

# Application for change or cancellation of resource consent condition (S.127)

(Or Associated Consent Pursuant to the Resource Management Act 1991 (RMA)) Prior to, and during, completion of this application form, please refer to Resource Consent Guidance Notes and Schedule of Fees and Charges — [both available on the Council's web page](#).

## 1. Pre-Lodgement Meeting

Have you met with a council Resource Consent representative to discuss this application prior to lodgement?

Yes  No

If yes, who have you spoken with? Nick Williamson

## 2. Type of Consent being applied for

Change of conditions (s.127)

## 3. Consultation:

Have you consulted with Iwi/Hapū?  Yes  No

If yes, which groups have you consulted with?

Ngapuhi

Who else have you consulted with?

*For any questions or information regarding iwi/hapū consultation, please contact Te Hono at Far North District Council [tehonosupport@fndc.govt.nz](mailto:tehonosupport@fndc.govt.nz)*

## 4. Applicant Details:

Name/s:

Gemscott Kaikohe Limited C/O Jasem Saleh

Email:

jasem@gemscott.co.nz

Phone number:

Work 022 317 5224

Home

Postal address:

(or alternative method of service under section 352 of the act)

PO Box 54051

The Marina

Auckland

Postcode

2144



## 5. Address for Correspondence

Name and address for service and correspondence (if using an Agent write their details here)

Name/s:

CKL NZ Limited C/O Zita Talaic-Burgess

Email:

Phone number:

Postal address:

(or alternative method of service under section 352 of the act)

All correspondence will be sent by email in the first instance. Please advise us if you would prefer an alternative means of communication.

## 6. Details of Property Owner/s and Occupier/s

Name and Address of the Owner/Occupiers of the land to which this application relates (where there are multiple owners or occupiers please list on a separate sheet if required)

Name/s:

Te Runanga A Iwi O Ngapuhi Trust Board

Property Address/  
Location:

## 7. Application Site Details

Location and/or property street address of the proposed activity:

Name/s:

Site Address/  
Location:

12-16 Mangakahia Road

Kaikohe

Postcode

0405

Legal Description:

Lot 1-2 DP 313428 and Kohewhata

Val Number:

Certificate of title:

53012, 23013 and NA903/167

Please remember to attach a copy of your Certificate of Title to the application, along with relevant consent notices and/or easements and encumbrances (search copy must be less than 6 months old)

Site visit requirements:

Is there a locked gate or security system restricting access by Council staff?  Yes  No

Is there a dog on the property?  Yes  No



## 7. Application Site Details (continued)

Please provide details of any other entry restrictions that Council staff should be aware of, e.g. health and safety, caretaker's details.

*This is important to avoid a wasted trip and having to re-arrange a second visit.*

Construction is underway. Please contact prior to site visit if one is required.

## 8. Detailed description of the proposal:

This application relates to the following resource consent: 225.131-RMACOM

Specific conditions to which this application relates:

To amend condition 30, delete conditions 31 and 31, and add conditions 23a, 23b and 23c to the land use section of the consent.

Describe the proposed changes:

Remove reference to above-ground tanks within Condition 30 and include new condition under land use consent (Condition 23c).  
Remove Condition 31 referring to stormwater attenuation from buildings and impervious surfaces and move to new Condition 23a as it should fall under the land use component.  
Remove Condition 32 referring to overland flow paths and buildings and landscaping and flood plains and move to new Condition 23b.

## 9. Would you like to request Public Notification?

Yes  No

## 10. Other Consent required/being applied for under different legislation

(more than one circle can be ticked):

- Building Consent
- Regional Council Consent (ref # if known)
- National Environmental Standard consent
- Other (please specify)

## 11. Assessment of Environmental Effects:

Every application for resource consent must be accompanied by an Assessment of Environmental Effects (AEE). This is a requirement of Schedule 4 of the Resource Management Act 1991 and an application can be rejected if an adequate AEE is not provided. The information in an AEE must be specified in sufficient detail to satisfy the purpose for which it is required. Your AEE may include additional information such as Written Approvals from adjoining property owners, or affected parties (including consultation from iwi/hapū).

Your AEE is attached to this application  Yes



## 12. Draft Conditions:

Do you wish to see the draft conditions prior to the release of the resource consent decision?  Yes  No

If yes, do you agree to extend the processing timeframe pursuant to Section 37 of the Resource Management Act by 5 working days?  Yes  No

## 13. Billing Details:

This identifies the person or entity that will be responsible for paying any invoices or receiving any refunds associated with processing this resource consent. Please also refer to Council's Fees and Charges Schedule.

**Name/s:** (please write in full) Gemscott Kaikohe Limited C/O Jasem Saleh

**Email:**

**Phone number:**

**Postal address:**

(or alternative method of service under section 352 of the act)

### Fees Information:

An instalment fee for processing this application is payable at the time of lodgement and must accompany your application in order for it to be lodged. Please note that if the instalment fee is insufficient to cover the actual and reasonable costs of work undertaken to process the application you will be required to pay any additional costs. Invoiced amounts are payable by the 20th of the month following invoice date. You may also be required to make additional payments if your application requires notification.

### Declaration concerning Payment of Fees:

I/we understand that the Council may charge me/us for all costs actually and reasonably incurred in processing this application. Subject to my/our rights under Sections 357B and 358 of the RMA, to object to any costs, I/we undertake to pay all and future processing costs incurred by the Council. Without limiting the Far North District Council's legal rights if any steps (including the use of debt collection agencies) are necessary to recover unpaid processing costs I/we agree to pay all costs of recovering those processing costs. If this application is made on behalf of a trust (private or family), a society (incorporated or unincorporated) or a company in signing this application I/we are binding the trust, society or company to pay all the above costs and guaranteeing to pay all the above costs in my/our personal capacity.

**Name:** (please write in full)

Darren Park

**Signature:** (signature of bill payer)

**Date** 09-Dec-2024

**MANDATORY**



## 14. Important Information:

### Note to applicant

You must include all information required by this form. The information must be specified in sufficient detail to satisfy the purpose for which it is required.

You must pay the charge payable to the consent authority for the resource consent application under the Resource Management Act 1991.

### Privacy Information:

Once this application is lodged with the Council it becomes public information. Please advise Council if there is sensitive

information in the proposal. The information you have provided on this form is required so that your application for consent pursuant to the Resource Management Act 1991 can be processed under that Act. The information will be stored on a public register and held by the Far North District Council. The details of your application may also be made available to the public on the Council's website, [www.fndc.govt.nz](http://www.fndc.govt.nz). These details are collected to inform the general public and community groups about all consents which have been issued through the Far North District Council.

### Declaration

The information I have supplied with this application is true and complete to the best of my knowledge.

Name: (please write in full)

Darren Park

Signature:

[Redacted Signature]

Date 09-Dec-2024

*A signature is not required if the application is made by electronic means*

### Checklist (please tick if information is provided)

- Payment (cheques payable to Far North District Council)
- Details of your consultation with Iwi and hapū
- A current Certificate of Title (Search Copy not more than 6 months old)
- Copies of any listed encumbrances, easements and/or consent notices relevant to the application
- Applicant / Agent / Property Owner / Bill Payer details provided
- Location of property and description of proposal
- Assessment of Environmental Effects
- Written Approvals / correspondence from consulted parties
- Reports from technical experts (if required)
- Copies of other relevant consents associated with this application
- Location and Site plans (land use) AND/OR
- Location and Scheme Plan (subdivision)
- Elevations / Floor plans
- Topographical / contour plans

Please refer to chapter 4 (Standard Provisions) of the Operative District Plan for details of the information that must be provided with an application. This contains more helpful hints as to what information needs to be shown on plans.







5 December 2024

Attention: Planning Support  
 Far North District Council  
 Private Bag 752  
**Kaikohe 0440**

(via email: [planning.support@fndc.govt.nz](mailto:planning.support@fndc.govt.nz))

**Council Reference:** 2250131-RMACOM

**CKL Reference:** A24056

Dear Sir/Madam,

**Re: Application for Variation to Resource Consent 2250131-RMACOM pursuant to s127 of the Resource Management Act 1991 at 12-16 Mangakahia Road, Kaikohe 0405**

**1. INTRODUCTION AND BACKGROUND**

The subject site is 12-16 Mangakahia Road in Kaikohe and is legally described as Lot 1 and Lot 2 DP 313428 (53012 & 53013) and Kohewhata 44B 10 Block (NA903/167). A copy of the record of titles is enclosed in Appendix A. The subject site is described as follows:

<b>Applicant:</b>	Gemscott Kaikohe Ltd
<b>Land Owners:</b>	Te Runanga A Iwi O Ngapuhi Trust Board
<b>Site Location:</b>	12-16 Mangakahia Road, Kaikohe 0405
<b>Legal Description:</b>	12 Mangakahia Road: Lot 1 DP 313428 (53012) 678m <sup>2</sup> 14 Mangakahia Road: Lot 2 DP 313428 (53013) 1,947m <sup>2</sup> 16 Mangakahia Road: Kohewhata 44B 10 Block (NA903/167) 1313m <sup>2</sup> Total Combined Area: 3,938m <sup>2</sup>
<b>Far North District Plan (Operative):</b>	<u>Zone:</u> Residential Zone  <u>Overlays:</u> N/A
<b>Proposed Far North District Plan:</b>	<u>Zone:</u> Mixed Use  <u>Overlays:</u> N/A

The site is currently being developed in line with the resource consent 2250131-RMACOM, which was approved by Far North District Council on 27 September 2024 with a s133A amendment granted on 3 October 2024.



This consent encompassed a land use consent for the construction of a 13 residential unit development with associated civil construction works and a subsequent fee-simple subdivision. Both activities were classed as Non-Complying Activities. Please refer to Appendix B and C for a copy of the approved resource consent and plans respectively.

Since the bundled resource consent was granted, the civil works have been progressing well and are now nearing completion. However, it has been noted that Condition 30 of the approved resource consent ties the section 224c approval to the installation of all stormwater tanks, including above-ground tanks for the individual lots. This will create logistical issues for the building contractors as it will impede the already limited working space on-site. It is typical for above ground tanks associated with the dwellings to be installed after the buildings are situated on-site and at the land use stage rather than tied to the installation of services required by the subdivision consent.

As such, it is proposed to remove the on-lot tank installation from the subdivision consent and shift the requirement to be completed at the land use stage prior to the occupation of the respective dwellings.

## **2. PROPOSED CHANGES TO APPROVED RESOURCE CONSENT 2250131-RMACOM**

A s127 variation is sought to the approved resource consent 2250131-RMACOM to amend condition 30, delete conditions 31 and 31, and add conditions 23a, 23b and 23c to the land use section of the consent. The proposed changes are outlined below:

- Condition 30 falls under the Section 224c subdivision conditions but refers to above-ground attenuation tanks, which will be problematic to install prior to the location/construction of the dwellings on the site. As such the reference to above-ground tanks has been removed and will be included in new condition 23c to fall under the land use consent component to be installed prior to occupation of the dwellings.
- Condition 31 falls under the Section 224c subdivision conditions but refers to stormwater attenuation from buildings and impervious areas, so has been deleted and moved to a new condition 23a to fall under the land use consent component.
- Condition 32 falls under the Section 224c subdivision conditions but refers to overland flow paths and flood plains being affected by buildings and landscaping, so has been deleted and moved to a new condition 23b to fall under the land use consent component.

There are no physical changes to the proposed landscaping or any dwellings themselves, and the status and the outcome of the approved resource consent remains the same. Accordingly, the proposed variation fits within the parameters of Section 127 of the RMA. Any actual or potential effects that may arise from granting the proposed variation will be less than minor.



### 3. PROPOSED VARIATION TO RESOURCE CONSENT 2250131-RMACOM

It is proposed to amend condition 30, delete conditions 31 and 31, and add conditions 23a, 23b and 23c. The proposed changes are outlined below and commentary on the environmental effects are discussed in Section 4.

The relevant conditions are shown in *italics*. Any proposed deletions are shown with a ~~strikethrough~~ and additions are shown in **underscore bold**.

#### **Stormwater**

**23a. Stormwater runoff from buildings and impermeable surface areas shall be attenuated to 80% of pre-development levels for the 20% and 50% rain events plus an allowance for climate change, as per the CKL Stormwater Management Plan dated 20 September 2024.**

**23b. Overland/secondary flowpaths that can accommodate the 1% AEP rain event plus an allowance for climate change shall be provided and are to be unobstructed by buildings, other structures, or landscaping.**

**23c. Prior to the occupation of the respective dwellings, the consent holder shall install the proposed above ground tanks for individual dwellings in accordance with the proposed attenuation system as detailed in the approved Stormwater Management Plan.**

30. *The consent holder shall install the proposed attenuation system, including ~~above-ground tanks for individual lots and~~ the underground tank for the JOAL, as detailed in the approved Stormwater Management Plan.*

31. *~~Stormwater runoff from buildings and impermeable surface areas shall be attenuated to 80% of pre-development levels for the 20% and 50% rain events plus an allowance for climate change, as per the CKL Stormwater Management Plan dated 20 September 2024.~~*

32. *~~Overland/secondary flowpaths that can accommodate the 1% AEP rain event plus an allowance for climate change shall be provided and are to be unobstructed by buildings, other structures, or landscaping.~~*

Please note, a complete set of the final consent conditions, as proposed, is included within Appendix D.

### 4. ASSESSMENT OF ENVIRONMENTAL EFFECTS (AEE) AND STATUTORY CONSIDERATIONS

This application for variation of an approved land use and subdivision consent is made pursuant to Section 127 of the Act. In accordance with Section 127(3) and pursuant to Section 95 of the Act, we submit that the application need not be publicly notified since the effects of the proposed change of conditions will not create any greater environmental effects than those already approved by resource consent 2250131-RMACOM.

It is further submitted that serving notice pursuant to Section 127(4) of the Act is not required, as no parties are considered to be affected by the proposed change of conditions, just as no parties were considered to be affected by the previously approved resource consent.

There will be no adverse effects from the proposed amendments to the conditions relating to the timing of stormwater attenuation tanks for the dwellings as if installed at the Section 224c stage, they would not be hooked up to any dwellings at this stage so would in effect be inoperable and at risk of being damaged while construction was still ongoing on the site.

There will also be no additional infringements nor changes to existing extents of infringements and there will be no physical changes made to the site. The changes only affect the timing of when the above-ground stormwater attenuation is installed.

As such, no adverse effects are anticipated.

## 5. CONCLUSION

Pursuant to Section 127 of the Resource Management Act 1991, it is proposed to amend condition 30, delete conditions 31 and 31, and add conditions 23a, 23b and 23c of the land use and subdivision consent 2250131-RMACOM.

No adverse effects on the environment are anticipated, nor are any parties affected by the proposed variation to the consent as it relates to the timing of when above-ground stormwater attenuation is installed. It is therefore requested that Council grants consent for the variation to resource consent 2250131-RMACOM on a non-notified basis.

Please do not hesitate to contact the undersigned should you have any questions.



**Zita Talaic-Burgess**  
Senior Planner



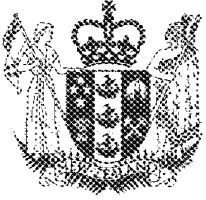
**Sarah Robson**  
Principal Planner

### Appendices:

- Appendix A: Record of Titles
- Appendix B: Approved Resource Consent Decision 2250131-RMACOM as amended by s133A
- Appendix C: Approved Resource Consent Plans 2250131-RMACOM
- Appendix D: Complete Set of Proposed Conditions of Consent

CC: Gemscott Kaikohe Limited





**RECORD OF TITLE  
UNDER LAND TRANSFER ACT 2017  
FREEHOLD  
Search Copy**



  
R.W. Muir  
Registrar-General  
of Land

**Identifier** **53012**  
**Land Registration District** **North Auckland**  
**Date Issued** 08 October 2002

**Prior References**

NA903/165

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<b>Estate</b>	Fee Simple
<b>Area</b>	678 square metres more or less
<b>Legal Description</b>	Lot 1 Deposited Plan 313428

**Registered Owners**

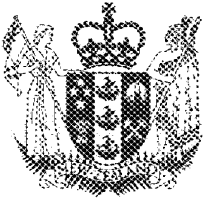
Te Runanga A Iwi O Ngapuhi

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**Interests**







**RECORD OF TITLE  
UNDER LAND TRANSFER ACT 2017  
FREEHOLD  
Search Copy**



  
R.W. Muir  
Registrar-General  
of Land

**Identifier** **53013**  
**Land Registration District** **North Auckland**  
**Date Issued** 08 October 2002

**Prior References**

NA903/165                      NA903/166

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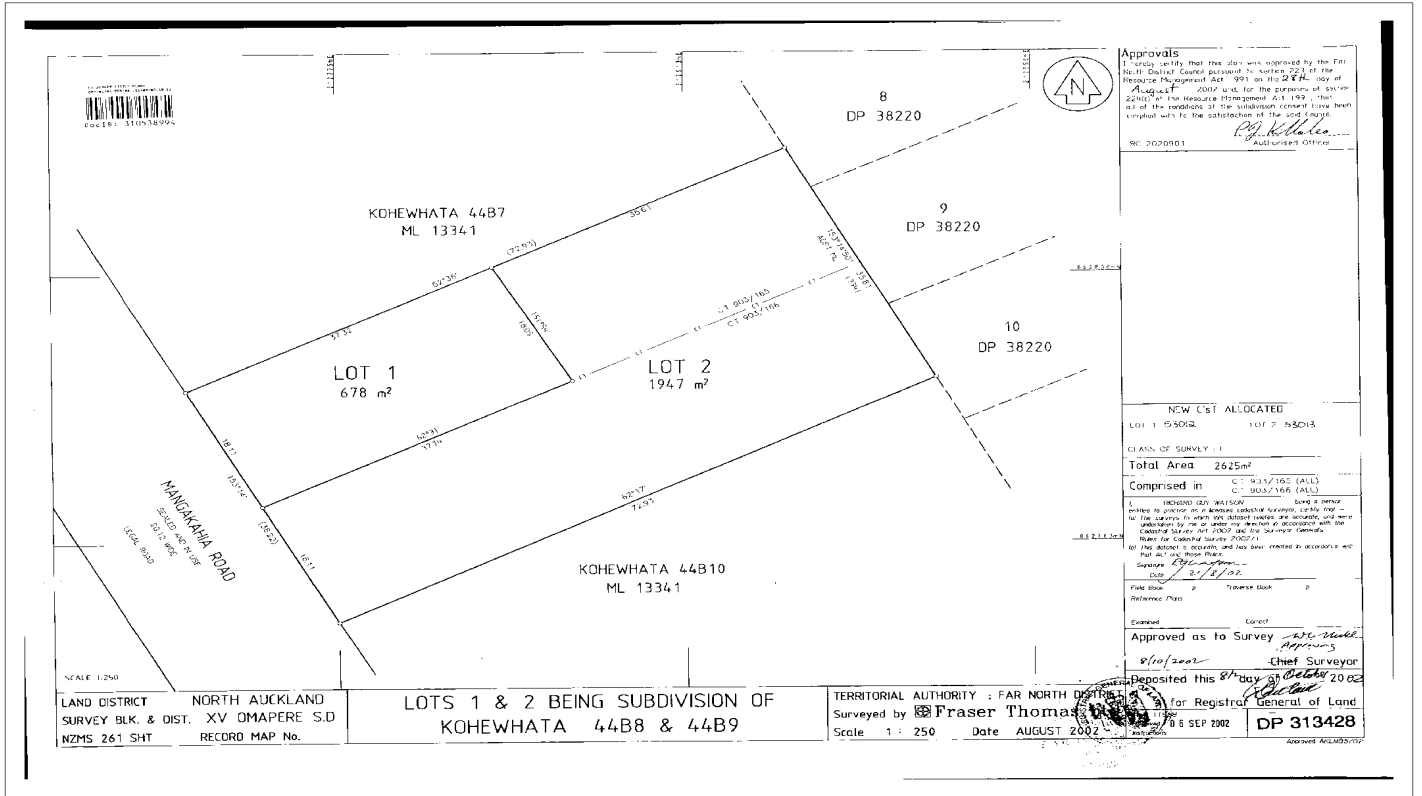
**Estate**                      Fee Simple  
**Area**                        1947 square metres more or less  
**Legal Description**      Lot 2 Deposited Plan 313428

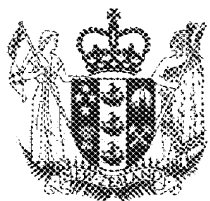
**Registered Owners**

Te Runanga A Iwi O Ngapuhi Trust Board

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**Interests**





**RECORD OF TITLE  
UNDER LAND TRANSFER ACT 2017  
FREEHOLD  
Search Copy**



  
R.W. Muir  
Registrar-General  
of Land

**Identifier** NA903/167  
**Land Registration District** North Auckland  
**Date Issued** 04 June 1948

**Prior References**

NAPR194/52

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<b>Estate</b>	Fee Simple
<b>Area</b>	1313 square metres more or less
<b>Legal Description</b>	Kohewhata 44B 10 Block

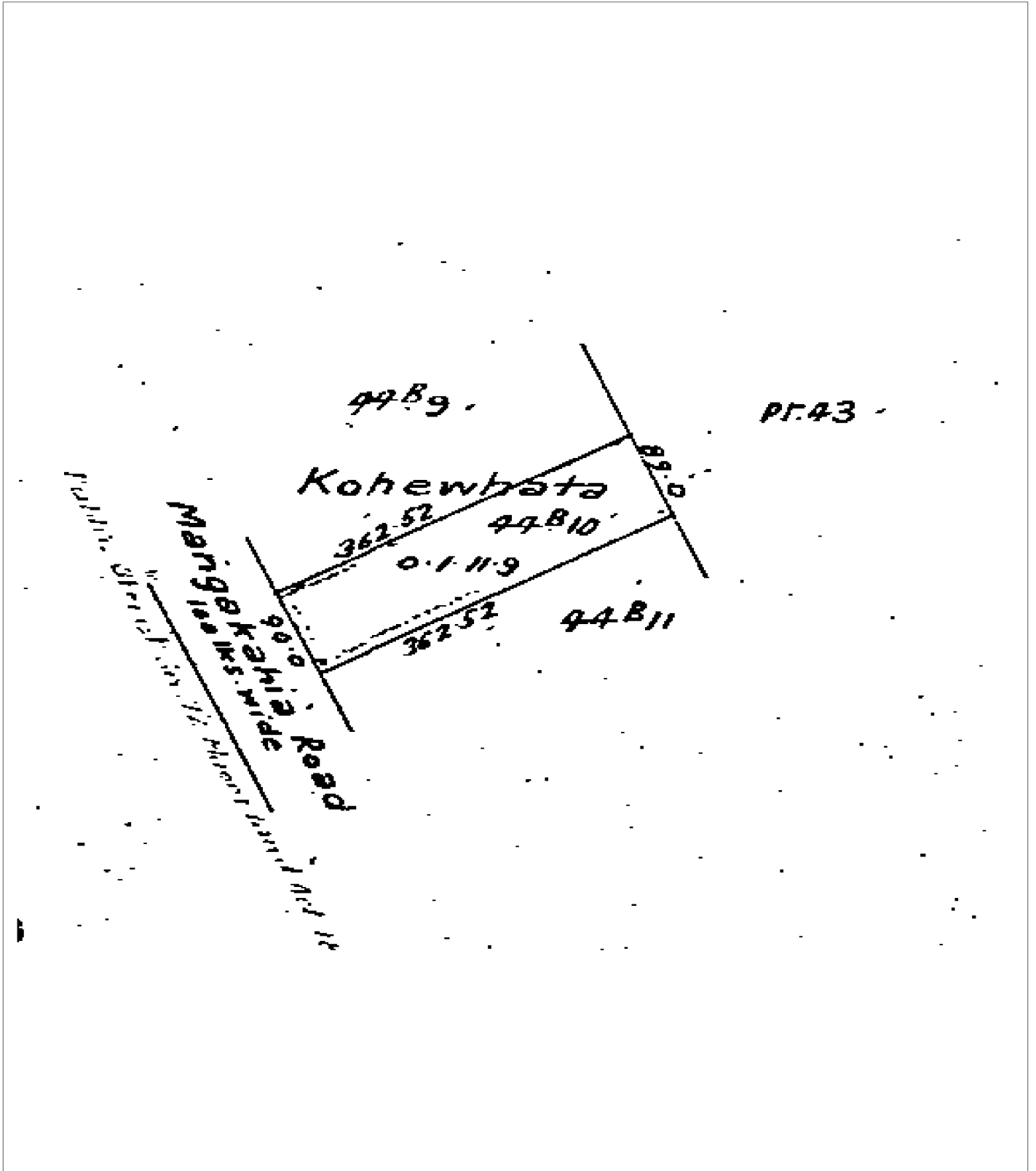
**Registered Owners**

Te Runanga A Iwi O Ngapuhi Trust Board

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**Interests**





# DECISION ON LAND USE CONSENT APPLICATION UNDER THE RESOURCE MANAGEMENT ACT 1991

## Pursuant to s133A of the Act on the 3rd October 2024

### 1. Application Details

<b>Applicant</b>	Gemscott Kaikohe Limited
<b>Council Reference</b>	2250131-RMACOM
<b>Property Address</b>	12-16 Mangakahia Road, Kaikohe 0405
<b>Legal Description</b>	<ul style="list-style-type: none"><li>• 12 Mangakahia Road: Lot 1 DP 313428 (53012) 678m<sup>2</sup></li><li>• 14 Mangakahia Road: Lot 2 DP 313428 (53013) 1,947m<sup>2</sup></li><li>• 16 Mangakahia Road: Kohewhata 44B 10 Block (NA903/167) 1313m<sup>2</sup></li></ul> <p>Total Combined Area: 3,938m<sup>2</sup></p>
<b>Proposal</b>	Land Use Consent for the Construction of a 13-Unit Residential Development, Associated Civil Construction Works, and Fee-Simple Subdivision
<b>Activity Status</b>	Land Use: Non-complying Subdivision: Non-complying
<b>Date of Decision</b>	27 September 2024

### 2. Decision

Acting under delegated authority from the Far North District Council, and pursuant to sections 104, 104B, and 108 of the Resource Management Act 1991, the council grants resource consent for both the land use and subdivision activities to construct 13 residential dwellings and undertake a fee-simple subdivision at 12-16 Mangakahia Road, Kaikohe, subject to the conditions set out in **Schedule 1** attached to and forming part of this decision.

### 3. Executive Summary

The application seeks land use and subdivision consent for a 13-unit residential development at 12-16 Mangakahia Road, Kaikohe. The proposal involves the construction of 13 single-level dwellings, associated civil works, and a fee-simple subdivision to create 13 residential lots, 15 car parking lots, and 2 jointly owned access lots (JOALs).

The application is assessed as a Non-Complying Activity under the Far North District Plan due to non-compliance with various standards, primarily related to residential intensity, sunlight, stormwater management, and subdivision lot sizes.

After careful consideration of the application, including the Assessment of Environmental Effects and all supporting technical reports, it is concluded that:

1. The adverse effects on the environment are considered to be less than minor, with appropriate mitigation measures proposed.
2. The proposal, while not fully consistent with all relevant objectives and policies, is not contrary to the overall intent of the District Plan.
3. The development aligns with higher-order planning documents, particularly the National Policy Statement on Urban Development 2020, by providing increased housing capacity in an appropriate location.
4. The proposal makes efficient use of urban land and infrastructure, contributing to the social and economic wellbeing of the Kaikohe community.

Key considerations in granting this consent include:

- The site's proximity to Kaikohe town center, supporting efficient use of land and reduced vehicle dependency
- The provision of a range of housing types, including accessible units
- Comprehensive stormwater management and landscaping plans
- The retention of an existing kauri tree and incorporation of cultural elements in the design

Conditions have been imposed to ensure that potential adverse effects are appropriately mitigated and that the development is carried out in accordance with the approved plans and supporting documentation.

## 4. Reasons for the Decision

The reasons for this decision are:

### 4.1 Activity Status and Rule/Policy Departures

- Land Use Non-compliances:
  - Residential intensity exceeding permitted standards (Rule 7.6.5.1.2)
  - Non-compliance with sunlight provisions (Rules 7.6.5.1.5 and 7.6.5.3.4)
  - Stormwater management departures (Rule 7.6.5.1.6)
  - Traffic Intensity Factor of 130, exceeding permitted levels (Rule 15.1.6A.5.1)
  - Car parking shortfall of 4 spaces (Rule 15.1.6B.1.1)
  - Private accessway serving more than 8 Household Equivalents (Rule 15.1.6C.1.1)
  - Reduced footpath width of 1.2m proposed vs 1.5m required (Rule 15.1.6C.1.10)
- Subdivision Non-compliances:
  - Subdivision lot sizes below the minimum 300m<sup>2</sup> for sewered lots (Rule 13.9.1)
  - Non-compliance with allotment dimensions (Rule 13.7.2.2)



## 4.2 Effects Assessment

### *Adverse Effects:*

- *Visual and Character Effects:* The increased density and built form will alter the existing character of the area. However, these effects are mitigated through single-story design, quality architectural design, and comprehensive landscaping.
- *Residential Amenity:* Potential for overlooking, privacy issues, and increased noise. These effects are mitigated through careful orientation of units, landscaping, and boundary treatments.
- *Traffic and Parking:* Increased traffic movements and potential for on-street parking. The effects are considered minor due to the site's proximity to the town center and the consolidation of vehicle crossings.
- *Infrastructure:* Increased demand on existing services. This is addressed through proposed upgrades and extensions to infrastructure.

### *Positive Effects:*

- *Housing Supply:* Provision of 13 new, modern dwellings in close proximity to Kaikohe town center.
- *Urban Consolidation:* Efficient use of land within the existing urban area, reducing pressure for urban sprawl.
- *Economic Benefits:* Short-term employment during construction and increased population supporting local businesses.
- *Environmental Improvements:* Enhanced landscaping and improved stormwater management compared to existing site conditions.

### *Mitigation and Enhancement Measures:*

- Comprehensive landscaping plan, including retention of existing kauri tree
- Stormwater management measures including attenuation tanks and permeable paving
- Single-story design to reduce visual dominance
- Incorporation of cultural elements (Pou and basalt rocks) in landscaping

### *Net Effects Conclusion:*

- On balance, the adverse effects of the proposal are considered to be less than minor, with the positive effects outweighing the potential negative impacts.

## 4.3 Objectives and Policies

While the proposal is inconsistent with some objectives and policies of the Operative District Plan, particularly:

- Those aiming to maintain existing residential densities (e.g., 7.6.3.1)
- Policies requiring sufficient on-site parking (e.g., 15.1.4.3)
- Subdivision policies regarding minimum lot sizes (e.g., 13.9.1)

It is consistent with or achieves the following key objectives and policies:

- Promoting efficient use of urban land and infrastructure (e.g., 7.3.2, 7.3.4)
- Encouraging a range of housing types and forms of accommodation (e.g., 7.6.4.4)
- Promoting integration of land use and transportation (e.g., 15.1.3.3)

On balance, the proposal is not contrary to the relevant objectives and policies of the Operative District Plan because:

- It aligns with higher-order planning documents, particularly the NPS-UD 2020
- It supports efficient use of urban land and infrastructure in a location close to the town center
- The development provides for a range of housing needs and promotes urban consolidation

The proposal has also been assessed against the relevant objectives and policies of the Proposed Far North District Plan, particularly those relating to the Mixed Use Zone. While the proposal is for a residential development rather than a mixed-use development, it is generally consistent with the objectives and policies of the Mixed Use Zone, as it:

- Contributes to the vibrancy, safety, and amenity of the zone through high-quality design (MUZ-O2)
- Makes efficient use of land and existing infrastructure (MUZ-P1)
- Contributes positively to pedestrian amenity and the safe movement of people (MUZ-P3)
- Maintains the amenity values of adjacent residential areas through appropriate design and setbacks (MUZ-P4)

#### **4.4 Part 2 of the Resource Management Act 1991**

The proposal is consistent with Part 2 of the RMA, particularly:

- It promotes sustainable management of natural and physical resources (Section 5)
- It provides for the efficient use and development of natural and physical resources (Section 7(b))
- It maintains and enhances amenity values and the quality of the environment (Sections 7(c) and 7(f))

#### **4.5 Other Relevant Considerations**

*Precedent Effects:* While the proposal represents a higher density than typically seen in the area, it is unlikely to create a significant adverse precedent given its unique location close to the town center and the comprehensive approach to design and mitigation.

*Plan Integrity:* Although the proposal departs from several District Plan standards, its alignment with higher-order planning documents and overall positive outcomes suggest that it does not fundamentally undermine the plan's integrity.

#### 4.6 Section 104D Gateway Test (for non-complying activities)

*Effects Gateway:* Pass - the adverse effects on the environment for both the land use and subdivision activities are considered to be less than minor.

*Objectives and Policies Gateway:* Pass - while not fully consistent with all objectives and policies, neither the land use nor the subdivision activities are contrary to the objectives and policies of the District Plan when considered as a whole.

#### 4.7 Overall Judgment

After considering all relevant factors, including the proposal's alignment with higher-order planning documents, its consistency with both the Operative and Proposed District Plans, its location close to the town center, the provision of much-needed housing, and the proposed mitigation measures, it is concluded that granting consent to this non-complying activity is appropriate and consistent with the purpose of the Resource Management Act 1991.

### 5. Relevant Statutory Provisions Considered

The following statutory provisions were considered in making this decision:

- Resource Management Act 1991
  - Sections 104, 104B, and 108 - Consideration of applications and conditions of resource consents
  - Section 104D - Particular restrictions for non-complying activities
  - Part 2 (Sections 5, 6, 7, and 8) - Purpose and principles of the Act
- Far North District Plan (Operative)
  - Chapter 7 - Urban Environment
    - Section 7.3 - Objectives
    - Section 7.4 - Policies
    - Section 7.6 - Residential Zone (Objectives, Policies, and Rules)
  - Chapter 12 - Natural and Physical Resources
    - Section 12.3 - Soils and Minerals
  - Chapter 13 - Subdivision
    - Section 13.7 - Controlled Activities
    - Section 13.9 - Discretionary Activities
  - Chapter 15 - Transportation
    - Section 15.1 - Traffic, Parking and Access (Objectives, Policies, and Rules)
- Proposed Far North District Plan
  - Chapter MUZ - Mixed Use Zone (Objectives and Policies)
- National Policy Statement on Urban Development 2020
  - Objectives 1, 2, 3, and 4
  - Policies 1 and 2
- Regional Policy Statement for Northland 2016
  - Section 3.6 - Economic Activities – Reverse sensitivity and sterilisation
  - Section 3.11 - Regional form
- National Environmental Standards
  - Resource Management (National Environmental Standard for Assessing and Managing Contaminants in Soil to Protect Human Health) Regulations 2011
- Other Relevant Documents
  - Far North District Council Engineering Standards
  - Crime Prevention Through Environmental Design (CPTED) Guidelines



- New Zealand Standard NZS 4404:2010 Land Development and Subdivision Infrastructure

## 6. Attachments

The following schedules are attached to and form part of this decision:

**Schedule 1:** Conditions of Consent

**Schedule 2:** Advice Notes

Decision made by:



Nick Williamson  
**Team Leader - Resource Consents**  
Far North District Council

Date: 27/09/2024

## Approval

This Decision has been amended pursuant to s133A of the Resource Management Act on 3<sup>rd</sup> October 2024. Details of the changes can be found in the resource consent file.



Nick Williamson Date: 03/10/2024

Team Leader – Resource Consents

# Schedule 1: Conditions of Consent

## General Compliance

1. The development shall be carried out in accordance with the attached stamped plans and information submitted with the resource consent application, except where modified by the following conditions.
2. Pursuant to section 116 of the Resource Management Act 1991, this consent shall not commence until written approval has been obtained from the owners of 18-20 Mangakahia Road (Kohewhata 44B 11 Block, NA903/168). The consent holder shall provide evidence of this written approval to Council prior to the commencement of any works authorized by this consent.

Note: This condition is imposed to enable the placement of a sewer manhole at 18-20 Mangakahia Road and to address potential effects, particularly in relation to sunlight access for future residential development of that property. If written approval is not obtained, the consent holder may apply to Council for a change or cancellation of this condition under section 127 of the Resource Management Act 1991.

## Prior to Commencement of Construction

### *Engineering Design & Approval*

3. The consent holder shall submit detailed engineering designs, plans, and specifications for all works which are to vest in Council for approval prior to commencing construction. These shall be designed in accordance with Council's Engineering Standards and Guidelines 2023, and shall include:

#### *Stormwater*

- a. The extension of the public stormwater network along Purdy Street, for approval by Council.
- b. Evidence that consent has been obtained for the registration of all necessary easements for the stormwater extension through private property (specifically 9 Purdy Street).
- c. Reference to, and incorporation of the recommendations of the CKL Engineering and Infrastructure Report dated 20 September 2024 and the CKL Stormwater Management Plan dated 20 September 2024.
- d. All new stormwater assets within the subdivision shall remain in private ownership except those that are to be vested to council, in particular 2 manholes and line as approved under Condition 1.

#### *Wastewater*

- e. The re-aligned public sewer line being clear of any buildings or landscaped/planted areas.
- f. A construction management plan for the re-alignment of the public sewer line.

### *Water Supply*

- g. Engineering designs shall include details of all valves, fittings, hydrants, and meters.
  - h. Water meters shall be located within the roadside berms in accordance with the FNDC Engineering Standards and Guidelines 2023.
4. Stormwater disposal systems shall be designed in accordance with the recommendations provided in Section 14 of the geotechnical report. Any proposal for deep bore soakage shall be subject to further investigation and specific approval from Council.

### *Geotechnical*

5. The consent holder shall engage a suitably qualified geotechnical engineer to carry out inspections during construction to ensure that the work is carried out in accordance with the approved plans and the recommendations of the geotechnical report. The geotechnical engineer shall provide a Producer Statement - Construction Review (PS4) upon completion of the works.

### *Construction Management*

6. A Chartered Professional Engineer shall determine the level of construction monitoring (CM1-CM5) required to certify a PS4.
7. All existing underground services shall be located, marked, and adequately protected prior to works commencing.
8. The consent holder shall submit a Traffic Management Plan (TMP) for approval by Council's Corridor Access Engineer and obtain a Corridor Access Request (CAR) for the construction of the new vehicle crossing onto Mangakahia Road (SH15).
9. The consent holder shall submit a site-specific Construction Management Plan (CMP) for approval by Council. The CMP shall detail how the recommendations of the Soil & Rock Consultants geotechnical report dated 17 July 2024 (Ref: NL240078) will be implemented during construction.
10. All topsoil, non-engineered fill, vegetation, organic or otherwise unsuitable material shall be removed from under building platforms, floor slab and pavement areas prior to construction. The exposed subgrade shall be inspected and approved by a suitably qualified geotechnical engineer before any further works proceed.

### **During Construction**

11. All earthworks shall be carried out under the supervision of a suitably qualified geotechnical engineer. The geotechnical engineer shall provide written confirmation that the earthworks have been completed in accordance with the recommendations of the geotechnical report and the approved CMP.
12. Any fill material required shall be placed and compacted in accordance with the recommendations of NZS 4431:2022 and under the supervision of a suitably qualified geotechnical engineer.
13. If ground conditions encountered during construction vary from those described in the geotechnical report, the consent holder shall immediately notify Council and seek advice from a suitably qualified geotechnical engineer.



14. Foundation design for all structures shall be in accordance with the recommendations provided in Section 11 of the geotechnical report. The final foundation design shall be reviewed and approved by a suitably qualified geotechnical engineer prior to Building Consent application.
15. For units 4-5 and 7-10, which are in close proximity to the underground public wastewater line, specific foundation designs considering bridging or piled foundations shall be provided and approved by a suitably qualified geotechnical engineer prior to Building Consent application.
16. All concrete floor slabs shall be designed and constructed in accordance with the recommendations provided in Section 13 of the geotechnical report, including appropriate subgrade preparation and protection measures.
17. All new connections to the existing public sewer scheme shall be undertaken by a Council approved operations contractor at the consent holder's cost. The contractor's details shall be submitted to council for approval prior to commencement of works to the existing public sewer scheme.
18. All new connections to the existing public water supply scheme shall be undertaken by Council's operations contractor at the consent holder's cost.
19. In conjunction with the construction of a dwelling within each Lot, an application to connect the dwelling to the Council water supply, stormwater and sewer schemes shall be submitted to Council for approval.
20. The consent holder shall be responsible for the reinstatement of footpaths, berms, kerb and channel, and vehicle crossings on Purdy Street on completion of the works.
21. The internal access way shall be formed and sealed to a minimum width of 5.5m, with 1.2m wide pedestrian footpaths on both sides. The formation shall include appropriate stormwater management measures such as kerbing or a concreted dish channel, catch pits, and culverts as required to control and direct the discharge of stormwater runoff.
22. Any damage to the existing road, footpath, or other Council assets caused as a result of the construction works shall be repaired by the consent holder to the satisfaction of Council's Roding Manager.

#### *Landscaping*

23. The landscaping/planting approved by Condition 1 above, is to be implemented within the next planting season (1st May to 30th September) after completion of works on site and is to be maintained for the duration of the consent. Any plants/trees that are removed or damaged are to be replaced as soon as possible, or within the next planting season (1st May to 30th September).

## Prior to s223 Certification

24. Prior to certification under Section 223 of the Resource Management Act 1991, the survey plan must show:

### *Easements*

- a. All easements as shown on the application plan shall be duly granted or reserved.
- b. Stormwater drainage easements in gross shall be endorsed on the survey plan for all public stormwater infrastructure located within private land.
- c. Wastewater drainage easements in gross shall be endorsed on the survey plan for all public wastewater infrastructure located within private land.
- d. Water supply easements in gross shall be endorsed on the survey plan for all public water supply infrastructure located within private land.

### *Amalgamation Conditions*

- e. That Lot 100 (legal access) be held as to thirteen undivided 1/13th shares by the owners of Lots 1-13 hereon as tenants in common in the said shares and that individual computer registers be issued in accordance therewith.
- f. That Lot 101 (legal access) be held as to two undivided 1/2 shares by the owners of Lots 6 & 7 hereon as tenants in common in the said shares and that individual records of title be issued in accordance therewith.
- g. That Lots 1, 14 and 15 hereon be held in the same record of title.
- h. That Lots 2, 16 and 17 hereon be held in the same record of title.
- i. That Lots 3, 18 and 19 hereon be held in the same record of title.
- j. That Lots 4, 20 and 21 hereon be held in the same record of title.
- k. That Lots 5 and 22 hereon be held in the same record of title.
- l. That Lots 6 and 27 hereon be held in the same record of title.
- m. That Lots 7 and 28 hereon be held in the same record of title.
- n. That Lots 8, 23 and 24 hereon be held in the same record of title.
- o. That Lots 9, 25 and 26 hereon be held in the same record of title.

### *Road Naming*

- p. The consent holder must provide evidence that a road/street/access name along with two alternatives have been provided to the Community Board for approval. The applicant is advised that in accordance with Community Board policy, road names should reflect the history of the Area.

Advice notes:

Please refer to the road naming policy and guidelines available on Council's website: [Road naming and renaming Far North District Council \(fndc.govt.nz\)](http://fndc.govt.nz)

This condition will not be deemed to be satisfied until the Community Board has approved the submitted names in writing.

## Prior to s224 Certification

### General

25. Prior to the issue of the 224(c) certificate, the consent holder shall provide:
- a. As-built plans of all infrastructure, including stormwater, wastewater, water supply, access, and parking areas.
  - b. Certification (PS 4) from a chartered professional engineer that all works have been completed in accordance with the approved plans and Council's Engineering Standards.
  - c. The consent holder must provide evidence that the cost of purchasing and installing a road name sign for the Private Right of Way has been paid to Council contractors and installed. Council Contractors.

Northern Area – Fulton Hogan (09) 408 6440

Southern Area – Ventia (09) 407 7851

Note Private Right of Way signs are to have blue letters on a white background.

26. The contractor shall provide a PS3 certificate of completion, ensuring the construction works are in accordance with FNDC Engineering Standards.
27. A defects liability period of 12 months shall be applicable for all assets to be vested in Council approved under Condition 1. The consent holder shall provide evidence that a maintenance contract has been entered into with a qualified contractor for a period of 12 months, with the value of the contract being a minimum of 10% of the construction costs.
28. Upon completion of the works, the consent holder shall provide to Council As-built plans, drawings, asset data, test results, and CCTV data complying with Council's Engineering Standards and Guidelines 2023 for all assets to be vested in Council approved under Condition 1.

### Stormwater

29. The consent holder shall construct the approved stormwater system, including the extension of the public stormwater network to and through the site, in accordance with the approved engineering plans and Council's Engineering Standards and Guidelines.
30. The consent holder shall install the proposed attenuation system, including above-ground tanks for individual lots and the underground tank for the JOAL, as detailed in the approved Stormwater Management Plan.
31. Stormwater runoff from buildings and impermeable surface areas shall be attenuated to 80% of pre-development levels for the 20% and 50% rain events plus an allowance for climate change, as per the CKL Stormwater Management Plan dated 20 September 2024.
32. Overland/secondary flowpaths that can accommodate the 1% AEP rain event plus an allowance for climate change shall be provided and are to be unobstructed by buildings, other structures, or landscaping.

### Wastewater

33. The consent holder shall provide evidence that each lot has a connection to Council's reticulated wastewater system that complies with the requirements of Council's Engineering Standards and Guidelines.
34. The consent holder shall provide evidence that the existing 150mm diameter public wastewater pipe has been realigned as per the approved plans and that all private wastewater lines for internal reticulation have been installed to the satisfaction of Council.

#### *Water Supply*

35. The consent holder shall provide evidence that each lot has a metered connection to Council's reticulated water supply system in accordance with the requirements of Council's Engineering Standards and Guidelines.

#### *Access*

36. The consent holder shall provide certification from a chartered professional engineer that all access, manoeuvring, and parking areas have been formed, surfaced, and drained in accordance with the approved plans and Council's Engineering Standards.
37. The consent holder shall provide evidence that the requirements of Waka Kotahi NZ Transport Agency have been complied with.
38. The consent holder shall provide as-built plans of all transportation infrastructure, including the vehicle crossing, internal access way, footpaths, and parking areas, and certified RAMM data for footpaths that have been replaced.
39. The consent holder shall ensure that adequate sight lines are maintained at the vehicle crossing at all times, in accordance with the standards specified in RTS 6 (Road & Traffic Standards 6: Guidelines for visibility at driveways).

### **On-Going Conditions**

#### *Consent Notices*

40. Secure the conditions below by way of a Consent Notice issued under section 221 of the Act, to be registered against the titles of the affected allotment. The costs of preparing, checking and executing the Notice shall be met by the consent holder:

- a. In conjunction with applying for building consent on all lots, the applicant must provide a Geotechnical Assessment prepared by a Chartered Professional Geotechnical Engineer. The assessment should outline any specific geotechnical requirements for the building foundations, any necessary ground improvements, structural design considerations, and a program for supervision of the foundation construction.

Lots 1 - 13

- b. For any building requiring a building consent on all lots, the lot owner must provide a specific stormwater management design prepared by a suitably qualified and experienced person. This design must address the stormwater management requirements, including maintenance of on-site attenuation systems.

Lots 1 - 13

- c. Prior to any disposal or transfer of any of Lots a management entity/society must be formed and is thereafter responsible for the ongoing operation, maintenance and/or repair of common assets within LOT 100 and 101 HEREON to the satisfaction of council.

Lots 1 - 13

### Review Condition

41. In accordance with section 128 of the Resource Management Act 1991, the Council may review the conditions of this consent within six months of the date of this decision if written approval from the owners of 18-20 Mangakahia Road is not obtained. The purpose of this review would be to impose additional conditions or modify existing conditions to address any adverse effects on 18-20 Mangakahia Road.





**Applicant:** Gemscott Kaikohe Limited  
**Comprised In:** 53012, 53013, NA903/167  
**Local Authority:** Far North District Council  
**Total Area:** 3938m<sup>2</sup>

**Notes:**  
 Unless stated otherwise, all vegetation and structures are to be removed.  
 Topographical data received from third party.  
 Imagery from LINZ Data Service.

**APPROVED PLAN**  
  
**Planner: SBrown**  
**RC: 2250131-RMACOM**  
**Date: 4/10/2024**

- Notes:**
- Changes may occur to the layout of the proposal shown as a result of the Resource Consent Conditions.
  - Areas and dimensions on this plan may be subject to change following field survey.
  - The copyright and intellectual property rights for the information shown on this plan remain the property of CKL NZ Ltd.
  - This plan has been prepared only for the purpose of illustrating an application for resource consent. It should not be used for any other purpose.

FOR RESOURCE CONSENT

Issue	Description	Checked	Date	Designed:	Date	Scale:
0	Initial		06.08.24			<b>1:300</b> (A3 Original)
				Drawn: SMR	05.08.24	
				Checked: MRD	06.08.24	
				Job No:	Dwg No:	Rev:
				<b>A24056</b>	<b>1500</b>	<b>0</b>



**Applicant:** Gemscott Kaikohe Limited  
**Comprised In:** 53012  
 53013  
 NA903/167  
**Local Authority:** Far North District Council  
**Total Area:** 3938m<sup>2</sup>

**Notes:**  
 Layout shown is at ground floor.  
 Refer to dwg 1502 & 1503 for subdivision details.  
 Refer to dwg 1504 for schedules and conditions.  
 Refer to eng dwgs for site servicing and drainage details.

Key

Proposed Dwelling

Decking/Ramps/Steps

Footpath

Driveway

Carparking

Turning Area

Landscaping

**APPROVED PLAN**  
**Planner: SBrown**  
**RC: 2250131-RMACOM**  
**Date: 4/10/2024**

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**FOR RESOURCE CONSENT**

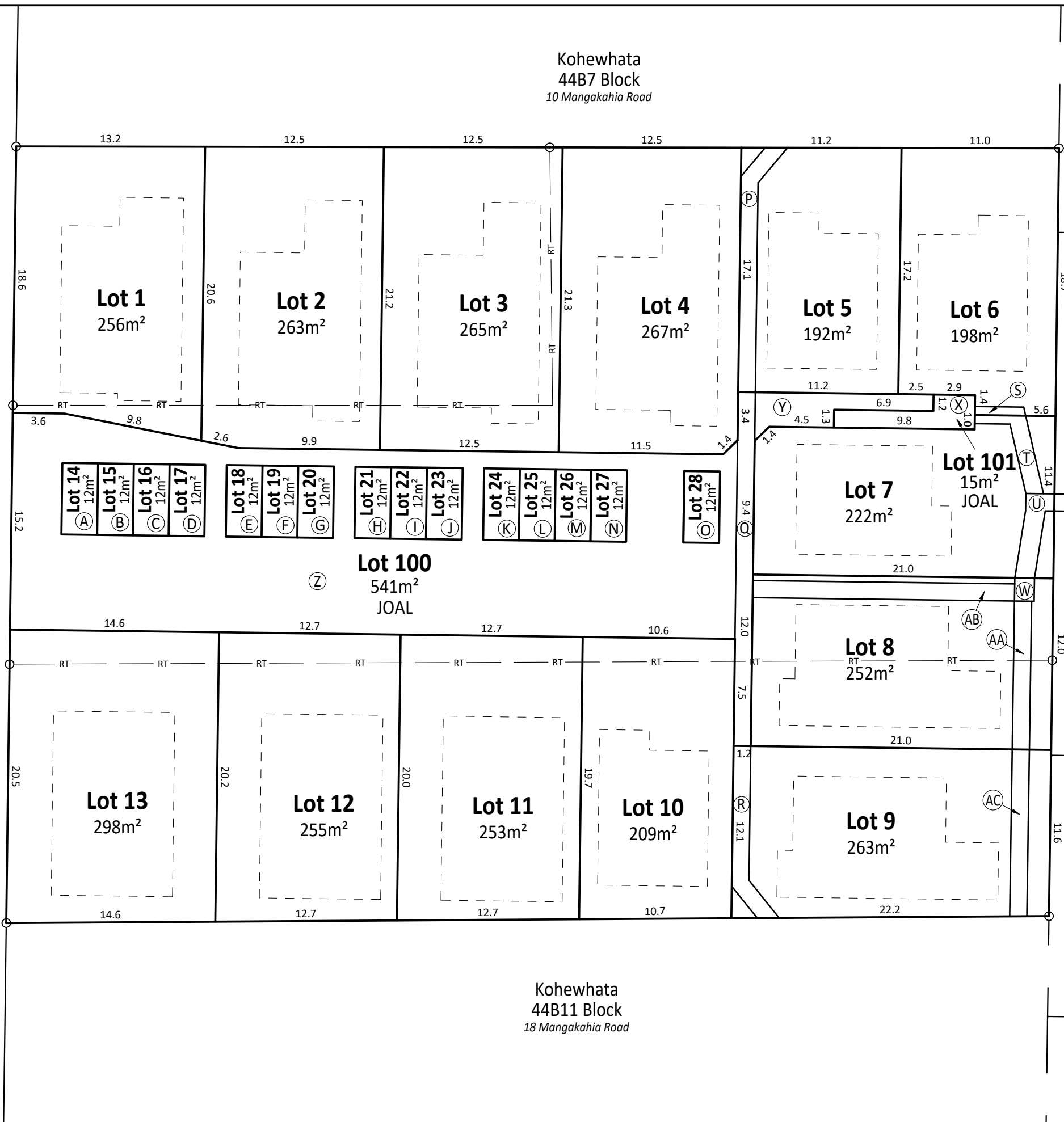


Issue	Description	Checked	Date	Designed	Date	Scale:
1	Amend lot 6, 7 & 27 bndys	SMR	07.08.24			<b>1:300</b> (A3 Original)
0	Initial		06.08.24	SMR	05.08.24	
				Checked: MRD	06.08.24	
				Job No:	Dwg No:	Rev:
				<b>A24056</b>	<b>1501</b>	<b>1</b>

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Mangakahia Road



**Applicant:** Gemscott Kaikohe Limited  
**Comprised In:** 53012, 53013, NA903/167  
**Local Authority:** Far North District Council  
**Total Area:** 3938m<sup>2</sup>

**Notes:**  
 Layout shown is at ground floor.  
 Refer to dwg 1504 for schedules and conditions.  
 Lots 14-28 are car parking lots - 5m x 2.5m.

**APPROVED PLAN**  
**Planner: SBrown**  
**RC: 2250131-RMACOM**  
**Date: 4/10/2024**

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**FOR RESOURCE CONSENT**



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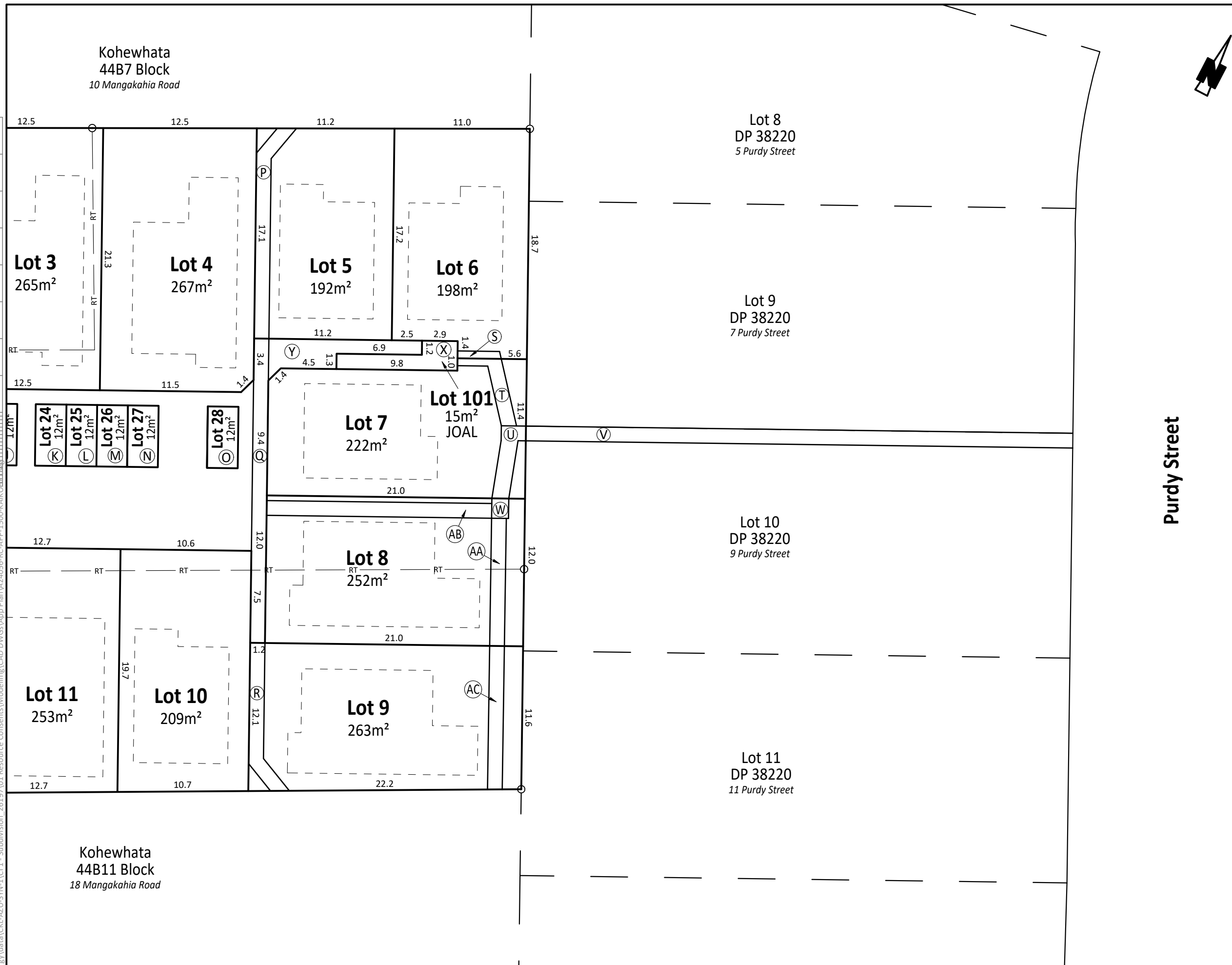


**APPLICATION PLAN**  
**12,14 & 16 MANGAKAHIA ROAD**  
**KAIKOHE**

**PROPOSED SUBDIVISION OF**  
**KOHEWHATA 44B10 BLOCK & LOTS 1**  
**& 2 DP 313428-PROPOSED SITE DETAILS**

Issue	Description	Checked	Date	Designed:	Date	Scale:
3	Added Easements	SJR	01.10.24			<b>1:300</b> (A3 Original)
2	Added Easements	SJR	27.08.24	SMR	05.08.24	
1	Amend lot 6, 7 & 27 bndys	SMR	07..08.24	Checked: MRD	06.08.24	
0	Initial		06.08.24			
		Job No:		Dwg No:		Rev:
		<b>A24056</b>		<b>1502</b>		<b>3</b>

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**Applicant:** Gemscott Kaikohe Limited  
**Comprised In:** 53012, 53013, NA903/167  
**Local Authority:** Far North District Council  
**Total Area:** 3938m<sup>2</sup>

**Notes:**  
 Layout shown is at ground floor.  
 Refer to dwg 1503 for schedules and conditions.  
 Lots 14-28 are car parking lots - 5m x 2.5m.

**APPROVED PLAN**  
  
**Planner: SBrown**  
**RC: 2250131-RMACOM**  
**Date: 4/10/2024**

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FOR RESOURCE CONSENT



**CKL**  
 Planning | Surveying | Engineering | Environmental

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**GEMSCOTT**  
 BUILDING PARTNERSHIPS

APPLICATION PLAN  
 12,14 & 16 MANGAKAHIA ROAD  
 KAIKOHE

PROPOSED SUBDIVISION OF  
 KOHEWHATA 44B10 BLOCK & LOTS 1  
 & 2 DP 313428-PROPOSED SITE DETAILS

Issue	Description	Checked	Date	Designed	Date	Scale:
1	Amend Easements	SJR	01.10.24			<b>1:300</b> <small>(A3 Original)</small>
0	Additional Sheet for Easements	SJR	27.08.24	Drawn: RP	05.08.24	
				Checked: SJR	06.08.24	
				Job No:	Dwg No:	Rev:
				<b>A24056</b>	<b>1503</b>	<b>1</b>

Land Registration District  
**North Auckland**

Plan Number

Land Registration District  
**North Auckland**

Plan Number

Territorial Authority (the Council)  
**Far North District Council**

Territorial Authority (the Council)  
**Far North District Council**

**Applicant:** Gemscott Kaikohe Limited  
**Comprised In:** 53012, 53013, NA903/167  
**Local Authority:** Far North District Council  
**Total Area:** 3938m<sup>2</sup>

Schedule of Easements			
Purpose	Shown	Burdened Land (Servient Tenement)	Benefited Land (Dominant Tenement)
Right of Way Right to Convey Electricity Right to Convey Telecommunications Right to Convey Water Right to Drain Water Right to Drain Sewage	Z Q Y	Lot 100	Lots 1 - 13
Right to Convey Electricity Right to Convey Telecommunications Right to Convey Water Right to Drain Water Right to Drain Sewage	A	Lot 14	Lots 1 - 13
	B	Lot 15	
	C	Lot 16	
	D	Lot 17	
	E	Lot 18	
	F	Lot 19	
	G	Lot 20	
	H	Lot 21	
	I	Lot 22	
	J	Lot 23	
	K	Lot 24	
	L	Lot 25	
	M	Lot 26	
	N	Lot 27	
O	Lot 28		
X	Lot 101		
Right of Way	Z	Lot 100	Lots 14 - 28
	Q		
	X	Lot 101	Lots 6 & 7

Schedule of Easements			
Purpose	Shown	Burdened Land (Servient Tenement)	Benefited Land (Dominant Tenement)
Right to Drain Water	S	Lot 6	Lot 5
	T	Lot 7	Lots 5 & 6
	AA	Lot 8	Lot 9 & Kohewhata 44B11 Block
	AB		Lots 1-4 & 10-13
	AC	Lot 9	Kohewhata 44B11 Block

Schedule of Easements in Gross			
Purpose	Shown	Burdened Land (Servient Tenement)	Grantee
Right to Drain Sewage	P	Lot 5	Far North District Council
	Q	Lot 100	
	R	Lot 9	
	U	Lot 7	
	V	Lot 10 DP 38220	
	W	Lot 8	
Right to Convey Electricity	Z	Lot 100	Top Energy
	Q		
	Y		

**Amalgamation Conditions**

That Lot 100 (legal access) be held as to thirteen undivided 1/13th shares by the owners of Lots 1-13 hereon as tenants in common in the said shares and that individual records of title be issued in accordance therewith.

That Lot 101 (legal access) be held as to two undivided 1/2 shares by the owners of Lots 6 & 7 hereon as tenants in common in the said shares and that individual records of title be issued in accordance therewith.

That Lots 1, 14 and 15 hereon be held in the same record of title.  
That Lots 2, 16 and 17 hereon be held in the same record of title.  
That Lots 3, 18 and 19 hereon be held in the same record of title.  
That Lots 4, 20 and 21 hereon be held in the same record of title.  
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That Lots 7 and 28 hereon be held in the same record of title.  
That Lots 8, 23 and 24 hereon be held in the same record of title.  
That Lots 9, 25 and 26 hereon be held in the same record of title.

**APPROVED PLAN**

**Planner: SBrown**  
**RC: 2250131-RMACOM**  
**Date: 4/10/2024**

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**FOR RESOURCE CONSENT**



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**APPLICATION PLAN**  
**12,14 & 16 MANGAKAHIA ROAD**  
**KAIKOHE**

**PROPOSED SUBDIVISION OF**  
**KOHEWHATA 44B10 BLOCK & LOTS 2**  
**SCHEDULES AND CONDITIONS**

Issue	Description	Checked	Date	Designed:	Date	Scale:
2	Amend Schedule	SJR	01.10.24			NA
1	Amended Schedule	SJR	27.08.24	Drawn: SMR	26.08.24	(A3 Original)
0	Initial		06.08.24	Checked: MRD	26.08.24	
				Job No:	Dwg No:	Rev:
				<b>A24056</b>	<b>1504</b>	<b>2</b>

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Resource Consent Drawing List	
RC-000	Cover Page
RC-005	Landscape legend - Soft landscape
RC-007	Landscape legend - Hard Landscape elements
RC-010	Location Plan
RC-011	Zoning Plan
RC-012	Context Plan
RC-015	Existing Site Plan
RC-020	Urban Design Diagram - Proposed Site Plan
RC-021	Proposed Site and Landscape Plan
RC-022	Proposed Ground Floor Plan
RC-023	Proposed Roof Plan
RC-024	Typology Plan
RC-025	Site Coverage
RC-026	Site Coverage - Summary
RC-030	Site Long Sections
RC-031	Site Cross Sections
RC-032	Site Cross Sections
RC-035	Sections - HIRB
RC-038	Exterior Material Colour Schemes
RC-039	Exterior Material Colour Schemes
RC-040	External Elevations
RC-041	External Elevations
RC-042	Internal Elevations
RC-043	Internal Elevations
RC-051	Perspective View - Street View
RC-054	Perspective View - Unit 1 & pedestrian entry to site
RC-055	Perspective View - Units 1,2 & 3
RC-056	Perspective View - JOAL - Units 11, 12 & 13
Grand total: 28	

**APPROVED PLAN**

**Planner: SMaharaj**  
**RC: 2250131-RMACOM**  
**Date: 27/09/2024**

Drawing List – Typologies	
RC-2010	2 Bed - single level - Type 2F - Floor Plans
RC-2020	2 Bed - single level - Type 2G - Floor Plans
RC-3330	3 Bed - single level - Type D - Floor Plans
RC-3350	3 Bed - single level - Lot 1 - Floor Plans
RC-3360	3 Bed - single level - Lot 13 - Floor Plans
RC-3380	3 Bed - single level - Type F - Floor Plans
Grand Total: 6	

Project Name:

# Mangakahia Road

Project Address:

12-16 Mangakahia Road, Kaikohe

Client Name:

Gemscott Kaikohe Limited

Project Number: 2415

Project Date: September 2024

Level 4, SKHY  
 38 Khyber Pass Road,  
 Grafton, Auckland  
 09 302 3689  
 PO Box 44376  
 Point Chevalier  
 Auckland 1022  
[www.astudioarchitects.com](http://www.astudioarchitects.com)

**A STUDIO**  
**ARCHITECTS**

**RESOURCE CONSENT**

Revision & Date		
○ A	Resource Consent	2024-08-30
○ B	Resource Consent	2024-09-17

Soft Landscaping			
Symbol			
Plan	Elevation	Plan	Elevation
			-Hedge
			-Low-level Planting
			-Planted Lawn
		Existing Kauri Tree to be retained	

**Note: All hard and soft landscape elements are shown indicatively on plans. Please refer to Greenwood's documentation's and drawings for further information.**

**APPROVED PLAN**  
**Planner: SMaharaj**  
**RC: 2250131-RMACOM**  
**Date: 27/09/2024**

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Project Name  
**Mangakahia Road**  
 Project Address  
 12-16 Mangakahia Road, Kaikohe  
 Drawing Scale @ A1 =  
 1 : 100  
 Half scale for reduced A3 drawings  
  
 Revision & Date  
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Project Name  
**Mangakahia Road**  
 Project Address  
 12-16 Mangakahia Road, Kaikohe

Drawing Scale @ A1 =  
 1 : 100  
 Half scale for reduced A3 drawings

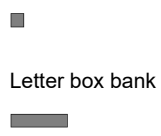


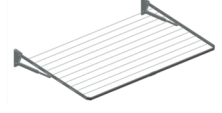
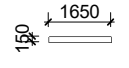








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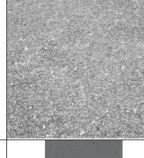

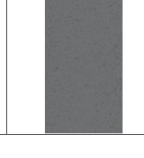


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Drawing No: **RC-005** Revision **A**  
 Project No: 2415  
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**RESOURCE CONSENT**



Utility Component		
Component	Description	Example Image
Letter Box		
 <p>Letter box bank</p>	Proprietary letter box. To be weather-tight and resistant to corrosion. Letter box to include latch, address/ unit number, hinges and a securable lock.	
Washing Lines		
	To be fixed at a height of 1.8m above ground  Austral compact fold down 2.4m x 0.94m (28.5m hanging space).	
Wheel Stop		
	Vanguard rubber wheel stop, 1650mm, recycled	
Light Bollards		
	JOAL and footpath lighting bollards - 600mm timber bollard with light or similar	
	Unit lighting bollards - 900mm timber bollard with light and unit signifying numbers	
Sheds		
	Garden Master Shed, Colorsteel finish. Fixed to ground to avoid uplift.  1.53m x 1.	
	or  Garden Storage Box	
Fence Tanks		
	Fence tanks 1000L.	

Hard & Permeable Surfaces		
Reference	Description	Example Image
Hard/ Permeable Surfaces		
C1 	Standard concrete mix broom finished	
C2 	Standard Concrete mix with exposed aggregate finish.  Sawcut to pattern shown on plan	
P2 	Permcon permeable concrete topping to have dark oxide e.g. allied concrete colour "pepper" or similar. Sawcut 300 x 300mm pattern or as determined by civil engineer.	
Timber Decking		
D1 	Pine decking laid with grooved edge facing down.	

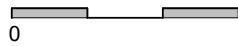
Fencing and Barriers		
Reference	Description	Example Images
<b>Note on Safety Fencing:</b> All falls of 500mm or more require a 1100mm high safety from falling barrier. Where a fence is acting as a safety from falling barrier, all fixings, max openings and loading requirements are to meet NZBC F4.		
	1.8m Fencing	<b>Note: Please refer to Greenwood's documentation and drawings for further information on fencing types</b>
	1.2m-1.5m Fencing	
	Screening	

**APPROVED PLAN**

**Planner: SMaharaj**  
**RC: 2250131-RMACOM**  
**Date: 27/09/2024**

**Note:**  
- All hard and soft landscape elements are shown indicatively on plans. Please refer to Greenwoods documentation's and drawings for further information.  
- Refer to Civil Engineers documents for earth works, site services and final surface levels.

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	Project Name <b>Gemscott Kaikohe Limited</b> Drawing Title <b>Landscape legend - Hard Landscape elements</b>		<b>A STUDIO ARCHITECTS</b>				





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Project Name  
**Mangakahia Road**  
 Gemscott Kaikohe Limited  
 Drawing Title  
**Location Plan**

Project Address  
 12-16 Mangakahia Road, Kaikohe



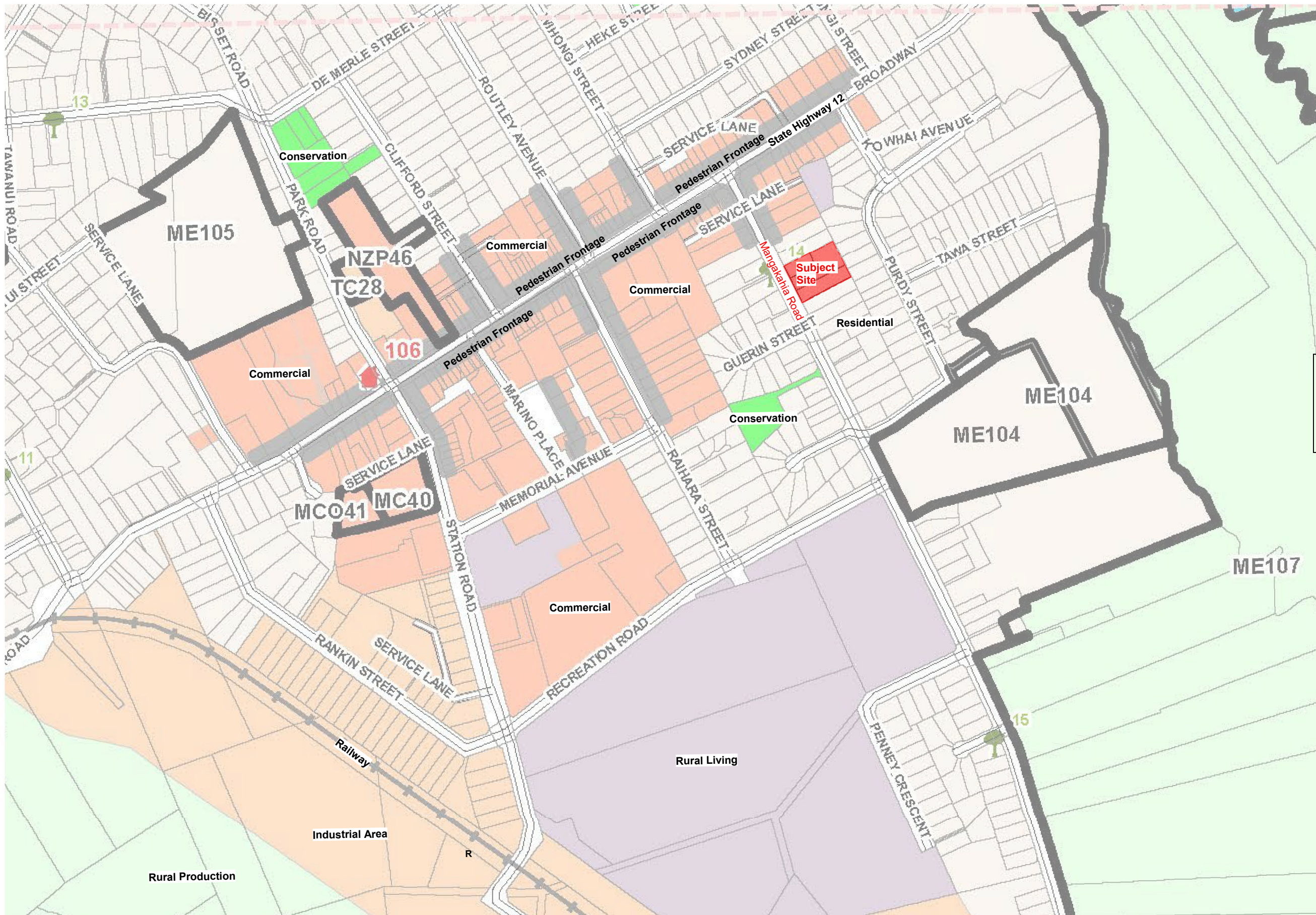
Drawing Scale @ A1 =  
 1 : 5000  
 Half scale for reduced A3 drawings  
 0 100 200 300mm  
 Scale: 1:10000 @ A3

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Drawing No: **RC-010** Revision **A**  
 Project No: 2415  
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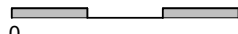


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Project Name  
**Mangakahia Road**  
 Gemscott Kaikohe Limited  
 Drawing Title  
**Zoning Plan**

Project Address  
 12-16 Mangakahia Road, Kaikohe

Drawing Scale @ A1 =  
 1 : 2500  
 Half scale for reduced A3 drawings  
  
 Scale: 1:5000 @ A3



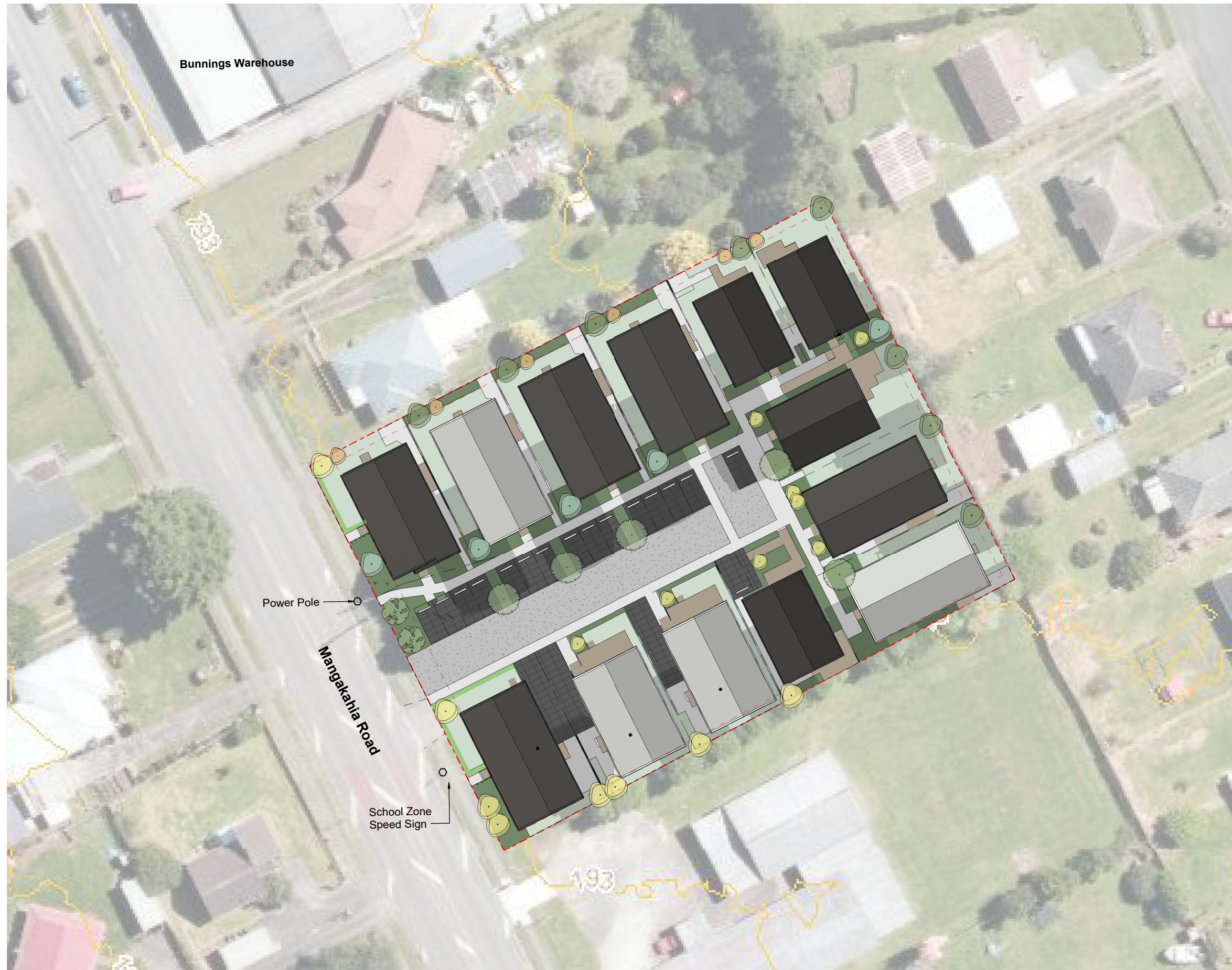
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Drawing No: **RC-011** Revision **A**  
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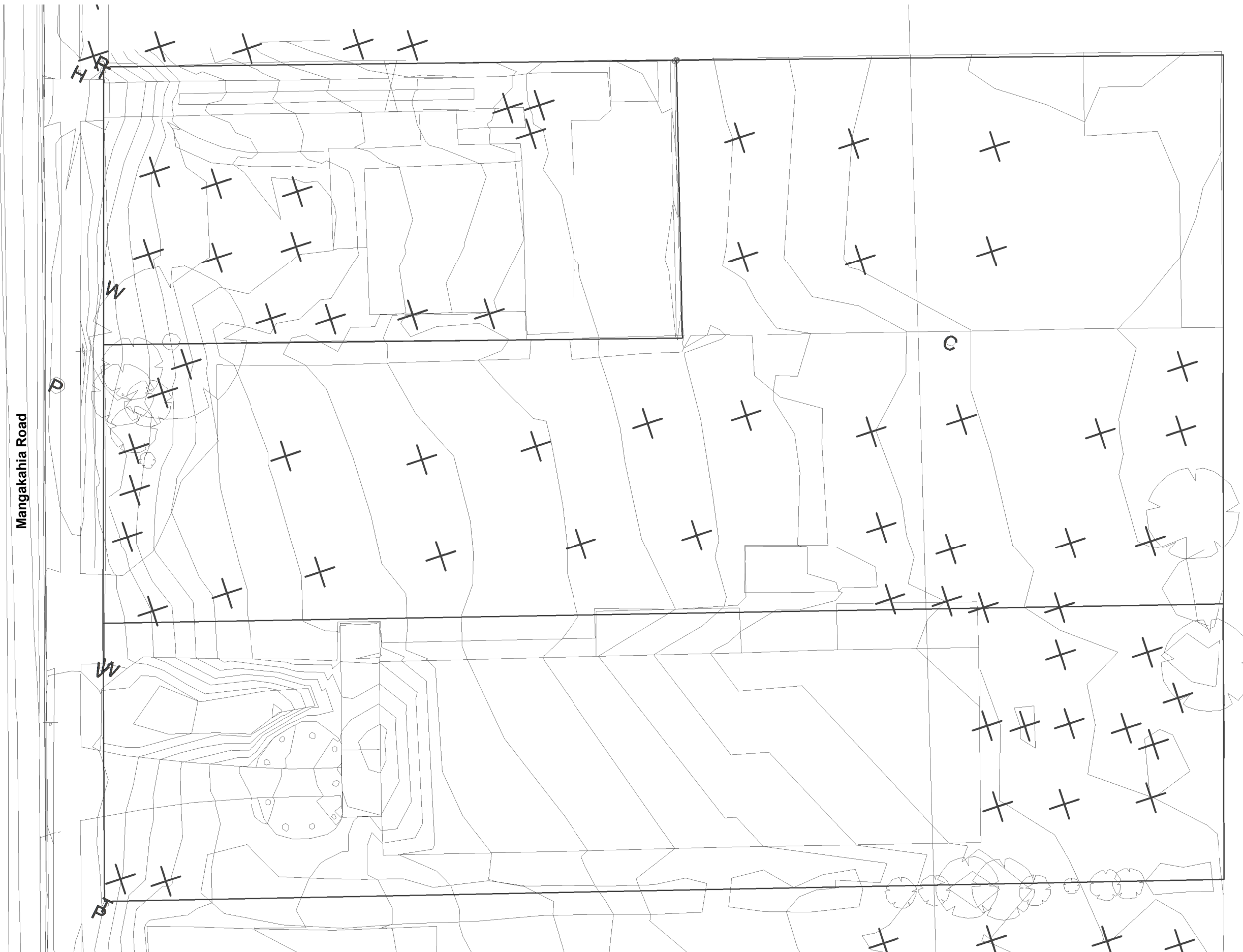


Town Planning Summary	
Far North District Plan Section 6 - Residential Zone	
7.6.5.1.4 Building Height	
8m	
7.6.5.1.5 Sunlight	
2m + 45°	
7.6.5.1.6 Stormwater Management	
The maximum proportion of the gross site area covered by buildings and other impermeable surfaces	
50%.	
7.6.5.1.7 Set Back from Boundaries	
Road boundaries	3m
Minimum 50% landscaping required in the front 2m from road boundary	
Other boundaries.	1.2m
<b>APPROVED PLAN</b>	
<b>Planner: SMaharaj</b>	
<b>RC: 2250131-RMACOM</b>	
<b>Date: 27/09/2024</b>	
7.6.5.1.17 Building Coverage	
45%	

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Project Name  
**Mangakahia Road**  
 Gemscott Kaikohe Limited  
 Drawing Title  
**Existing Site Plan**

Project Address  
 12-16 Mangakahia Road, Kaikohe

Drawing Scale @ A1 =  
 1 : 125  
 Half scale for reduced A3 drawings  
 0 2.5 5.0 7.5m  
 Scale: 1:250 @ A3

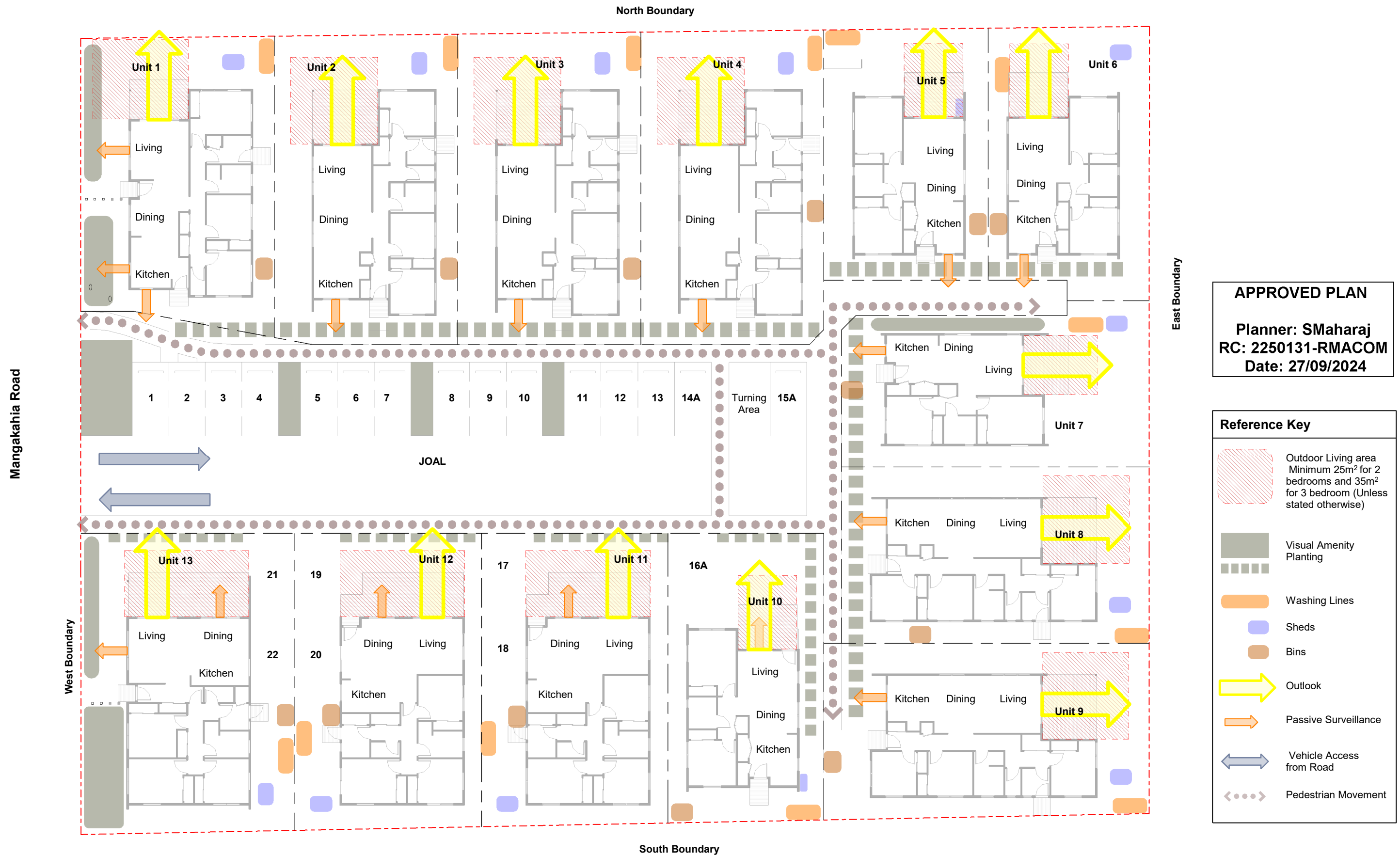


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Drawing No: **RC-015** Revision **A**  
 Project No: 2415

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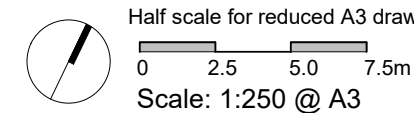


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Project Name  
**Mangakahia Road**  
 Project Address  
 12-16 Mangakahia Road, Kaikohe  
 Project Address  
 12-16 Mangakahia Road, Kaikohe  
 Drawing Title  
**Urban Design Diagram - Proposed Site Plan**

Drawing Scale @ A1 =  
 As indicated  
 Half scale for reduced A3 drawings  
 Scale: 1:250 @ A3



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Drawing No:  
**RC-020**  
 Revision  
**A**  
 Project No: 2415  
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 Planner: SMaharaj  
 RC-2250131-RMACOM  
 Date: 27/09/2024

**References**  
 Refer to RC-005 for Soft Landscape Legend  
 Refer to RC-007 for Hard Landscape and AUP Compliance Legend

**Reference**  
 XXXX Reference Levels  
**Note:** All RLs are shown indicatively. Refer to Civil Engineers documents for earth works, site services and final surface levels.

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Project Name  
**Mangakahia Road**  
 Gemscott Kaikohe Limited  
 Drawing Title  
**Proposed Site and Landscape Plan**

Project Address  
 12-16 Mangakahia Road, Kaikohe

Drawing Scale @ A1 =  
 As indicated  
 Half scale for reduced A3 drawings  
 0 2.5 5.0 7.5m  
 Scale: 1:250 @ A3

Revision & Date  
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Drawing No:  
**RC-021**  
 Project No: 2415

Revision  
**A**

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 Planner: SMaharaj  
 RC-2250131-RMACOM  
 Date: 27/09/2024

**Reference**  
 XXXX Reference Levels  
**Note:** All RLs are shown indicatively. Refer to Civil Engineers documents for earth works, site services and final surface levels.

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Project Name  
**Mangakahia Road**  
 Gemscott Kaikohe Limited  
 Drawing Title  
**Proposed Ground Floor Plan**

Project Address  
 12-16 Mangakahia Road, Kaikohe

Drawing Scale @ A1 =  
 As indicated  
 Half scale for reduced A3 drawings  
 0 2.5 5.0 7.5m  
 Scale: 1:250 @ A3

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Drawing No: **RC-022** Revision **A**  
 Project No: 2415  
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**APPROVED PLAN**  
 Planner: SMaharaj  
 RC: 2250131-RMACOM  
 Date: 27/09/2024

**HIRB Infringements**  
 Far North District Plan  
 Section 6 - Residential Zone  
 7.6.5.1.5 Sunlight  
 Area over the 2m and 45° sunlight recession plane control.  
 Area over the 3m and 45° recession plane control.

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Project Name  
**Mangakahia Road**  
 Gemscott Kaikohe Limited  
 Drawing Title  
**Proposed Roof Plan**

Project Address  
 12-16 Mangakahia Road, Kaikohe

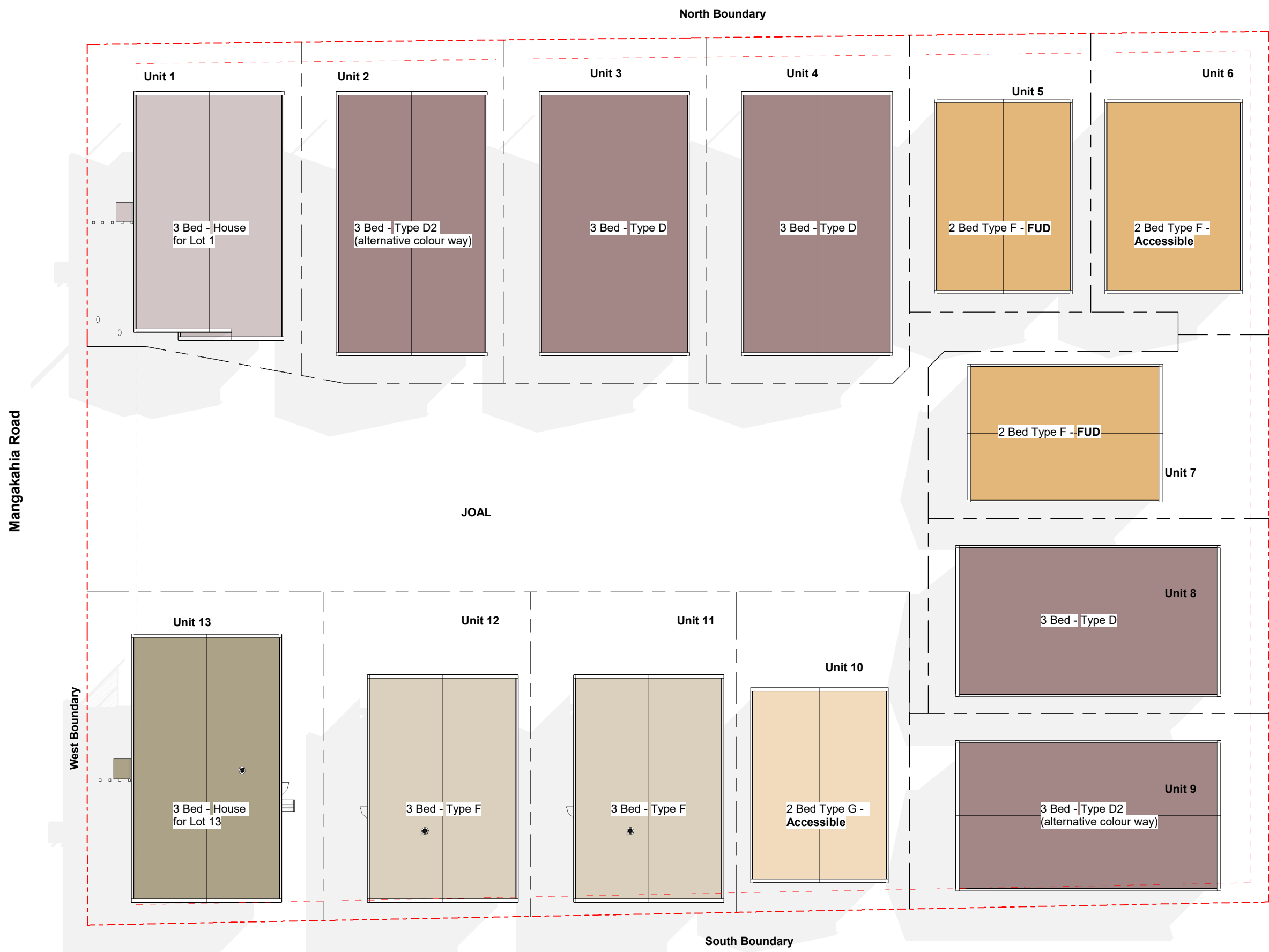
Drawing Scale @ A1 =  
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 Half scale for reduced A3 drawings  
 Scale: 1:250 @ A3



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Drawing No: **RC-023** Revision **B**  
 Project No: 2415  
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**APPROVED PLAN**  
**Planner: SMaharaj**  
**RC: 2250131-RMACOM**  
**Typology Reference Summary**  
**Date: 27/09/2024**

Note: All houses are constructed off site and will be transported to site and established on pile foundations. All FFLs will be min. 650mm above ground level.

2 Bedroom		
	2 Bed - Single Level - Accessible - Type 2F. FUD houses are noted	3
	2 Bed - Single Level - Accessible - Type 2G	1
Refer to RC-2010		
Refer to RC-2020		
Subtotal 2 Bedrooms		4
3 Bedroom		
	3 Bed - Single Level - Type D & Type D2	5
	3 Bed - Single Level - Lot 1	2
	3 Bed - Single Level - Lot 13	1
	3 Bed - Single Level - Type F	1
Refer to RC-3330		
Refer to RC-3350		
Refer to RC-3360		
Subtotal 3 Bedrooms		9
<b>Total</b>		<b>13</b>

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Project Name  
**Mangakahia Road**  
 Project Address  
 12-16 Mangakahia Road, Kaikohe  
 Drawing Title  
**Typology Plan**

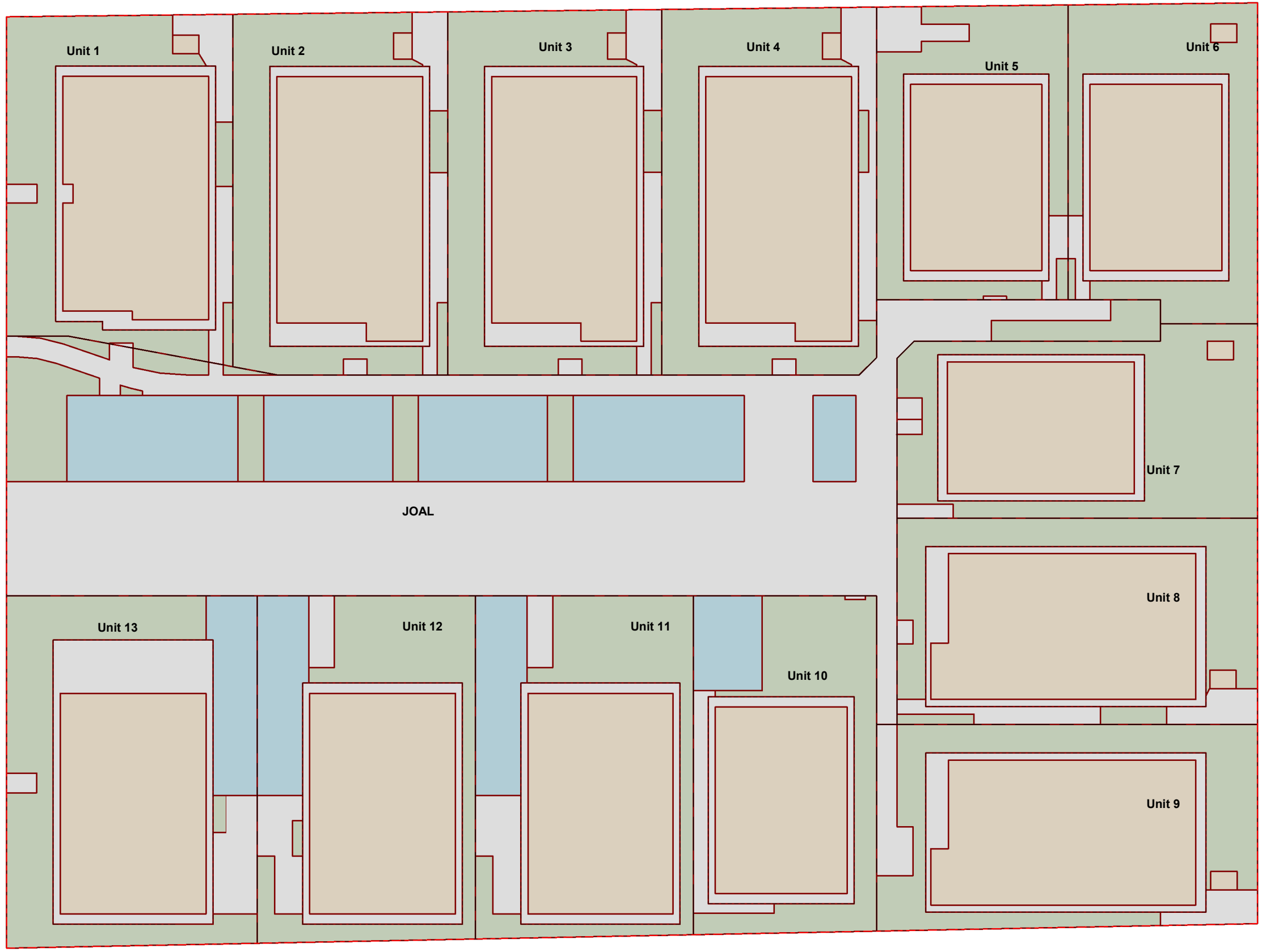
Gemscott Kaikohe Limited  
 Drawing Scale @ A1 =  
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 Half scale for reduced A3 drawings  
 Scale: 1:250 @ A3

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Drawing No:  
**RC-024**  
 Project No: 2415  
**A STUDIO ARCHITECTS**

**RESOURCE CONSENT**



**APPROVED PLAN**  
**Planner: SMaharaj**  
**RC: 2250131-RMACOM**  
**Date: 27/09/2024**

- Building Coverage
- Excluded (Permeable surface)
- Impervious
- Permeable

Site Coverage		
Area Type	Area	Percentage
Building Coverage	1420.7 m <sup>2</sup>	36%
Excluded	305.8 m <sup>2</sup>	8%
Impervious	1029.1 m <sup>2</sup>	26%
Permeable	1183.5 m <sup>2</sup>	30%
Grand total: 123	3939.1 m <sup>2</sup>	100%

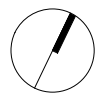
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Project Name  
**Mangakahia Road**  
 Project Client  
**Gemscott Kaikohe Limited**  
 Drawing Title  
**Site Coverage**

Project Address  
 12-16 Mangakahia Road, Kaikohe

Drawing Scale @ A1 =  
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 Half scale for reduced A3 drawings  
  
 Scale: 1:250 @ A3



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 ○ A Resource Consent 2024-08-30  
 ○ B Resource Consent 2024-09-17

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Drawing No: **RC-025** Revision **B**  
 Project No: 2415  
**A STUDIO ARCHITECTS**

Common - Site Coverage		
Area Type	Area	Percentage
Excluded	187.5 m <sup>2</sup>	25%
Impervious	482.5 m <sup>2</sup>	65%
Permeable	73.7 m <sup>2</sup>	10%
Grand total: 16	743.7 m <sup>2</sup>	100%

Unit 1 - Site Coverage		
Area Type	Area	Percentage
Building Coverage	119.5 m <sup>2</sup>	47%
Impervious	47.0 m <sup>2</sup>	18%
Permeable	89.3 m <sup>2</sup>	35%
Grand total: 10	255.8 m <sup>2</sup>	100%

Unit 4 - Site Coverage		
Area Type	Area	Percentage
Building Coverage	127.2 m <sup>2</sup>	48%
Impervious	48.3 m <sup>2</sup>	18%
Permeable	91.5 m <sup>2</sup>	34%
Grand total: 7	266.9 m <sup>2</sup>	100%

Unit 7 - Site Coverage		
Area Type	Area	Percentage
Building Coverage	85.2 m <sup>2</sup>	38%
Impervious	25.0 m <sup>2</sup>	11%
Permeable	112.4 m <sup>2</sup>	51%
Grand total: 7	222.6 m <sup>2</sup>	100%

Unit 10 - Site Coverage		
Area Type	Area	Percentage
Building Coverage	83.6 m <sup>2</sup>	40%
Excluded	22.0 m <sup>2</sup>	11%
Impervious	32.7 m <sup>2</sup>	16%
Permeable	70.9 m <sup>2</sup>	34%
Grand total: 6	209.1 m <sup>2</sup>	100%

Unit 13 - Site Coverage		
Area Type	Area	Percentage
Building Coverage	109.2 m <sup>2</sup>	37%
Excluded	31.3 m <sup>2</sup>	11%
Impervious	63.3 m <sup>2</sup>	21%
Permeable	94.2 m <sup>2</sup>	32%
Grand total: 8	298.0 m <sup>2</sup>	100%

Unit 2 - Site Coverage		
Area Type	Area	Percentage
Building Coverage	127.2 m <sup>2</sup>	48%
Impervious	47.5 m <sup>2</sup>	18%
Permeable	88.6 m <sup>2</sup>	34%
Grand total: 9	263.3 m <sup>2</sup>	100%

Unit 5 - Site Coverage		
Area Type	Area	Percentage
Building Coverage	83.6 m <sup>2</sup>	43%
Impervious	33.3 m <sup>2</sup>	17%
Permeable	75.2 m <sup>2</sup>	39%
Grand total: 7	192.1 m <sup>2</sup>	100%

Unit 8 - Site Coverage		
Area Type	Area	Percentage
Building Coverage	127.2 m <sup>2</sup>	50%
Impervious	46.8 m <sup>2</sup>	19%
Permeable	78.1 m <sup>2</sup>	31%
Grand total: 9	252.1 m <sup>2</sup>	100%

Unit 11 - Site Coverage		
Area Type	Area	Percentage
Building Coverage	109.2 m <sup>2</sup>	43%
Excluded	32.5 m <sup>2</sup>	13%
Impervious	42.9 m <sup>2</sup>	17%
Permeable	68.5 m <sup>2</sup>	27%
Grand total: 7	253.1 m <sup>2</sup>	100%

Unit 3 - Site Coverage		
Area Type	Area	Percentage
Building Coverage	127.2 m <sup>2</sup>	48%
Impervious	47.8 m <sup>2</sup>	18%
Permeable	90.7 m <sup>2</sup>	34%
Grand total: 9	265.7 m <sup>2</sup>	100%

Unit 6 - Site Coverage		
Area Type	Area	Percentage
Building Coverage	85.2 m <sup>2</sup>	43%
Impervious	22.7 m <sup>2</sup>	11%
Permeable	90.2 m <sup>2</sup>	46%
Grand total: 6	198.2 m <sup>2</sup>	100%

Unit 9 - Site Coverage		
Area Type	Area	Percentage
Building Coverage	127.2 m <sup>2</sup>	48%
Impervious	47.8 m <sup>2</sup>	18%
Permeable	88.0 m <sup>2</sup>	33%
Grand total: 6	263.0 m <sup>2</sup>	100%

Unit 12 - Site Coverage		
Area Type	Area	Percentage
Building Coverage	109.2 m <sup>2</sup>	43%
Excluded	32.5 m <sup>2</sup>	13%
Impervious	41.6 m <sup>2</sup>	16%
Permeable	72.2 m <sup>2</sup>	28%
Grand total: 8	255.5 m <sup>2</sup>	100%

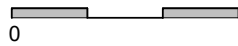
**APPROVED PLAN**  
**Planner: SMaharaj**  
**RC: 2250131-RMACOM**  
**Date: 27/09/2024**

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Project Name  
**Mangakahia Road**  
 Gemscott Kaikohe Limited  
 Drawing Title  
**Site Coverage - Summary**

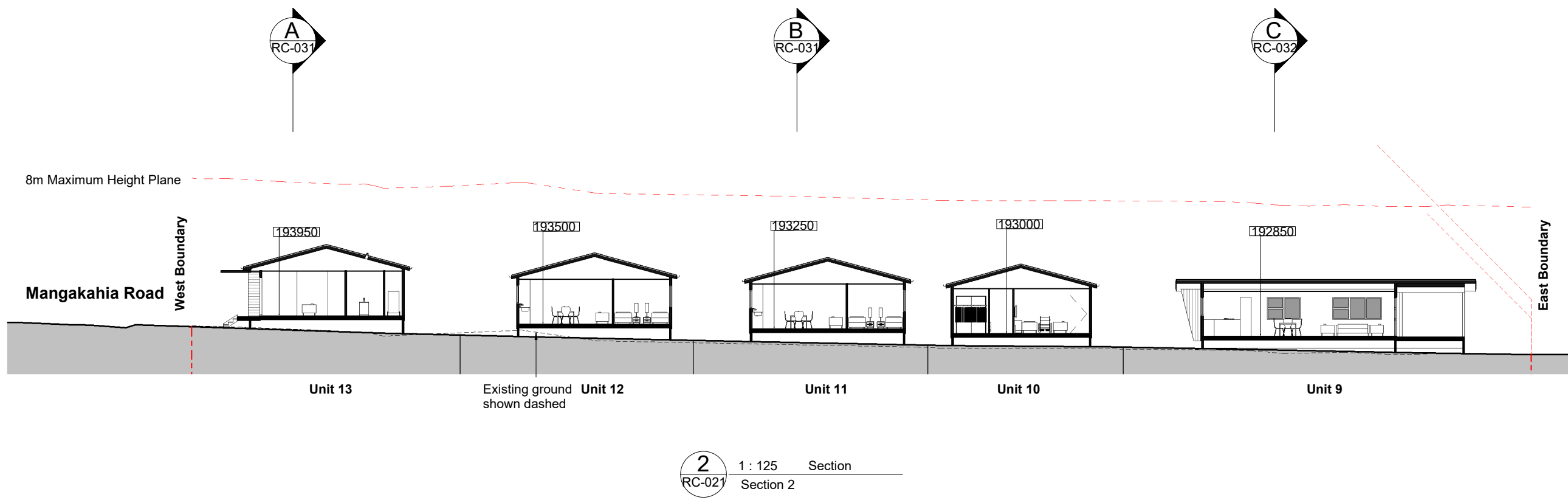
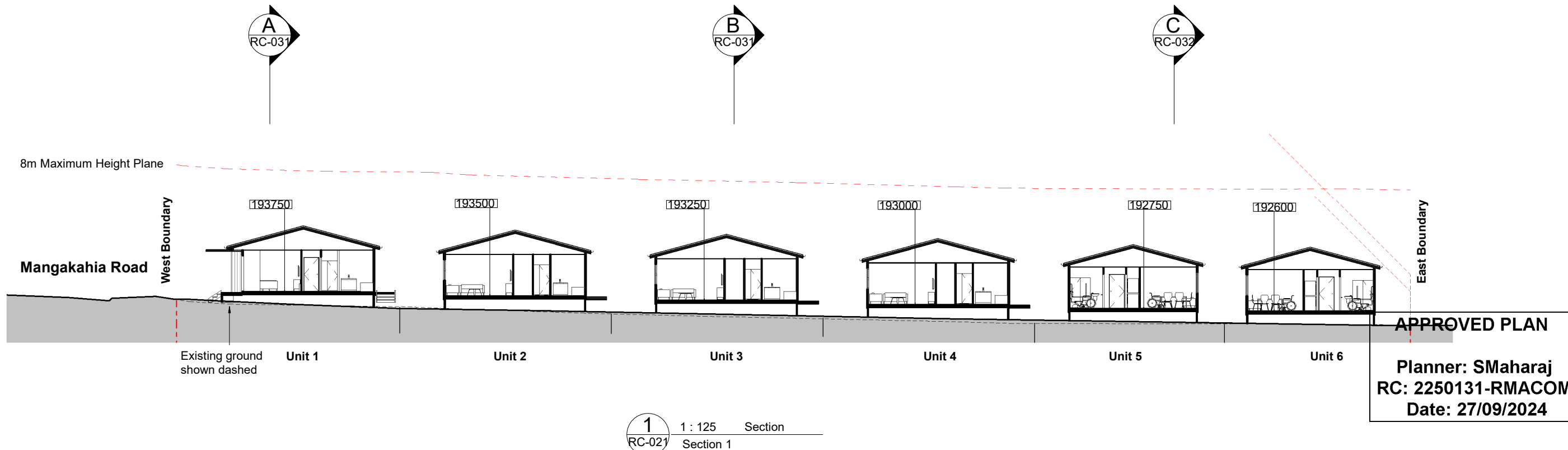
Project Address  
 12-16 Mangakahia Road, Kaikohe

Drawing Scale @ A1 =  
 Half scale for reduced A3 drawings  


Revision & Date  
 ○ A Resource Consent 2024-08-30  
 ○ B Resource Consent 2024-09-17

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Drawing No: **RC-026** Revision **B**  
 Project No: 2415  
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Project Name  
**Mangakahia Road**  
 Gemscott Kaikohe Limited  
 Drawing Title  
**Site Long Sections**

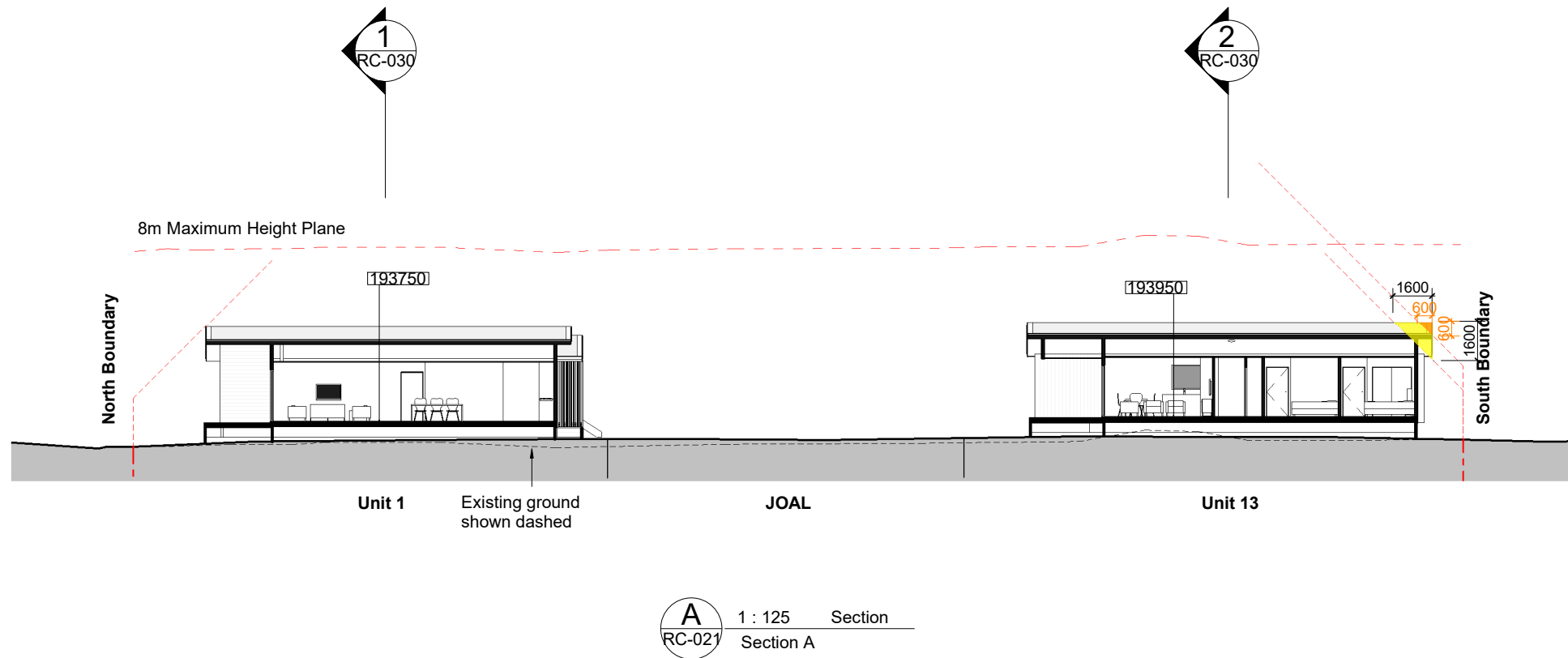
Project Address  
12-16 Mangakahia Road, Kaikohe

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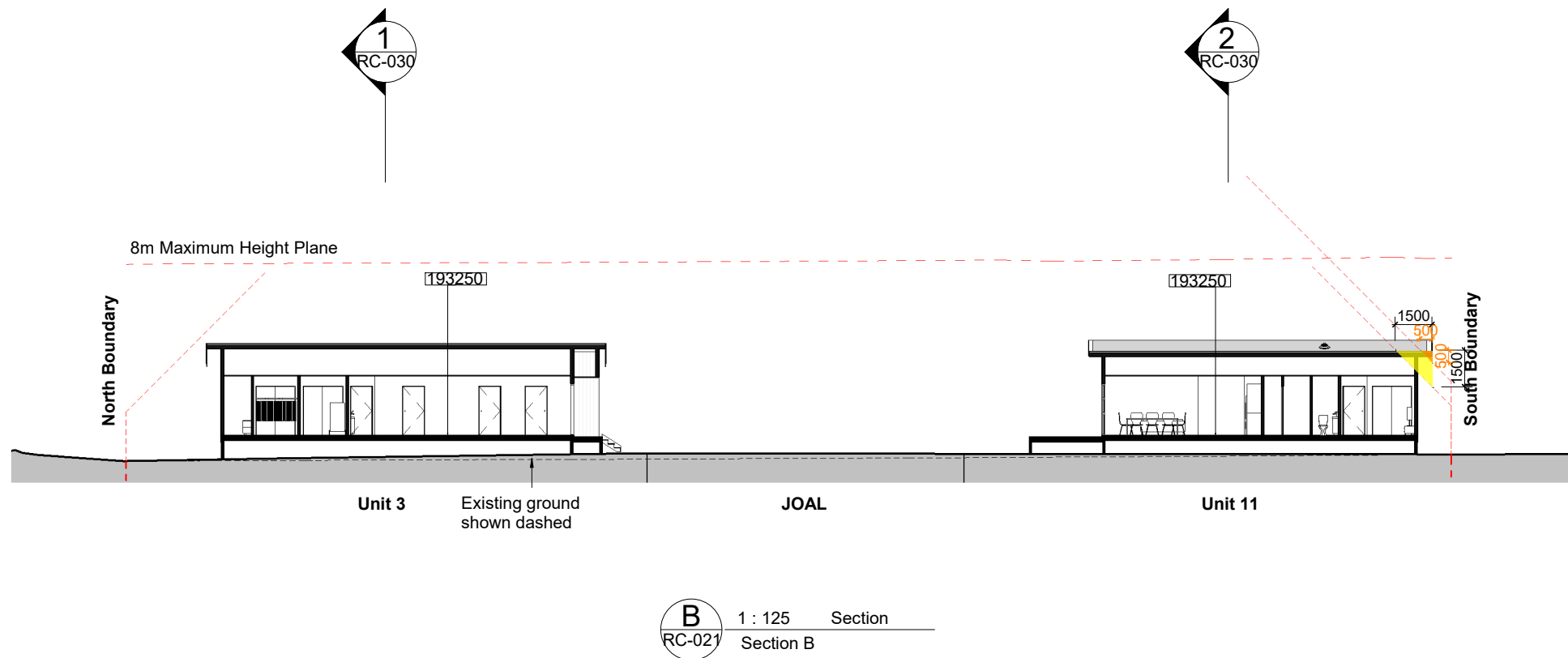
Revision & Date  
 A Resource Consent 2024-08-30

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Drawing No: **RC-030** Revision **A**  
 Project No: 2415  
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**APPROVED PLAN**  
**Planner: SMaharaj**  
**RC: 2250131-RMACOM**  
**Date: 27/09/2024**



**HIRB Infringements**  
**Far North District Plan**  
 Section 6 - Residential Zone  
**7.6.5.1.5 Sunlight**  
 Area over the 2m and 45° sunlight recession plane control.  
 Area over the 3m and 45° recession plane control.

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Project Name  
**Mangakahia Road**  
 Gemscott Kaikohe Limited  
 Drawing Title  
**Site Cross Sections**

Project Address  
 12-16 Mangakahia Road, Kaikohe

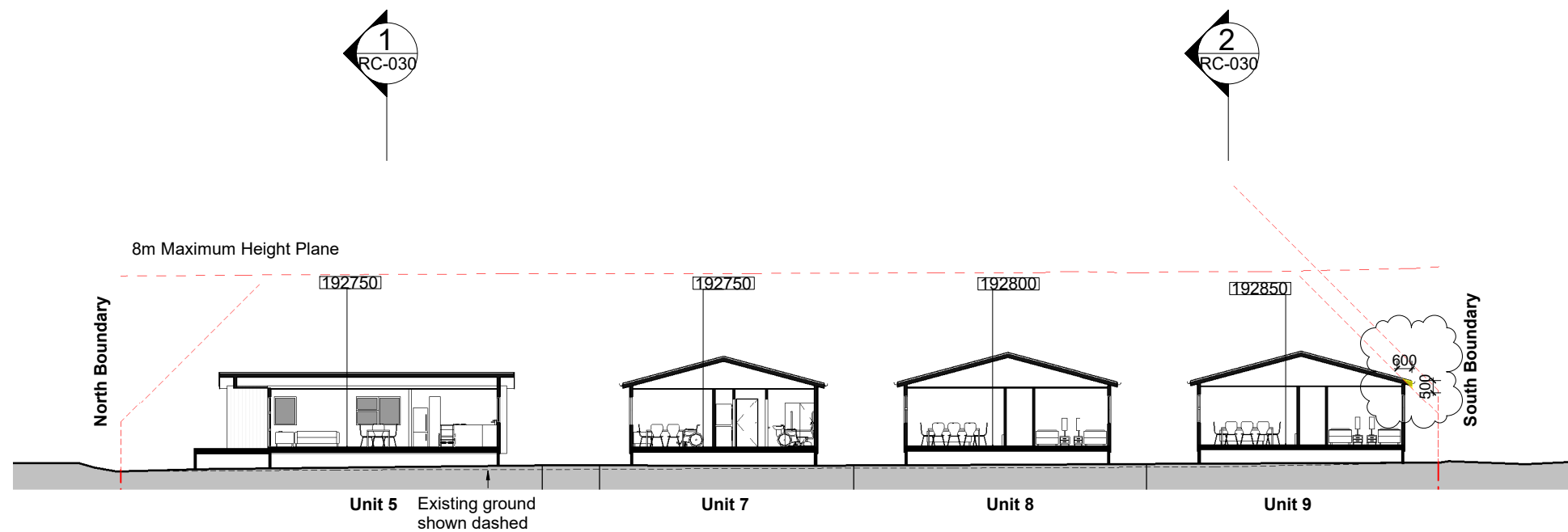
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Revision & Date  
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Drawing No: **RC-031** Revision **A**  
 Project No: 2415  
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**C** 1 : 125 Section  
 RC-021 Section C

**APPROVED PLAN**  
 Planner: SMaharaj  
 RC: 2250131-RMACOM  
 Date: 27/09/2024

**HIRB Infringements**  
 Far North District Plan  
 Section 6 - Residential Zone  
 7.6.5.1.5 Sunlight  
 Area over the 2m and 45° sunlight recession plane control.  
 Area over the 3m and 45° recession plane control.

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Project Name  
**Mangakahia Road**  
 Gemscott Kaikohe Limited  
 Drawing Title  
**Site Cross Sections**

Project Address  
 12-16 Mangakahia Road, Kaikohe

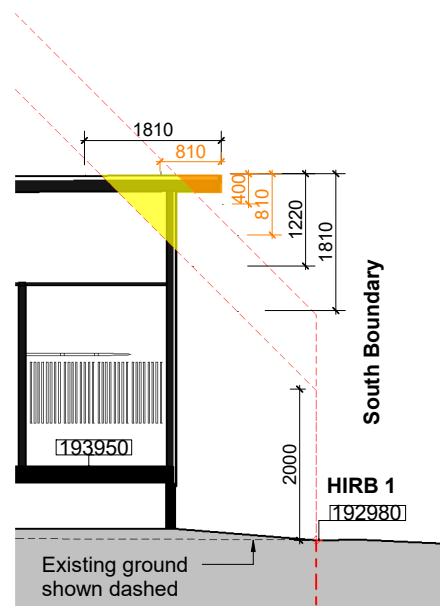
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 Half scale for reduced A3 drawings  
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 Scale: 1:250 @ A3

Revision & Date  
 A Resource Consent 2024-08-30  
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Drawing No: **RC-032** Revision **B**  
 Project No: 2415  
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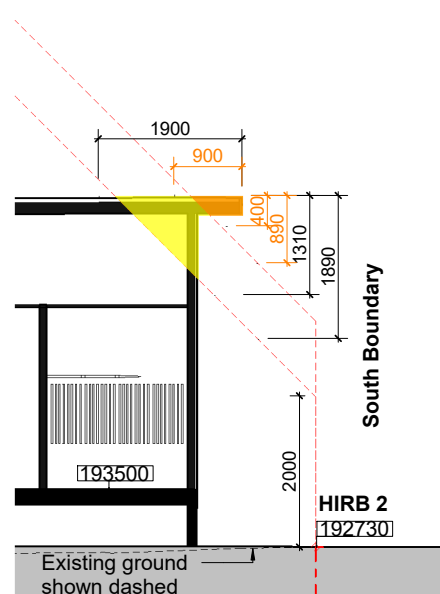
8m Maximum Height Plane



Unit 13

1 1 : 50 Section  
RC-021 HIRB Section 1

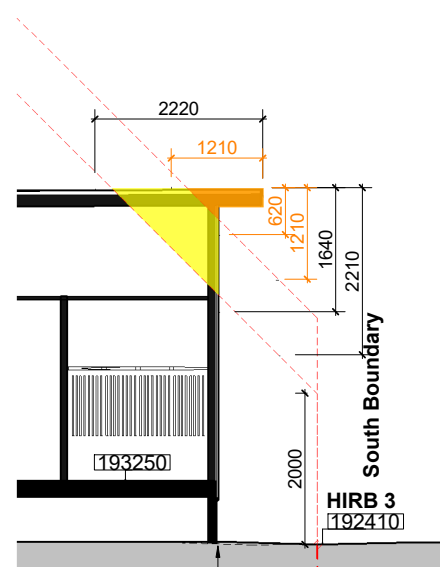
8m Maximum Height Plane



Unit 12

2 1 : 50 Section  
RC-021 HIRB Section 2

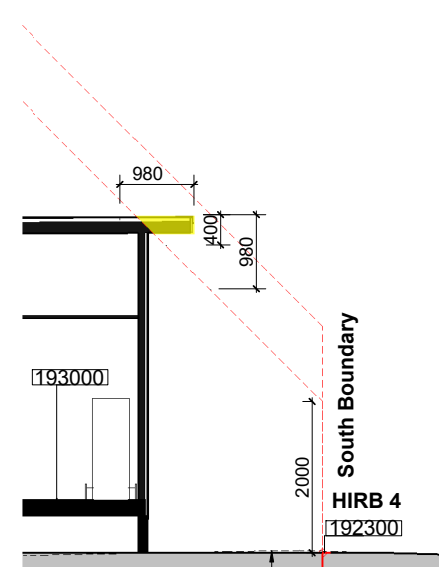
8m Maximum Height Plane



Unit 11

3 1 : 50 Section  
RC-021 HIRB Section 3

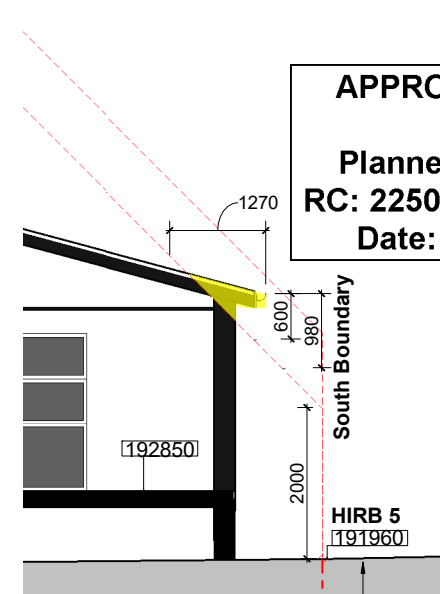
8m Maximum Height Plane



Unit 10

4 1 : 50 Section  
RC-021 HIRB Section 4

8m Maximum Height Plane



Unit 9

5 1 : 50 Section  
RC-021 HIRB Section 5

**APPROVED PLAN**  
Planner: SMaharaj  
RC: 2250131-RMACOM  
Date: 27/09/2024

**HIRB Infringements**

Far North District Plan  
Section 6 - Residential Zone

**7.6.5.1.5 Sunlight**

- Area over the 2m and 45° sunlight recession plane control.
- Area over the 3m and 45° recession plane control.

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Project Name  
**Mangakahia Road**  
Gemscott Kaikohe Limited  
Drawing Title  
**Sections - HIRB**

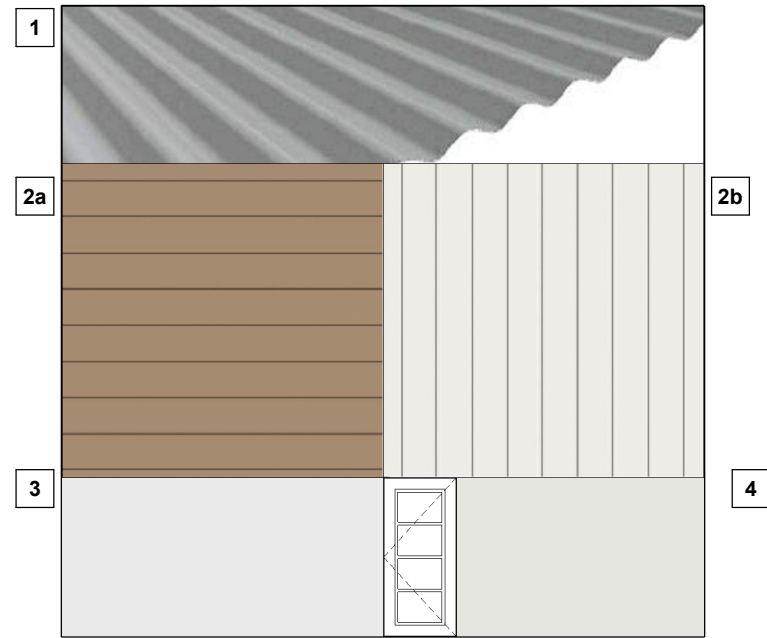
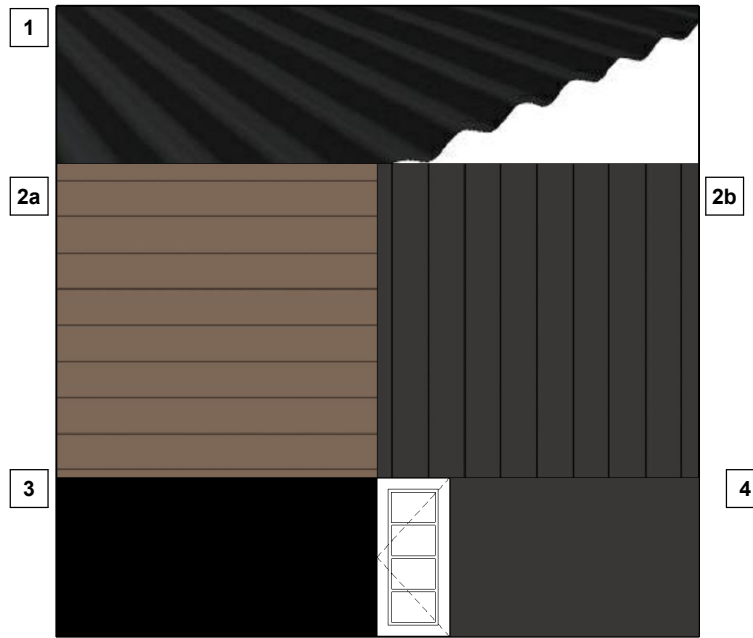
Project Address  
12-16 Mangakahia Road, Kaikohe

Drawing Scale @ A1 =  
As indicated  
Half scale for reduced A3 drawings  
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Revision & Date  
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Drawing No: **RC-035** Revision **B**  
Project No: 2415  
**A STUDIO ARCHITECTS**



**Exterior Materials & Colour Scheme 1**

**Roof**  
**1** Pre-finished metal roofing, in corrugated, trapezoidal or trough profile selected to suit the roof pitch.  
 Finish: **Colorsteel or equivalent**  
 Colour: **Dark Tone**  
 Spouting system including downpipes in the same colour & finish to match roofing unless noted otherwise.  
 Selected rooflights or solar tubes installed as required

**Cladding**  
**2a** Type: Horizontal Weatherboard on cavity or similar  
 Finish: Painted or stained  
 Colour: Dark Tone  
**2b** Type: Vertical Weatherboard on cavity or similar  
 Finish: Painted or stained  
 Colour: Mid Tone

**Joinery**  
**3** Selected aluminium joinery suite with clear double glazing to living spaces & bedrooms. With obscure glazing to Bathrooms & Ensuites or as otherwise noted.  
 Finish: Powder coated  
 Colour: Dark Tone

**Front Door**  
**4** Selected Metal or solid timber door with opaque glazed inserts.  
 Finish: Powder coated, painted or similar  
 Colour: Dark Tone

**Exterior Materials & Colour Scheme 2**

**Roof**  
**1** Pre-finished metal roofing, in corrugated, trapezoidal or trough profile selected to suit the roof pitch.  
 Finish: **Colorsteel or equivalent**  
 Colour: **Dark Tone**  
 Spouting system including downpipes in the same colour & finish to match roofing unless noted otherwise.  
 Selected rooflights or solar tubes installed as required

**Cladding**  
**2a** Type: Horizontal Weatherboard on cavity or similar  
 Finish: Painted or stained  
 Colour: Mid Tone  
**2b** Type: Vertical Weatherboard on cavity or similar  
 Finish: Painted or stained  
 Colour: Dark Tone

**Joinery**  
**3** Selected aluminium joinery suite with clear double glazing to living spaces & bedrooms. With obscure glazing to Bathrooms & Ensuites or as otherwise noted.  
 Finish: Powder coated  
 Colour: Dark Tone

**Front Door**  
**4** Selected Metal or solid timber door with opaque glazed inserts.  
 Finish: Powder coated, painted or similar  
 Colour: Dark Tone

**Exterior Materials & Colour Scheme 3**

**Roof**  
**1** Pre-finished metal roofing, in corrugated, trapezoidal or trough profile selected to suit the roof pitch.  
 Finish: **Colorsteel or equivalent**  
 Colour: **Light Tone**  
 Spouting system including downpipes in the same colour & finish to match roofing unless noted otherwise.  
 Selected rooflights or solar tubes installed as required

**Cladding**  
**2a** Type: Horizontal Weatherboard on cavity or similar  
 Finish: Painted or stained  
 Colour: Mid Tone  
**2b** Type: Vertical Weatherboard on cavity or similar  
 Finish: Painted or stained  
 Colour: Light Tone

**Joinery**  
**3** Selected aluminium joinery suite with clear double glazing to living spaces & bedrooms. With obscure glazing to Bathrooms & Ensuites or as otherwise noted.  
 Finish: Powder coated  
 Colour: Light Tone

**Front Door**  
**4** Selected Metal or solid timber door with opaque glazed inserts.  
 Finish: Powder coated, painted or similar  
 Colour: Light Tone

**APPROVED PLAN**

**Planner: SMaharaj**  
**RC: 2250131-RMACOM**  
**Date: 27/09/2024**

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Project Name  
**Mangakahia Road**  
 Gemscott Kaikohe Limited  
 Drawing Title  
**Exterior Material Colour Schemes**

Project Address  
 12-16 Mangakahia Road, Kaikohe

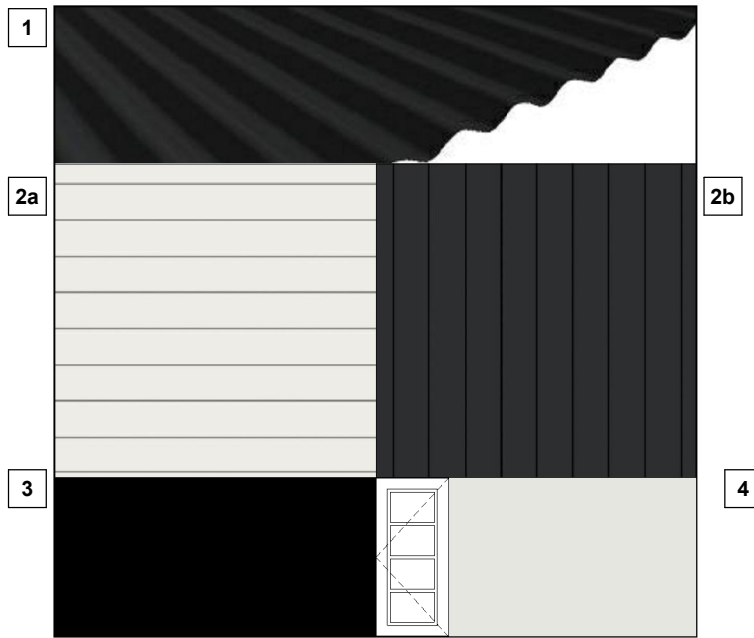
Drawing Scale @ A1 =  
 1 : 50  
 Half scale for reduced A3 drawings

Revision & Date  
 A Resource Consent 2024-08-30  
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Drawing No: **RC-038** Revision **B**  
 Project No: 2415  
**A STUDIO ARCHITECTS**





**Exterior Materials & Colour Scheme 4**

**Roof**  
**1** Pre-finished metal roofing, in corrugated, trapezoidal or trough profile selected to suit the roof pitch.  
 Finish: **Colorsteel or equivalent**  
 Colour: **Dark Tone**  
 Spouting system including downpipes in the same colour & finish to match roofing unless noted otherwise.  
 Selected rooflites or solar tubes installed as required

**Cladding**

**2a** Type: Horizontal Weatherboard on cavity or similar  
 Finish: Painted or stained  
 Colour: Light Tone

**2b** Type: Vertical Weatherboard on cavity or similar  
 Finish: Painted or stained  
 Colour: Dark Tone

**Joinery**  
**3** Selected aluminium joinery suite with clear double glazing to living spaces & bedrooms. With obscure glazing to Bathrooms & Ensuites or as otherwise noted.  
 Finish: Powder coated  
 Colour: Dark Tone

**Front Door**  
**4** Selected Metal or solid timber door with opaque glazed inserts.  
 Finish: Powder coated, painted or similar  
 Colour: Light Tone

**Exterior Materials & Colour Scheme 5**

**Roof**  
**1** Pre-finished metal roofing, in corrugated, trapezoidal or trough profile selected to suit the roof pitch.  
 Finish: **Colorsteel or equivalent**  
 Colour: **Light Tone**  
 Spouting system including downpipes in the same colour & finish to match roofing unless noted otherwise.  
 Selected rooflites or solar tubes installed as required

**Cladding**

**2a** Type: Horizontal Weatherboard on cavity or similar  
 Finish: Painted or stained  
 Colour: Dark Tone

**2b** Type: Vertical Weatherboard on cavity or similar  
 Finish: Painted or stained  
 Colour: Light Tone

**Joinery**  
**3** Selected aluminium joinery suite with clear double glazing to living spaces & bedrooms. With obscure glazing to Bathrooms & Ensuites or as otherwise noted.  
 Finish: Powder coated  
 Colour: Dark Tone

**Front Door**  
**4** Selected Metal or solid timber door with opaque glazed inserts.  
 Finish: Powder coated, painted or similar  
 Colour: Light Tone

**APPROVED PLAN**

**Planner: SMaharaj**  
**RC: 2250131-RMACOM**  
**Date: 27/09/2024**

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Project Name  
**Mangakahia Road**  
 Project Address  
 12-16 Mangakahia Road, Kaikohe  
 Drawing Title  
**Exterior Material Colour Schemes**

Project Address  
 12-16 Mangakahia Road, Kaikohe

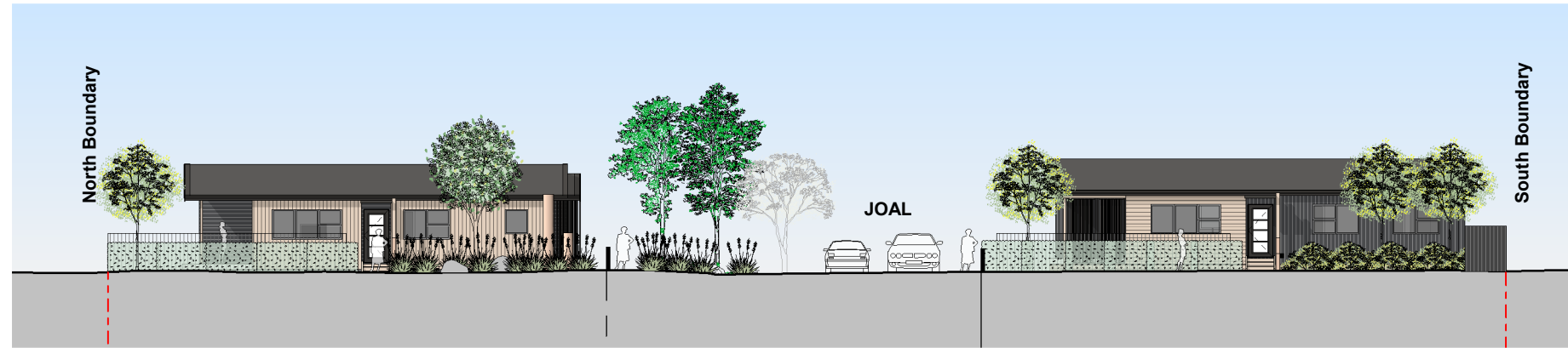
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 Half scale for reduced A3 drawings

Revision & Date  
 A Resource Consent 2024-08-30

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Drawing No: **RC-039** Revision **A**  
 Project No: 2415  
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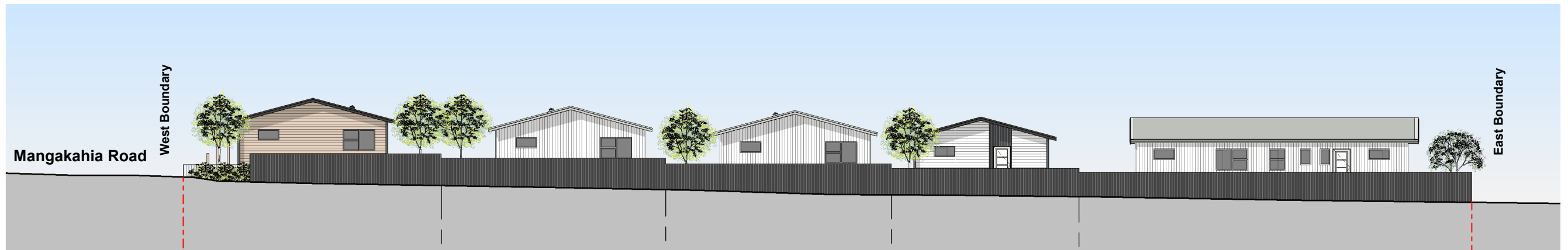


**Unit 1**  
Material and Colour Scheme - 1

**Unit 13**  
Material and Colour Scheme - 2

**1** 1 : 125 Elevation  
RC-021 Street Elevation

**APPROVED PLAN**  
**Planner: SMaharaj**  
**RC: 2250131-RMACOM**  
**Date: 27/09/2024**



**Unit 13**  
Material and Colour Scheme - 2

**Unit 12**  
Material and Colour Scheme - 5

**Unit 11**  
Material and Colour Scheme - 5

**Unit 10**  
Material and Colour Scheme - 4

**Unit 9**  
Material and Colour Scheme - 3

**2** 1 : 125 Elevation  
RC-021 External Elevation – South Boundary

**Exterior Material and Colour Scheme**  
Refer to **RC-038** and **RC-039** for Exterior Material and Colour Scheme descriptions.

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Project Name  
**Mangakahia Road**  
Gemscott Kaikohe Limited  
Drawing Title  
**External Elevations**

Project Address  
12-16 Mangakahia Road, Kaikohe

Drawing Scale @ A1 =  
As indicated  
Half scale for reduced A3 drawings  
0 2.5 5.0 7.5m  
Scale: 1:250 @ A3

Revision & Date  
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Drawing No: **RC-040** Revision **A**  
Project No: 2415  
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Unit 9 Material and Colour Scheme - 3    Unit 8 Material and Colour Scheme - 2    Unit 7 Material and Colour Scheme - 4    Unit 6 Material and Colour Scheme - 4

3 1 : 125 Elevation  
RC-021 External Elevation – East Boundary

**APPROVED PLAN**  
Planner: SMaharaj  
RC: 2250131-RMACOM  
Date: 27/09/2024



Unit 6 Material and Colour Scheme - 4    Unit 5 Material and Colour Scheme - 4    Unit 4 Material and Colour Scheme - 2    Unit 3 Material and Colour Scheme - 2    Unit 2 Material and Colour Scheme - 3    Unit 1 Material and Colour Scheme - 1

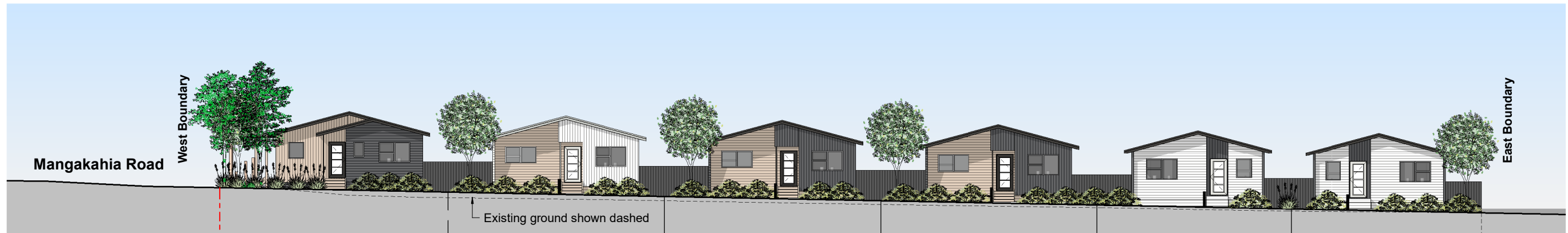
4 1 : 125 Elevation  
RC-021 External Elevation – North Boundary

**Exterior Material and Colour Scheme**  
Refer to RC-038 and RC-039 for Exterior Material and Colour Scheme descriptions.

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	<p>Gemscott Kaikohe Limited Drawing Title <b>External Elevations</b></p>	<p>Half scale for reduced A3 drawings 0    2.5    5.0    7.5m Scale: 1:250 @ A3</p>	<p><b>A STUDIO ARCHITECTS</b></p>			

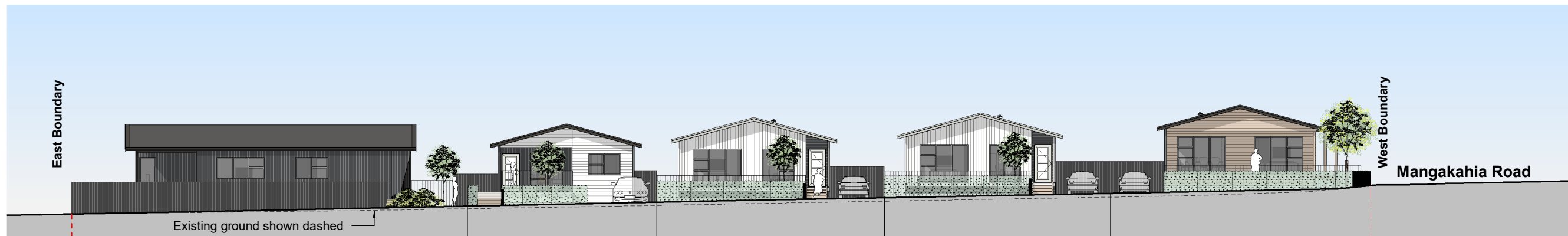




**Unit 1** Material and Colour Scheme - 1    
 **Unit 2** Material and Colour Scheme - 3    
 **Unit 3** Material and Colour Scheme - 2    
 **Unit 4** Material and Colour Scheme - 2    
 **Unit 5** Material and Colour Scheme - 4    
 **Unit 6** Material and Colour Scheme - 4

**1** 1 : 125 Elevation  
 RC-021 JOAL Elevation 1

**APPROVED PLAN**  
 Planner: SMaharaj  
 RC: 2250131-RMACOM  
 Date: 27/09/2024

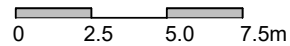


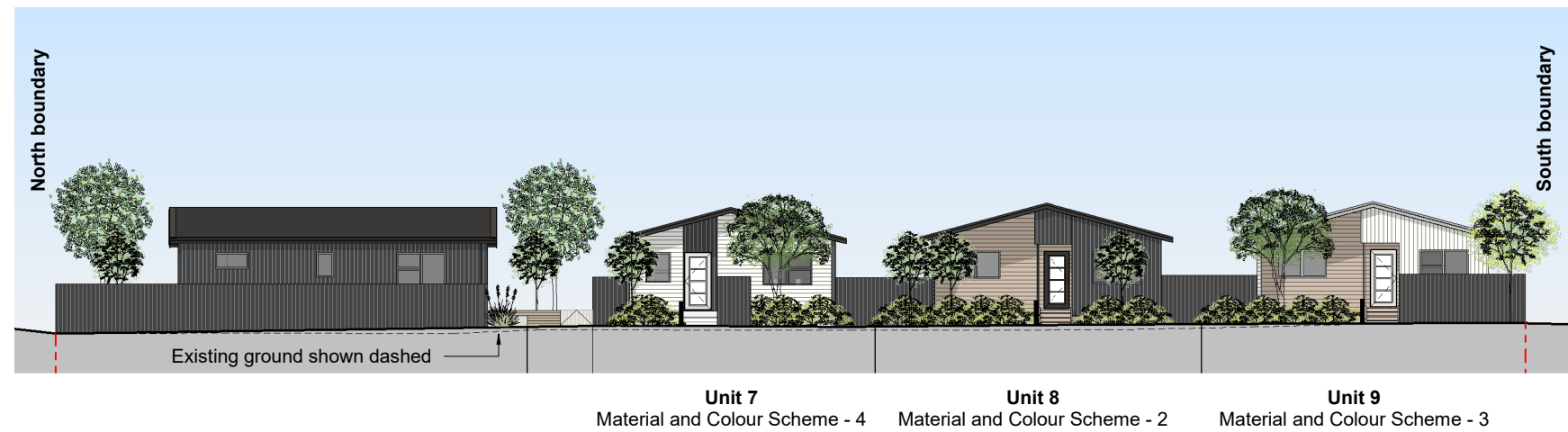
**Unit 10** Material and Colour Scheme - 4    
 **Unit 11** Material and Colour Scheme - 5    
 **Unit 12** Material and Colour Scheme - 5    
 **Unit 13** Material and Colour Scheme - 2

**2** 1 : 125 Elevation  
 RC-021 JOAL Elevation 2

**Exterior Material and Colour Scheme**  
 Refer to RC-038 and RC-039 for Exterior Material and Colour Scheme descriptions.

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**APPROVED PLAN**  
**Planner: SMaharaj**  
**RC: 2250131-RMACOM**  
**Date: 27/09/2024**

**3** 1 : 125 Elevation  
 RC-021 JOAL Elevation 3

**Exterior Material and Colour Scheme**  
 Refer to **RC-038** and **RC-039** for Exterior Material and Colour Scheme descriptions.

**RESOURCE CONSENT**

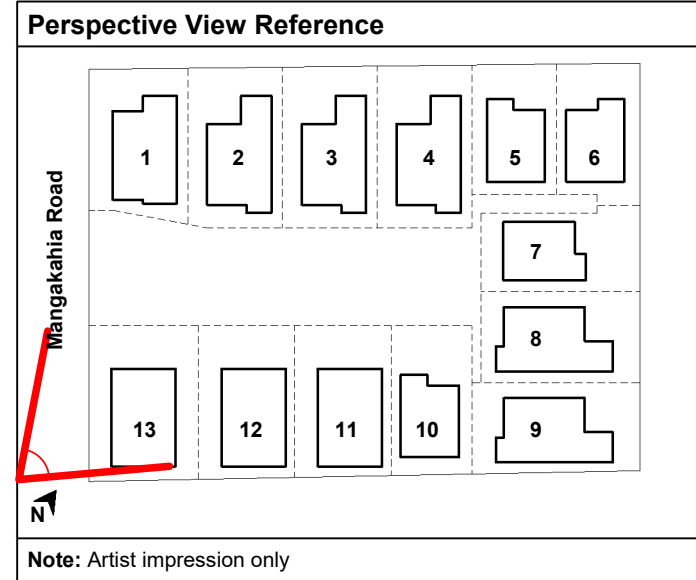
<p>These drawings, and all parts thereof, are copyright. Final design and detail may vary.          1 Written dimensions are to be used          2 Do not scale dimensions from drawings          3 Verify all dimensions and levels on site prior to commencing any work          4 All discrepancies are to be referred to the design office for clarification</p>	<p>Project Name  <b>Mangakahia Road</b>          Gemscott Kaikohe Limited          Drawing Title  <b>Internal Elevations</b></p>	<p>Project Address          12-16 Mangakahia Road, Kaikohe</p>	<p>Drawing Scale @ A1 =          As indicated          Half scale for reduced A3 drawings            Scale: 1:250 @ A3</p>	<p>Revision &amp; Date          A Resource Consent 2024-08-30</p>	<p>Level 4, SKHY          38 Khyber Pass Road,          Grafton, Auckland          09 302 3689          PO Box 44367          Point Chevalier          Auckland 1022          www.astudioarchitects.com</p>	<p>Drawing No: <b>RC-043</b> Revision <b>A</b>          Project No: 2415  <b>A STUDIO ARCHITECTS</b></p>
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**APPROVED PLAN**

**Planner: SMaharaj**  
**RC: 2250131-RMACOM**  
**Date: 27/09/2024**



**RESOURCE CONSENT**

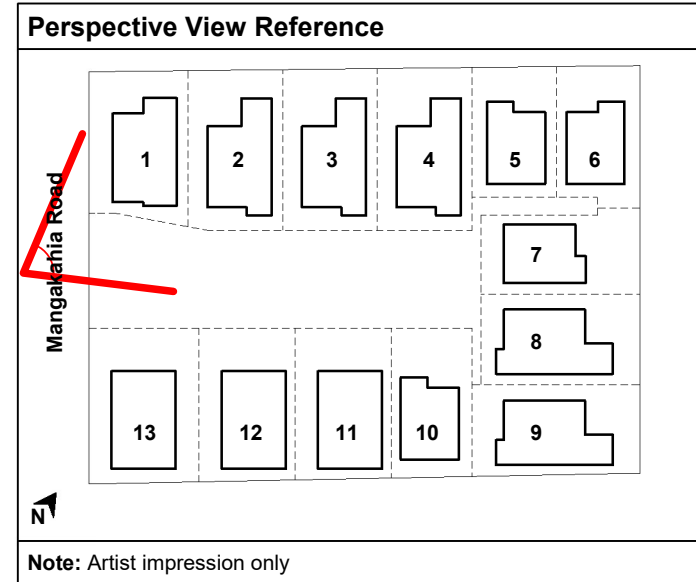
<p>These drawings, and all parts thereof, are copyright. Final design and detail may vary.</p> <ol style="list-style-type: none"> <li>1 Written dimensions are to be used</li> <li>2 Do not scale dimensions from drawings</li> <li>3 Verify all dimensions and levels on site prior to commencing any work</li> <li>4 All discrepancies are to be referred to the design office for clarification</li> </ol>	<p>Project Name  <b>Mangakahia Road</b></p> <p>Gemscott Kaikohe Limited</p> <p>Drawing Title  <b>Perspective View - Street View</b></p>	<p>Project Address          12-16 Mangakahia Road, Kaikohe</p>	<p>Drawing Scale @ A1 =  <b>1 : 500</b></p> <p>Half scale for reduced A3 drawings</p>	<p>Revision &amp; Date          ○A Resource Consent      2024-08-30</p>	<p>Level 4, SKHY          38 Khyber Pass Road,          Grafton, Auckland          09 302 3689          PO Box 44367          Point Chevalier          Auckland 1022          www.astudioarchitects.com</p>	<p>Drawing No: <b>RC-051</b>      Revision <b>A</b></p> <p>Project No: 2415</p> <p><b>A STUDIO ARCHITECTS</b></p>
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**APPROVED PLAN**

**Planner: SMaharaj**  
**RC: 2250131-RMACOM**  
**Date: 27/09/2024**



**RESOURCE CONSENT**

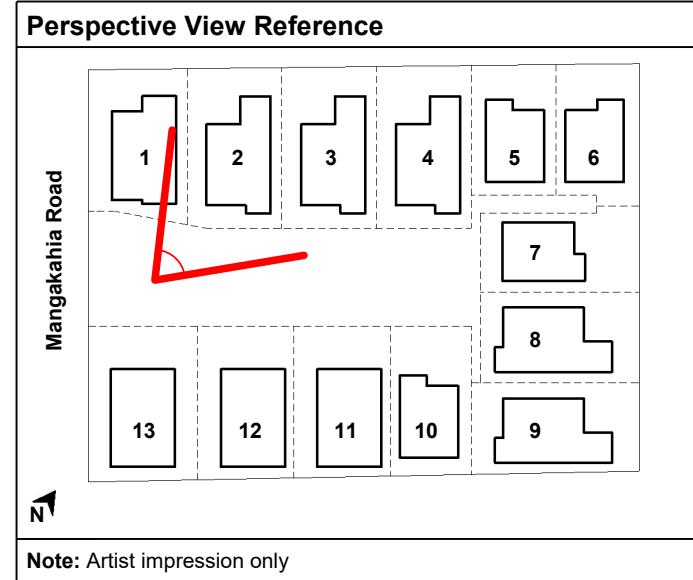
<p>These drawings, and all parts thereof, are copyright. Final design and detail may vary.</p> <ol style="list-style-type: none"> <li>1 Written dimensions are to be used</li> <li>2 Do not scale dimensions from drawings</li> <li>3 Verify all dimensions and levels on site prior to commencing any work</li> <li>4 All discrepancies are to be referred to the design office for clarification</li> </ol>	<p>Project Name  <b>Mangakahia Road</b></p> <p>Gemscott Kaikohe Limited</p> <p>Drawing Title  <b>Perspective View - Unit 1 &amp; pedestrian entry to site</b></p>	<p>Project Address          12-16 Mangakahia Road, Kaikohe</p>	<p>Drawing Scale @ A1 =  <b>1 : 500</b></p> <p>Half scale for reduced A3 drawings</p>	<p>Revision &amp; Date          ○A Resource Consent 2024-08-30</p>	<p>Level 4, SKHY          38 Khyber Pass Road,          Grafton, Auckland          09 302 3689          PO Box 44367          Point Chevalier          Auckland 1022          www.astudioarchitects.com</p>	<p>Drawing No: <b>RC-054</b> Revision <b>A</b></p> <p>Project No: 2415</p> <p><b>A STUDIO ARCHITECTS</b></p>
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**APPROVED PLAN**

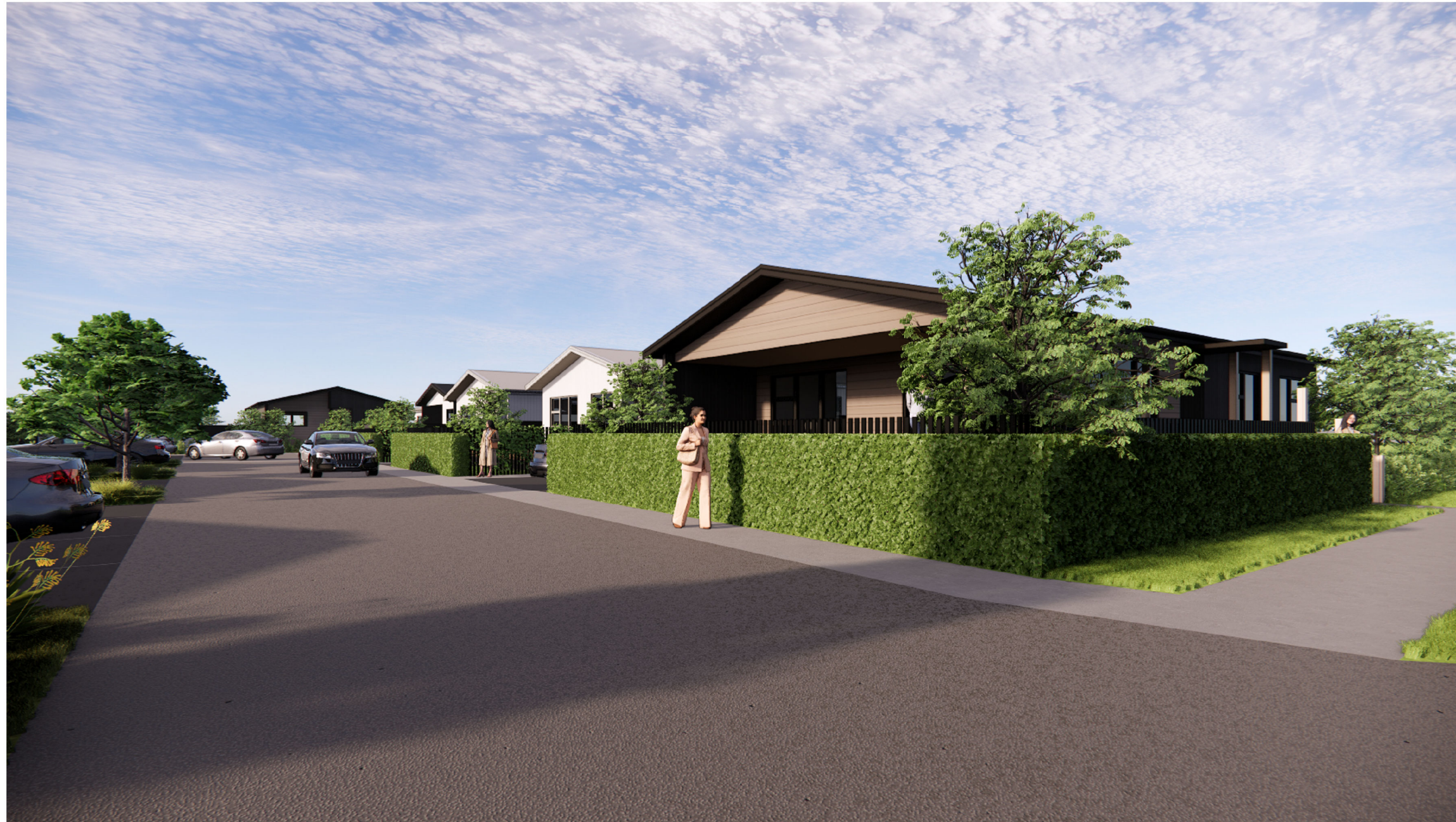
**Planner: SMaharaj**  
**RC: 2250131-RMACOM**  
**Date: 27/09/2024**



**RESOURCE CONSENT**

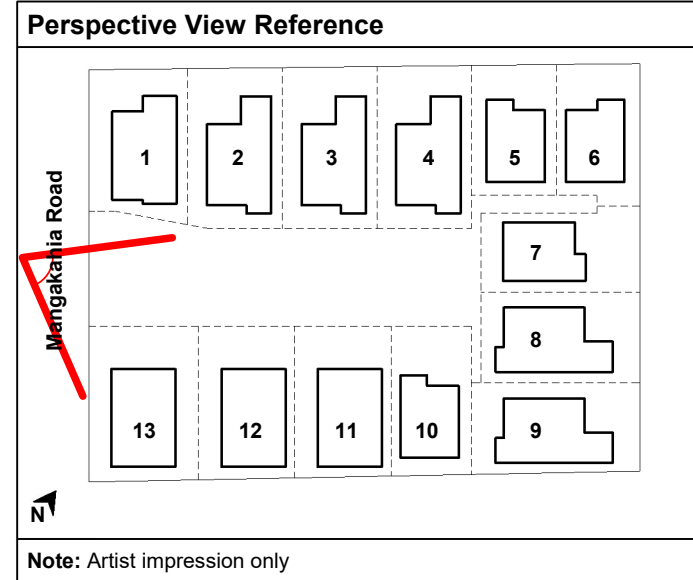
<p>These drawings, and all parts thereof, are copyright. Final design and detail may vary.</p> <ol style="list-style-type: none"> <li>1 Written dimensions are to be used</li> <li>2 Do not scale dimensions from drawings</li> <li>3 Verify all dimensions and levels on site prior to commencing any work</li> <li>4 All discrepancies are to be referred to the design office for clarification</li> </ol>	<p>Project Name  <b>Mangakahia Road</b></p> <p>Gemscott Kaikohe Limited</p> <p>Drawing Title  <b>Perspective View - Units 1,2 &amp; 3</b></p>	<p>Project Address          12-16 Mangakahia Road, Kaikohe</p>	<p>Drawing Scale @ A1 =  <b>1 : 500</b></p> <p>Half scale for reduced A3 drawings</p>	<p>Revision &amp; Date          ○A Resource Consent 2024-08-30</p>	<p>Level 4, SKHY          38 Khyber Pass Road,          Grafton, Auckland          09 302 3689          PO Box 44367          Point Chevalier          Auckland 1022          www.astudioarchitects.com</p>	<p>Drawing No: <b>RC-055</b> Revision <b>A</b></p> <p>Project No: 2415</p> <p><b>A STUDIO ARCHITECTS</b></p>
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**APPROVED PLAN**

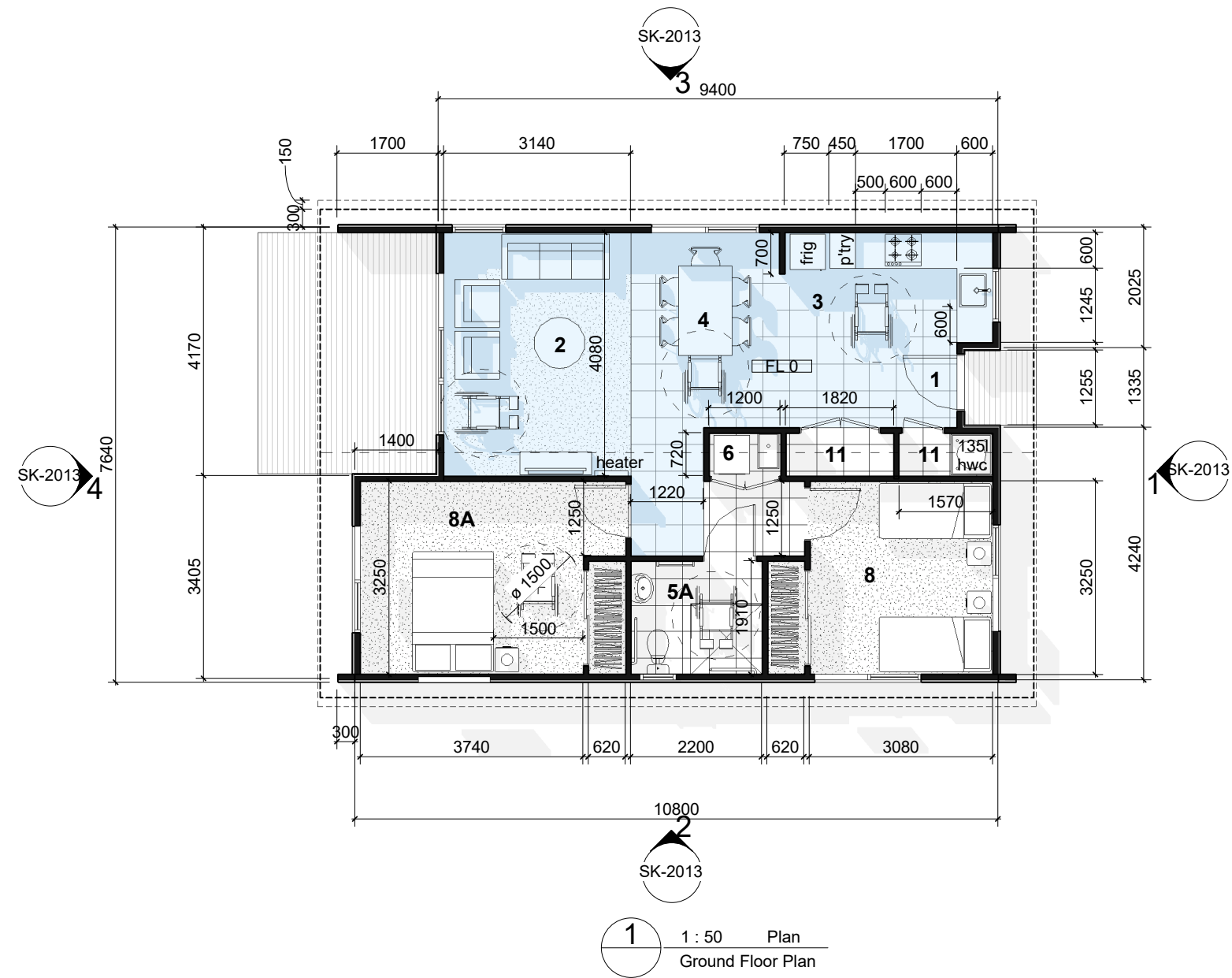
**Planner: SMaharaj**  
**RC: 2250131-RMACOM**  
**Date: 27/09/2024**



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<p>These drawings, and all parts thereof, are copyright. Final design and detail may vary.</p> <ol style="list-style-type: none"> <li>1 Written dimensions are to be used</li> <li>2 Do not scale dimensions from drawings</li> <li>3 Verify all dimensions and levels on site prior to commencing any work</li> <li>4 All discrepancies are to be referred to the design office for clarification</li> </ol>	<p>Project Name  <b>Mangakahia Road</b></p> <p>Gemscott Kaikohe Limited</p> <p>Drawing Title  <b>Perspective View - JOAL - Units 11, 12 &amp; 13</b></p>	<p>Project Address          12-16 Mangakahia Road, Kaikohe</p>	<p>Drawing Scale @ A1 =  <b>1 : 500</b></p> <p>Half scale for reduced A3 drawings</p>	<p>Revision &amp; Date          ○A Resource Consent      2024-08-30</p>	<p>Level 4, SKHY          38 Khyber Pass Road,          Grafton, Auckland          09 302 3689          PO Box 44367          Point Chevalier          Auckland 1022          www.astudioarchitects.com</p>	<p>Drawing No: <b>RC-056</b>      Revision <b>A</b></p> <p>Project No: 2415</p> <p><b>A STUDIO ARCHITECTS</b></p>
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Nett Area - Room & Floor Finishes		
Name	Area	Floor Finish
Bathroom	4.2 m <sup>2</sup>	Vinyl
Bedroom	10.0 m <sup>2</sup>	Carpet
Bedroom	13.0 m <sup>2</sup>	Carpet
Kitchen & Dining	23.7 m <sup>2</sup>	Vinyl
Laundry	0.9 m <sup>2</sup>	Vinyl
Lounge	12.8 m <sup>2</sup>	Carpet
Robe	1.2 m <sup>2</sup>	Carpet
Robe	1.2 m <sup>2</sup>	Carpet
Storage	1.1 m <sup>2</sup>	Vinyl
Storage	1.3 m <sup>2</sup>	Vinyl

Nett Area - Storage			
Name	Area	Store Height	Volume
Storage	1.1 m <sup>2</sup>	2.4m	2.71 m <sup>3</sup>
Storage	1.3 m <sup>2</sup>	2.4m	3.14 m <sup>3</sup>
Grand total	2.4 m <sup>2</sup>		5.86 m <sup>3</sup>

Nett Area - Robe			
Name	Area	Store Height	Volume
Robe	1.18 m <sup>2</sup>	2.4m	2.84 m <sup>3</sup>
Robe	1.18 m <sup>2</sup>	2.4m	2.84 m <sup>3</sup>
Grand total	2.37 m <sup>2</sup>		5.68 m <sup>3</sup>

Laundry to be in a bathroom or cupboard. Not Allowed in kitchen, under the stair. **350mm** wide tub required

Living & Dining seating for minimum **6 people**

1 x **1.5 kW** Heater is to be provided in living space

All main interior doors are **860mm** wide leafs

Front door is **910mm** wide leaf

**A Deck or Patio** area of minimum 10m<sup>2</sup> with a minimum width of 2.0m is to be provided

**Floor to Ceiling** height is nominal 2450mm

**2 Bedroom  
Single Level  
Accessible  
Type 2F**

Single Storey  
2 Bedrooms  
1 Accessible Bathroom  
Accessible Unit

**APPROVED PLAN**  
Planner: SMaharaj  
RC: 2250131-RMACOM  
Date: 27/09/2024

- Space Legend
- 1 Entry
  - 2 Lounge
  - 3 Kitchen
  - 4 Dining
  - 5 Bathroom
  - 5A Accessible Bathroom
  - 6 Laundry
  - 8 Bedroom
  - 8A Accessible Bedroom
  - 11 Storage

Floor Plan orientation to North may vary. Plans may mirror and/or rotate. Refer to the master plan for individual lot context

Floor Area Schedule		
Level	Name	Area
Ground Floor	Unit	75.44 m <sup>2</sup>
		75.44 m <sup>2</sup>

Kāinga Ora - 2 Bedroom House - Key Area Summary		
Housing Standard: **** - Appendix * Table * Summary		
	Required (min)	Design Provides
Single Storey	GFA 70m <sup>2</sup>	GFA <b>75.44m<sup>2</sup></b>
Kitchen, Dining, Living. <b>KDL</b>	KDL 36m <sup>2</sup>	KDL <b>34.4m<sup>2</sup></b>
Accessible Master Bedroom	1 x 12m <sup>2</sup>	<b>1 x 13.1m<sup>2</sup></b>
Bedrooms	1 x 9m <sup>2</sup>	<b>1 x 9.3m<sup>2</sup></b>
Storage	2m <sup>2</sup>	<b>2.4m<sup>2</sup></b>
Robes		<b>2.4m<sup>2</sup></b>

The floor areas are measured to the outside face of the timber wall framing, (excluding the cladding and cavity zone).

This plan is prepared for the purpose of concept design only, it is subject to design development, council requirements and site specific engineering reports and surveys. Final dimensions & areas may vary.

The external wall & IT wall types & thicknesses are to be determined at the detail design stage.

**RESOURCE CONSENT**

Combined **KDL** measured to inside face of external wall framing - refer summary

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4 All discrepancies are to be referred to the design office for clarification

Project Name  
**Mangakahia Road**  
for Gemscott Limited  
Drawing Title  
**2 Bed - single level - Type 2F - Floor Plans**

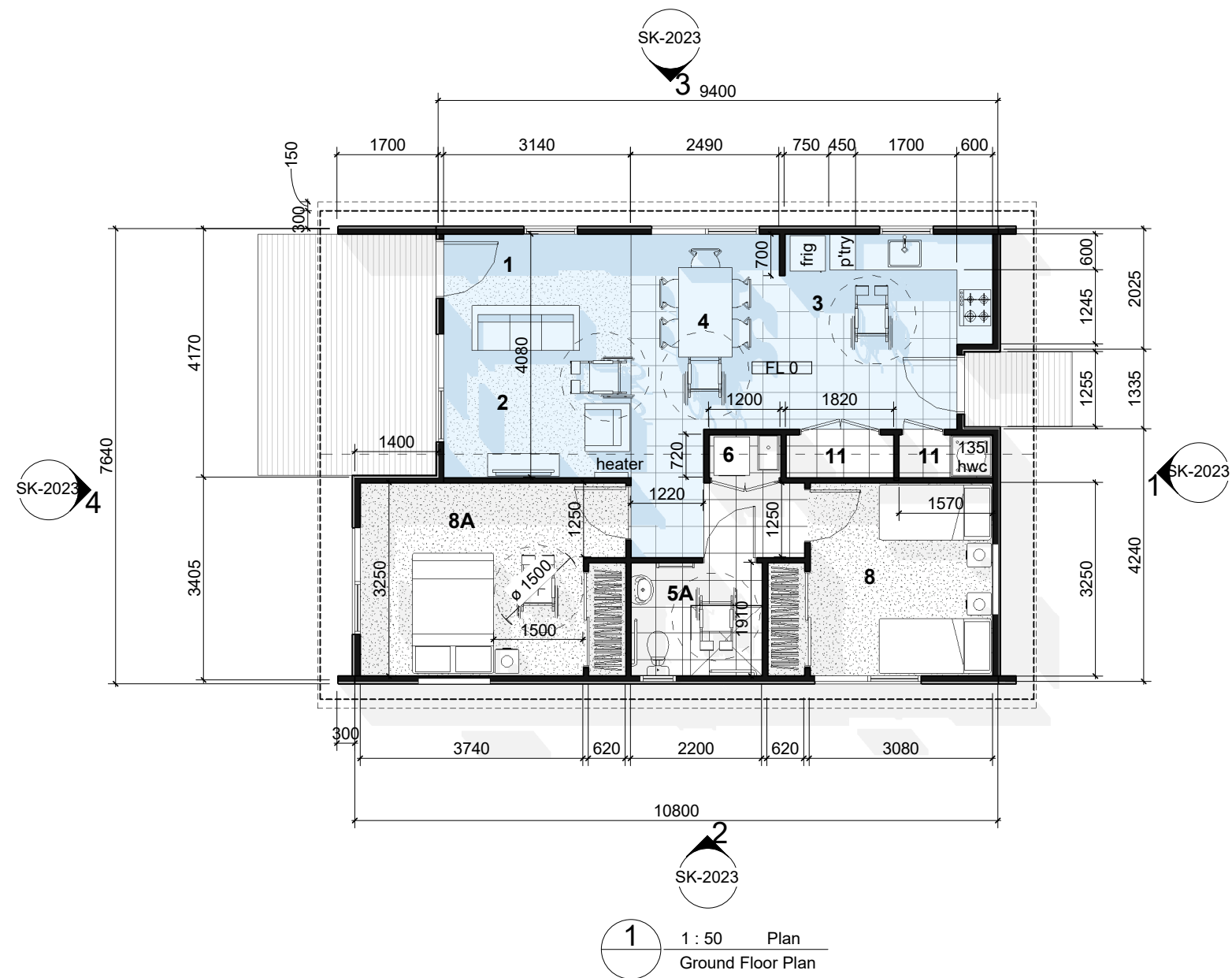
Project Address  
12-16 Mangakahia Road, Kaikohe, Northland

Drawing Scale @ A1 =  
As indicated  
Half scale for reduced A3 drawings  
0 1 2 3m  
Scale: 1:100 @ A3

Revision & Date  
A Resource Consent 2024-08-30  
B Resource Consent 2024-09-17

Level 4, SKHY  
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Grafton, Auckland  
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PO Box 44367  
Point Chevalier  
Auckland 1022  
www.astudioarchitects.com

Drawing No: **RC-2010** Revision **B**  
Project No: 2415  
**A STUDIO ARCHITECTS**



Nett Area - Room & Floor Finishes		
Name	Area	Floor Finish
Bathroom	4.2 m <sup>2</sup>	Vinyl
Bedroom	10.0 m <sup>2</sup>	Carpet
Bedroom	13.0 m <sup>2</sup>	Carpet
Kitchen & Dining	23.7 m <sup>2</sup>	Vinyl
Laundry	0.9 m <sup>2</sup>	Vinyl
Lounge	12.8 m <sup>2</sup>	Carpet
Robe	1.2 m <sup>2</sup>	Carpet
Robe	1.2 m <sup>2</sup>	Carpet
Storage	1.1 m <sup>2</sup>	Vinyl
Storage	1.3 m <sup>2</sup>	Vinyl

Nett Area - Storage			
Name	Area	Store Height	Volume
Storage	1.1 m <sup>2</sup>	2.4m	2.71 m <sup>3</sup>
Storage	1.3 m <sup>2</sup>	2.4m	3.14 m <sup>3</sup>
Grand total	2.4 m <sup>2</sup>		5.86 m <sup>3</sup>

Nett Area - Robe			
Name	Area	Store Height	Volume
Robe	1.18 m <sup>2</sup>	2.4m	2.84 m <sup>3</sup>
Robe	1.18 m <sup>2</sup>	2.4m	2.84 m <sup>3</sup>
Grand total	2.37 m <sup>2</sup>		5.68 m <sup>3</sup>

Laundry to be in a bathroom or cupboard. Not Allowed in kitchen, under the stair. **350mm** wide tub required

Living & Dining seating for minimum **6 people**

1 x **1.5 kW** Heater is to be provided in living space

All main interior doors are **860mm** wide leafs

Front door is **910mm** wide leaf

**A Deck or Patio** area of minimum 10m<sup>2</sup> with a minimum width of 2.0m is to be provided

**Floor to Ceiling** height is nominal 2450mm

**2 Bedroom  
Single Level  
Accessible  
Type 2G**

Single Storey  
2 Bedrooms  
1 Accessible Bathroom  
Accessible Unit

**APPROVED PLAN**

Planner: **SMaharaj**  
RC: **2250131-RMACOM**  
Date: **27/09/2024**

- Space Legend
- 1 Entry
  - 2 Lounge
  - 3 Kitchen
  - 4 Dining
  - 5 Bathroom
  - 5A Accessible Bathroom
  - 6 Laundry
  - 8 Bedroom
  - 8A Accessible Bedroom
  - 11 Storage

Floor Plan orientation to North may vary. Plans may mirror and/or rotate. Refer to the master plan for individual lot context

Floor Area Schedule		
Level	Name	Area
Ground Floor	Unit	75.44 m <sup>2</sup>
		75.44 m <sup>2</sup>

Kāinga Ora - 2 Bedroom House - Key Area Summary		
Housing Standard: **** - Appendix * Table * Summary		
	Required (min)	Design Provides
Single Storey	GFA 70m <sup>2</sup>	GFA <b>75.44m<sup>2</sup></b>
Kitchen, Dining, Living. <b>KDL</b>	KDL 36m <sup>2</sup>	KDL <b>34.4m<sup>2</sup></b>
Accessible Master Bedroom	1 x 12m <sup>2</sup>	<b>1 x 13m<sup>2</sup></b>
Bedrooms	1 x 9m <sup>2</sup>	<b>1 x 10m<sup>2</sup></b>
Storage	2m <sup>2</sup>	<b>2.4m<sup>2</sup></b>
Robes		<b>2.4m<sup>2</sup></b>

The floor areas are measured to the outside face of the timber wall framing, (excluding the cladding and cavity zone).

This plan is prepared for the purpose of concept design only, it is subject to design development, council requirements and site specific engineering reports and surveys. Final dimensions & areas may vary.

The external wall & IT wall types & thicknesses are to be determined at the detail design stage.

**RESOURCE CONSENT**

Combined **KDL** measured to inside face of external wall framing - refer summary

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Project Name  
**Mangakahia Road**  
for Gemscott Limited

Drawing Title  
**2 Bed - single level - Type 2G - Floor Plans**

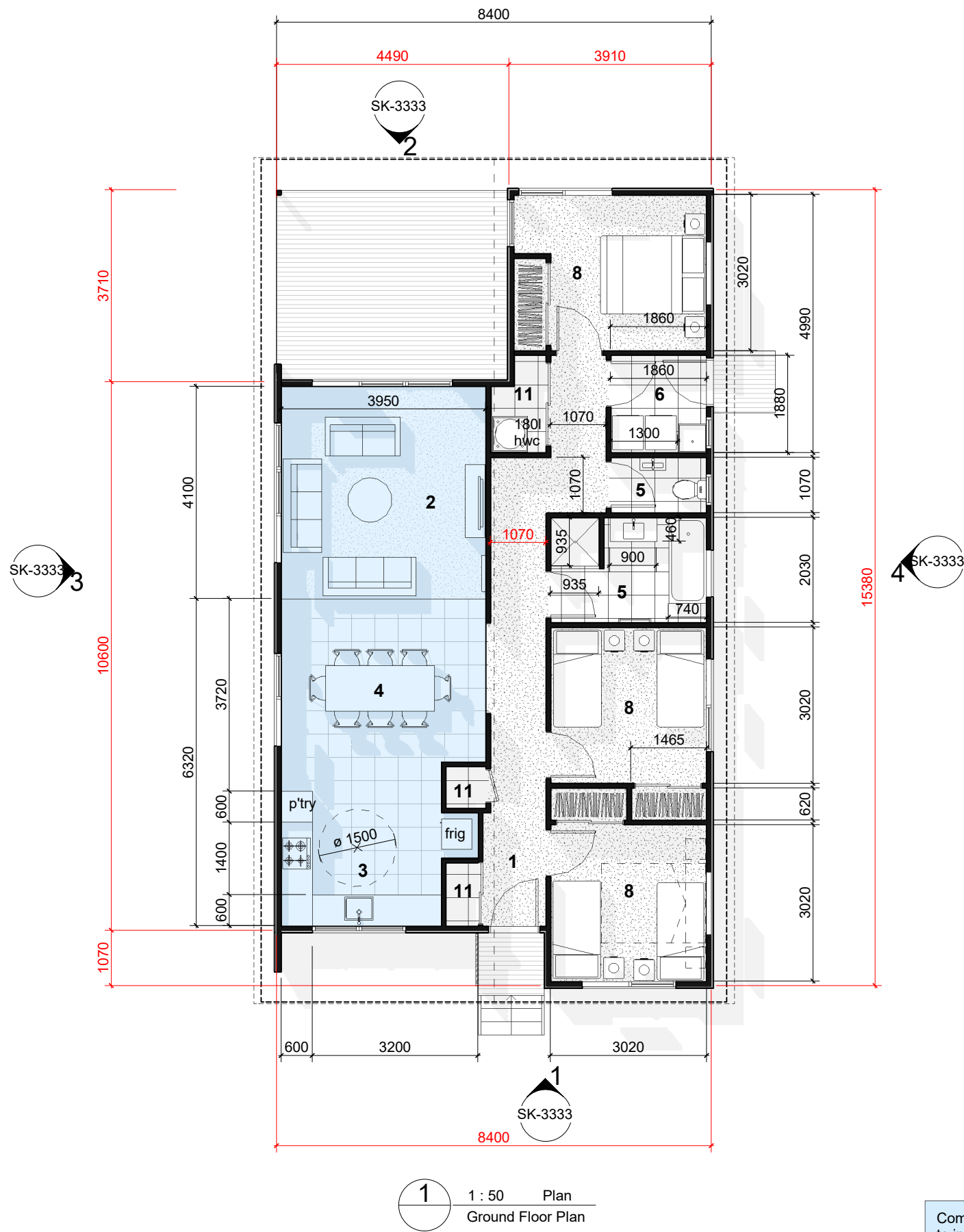
Project Address  
12-16 Mangakahia Road, Kaikohe, Northland

Drawing Scale @ A1 =  
As indicated  
Half scale for reduced A3 drawings  
Scale: 1:100 @ A3

Revision & Date  
A Resource Consent 2024-08-30  
B Resource Consent 2024-09-17

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38 Khyber Pass Road,  
Grafton, Auckland  
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PO Box 44367  
Point Chevalier  
Auckland 1022  
www.astudioarchitects.com

Drawing No: **RC-2020** Revision **B**  
Project No: 2415  
**A STUDIO ARCHITECTS**



Nett Area - Room & Floor Finishes		
Name	Area	Floor Finish
Bathroom	6.0 m <sup>2</sup>	Vinyl
Bathroom	3.5 m <sup>2</sup>	Vinyl
Bedroom	9.9 m <sup>2</sup>	Carpet
Bedroom	9.1 m <sup>2</sup>	Carpet
Bedroom	9.1 m <sup>2</sup>	Carpet
Hall	13.4 m <sup>2</sup>	Carpet
Kitchen & Dining	22.9 m <sup>2</sup>	Vinyl
Laundry	2.0 m <sup>2</sup>	Vinyl
Lounge	16.2 m <sup>2</sup>	Carpet
Robe	0.9 m <sup>2</sup>	Carpet
Robe	0.9 m <sup>2</sup>	Carpet
Robe	1.12 m <sup>2</sup>	Carpet
Storage	1.7 m <sup>2</sup>	Vinyl
Storage	0.8 m <sup>2</sup>	Vinyl
Storage	0.6 m <sup>2</sup>	Vinyl

Nett Area - Storage			
Name	Area	Store Height	Volume
Storage	1.74 m <sup>2</sup>	2.4m	4.18 m <sup>3</sup>
Storage	0.76 m <sup>2</sup>	2.4m	1.82 m <sup>3</sup>
Storage	0.62 m <sup>2</sup>	2.4m	1.48 m <sup>3</sup>
Grand total	3.11 m <sup>2</sup>		7.47 m <sup>3</sup>

Nett Area - Robe			
Name	Area	Store Height	Volume
Robe	0.91 m <sup>2</sup>	2.4m	2.18 m <sup>3</sup>
Robe	0.91 m <sup>2</sup>	2.4m	2.18 m <sup>3</sup>
Robe	1.12 m <sup>2</sup>	2.4m	2.68 m <sup>3</sup>
Grand total	2.93 m <sup>2</sup>		7.04 m <sup>3</sup>

A separate laundry is required  
**3m<sup>2</sup>** minimum **560mm** wide tub required.  
 living & dining seating for minimum **8 people**  
 1 x **2 kW** Heater is to be provided in living space  
 All main interior doors are **860mm** wide leafs  
 Front door is **910mm** wide leaf  
 Back door is **910mm** wide leaf  
 A **Deck or Patio** area of minimum 10m<sup>2</sup> with a minimum width of 2.5m is to be provided  
 Floor to Ceiling height is nominal 2450mm

Kāinga Ora - 3 Bedroom House - Key Area Summary		
Housing Standard: Design **** - Appendix * Table * Summary		
	Required (min)	Design Provides
Single Storey	GFA 95m <sup>2</sup>	GFA <b>107m<sup>2</sup></b>
Kitchen, Dining, Living. <b>KDL</b>	KDL 46m <sup>2</sup> *	<b>KDL ~40m<sup>2</sup></b>
Master Bedroom	1 x 10m <sup>2</sup>	<b>1 x 10m<sup>2</sup></b>
Bedrooms	1 x 9m <sup>2</sup>	<b>2 x 9.0m<sup>2</sup></b>
Storage	? m <sup>2</sup>	<b>3.1m<sup>2</sup></b>
Robes	? m <sup>2</sup>	<b>3.7m<sup>2</sup></b>

\* A reduced **KDL** area may be possible (KO discretion)

**3 Bedroom Single Level**

**Type D**

Single Storey  
 3 Bedrooms  
 1 Bathroom

**APPROVED PLAN**

Planner: SMaharaj  
 RC: 2250131-RMACOM  
 Date: 27/09/2024

- Space Legend
- 1 Entry
  - 2 Lounge
  - 3 Kitchen
  - 4 Dining
  - 5 Bathroom
  - 6 Laundry
  - 8 Bedroom
  - 11 Storage

Floor Plan orientation to North may vary.  
 Plans may mirror and/or rotate. Refer to the master plan for individual lot context

Floor Area Schedule		
Level	Name	Area
Ground Floor	Unit	106.97 m <sup>2</sup>
		106.97 m <sup>2</sup>

The floor areas are measured to the outside face of the timber wall framing, (excluding the cladding and cavity zone).

This plan is prepared for the purpose of concept design only, it is subject to design development, council requirements and site specific engineering reports and surveys. Final dimensions & areas may vary.

The external wall & IT wall types & thicknesses are to be determined at the detail design stage.

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Project Name  
**Mangakahia Road**  
 for Gemscott Limited

Drawing Title  
**3 Bed - single level - Type D - Floor Plans**

Project Address  
 12-16 Mangakahia Road, Kaikohe, Northland

Drawing Scale @ A1 =  
 As indicated  
 Half scale for reduced A3 drawings  
  
 Scale: 1:100 @ A3

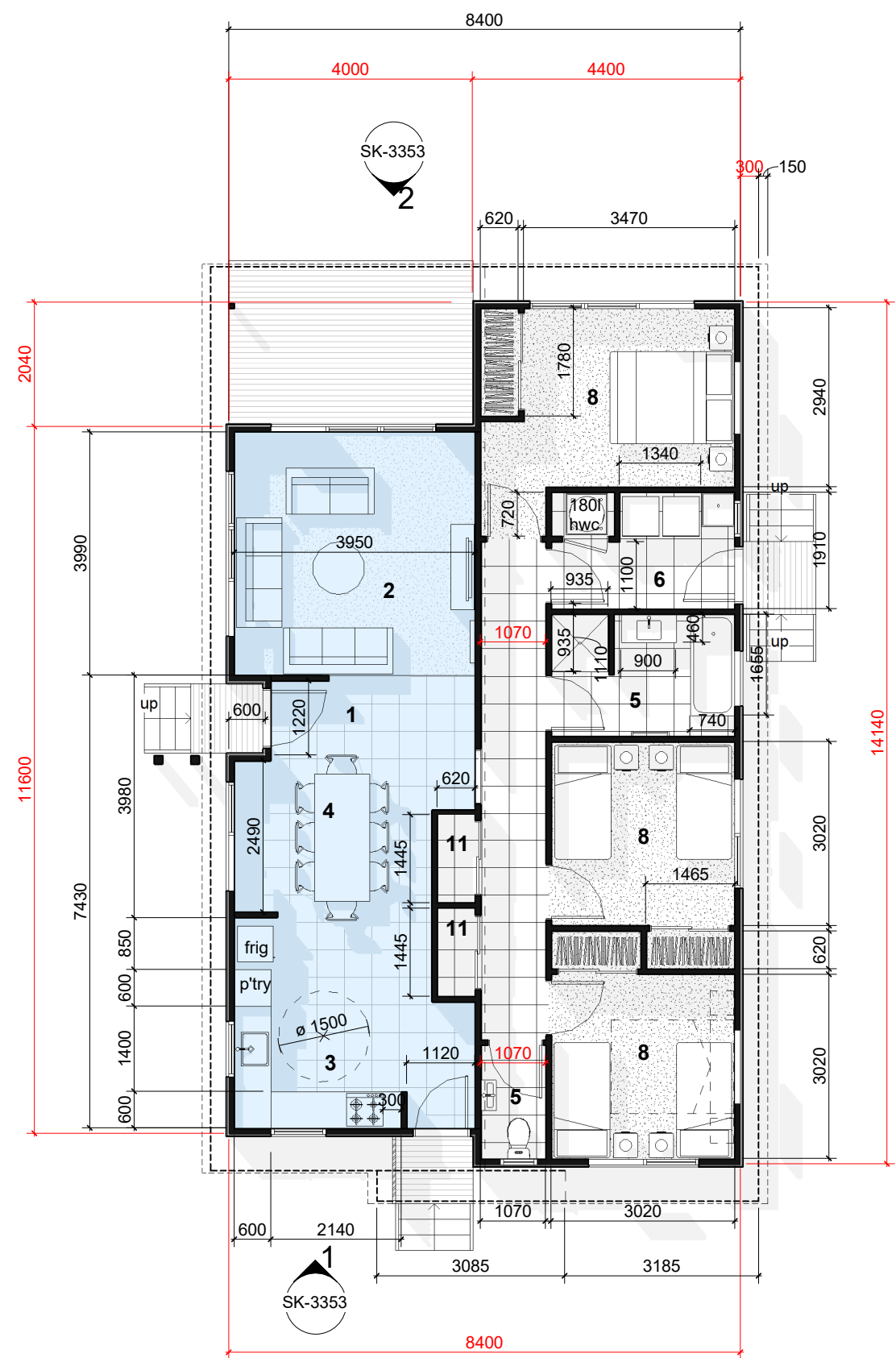
Revision & Date  
 A Resource Consent 2024-08-30  
 B Resource Consent 2024-09-17

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Drawing No: **RC-3330** Revision **B**  
 Project No: 2415  
**A STUDIO ARCHITECTS**

Combined **KDL** measured to inside face of external wall framing - refer summary





1 1:50 Plan  
Ground Floor Plan

Nett Area - Room & Floor Finishes		
Name	Area	Floor Finish
Bathroom	6.0 m <sup>2</sup>	Vinyl
Bathroom	2.0 m <sup>2</sup>	Vinyl
Bedroom	11.8 m <sup>2</sup>	Carpet
Bedroom	9.1 m <sup>2</sup>	Carpet
Bedroom	9.1 m <sup>2</sup>	Carpet
Hall	8.7 m <sup>2</sup>	Vinyl
Kitchen & Dining	26.1 m <sup>2</sup>	Vinyl
Laundry	4.9 m <sup>2</sup>	Vinyl
Lounge	15.8 m <sup>2</sup>	Carpet
Robe	0.9 m <sup>2</sup>	Carpet
Robe	0.9 m <sup>2</sup>	Carpet
Robe	1.1 m <sup>2</sup>	Carpet
Storage	0.7 m <sup>2</sup>	Vinyl
Storage	0.9 m <sup>2</sup>	Vinyl
Storage	0.9 m <sup>2</sup>	Vinyl

Nett Area - Storage			
Name	Area	Store Height	Volume
Storage	0.74 m <sup>2</sup>	2.4m	1.78 m <sup>3</sup>
Storage	0.90 m <sup>2</sup>	2.4m	2.15 m <sup>3</sup>
Storage	0.90 m <sup>2</sup>	2.4m	2.15 m <sup>3</sup>
Grand total	2.53 m <sup>2</sup>		6.08 m <sup>3</sup>

Nett Area - Robe			
Name	Area	Store Height	Volume
Robe	0.91 m <sup>2</sup>	2.4m	2.18 m <sup>3</sup>
Robe	0.91 m <sup>2</sup>	2.4m	2.18 m <sup>3</sup>
Robe	1.10 m <sup>2</sup>	2.4m	2.65 m <sup>3</sup>
Grand total	2.92 m <sup>2</sup>		7.01 m <sup>3</sup>

A separate laundry is required  
**3m<sup>2</sup> minimum 560mm wide tub required.**  
 living & dining seating for minimum **8 people**  
 1 x **2 kW** Heater is to be provided in living space  
 All main interior doors are **860mm** wide leafs  
 Front door is **910mm** wide leaf  
 Back door is **910mm** wide leaf  
**A Deck or Patio** area of minimum 10m<sup>2</sup> with a minimum width of 2.5m is to be provided  
**Floor to Ceiling** height is nominal 2450mm

Kāinga Ora - 3 Bedroom House - Key Area Summary		
	Required (min)	Design Provides
Single Storey	GFA 95m <sup>2</sup>	GFA <b>107m<sup>2</sup></b>
Kitchen, Dining, Living. <b>KDL</b>	KDL 46m <sup>2</sup> *	<b>KDL ~42m<sup>2</sup></b>
Master Bedroom	1 x 10m <sup>2</sup>	<b>1 x 11.8m<sup>2</sup></b>
Bedrooms	1 x 9m <sup>2</sup>	<b>2 x 9.0m<sup>2</sup></b>
Storage	? m <sup>2</sup>	<b>2.5m<sup>2</sup></b>
Robes	? m <sup>2</sup>	<b>3.0m<sup>2</sup></b>

\* A reduced **KDL** area may be possible (KO discretion)

**3 Bedroom Single Level**

**Lot 1**

Single Storey  
 3 Bedrooms  
 1 Bathroom

**APPROVED PLAN**  
 Planner: SMaharaj  
 RC: 2250131-RMACOM  
 Date: 27/09/2024

- Space Legend
- 1 Entry
  - 2 Lounge
  - 3 Kitchen
  - 4 Dining
  - 5 Bathroom
  - 6 Laundry
  - 8 Bedroom
  - 11 Storage

Floor Area Schedule		
Level	Name	Area
Ground Floor	Unit	107.78 m <sup>2</sup>
		107.78 m <sup>2</sup>

The floor areas are measured to the outside face of the timber wall framing, (excluding the cladding and cavity zone).

This plan is prepared for the purpose of concept design only, it is subject to design development, council requirements and site specific engineering reports and surveys. Final dimensions & areas may vary.

The external wall & IT wall types & thicknesses are to be determined at the detail design stage.

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Project Name  
**Mangakahia Road**  
 for Gemscott Limited  
 Drawing Title  
**3 Bed - single level - Lot 1 - Floor Plans**

Project Address  
 12-16 Mangakahia Road, Kaikohe, Northland

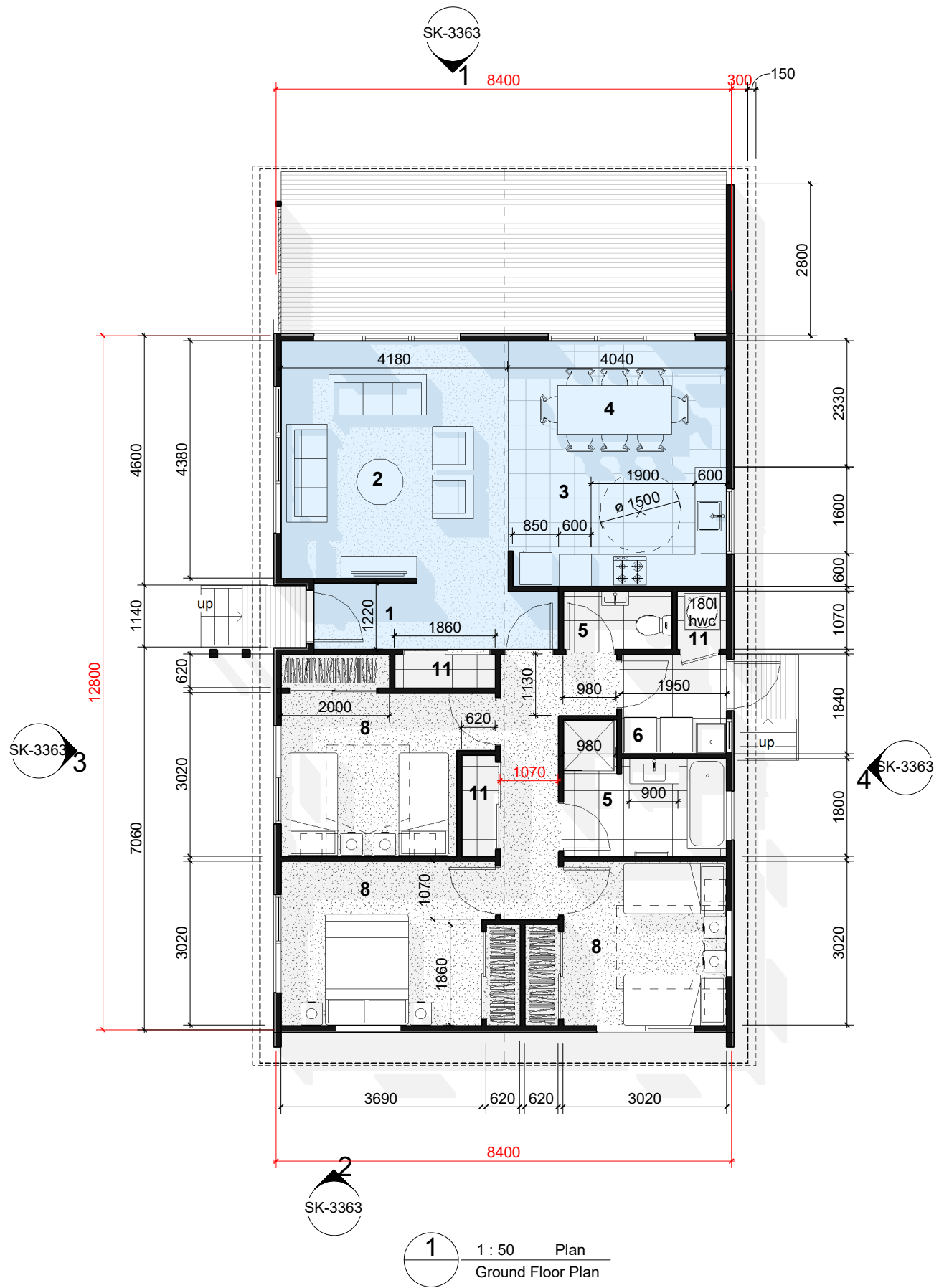
Drawing Scale @ A1 =  
 As indicated  
 Half scale for reduced A3 drawings  
  
 Scale: 1:100 @ A3

Revision & Date  
 A Resource Consent 2024-08-30  
 B Resource Consent 2024-09-17

Level 4, SKHY  
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 www.astudioarchitects.com

Drawing No: **RC-3350** Revision **B**  
 Project No: 2415  
**A STUDIO ARCHITECTS**

Combined **KDL** measured to inside face of external wall framing - refer summary



1 : 50 Plan  
Ground Floor Plan

Combined KDL measured to inside face of external wall framing - refer summary

Nett Area - Room & Floor Finishes		
Name	Area	Floor Finish
Bathroom	6.1 m <sup>2</sup>	Vinyl
Bathroom	2.1 m <sup>2</sup>	Vinyl
Bedroom	11.4 m <sup>2</sup>	Carpet
Bedroom	9.1 m <sup>2</sup>	Carpet
Bedroom	10.5 m <sup>2</sup>	Carpet
Hall	6.4 m <sup>2</sup>	Carpet
Kitchen & Dining	18.2 m <sup>2</sup>	Vinyl
Laundry	3.6 m <sup>2</sup>	Vinyl
Lounge	23.8 m <sup>2</sup>	Carpet
Robe	1.2 m <sup>2</sup>	Carpet
Robe	1.2 m <sup>2</sup>	Carpet
Robe	1.2 m <sup>2</sup>	Carpet
Storage	1.0 m <sup>2</sup>	Vinyl
Storage	1.2 m <sup>2</sup>	Vinyl
Storage	1.2 m <sup>2</sup>	Vinyl

Nett Area - Storage			
Name	Area	Store Height	Volume
Storage	1.00 m <sup>2</sup>	2.4m	2.39 m <sup>3</sup>
Storage	1.15 m <sup>2</sup>	2.4m	2.77 m <sup>3</sup>
Storage	1.15 m <sup>2</sup>	2.4m	2.77 m <sup>3</sup>
Grand total	3.30 m <sup>2</sup>		7.92 m <sup>3</sup>

Nett Area - Robe			
Name	Area	Store Height	Volume
Robe	1.24 m <sup>2</sup>	2.4m	2.98 m <sup>3</sup>
Robe	1.15 m <sup>2</sup>	2.4m	2.77 m <sup>3</sup>
Robe	1.15 m <sup>2</sup>	2.4m	2.77 m <sup>3</sup>
Grand total	3.55 m <sup>2</sup>		8.51 m <sup>3</sup>

A separate laundry is required  
**3m<sup>2</sup> minimum 560mm wide tub required.**  
 living & dining seating for minimum **8 people**  
 1 x **2 kW** Heater is to be provided in living space  
 All main interior doors are **860mm** wide leafs  
 Front door is **910mm** wide leaf  
 Back door is **910mm** wide leaf  
**A Deck or Patio** area of minimum 10m<sup>2</sup> with a minimum width of 2.5m is to be provided  
**Floor to Ceiling** height is nominal 2450mm

Kāinga Ora - 3 Bedroom House - Key Area Summary		
	Required (min)	Design Provides
Single Storey	GFA 95m <sup>2</sup>	GFA <b>106.8m<sup>2</sup></b>
Kitchen, Dining, Living. <b>KDL</b>	KDL 46m <sup>2</sup> *	<b>KDL ~42m<sup>2</sup></b>
Master Bedroom	1 x 10m <sup>2</sup>	<b>1 x 11.4m<sup>2</sup></b>
Bedrooms	1 x 9m <sup>2</sup>	<b>1 x 10.5m<sup>2</sup> 2 x 9.0m<sup>2</sup></b>
Storage	? m <sup>2</sup>	<b>3.3m<sup>2</sup></b>
Robes	? m <sup>2</sup>	<b>3.5m<sup>2</sup></b>

\* A reduced KDL area may be possible (KO discretion)

**3 Bedroom Single Level**

**Lot 13**

Single Storey  
3 Bedrooms  
1 Bathroom

**APPROVED PLAN**  
 Planner: SMaharaj  
 RC: 2250131-RMACOM  
 Date: 27/09/2024

- Space Legend
- 1 Entry
  - 2 Lounge
  - 3 Kitchen
  - 4 Dining
  - 5 Bathroom
  - 6 Laundry
  - 8 Bedroom
  - 11 Storage

Floor Plan orientation to North may vary. Plans may mirror and/or rotate. Refer to the master plan for individual lot context

Floor Area Schedule		
Level	Name	Area
Ground Floor	Unit	106.79 m <sup>2</sup>
		106.79 m <sup>2</sup>

The floor areas are measured to the outside face of the timber wall framing, (excluding the cladding and cavity zone).

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Project Name  
**Mangakahia Road**  
 for Gemscott Limited  
 Drawing Title  
**3 Bed - single level - Lot 13 - Floor Plans**

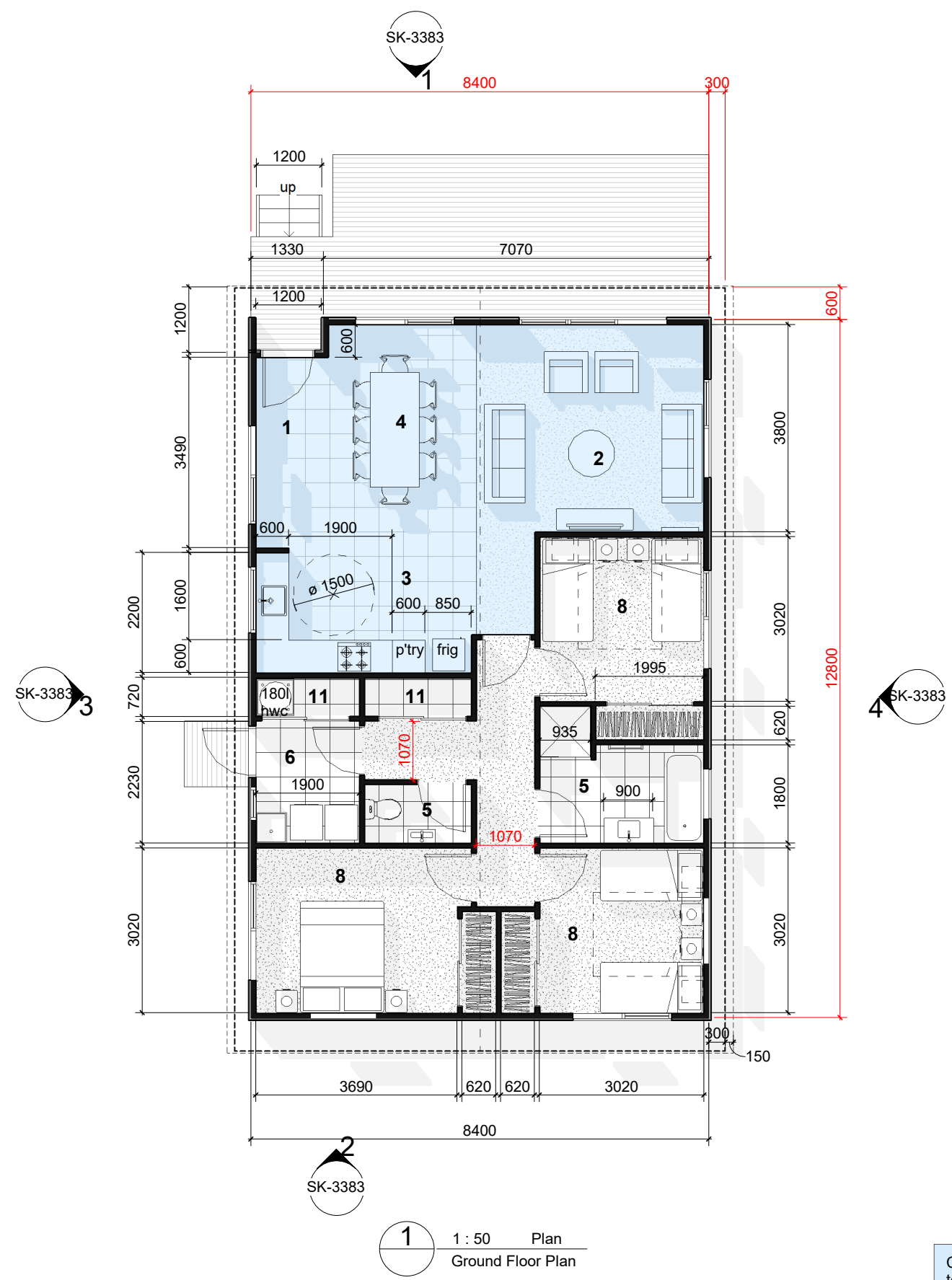
Project Address  
12-16 Mangakahia Road, Kaikohe, Northland

Drawing Scale @ A1 =  
As indicated  
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 Scale: 1:100 @ A3

Revision & Date  
 A Resource Consent 2024-08-30  
 B Resource Consent 2024-09-17

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Drawing No: **RC-3360** Revision **B**  
 Project No: 2415  
**A STUDIO ARCHITECTS**



1 1:50 Plan  
Ground Floor Plan

Nett Area - Room & Floor Finishes		
Name	Area	Floor Finish
Bathroom	6.1 m <sup>2</sup>	Vinyl
Bathroom	2.1 m <sup>2</sup>	Vinyl
Bedroom	11.4 m <sup>2</sup>	Carpet
Bedroom	9.1 m <sup>2</sup>	Carpet
Bedroom	9.1 m <sup>2</sup>	Carpet
Hall	7.4 m <sup>2</sup>	Carpet
Kitchen & Dining	24.9 m <sup>2</sup>	Vinyl
Laundry	4.2 m <sup>2</sup>	Vinyl
Lounge	17.9 m <sup>2</sup>	Carpet
Robe	1.2 m <sup>2</sup>	Carpet
Robe	1.2 m <sup>2</sup>	Carpet
Robe	1.2 m <sup>2</sup>	Carpet
Storage	1.4 m <sup>2</sup>	Vinyl
Storage	1.4 m <sup>2</sup>	Vinyl

**3 Bedroom  
Single Level**

**Type F**

Nett Area - Storage			
Name	Area	Store Height	Volume
Storage	1.37 m <sup>2</sup>	2.4m	3.28 m <sup>3</sup>
Storage	1.41 m <sup>2</sup>	2.4m	3.39 m <sup>3</sup>
Grand total	2.78 m <sup>2</sup>		6.67 m <sup>3</sup>

Single Storey  
3 Bedrooms  
1 Bathroom

Nett Area - Robe			
Name	Area	Store Height	Volume
Robe	1.24 m <sup>2</sup>	2.4m	2.97 m <sup>3</sup>
Robe	1.15 m <sup>2</sup>	2.4m	2.77 m <sup>3</sup>
Robe	1.15 m <sup>2</sup>	2.4m	2.77 m <sup>3</sup>
Grand total	3.54 m <sup>2</sup>		8.50 m <sup>3</sup>

**APPROVED PLAN**  
Planner: SMaharaj  
RC: 2250131-RMACOM  
Date: 27/09/2024

- Space Legend
- 1 Entry
  - 2 Lounge
  - 3 Kitchen
  - 4 Dining
  - 5 Bathroom
  - 6 Laundry
  - 8 Bedroom
  - 11 Storage

A separate laundry is required  
**3m<sup>2</sup>** minimum **560mm** wide tub required.  
living & dining seating for minimum **8 people**  
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Back door is **910mm** wide leaf  
**A Deck or Patio** area of minimum 10m<sup>2</sup> with a minimum width of 2.5m is to be provided  
**Floor to Ceiling** height is nominal 2450mm

Floor Area Schedule		
Level	Name	Area
Ground Floor	Unit	106.80 m <sup>2</sup>
		106.80 m <sup>2</sup>

Kāinga Ora - 3 Bedroom House - Key Area Summary		
Housing Standard: Design **** - Appendix * Table * Summary		
	Required (min)	Design Provides
Single Storey	GFA 95m <sup>2</sup>	GFA <b>106m<sup>2</sup></b>
Kitchen, Dining, Living. <b>KDL</b>	KDL 46m <sup>2</sup> *	<b>KDL ~42.8m<sup>2</sup></b>
Master Bedroom	1 x 10m <sup>2</sup>	<b>1 x 11.4m<sup>2</sup></b>
Bedrooms	1 x 9m <sup>2</sup>	<b>2 x 9.0m<sup>2</sup></b>
Storage	? m <sup>2</sup>	<b>2.8m<sup>2</sup></b>
Robes	? m <sup>2</sup>	<b>3.5m<sup>2</sup></b>

The floor areas are measured to the outside face of the timber wall framing, (excluding the cladding and cavity zone).

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\* A reduced **KDL** area may be possible (KO discretion)

**RESOURCE CONSENT**

Combined **KDL** measured to inside face of external wall framing - refer summary

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Project Name  
**Mangakahia Road**  
for Gemscott Limited  
Drawing Title  
**3 Bed - single level - Type F - Floor Plans**

Project Address  
12-16 Mangakahia Road, Kaikohe, Northland

Drawing Scale @ A1 =  
As indicated  
Half scale for reduced A3 drawings  
0 1 2 3m  
Scale: 1:100 @ A3

Revision & Date  
o A Resource Consent 2024-08-30  
o B Resource Consent 2024-09-17

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Drawing No: **RC-3380** Revision **B**  
Project No: 2415  
**A STUDIO ARCHITECTS**





Resource Consent Landscape Package for

Gemscott Kaikohe Limited

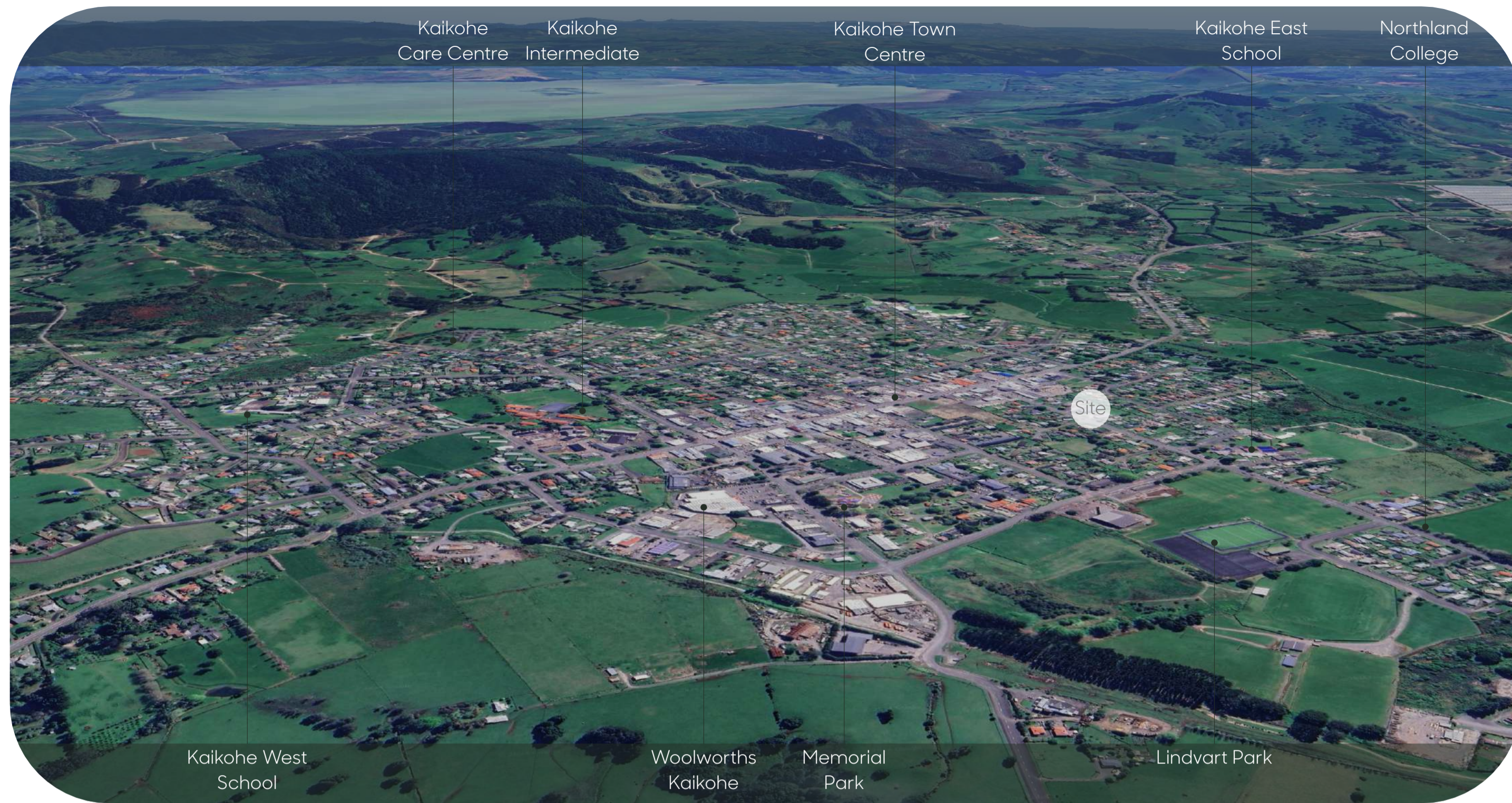
12 - 16 Mangakahia Road, Kaikohe,  
Northland

APPROVED PLAN  
Planner: SMaharaj  
RC: 2250131-RMAGOM  
Date: 27/09/2024

Drawing Number:	Drawing Description:	Drawing Issue Date:
2059/01	- Site Context & Local Character	28/08/24
2059/02	- General Arrangement Landscape Plan	28/08/24
2059/03	- Planting Plan	28/08/24
2059/04	- Plant Palette	28/08/24
2059/05	- Planting Details	28/08/24
2059/06	- Hardscape Plan	28/08/24
2059/07	- Fencing Plan	28/08/24
2059/08	Fencing Details 01	28/08/24
2059/09	Fencing Details 02	28/08/24

[greenwoodassociates.co.nz](http://greenwoodassociates.co.nz)





Kaikohe is located in the Far North of the North Island. It is a place that is rich in both Maori and European history. The town is sometimes referred to as 'the hub of the North' due to its being the central service point of Northland



The town is accessible by driving or by taking the bus, which connects Kaikohe to the rest of Northland. The site is located approximately 400m from Kaikohe Town Centre. The existing neighbourhood is a low density single storey residential area.



Lake Ōmāpere, situated north of Kaikohe, is the largest lake in the Northland region. The lake is 2.6 m deep, has a length of 5 km, and holds significant cultural and environmental values to the region.



Memorial Park is a spacious public park that is well equipped with a playground, picnic tables and a footpath that winds through the park.



There are a number of educational providers within walking distance from site which area Kaikohe East School, Kaikohe Christian School and Te Kohanga Reo o Kaikohe Kindergarten are all located within 5 minute walking distance.



V1: Existing frontage of 12 (left) and 14 Mangakahia Road (right) looking North East. There is one vehicle crossing located along the western boundary, with a low steel mesh fence separating it from the neighbor property. The boundary fence adjoining 14 Mangakahia Road is a high timber fence with a low section at the front.



V2: Existing frontage of 14 Mangakahia Road, looking north-east. A group of vegetation consisting of mature trees and shrubs can be found at the frontage. There is one vehicle crossing located on the boundary neighboring 16 Mangakahia Road.



V3: Existing frontage of 14 (left) and 16 Mangakahia Road (right), looking North East. There is no existing vehicle crossing, however, vegetation can be seen from the street. No existing fence is present along the frontage.



Specimen Titoki trees to add height to the landscaping whilst softening common boundaries with neighbouring properties.

Existing vehicle crossing to be removed. Berm and path to be re-instated

Existing tree to be removed

Pou to be confirmed

Kauri to be retained

Upright native trees to add height to the landscaping within the JOAL

Existing vehicle crossing to be removed. Berm and path to be re-instated

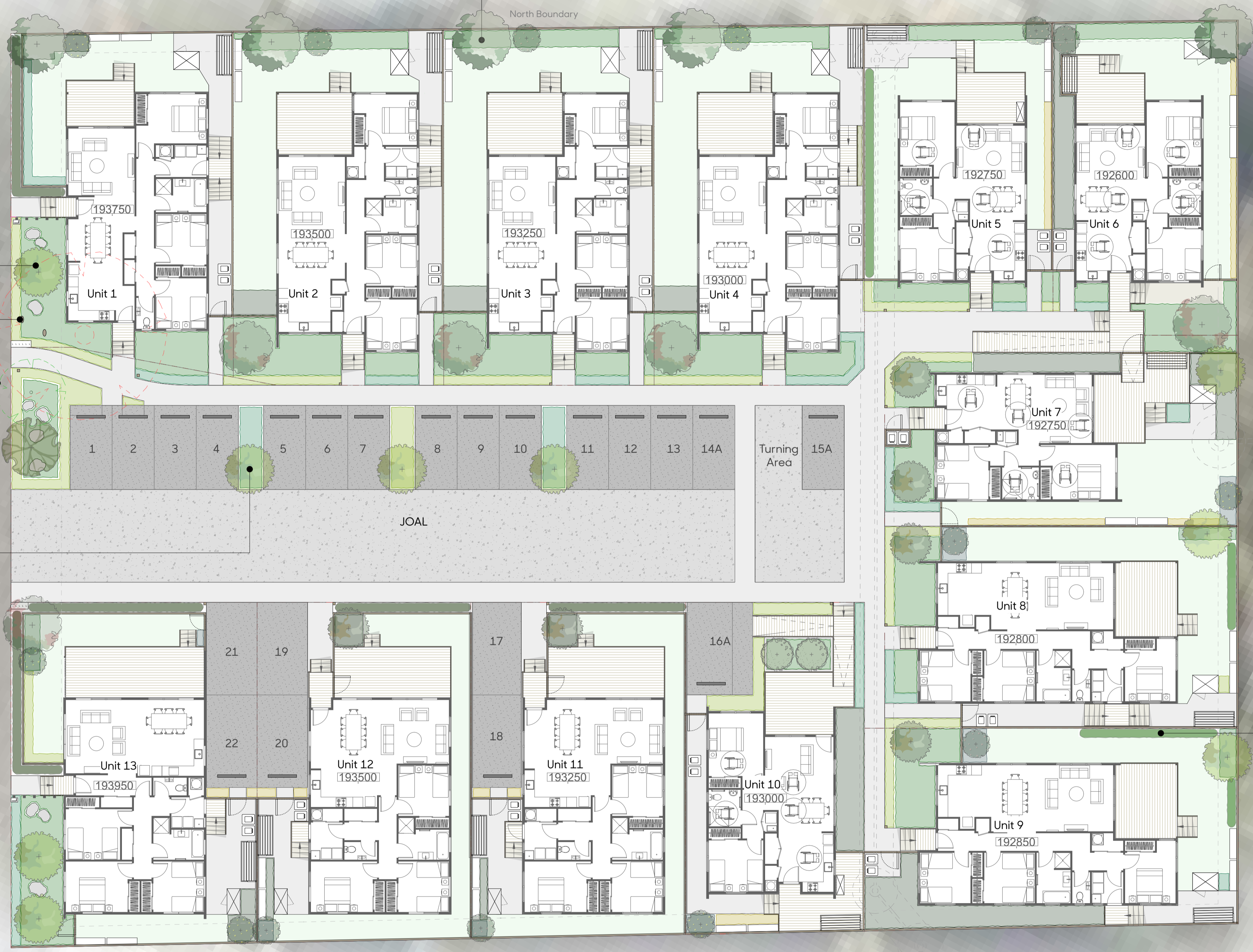
Mangakahia Road

West Boundary

North Boundary

East Boundary

South Boundary



**APPROVED PLAN**  
 Planner: SMaharaj  
 RC: 2250131-RMACOM  
 Date: 27/09/2024

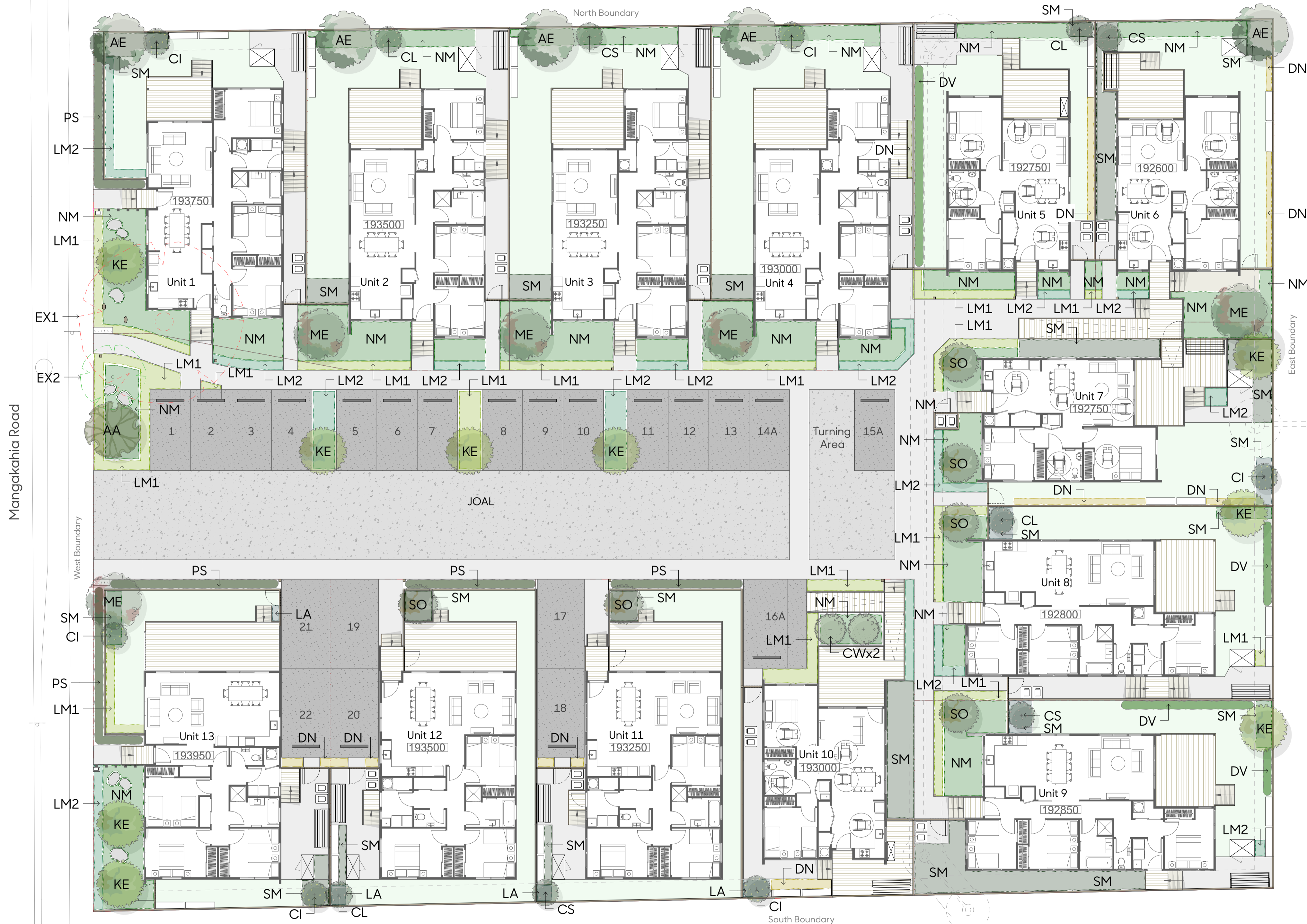
Hedge along internal boundaries provides a sense of privacy between each respective unit

- |                         |                       |                     |                     |                   |                    |              |
|-------------------------|-----------------------|---------------------|---------------------|-------------------|--------------------|--------------|
| Existing tree to remain | Native specimen trees | Fruit trees         | Low planting Mix    | Narrow planting   | Permeable concrete | Lawn         |
| Existing tree to remove | Small native trees    | Pittosporum hedging | Native planting mix | Standard concrete | Decking            | Wheelie bins |
|                         | Screening shrubs      | Akeake hedging      | Shade planting Mix  | Exposed concrete  | Bark               | Gates        |





10 Mangakahia Road



Code	Botanical Name	Common Name	Grade	Spacing
<b>Trees</b>				
AA	<i>Agathis australis</i>	kauri	45L	Marked
AE	<i>Alectryon excelsus</i>	titoki	45L	Marked
ME	<i>Metrosideros excelsa 'Vibrance'</i>	pōhutukawa	45L	Marked
KE	<i>Knightia excelsa</i>	rewarewa	45L	Marked
SO	<i>Sophora tetraptera</i>	north island kōwhai	45L	Marked
CW	<i>Pseudopanax lessonii 'Cyril Watson'</i>	houpara	8L	Marked
CI	<i>Citrus x limon</i>	lemon	8L	Marked
CS	<i>Citrus x sinensis</i>	orange navel	8L	Marked
CL	<i>Citrus x latifolia</i>	tahitian lime	8L	Marked
<b>Hedges</b>				
DV	<i>Dodanea viscosa</i>	akeake	8L	800mm
PS	<i>Pittosporum 'Stephens Island'</i>	nz pittosporum	8L	800mm
<b>Shrubs, grasses &amp; groundcovers</b>				
DN	<i>Dianella nigra</i>	turutu	2L	400mm
LA	<i>Lobelia angulata</i>	panakenake	2L	800mm
<b>LM1 Low Planting Mix 1*</b>				
40%	<i>Libertia ixioides</i>	mikoikoi	2L	600mm
40%	<i>Carex comans 'Frosted Curls'</i>	sedge	2L	600mm
20%	<i>Lobelia angulata</i>	panakenake	2L	600mm
<b>LM2 Low Planting Mix 2*</b>				
40%	<i>Libertia peregrinans</i>	mikoikoi	2L	800mm
40%	<i>Carex testacea</i>	speckled sedge	2L	800mm
20%	<i>Muehlenbeckia complexa</i>	pohuehue	2L	800mm
<b>SM Shade Tolerant Planting Mix*</b>				
40%	<i>Dianella nigra</i>	turutu	2L	600mm
40%	<i>Asplenium bulbiferum</i>	pikopiko	2L	600mm
20%	<i>Fuchsia procumbens</i>	creeping fuchsia	2L	600mm
<b>NM Native Planting Mix*</b>				
25%	<i>Astelia banksii</i>	kowharawhara	2L	800mm
25%	<i>Coprosma repens 'Poor Knights'</i>	taupata	2L	800mm
25%	<i>Phormium 'Emerald Gem'</i>	dwarf wharariki	2L	800mm
25%	<i>Arthropodium cirratum</i>	rengarenga	2L	800mm
EX1	Existing tree to be removed			
EX2	Existing kauri tree to be retained			

Notes: \*Planting mixes to be planted in species groups of 3 min. for small garden (<9m2) and 5 min. for larger gardens (>9m2)



APPROVED PLAN  
Planner: S Manara  
RC: 226013-RMAGOM  
Date: 27/09/2024





SPECIMEN TREES

FRUIT TREES



AA

*Agathis australis*



AE

*Alectryon excelsus*



ME

*Metrosideros excelsa* 'Vibrance'



KE

*Knightia excelsa*



SO

*Sophora tetraptera*



CL

*Citrus x latifolia*



CS

*Citrus sinensis*

HEDGING, SHRUBS & GROUNDCOVERS



CW

*Pseudopanax lessonii* 'Cyril Watson'



DV

*Dodonaea viscosa* - hedge



PS

*Pittosporum ralphii* 'Stephens Island' - hedge



DN

*Dianella nigra*



LA

*Lobelia angulata*



CL

*Citrus limon*

LOW PLANTING MIX 1

LOW PLANTING MIX 2



LM1

*Libertia ixioides*



LM1

*Carex comans* 'Frosted Curls'



LM1

*Lobelia angulata*



LM2

*Libertia peregrinans*



LM2

*Carex testacea*



LM2

*Muehlenbeckia complexa*

APPROVED PLAN  
Planner: SMaharaj  
RC: 2250131-RMACOM  
Date: 27/09/2024

SHADE TOLERANT PLANTING MIX

NATIVE PLANTING MIX



SM

*Dianella nigra*



SM

*Asplenium bulbiferum*



SM

*Fuchsia procumbens*



NM

*Astelia banksii*



NM

*Coprosma* 'Poor Knights'



NM

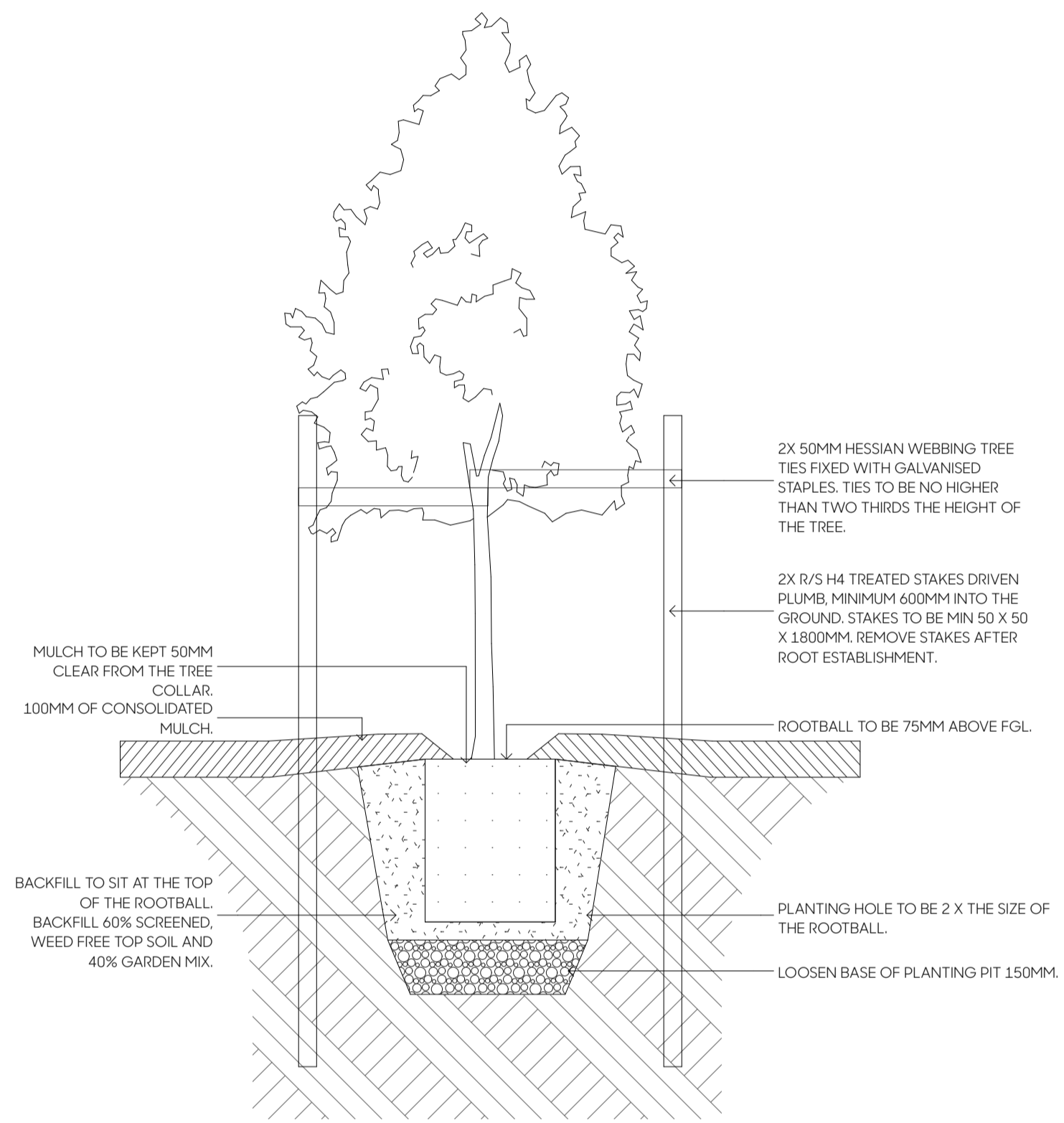
*Phormium* 'Emerald Gem'



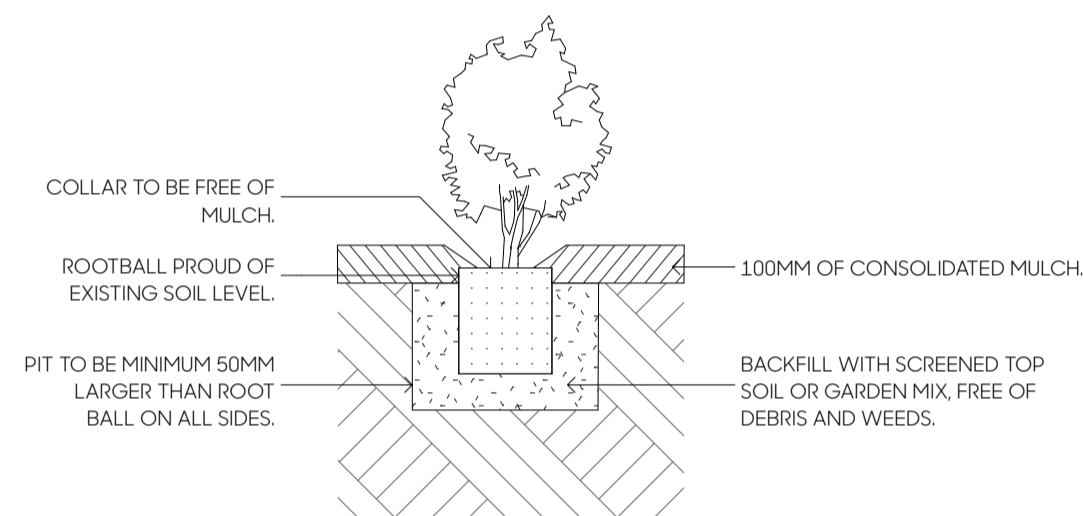
NM

*Arthropodium cirratum*

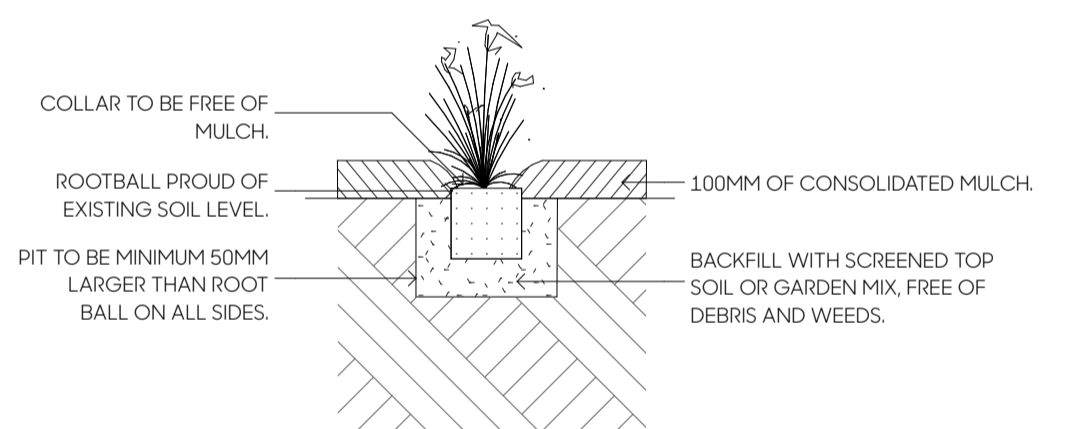




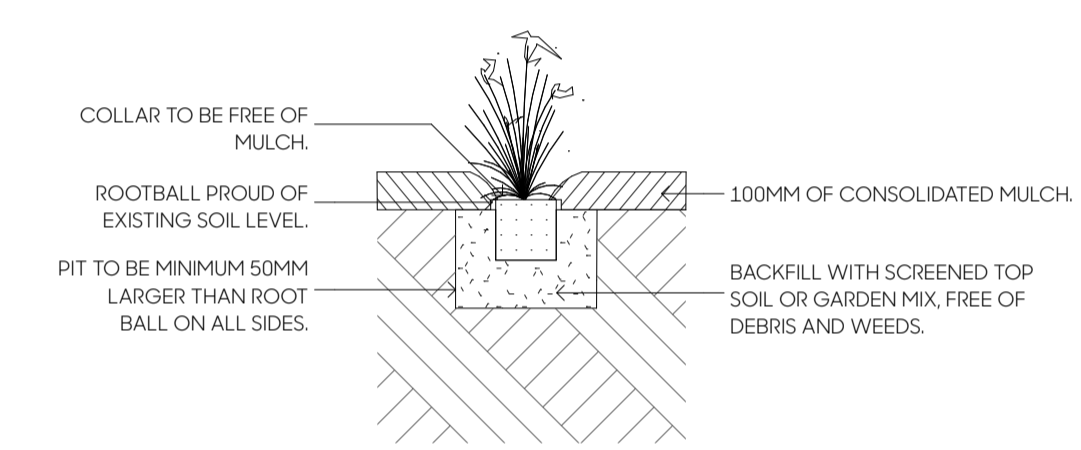
PD-01: TREE IN GARDEN  
1:15 @ A1, 1:30 @ A3



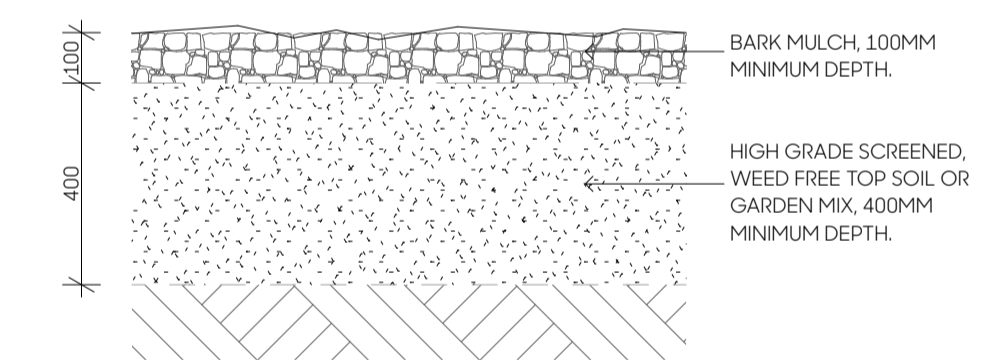
PD-02: PB12 (8L) SHRUB IN GARDEN  
1:15 @ A1, 1:30 @ A3



PD-03: PB5 (3L) SHRUB/GRASSES IN GARDEN  
1:15 @ A1, 1:30 @ A3



PD-04: PB3 (2L) SHRUB/GRASSES IN GARDEN  
1:15 @ A1, 1:30 @ A3



PD-05: GARDEN BEDS  
1:15 @ A1, 1:30 @ A3

**APPROVED PLAN**  
Planner: SMaharaj  
RC: 2250131-RMACOM  
Date: 27/09/2024



Code	Name	Specification
<b>Hardscape Surfaces</b>		
SC	Standard concrete - Pedestrian	100mm thick, standard concrete, broom finish, no oxide
SC1	Standard concrete - Vehicular	150mm thick, standard concrete, broom finish, no oxide
EA	Exposed aggregate concrete	150mm thick, standard concrete, exposed finish, no oxide
PC	Permeable concrete	Permacon permeable concrete, charcoal finish
DE	Timber decking	Pine decking
LA	Lawn	PGG Wrightson DuraVeg <sup>®</sup> Berm Mix Sowing Rate: 30-50g/m <sup>2</sup>
BA	Bark chip	High grade bark chip, No4 20-25mm
<b>Hardscape Elements</b>		
CC	Compact folding clothes line	Austral Compact Fold Down AUC28WG (2.4mX0.9m) (28m line)
TA	Stormwater tank	Refer to Civil Engineer's drawings for specifications
SS	Storage shed	Garden Master sheds GM1511 (1.53mX1.08m)
SH	Storage shed	Garden Master sheds GM1508 (1.53mX0.785m)
SB	Storage box	Keter Comfy storage box 270L
LE	Letterbox	Box Design 'Urban' letterbox (W250xH190xD400mm), front opening, black powder coat finish, lockable, adhesive street numbers. Integrate or fix to timber posts/ bollards on street frontage.
LB	Letterbox bank	Letterbox bank consists of 6 x Box Design 'Urban' letterbox (W250xH190xD400mm), front opening, black powder coat finish, lockable, adhesive street numbers
LT	Letterbox bank	Letterbox bank consists of 5 x Box Design 'Urban' letterbox (W250xH190xD400mm), front opening, black powder coat finish, lockable, adhesive street numbers
BL	Bollard	1000mm high timber bollard with individual unit numbers routed or applied to the timber. Potential LED light to be incorporated into timber
BO	Basalt boulder	Basalt boulders to be incorporated along the street frontage
WS	Wheel stop	Hardwood timber or rubber wheel stops
BS	Bin storage	Bin storage area
PO	Pou	Location and orientation to be confirmed with Iwi



Standard concrete



Letterbox fixed to timber bollard



Permeable concrete



Letterbox bank



Feature basalt rocks in garden, sourced from the far north region



Timber bollard unit signage for wayfinding/ potential LED lighting opportunity.

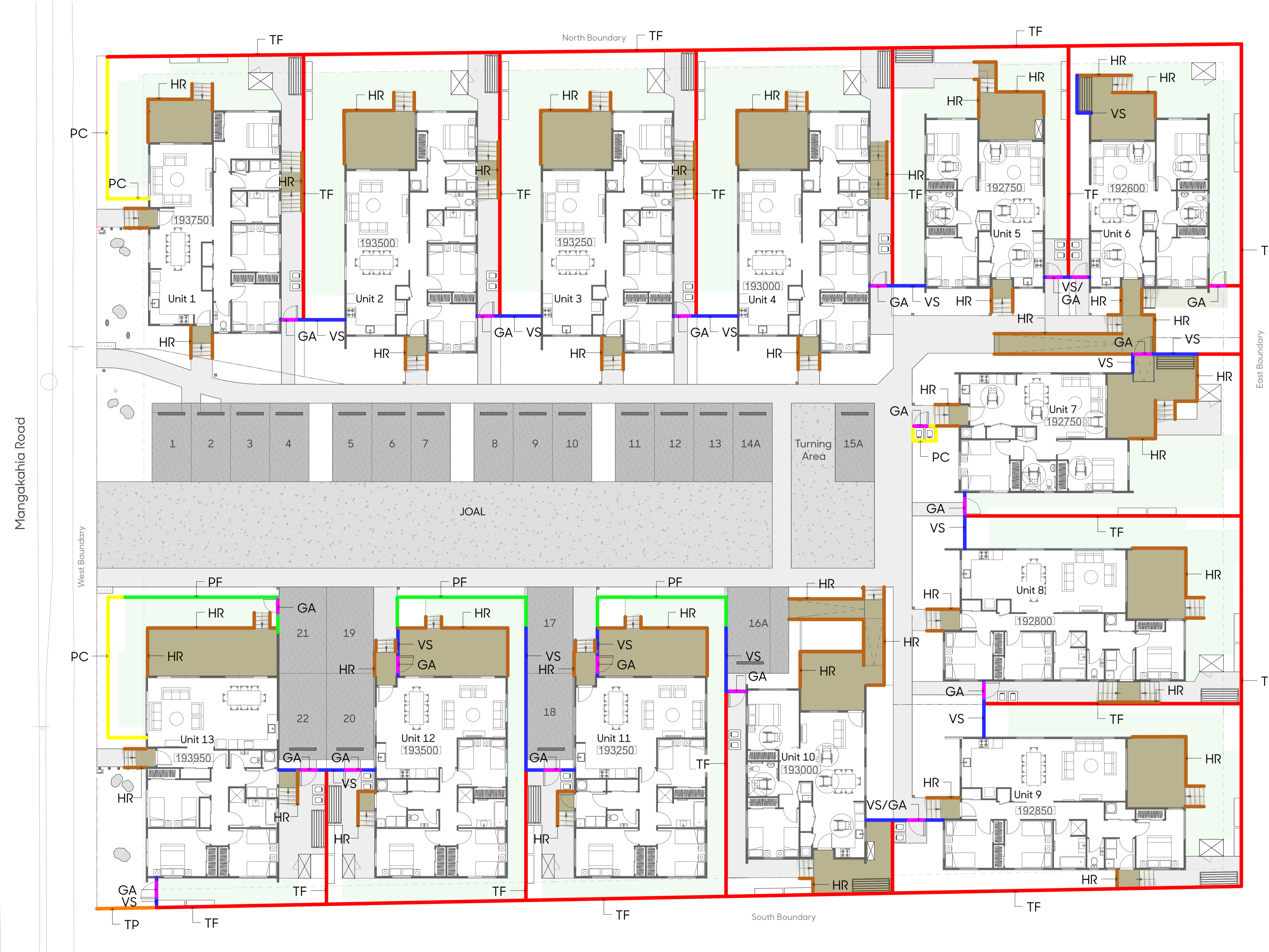
Feature basalt rocks





Code	Name	Specification
TF	Timber paling fence	1.8m high, 150x25mm H3.2 vertical palings, no spacing
TP	Timber paling fence	1.2m high, 150x25mm H3.2 vertical palings, no spacing
VS*	Vertical slatted screen	1.8m high, aluminium vertical slatted screen, 15mm spacing, black finish
PF	Vertical picket fence	1.5m high, 65mm aluminium picket fence, black finish
PC	Vertical picket fence	1.2m high, 65mm aluminium picket fence, black finish
HR**	Balustrade/handrail	1.2m high, aluminium picket or batten balustrade, black finish.
GA	Gate to match fence intersecting	Self-closing hinges, child proof latch, discourages climbing

\*Note: Fence height to be measured from top of decking where located on decks  
 \*\*Note: Handrails to be fixed to balustrade on ramps and stairs. Balustrades to be fixed to decks where falls are over 500mm



1.8m Timber paling fence



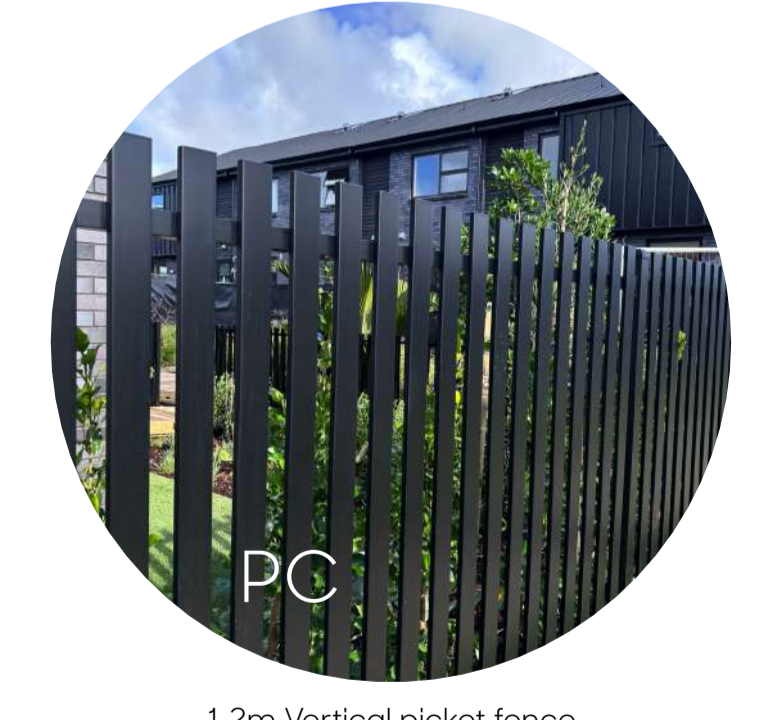
1.2m Timber paling fence



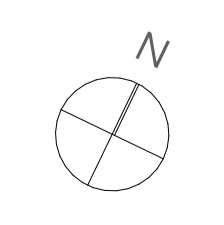
1.8m Vertical slatted screen



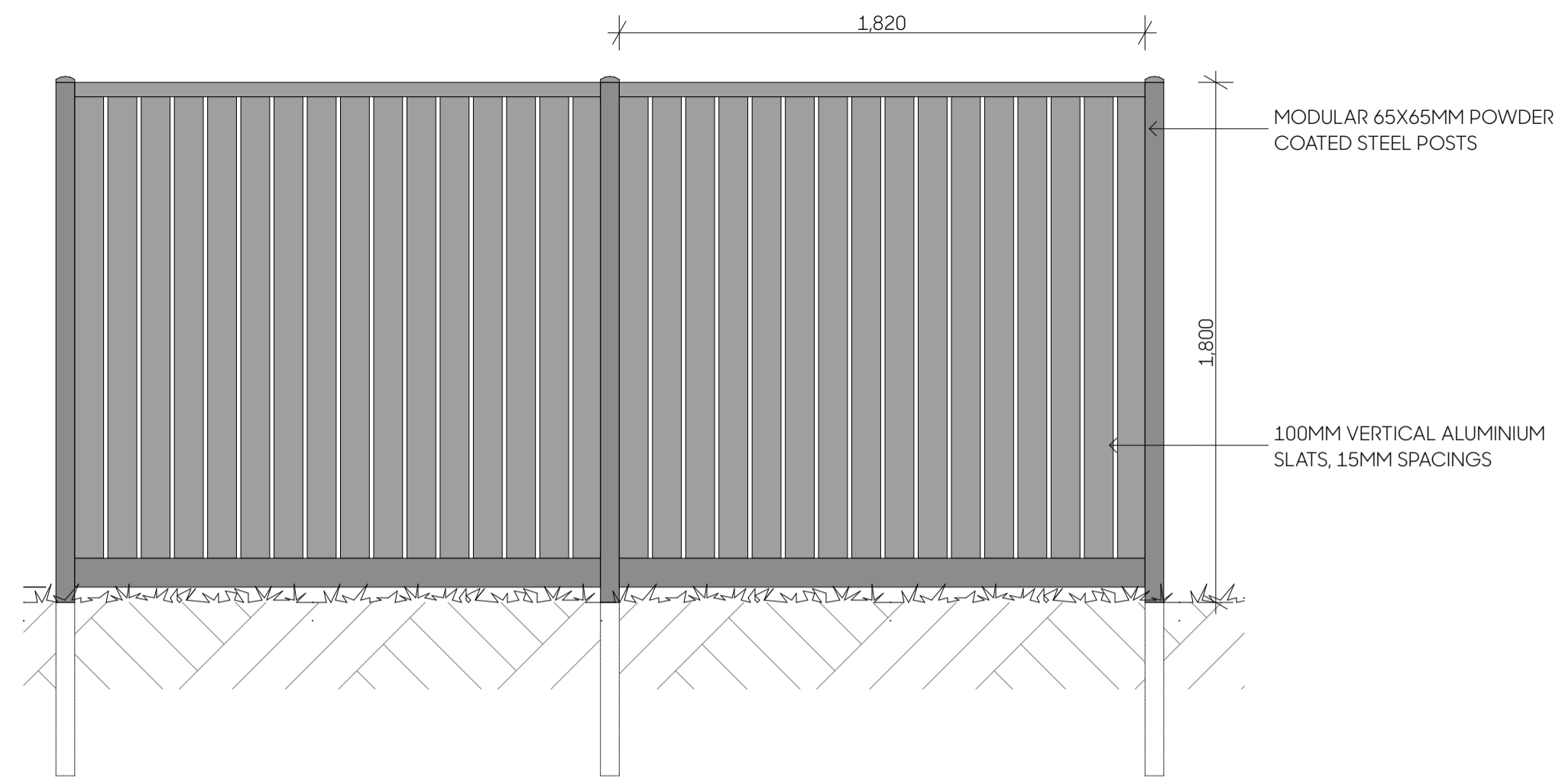
1.5m Vertical picket fence



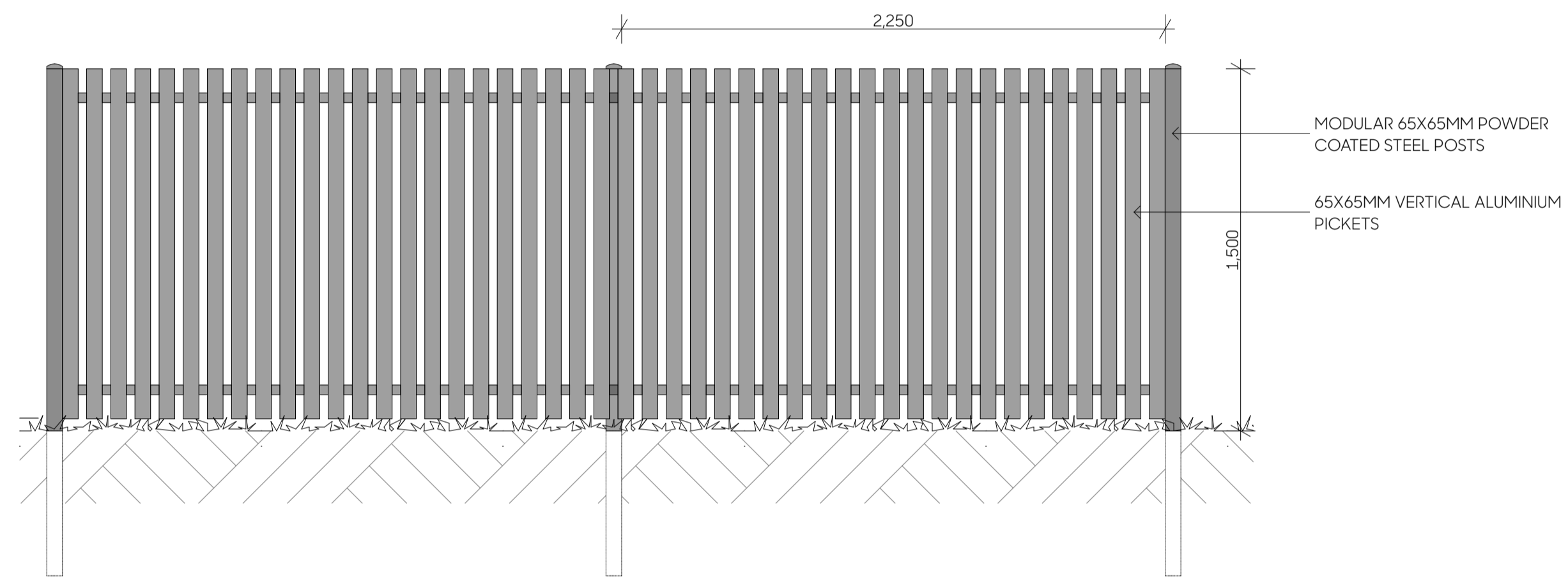
1.2m Vertical picket fence







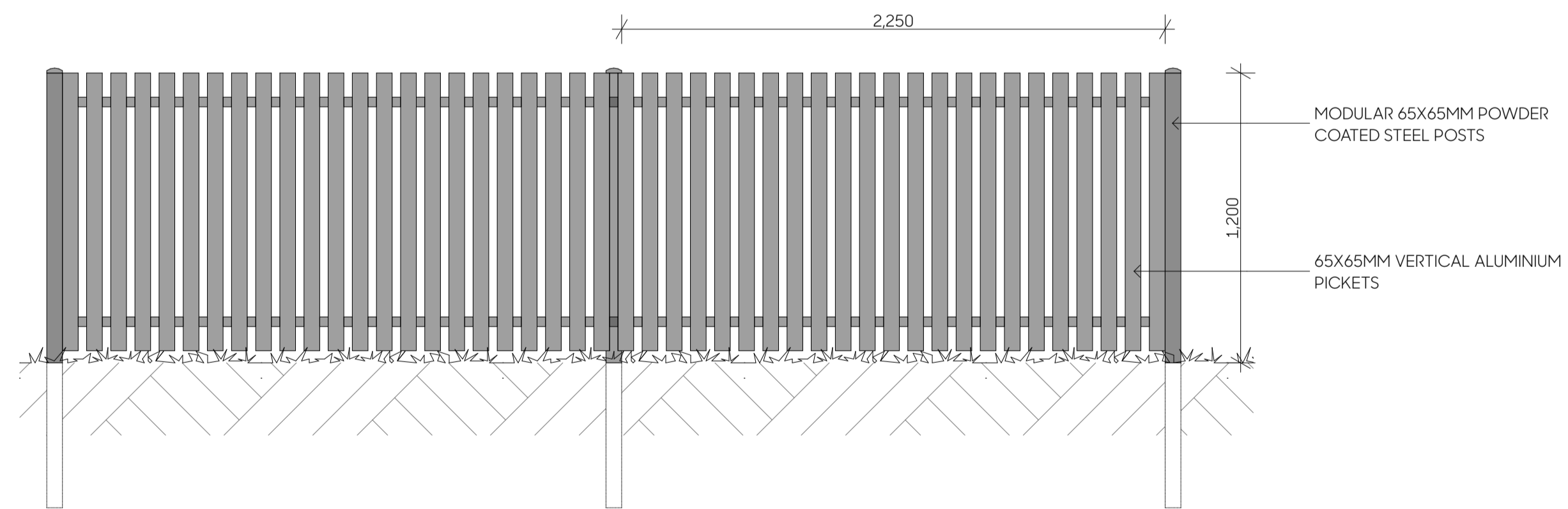
FD-VS: 1.8M ALUMINIUM SLATTED SCREEN 1:20@A1 / 1:40@A3



FD-PF: 1.5M ALUMINIUM PICKET FENCE 1:20@A1 / 1:40@A3



APPROVED PLAN  
 Planner: SMaharaj  
 RC: 2250131-RMACOM  
 Date: 27/09/2024



FD-PC: 1.2M ALUMINIUM PICKET FENCE 1:20@A1 / 1:40@A3



NOTES: ALL FENCE POSTS TO BE IN 300MM DIAMETER CONCRETE ENCASEMENT TO A MINIMUM DEPTH THAT IS 1/3 OF THE TOTAL FENCE HEIGHT UNLESS OTHERWISE SPECIFIED.





## APPENDIX D: COMPLETE SET OF PROPOSED CONDITIONS FOR 2250131-RMACOM

### General Compliance

1. The development shall be carried out in accordance with the attached stamped plans and information submitted with the resource consent application, except where modified by the following conditions.
2. Pursuant to section 116 of the Resource Management Act 1991, this consent shall not commence until written approval has been obtained from the owners of 18-20 Mangakahia Road (Kohewhata 44B 11 Block, NA903/168). The consent holder shall provide evidence of this written approval to Council prior to the commencement of any works authorized by this consent.

Note: This condition is imposed to enable the placement of a sewer manhole at 18-20 Mangakahia Road and to address potential effects, particularly in relation to sunlight access for future residential development of that property. If written approval is not obtained, the consent holder may apply to Council for a change or cancellation of this condition under section 127 of the Resource Management Act 1991.

### Prior to Commencement of Construction

#### *Engineering Design & Approval*

3. The consent holder shall submit detailed engineering designs, plans, and specifications for all works which are to vest in Council for approval prior to commencing construction. These shall be designed in accordance with Council's Engineering Standards and Guidelines 2023, and shall include:

#### *Stormwater*

- a. The extension of the public stormwater network along Purdy Street, for approval by Council.
- b. Evidence that consent has been obtained for the registration of all necessary easements for the stormwater extension through private property (specifically 9 Purdy Street).
- c. Reference to, and incorporation of the recommendations of the CKL Engineering and Infrastructure Report dated 20 September 2024 and the CKL Stormwater Management Plan dated 20 September 2024.
- d. All new stormwater assets within the subdivision shall remain in private ownership except those that are to be vested to council, in particular 2 manholes and line as approved under Condition 1.

#### *Wastewater*

- e. The re-aligned public sewer line being clear of any buildings or landscaped/planted areas.



- f. A construction management plan for the re-alignment of the public sewer line.

#### *Water Supply*

- g. Engineering designs shall include details of all valves, fittings, hydrants, and meters.
  - h. Water meters shall be located within the roadside berms in accordance with the FNDC Engineering Standards and Guidelines 2023.
4. Stormwater disposal systems shall be designed in accordance with the recommendations provided in Section 14 of the geotechnical report. Any proposal for deep bore soakage shall be subject to further investigation and specific approval from Council.

#### *Geotechnical*

5. The consent holder shall engage a suitably qualified geotechnical engineer to carry out inspections during construction to ensure that the work is carried out in accordance with the approved plans and the recommendations of the geotechnical report. The geotechnical engineer shall provide a Producer Statement - Construction Review (PS4) upon completion of the works.

#### *Construction Management*

6. A Chartered Professional Engineer shall determine the level of construction monitoring (CM1-CM5) required to certify a PS4.
7. All existing underground services shall be located, marked, and adequately protected prior to works commencing.
8. The consent holder shall submit a Traffic Management Plan (TMP) for approval by Council's Corridor Access Engineer and obtain a Corridor Access Request (CAR) for the construction of the new vehicle crossing onto Mangakahia Road (SH15).
9. The consent holder shall submit a site-specific Construction Management Plan (CMP) for approval by Council. The CMP shall detail how the recommendations of the Soil & Rock Consultants geotechnical report dated 17 July 2024 (Ref: NL240078) will be implemented during construction.
10. All topsoil, non-engineered fill, vegetation, organic or otherwise unsuitable material shall be removed from under building platforms, floor slab and pavement areas prior to construction. The exposed subgrade shall be inspected and approved by a suitably qualified geotechnical engineer before any further works proceed.

#### **During Construction**

11. All earthworks shall be carried out under the supervision of a suitably qualified geotechnical engineer. The geotechnical engineer shall provide written confirmation that the earthworks have been completed in accordance with the recommendations of the geotechnical report and the approved CMP.

12. Any fill material required shall be placed and compacted in accordance with the recommendations of NZS 4431:2022 and under the supervision of a suitably qualified geotechnical engineer.
13. If ground conditions encountered during construction vary from those described in the geotechnical report, the consent holder shall immediately notify Council and seek advice from a suitably qualified geotechnical engineer.
14. Foundation design for all structures shall be in accordance with the recommendations provided in Section 11 of the geotechnical report. The final foundation design shall be reviewed and approved by a suitably qualified geotechnical engineer prior to Building Consent application.
15. For units 4-5 and 7-10, which are in close proximity to the underground public wastewater line, specific foundation designs considering bridging or piled foundations shall be provided and approved by a suitably qualified geotechnical engineer prior to Building Consent application.
16. All concrete floor slabs shall be designed and constructed in accordance with the recommendations provided in Section 13 of the geotechnical report, including appropriate subgrade preparation and protection measures.
17. All new connections to the existing public sewer scheme shall be undertaken by a Council approved operations contractor at the consent holder's cost. The contractor's details shall be submitted to council for approval prior to commencement of works to the existing public sewer scheme.
18. All new connections to the existing public water supply scheme shall be undertaken by Council's operations contractor at the consent holder's cost.
19. In conjunction with the construction of a dwelling within each Lot, an application to connect the dwelling to the Council water supply, stormwater and sewer schemes shall be submitted to Council for approval.
20. The consent holder shall be responsible for the reinstatement of footpaths, berms, kerb and channel, and vehicle crossings on Purdy Street on completion of the works.
21. The internal access way shall be formed and sealed to a minimum width of 5.5m, with 1.2m wide pedestrian footpaths on both sides. The formation shall include appropriate stormwater management measures such as kerbing or a concreted dish channel, catch pits, and culverts as required to control and direct the discharge of stormwater runoff.
22. Any damage to the existing road, footpath, or other Council assets caused as a result of the construction works shall be repaired by the consent holder to the satisfaction of Council's Roading Manager.

### *Landscaping*

23. The landscaping/planting approved by Condition 1 above, is to be implemented within the next planting season (1st May to 30th September) after completion of works on site and is to be maintained for the duration of the consent. Any



plants/trees that are removed or damaged are to be replaced as soon as possible, or within the next planting season (1st May to 30th September).

### *Stormwater*

- 23a. Stormwater runoff from buildings and impermeable surface areas shall be attenuated to 80% of pre-development levels for the 20% and 50% rain events plus an allowance for climate change, as per the CKL Stormwater Management Plan dated 20 September 2024.
- 23b. Overland/secondary flowpaths that can accommodate the 1% AEP rain event plus an allowance for climate change shall be provided and are to be unobstructed by buildings, other structures, or landscaping.
- 23c. Prior to the occupation of the respective dwellings, the consent holder shall install the proposed above ground tanks for individual dwellings in accordance with the proposed attenuation system as detailed in the approved Stormwater Management Plan.

### **Prior to s223 Certification**

- 24. Prior to certification under Section 223 of the Resource Management Act 1991, the survey plan must show:

#### *Easements*

- a. All easements as shown on the application plan shall be duly granted or reserved.
- b. Stormwater drainage easements in gross shall be endorsed on the survey plan for all public stormwater infrastructure located within private land.
- c. Wastewater drainage easements in gross shall be endorsed on the survey plan for all public wastewater infrastructure located within private land.
- d. Water supply easements in gross shall be endorsed on the survey plan for all public water supply infrastructure located within private land.

#### *Amalgamation Conditions*

- e. That Lot 100 (legal access) be held as to thirteen undivided 1/13th shares by the owners of Lots 1-13 hereon as tenants in common in the said shares and that individual computer registers be issued in accordance therewith.
- f. That Lot 101 (legal access) be held as to two undivided 1/2 shares by the owners of Lots 6 & 7 hereon as tenants in common in the said shares and that individual records of title be issued in accordance therewith.
- g. That Lots 1, 14 and 15 hereon be held in the same record of title.
- h. That Lots 2, 16 and 17 hereon be held in the same record of title.
- i. That Lots 3, 18 and 19 hereon be held in the same record of title.

- j. That Lots 4, 20 and 21 hereon be held in the same record of title.
- k. That Lots 5 and 22 hereon be held in the same record of title.
- l. That Lots 6 and 27 hereon be held in the same record of title.
- m. That Lots 7 and 28 hereon be held in the same record of title.
- n. That Lots 8, 23 and 24 hereon be held in the same record of title.
- o. That Lots 9, 25 and 26 hereon be held in the same record of title.

#### *Road Naming*

- p. The consent holder must provide evidence that a road/street/access name along with two alternatives have been provided to the Community Board for approval. The applicant is advised that in accordance with Community Board policy, road names should reflect the history of the Area.

Advice notes:

Please refer to the road naming policy and guidelines available on Council's website: [Road naming and renaming Far North District Council \(fndc.govt.nz\)](http://fndc.govt.nz)

This condition will not be deemed to be satisfied until the Community Board has approved the submitted names in writing.

### **Prior to s224 Certification**

#### *General*

- 25. Prior to the issue of the 224(c) certificate, the consent holder shall provide:
  - a. As-built plans of all infrastructure, including stormwater, wastewater, water supply, access, and parking areas.
  - b. Certification (PS 4) from a chartered professional engineer that all works have been completed in accordance with the approved plans and Council's Engineering Standards.
  - c. The consent holder must provide evidence that the cost of purchasing and installing a road name sign for the Private Right of Way has been paid to Council contractors and installed. Council Contractors.

Northern Area – Fulton Hogan (09) 408 6440

Southern Area – Ventia (09) 407 7851

Note Private Right of Way signs are to have blue letters on a white background.

- 26. The contractor shall provide a PS3 certificate of completion, ensuring the construction works are in accordance with FNDC Engineering Standards.
- 27. A defects liability period of 12 months shall be applicable for all assets to be vested in Council approved under Condition 1. The consent holder shall provide evidence



that a maintenance contract has been entered into with a qualified contractor for a period of 12 months, with the value of the contract being a minimum of 10% of the construction costs.

28. Upon completion of the works, the consent holder shall provide to Council As-built plans, drawings, asset data, test results, and CCTV data complying with Council's Engineering Standards and Guidelines 2023 for all assets to be vested in Council approved under Condition 1.

#### *Stormwater*

29. The consent holder shall construct the approved stormwater system, including the extension of the public stormwater network to and through the site, in accordance with the approved engineering plans and Council's Engineering Standards and Guidelines.
30. The consent holder shall install the proposed attenuation system, including the underground tank for the JOAL, as detailed in the approved Stormwater Management Plan.
31. Stormwater runoff from buildings and impermeable surface areas shall be attenuated to 80% of pre-development levels for the 20% and 50% rain events plus an allowance for climate change, as per the CKL Stormwater Management Plan dated 20 September 2024.
32. Overland/secondary flowpaths that can accommodate the 1% AEP rain event plus an allowance for climate change shall be provided and are to be unobstructed by buildings, other structures, or landscaping.

#### *Wastewater*

33. The consent holder shall provide evidence that each lot has a connection to Council's reticulated wastewater system that complies with the requirements of Council's Engineering Standards and Guidelines.
34. The consent holder shall provide evidence that the existing 150mm diameter public wastewater pipe has been realigned as per the approved plans and that all private wastewater lines for internal reticulation have been installed to the satisfaction of Council.

#### *Water Supply*

35. The consent holder shall provide evidence that each lot has a metered connection to Council's reticulated water supply system in accordance with the requirements of Council's Engineering Standards and Guidelines.

#### *Access*

36. The consent holder shall provide certification from a chartered professional engineer that all access, manoeuvring, and parking areas have been formed, surfaced, and drained in accordance with the approved plans and Council's Engineering Standards.

37. The consent holder shall provide evidence that the requirements of Waka Kotahi NZ Transport Agency have been complied with.
38. The consent holder shall provide as-built plans of all transportation infrastructure, including the vehicle crossing, internal access way, footpaths, and parking areas, and certified RAMM data for footpaths that have been replaced.
39. The consent holder shall ensure that adequate sight lines are maintained at the vehicle crossing at all times, in accordance with the standards specified in RTS 6 (Road & Traffic Standards 6: Guidelines for visibility at driveways).

## On-Going Conditions

### *Consent Notices*

40. Secure the conditions below by way of a Consent Notice issued under section 221 of the Act, to be registered against the titles of the affected allotment. The costs of preparing, checking and executing the Notice shall be met by the consent holder:

- a. In conjunction with applying for building consent on all lots, the applicant must provide a Geotechnical Assessment prepared by a Chartered Professional Geotechnical Engineer. The assessment should outline any specific geotechnical requirements for the building foundations, any necessary ground improvements, structural design considerations, and a program for supervision of the foundation construction.

Lots 1 - 13

- b. For any building requiring a building consent on all lots, the lot owner must provide a specific stormwater management design prepared by a suitably qualified and experienced person. This design must address the stormwater management requirements, including maintenance of on-site attenuation systems.

Lots 1 - 13

- c. Prior to any disposal or transfer of any of Lots a management entity/society must be formed and is thereafter responsible for the ongoing operation, maintenance and/or repair of common assets within LOT 100 and 101 HEREON to the satisfaction of council.

Lots 1 - 13

## Review Condition

41. In accordance with section 128 of the Resource Management Act 1991, the Council may review the conditions of this consent within six months of the date of this decision if written approval from the owners of 18-20 Mangakahia Road is not obtained. The purpose of this review would be to impose additional conditions or modify existing conditions to address any adverse effects on 18-20 Mangakahia Road.



\* \* \*

Document Transmittal:

# s127 Application - On-Lot Tanks

Please find attached the following files, which were issued by Zita Talaic-Burgess on 12/5/2024 1:44:51 PM.

Files

File Name	Version	Change Description	Issue Status
A24056-RC-LUC-Appendix A - Record of Titles.pdf	2	Renamed	Received
A24056-RC-LUC-Appendix B - RC Decision 2250131-RMACOM.pdf	3	Renamed	Received
A24056-RC-LUC-Appendix C - RC Plans 2250131-RMACOM.pdf	1	Added File	Received
A24056-RC-LUC-Appendix D - Complete Set of Amended Conditions.docx	1	Added File	For QA
A24056-RC-LUC-Section 127 Application - On-Lot Tanks.pdf	1	Added File	Approved

Issued Notes