3.2 CD plywood

where necessary remove old membrane, inspect plywood for defects, etc. and if in sound condition allow to install 1.5mm Enviroclad TPO membrane over ensure existing substrate has been screw fixed, if not use 10g x60mm s/steel screws to refix if substrate is not sound allow to overlay new H3.2 plywood over in overlapping staggered pattern i.e. all sheet joints in different locations to existing layout

Enviroclad TPO membrane installation:

1. Roof framing supports at 400mm in one direction and Nogs/ Blocking at the sheet edges (all plywood edges supported) use 17mm minimum thickness (CCA H3.2 treated), structural plywood (Do not use tongue & groove plywood)
2. Plywood laid with face grain at right angles to supports. All sheet joints must be made on a single timber support to minimise the chance of movement between sheets.
3. Plywood is to be laid with staggered joints in a brick-bond pattern. Apply with a continuous bead of Holdfast Gorilla Grip 2 Hour-Cure Construction Adhesive on top of timber supports.
4. Sheet edges are to be carefully glued together with a continuous bead of Holdfast Gorilla Grip 2 Hour-Cure Construction Adhesive (no spot gluing) and must be tight butt-joined. Glue must be seen to come to the top surface of the sheet joints. Once sheets have been placed together remove excess adhesive by scraping the joint with a chisel. Ensure joints and sheets are not walked on with two hours of application. When fully cured remove excess and sand all sheet joints
5. Leave a 5mm expansion gap around the perimeter of the plane. This fixing specification allows for a maximum 50m2 without expansion joints (dependent on design). 5mm expansion joints should be allowed for areas over 50m2. For further information regarding placement of expansion joints for your design, please check with Architect/ Designer
6. Plywood screw-fixed with 10g x 60mm S/S counter-sunk screws at 150mm centres at all sheet edges and 200mm centres throughout the body of the sheet. All screws to be counter sunk 1-2mm.
7. Chamfer all external edges with a minimum radius of 5mm.
8. Plywood is to be kept dry at all times during construction. Blow/torch drying the plywood surface prior to membrane application does not comply. Plywood and framing support to be no more than 18% moisture content when membrane is adhered.
9. All outlets and overflows are membrane compatible.
10. Outlets must have Clamped Grates or Enviroclad weldable components.
11. Ensure compliant falls. E2/AS1 8.5.1. limitations state 2° for roofs (1:30 or 34mm/mt), 1.5° for decks (1:40 or 25mm/mt)

cross referencing key
sheet number where  detail number
detail sourced from  sheet with detail on

roof layout plan 1:75

Proposed alterations to the ship Tui, Waitangi River foreshore, for TriOceans Ltd

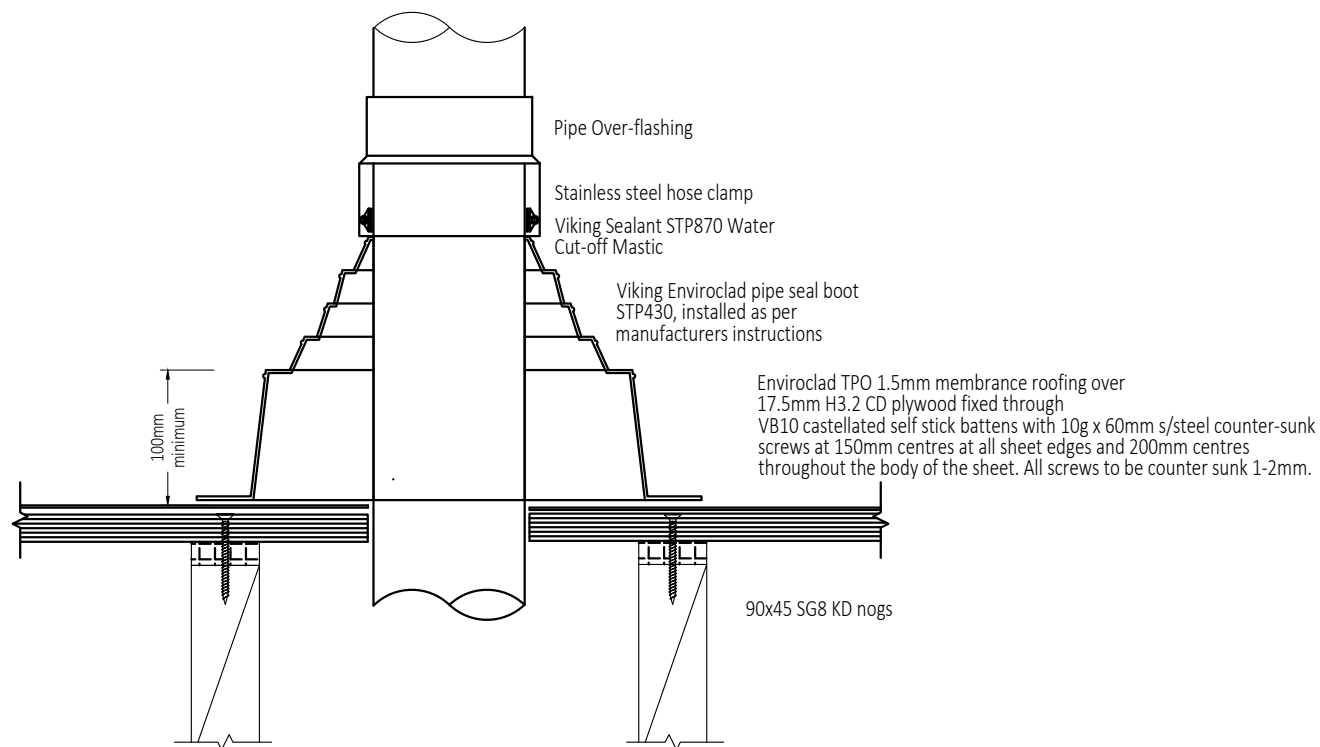


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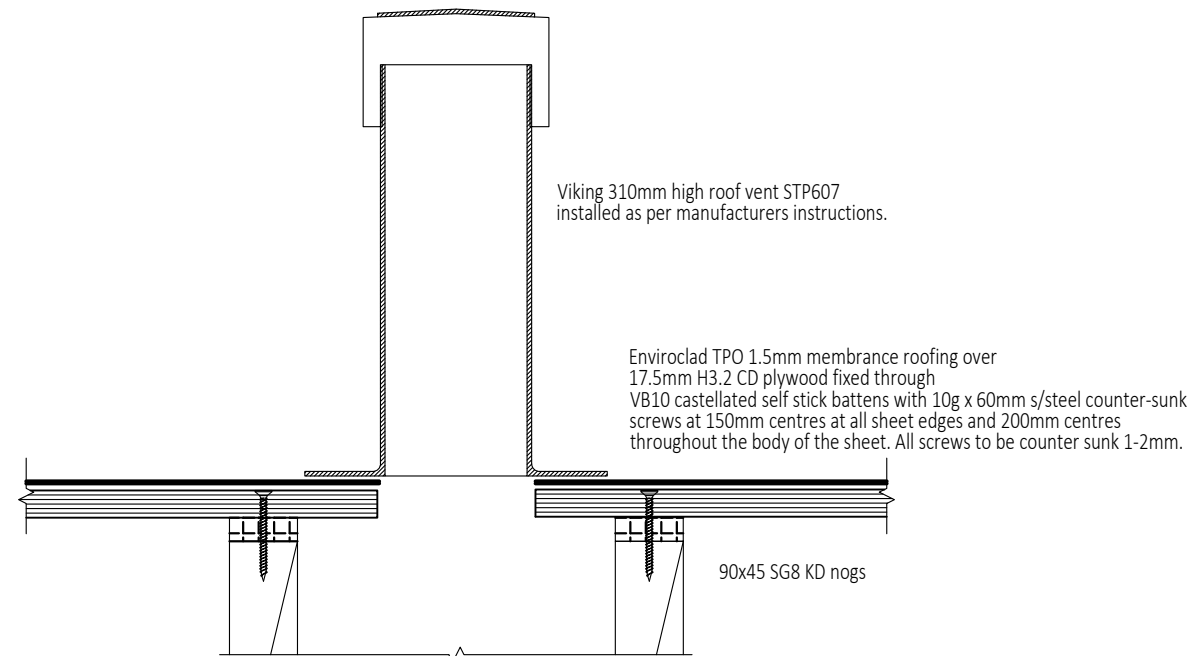
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6a

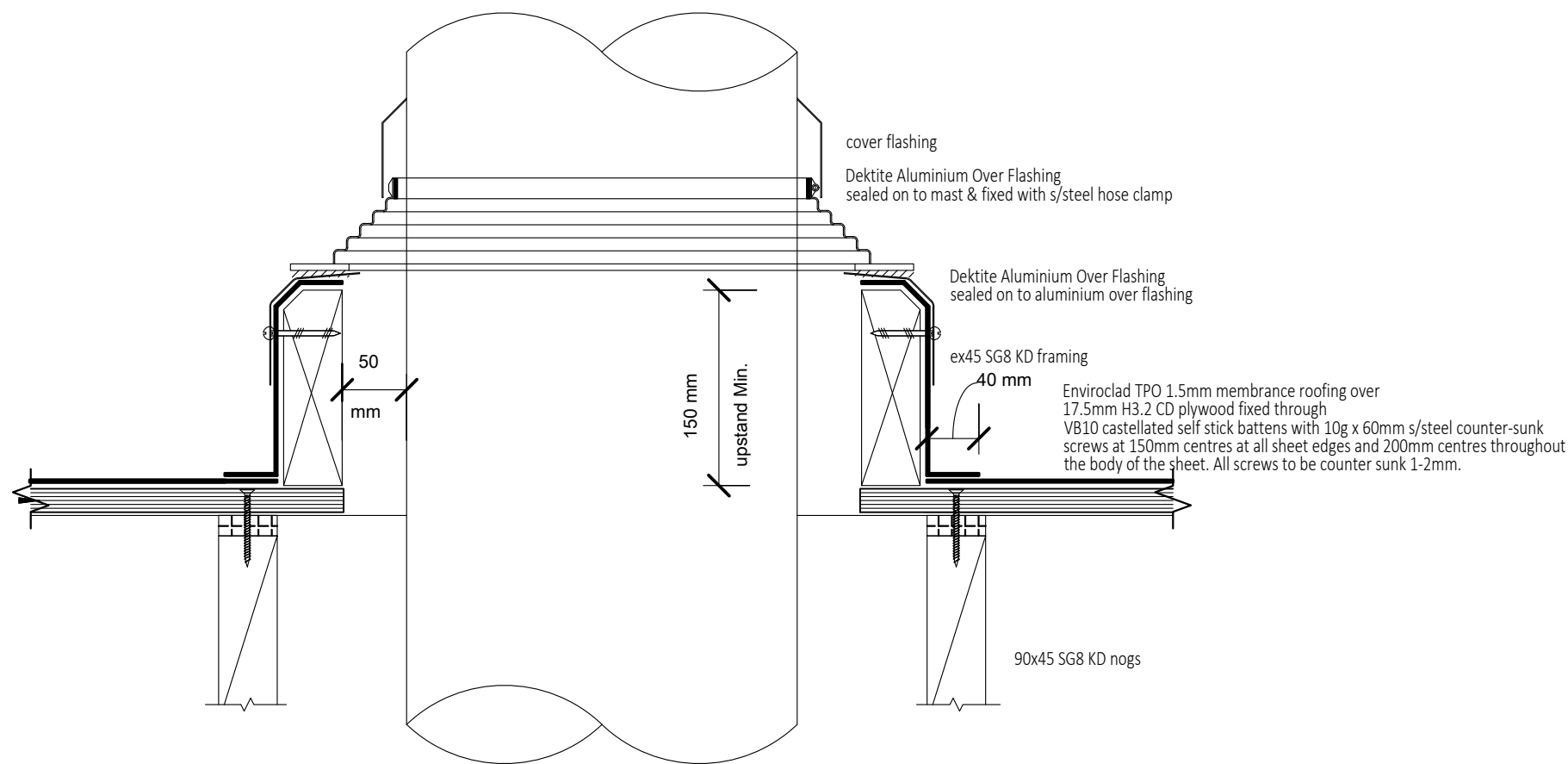




1
2a/6b Enviroclad pipe penetration detail 1:5



2
2b/6b Enviroclad vent penetration detail 1:5



1
2b/6b Enviroclad mast penetration detail 1:5

roof penetration details 1:5

Proposed alterations to the ship Tui, Waitangi River foreshore, for TriOceans Ltd



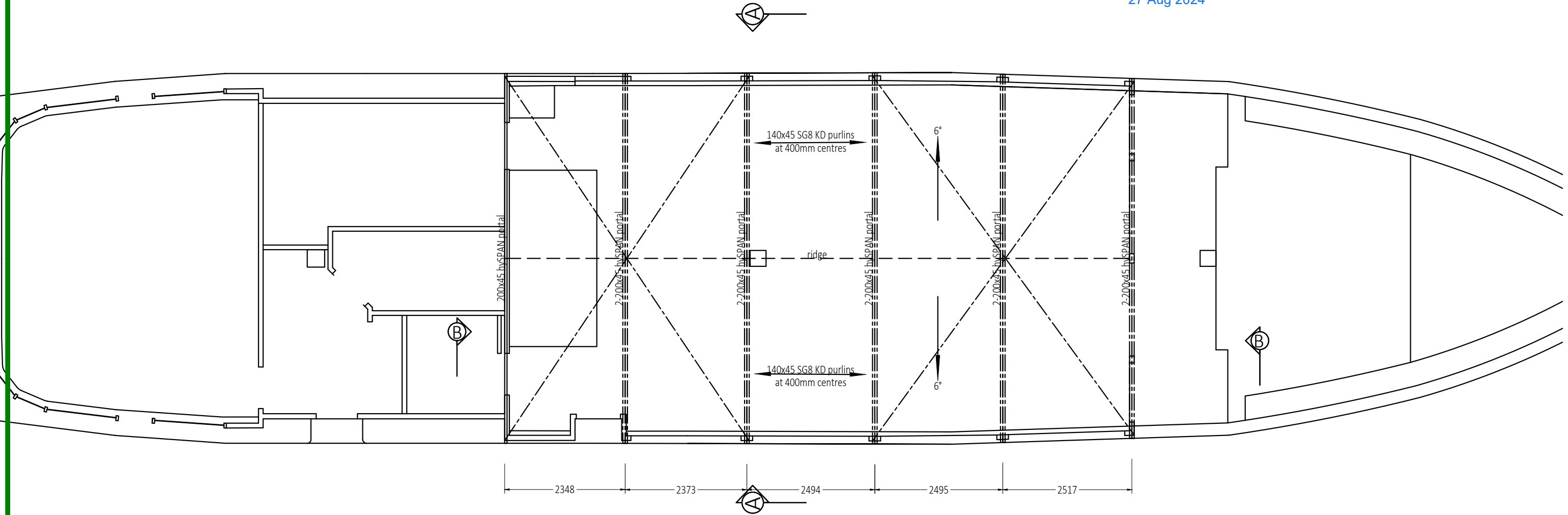
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6b

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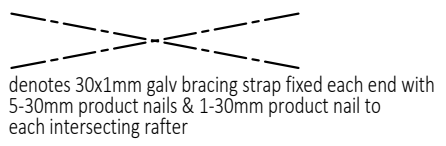
TEO PILAPIL CPEng: 
27 Aug 2024



Notes:

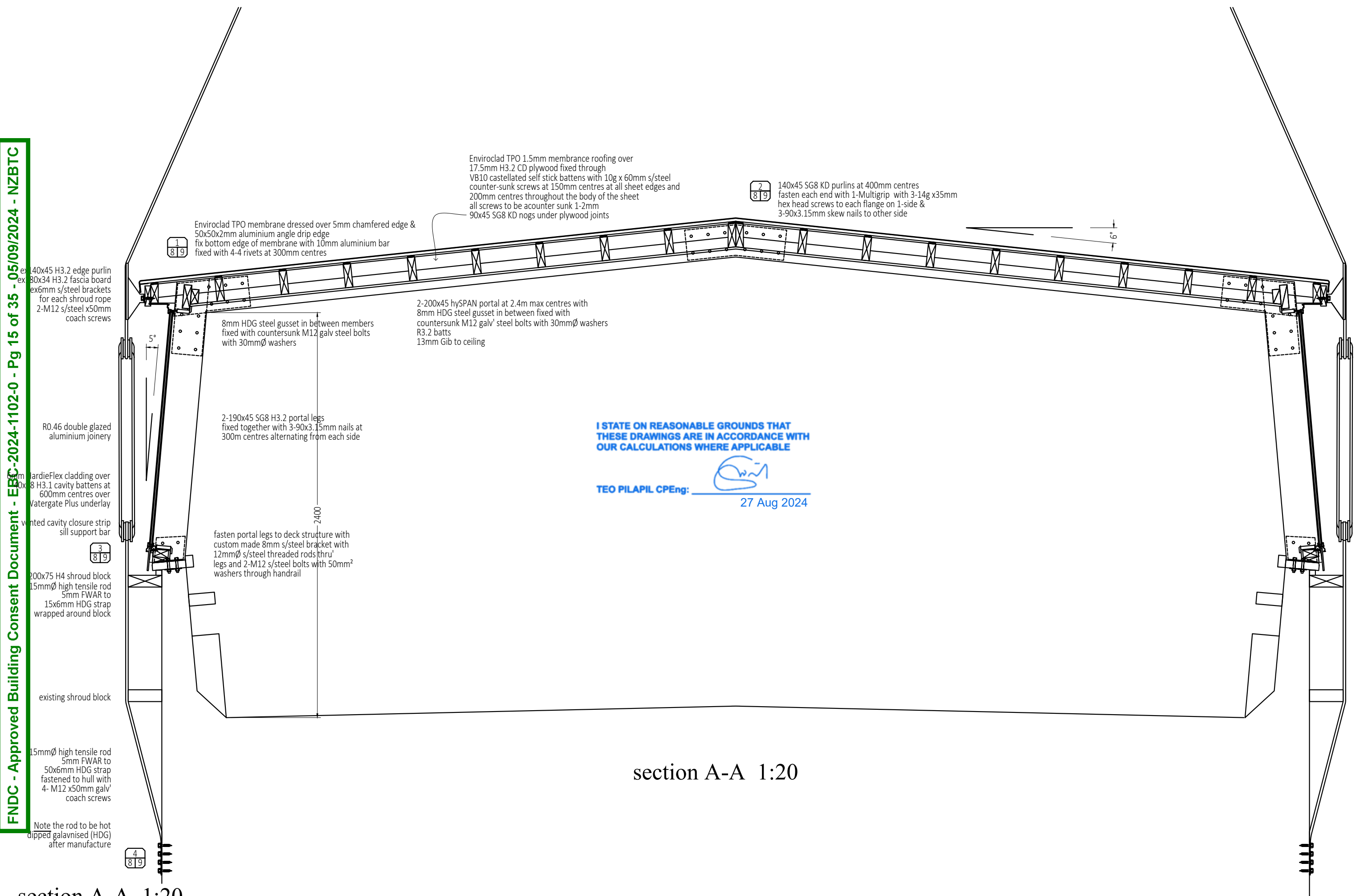
portals:
2-200x45 hySPAN rafters & 2-190x45 SG8 H1.2 legs are to be made up with 8mm HDG steel gussets & bolted with countersunk M12 bolts with 30mmØ washers as shown on details
portal members are to be fixed together between gussets with 3-90x3.15mm nails at 300mm centres alternating from each side
fix portal through handrail with custom made s/steel bracket with 2-M12 s/steel bolts through portal leg & 2-M12 s/steel bolts through handrail

purlins:
140x45 SG8 KD purlins are to be a 400mm max centres
fixed each end with Multigrip with 3- 12g x35mm screws to 1-side and 3-90x3.15mm nails to other side



roof framing plan 1:75
Proposed alterations to the ship Tui, Waitangi River foreshore, for TriOceans Ltd





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section A-A 1:20

section A-A 1:20



Proposed alterations to the ship Tui, Waitangi River foreshore, for TriOceans Ltd

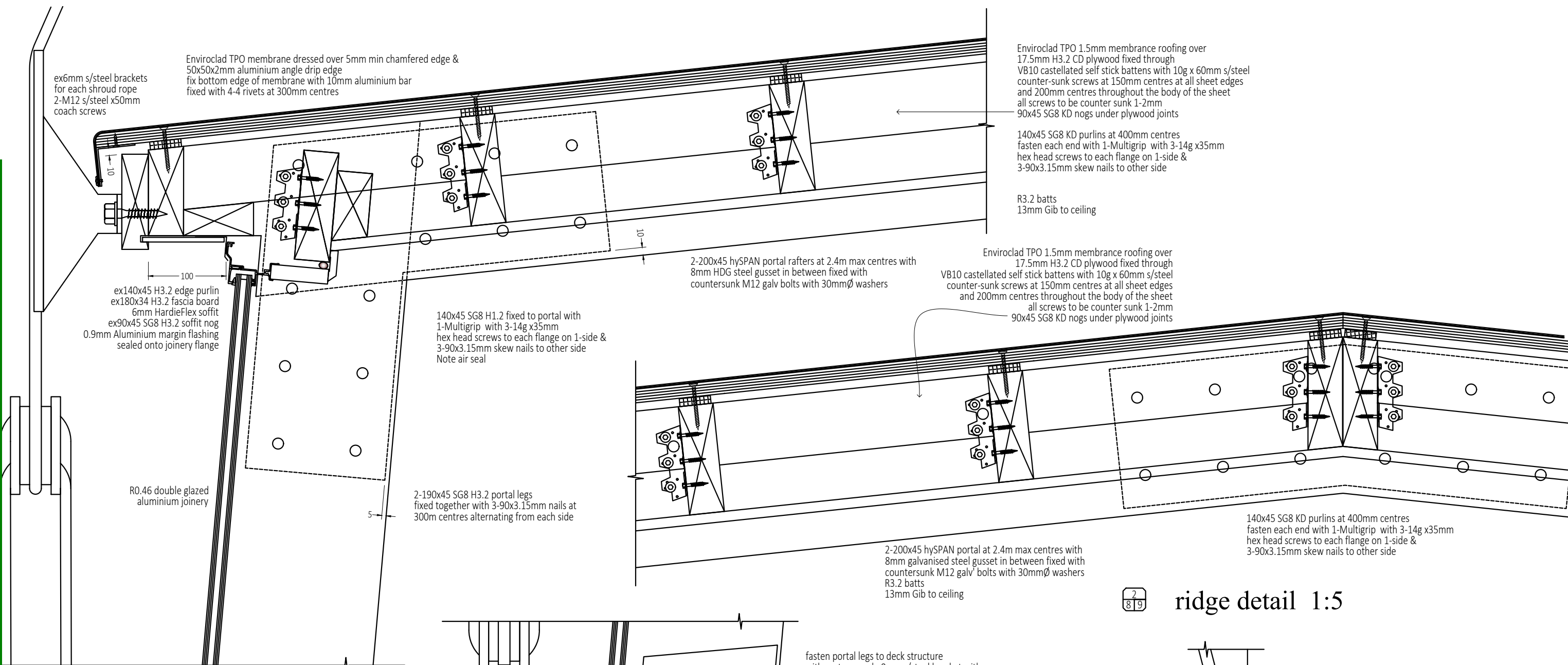


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1 portal details 1:5

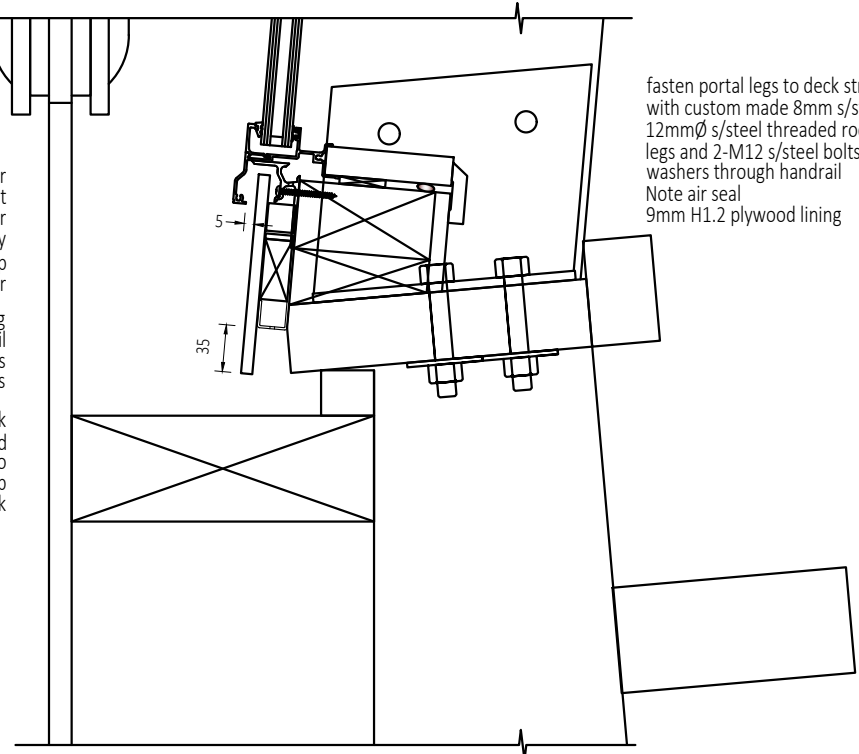
6mm HardieFlex cladding over 40x18 H3.1 cavity battens at 600mm centres over Watergate Plus underlay vented cavity closure strip sill support bar

90x45 SG8 H3.2 framing shaped to fit handrail fixed with 2-90x3.15mm nails at 300mm centres

200x75 H4 shroud block 15mmØ high tensile rod 5mm FWAR to 15x6mm HDG strap wrapped around block

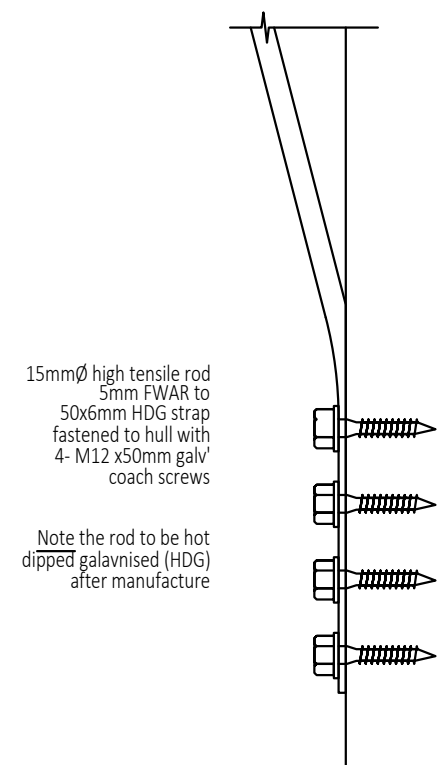
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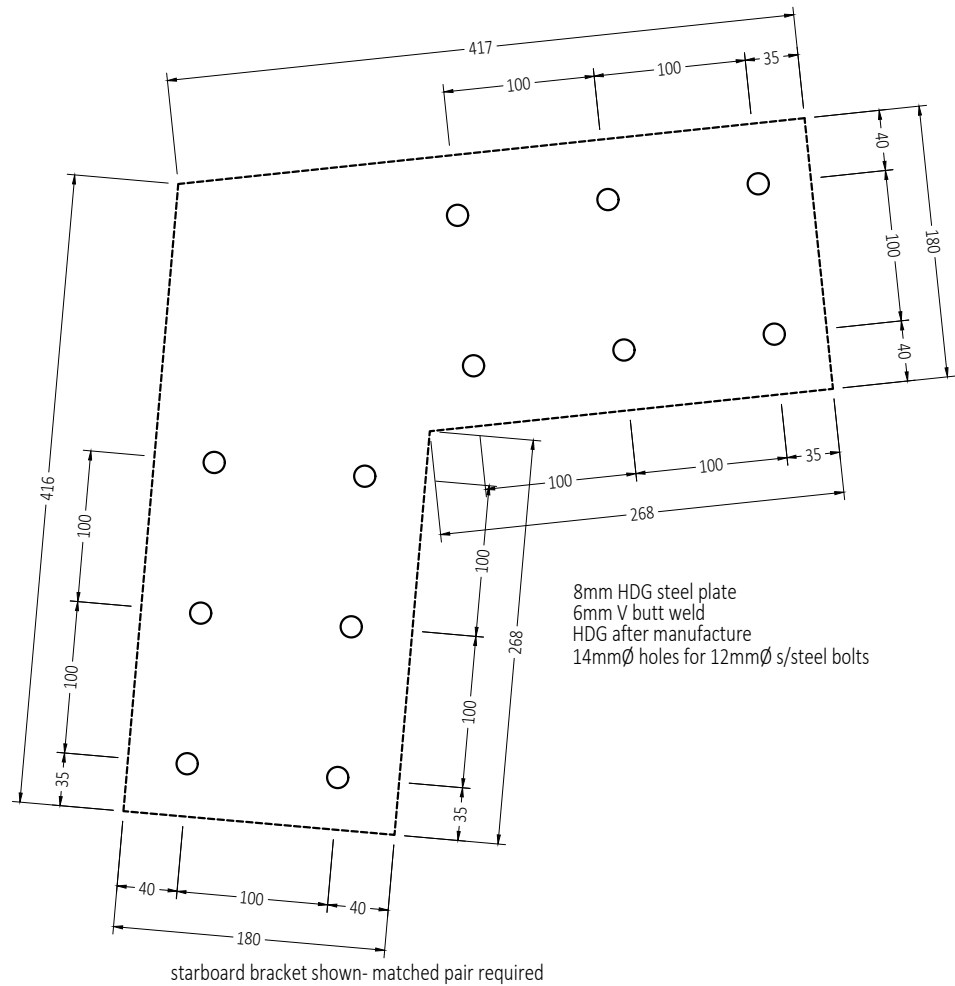
3 portal leg detail 1:5

2 ridge detail 1:5

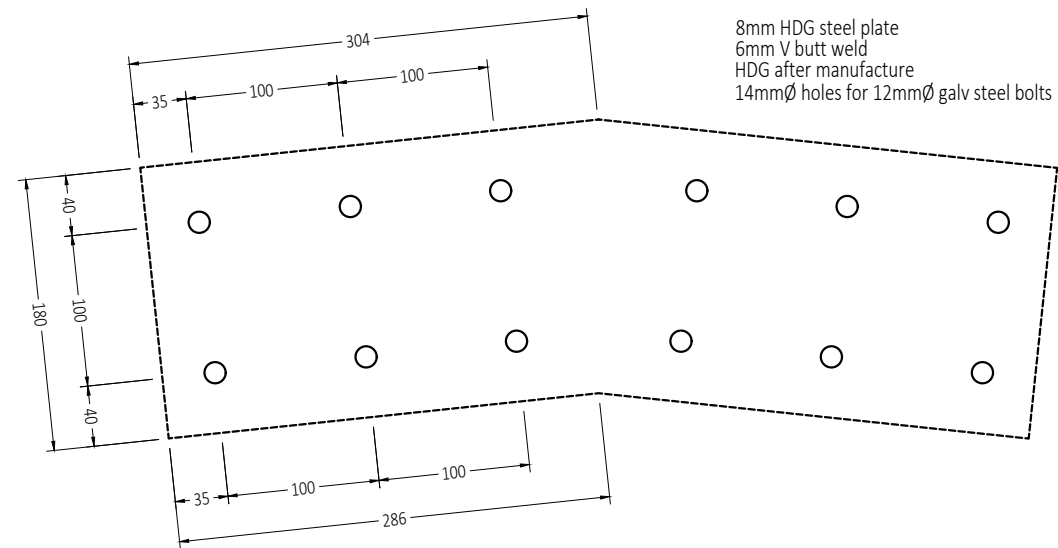


4 portal leg detail 1:5

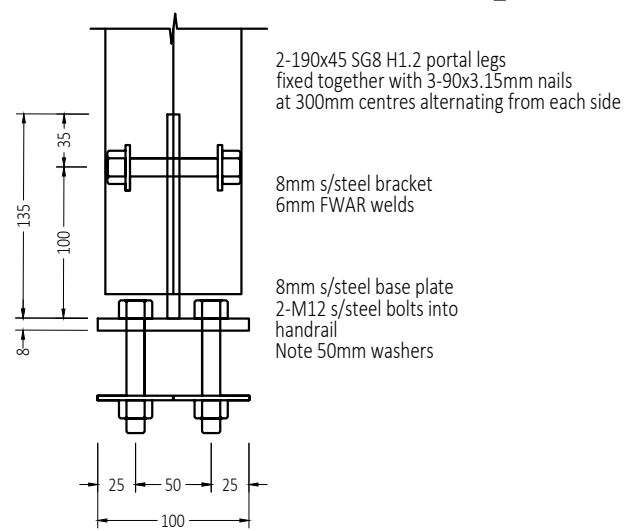
section A-A details #1 1:5
Proposed alterations to the ship Tui, Waitangi River foreshore, for TriOceans Ltd



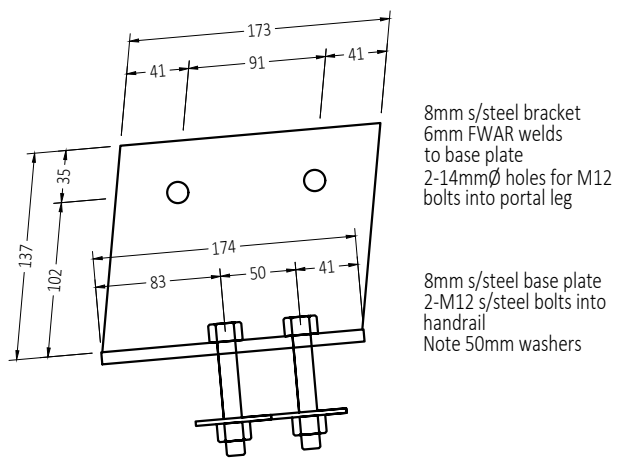
portal rafter/leg gusset detail 1:5



portal ridge gusset detail 1:5



side elevation



front elevation

portal legs bracket details 1:5

8mm HDG steel plate
6mm V butt weld
HDG after manufacture
14mmØ holes for 12mmØ galv steel bolts

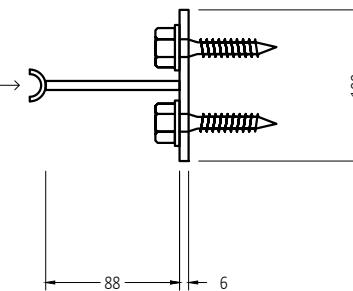
8mm HDG steel plate
6mm V butt weld
HDG after manufacture
14mmØ holes for 12mmØ s/steel bolts

2-190x45 SG8 H1.2 portal legs
fixed together with 3-90x3.15mm nails
at 300mm centres alternating from each side

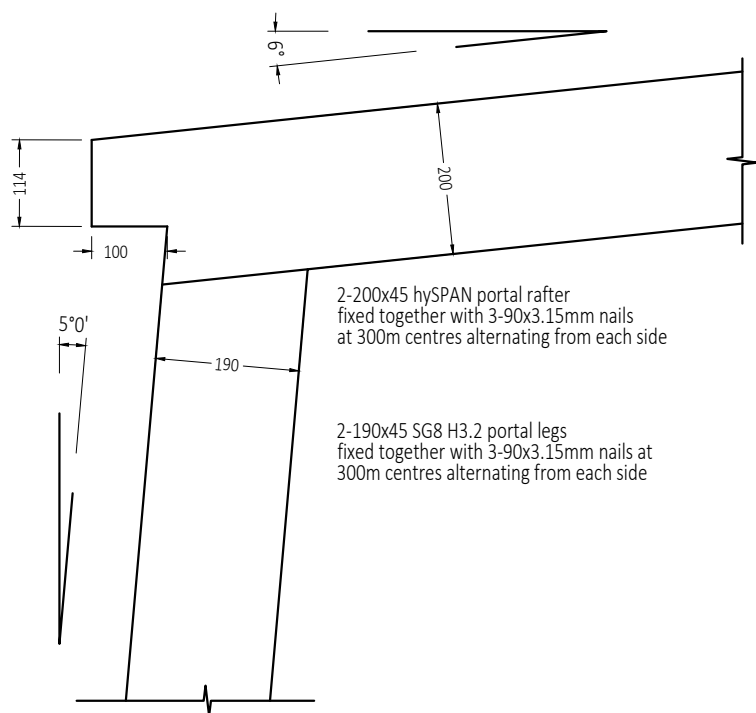
8mm s/steel bracket
6mm FWAR welds

8mm s/steel base plate
2-M12 s/steel bolts into
handrail
Note 50mm washers

345mm long 3mm thick s/steel
folded to semicircle shape
5mm FWAR weld to bracket
ex6mm s/steel brackets
for each shroud rope
2-M12 s/steel x50mm
coach screws
ex6mm thick bracket
5mm FWAR welds
to 50x6mm s/steel strap

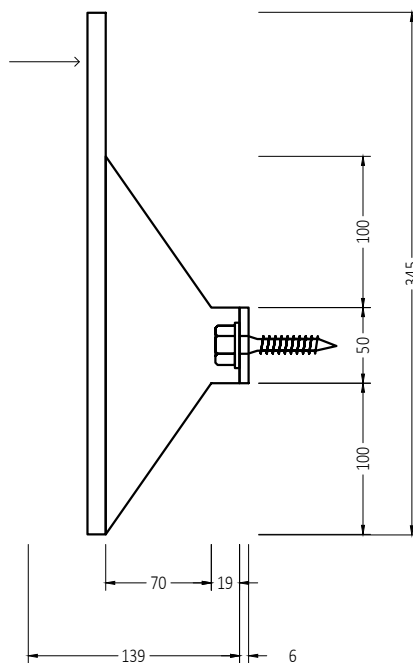


plan view



portal rafter detail 1:10

345mm long 3mm thick s/steel
folded to semicircle shape
5mm FWAR weld to bracket
ex6mm s/steel brackets
for each shroud rope
2-M12 s/steel x50mm
coach screws
ex6mm thick bracket
5mm FWAR welds
to 50x6mm s/steel strap



elevation view

shroud rope bracket details 1:5

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section A-A details #2 1:5 & 1:10

Proposed alterations to the ship Tui, Waitangi River foreshore, for TriOceans Ltd

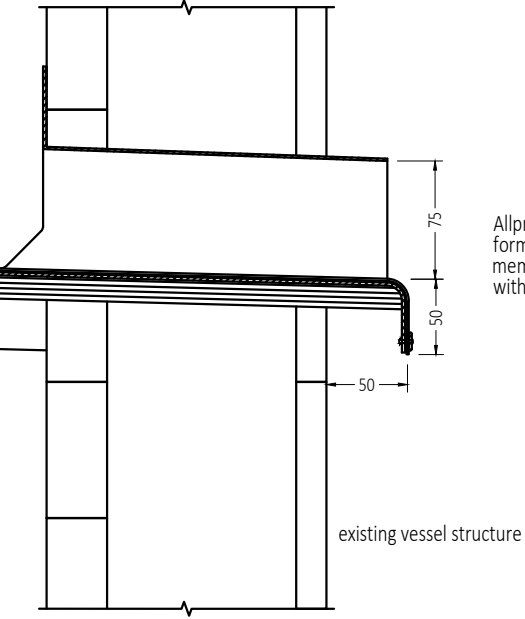


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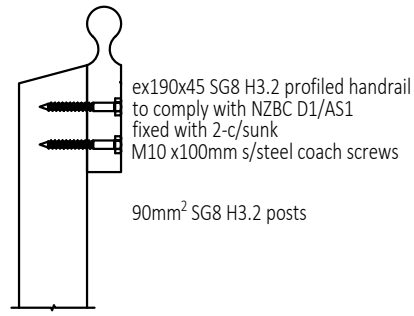
Viking Dec-K-ing membrane to entire foredeck over new 17.5mm H3.2 CD plywood substrate & covered 100mm up at sides & dressed into scupper
 Note: deck membrane substrate is vented via vessel structure below

Allproof s/steel scupper with 50mm overhang form 50mm drip edge & fix Viking Dec-K-ing membrane with 10mm aluminium bar fixed with 4-4 rivets at 300mm centres



scupper detail 1:5

900mm high 190x45 H3.2 profiled handrail each side fixed with M10x100mm c/sunk s/steel coach screws



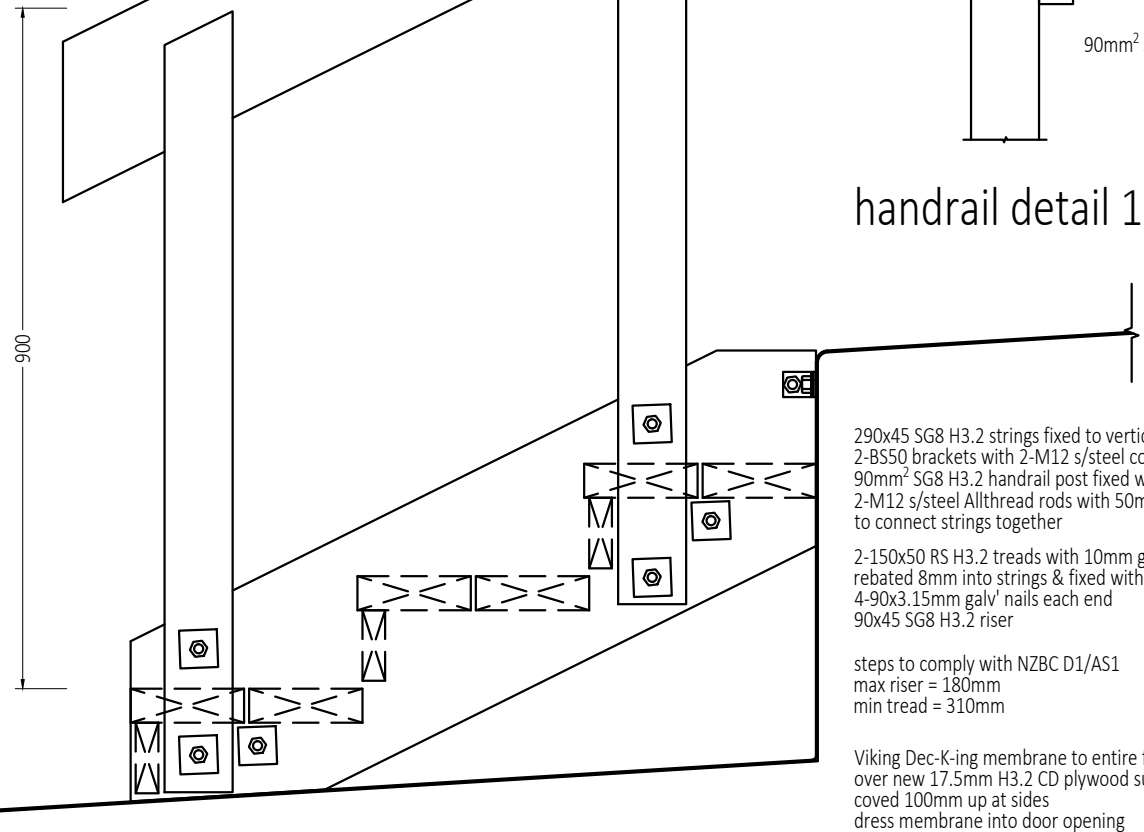
handrail detail 1:10

290x45 SG8 H3.2 strings fixed to vertical face of deck with 2-BS50 brackets with 2-M12 s/steel coach screws
 90mm² SG8 H3.2 handrail post fixed with 2-M12 s/steel bolts
 2-M12 s/steel Allthread rods with 50mm² washers to connect strings together

2-150x50 RS H3.2 treads with 10mm gap between rebated 8mm into strings & fixed with 4-90x3.15mm galv' nails each end
 90x45 SG8 H3.2 riser

steps to comply with NZBC D1/AS1
 max riser = 180mm
 min tread = 310mm

Viking Dec-K-ing membrane to entire foredeck over new 17.5mm H3.2 CD plywood substrate & covered 100mm up at sides
 dress membrane into door opening
 Note: deck membrane substrate is vented via vessel structure below (see sheet 28 for further product details)



steps detail 1:10

Enviroclad TPO 1.5mm membrane roofing over 17.5mm H3.2 CD plywood fixed through VB10 castellated self stick battens with 10g x 60mm s/steel counter-sunk screws at 150mm centres at all sheet edges and 200mm centres throughout the body of the sheet
 all screws to be counter sunk 1-2mm
 90x45 SG8 KD nogs under plywood joints

Enviroclad TPO membrane dressed over 5mm chamfered edge & 50x50x2mm aluminium angle drip edge
 fix bottom edge of membrane with 10mm aluminium bar fixed with 4-4 rivets at 300mm centres

200x45 hySPAN portal
 Enviroclad TPO membrane covered 150mm up wall
 cavity slider
 17.5mm H3.2 CD plywood lining
 90x45 SG8 H1.2 framing with studs at 600mm centres nogs at 800mm centres

90x20 H3.2 fascia
 H1.2 packers
 ex90x45 SG8 H1.2 double plate
 17.5mm H3.2 CD plywood upstand
 existing plywood roof
 existing wall framing
 existing vertical t&g paneling
 R2.8 batts
 existing bench

140x45 SG8 KD purlins at 400mm centres fasten each end with 1-Multigrip with 3-14g x35mm hex head screws to each flange on 1-side & 3-90x3.15mm skew nails to other side

90x45 SG8 H1.2 ceiling nogs
 R3.2 batts
 13mm Gib to ceiling

2-200x45 hySPAN portal
 R2.8 batts
 9mm H1.2 plywood

90x20 H3.2 fascia
 6mm HardieFlex cladding over 40x18 H3.1 cavity battens at 600mm centres over Watergate Plus underlay

90x45 SG8 H1.2 framing with studs at 400mm centres nogs at 800mm centres
 ex90x90 SG8 H3.2 bottom plate tapered to suit fall of deck

selected aluminium joinery

900mm high 190x45 H3.2 profiled handrail each side fixed with M10x100mm c/sunk s/steel coach screws
 290x45 SG8 H3.2 strings fixed to vertical face of deck with 2-BS50 brackets with 2-M12 s/steel coach screws
 90mm² SG8 H3.2 handrail post fixed with 2-M12 s/steel bolts
 2-M12 s/steel Allthread rods with 50mm² washers to connect strings together

2-150x50 RS H3.2 treads with 10mm gap between rebated 8mm into strings & fixed with 4-90x3.15mm galv' nails each end
 90x45 SG8 H3.2 riser

Viking Dec-K-ing membrane to entire foredeck over new 17.5mm H3.2 CD plywood substrate & covered 100mm up at sides
 dress membrane into door opening
 Note: deck membrane substrate is vented via vessel structure below (see sheet 28 for further product details)

steps to comply with NZBC D1/AS1
 max riser = 180mm
 min tread = 310mm

section B-B 1:50

section B-B 1:50 & details 1:10

Proposed alterations to the ship Tui, Waitangi River foreshore, for TriOceans Ltd



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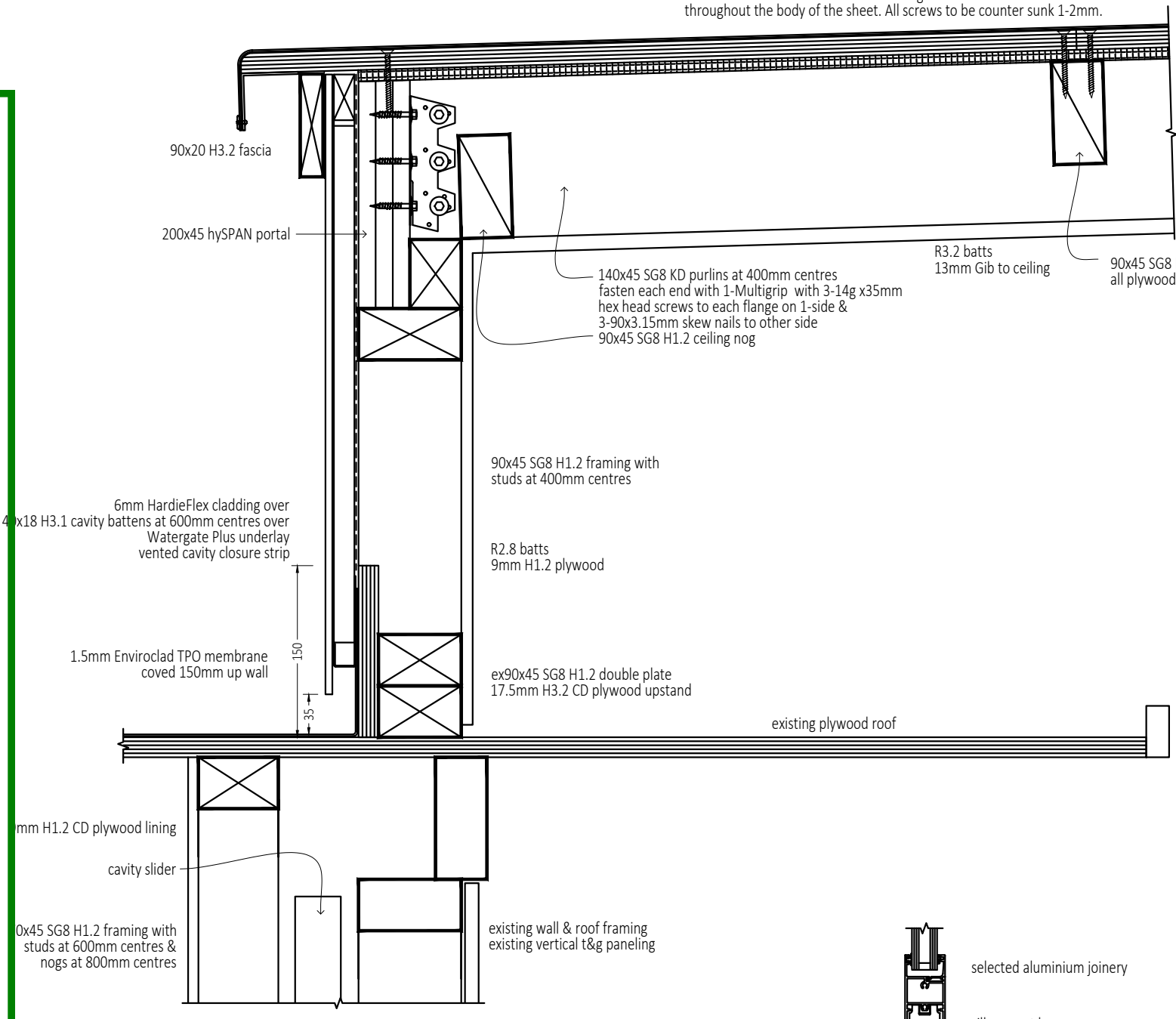
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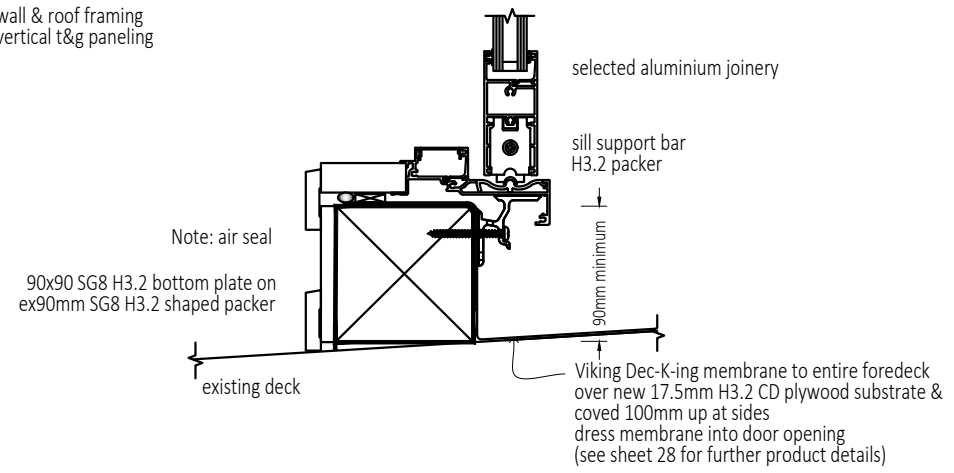
Enviroclad TPO 1.5mm membrane roofing over 17.5mm H3.2 CD plywood fixed through VB10 castellated self stick battens with 10g x 60mm s/steel counter-sunk screws at 150mm centres at all sheet edges and 200mm centres throughout the body of the sheet. All screws to be counter sunk 1-2mm.

Enviroclad TPO 1.5mm membrane roofing over 17.5mm H3.2 CD plywood fixed through VB10 castellated self stick battens with 10g x 60mm s/steel counter-sunk screws at 150mm centres at all sheet edges and 200mm centres throughout the body of the sheet. All screws to be counter sunk 1-2mm.

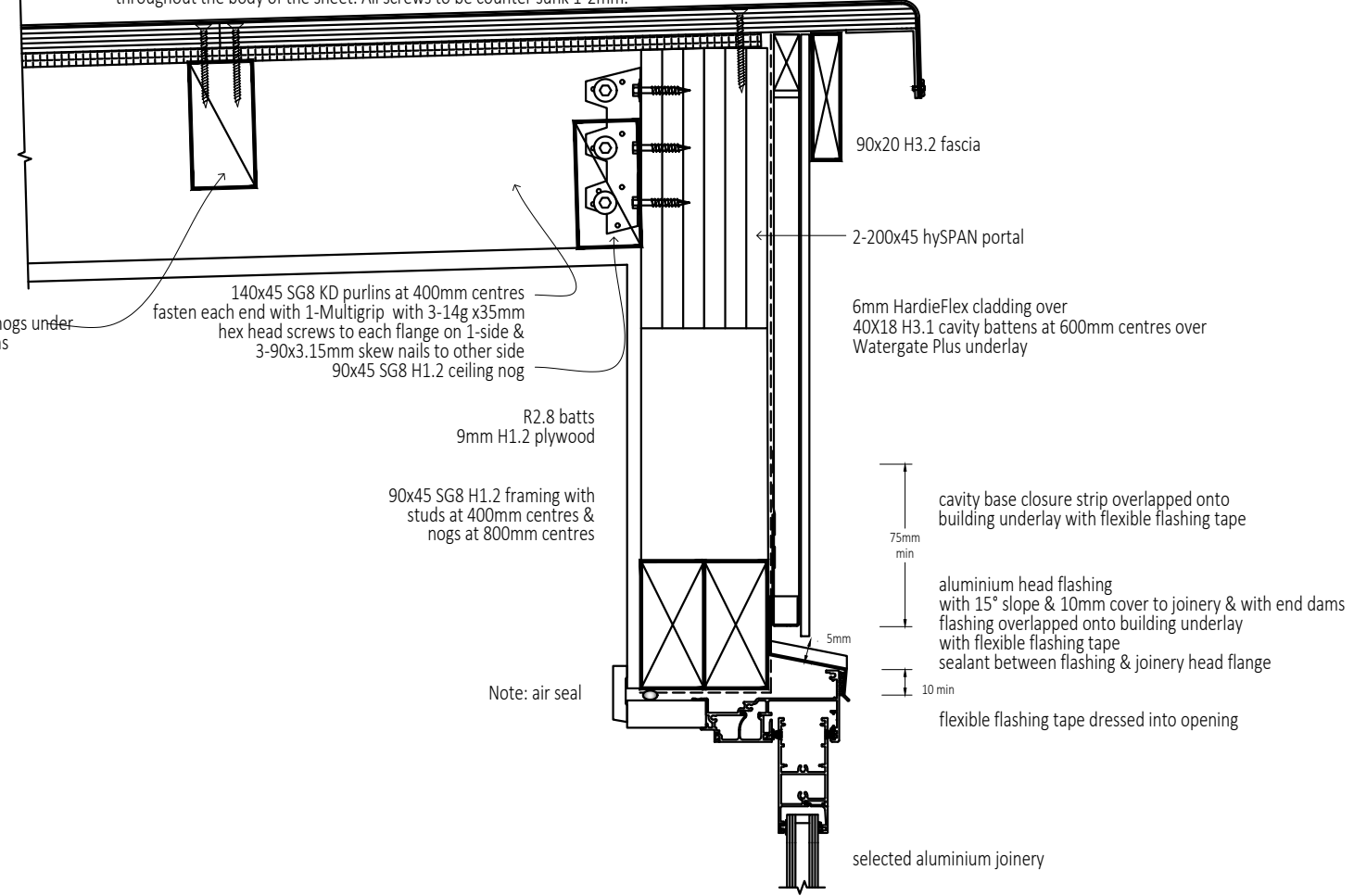
Enviroclad TPO membrane dressed over 5mm chamfered edge & 50x50x2mm aluminium angle drip edge fix bottom edge of membrane with 10mm aluminium bar fixed with 4-4 rivets at 300mm centres



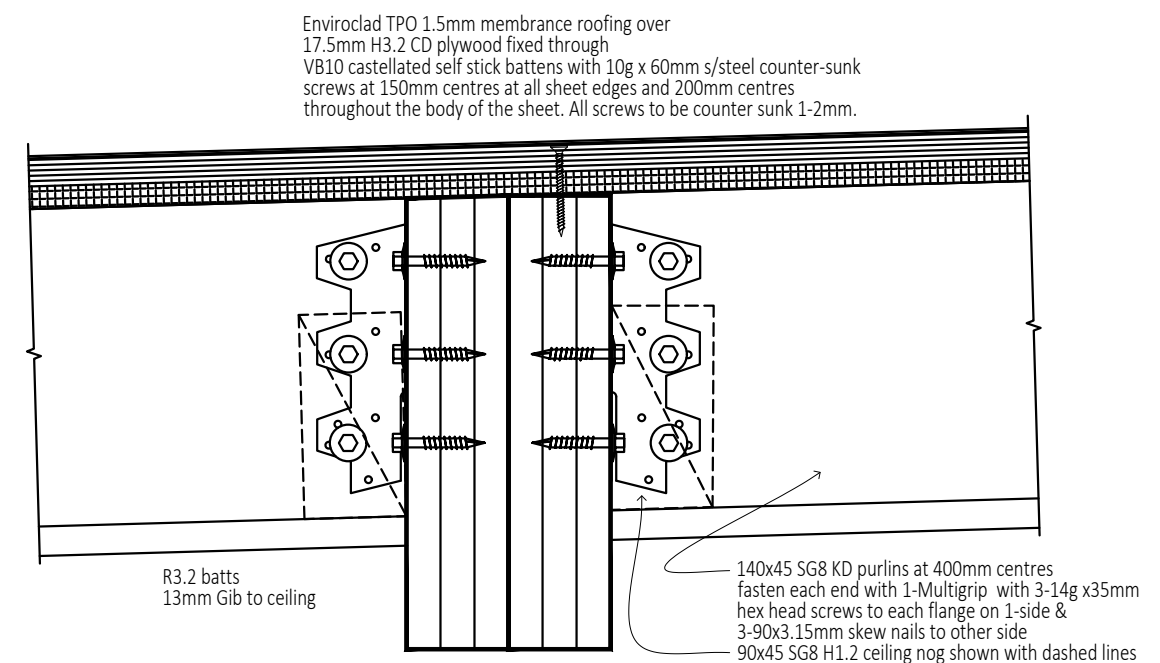
1 roof detail 1:5



3 sill detail 1:5



2 eave detail 1:5



4 portal detail 1:5

section B-B details 1:5

Proposed alterations to the ship Tui, Waitangi River foreshore, for TriOceans Ltd

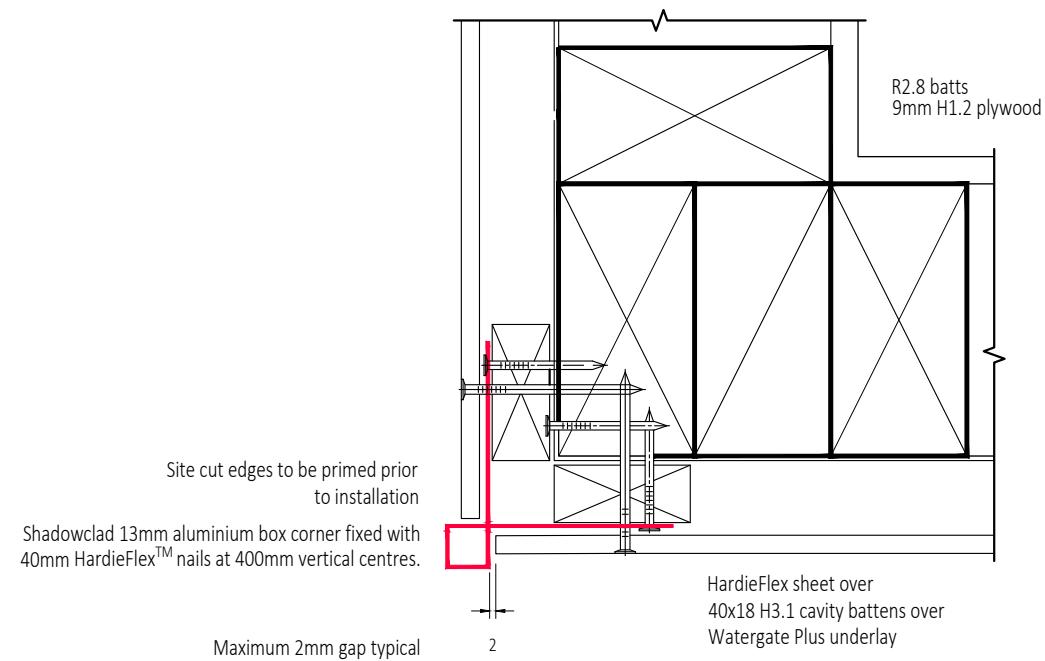


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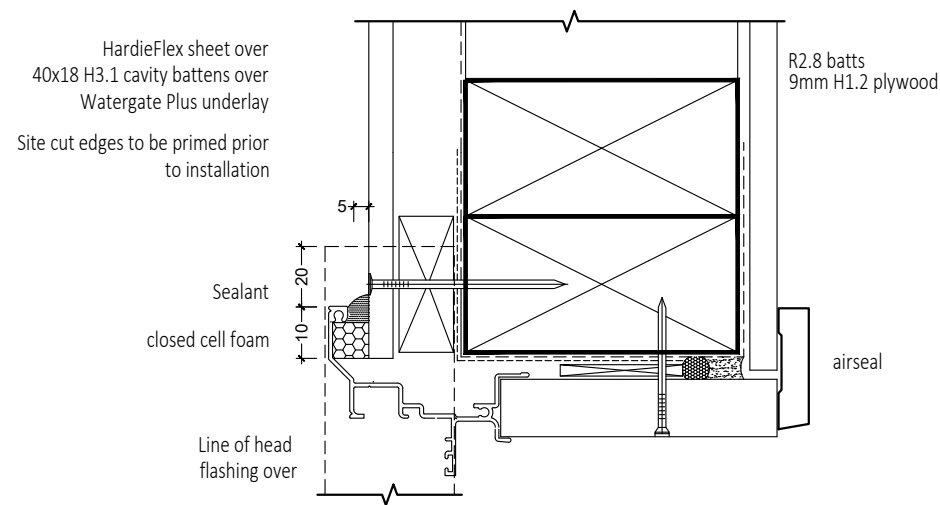
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12

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exterior corner detail 1:2.5



jamb detail 1:2.5

cladding details 1:5

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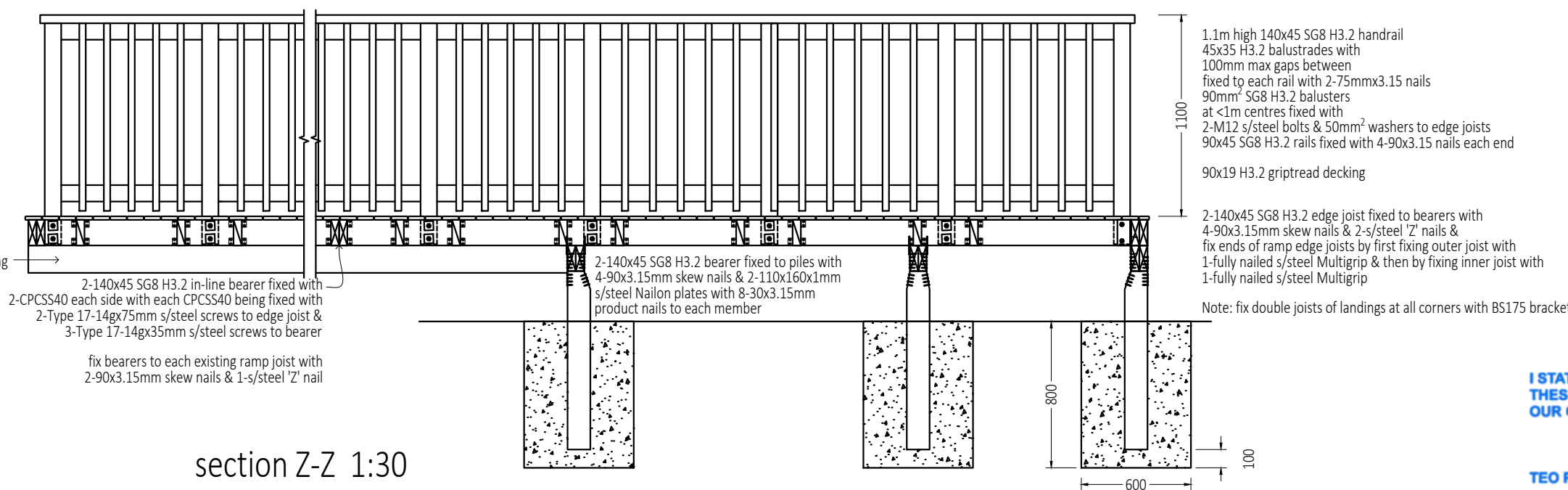


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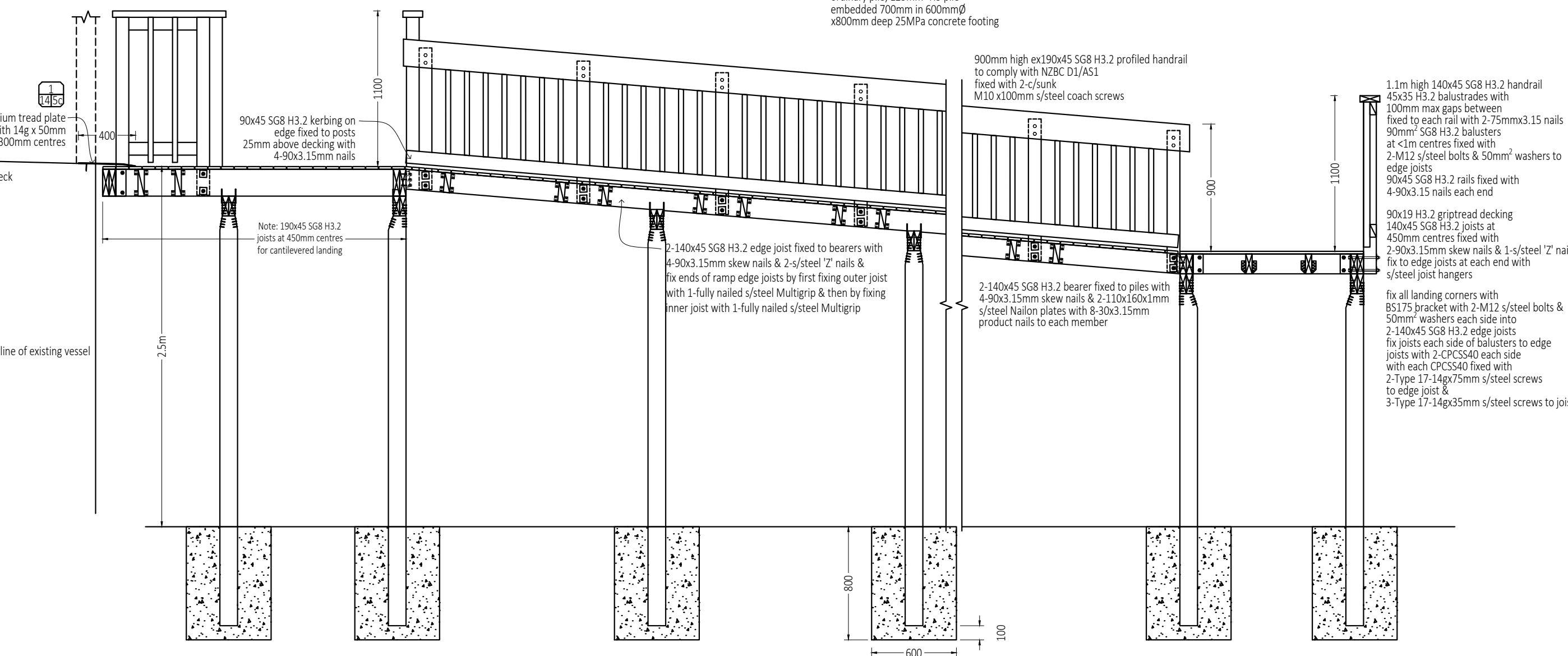
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section Z-Z 1:30

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section V-V 1:30

sections V-V & Z-Z 1:30


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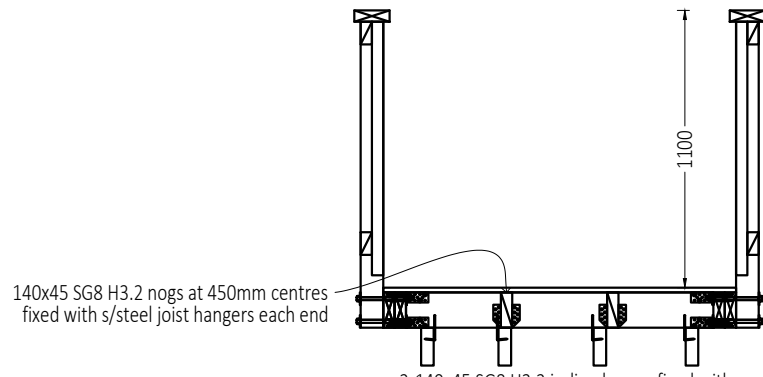
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sheet number where detail sourced from:  detail number
7/8 sheet with detail on



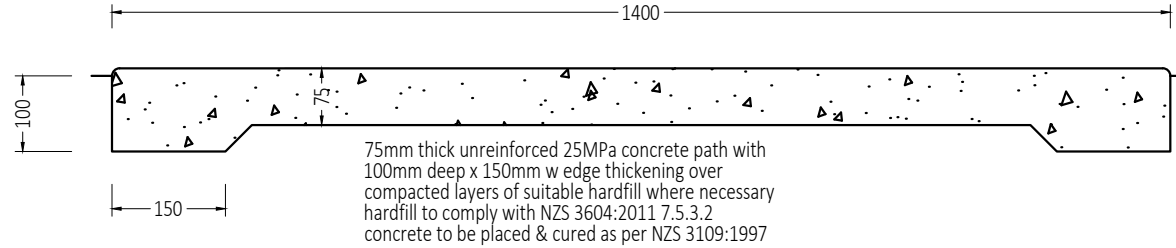
1.1m high 140x45 SG8 H3.2 handrail
 45x35 H3.2 balustrades with
 100mm max gaps between
 fixed to each rail with 2-75mmx3.15 nails
 90mm² SG8 H3.2 balusters
 at <1m centres fixed with
 2-M12 s/steel bolts & 50mm² washers to edge joists
 90x45 SG8 H3.2 rails fixed with 4-90x3.15 nails each end
 90x19 H3.2 griptread decking

140x45 SG8 H3.2 nogs at 450mm centres
 fixed with s/steel joist hangers each end

2-140x45 SG8 H3.2 in-line bearer fixed with
 2-CPCSS40 each side with each CPCSS40 being fixed with
 2-Type 17-14gx75mm s/steel screws to edge joist &
 3-Type 17-14gx35mm s/steel screws to bearer

fix bearers to each existing ramp joist with
 2-90x3.15mm skew nails & 1-s/steel 'Z' nail

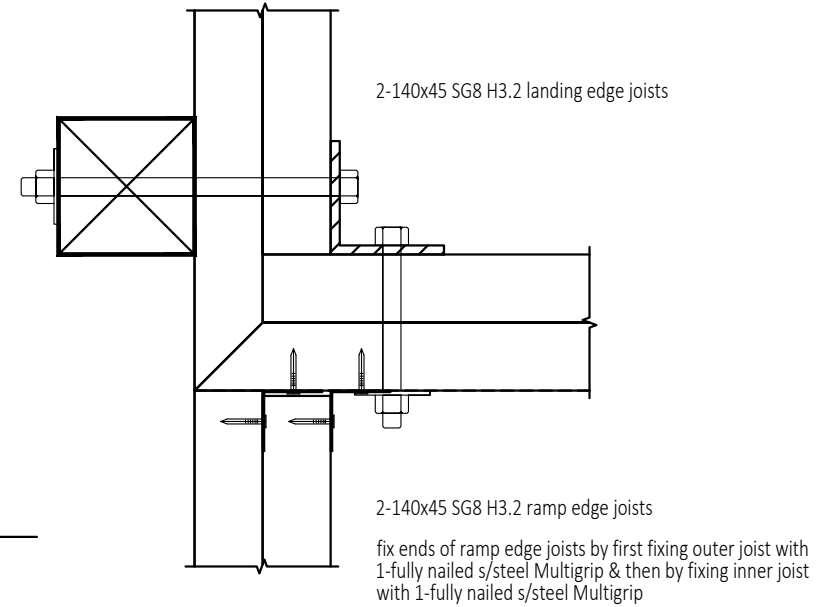
section W-W 1:30



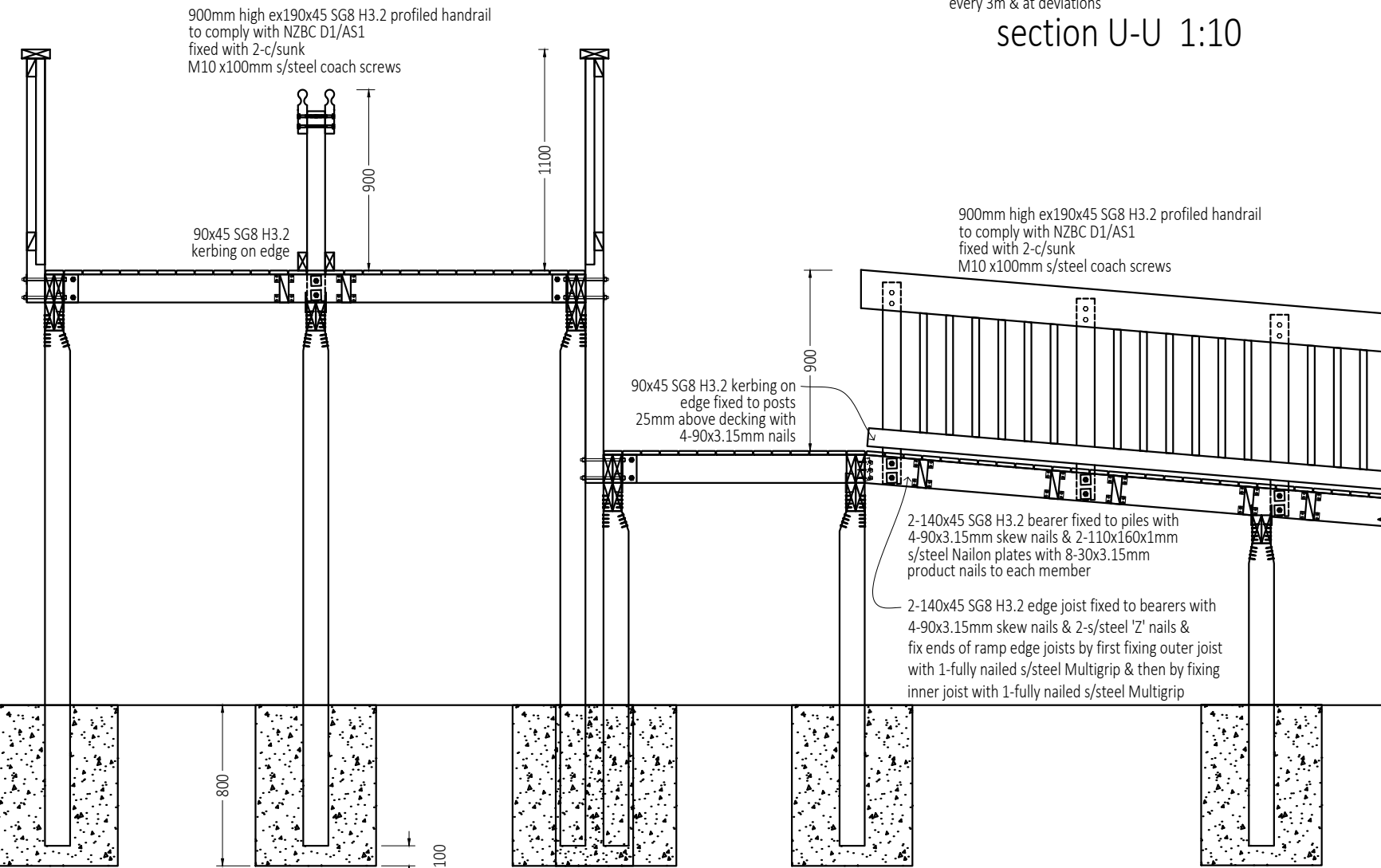
75mm thick unreinforced 25MPa concrete path with
 100mm deep x 150mm w edge thickening over
 compacted layers of suitable hardfill where necessary
 hardfill to comply with NZS 3604:2011 7.5.3.2
 concrete to be placed & cured as per NZS 3109:1997

Note: path to have construction saw cuts
 every 3m & at deviations

section U-U 1:10



ramp/landing edge joist detail 1:5



900mm high ex190x45 SG8 H3.2 profiled handrail
 to comply with NZBC D1/AS1
 fixed with 2-c/sunk
 M10 x100mm s/steel coach screws

90x45 SG8 H3.2
 kerbing on edge

900mm high ex190x45 SG8 H3.2 profiled handrail
 to comply with NZBC D1/AS1
 fixed with 2-c/sunk
 M10 x100mm s/steel coach screws

90x45 SG8 H3.2 kerbing on
 edge fixed to posts
 25mm above decking with
 4-90x3.15mm nails

2-140x45 SG8 H3.2 bearer fixed to piles with
 4-90x3.15mm skew nails & 2-110x160x1mm
 s/steel Nailon plates with 8-30x3.15mm
 product nails to each member

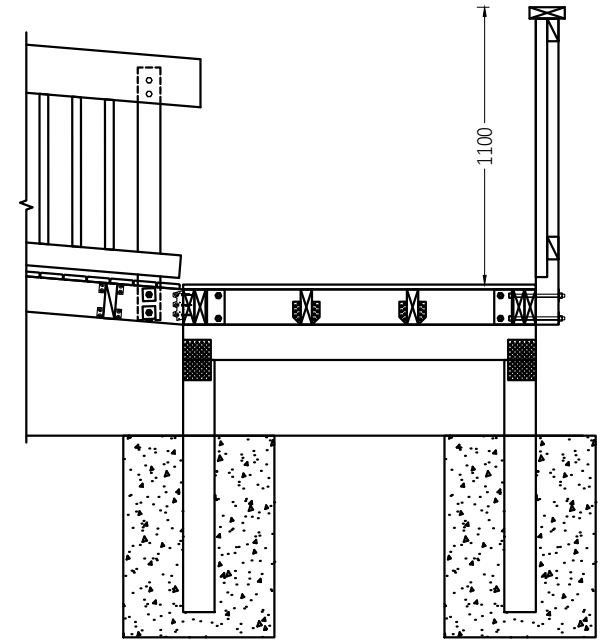
2-140x45 SG8 H3.2 edge joist fixed to bearers with
 4-90x3.15mm skew nails & 2-s/steel 'Z' nails &
 fix ends of ramp edge joists by first fixing outer joist
 with 1-fully nailed s/steel Multigrip & then by fixing
 inner joist with 1-fully nailed s/steel Multigrip

ordinary pile; 125mm² H5 pile
 embedded 700mm in 600mmØ
 x800mm deep 25MPa concrete footing

section Y-Y 1:30

I STATE ON REASONABLE GROUNDS THAT
 THESE DRAWINGS ARE IN ACCORDANCE WITH
 OUR CALCULATIONS WHERE APPLICABLE

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 27 Aug 2024

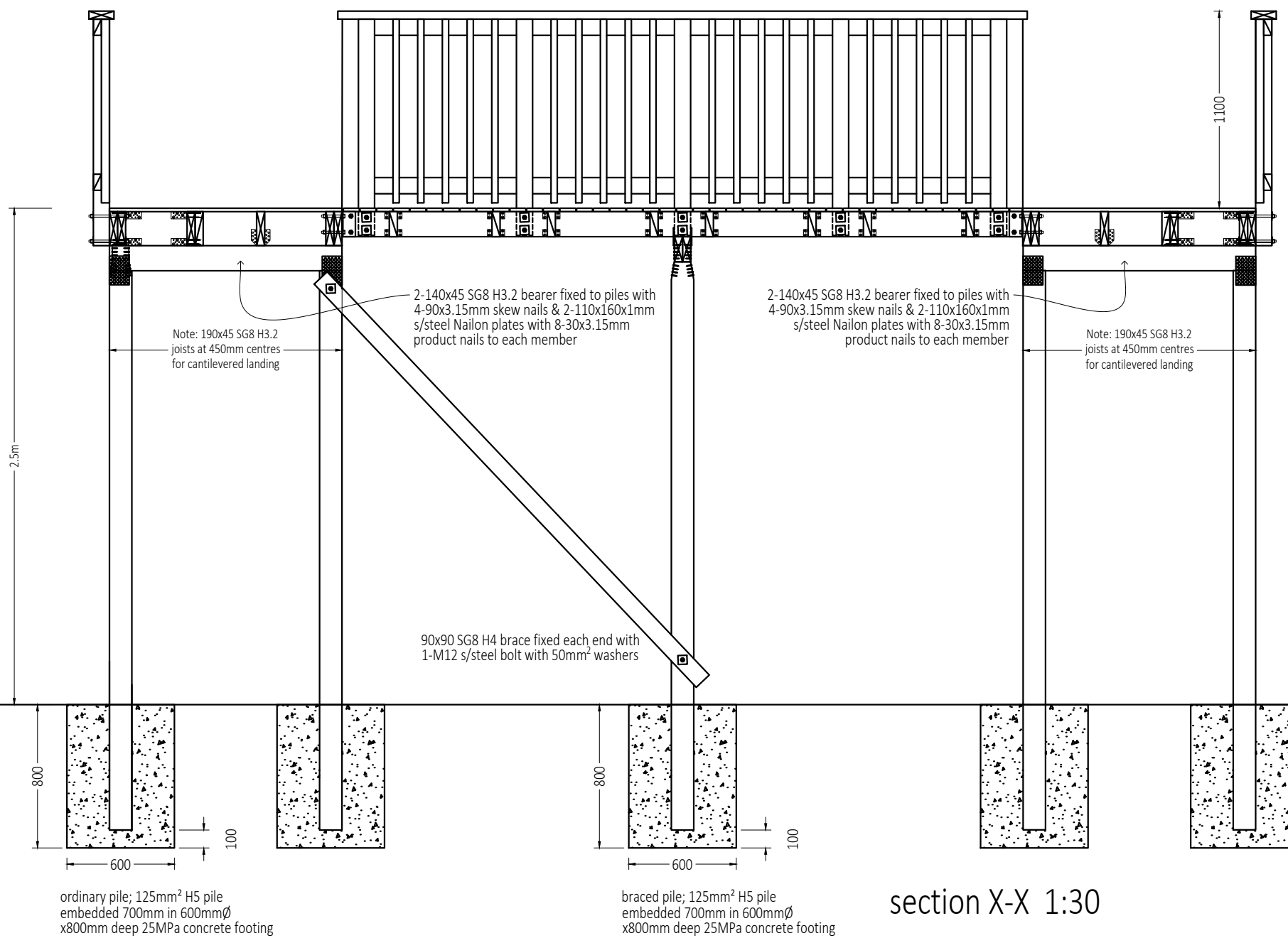


1.1m high 140x45 SG8 H3.2 handrail
 45x35 H3.2 balustrades with
 100mm max gaps between
 fixed to each rail with 2-75mmx3.15 nails
 90mm² SG8 H3.2 balusters
 at <1m centres fixed with
 2-M12 s/steel bolts & 50mm² washers to edge joists
 90x45 SG8 H3.2 rails fixed with 4-90x3.15 nails each end

90x19 H3.2 griptread decking
 140x45 SG8 H3.2 joists at 450mm centres fixed with
 2-90x3.15mm skew nails & 1-s/steel 'Z' nail
 fix to edge joists at each end with s/steel joist hangers

fix all landing corners with BS175 brackets with 2-M12 s/steel bolts &
 50mm² washers each side into
 2-140x45 SG8 H3.2 edge joists
 fix joists each side of balusters to edge
 joists with 2-CPCSS40 each side with each CPCSS40 fixed with
 2-Type 17-14gx75mm s/steel screws to edge joist &
 3-Type 17-14gx35mm s/steel screws to joist

sections W-W & Y-Y 1:30, section U-U 1:10 & detail 1:5
 Proposed alterations to the ship Tui, Waitangi River foreshore, for TriOceans Ltd



1.1m high 140x45 SG8 H3.2 handrail
 45x35 H3.2 balustrades with
 100mm max gaps between
 fixed to each rail with 2-75mmx3.15 nails
 90mm² SG8 H3.2 balusters
 at <1m centres fixed with
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 140x45 SG8 H3.2 joists at 450mm centres fixed with
 2-90x3.15mm skew nails & 1-s/steel 'Z' nail
 fix to edge joists at each end with s/steel joist hangers

fix all landing corners with BS175 brackets with 2-M12 s/steel bolts & 50mm² washers each side into
 2-140x45 SG8 H3.2 edge joists
 fix joists each side of balusters to edge joists with 2-CPCSS40 each side with each CPCSS40 fixed with
 2-Type 17-14gx75mm s/steel screws to edge joist &
 3-Type 17-14gx35mm s/steel screws to joist

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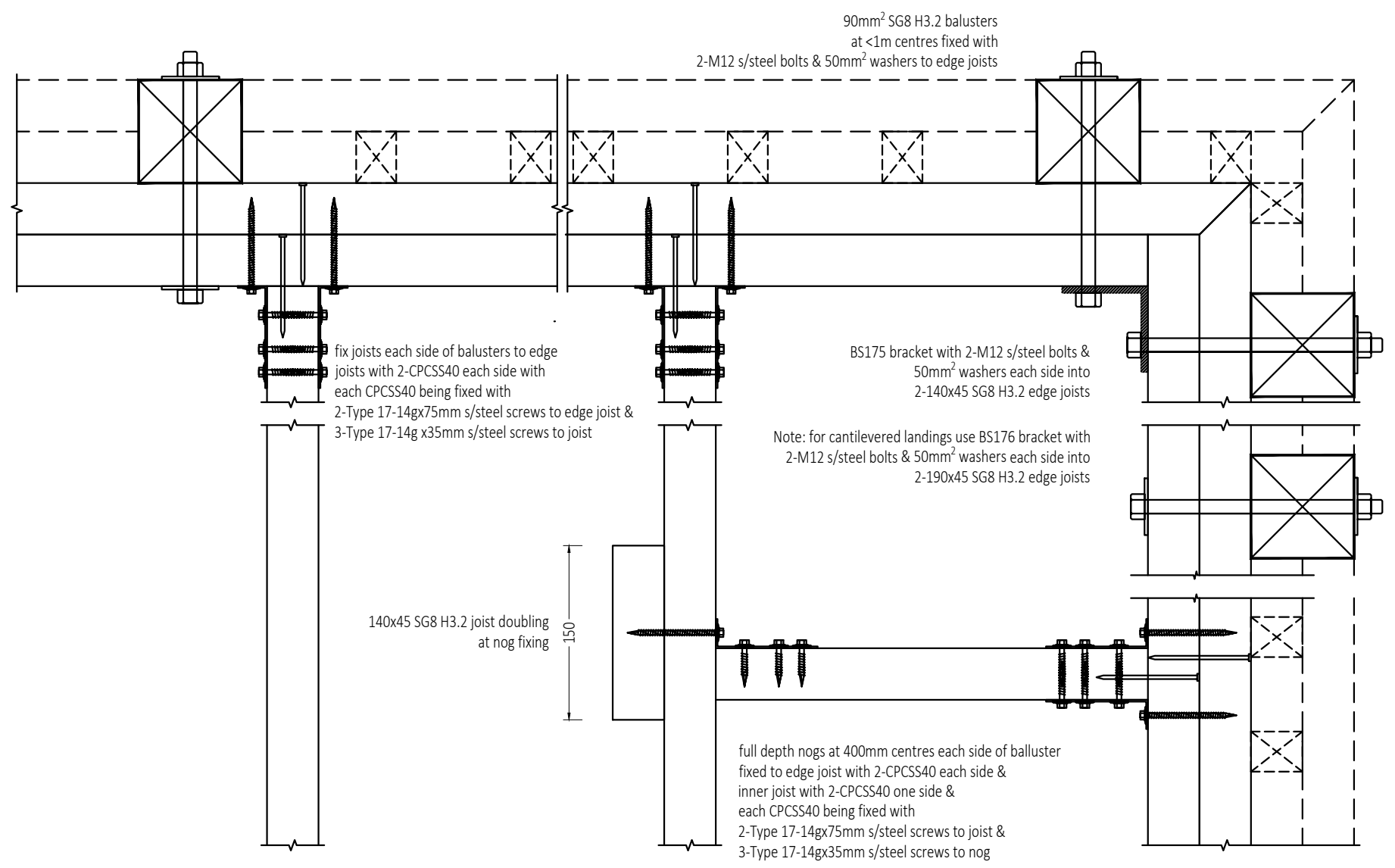
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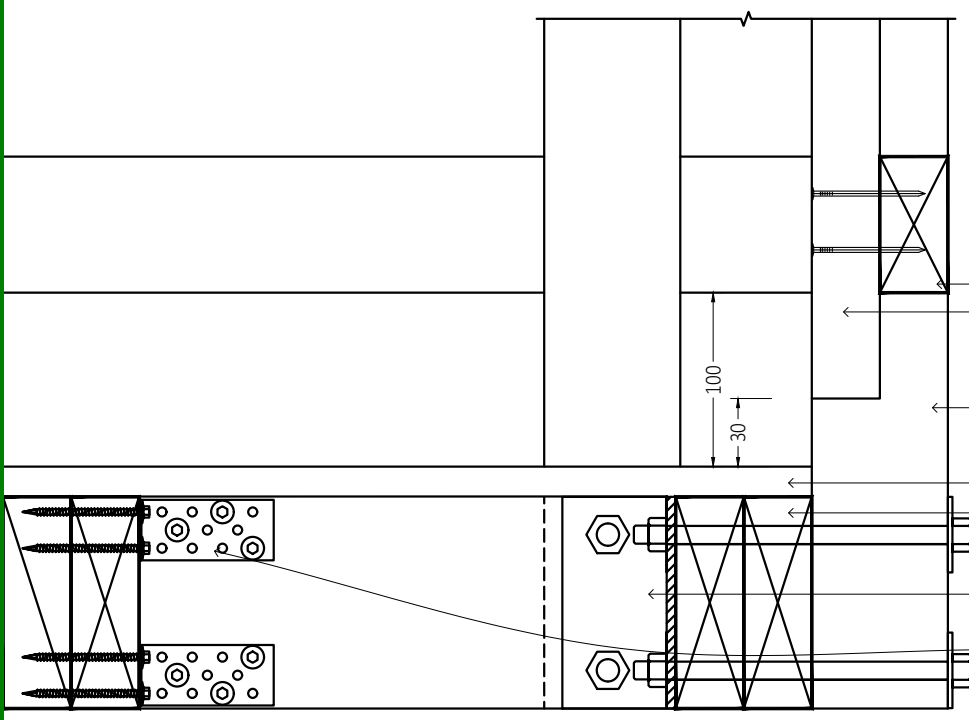
section X-X 1:30

section X-X 1:30

Proposed alterations to the ship Tui, Waitangi River foreshore, for TriOceans Ltd

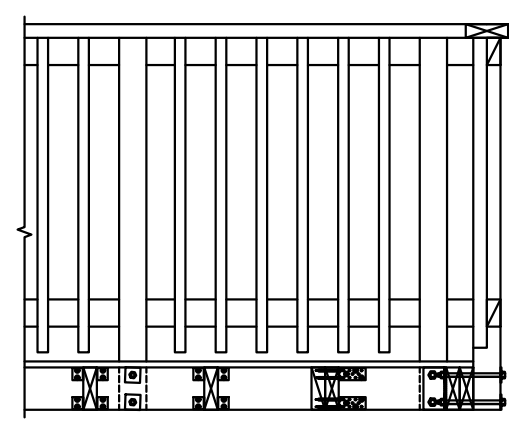


deck corner detail 1:5
(as per Lumberlok fixing guide attached)



baluster detail 1:5
(as per Lumberlok fixing guide attached)

Note: decking with slip resistance to comply with NZBC D1/AS1



baluster detail 1:25

Note: for cantilevered landings use BS176 bracket with 2-M12 s/steel bolts & 50mm² washers each side into 2-190x45 SG8 H3.2 edge joists

ramp & landing details 1:25, 1:5

Proposed alterations to the ship Tui, Waitangi River foreshore, for TriOceans Ltd



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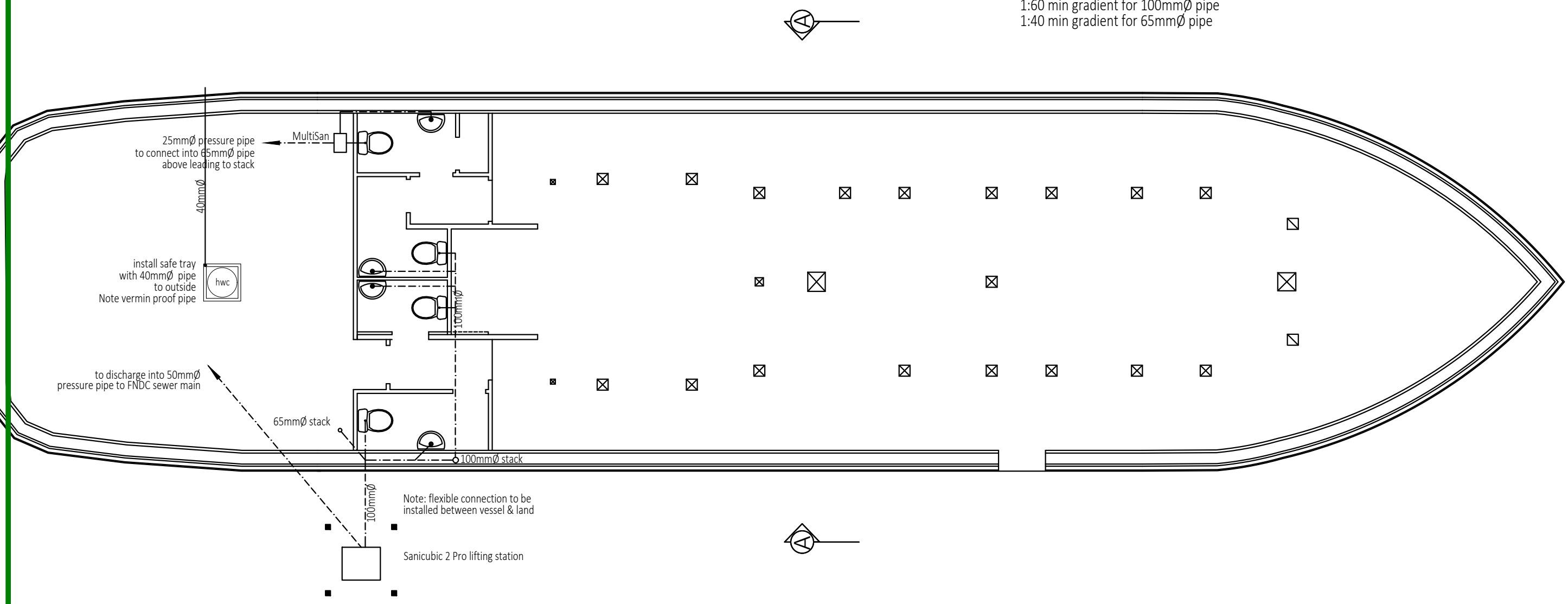
17

Notes:

plumbing & drainage:
 all plumbing & drainage work is to fully comply with NZBC G13/AS1 & all local body regulations

wastewater:
 wastewater is to be piped via Sanicubic 2 Pro lifting station to FNDC connection

1:60 min gradient for 100mmØ pipe
 1:40 min gradient for 65mmØ pipe



bottom deck plumbing layout 1:75

Proposed alterations to the ship Tui, Waitangi River foreshore, for TriOceans Ltd



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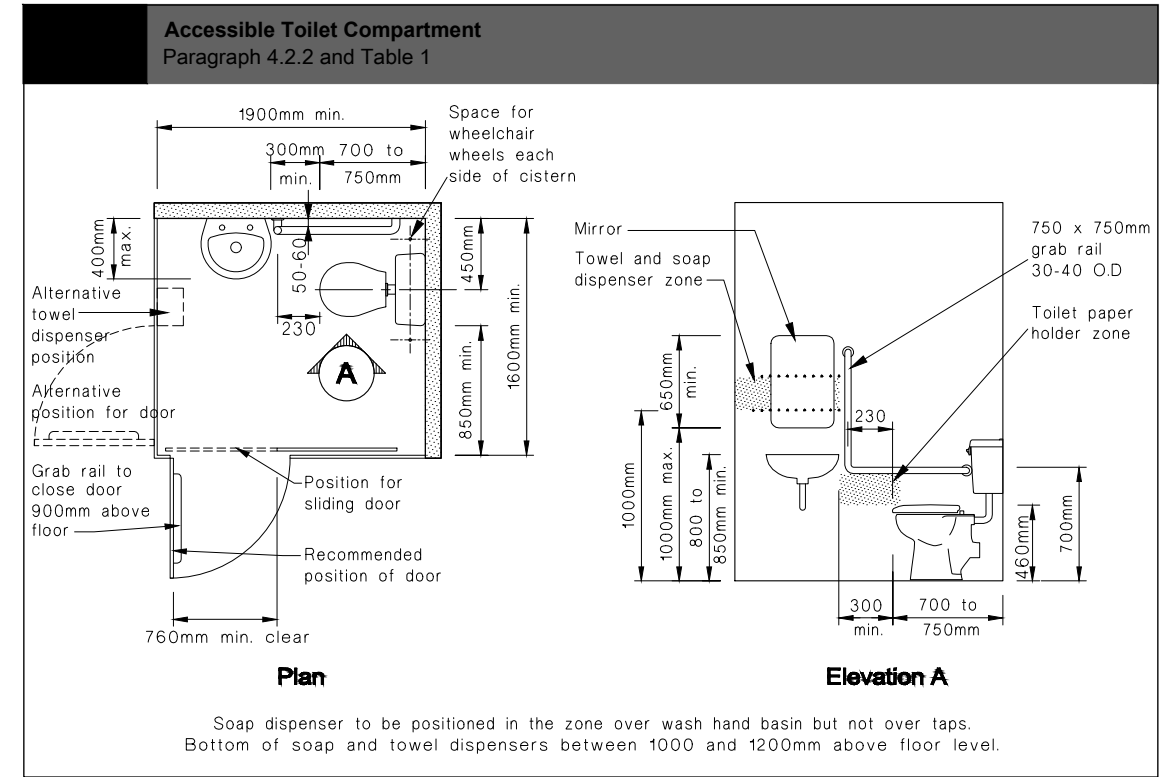
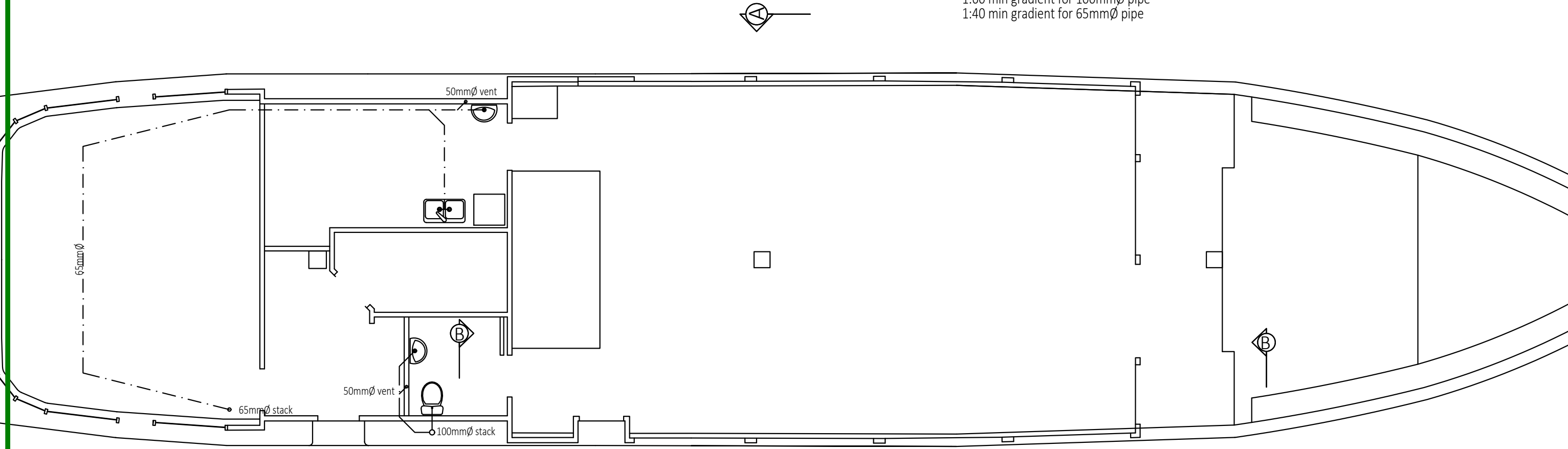


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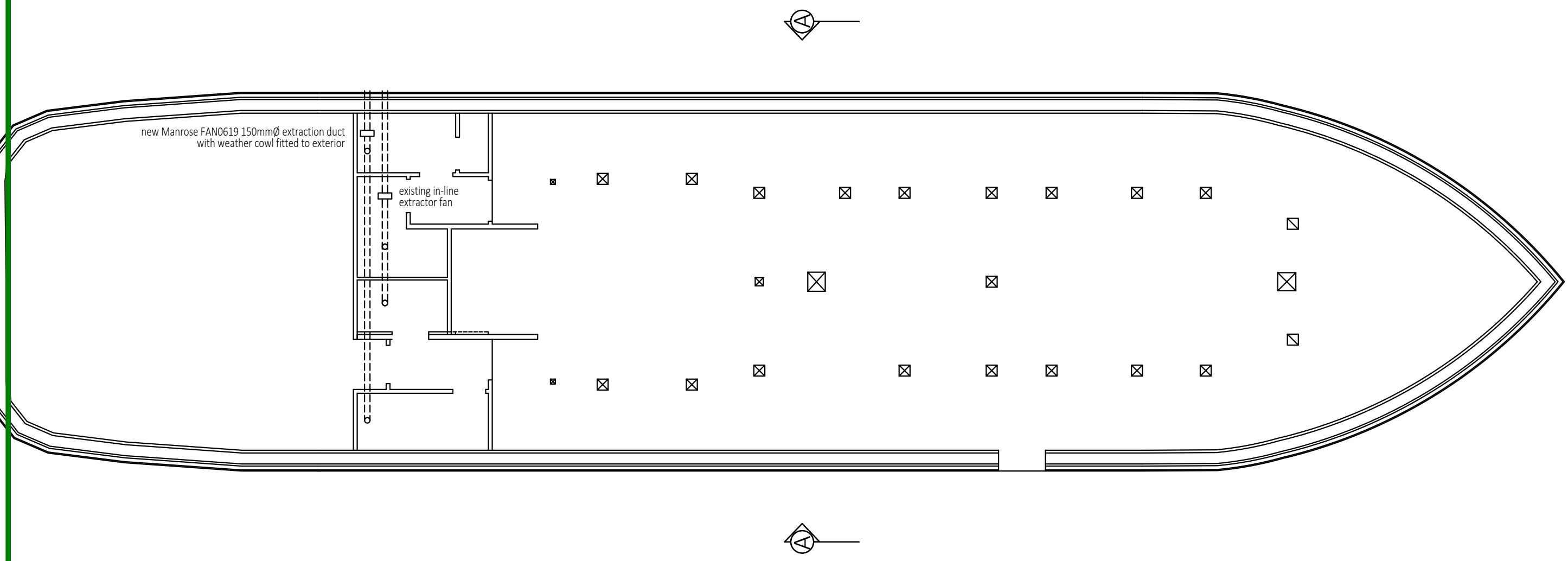
1:60 min gradient for 100mmØ pipe
1:40 min gradient for 65mmØ pipe



plumbing layout - top deck 1:75

Proposed alterations to the ship Tui, Waitangi River foreshore, for TriOceans Ltd

typical accessible toilet layout (NZBC G1/AS1) nts



ventilation layout - bottom deck 1:75

Proposed alterations to the ship Tui, Waitangi River foreshore, for TriOceans Ltd

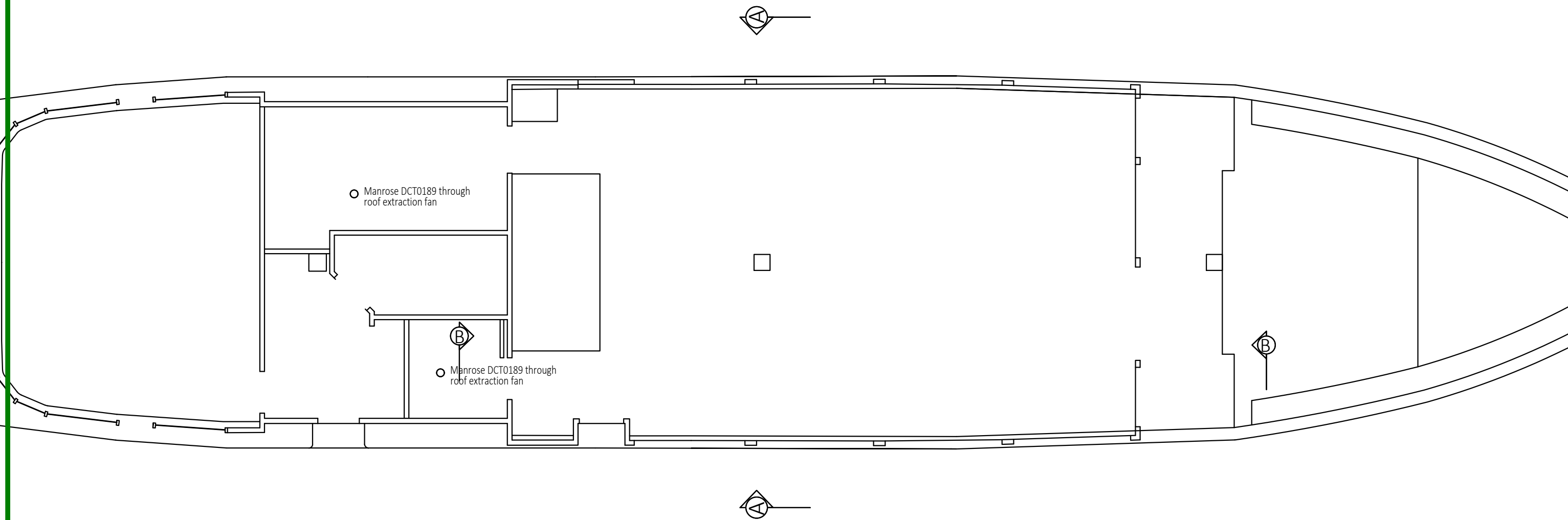


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ventilation layout - top deck 1:75

Proposed alterations to the ship Tui, Waitangi River foreshore, for TriOceans Ltd

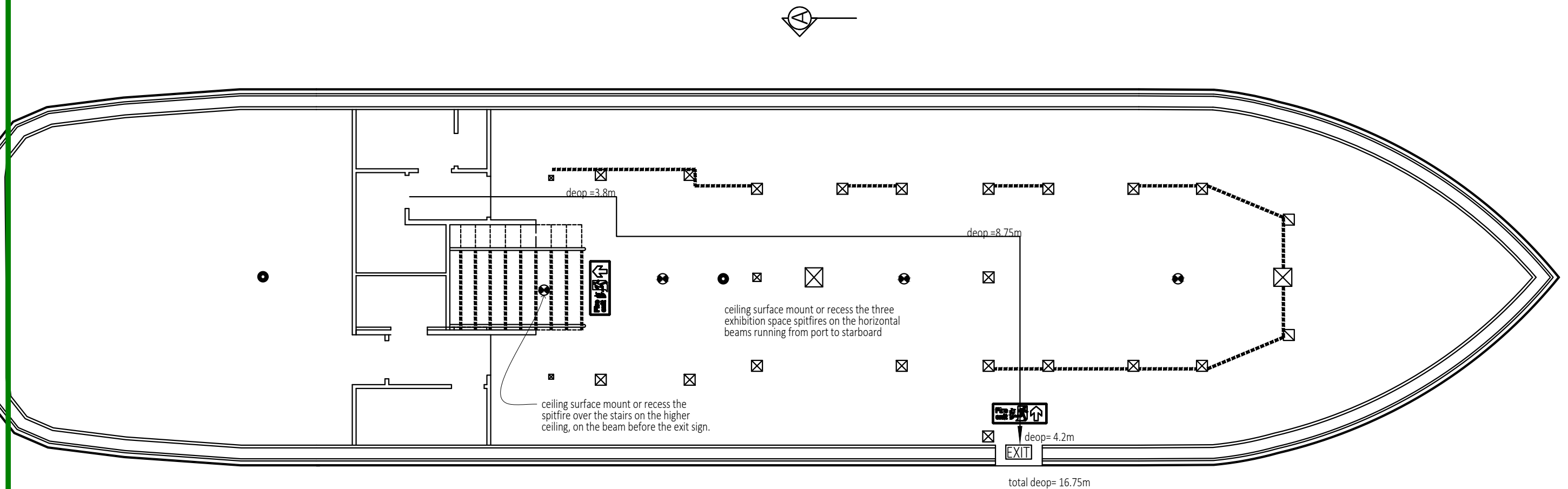


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ceiling surface mount or recess the three exhibition space spitfires on the horizontal beams running from port to starboard

ceiling surface mount or recess the spitfire over the stairs on the higher ceiling, on the beam before the exit sign.

legend

-  lit emergency exit sign
-  printed exit sign
-  fire hose reel
-  manual call point
-  interconnected smoke alarm as per NZBC F7/AS1
-  Ecoglo F15-175 luminescent step nosing
-  Stanilite Spitfire emergency luminaire
Recessed or surface mounted as appropriate
Single (1 LED) - D40 Classification

fire devices plan - bottom deck 1:75

Proposed alterations to the ship Tui, Waitangi River foreshore, for TriOceans Ltd

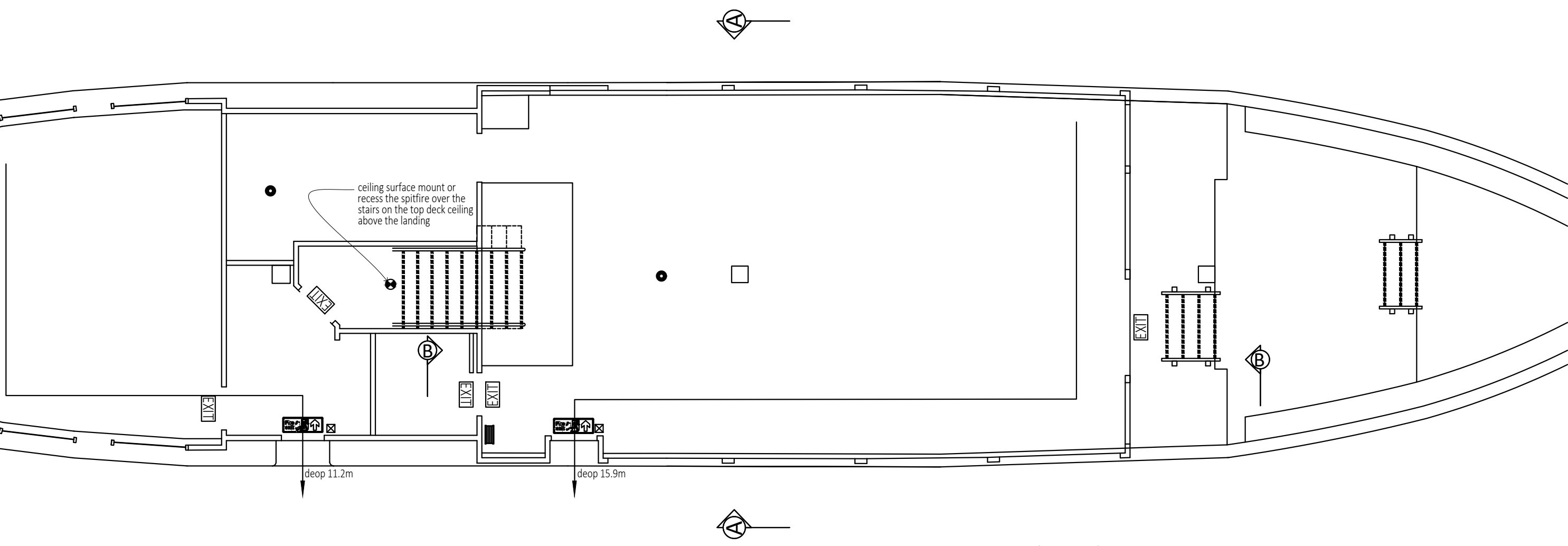


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DATE: 26/08/2024

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legend

-  lit emergency exit sign
-  printed exit sign
-  fire hose reel
-  Type 2 alarm manual call point
-  interconnected smoke alarm as per NZBC F7/AS1
-  Ecoglo F15-175 luminescent step nosing
-  Stanilite Spitfire emergency luminaire
Recessed or surface mounted as appropriate
Single (1 LED) - D40 Classification

fire devices plan - top deck 1:75
 Proposed alterations to the ship Tui, Waitangi River foreshore, for TriOceans Ltd

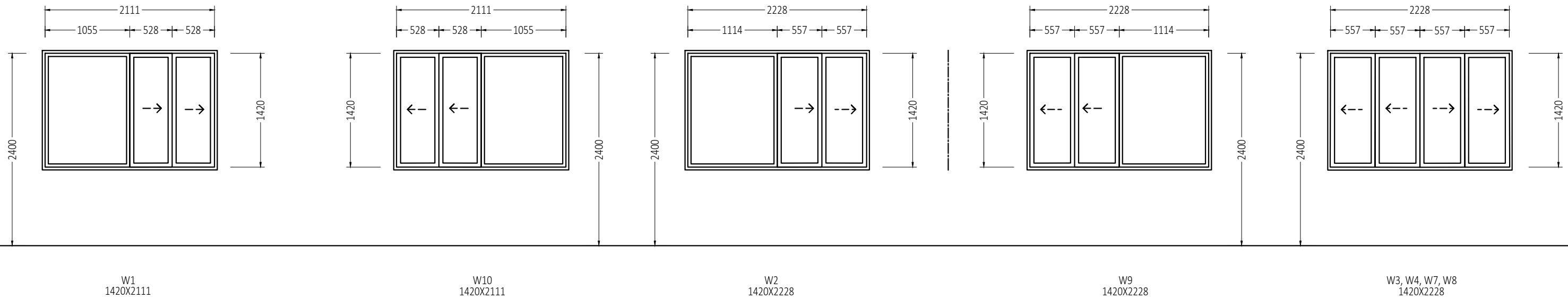


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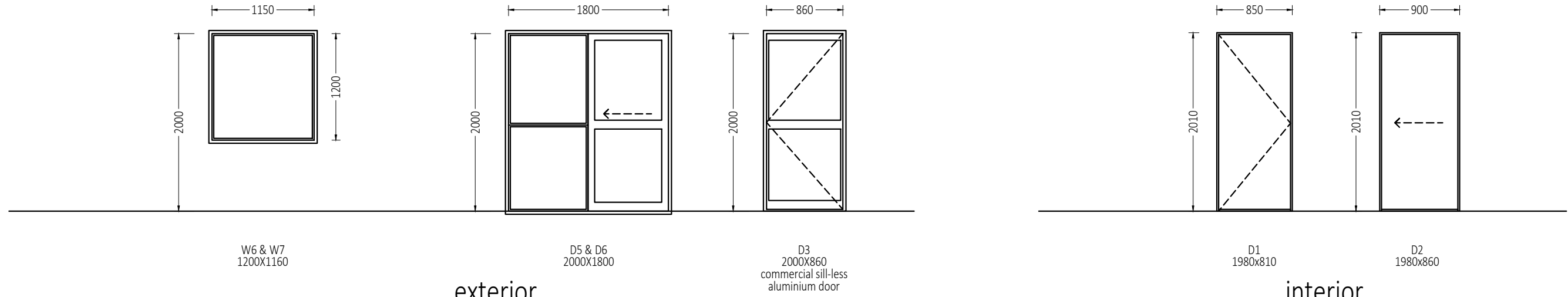
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exterior



exterior

interior

Notes:

- site measure all joinery before manufacture
- measurements for external joinery are joinery sizes
- all glazing is to be in accordance with NZS 4223.3:2016 & amendments
- windows, doors & flashings are to be installed as per NZBC E2/AS1 exterior joinery details & also HardieFlex technical installation manual
- joinery is to be double glazed & to have H3.1 jamb liners
- aluminium joinery colour is to be confirmed

joinery schedule 1:50

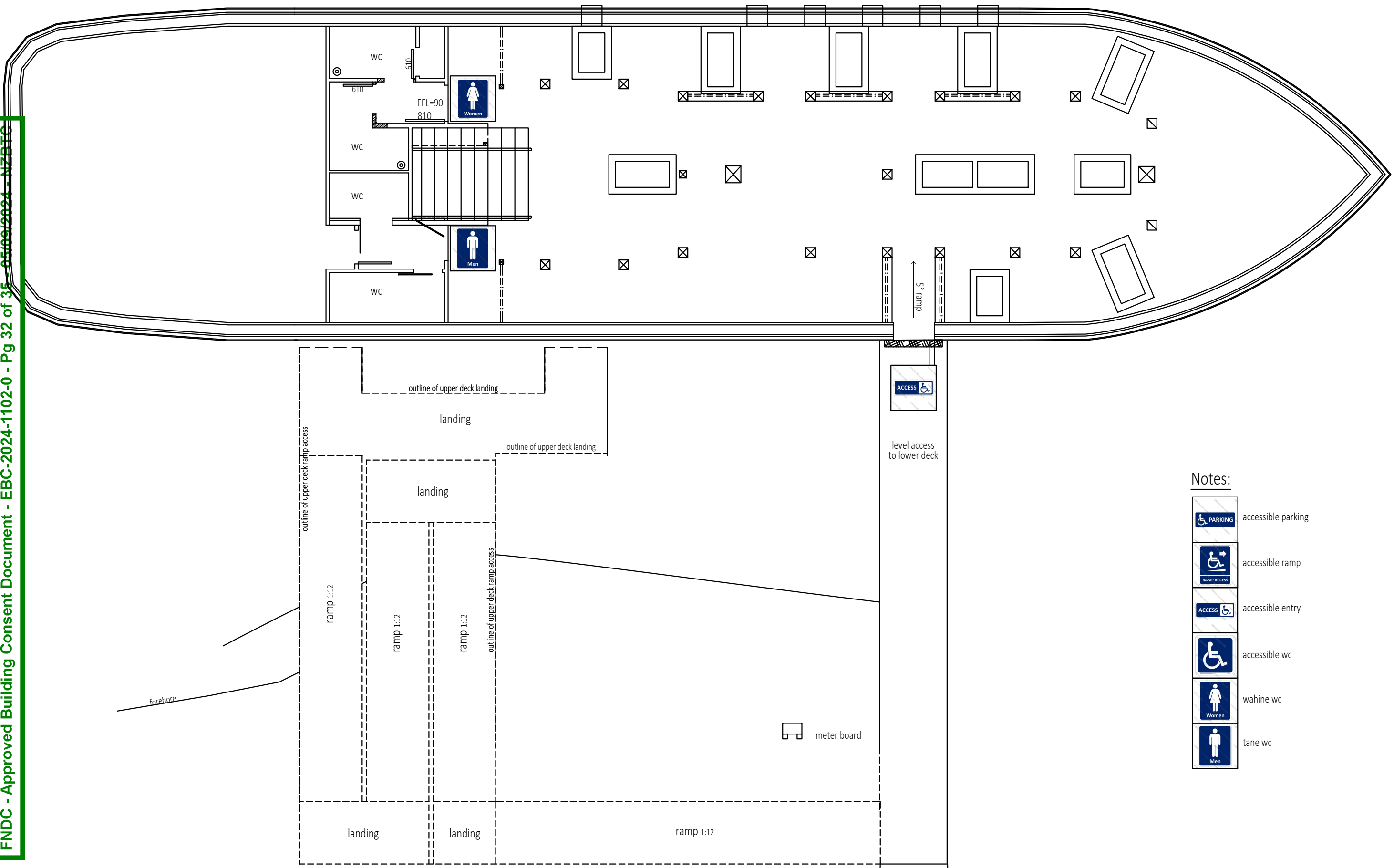
Proposed alterations to the ship Tui, Waitangi River foreshore, for TriOceans Ltd



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DATE 26/08/2024

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Notes:

-  accessible parking
-  accessible ramp
-  accessible entry
-  accessible wc
-  wahine wc
-  tane wc

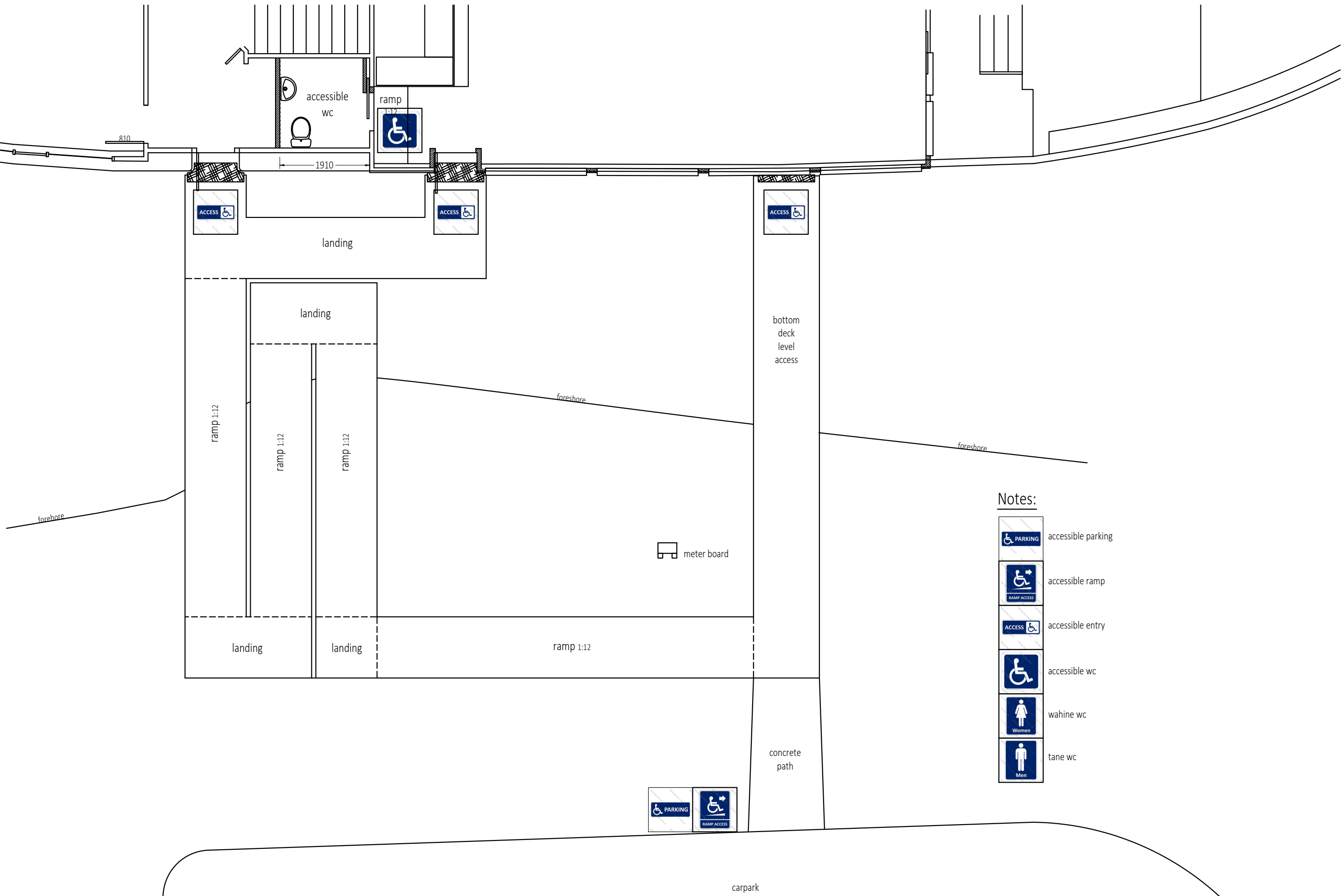
accessible signage plan - bottom deck 1:75


Proposed alterations to the ship Tui, Waitangi River foreshore, for TriOceans Ltd



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- Notes:
-  accessible parking
 -  accessible ramp
 -  accessible entry
 -  accessible wc
 -  wahine wc
 -  tane wc

accessible signage plan - top deck 1:75

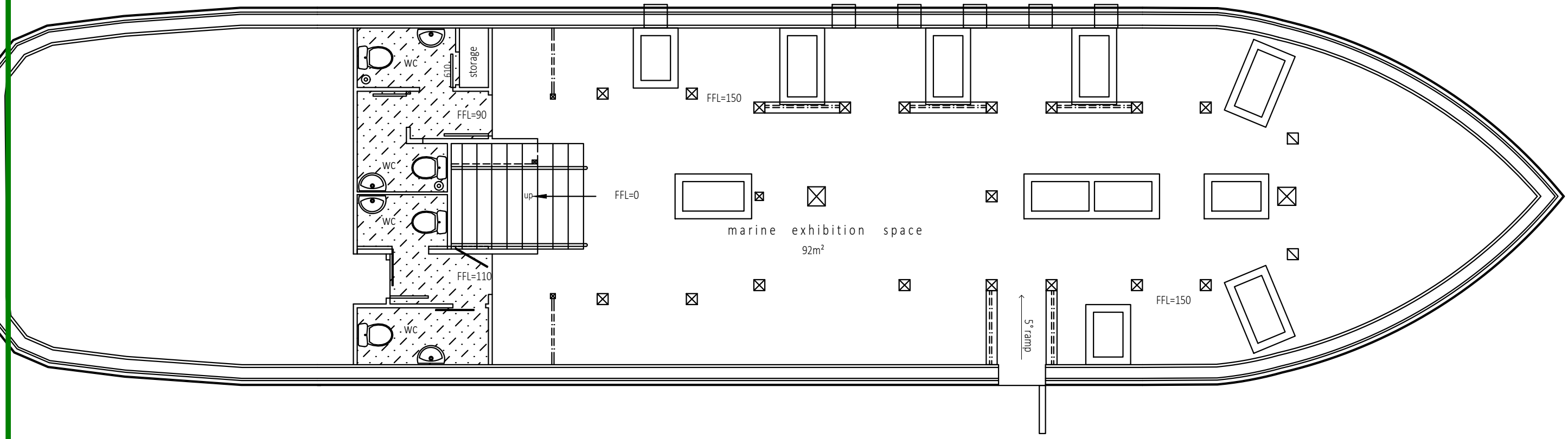
Proposed alterations to the ship Tui, Waitangi River foreshore, for TriOceans Ltd



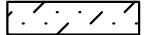
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DATE 26/08/2024

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Notes:

 toilet floors are to have 2mm Tarkett Primo Safe.T vinyl with welded joints covered 90mm up walls over Flexiseal membrane

floor coverings - lower deck 1:75

Proposed alterations to the ship Tui, Waitangi River foreshore, for TriOceans Ltd


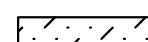
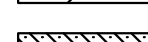
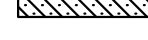


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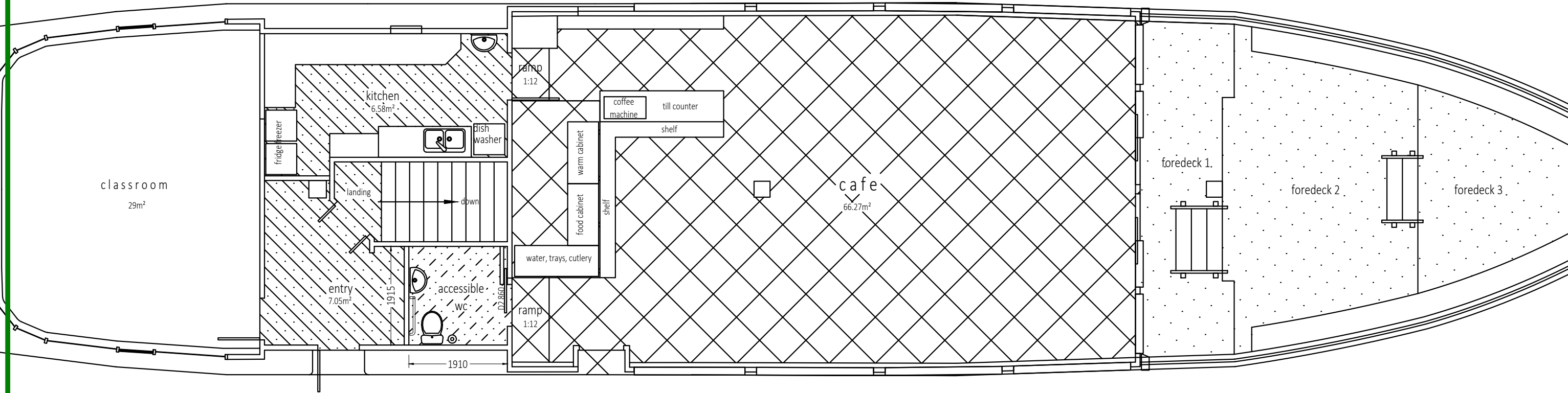
27

Notes:

-  cafe floor is to be painted with Resene Non-Skid Deck & Path coating
-  toilet floors & entry are to have 2mm Tarkett Primo Safe.T vinyl with welded joints coved 90mm up walls over Flexiseal membrane
-  kitchen floor is to have 2mm Tarkett Primo vinyl with welded joints coved 90mm up walls over Flexiseal membrane
-  foredecks are to have Viking Dec-K-ing membrane over 17.5mm H3.2 CD plywood

remove old membrane, inspect plywood for defects, etc. and if in sound condition allow to install Viking Dec-K-ing membrane over ensure existing substrate has been screw fixed, if not use 10g x60mm s/steel screws to refix
 if substrate is not sound allow to overlay new H3.2 plywood over in overlapping staggered pattern i.e. all sheet joins in different locations to existing layout refer to sheet 6

allow to install heavy duty floor bars where flooring types change



Viking Dec-K-ing membrane installation:

1. Roof framing supports at 400mm in one direction and Nogs/ Blocking at the sheet edges (all plywood edges supported) use 17mm minimum thickness (CCA H3.2 treated), structural plywood (Do not use tongue & groove plywood)
2. Plywood laid with face grain at right angles to supports. All sheet joints must be made on a single timber support to minimise the chance of movement between sheets.
3. Plywood is to be laid with staggered joints in a brick-bond pattern. Apply with a continuous bead of Holdfast Gorilla Grip 2 Hour-Cure Construction Adhesive on top of timber supports.
4. Sheet edges are to be carefully glued together with a continuous bead of Holdfast Gorilla Grip 2 Hour-Cure Construction Adhesive (no spot gluing) and must be tight butt-joined. Glue must be seen to come to the top surface of the sheet joints. Once sheets have been placed together remove excess adhesive by scraping the joint with a chisel. Ensure joints and sheets are not walked on with two hours of application. When fully cured remove excess and sand all sheet joints
5. Leave a 5mm expansion gap around the perimeter of the plane. This fixing specification allows for a maximum 50m2 without expansion joints (dependent on design). 5mm expansion joints should be allowed for areas over 50m2. For further information regarding placement of expansion joints for your design, please check with Architect/ Designer
6. Plywood screw-fixed with 10g x 60mm S/S counter-sunk screws at 150mm centres at all sheet edges and 200mm centres throughout the body of the sheet. All screws to be counter sunk 1-2mm.
7. Chamfer all external edges with a minimum radius of 5mm.
8. Plywood is to be kept dry at all times during construction. Blow/torch drying the plywood surface prior to membrane application does not comply. Plywood and framing support to be no more than 18% moisture content when membrane is adhered.
9. All outlets and overflows are membrane compatible.
10. Outlets must have Clamped Grates or Enviroclad weldable components.
11. Ensure compliant falls. E2/AS1 8.5.1. limitations state 2° for roofs (1:30 or 34mm/mt), 1.5° for decks (1:40 or 25mm/mt)

floor coverings - top deck 1:75

Proposed alterations to the ship Tui, Waitangi River foreshore, for TriOceans Ltd



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DATE: 26/08/2024

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FOUNDATION ASSESSMENT

Ship Tui, Te Kemara Avenue, Paihia 0200



T&A STRUCTURES LTD.

11 August, 2024

Table of Contents

1. PROJECT	3
2. SITE DESCRIPTION	3
3. GEOTECHNICAL INVESTIGATIONS.....	3
4. FOUNDATION ASSESSMENT	5
5. LIMITATIONS	6
6. APPENDIX 1: BORE LOGS.....	7

1. PROJECT

1.1 Project Details

Client's Name : TriOceans Ltd
Site Address : Te Kemara Avenue, Paihia 0200

1.2 Brief

T&A Structures Limited was engaged by the Client to undertake a Foundation Assessment with the purpose of checking the suitable foundation type for the proposed new ramp and landing leading to the ship. The ship is permanently setting at the bank of Waitangi River, supported with concrete pads. The site assessment was carried out on 5 August 2024.

The ship is being re-fitted to be used as Marine Exhibition Centre. Part of this development is to replace the existing ramp and landing leading to the ship. This report addresses the suitable foundation type for the proposed ramp and landing, solely in response to the RFI dated 15 July 2024 raised by the Council.

2. SITE DESCRIPTION

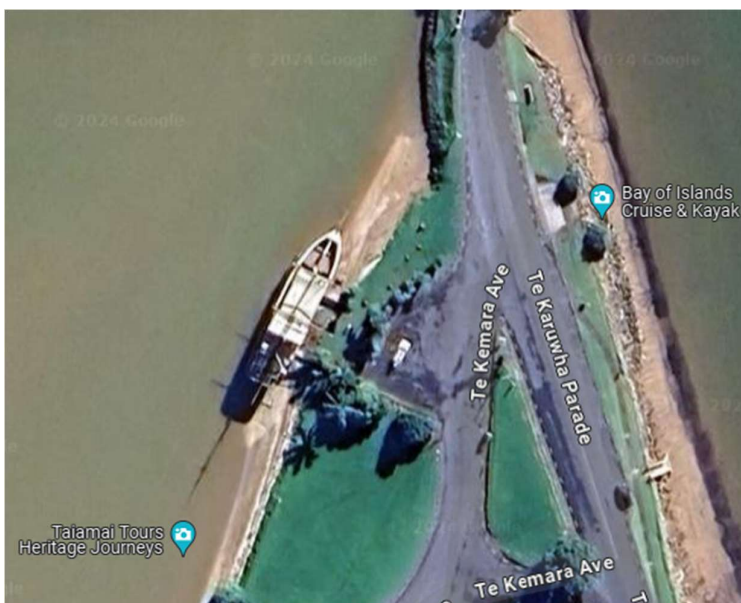
The site is located at the south-eastern side of the Waitangi River, right at the southern end of the Waitangi One Way Bridge. The site is bounded by Te Kemara Avenue to the east and south and Waitangi River to the north and west. It is gently sloping down towards the north-west to Waitangi River. It is currently covered with a well-maintained grass.

3. GEOTECHNICAL INVESTIGATIONS

3.1 Subsurface Investigations

The investigations undertaken included a walkover inspection and two Scala Penetrometer tests. The location plan of the test holes is attached below.

The borehole logs are attached as Appendix 1 to this report. The depths of strata on the Engineer's log are measured from ground levels at each exploratory hole.



3.2 Subsurface Findings

The subsoil materials were found to have the following bearing capacities 1700mm below existing ground level:

	BEARING CAPACITY (kPa)	DESCRIPTION
Allowable bearing capacity	100	the reading the inspector obtained with any specialised equipment
Ultimate bearing capacity	300	value = 3 times the allowable bearing capacity
Ultimate dependable bearing capacity	150	value = 1.5 times the allowable bearing capacity

From the results of our preliminary investigations, we were able to establish that in the area of the proposed site, the subsurface soils comprised of approximately 150mm thick sandy topsoil underlain with soft sand. Ground water was encountered at about 1000mm bgl. It should be noted however, that ground water table will vary according to tidal conditions.

The top 1700mm of soil was soft and not suitable for foundation designed according to the NZS3604:2011 requirements. Below 1700mm bgl, the subsoils were stiffer and consistent in strength.

The subsurface conditions are detailed on the borehole logs in Appendix 1. The observations noted in the investigations have been extrapolated between the various test locations to infer probable site conditions. It is noted that these inferences in no way guarantee the validity of these findings due to the inherent variability of natural soil deposits. The actual ground conditions discovered during excavation may vary from what is reported herein.

4. FOUNDATION ASSESSMENT

The soils appeared to have not complied with the definition of “good ground” as noted in NZS3604:2011. It is however, considered that the site is suitable for the proposed development. The following are the recommended foundation options:

- The foundation needs to be specifically designed.
- It is recommended that the piles supporting the proposed ramp should be supported with specifically designed and oversized concrete footings, excavated to 800mm bgl and designed according to the following geotechnical parameters:
 - Ultimate soil bearing capacity of 135kpa.
 - 0.5 capacity reduction factor.
 - Undrained shear strength of 22.5kpa.
 - Soil internal friction of 26 degrees.
- Alternatively, the pile foundation can be driven using 150SED piles, driven to 3 metres deep.

5. LIMITATIONS

- Our responsibility for this report is limited to the Client named in this report. We disclaim all responsibility and will accept no liability to any other person unless that party has obtained the written consent of T&A Structures Ltd. T&A Structures Ltd reserves the right to qualify or amend any opinion expressed in this report in dealing with any other party. It is not to be relied upon for any other purpose without reference to T&A Structures Ltd.
- Recommendations and opinions in this report are based on data obtained from the investigations and site observations as detailed in this report. The nature and continuity of subsoil conditions at locations other than the investigation bores and tests are inferred and it should be appreciated that actual conditions could vary from the assumed model.
- It is essential that this office be contacted if there is any variation in subsoil conditions from those described in this report as it may affect the design parameters recommended.
- This report was carried for the purpose of checking the ground with respect to the proposed ramp and landing only. This should not be taken as a full geotechnical report, especially for developments with heavier loads.
- Our professional services were performed using a degree of care and skill normally exercised, under similar circumstances, by reputable consultants practicing in this field at the time.


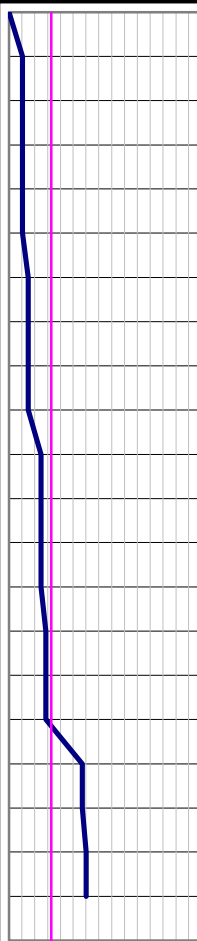



Teo Pilapil

Chartered Professional Engineer
Structural Engineer, CMEngNZ CPEng

T&A STRUCTURES LTD.

6. APPENDIX 1: BORE LOGS

BORE HOLE LOG BH1					Job No. 076-FND-24SD	
Address		Te Kemara Ave, Paihia				
Client		TriOceans Ltd				
Borehole Location		Refer to site plan				
Surface elevation		Datum		Ground level		
Surface Condition		Grassed				
						
Depth mm	G.W.L	Geologic Unit	Graphic Log	Field Description	Undrained Shear Strength (kPa) Corrected (Per NZGS guideline) 50 100 150 200	Scala Penetrometer (blows/ 100 mm) 3 6 9 12
0					0	
300					0	
600					0	
900					0	
1200					0	
1500					0	
1800					0	
2100					0	
Drill Method		Scala penetrometer'				
Date Drilled		5 August 2024				
Drilled by		Teo				
Shear Vane No						
<p>NOTE : The subsurface data described above has been determined at this specific borehole location. Such data will not identify any variations away from this location</p>						
 T&A STRUCTURES LTD CHARTERED PROFESSIONAL ENGINEERS www.tastructures.co.nz info.tastructures@gmail.com					<p style="text-align: center;">Tests</p> In situ shear vane reading Remoulded shear vane reading Scala Penetrometer 100 kPa reference line 	

BORE HOLE LOG BH2					Job No.	076-FND-24SD							
Address		Te Kemara Ave, Paihia											
Client		TriOceans Ltd											
Borehole Location			Refer to site plan										
Surface elevation			Datum		Ground level								
Surface Condition			Grassed										
Fill		Topsoil		Sand		Clay		Silt					
Depth mm	G.W.L	Geologic Unit	Graphic Log	Field Description	Undrained Shear Strength (kPa) Corrected (Per NZGS guideline)				Scala Penetrometer (blows/ 100 mm)				
					50	100	150	200	3	6	9	12	
300					0					0			
600					0					0			
900					0					0			
1200					0					0			
1500					0					0			
1800					0					0			
2100					0					0			
Drill Method		Scala penetrometer'											
Date Drilled		5 August 2024		NOTE : The subsurface data described above has been determined at this specific borehole location. Such data will not identify any variations away from this location									
Drilled by		Teo											
Shear Vane No													
 T&A STRUCTURES LTD CHARTERED PROFESSIONAL ENGINEERS www.tastructures.co.nz info.tastructures@gmail.com					Tests In situ shear vane reading Remoulded shear vane reading Scala Penetrometer 100 kPa reference line 								

6 September 2024

Catherine Helen Peters
230 Wharau Road
RD 3
Kerikeri 0293

Reference Number: EBC-2024-1102/0
Property Address: Lot 37, Te Kemara Avenue, Paihia 0200
Property ID # 3316984
Description: Fit out existing ship with new roof, ramps and access deck

Dear Sir / Madam,

Issue of Building Consent

We are pleased to advise that your application has been approved and the Building Consent has been issued. The approved plans and specifications are Attached.

To assist you further in the Building Consent process, the following points should be noted: -

- **Building Consent Documents**

It is your responsibility to ensure:

- **A printed copy of the issued Building Consent documentation is on site at every inspection. Failure to do so could result in a failed inspection.**
- Plans must be printed in colour and be at least A3 size. Specifications may be printed in black and white.
- Ensure all Documentation is kept in order and filed safe free from damage for your inspector to view at each inspection throughout the build.
- Ensure any emailed inspection summaries are available for the next inspection either via electronical or printed copy.

- **Building Consent conditions**

It is important you understand the conditions of the consent and seek any additional information required before you start building (e.g., you may require the help of other professional services such as an engineer). If you do not understand the conditions, have your consent number handy and contact the building team for assistance.

- **Building inspections**

- A list of required inspections for this project is enclosed.
- All inspections can be booked with the attached link or scanning the code:
[Book a building inspection online | Far North District Council \(fndc.govt.nz\)](#)

- **Building inspection block**

An inspection block may apply to your project. This means that inspections cannot take place yet. Blocks may be applied if: -

- A Resource Consent, Discharge Consent, or Outline Plan is required. The applicable consent must be issued before the inspection block can be lifted.
- You have not nominated a Licensed Building Practitioner (LBP) to carry out restricted building works. The name(s) of the LBPs to work on your project must be supplied in writing prior to any building works commencing.

- **Additional building inspections**

If additional inspections are required to complete the project, you will be invoiced as per our Fees & Charges Schedule.

- **Final Inspection**

Please make sure your building consent pack is on site and all LBP certificates and statements are available and have been completed in full. If you have not already applied for your CCC please do so and provide your completed application to the inspector at the time of the final inspection.

- **Code Compliance Certificate (CCC)**


When all the nominated inspections have successfully been completed, the owner or their agent/builder can book a Final inspection online or contact our Call Centre on 0800 920029 or 09 4015200.

- **Timeframes**

- Building work should **start within 12 months** of the Building Consent being issued. Failure to do so may result in your application lapsing and you will need to reapply for a new building application. If the work cannot be completed within this timeframe you can apply for an Extension of Time – a fee will apply.
- Building work should be **completed within two years** of the Building Consent being granted. Failure to do so may result in your CCC application being refused. If the work cannot be completed within this timeframe you can apply for an Extension of Time – a fee will apply.

We would like to take this opportunity to thank you for choosing to build in the Far North and look forward to working with you towards a compliant building. Please do not hesitate to contact the Building Team on 0800 920029 or 09 401 5200 if you have any questions or need further assistance.

Yours sincerely,



Trent Blakeman
Manager Building Services
Delivery and Operations

FORM 5
BUILDING CONSENT

Section 51, Building Act 2004

Building Consent Number: EBC-2024-1102/0

THE BUILDING

Street Address of Building

Lot 37, Te Kemara Avenue, Paihia
0200

Building Name:

Level/unit number:

Legal description of land where building is located:

LOTS 37-39 DP 43842 OF TE TI B BLK -TAPUKARAKA
HISTORIC RES- HISTORIC RES-

Location of Building within site / block number:

THE OWNER

Name of Owner:

Far North District Council

Contact Person Name:

Mailing Address:

Private Bag 752
Kaikohe 0440

Street Address / Registered Office:

Phone Number:

Daytime:

Email Address:

catherine@tricoeans.org

Landline:

After Hours:

Website

Mobile:

0211058040

Facsimile Number:

First point of contact for communications with the building consent authority:

Cadplanz

Paul Hayman

277 Wainui Road

Whangaroa

0274505471

info@cadplanz.co.nz

BUILDING WORK

The following building work is authorised by this building consent:

Fit out existing ship with new roof, ramps and access deck

This building consent is issued under section 51 of the Building Act 2004. This building consent does not relieve the owner of the building (or proposed building) of any duty or responsibility under any other Act relating to or affecting the building (or proposed building). This building consent also does not permit the construction, alteration, demolition, or removal of the building (or proposed building) if that construction, alteration, demolition, or removal would be in breach of any other Act.

THIS BUILDING CONSENT IS SUBJECT TO THE FOLLOWING CONDITION(S)

Section 90 Inspections by the Building Consent Authority (BCA) and Third Parties

Agents authorised by the BCA (Council) are entitled to inspect, at all times during normal working hours or while building work is being done. Inspection means the taking of all reasonable steps to ensure that building work is being carried out in accordance with this building consent.

Attached to this document are a list of the inspections that Council will undertake (refer attachments for details) and a list of inspections and supporting documentation required by third parties e.g. your engineer or accredited inspection body (refer attachments for details)

COMPLIANCE SCHEDULE

- The building is existing and has specified systems listed on Compliance Schedule #1466. This consent only relates to specified systems added/altered to the building. Therefore, an updated compliance schedule is required for the building.

The compliance schedule must contain the following specified systems and comply with the performance standards for those systems required by the building code:

SS 2 Automatic or manual emergency warning systems for fire or other dangers

- NZS 4512:2021 – Fire detection and alarm systems in buildings

SS 4 Emergency Lighting Systems

- **Stanilite luminaire emergency lighting** - AS 2293-2005 Emergency escape lighting and exit signs for buildings | Part 1: System design, installation, and operation (Amendment 2, 2014) & Part 3: Emergency luminaires and exit signs (Amendment 2, 2012); as modified by Appendix B of F6/AS1 Visibility in Escape Routes, Third Edition, Amendment 2 [10 October 2011]
- **Ecoglo photoluminescent escape paths markings** - New Zealand Building Code Clause F6.3.1. January 2017

SS14/2 Emergency power systems for, or signs relating to, a system or feature specified in clauses 1 to 13: Signs

- F8/AS1 Signs, Third Edition, Amendment 4, effective as of 1 January 2017, clause 5.1

SS15/2 Other fire safety systems or features: Final exits

- C/AS2 Acceptable Solution for Buildings other than Risk Group SH, First Edition, Amendment 3, effective as of 2 November 2023, clause 3.12 & 3.15

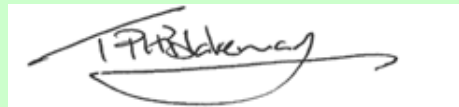
SS15/4 Other fire safety systems or features: Signs for communicating information intended to facilitate evacuation

- F8/AS1 Signs, Third Edition, Amendment 4, effective as of 1 January 2017, clause 4.0

ATTACHMENTS

Copies of the following documents are attached to this building consent:

- Project information memorandum
- Development contribution notice
- Notification of requirement to obtain Resource Consent (Form 4)
- Schedule of Inspections required by the BCA and 3rd Parties. These schedules identify certificates and producer statements required during construction. Please ensure you read these documents carefully.



Trent Blakeman
Manager, Building Services, Delivery and Operations
Far North District Council (Building Consent Authority)
09-Sep-2024

Position:

On behalf of:

Date:

Part 1: Schedule of BCA (Council) Inspections required under s.90 of the Building Act

The following inspections are required to confirm compliance during construction. Where construction monitoring or certification is also required, refer to Part 2 for further detail.

209B Bored Pile Foundation

A hole or series of holes are drilled in the ground. A timber pile or post is then placed in the hole before it is filled with concrete. The hole may also have reinforcing steel placed in it.

This inspection takes place prior to the concrete being placed.

The inspector will check the depth and width of the hole and its location.

Note: If you are unable to locate survey pegs a Registered Land Surveyor's certificate will be required and must be provided at time of inspection.

217 Subfloor Framing

Subfloor framing refers to the structural elements under a timber floor and may include the insulation. Subfloor framing predominately applies to timber structural elements, but concrete and steel structural elements can also be used. The purpose of this inspection is to check the subfloor framing layout (size and location); bracing and connections (nails and nail plates).

Subfloor insulation can also be checked at this inspection. These days, timber floors are less common than concrete floors.

222A Wall and Roof Framing- Paired with 222B

Wall framing inspections cover wall framing, mid-floor framing and roof framing. Safe access (scaffolding or stairs) must be provided. The purpose of this inspection is to check framing layout (size and location); bracing and connections (nails and nail plates). Framing can refer to timber or steel structures.

Note: If there is a membrane roof or deck; the substrate is also inspected at this inspection.

222B Skillion Roof – Paired with 222A

This inspection is carried out to check roof framing, moisture content; bracing; insulation and fixings. This inspection is carried out prior to installation of the roof cladding.

223 Cavity Wrap

The purpose of this inspection is to check that the wrap is secure and has no tears in it. The inspector will check that the wrap is not damaged and that tapes are applied appropriately. They will also ensure that any penetrations for pipes and wires are sealed properly.

Windows are usually in at this inspection and will also be checked to make sure all flashings are installed correctly.

- 226A** **Cladding**
The purpose of this inspection is to check that the building is weathertight, and all external claddings are in place (roof and wall cladding and joinery).
Cladding types: Weatherboard; Linea; corrugated iron; sheet claddings; plywood; board and batten etc.
- 229A** **Preline Building**
The purpose of a pre-line inspection is to make sure that the timber is dry enough for the internal linings to be fitted. The moisture content for timber framing must be 18% or less before the installation of any internal lining.
- 229B** **Preline Plumbing**
The purpose of this inspection is to check and test the installation of the water supply pipes and the waste pipes.
This inspection must be done before or at the same time as pre-line building. The water supply pipes must be under pressure test to check for any leaks in the system.
Note: The plumber (with licence) must be on site at the time of inspection.
- 241A** **Drainage (conventional)**
The inspection of storm water and foul water pipes before the pipes are buried. The purpose of this inspection is to check that there is enough fall on the pipe and that they are the right size. The pipework must be under test to confirm there are no leaks in the system. The registered drain layer must be on site and provide an as-built plan at the time of the inspection.
These licenses are to be on site a time of inspection:
- Drain layer licence.
- 300B** **Membrane Substrate Roof, Deck and Gutter (1st inspection)**
Membrane roof, deck and gutters are part of the external envelope and must be weathertight. Two inspections are required. 1st inspection - the purpose of this inspection is to check the substrate (floor) is installed correctly and has appropriate fall.
- 300C** **Membrane Roof, Deck and Gutter (2nd inspection)**
Membrane roof, deck and gutters are part of the external envelope and must be weathertight.
2nd inspection - the purpose of this inspection is to check the product used and water tightness of the membrane (flood testing required).

306B

Final Inspection – Commercial Buildings

The purpose of this inspection is to ensure all building work is complete, including:

- Fire alarms, sprinklers, lifts, escalators, etc. (specified systems)
- Painting and decorating
- Floor coverings
- Fixtures and fittings (plumbing)
- Electrical work and gas installations
- All services commissioned (power and water on, etc.)
- Driveways and paving
- Landscaping
- Signage Etc.

306P

Compliance Schedule - Pre-final Check

The purpose of the inspection is to check and verify 3rd party inspection records and technician statements, to verify Specified System performance standards, collect as-built plans and record the make, model and location of each specified system in the building. All items relating to the Draft Compliance Schedule/Specified Systems will be addressed at this inspection. Once this inspection is passed you can book your final inspection.

Part 2: Schedule of 3rd party inspections and documentation for general construction

The following 3rd party inspections, certificates, producer statements and documents are required to confirm compliance during construction. For information about inspection and documentation for specified systems, refer to Part 3 for further details.

Energy Works Certificate - Electrical

The electrician is required to submit an energy works certificate certifying that all electrical installations meet the requirements of Clause G9 (Electricity) of the New Zealand Building Code and the Electrical Regulations.

Structural Elements eg. framing; portal frames; bracing, etc. (PS4)

Producer statement construction review (PS4) is to be submitted by the structural engineer for the observation and construction of the structural elements confirming that work complies with the structural design approved in this building consent.

Part 3: Schedule of 3rd party inspections and documentation for Specified Systems

The following 3rd party inspections, certificates, producer statements and documents are required to confirm compliance for specified systems during construction.

SS	Title	Inspections and documentation required
SS2	Automatic or Manual Emergency Warning Systems for fire or other dangers	<p><u>3rd party Inspection</u> Accredited inspection Body who is to inspect and certify the fire alarm system has been installed, tested, and commissioned in accordance with the nominated performance standard</p> <p><u>Documentation</u></p> <ul style="list-style-type: none"> • Details of the make and model of the system installed • As-built plan showing the location of the fire alarm system e.g. all call points, heat and smoke detection devices, sounders and fire panel • Accredited inspection Body Certificate of Compliance • Technicians statement / PS3 covering installation, testing, and commissioning
SS4	Emergency lighting systems	<p><u>Documentation</u></p> <ul style="list-style-type: none"> • Details of the make and model of all emergency lighting systems • As-built plan showing the location of all emergency lighting • Technicians statement / PS3 covering installation, testing, and commissioning of the system
SS14/2	Signs Relating to a System or Feature Specified in any of Clauses 1 to 13.	<p><u>Documentation</u></p> <ul style="list-style-type: none"> • Details of the make and model of the system(s) installed • As-built plan showing location of the system(s) installed
SS15/2	Final Exits	<p><u>Documentation</u></p> <ul style="list-style-type: none"> • Details of the make and model of the final exits installed • As-built plan showing location of final exits
SS15/4	Signs for Communicating Information Intended to Facilitate Evacuation	<p><u>Documentation</u></p> <ul style="list-style-type: none"> • Details of the make and model of the system(s) installed • As-built plan showing location of the system(s) installed

Subject: Sugar Boat / The Tui - Waitangi
Date: Friday, 8 November 2024 at 2:44:21 PM New Zealand Daylight Time
From: Steve Sanson
To: infonorthland@heritage.org.nz, catherine@trioceans.org
Attachments: image006.jpg, image007.png, image008.png, image009.png, image010.png, image001.png

Dear Bill,

TriOceans Ltd seek to give the Sugar Boat / The Tui at Waitangi a new lease of life through alterations which will promote a marine exhibition space, toilets, a classroom and café, new landing / ramp area, and signage.

The draft application is provided in the link below.

 [Application Information](#)

The Northland Regional Council has asked for HNZPT comments prior to lodging.

We are also consulting with FNDC concurrently with yourself.

Nga Mihi.



Steve Sanson
Director | Consultant Planner
Bay of Islands Planning (2022) Ltd



[021 160 6035](tel:0211606035)
steve@bayplan.co.nz
<https://www.bayplan.co.nz>
Kerikeri House, Suite 3, 88
Kerikeri Road, Kerikeri 0295

Subject: RE: Sugar Boat / Tui - Paihia
Date: Monday, 25 November 2024 at 10:21:41 AM New Zealand Daylight Time
From: Paul Maxwell
To: Steve Sanson
CC: Katie McGuire, Trish.Routley@fndc.govt.nz, catherine@trioceans.org, Robin Rawson
Attachments: image015.png, image016.jpg, image017.png, image018.png, image019.png, image020.png, image021.jpg, image022.png, image023.png, image024.png, image025.png, image026.png, image027.png, image028.jpg, image029.png

Kia ora Steve,

From the NRC perspective the sugar boat is a building in the CMA (It is not a vessel that can sail off). The landing and access ways are in the nature of decks and access to the building and would not be considered to be either a 'jetty' or a 'boat ramp' for the purpose of the Transfer of functions and powers.

The structures should be considered under the NRC rules as an alteration/extension to the building. The Portions of the altered building on Land would therefore need to be addressed by an FNDC consent if required.

Ngā mihi

Paul Maxwell
Coastal & Works Consents Manager
Northland Regional Council - Te Kaunihera ā rohe o Te Taitokerau
Ph 0800 002 004

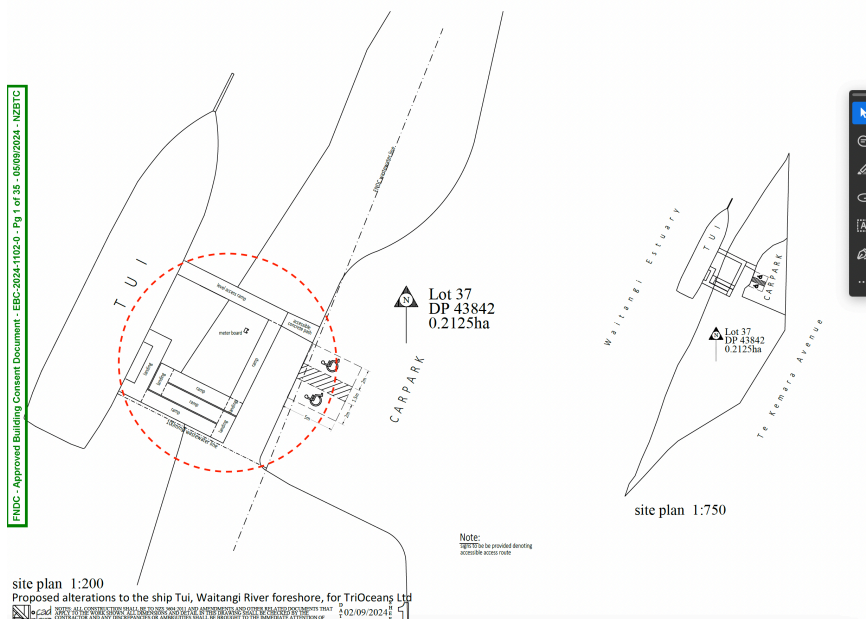


Disclaimer
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From: Steve Sanson <Steve@bayplan.co.nz>
Sent: Monday, 25 November 2024 9:53 am
To: Paul Maxwell <PaulM@nrc.govt.nz>; Trish Routley <Trish.Routley@fndc.govt.nz>; catherine@trioceans.org; Robin Rawson <Robin.Rawson@fndc.govt.nz>
Cc: Stuart Savill <Stuarts@nrc.govt.nz>
Subject: Re: Sugar Boat / Tui - Paihia

Kia ora Paul,

See below. The boat itself is in the CMA. The boat ramps straddles the CMA / Council reserve.





Steve Sanson
 Director | Consultant Planner
 Bay of Islands Planning (2022) Ltd



021 160 6035
steve@bayplan.co.nz
<https://www.bayplan.co.nz>
 Kerikeri House, Suite 3, 88
 Kerikeri Road, Kerikeri 0295

From: Paul Maxwell <PaulM@nrc.govt.nz>
Date: Monday, 25 November 2024 at 9:47 AM
To: Trish Routley <Trish.Routley@fndc.govt.nz>, Steve Sanson <Steve@bayplan.co.nz>, catherine@trioceans.org
 <catherine@trioceans.org>, Robin Rawson <Robin.Rawson@fndc.govt.nz>
Cc: Stuart Savill <StuartS@nrc.govt.nz>
Subject: RE: Sugar Boat / Tui - Paihia

Morena Steve, can you please provide a drawing of the proposal to better assess whether the structure fits the definition covered by the transfer of functions and powers.

Ngā mihi

Paul Maxwell
 Coastal & Works Consents Manager
Northland Regional Council > **Te Kaunihera ā rohe o Te Taitokerau**
 Ph 0800 002 004




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From: Trish Routley <Trish.Routley@fndc.govt.nz>
Sent: Monday, 25 November 2024 9:42 am
To: Steve Sanson <Steve@bayplan.co.nz>; Paul Maxwell <PaulM@nrc.govt.nz>; catherine@trioceans.org; Robin Rawson <Robin.Rawson@fndc.govt.nz>
Subject: RE: Sugar Boat / Tui - Paihia

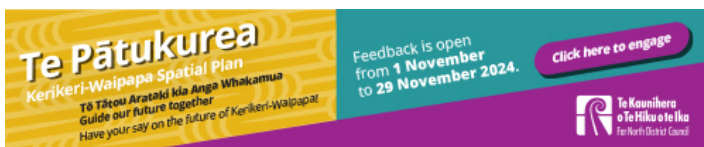
Mōrena,

That is fine by FNDC if it is ok with NRC.

Ngā mihi

 **Trish Routley**
 Manager - Resource Consents
 M 0272425935 | P +6494015772 | Trish.Routley@fndc.govt.nz
 Te Kaunihera o Te Hiku o te Ika | Far North District Council

Pokapū Kōrero 24-hāora | 24-hour Contact Centre 0800 920 029
fndc.govt.nz



From: Steve Sanson <Steve@bayplan.co.nz>
Sent: Monday, 25 November 2024 9:40 am
To: Paul Maxwell <PaulM@nrc.govt.nz>; catherine@trioceans.org; Robin Rawson <Robin.Rawson@fndc.govt.nz>; Trish Routley <Trish.Routley@fndc.govt.nz>
Subject: Re: Sugar Boat / Tui - Paihia

CAUTION: This email originated from outside Far North District Council.
 Do not click links or open attachments unless you recognise the sender and know the content is safe.

Sorry – the email sent without me asking it too. Here is the finished version...

Kia ora Paul, Trish

Trust the weekend went well.

I am close to submitting a consent to NRC on this matter.

We have been liaising with Robin Rawson from FNDC Reserves. We have lodged a License to Occupy application with them inclusive of the applicants mana whenua engagement. There has been some questions about the need for a n FNDC consent aswell.

Just looking over the Transfer of Powers functions between FNDC and NRC, this would appear to cover the situation of the boat access ramp and landing on FNDC jurisdiction.

Trish / Paul – is there comfort in this all being considered under the NRC umbrella? Clause B would cover this.

Regards

You don't often get email from paulm@nrc.govt.nz. [Learn why this is important](#)

Kia ora Steve,

The transfer of functions from FNDC to NRC is very limited and only to earthworks in respect of the construction of earth dams.

4

FIRST SCHEDULE

(Transfer by Far North District Council)

A. Resource Management Act 1991

1. The processing, administration, and enforcement of Resource Consents for the following activities:
 - (a) Land Use consents for construction earthworks for earth dams;
 - (b) Land use consents for Private jetties and Boat Ramps that straddle cma;
 - (c) Costs of these services to be recovered directly from the applicant/exacerbator.

Ngā mihi

Paul Maxwell

Coastal & Works Consents Manager

Northland Regional Council » Te Kaunihera ā rohe o Te Taitokerau

Ph 0800 002 004



Steve Sanson

Director | Consultant Planner

Bay of Islands Planning (2022) Ltd



021 160 6035

steve@bayplan.co.nz

<https://www.bayplan.co.nz>

Kerikeri House, Suite 3, 88
Kerikeri Road, Kerikeri 0295

Subject: Re: Sugar Boat / The Tui - Waitangi
Date: Friday, 29 November 2024 at 2:24:17 PM New Zealand Daylight Time
From: Robin Rawson
To: Steve Sanson, catherine@trioceans.org
Attachments: image001.jpg, image002.png, image003.png, image004.png, image005.png, image006.png, hfykje6b6i3b6nosimg_6v5W51dIM4x60ixv1.png, hfykje6b6i3b6nosimg_NUB35Mph043u5blov3.png, hfykje6b6i3b6nosimg_mX8l6Sk7t0Hbh5Y3v2.png, hfykje6b6i3b6nosimg_mO2PjjNwbeFFzmOav2.png, hfykje6b6i3b6nosimg_en20fh5a7aWuanomv2.png, hfykje6b6i3b6nosimg_gTn9ic7qYq92R76Qv2.png, image007.jpg, image008.png, image009.png, image010.png, image011.png, image.png

Hi Steve,

I have realised this area was included in an archaeological screen for Council parks.

The screen concluded that an Authority to Modify would be required for any works.

Please confirm whether the advice to you from Heritage NZ Pouhere Taonga was consistent with this comment.

Thank you
 Robin



(1 of 3)

[Zoom to](#) [Clear Selected](#)

A

OBJECTID	255
Site Type	A
Heritage Possibility	Heritage site
parcel_id	5063421
Researcher Notes	Any groundworks on this p would require an archaeolo authority, as sites associate Maori and early European s will be encountered. P05/4 of authority 2013-185 repo Prince49.
SHAPE_Length	269.393369
SHAPE_Area	2044.564263



Robin Rawson

Parks & Reserves Planner - Growth Planning and Placemaking
 M 272171426 | P 6494015288 | Robin.Rawson@fndc.govt.nz

Te Kaunihera o Te Hiku o te Ika | Far North District Council

Pokapū Kōrero 24-hāora | 24-hour Contact Centre 0800 920 029

fndc.govt.nz



From: Steve Sanson <Steve@bayplan.co.nz>
Sent: Wednesday, November 13, 2024 8:17 AM
To: Robin Rawson <Robin.Rawson@fndc.govt.nz>; catherine@trioceans.org <catherine@trioceans.org>; Michelle Rockell <Michelle.Rockell@fndc.govt.nz>; Property Legalisation <propertylegalisation@fndc.govt.nz>
Subject: Re: Sugar Boat / The Tui - Waitangi

CAUTION: This email originated from outside Far North District Council.
 Do not click links or open attachments unless you recognise the sender and know the content is safe.

Morning Robin,

There is an LTO application attached noting your consideration below.

This includes the draft NRC application for the structure, plans, comments from hapu.

I have asked HNZPT for comment and awaiting that.

Let me know once you have met internally what other information you may need.

Regards.



Steve Sanson
Director | Consultant Planner
Bay of Islands Planning (2022) Ltd



021 160 6035
steve@bayplan.co.nz
<https://www.bayplan.co.nz>
Kerikeri House, Suite 3, 88
Kerikeri Road, Kerikeri 0295

From: Steve Sanson <Steve@bayplan.co.nz>
Date: Monday, 11 November 2024 at 9:13 AM
To: Robin Rawson <Robin.Rawson@fndc.govt.nz>, catherine@trioceans.org <catherine@trioceans.org>
Cc: Michelle Rockell <Michelle.Rockell@fndc.govt.nz>, Property Legalisation <propertylegalisation@fndc.govt.nz>
Subject: Re: Sugar Boat / The Tui - Waitangi

No worries – thanks Robin. I will package this up and send through as an LTO as noted.

Steve



Steve Sanson
Director | Consultant Planner
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steve@bayplan.co.nz
<https://www.bayplan.co.nz>
Kerikeri House, Suite 3, 88
Kerikeri Road, Kerikeri 0295

From: Robin Rawson <Robin.Rawson@fndc.govt.nz>
Date: Monday, 11 November 2024 at 9:12 AM
To: Steve Sanson <Steve@bayplan.co.nz>, catherine@trioceans.org <catherine@trioceans.org>
Cc: Michelle Rockell <Michelle.Rockell@fndc.govt.nz>, Property Legalisation <propertylegalisation@fndc.govt.nz>
Subject: Re: Sugar Boat / The Tui - Waitangi

Great. thanks.

There is a licence to occupy form on the Council website that will give a framework for information needed, noting that it will probably be another form of occupation and does not ask for comment from iwi/hapu. These are normally sent to property legalisation, however if you send to me in the first instance I will discuss with others and make a recommendation on what sort of agreement we are considering and what other information is needed for this.

Regards
Robin



Robin Rawson
Parks & Reserves Planner - Growth Planning and Placemaking
M 272171426 | P 6494015288 | Robin.Rawson@fndc.govt.nz
Te Kaunihera o Te Hiku o te Ika | Far North District Council

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From: Steve Sanson <Steve@bayplan.co.nz>
Sent: Monday, November 11, 2024 9:06 AM
To: Robin Rawson <Robin.Rawson@fndc.govt.nz>; catherine@trioceans.org <catherine@trioceans.org>
Cc: Michelle Rockell <Michelle.Rockell@fndc.govt.nz>
Subject: Re: Sugar Boat / The Tui - Waitangi

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Kia ora Robin,

Thanks. The draft application to NRC contained these. Would these be sufficient to begin said processes?

Steve

Steve Sanson



021 160 6035
steve@bayplan.co.nz



Director | Consultant Planner
Bay of Islands Planning (2022) Ltd



<https://www.bayplan.co.nz>
Kerikeri House, Suite 3, 88
Kerikeri Road, Kerikeri 0295

From: Robin Rawson <Robin.Rawson@fndc.govt.nz>
Date: Monday, 11 November 2024 at 8:24 AM
To: Steve Sanson <Steve@bayplan.co.nz>, catherine@trioceans.org <catherine@trioceans.org>
Cc: Michelle Rockell <Michelle.Rockell@fndc.govt.nz>
Subject: Re: Sugar Boat / The Tui - Waitangi

Kia ora Steve

I understand the application proposes medium-term occupation of an area of Council recreation reserve for structures associated with access to this boat.

This would require an occupation agreement with Council, possibly a lease.

As communicated to the business owner previously, this cannot be considered by Council without iwi/hapu and wider public consultation. To save everyone's time and energy, indicative support from iwi/hapu at the start of the process for an occupation agreement is requested.

Construction works cannot take place unless there is a legal occupation granted by Council.

Ngā mihi | Regards
Robin



Robin Rawson

Parks & Reserves Planner - Growth Planning and Placemaking

M 272171426 | P 6494015288 | Robin.Rawson@fndc.govt.nz

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Pokapū Kōrero 24-hāora | 24-hour Contact Centre 0800 920 029

fndc.govt.nz



From: Steve Sanson <Steve@bayplan.co.nz>
Sent: Friday, November 8, 2024 2:47 PM
To: Robin Rawson <Robin.Rawson@fndc.govt.nz>; catherine@trioceans.org <catherine@trioceans.org>
Subject: Sugar Boat / The Tui - Waitangi

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Do not click links or open attachments unless you recognise the sender and know the content is safe.

Dear Robin,

TriOceans Ltd seek to give the Sugar Boat / The Tui at Waitangi a new lease of life through alterations which will promote a marine exhibition space, toilets, a classroom and café, new landing / ramp area, and signage.

The draft application is provided in the link below.

[Application Information](#)

The Northland Regional Council has asked for FNDC comments prior to lodging with respect to the existing reserve.

We are also consulting with HNZPT concurrently with yourself.

We look forward to your comments prior to lodging with NRC.

Nga mihi,



Steve Sanson

Director | Consultant Planner

Bay of Islands Planning (2022) Ltd



021 160 6035

steve@bayplan.co.nz

<https://www.bayplan.co.nz>

Kerikeri House, Suite 3, 88
Kerikeri Road, Kerikeri 0295



catherine peters

Fwd: Re: The Tui ship Marine Education Centre project in Waitangi

To: Catherine Peters

Inbox - Cat Trioceans 11:31 AM

On 25 October 2024 at 8:43:23 PM, Ngati Kawa Taituha (ngatikawat@gmail.com) wrote:

Kia Ora NRC.

I've seen the success first hand via my involvement as a partner to Trioceans and their previous 3 year youth development programme so I can vouch that this kaupapa is built on strong foundations.

This next phase of working within our Waitangi community is a positive step forward and provides us as locals an opportunity to build capacity and to upgrade skill sets that we need for future management of our natural resources such as the Pewhairangi Marine Mammal Sanctuary.

I'm happy to endorse Trioceans cause relationships with Nga Hapu O Te Pewhairangi are woven into the fabric of their organisation. We are regarded as an integral part of their systems, processes and procedures. I'm confident there will be mutual benefits for everyone involved especially our youth from our Whanau, Hapu and Marae.

Please contact me if you have any questions or require further information.

Mauri Ora
Ngati Kawa



catherine peters

FW:

To: Catherine Peters

Inbox - Cat Trioceans 11:32 AM

From: Rio Greening <riogreening@hotmail.com>

Sent: Wednesday, 23 October 2024 9:56 am

To: thibaud@trioceans.org

Subject:

October 23/10/2024

From Rio greening chair o the Waitangi Catchment group and other Po games in the area of opportunities .

Kia Ora Thibaud

It is my pleasure to write a letter in support of the new marine Education Centre project at tui ship next to the TE Tii Waitangi marae water front with all the history that has taken places what a big plus for our Community making this a center as i like the idea of the focused on kaitiakaitanga o te moana and serving our community in looking after what we have to day which i tautoko the Education and employment opportunities that help all of our community grow in to a better places to live ka pai e.

Ka nui te mihi

Mauri ora

rio