

Application for resource consent or fast-track resource consent

(Or Associated Consent Pursuant to the Resource Management Act 1991 (RMA)) (If applying for a Resource Consent pursuant to Section 87AAC or 88 of the RMA, this form can be used to satisfy the requirements of Schedule 4). Prior to, and during, completion of this application form, please refer to Resource Consent Guidance Notes and Schedule of Fees and Charges — [both available on the Council's web page](#).

1. Pre-Lodgement Meeting

Have you met with a council Resource Consent representative to discuss this application prior to lodgement? Yes No

2. Type of Consent being applied for

(more than one circle can be ticked):

- Land Use
- Fast Track Land Use*
- Subdivision
- Consent under National Environmental Standard
(e.g. Assessing and Managing Contaminants in Soil)
- Other (please specify) _____
- Discharge
- Change of Consent Notice (s.221(3))
- Extension of time (s.125)

* *The fast track is for simple land use consents and is restricted to consents with a controlled activity status.*

3. Would you like to opt out of the Fast Track Process?

Yes No

4. Consultation

Have you consulted with Iwi/Hapū? Yes No

If yes, which groups have you consulted with?

Who else have you consulted with?

For any questions or information regarding iwi/hapū consultation, please contact Te Hono at Far North District Council tehonosupport@fndc.govt.nz

5. Applicant Details

Name/s:

Brad Lupi

Email:

Phone number:

Postal address:

(or alternative method of service under section 352 of the act)

6. Address for Correspondence

Name and address for service and correspondence (if using an Agent write their details here)

Name/s:

Bay of Islands Planning

Email:

Phone number:

Postal address:

(or alternative method of service under section 352 of the act)

** All correspondence will be sent by email in the first instance. Please advise us if you would prefer an alternative means of communication.*

7. Details of Property Owner/s and Occupier/s

Name and Address of the Owner/Occupiers of the land to which this application relates (where there are multiple owners or occupiers please list on a separate sheet if required)

Name/s:

Solid Holdings Limited

**Property Address/
Location:**

390 Kapiro Road

Kerikeri

Postcode

8. Application Site Details

Location and/or property street address of the proposed activity:

Name/s:

Site Address/
Location:

Postcode

Legal Description:

Val Number:

Certificate of title:

Please remember to attach a copy of your Certificate of Title to the application, along with relevant consent notices and/or easements and encumbrances (search copy must be less than 6 months old)

Site visit requirements:

Is there a locked gate or security system restricting access by Council staff? Yes No

Is there a dog on the property? Yes No

Please provide details of any other entry restrictions that Council staff should be aware of, e.g. health and safety, caretaker's details. This is important to avoid a wasted trip and having to re-arrange a second visit.

9. Description of the Proposal:

Please enter a brief description of the proposal here. Please refer to Chapter 4 of the District Plan, and Guidance Notes, for further details of information requirements.

If this is an application for a Change or Cancellation of Consent Notice conditions (s.221(3)), please quote relevant existing Resource Consents and Consent Notice identifiers and provide details of the change(s), with reasons for requesting them.

10. Would you like to request Public Notification?

Yes No

11. Other Consent required/being applied for under different legislation

(more than one circle can be ticked):

- Building Consent
- Regional Council Consent (ref # if known)
- National Environmental Standard consent
- Other (please specify)

12. National Environmental Standard for Assessing and Managing Contaminants in Soil to Protect Human Health:

The site and proposal may be subject to the above NES. In order to determine whether regard needs to be had to the NES please answer the following:

Is the piece of land currently being used or has it historically ever been used for an activity or industry on the Hazardous Industries and Activities List (HAIL) Yes No Don't know

Is the proposed activity an activity covered by the NES? Please tick if any of the following apply to your proposal, as the NESCS may apply as a result. Yes No Don't know

- Subdividing land
- Changing the use of a piece of land
- Disturbing, removing or sampling soil
- Removing or replacing a fuel storage system

13. Assessment of Environmental Effects:

Every application for resource consent must be accompanied by an Assessment of Environmental Effects (AEE). This is a requirement of Schedule 4 of the Resource Management Act 1991 and an application can be rejected if an adequate AEE is not provided. The information in an AEE must be specified in sufficient detail to satisfy the purpose for which it is required. Your AEE may include additional information such as Written Approvals from adjoining property owners, or affected parties.

Your AEE is attached to this application Yes

13. Draft Conditions:

Do you wish to see the draft conditions prior to the release of the resource consent decision? Yes No

If yes, do you agree to extend the processing timeframe pursuant to Section 37 of the Resource Management Act by 5 working days? Yes No

14. Billing Details:

This identifies the person or entity that will be responsible for paying any invoices or receiving any refunds associated with processing this resource consent. Please also refer to Council's Fees and Charges Schedule.

Name/s: (please write in full)

Brad Lupi

Email:

b

Phone number:

v

Postal address:

(or alternative method of service under section 352 of the act)

Fees Information

An instalment fee for processing this application is payable at the time of lodgement and must accompany your application in order for it to be lodged. Please note that if the instalment fee is insufficient to cover the actual and reasonable costs of work undertaken to process the application you will be required to pay any additional costs. Invoiced amounts are payable by the 20th of the month following invoice date. You may also be required to make additional payments if your application requires notification.

Declaration concerning Payment of Fees

I/we understand that the Council may charge me/us for all costs actually and reasonably incurred in processing this application. Subject to my/our rights under Sections 357B and 358 of the RMA, to object to any costs, I/we undertake to pay all and future processing costs incurred by the Council. Without limiting the Far North District Council's legal rights if any steps (including the use of debt collection agencies) are necessary to recover unpaid processing costs I/we agree to pay all costs of recovering those processing costs. If this application is made on behalf of a trust (private or family), a society (incorporated or unincorporated) or a company in signing this application I/we are binding the trust, society or company to pay all the above costs and guaranteeing to pay all the above costs in my/our personal capacity.

Name: (please write in full)

Brad Lupi

Signature:

(signature of bill payer)

[Redacted Signature]

Date 07-Nov-2024

MANDATORY

15. Important Information:

Note to applicant

You must include all information required by this form. The information must be specified in sufficient detail to satisfy the purpose for which it is required.

You may apply for 2 or more resource consents that are needed for the same activity on the same form. You must pay the charge payable to the consent authority for the resource consent application under the Resource Management Act 1991.

Fast-track application

Under the fast-track resource consent process, notice of the decision must be given within 10 working days after the date the application was first lodged with the authority, unless the applicant opts out of that process at the time of lodgement. A fast-track application may cease to be a fast-track application under section 87AAC(2) of the RMA.

Privacy Information:

Once this application is lodged with the Council it becomes public information. Please advise Council if there is sensitive information in the proposal. The information you have provided on this form is required so that your application for consent pursuant to the Resource Management Act 1991 can be processed under that Act. The information will be stored on a public register and held by the Far North District Council. The details of your application may also be made available to the public on the Council's website, www.fndc.govt.nz. These details are collected to inform the general public and community groups about all consents which have been issued through the Far North District Council.

15. Important information continued...

Declaration

The information I have supplied with this application is true and complete to the best of my knowledge.

Name: (please write in full)

Signature:

Date

A signature is not required if the application is made by electronic means

Checklist (please tick if information is provided)

- Payment (cheques payable to Far North District Council)
- A current Certificate of Title (Search Copy not more than 6 months old)
- Details of your consultation with Iwi and hapū
- Copies of any listed encumbrances, easements and/or consent notices relevant to the application
- Applicant / Agent / Property Owner / Bill Payer details provided
- Location of property and description of proposal
- Assessment of Environmental Effects
- Written Approvals / correspondence from consulted parties
- Reports from technical experts (if required)
- Copies of other relevant consents associated with this application
- Location and Site plans (land use) AND/OR
- Location and Scheme Plan (subdivision)
- Elevations / Floor plans
- Topographical / contour plans

Please refer to Chapter 4 of the District Plan for details of the information that must be provided with an application. Please also refer to the RC Checklist available on the Council's website. This contains more helpful hints as to what information needs to be shown on plans.

BAY OF ISLANDS PLANNING (2022) LIMITED

**Kerikeri House
Suite 3, 88 Kerikeri Road
Kerikeri**

Email – office@bayplan.co.nz Website - www.bayplan.co.nz

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11 November 2024

Dear Team Leaders,

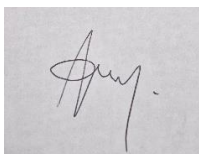
Re: Retrospective consent for the change of use to an existing building to accommodate a place of assembly (a Church) for the Seventh-day Adventist at 390 Kapiro Road, Kerikeri.

Our client, Brad Lupi seeks a retrospective resource consent for a change of use of a building on the property at 390 Kapiro Road to accommodate a Church for the Seventh-day Adventist. The site is zoned Rural Production within the Far North District Council Operative District Plan (**ODP**), and Horticulture zone under the Proposed District Plan (**PDP**).

Resource Consent is required as the use of the building is no longer ancillary to farming activities and is currently being used to accommodate a Church on Saturdays and the occasional Wednesday. The property also contains a dwelling and garage north of the building. This dwelling is proposed to be removed. No consents are required under the PDP.

Overall, the application is a **Discretionary Activity**.

Please do not hesitate to contact me should you require any further information.



Yours sincerely,
Andrew McPhee
Consultant Planner

1. INTRODUCTION

The applicant, Brad Lupi seeks retrospective resource consent for an existing building on the property at 390 Kapiro Road to accommodate a Church for the Seventh-day Adventist. The site is legally described as Lot 3 DP 313168 with an area of 5.4461ha. A copy of the Certificate of Title is attached within **Appendix A**.

A copy of the plans for the building, prepared by Coppermine CAD Services Ltd, is provided in **Appendix B**. A Certificate of Acceptance (COA) is currently being applied for alongside this application for resource consent. Written approvals have been obtained by the neighbouring properties directly adjoining the property to the east and are provided in **Appendix C**.

2. SITE DESCRIPTION

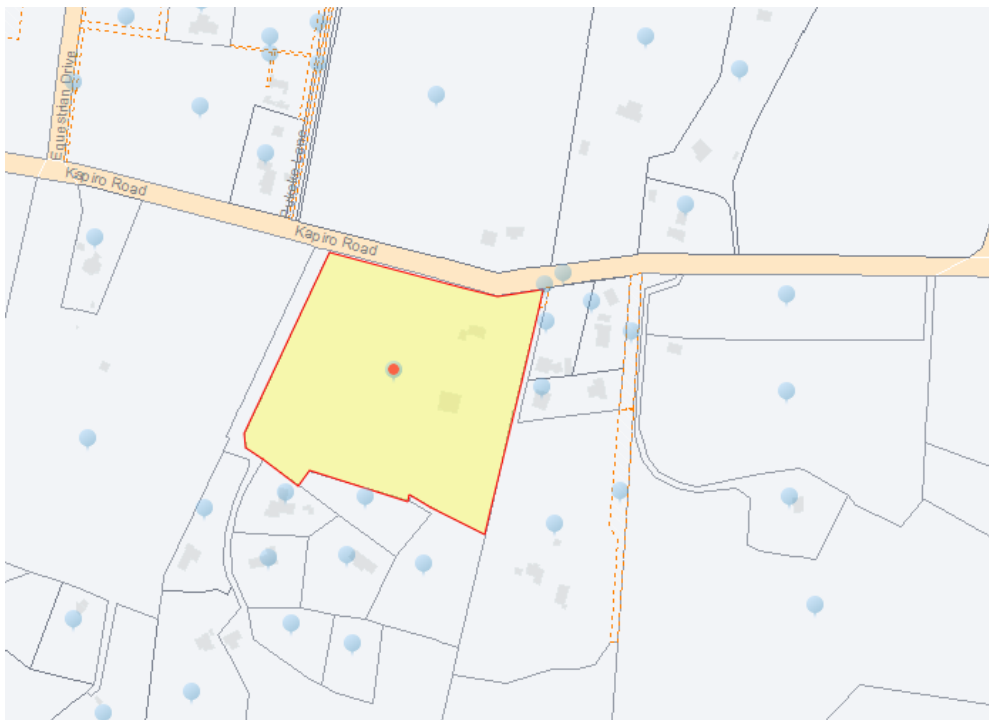


Figure 1 – Site (Source: Prover)



Figure 2 – Site Aerial (Source: Google Earth)

The site is located on the southern side of Kapiro Road, approximately 2km west of the intersection of Landing Road and about 3.5km east of the intersection at State Highway 10. There is an existing access to the property off Kapiro Road via a gravel driveway.



Figure 3 – Site Access off Kapiro Road (Source: Google Earth)

The site comprises a total land area of 5.4461ha, which is generally flat. The site still contains extensive areas of shelter belts from a time when the site was used in a horticultural capacity. No horticultural activities are currently being undertaken on the site.

The surrounding land use is a mixture of residential lifestyle development to the south and to the east. Residential lifestyle development is becoming prevalent along the southern side of Kapiro Road. The northern side of Kapiro Road is predominantly used for horticultural purposes in this location.

The site has an existing dwelling and garage located on the northern portion of the property and contains a shed building to the south, which is the subject of this retrospective consent application. A COA is also being applied for through Councils building authority to address matters in relation to wastewater, potable water supply and compliance with the building code / act.

The use of the site is changing from a rural residential activity, so is therefore subject to the National Environmental Standard for Assessing and Managing Contaminants in Soil to Protect Human Health.

3. RECORD OF TITLE, CONSENT NOTICES AND LAND COVENANTS

The site Record of Title is attached at **Appendix A**. There are no consent notices registered on the title.

4. DESCRIPTION OF THE PROPOSAL

The applicant seeks retrospective resource consent for a change of use of a building on the property at 390 Kapiro Road to accommodate a Church for the Seventh-day Adventist. The building was constructed in accordance with the floor plan at **Appendix B**.

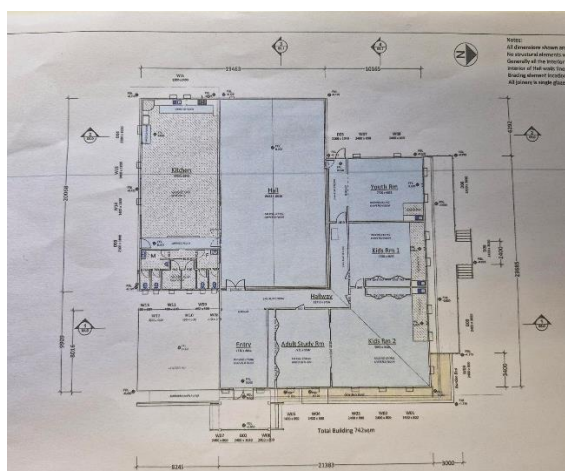


Figure 4 – Floor Plan (Source: Coppermine CAD Services Ltd)

The total impermeable area on the property is estimated to be 4,990m² or 9.1% of the site area. Total

building coverage area is estimated to be 1,180m² or 2.1% of the site area.

The existing metal driveway will provide access to the existing dwelling and to the place of assembly. Parking and manouvring is provided at the large gravel pad near the building.

There are existing connections for electricity, telecommunications and internet on the site.

No earthworks are proposed as the building is already constructed.

5. REASONS FOR CONSENT

This application seeks retrospective consent for:

- a place of assembly in the Rural Production zone (Scale of activities);
- a breach to the permitted threshold for traffic movements; and
- a breach to the permitted access standards.

No resource layers apply to the subject property.

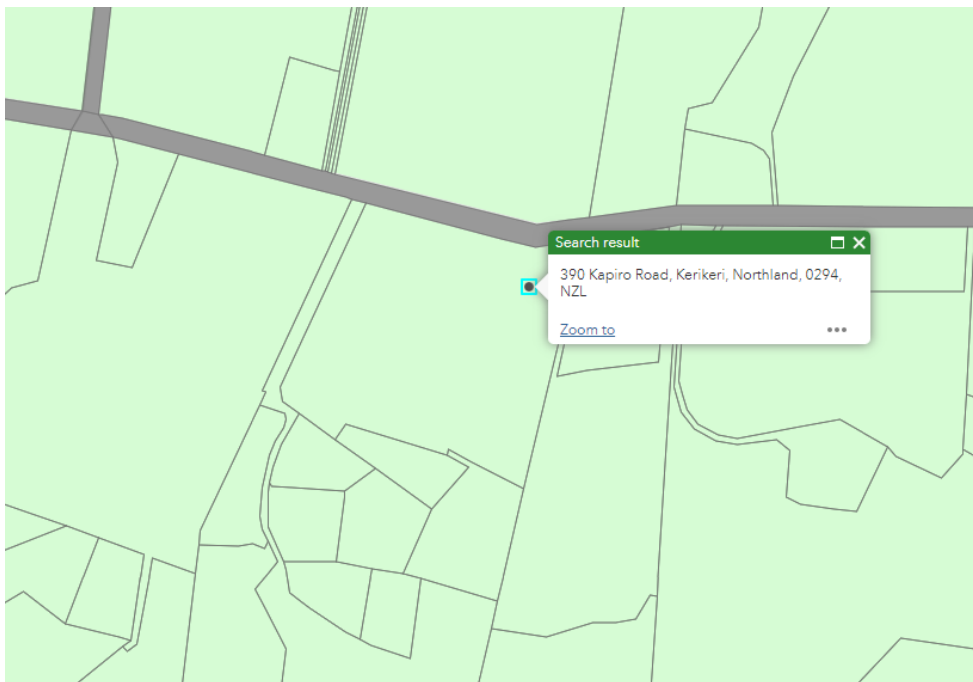


Figure 5 - ODP Map – Rural Production Zone (Source: Far North Maps)



Figure 6 – PDP Map – Horticulture Zone (Source: PDP Maps)

Tables below provide an assessment against the applicable ODP and PDP performance standards and identifies the reasons for resource consent. For the ODP these comprise the rules of the Part 2- Environment Provisions and the Part 3 - District Wide Rules. For the PDP these comprise of the rules with immediate legal effect.

ODP performance standards

Table 1 – Rural Production Zone - Performance Standards

Rural Production Zone standards		
Rule	Standards	Performance/Comments
Residential Intensity	Permitted – One unit per 12ha of land	There is one dwelling on the site. This is proposed to be removed. Complies
Sunlight	Permitted - No part of any building shall project beyond a 45 degree recession plane as measured inwards from any point 2m vertically above ground level on any site boundary	Complies
Stormwater Management	Permitted - The maximum proportion of the gross site area covered by buildings and other impermeable surfaces shall be 15%.	Total impermeable surfaces are approximately 4,990m ² or 9.1% Complies

Setback from Boundaries	Permitted - No building shall be erected within 10m of any site boundary;	No buildings are located within the 10m permitted setback from boundaries. Complies
Keeping of Animals		N/A.
Noise		The activities will comply. Complies
Building Height	Permitted - The maximum height of any building shall be 12m.	The buildings are less than 12m in height. Complies
Helicopter Landing Area		N/A.
Building Coverage	Permitted - Any new building or alteration/addition to an existing building is a permitted activity if the total Building Coverage of a site does not exceed 12.5% of the gross site area.	Total building coverage is approximately 1,180m ² or 2.1% Complies
Scale of Activities	Permitted – The dwelling is exempt. For activities not including farming and plantation forestry 4 persons per site or 1 person per hectare of net site area, whichever is greater. Discretionary – Non compliance with the permitted standard where the activity is not either ancillary to farming or forestry.	Discretionary
Temporary Events		N/A.

Table 2 – District Wide Performance Standards

District Wide Standards		
Rule	Standard	Performance/Comments
Natural and Physical Resources		
12.1 Landscape & Natural Features	12.1.6.1.1 Protection of Outstanding Landscape Features 12.1.6.1.2 Indigenous Vegetation Clearance in Outstanding landscapes 12.1.6.1.3 Tree Planting in Outstanding Landscapes 12.1.6.1.4 Excavation and/or filling within an outstanding landscape 12.1.6.1.5 Buildings within outstanding landscapes 12.1.6.1.6 Utility Services in Outstanding Landscapes	N/A -
12.2 Indigenous Flora and Fauna	12.2.6.1.1 Indigenous Vegetation Clearance Permitted Throughout the District 12.2.6.1.2 Indigenous Vegetation Clearance in the rural Production and Minerals Zones 12.2.6.1.3 Indigenous Vegetation Clearance in the General Coastal Zone 12.2.6.1.4 Indigenous Vegetation Clearance in Other Zones	N\A
12.3 Earthworks	12.3.6.1.1 Excavation and/or filling, excluding mining and quarrying, in the Rural Production Zone or Kauri Cliffs Zone Permitted – Maximum of 5,000m ³ within a 12-month period and cannot be higher than 1.5m cut or fill.	No earthworks are proposed. Complies
12.4 Natural Hazards	12.4.6.1.1 Coastal Hazard 2 Area 12.4.6.1.2 Fire Risk to Residential Units	N/A

District Wide Standards		
Rule	Standard	Performance/Comments
12.5 Heritage	<p>12.5.6.1.1 Notable Trees</p> <p>12.5.6.1.2 Alterations to/and maintenance of historic sites, buildings and objects</p> <p>12.5.6.1.3 Registered Archaeological Sites</p>	N/A
12.5A Heritage Precincts	There are no Heritage Precincts that apply to the site.	N/A
12.6 Air	Not applicable	N/A
12.7 Lakes, Rivers, Wetlands and the Coastline	<p>12.7.6.1.1 Setback from lakes, rivers and the coastal marine area</p> <p>12.7.6.1.2 Setback from smaller lakes, rivers and wetlands</p> <p>12.7.6.1.4 Land Use Activities involving the Discharges of Human Sewage Effluent</p> <p>12.7.6.1.5 Motorised Craft</p> <p>12.7.6.1.6 Noise</p>	<p>Proposed dwelling is outside the necessary setbacks from lakes and rivers.</p> <p>Complies</p> <p>Complies</p> <p>N/A</p> <p>N/A</p>
12.8 Hazardous Substances		N/A
12.9 Renewable Energy and Energy Efficiency		N/A
Chapter 15 - Transportation standards		
Maximum daily one-way traffic movements - Rural Production	<p>Permitted – 60</p> <p>Restricted discretionary – 61 - 200</p>	<p>The dwelling is excluded from the total number of traffic movements.</p> <p>The place of assembly is designed to accommodate up to 100 people (including children). In accordance with Appendix 3A an additional 200 traffic movements will be generated from this proposal.</p>

		<i>(Restricted discretionary)</i> Discretionary (scale of activities)
Parking	Permitted - Appendix 3C – 1 per every 5 persons the facility is designed for.	There is sufficient parking areas associated with the dwelling and place of assembly (100 people). 20 car parks required. The metal parking area to the east of the church can accommodate approximately 40 vehicles. Informal provision is available for disability parking. Complies
Access	Permitted – Private access may serve a maximum of 8 household equivalents (80 vehicle movements)	The place of assembly would use the existing access off Kapiro Road. In accordance with Appendix 3B an additional 200 traffic movements will be generated from this proposal [20 users]. Discretionary activity

In terms of the ODP the application falls to be considered as a Discretionary Activity in accordance with Section 104A of the Resource Management Act 1991 (RMA).

PDP performance standards

These comprise relevant rules that have immediate effect under the PDP.

Proposed District Plan				
Matter	Rule/Std Ref	Relevance	Compliance	Evidence
Hazardous Substances Majority of rules relates to development within a site that has heritage or cultural items scheduled and mapped however Rule HS-R6 applies to any development	Rule HS-R2 has immediate legal effect but only for a new significant hazardous facility located within a scheduled site and area of significance to Māori, significant natural area or a scheduled heritage resource	N/A	Yes	Not relevant as no such substances proposed.

within an SNA – which is not mapped	HS-R5, HS-R6, HS-R9			
Heritage Area Overlays (Property specific) This chapter applies only to properties within identified heritage area overlays (e.g. in the operative plan they are called precincts for example)	All rules have immediate legal effect (HA-R1 to HA-R14) All standards have immediate legal effect (HA-S1 to HA-S3)	N/A		Not indicated on Far North Proposed District Plan
Historic Heritage (Property specific and applies to adjoining sites (if the boundary is within 20m of an identified heritage item)). Rule HH-R5 Earthworks within 20m of a scheduled heritage resource. Heritage resources are shown as a historic item on the maps) This chapter applies to scheduled heritage resources – which are called heritage items in the map legend	All rules have immediate legal effect (HH-R1 to HH-R10) Schedule 2 has immediate legal effect	N/A		Not indicated on Far North Proposed District Plan
Notable Trees (Property specific) Applied when a property is showing a scheduled notable tree in the map	All rules have immediate legal effect (NT-R1 to NT-R9) All standards have legal effect (NT-S1 to NT-S2) Schedule 1 has immediate legal effect	N/A		Not indicated on Far North Proposed District Plan

<p>Sites and Areas of Significance to Māori (Property specific) Applied when a property is showing a site / area of significance to Maori in the map or within the Te Oneroa-a Tohe Beach Management Area (in the operative plan they are called site of cultural significance to Maori)</p>	<p>All rules have immediate legal effect (SASM-R1 to SASM-R7) Schedule 3 has immediate legal effect</p>	<p>N/A</p>		<p>Not indicated on Far North Proposed District Plan</p>
<p>Ecosystems and Indigenous Biodiversity SNA are not mapped – will need to determine if indigenous vegetation on the site for example</p>	<p>All rules have immediate legal effect (IB-R1 to IB-R5)</p>	<p>N/A</p>		<p>Not indicated on Far North Proposed District Plan. No vegetation clearance proposed.</p>
<p>Activities on the Surface of Water</p>	<p>All rules have immediate legal effect (ASW-R1 to ASW-R4)</p>	<p>N/A</p>		<p>Not indicated on Far North Proposed District Plan</p>
<p>Earthworks all earthworks (refer to new definition) need to comply with this</p>	<p>The following rules have immediate legal effect: EW-R12, EW-R13 The following standards have immediate legal effect: EW-S3, EW-S5</p>	<p>Yes</p>	<p>Complies</p>	<p>No earthworks are required.</p>
<p>Signs (Property specific) as rules only relate to situations where a sign is on a scheduled heritage resource (heritage item), or</p>	<p>The following rules have immediate legal effect: SIGN-R9, SIGN-R10 All standards have immediate legal effect but only for</p>	<p>N/A</p>		<p>Not indicated on Far North Proposed District Plan</p>

within the Kororareka Russell or Kerikeri Heritage Areas	signs on or attached to a scheduled heritage resource or heritage area			
Orongo Bay Zone (Property specific as rule relates to a zone only)	Rule OBZ-R14 has partial immediate legal effect because RD-1(5) relates to water	N/A		Not indicated on Far North Proposed District Plan
Comments:				
No consents are required under the PDP.				

Overall, the application will be considered as a **Discretionary Activity** due to the change of activity on the site to accommodate a place of assembly.

Clause 2(1)(d) of Schedule 4 of the RMA requires applicants to identify other activities of the proposal with the intention of capturing activities which need permission or licensing under other enactments. It is considered that no Regional Council authorizations are required to carry out the proposal.

6. NOTIFICATION ASSESSMENT

Public Notification

The table below outlines the steps associated with public notification insofar as it relates to s95 of the Act.

<u>Step 1</u>	<u>Mandatory public notification in certain circumstances</u>	
S95A(3)(a)	Has the applicant requested that the application be publicly notified?	No
S95A(3)(b)	Is public notification required under section 95C?(after a request for further information)	TBC
S95A(3)(c)	Has the application been made jointly with an application to exchange recreation reserve land under section 15AA of the Reserves Act 1977.	No
<u>Step 2</u>	<u>if not required by step 1, public notification precluded in certain circumstances</u>	
S95A(5)(a)	Is the application for a resource consent for 1 or more activities and each activity is subject to a rule or national environmental standard that precludes public notification?	No
S95A(5)(b)	Is the application for a resource consent for 1 or more of the following, but no other, activities; (i) a controlled activity; (iii) a restricted discretionary, discretionary, or non-complying activity, but only if the activity is a boundary activity;	No

<u>Step 3</u>	<u>if not precluded by step 2, public notification required in certain circumstances</u>	
S95A(8)(a)	Is the application for a resource consent for 1 or more activities, and any of those activities is subject to a rule or national environmental standard that requires public notification.	No
S95A(8)(b)	Does the consent authority decides, in accordance with section 95D, that the activity will have or is likely to have adverse effects on the environment that are more than minor	TBC
<u>Step 4</u>	<u>public notification in special circumstances</u>	
S95A(9)	Do special circumstances exist in relation to the application that warrant the application being publicly notified.	No

The proposal does not meet the tests for mandatory public notification, nor does it meet the tests for precluding public notification. There are not considered to be any special circumstances that warrant the application to be notified. Therefore, an assessment of the proposals effects on the environment is required to ascertain the effects of the development and whether public notification is required.

Limited notification

The table below outlines the steps associated with limited notification insofar as it relates to s95 of the Act.

<u>Step 1</u>	<u>certain affected groups and affected persons must be notified</u>	
S95B(2)(a)	Are there any affected protected customary rights groups?	No
S95B(2)(b)	Are there any affected customary marine title groups (in the case of an application for a resource consent for an accommodated activity)?	No
S95B(3)(a)	Is the proposed activity on or adjacent to, or may affect, land that is the subject of a statutory acknowledgement made in accordance with an Act specified in Schedule 11?	No
S95B(3)(b)	Is the person to whom the statutory acknowledgement is made is an affected person under section 95E?	No
<u>Step 2</u>	<u>if not required by step 1, limited notification precluded in certain circumstances</u>	
S95B(6)(a)	the application is for a resource consent for 1 or more activities, and each activity is subject to a rule or national environmental standard that precludes limited notification:	No
S95B(6)(b)	the application is for a controlled activity (but no other activities) that requires a resource consent under a district plan (other than a subdivision of land)	No
<u>Step 3</u>	<u>if not precluded by step 2, certain other affected persons must be notified</u>	

S95B(7)	If in the case of a boundary activity, whether an owner of an allotment with an infringed boundary is an affected person in accordance with s95E.	No
S95B(8)	If in the case of any other activity, a person is an affected person in accordance with section 95E.	TBA
<u>Step 4</u>	<u>further notification in special circumstances</u>	
<u>S95B(10)</u>	If special circumstances exist in relation to the application that warrant notification of the application to any other persons not already determined to be eligible for limited notification under this section.	No

Affected Person Determination

As the proposed activity does not trigger mandatory limited notification, nor is it precluded, an assessment of potential affected persons must be undertaken.

The consent authority has discretion to determine whether a person is an affected person. A person is affected if an activity's adverse effects are minor or more than minor to them.

The building itself is a structure that can ordinarily be constructed on the site where it is used in a different capacity [i.e in associated with farming / forestry]. The building also meets all siting and design, height, orientation, sunlight and setback rules. Building coverage / stormwater is not of material concern given structures / surfaces built relative to site size. As a result, there are not considered to be any effects arising from the change of use and extensions undertaken to the building in relation to these effects.

It is considered that the actual traffic intensity attributed to the activity is commensurate with the permitted threshold of 60 traffic movements for the one day it is used a week [60 x 7 = 420 movements]. This is due to the congregation being made up of families with multiple vehicle occupants. Ordinarily there is only one movement in and one out on the Saturday the congregation meets [i.e 200 movements] and similarly for a Wednesday event [i.e 200] according to Appendix 3A.

As a belts and braces approach the applicant has obtained written approval from properties directly adjoining the eastern boundary of the site, closest to the activity. The written approvals are provided in **Appendix C**.

Having considered the effects on persons, the adverse effects are considered to be less than minor. There are not considered to be any special circumstances that warrant the application to be notified.

7. STATUTORY CONSIDERATIONS

Section 104B of the RMA governs the determination of applications for Discretionary activities:

104B Determination of applications for discretionary or non-complying activities

After considering an application for a resource consent for a discretionary activity or non-complying activity, a consent authority—

- (a) may grant or refuse the application; and
- (b) if it grants the application, may impose conditions under [section 108](#).

With respect to Discretionary activities, a consent authority may grant or refuse the application and may impose conditions under section 108 of the RMA.

Section 104 of the RMA sets out matters to be considered when assessing an application for a resource consent.

104 Consideration of applications

- (1) When considering an application for a resource consent and any submissions received, the consent authority must, subject to [Part 2](#) and [section 77M](#), have regard to—
 - (a) any actual and potential effects on the environment of allowing the activity; and
 - (ab) any measure proposed or agreed to by the applicant for the purpose of ensuring positive effects on the environment to offset or compensate for any adverse effects on the environment that will or may result from allowing the activity; and
 - (b) any relevant provisions of—
 - (i) a national environmental standard;
 - (ii) other regulations;
 - (iii) a national policy statement;
 - (iv) a New Zealand coastal policy statement;
 - (v) a regional policy statement or proposed regional policy statement;
 - (vi) a plan or proposed plan; and
 - (c) any other matter the consent authority considers relevant and reasonably necessary to determine the application.

For this application, the following relevant RMA plans, policy statements and national environmental standard have been considered:

- National Environmental Standard for Assessing and Managing Contaminants in Soil to Protect Human Health, 2011
- National Policy Statement for Highly Productive Land
- Northland Regional Policy Statement
- Operative Far North District Plan 2009
- Proposed Far North District Plan 2022

As part of this application and Assessment of Effects, the relevant regional and district level objectives and policies, performance standards and assessment criteria have been considered.

Assessment of Effects on the Environment (AEE)

The RMA (section 3) meaning of effect includes:

3 Meaning of effect

In this Act, unless the context otherwise requires, the term **effect** includes—

- (a) any positive or adverse effect; and
- (b) any temporary or permanent effect; and
- (c) any past, present, or future effect; and
- (d) any cumulative effect which arises over time or in combination with other effects—
regardless of the scale, intensity, duration, or frequency of the effect, and also includes—
- (e) any potential effect of high probability; and
- (f) any potential effect of low probability which has a high potential impact.

Section 104(2) of the RMA states that:

“when forming an opinion for the purposes of subsection (1)(a), a consent authority may disregard an adverse effect of the activity on the environment if a national environmental standard or the plan permits an activity with that effect.”

This is referred to as the “permitted baseline”, which is based on the permitted performance standards and development controls that form part of a district plan. For an effects-based plan such as the Far North District Plan where specified activities are not regulated, determining the permitted baseline is a useful tool for determining a threshold of effects that are enabled by the zone.

The building

Ordinarily a shed/building of the scale that has been erected would be a permitted activity in the Rural Production zone [if used for farming / forestry purposes]. Therefore, effects associated with the following are not to be considered:

- Building height
- Stormwater management
- Setbacks
- Building coverage
- Sunlight

Traffic intensity

The proposal seeks 200 traffic movements. A Rural Production site is allowed up to 60 traffic movements. Therefore, the assessment below focusses on the additional 140 generated by the proposal.

Scale of activities

5 persons [outside of those who reside on the site] could be accommodated as per Clause ii of the rule. Therefore, 195 persons will be assessed below.

The focus of this AEE is on addressing the matters directly related to the rules in the ODP regarding the use of the building as a Church. Also, a brief overview of the degree to which this achieves the

objectives and policies of the relevant National Environmental Standards, National Policy Statements, the Northland Regional Policy Statement, ODP and PDP.

National Environmental Standards for Assessing and Managing Contaminants in Soil to Protect Human Health (NES-CS)

The NES-CS is potentially applicable to this site. Historically the site has been used in a horticultural capacity and the activity is changing from a purely residential use of the site to one that also accommodates a place of assembly. The building was originally used as a workshop and changes have since been made. However, the building is already constructed and could have been as a permitted activity, it is the use of the building that triggers the need for retrospective consent.

Positive Effects

The Seventh-day Adventist Church benefits from having an appropriately sized building to accommodate their congregation. The church provides a number of social and spiritual benefits for its members, which contributes holistically to the community's health and well-being. Works undertaken on the building and site would have also contributed to the economic wellbeing of the District through the purchase of goods and services.

Scale of activities

In assessing the potential effects in respect of the scale of activities rule, Council in 8.6.5.4.4 states that in determining the total number of people engaged at any one period of time, it will consider:

- The maximum capacity of the facility;
- The number of staff needed; and
- The number and nature of the vehicles that are accommodated.

The Church is a community facility, albeit not open to the general public. It caters for its congregation where the numbers are known. The building has been designed to accommodate the churches congregation of up to 100 persons, which includes both adults and children.

No staff are required as the membership takes care of itself, any meals are organised and provided for by members of the Church.

The nature of vehicles accessing the Church is predominantly families within the congregation, meaning that each vehicle will have multiple occupants, including children. Traffic movements are based on the building being a 'place of assembly', and in accordance with Appendix 3A, vehicle movements are calculated at 2 per every person the facility is designed for (200 vehicle movements).

In this instance the calculation in the district plan is considered fanciful, given that the building will only be regularly frequented on a Saturday [and potentially Wednesday] and will ordinarily experience one traffic movement in and one out. In reality the number of traffic movements associated with the Church is likely to be in the order of the permitted range of 60 vehicle movements.

It is worth reiterating that the Church meets one day a week formally, but seeks the opportunity to carry out infrequent Wednesday gatherings. Vehicles will have multiple occupants, including children, and there will likely be only one movement in and one movement out.

As the activity falls to be a discretionary activity the assessment criteria in Chapter 11.1 are applied in relation to scale of activities and 11.12 for Traffic Intensity.

(a) The character and appearance of building(s) and the extent to which the effects they generate can be avoided, remedied or mitigated, consistent with the principal activity on the site and with other buildings in the surrounding area.

The building is commensurate with one ordinarily found in the rural environment. Nonetheless, extensive shelterbelts exist around the property which make viewing the building from neighbouring properties difficult. Only a fleeting view of the building can be seen when driving along Kapiro Road. It is worth noting also that the building is located over 60 metres from the closest neighbouring dwelling (eastern boundary) and that boundary contains a shelter belt. All adjoining neighbours on this boundary have provided their written approval for the application (see **Appendix C**).

It is considered that the effects of the building in terms of character and appearance within the rural environment is less than minor.

(b) The siting of the building(s), decks and outdoor areas relative to adjacent properties and the road frontage, in order to avoid visual domination and loss of privacy and sunlight.

The building is located sufficiently within the site that any effects associated with visual dominance, privacy and sunlight are negligible. There are no decks or outdoor areas associated with the building and the entrance is on the northern aspect facing Kapiro Road.

As mentioned, the view from Kapiro Road is fleeting and the building is approximately 40 metres from the eastern boundary. The eastern boundary contains a shelter belt and all adjoining neighbours on the eastern boundary have provided their written approval for the application (see **Appendix C**). In terms of the remaining boundaries, all are approximately 100 metres from the building.

It is considered that the effects of the building in terms of visual domination and loss of privacy and sunlight are negligible.

(c) The size, location and design of open space and the extent to which trees and garden plantings are utilised for mitigating adverse effects.

The property is over 5 hectares in size and can easily accommodate open space for the residence. No open space is required by the Church as all activities are undertaken in doors. There is extensive shelter belt planting on the boundaries of the site as well as internally within the site. The majority of the site remains as open space. The effects on open space are less than minor.

(d) The ability of the immediate environment to cope with the effects of increased vehicular and

pedestrian traffic.

As identified earlier in this report, the actual increase in traffic movements resulting from the Church activities are believed to be commensurate with the permitted activity standard in the Rural Production zone. Further, these additional traffic movements are generally limited to Saturdays and Wednesday only. Pedestrian traffic is limited in the location as no footpaths are provided along Kapiro Road.

The effects from the additional traffic movements are considered to generally align with what is anticipated in the receiving environment and the effects are considered less than minor.

(e) The location and design of vehicular and pedestrian access, on site vehicle manoeuvring and parking areas and the ability of those to mitigate the adverse effects of additional traffic.

Vehicular access to the site is by way of the existing access at 390 Kapiro Road. There are no footpaths along Kapiro Road so any effect on pedestrian access is non-existent.

The width of the access from Kapiro Road is approximately 16 metres wide at the carriage way (see Figure 7 below). Sight distances to the east and to the west of the site are in excess of 150m. The generous sight distances and design of the entrance off Kapiro Road is considered sufficient to allow safe ingress and egress from the site.

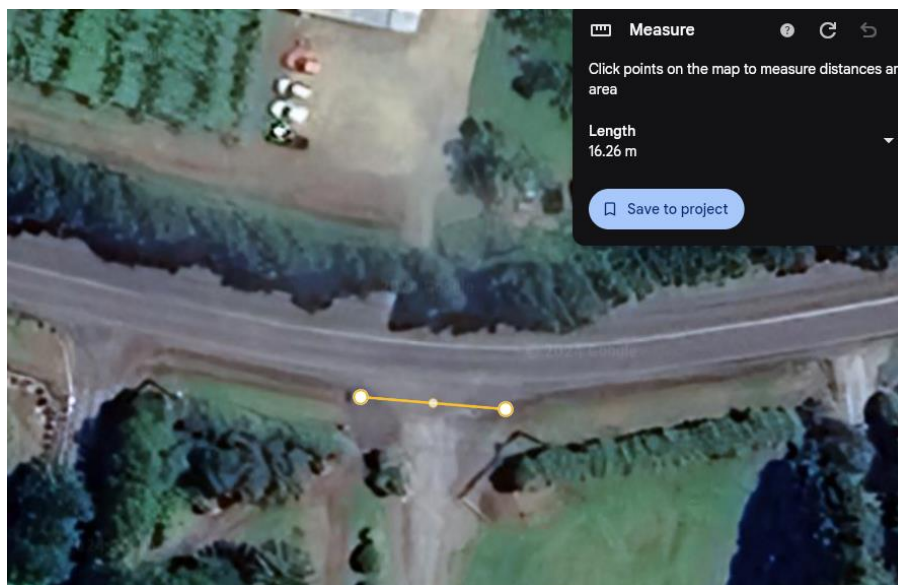


Figure 7 – Site access 390 Kapiro Rd (Source: Google Earth)

On the site there is sufficient room for the parking required for the Church activity. While not demarcated, there is estimated to be room for up to 40 vehicles on the metal area (see Figure 8 below). This is double the required 20 parking spaces in the district plan. There is also considered to be sufficient area to provide for a disability park.

The Church has been operating on the site for some time and the current arrangement works well

and there are no reported issues associated with vehicle manoeuvring and parking. The effects are therefore considered to be less than minor.



Figure 8 – Site aerial of parking area at 390 Kapiro Rd (Source: Google Earth)

(f) Location in respect of the roading hierarchy – the activity should be assessed with regard to an appropriate balance between providing access and the function of the road.

As discussed above, the site has generous sight distances both to the east and to the west. Further, the entrance to the site off Kapiro Road is approximately 16 metres wide at the carriage way. The actual traffic movements associated with the Church activity are considerably less than the quantum stipulated in the formula within Appendix 3 of the district plan. As such, it is considered that the effects on the function on Kapiro Road are more or less commensurate with the traffic movements enabled as a permitted activity in the district plan for the Rural Production zone (60 traffic movements).

(g) The extent to which hours of operation are appropriate in terms of the surrounding environment.

The church meets during Saturday and Wednesday and within the confines of the building. It is therefore considered that any effects in respect of operational hours are negligible.

(h) Noise generation and the extent to which reduction measures are used.

The church meets during Saturday and Wednesday, and within the confines of the building. It is anticipated that the noise levels will be within the limits permitted in the Rural Production zone. It is

therefore considered that any effects in respect of operational hours and noise generation are negligible.

(i) Any servicing requirements and/or constraints of the site – whether the site has adequate water supply and provision for disposal of waste products and stormwater.

The COA being applied for through Councils building authority addresses civil matters in relation to wastewater and potable water supply. The site is well under the permitted threshold for stormwater management.

(j) Whether the development is designed in a way that avoids, remedies or mitigates any adverse effects of stormwater discharge from the site into reticulated stormwater systems and/or natural water bodies.

The buildings and impermeable surfaces on the site are under the permitted thresholds for stormwater management and building coverage. The effects therefore are understood by Council and any effects of stormwater discharge are less than minor.

(k) The ability to provide adequate opportunity for landscaping and buildings and for all outdoor activities associated with the residential unit(s) permitted on the site.

The site has significant tracts of landscaping within and on the boundaries. The size of the site provides sufficient outdoor space for activities.

(l) The degree to which mitigation measures are proposed for loss of open space and vegetation.

The site is over 5 hectares and there is significant open space on the property. The building can ordinarily be placed in its existing location as a permitted activity. Retrospective resource consent is required because the use of the building is changing to a Church. There are not considered to be any effects in respect of open space and vegetation.

(m) Any adverse effects on the life supporting capacity of soils.

The site is identified as containing Class 3 soils. As identified earlier, the building itself can ordinarily be placed on the site as a permitted activity. The building is now being used as a Church and it is the activity not the building itself that requires consent.

It is therefore considered that the effect of the land use being sought has no discernible effect on the life supporting capacity of the soil over and above the permitted baseline of placing the same building on the site and being used in a different capacity.

(n) The extent of visual and aural privacy between residential units on the site and their associated outdoor spaces.

There are no effects as the house is proposed to be removed.

(o) Visual effects of site layout on the natural character of the coastal environment.

The site is not located within the coastal environment.

(p) The effect on indigenous vegetation and habitats of indigenous fauna.

The site is identified as being located within a kiwi present area, however there are no consent notices applied to the title. There is no indigenous vegetation or habitats affected.

(q) The extent to which the activity may cause or exacerbate natural hazards or may be adversely affected by natural hazards, and therefore increase the risk to life, property and the environment.

The site is not identified as being affected by natural hazards. The buildings and impermeable surfaces on the site are well within the permitted levels for stormwater management and building coverage.

(r) Proximity to rural production activities and potential for incompatible and reverse sensitivity effects.

The Church is located centrally within the site. The surrounding land uses to the east and south are more commensurate with rural lifestyle activities. Properties to the north and west are currently being used in a horticultural capacity and are located over 100 metres away. This setback distance is commensurate with the setback requirements for the Minerals zone in the district plan. As such, it is considered that there is little capacity for reverse sensitivity effects on surrounding Rural Production activities.

(s) When establishing a minor residential unit

(i) the extent of the separation between it and the principal dwelling;

(ii) the degree to which the design is compatible with the principal dwelling;

(iii) the extent that services can be shared;

(iv) the extent that the floor plan is fit for purpose;

(v) the extent to which landscaping is utilised to mitigate adverse effects;

(vi) the design of the building in regard to how easily it may be removed from a site should circumstances change.

No minor residential unit is proposed.

(t) With respect to access to a State Highway (SH) that is a Limited Access Road, the effects on the safety and/or efficiency on any SH and its connections to the local roading network and the provision of written approval from the NZ Transport Agency.

Access from the site is not onto a State Highway.

Traffic and Access

(a) The extent by which the expected traffic intensity for a proposed activity exceeds the assumed value set by the Traffic Intensity Factor contained in Appendix 3A in Part 4 of the Plan.

The actual traffic movements associated with the Church activity are considerably less than the quantum stipulated in the formula within Appendix 3 of the district plan, which calculates 200 traffic movements. The Church congregation meets twice a week, and its 100 members are a mix of adults and children. Vehicles contain multiple occupants and generally only ingress and egress the site once. It is considered that the actual number of traffic movements associated with the Church activity are commensurate with the traffic movements enabled as a permitted activity in the district plan for the Rural Production zone (60 traffic movements).

(b) The time of day when the extra vehicle movements will occur.

The church meets through daylight hours on a Saturday and Wednesday. As above, the traffic movements are in reality commensurate with the permitted activity threshold in the Rural Production zone due to multiple occupants within the vehicles and generally a singular ingress and egress.

(c) The distance between the location where the vehicle movements take place and any adjacent properties.

The closest driveway of an adjacent property is 396 Kapiro Road. This property has provided their written approval for the application (see **Appendix C**).

(d) The width and capability of any street to be able to cope safely with the extra vehicle movements.

As broached earlier, the width of the access from Kapiro Road is approximately 16 metres wide at the carriage way. Sight distances to the east and to the west of the site are in excess of 150m. The generous sight distances and design of the entrance off Kapiro Road is considered sufficient to allow safe ingress and egress from the site.

(e) The location of any footpaths and the volume of pedestrian traffic on them.

There are no footpaths along Kapiro Road. Pedestrian traffic is not a consideration.

(f) The sight distances associated with the vehicle access onto the street.

Sight distances to the east and to the west of the site are well in excess of 150m. The generous sight distances and design of the entrance off Kapiro Road is considered sufficient to allow safe ingress and egress from the site.

(g) The existing volume of traffic on the streets affected.

Kapiro Road is a Council Road. As previously discussed, the actual additional traffic movements resulting from the Church activity are commensurate with the permitted activity threshold in the

district plan for the Rural Production zone.

(h) Any existing congestion or safety problems on the streets affected.

There are no existing congestion or safety problems understood to exist on Kapiro Road in this location.

(i) With respect to effects in local neighbourhoods, the ability to mitigate any adverse effects through the design of the access, or the screening of vehicle movements, or limiting the times when vehicle movements occur.

The width of the access from Kapiro Road is approximately 16 metres wide at the carriage way, which is considered sufficient to allow safe ingress and egress from the site. There is existing planting along the Kapiro Road boundary providing a natural screen for vehicles once on the site. The Church congregation regularly meets once to twice a week on a Wednesday / Saturday and generally only ingress and egress the site once [one in / one out].

(j) With respect to the effects on through traffic on arterial roads, strategic roads and State Highways, any measures such as right-turn bays, flush medians, left turn deceleration tapers, etc. proposed to be installed on the road as part of the development to accommodate traffic turning into and out of the site.

The measures are not considered necessary in this location as the actual traffic effects are commensurate with the permitted activity threshold in the district plan for the Rural Production zone. However, the entrance to the site does allow left turning traffic to pull sufficiently to the left on entering the site and sight lines to the east and west are in excess of 150 metres.

(k) The extent to which the activity may cause or exacerbate natural hazards or may be adversely affected by natural hazards, and therefore increase the risk to life, property and the environment.

The site is not identified as being affected by natural hazards. The buildings and impermeable surfaces on the site are well within the permitted levels for stormwater management and building coverage.

(l) The extent to which the activity may result in adverse effects on the safety and efficiency of the State Highway system and its connections to the local roading network.

The site is located sufficiently away from a State Highway to incur no discernible effect.

(m) the effects on the safety and/or efficiency on any State Highways, its connections to the local road network and the provision of written approval from the NZ Transport Agency.

The site is located sufficiently away from a State Highway to incur no discernible effect.

(n) The effects of the activity where it is located within 500m of reserve land administered by the Department of Conservation upon the ability of the Department to manage and administer that land.

The site does not affect reserve land administered by the Department of Conservation.

National Policy Statements for Highly Productive Land (NPS-HPL)

The NPS-HPL applies to the subject site as that the land is classified as class 3s 2.

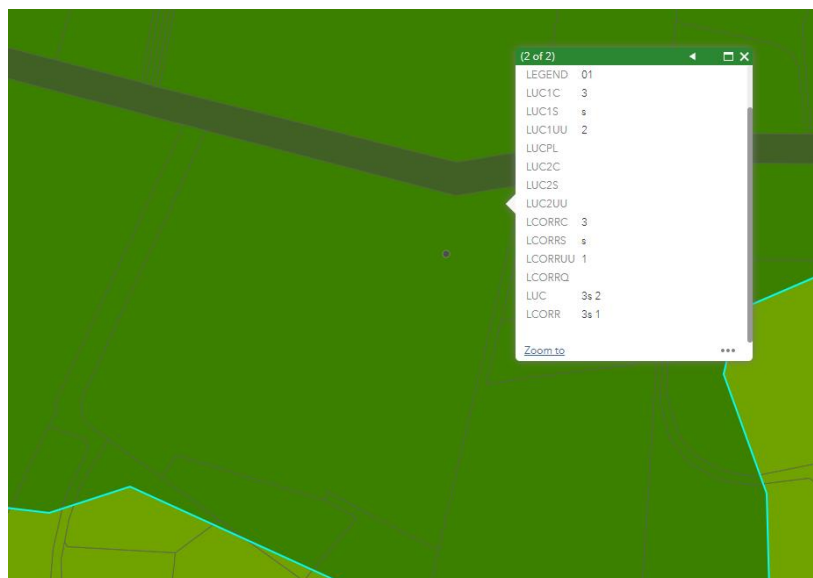


Figure 9 – Versatile soils (Source: Far North Maps)

The site is identified as containing Class 3 soils. As identified earlier, the building itself can ordinarily be placed on the site as a permitted activity. The building is now being used as a Church and it is the activity not the building itself that requires consent. It is therefore considered that the effect of the land use being sought has no discernible effect on the life supporting capacity of the soil over and above the permitted baseline of placing the same building on the site and being used in a different capacity.

Regardless, the size of the site is such that it is not considered viable as a productive unit. Councils section 32 analysis on the Rural zones for the PDP provides a useful benchmark in terms of establishing the quantum of land required to sustain productive property area (ha). As such it is a yardstick to establish whether the protection of highly productive land should apply. If the land is not capable of supporting productive rural activities, then the protection of that use is redundant.

Table 31 identifies Estimated Annual Return (\$) by Primary Production Property Size (ha).

Table 31: Estimated Annual Return (\$) by Primary Production Property Size (ha)

Annual Household Return (\$)	Required Productive Property Area (ha)					
	Sheep, Beef and Grain Farming		Other Livestock Farming (Deer Focussed)	Dairy Farming	Horticulture	
	Sheep and Beef	Arable Crops (Grain Focussed)			Kiwifruit	Viticulture
\$ 45,000	242	70	126	46	7	11
\$ 50,000	269	77	140	52	8	13
\$ 55,000	296	85	154	57	9	14
\$ 60,000	323	93	168	62	10	15
\$ 65,000	350	101	182	67	11	16
\$ 70,000	377	108	196	72	11	18
\$ 75,000	404	116	210	77	12	19
\$ 80,000	431	124	224	83	13	20
\$ 85,000	458	132	238	88	14	21
\$ 90,000	484	139	252	93	15	23
\$ 95,000	511	147	266	98	15	24
\$ 100,000	538	155	280	103	16	25

* Source: M.E (based on available industry data and M.E assumptions)

The table provides the quantum of land required to support a range of rural production uses. It is clear from the table that horticultural activities require less land than other rural production uses. The table identifies that the smallest quantum of land required that could support a viable horticulture activity is seven hectares. The subject site is below this threshold being just over 5 hectares.

The combination of the size of the property, the current land use, the rural lifestyle land use on the southern side of Kapiro Road and being sufficiently set away from any actual primary production activities, means it can be pragmatically concluded that the effects on highly productive land will be no more than minor. As such, the proposal is considered to be consistent with the aims and intents of the NPS-HPL.

Northland Regional Policy Statement

The subject site is within the Northland region and is subject to the governing objectives and policies of the operative Northland Regional Policy Statement - operative May 2016 (RPS). With respect to any identified features, the site is not within any area of 'High' or 'Outstanding' Natural Character Area and is outside the Coastal Environment boundary.

Owing to the relevant characteristics of the site (considered earlier in the report) not all matters of the RPS are relevant when considered at a micro level. Those relevant matters are considered below:

Objective / Policy	Comment
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Integrated Catchment Management	Not relevant.
Region-Wide Water Quality	Not relevant.
Ecological Flows and Water Levels	Not relevant.
Indigenous Ecosystems & Biodiversity	Not relevant.
Enabling Economic Wellbeing	The proposal would have required goods and services which increase economic wellbeing.
Economic Activities – Reverse Sensitivity and Sterilization	The proposal does not result in any reverse sensitivity or sterilization effects.
Regionally Significant Infrastructure	The proposal does not impact any regionally significant infrastructure.
Efficient and Effective Infrastructure	The proposal generally seeks to use existing on site infrastructure.
Security of Energy Supply	Power is already provided to the boundary of the site.
Use and Allocation of Common Resources	Not relevant.
Regional Form	The proposal does not result in any reverse sensitivity effects, or a change in a character or sense of place.
Tangata Whenua Role in Decision Making	Not relevant in this instance.
Natural Hazard Risk	Not relevant.
Natural Character, Outstanding Natural Features, Outstanding Natural Landscapes and Historic Heritage	Not relevant.

There are no other relevant matters that require consideration over and above what is already considered by way of the ODP.

Overall, it is considered that the proposal would not be inconsistent with the RPS.

ODP Objectives and Policies

The relevant objectives and policies of the Plan are those related to the Rural Environment in general, the Rural Production Zone and Transportation. The general intent of the Rural Production Zone is revolved around land use compatibility and reverse sensitivity. The assessment above has concluded that there are not considered to be any effects in terms of land use compatibility or reverse sensitivity, as the proposed activity is undertaken in doors and the nearest rural production activity is over 100m away and the site.

Objectives	Assessment
8.6.3.1 To promote the sustainable management of natural and physical resources in the Rural Production Zone.	The building was existing and has been altered to accommodate the Churches activities.
8.6.3.2 To enable the efficient use and development of the Rural Production Zone in a way that enables people and communities to provide for their social, economic, and cultural wellbeing and for their health and safety.	The building was existing and has been altered to accommodate the Churches activities. The Church enables the landowner and the congregation to provide for their social and cultural wellbeing.
8.6.3.3 To promote the maintenance and enhancement of the amenity values of the Rural Production Zone to a level that is consistent with the productive intent of the zone.	The building was existing and can be established as a permitted activity. The change of use to a Church used on a Wednesday and Saturday does little to change the amenity of the Rural Production zone. The building itself is akin to a building ordinarily seen in this environment.
8.6.3.4 To promote the protection of significant natural values of the Rural Production Zone.	There are no significant natural values attributed to the site. The building itself is akin to a building ordinarily seen in this environment.
8.6.3.5 To protect and enhance the special amenity values of the frontage to Kerikeri Road between its intersection with SH10 and the urban edge of Kerikeri.	Not applicable
8.6.3.6 To avoid, remedy or mitigate the actual and potential conflicts between new land use activities and existing lawfully established activities (reverse sensitivity) within the Rural Production Zone and on land use activities in neighbouring zones.	As detailed in the assessment of environmental effects, there are not considered to be any reverse sensitivity effects within the Rural Production zone in this location from the change in activity.
8.6.3.7 To avoid remedy or mitigate the adverse effects of incompatible use or development on natural and physical resources.	The use of the building, in a limited capacity (generally once to twice a week) is not considered to incur an adverse effect on natural and physical resources.
8.6.3.8 To enable the efficient establishment and operation of activities and services that have a functional need to be located in rural environments.	The application does not affect the Rural Production zone in this location in terms of limiting activities that have a functional need to be located in the rural environment.
8.6.3.9 To enable rural production activities to be undertaken in the zone.	The application does not affect the ability for rural production activities to be undertaken in the Rural Production zone in this location.
Policy	Assessment
8.6.4.1 That the Rural Production Zone enables farming and rural production activities, as well as a wide range of activities, subject to the need to ensure that any adverse effects on the environment, including any reverse sensitivity effects, resulting from these activities are	As detailed in the assessment of environmental effects, there are not considered to be any reverse sensitivity effects within the Rural Production zone in this location from the change in land use. There are currently no rural

avoided, remedied or mitigated and are not to the detriment of rural productivity.	production activities being undertaken on the site, or within 100 metres of the Church.
8.6.4.2 That standards be imposed to ensure that the off site effects of activities in the Rural Production Zone are avoided, remedied or mitigated.	As detailed in the assessment of environmental effects, any affects from the change in land use are considered to be less than minor.
8.6.4.3 That land management practices that avoid, remedy or mitigate adverse effects on natural and physical resources be encouraged.	As detailed in the assessment of environmental effects, any affects from the change in land use are considered to be less than minor.
8.6.4.4 That the type, scale and intensity of development allowed shall have regard to the maintenance and enhancement of the amenity values of the Rural Production Zone to a level that is consistent with the productive intent of the zone.	The heavily vegetated boundary of the site as well as internal landscaping appropriately mitigates any amenity effects on the Rural Production zone.
8.6.4.5 That the efficient use and development of physical and natural resources be taken into account in the implementation of the Plan.	The building was existing and can be established as a permitted activity. The change of use to a Church used on Wednesdays / Saturdays does little to change the amenity of the Rural Production zone. The building itself is akin to a building ordinarily seen in this environment.
8.6.4.6 That the built form of development allowed on sites with frontage to Kerikeri Road between its intersection with SH10 and Cannon Drive be maintained as small in scale, set back from the road, relatively inconspicuous and in harmony with landscape plantings and shelter belts.	Not applicable.
8.6.4.7 That although a wide range of activities that promote rural productivity are appropriate in the Rural Production Zone, an underlying goal is to avoid the actual and potential adverse effects of conflicting land use activities.	As detailed in the assessment of environmental effects, there are not considered to be any reverse sensitivity effects within the Rural Production zone in this location from the change in land use. There are currently no rural production activities being undertaken within 100m of the building.
8.6.4.8 That activities whose adverse effects, including reverse sensitivity effects, cannot be avoided remedied or mitigated are given separation from other activities.	As detailed in the assessment of environmental effects, there are not considered to be any reverse sensitivity effects within the Rural Production zone in this location from the change in land use. There are currently no rural production activities being undertaken within 100m of the building.
8.6.4.9 That activities be discouraged from locating where they are sensitive to the effects of or may compromise the continued operation of lawfully established existing activities in the Rural Production zone and in neighbouring zones.	As detailed in the assessment of environmental effects, there are not considered to be any reverse sensitivity effects within the Rural Production zone in this location from the change in land use. There are currently no rural

	production activities being undertaken within 100m of the building.
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Objectives	Assessment
15.1.3.1 To minimise the adverse effects of traffic on the natural and physical environment.	As detailed in the assessment of environmental effects, the width of the access from Kapiro Road is approximately 16 metres wide at the carriage way. Sight distances to the east and to the west of the site are well in excess of 150m. These factors are considered to allow safe ingress and egress from the site.
15.1.3.2 To provide sufficient parking spaces to meet seasonal demand in tourist destinations.	The building is not a tourist destination. Sufficient parking is provided for the Church activity.
15.1.3.3 To ensure that appropriate provision is made for on-site car parking for all activities, while considering safe cycling and pedestrian access and use of the site.	Sufficient parking is provided for the Church activity. The site is in the rural environment and no footpaths link to the site.
15.1.3.4 To ensure that appropriate and efficient provision is made for loading and access for activities.	As detailed in the assessment of environmental effects, it is considered that safe ingress and egress from the site is provided.
15.1.3.5 To promote safe and efficient movement and circulation of vehicular, cycle and pedestrian traffic, including for those with disabilities.	As detailed in the assessment of environmental effects, sufficient parking is provided to cater for the Church activity.
Policy	Assessment
15.1.4.1 That the traffic effects of activities be evaluated in making decisions on resource consent applications.	As detailed in the assessment of environmental effects, the width of the access from Kapiro Road is approximately 16 metres wide at the carriage way. Sight distances to the east and to the west of the site are well in excess of 150m. These factors are considered to allow safe ingress and egress from the site. Further, the traffic movements in reality are considered to be akin to the permitted activity threshold in the Rural Production zone.
15.1.4.2 That the need to protect features of the natural and built environment be recognised in the provision of parking spaces.	Not applicable.
15.1.4.3 That parking spaces be provided at a location and scale which enables the efficient use of parking spaces and handling of traffic generation by the adjacent roading network.	The provision for parking is in excess of that required by the district plan.
15.1.4.4 That existing parking spaces are retained or replaced with equal or better capacity where appropriate, so as to ensure the orderly movement and control of traffic.	The provision for parking is in excess of that required by the district plan.

15.1.4.5 That appropriate loading spaces be provided for commercial and industrial activities to assist with the pick-up and delivery of goods.	Not applicable.
15.1.4.6 That the number, size, gradient and placement of vehicle access points be regulated to assist traffic safety and control, taking into consideration the requirements of both the New Zealand Transport Agency and the Far North District Council.	As detailed in the assessment of environmental effects, the width of the access from Kapiro Road is approximately 16 metres wide at the carriage way. Sight distances to the east and to the west of the site are well in excess of 150m. These factors are considered to allow safe ingress and egress from the site.
15.1.4.7 That the needs and effects of cycle and pedestrian traffic be taken into account in assessing development proposals.	Cycle and pedestrian traffic is limited in this location. The site is in the rural environment and no footpaths link to the site.
15.1.4.8 That alternative options be considered to meeting parking requirements where this is deemed appropriate by the Far North District Council.	The provision for parking is in excess of that required by the district plan.

The proposal is considered to be consistent with the aims and intents of the ODP.

PDP Objectives and Policies

Part 3 – Area Specific Matters / ZONES / Special Purpose zones / Horticulture

Objectives	Assessment
HZ-O1 - The Horticulture zone is managed to ensure its long-term availability for horticultural activities and its long-term protection for the benefit of current and future generations.	The site is not considered economic in terms of productive horticultural use. This opinion is supported by the Rural Environmental Economic Analysis Report prepared by 4Sight Consulting for the Rural Environment s32 analysis for the PDP.
HZ-O2 - The Horticulture zone enables horticultural and ancillary activities, while managing adverse environmental effects on site.	There are currently no horticulture activities being undertaken on the site.
HZ-O3 - Land use and subdivision in the Horticulture zone: <ul style="list-style-type: none"> a. avoids land sterilisation that reduces the potential for highly productive land to be used for a horticulture activity; b. avoids land fragmentation that comprises the use of land for horticultural activities; c. avoids any reverse sensitivity effects that may constrain the effective and efficient operation of primary production activities; 	The site is not considered economic in terms of productive horticultural use. This opinion is supported by the Rural Environmental Economic Analysis Report prepared by 4Sight Consulting for the Rural Environment s32 analysis for the PDP. No subdivision is being proposed. The site is currently being used in a residential lifestyle capacity. There are no known natural hazards on the site. The building is similar to other buildings constructed within the Rural Production zone.

<ul style="list-style-type: none"> d. does not exacerbate any natural hazards; e. maintains the rural character and amenity of the zone; f. is able to be serviced by on-site infrastructure. 	<p>All development on the site will be serviced by on-site infrastructure. COA currently being sought for wastewater and potable water.</p>
<p>Policy</p>	<p>Assessment</p>
<p>HZ-P1 - Identify a Horticulture zone in the Kerikeri/Waipapa area using the following criteria:</p> <ul style="list-style-type: none"> a. presence of highly productive land suitable for horticultural use; b. access to a water source, such as an irrigation scheme or dam able to support horticultural use; and c. infrastructure available to support horticultural use. 	<p>The proposed site has been identified through the PDP review to contain these criteria.</p>
<p>HZ-P2 - Avoid land use that:</p> <ul style="list-style-type: none"> a. is incompatible with the purpose, function and character of the Horticulture zone; b. will result in the loss of productive capacity of highly productive land; c. compromises the use of highly productive land for horticultural activities in the Horticulture zone; and d. does not have a functional need to be located in the Horticultural zone and is more appropriately located in another zone. 	<p>The site and is not considered economic in terms of productive horticultural use. This opinion is supported by the Rural Environmental Economic Analysis Report prepared by 4Sight Consulting for the Rural Environment s32 analysis for the PDP.</p>
<p>HZ-P3 - Enable horticulture and associated ancillary activities that support the function of the Horticulture zone, where:</p> <ul style="list-style-type: none"> a. adverse effects are contained on site to the extent practicable; and b. they are able to be serviced by onsite infrastructure. 	<p>The site does little to affect the ability to support the function of the Horticulture zone with respect to land use on the site. As identified the site and is not considered economic in terms of productive horticultural use. This opinion is supported by the Rural Environmental Economic Analysis Report prepared by 4Sight Consulting for the Rural Environment s32 analysis for the PDP.</p>
<p>HZ-P4 - Ensure residential activities are designed and located to avoid, or otherwise mitigate, reverse sensitivity effects on horticulture activities, including adverse effects associated with dust, noise, spray drift and potable water collection.</p>	<p>The dwelling is not proposed as part of the application.</p>
<p>HZ-P5 - Manage the subdivision of land in the Horticulture zone to:</p> <ul style="list-style-type: none"> a. avoid fragmentation that results in loss of highly productive land for use by 	<p>The proposal does not relate to subdivision.</p>

<p>horticulture and other farming activities;</p> <ul style="list-style-type: none"> b. ensure the long-term viability of the highly productive land resource to undertake a range of horticulture uses; c. enable a suitable building platform for a future residential unit; and d. ensure there is provision of appropriate onsite infrastructure. 	
<p>HZ-P6 - Encourage the amalgamation or boundary adjustments of Horticulture zoned land where this will help to make horticultural activities more viable on the land.</p>	<p>The proposal does not relate to amalgamation or boundary adjustments.</p>
<p>HZ-P7 - Manage land use and subdivision to address the effects of the activity requiring resource consent, including (but not limited to) consideration of the following matters where relevant to the application:</p> <ul style="list-style-type: none"> a. whether the proposal will increase production potential in the zone; b. whether the activity relies on the productive nature of the soil; c. consistency with the scale and character of the rural environment; d. location, scale and design of buildings or structures; e. for subdivision or non-primary production activities: <ul style="list-style-type: none"> i. scale and compatibility with rural activities; ii. potential reverse sensitivity effects on primary production activities and existing infrastructure; iii. the potential for loss of highly productive land, land sterilisation or fragmentation f. at zone interfaces: <ul style="list-style-type: none"> i. any setbacks, fencing, screening or landscaping required to address potential conflicts; ii. the extent to which adverse effects on adjoining or surrounding sites are mitigated and internalised within the site as far as practicable; g. the capacity of the site to cater for on-site infrastructure associated with the proposed activity, including whether the site has access to a water source 	<p>The assessment of effects for this proposal is addressed earlier in the application.</p>

<p>such as an irrigation network supply, dam or aquifer;</p> <p>h. the adequacy of roading infrastructure to service the proposed activity;</p> <p>i. Any adverse effects on historic heritage and cultural values, natural features and landscapes or indigenous biodiversity;</p> <p>j. Any historical, spiritual, or cultural association held by tangata whenua, with regard to the matters set out in Policy TW-P6.</p>	
--	--

Proposed Far North District Plan Objectives & Policies & Weighting

Section 88A(2) provides that “any plan or proposed plan which exists when the application is considered must be had regard to in accordance with section 104(1)(b).” This requires applications to be assessed under both the operative and proposed objective and policy frameworks from the date of notification of the proposed district plan.

In the event of differing directives between objective and policy frameworks, it is well established by case law that the weight to be given to a proposed district plan depends on what stage the relevant provisions have reached, the weight generally being greater as a proposed plan move through the notification and hearing process. In *Keystone Ridge Ltd v Auckland City Council*, the High Court held that the extent to which the provisions of a proposed plan are relevant should be considered on a case by case basis and might include:

- The extent (if any) to which the proposed measure might have been exposed to testing and independent decision making;
- Circumstances of injustice; and
- The extent to which a new measure, or the absence of one, might implement a coherent pattern of objectives and policies in a plan.

In my view the PDP has not gone through the sufficient process to allow a considered view of the objectives and policies for the Horticulture Zone overlay, however this has still been provided. The activity is Discretionary overall, therefore both the ODP and PDP have been assessed accordingly and the proposal is deemed to meet the relevant objectives and policies.

8. PART II – RMA

Purpose

The proposal can promote the sustainable management of natural and physical resources on site, as the owners of the land are able to provide for their social and cultural wellbeing. The proposal will

provide for a Church in a building ordinarily anticipated in the Rural Production zone and any effects on the environment are anticipated to be less than minor.

Matters of National Importance

In achieving the purpose of the RMA, a range of matters are required to be recognized and provided for. This includes:

- a) the preservation of the natural character of the coastal environment (including the coastal marine area), wetlands, and lakes and rivers and their margins, and the protection of them from inappropriate subdivision, use, and development:
- b) the protection of outstanding natural features and landscapes from inappropriate subdivision, use, and development:
- c) the protection of areas of significant indigenous vegetation and significant habitats of indigenous fauna:
- d) the maintenance and enhancement of public access to and along the coastal marine area, lakes, and rivers:
- e) the relationship of Maori and their culture and traditions with their ancestral lands, water, sites, waahi tapu, and other taonga:
- f) the protection of historic heritage from inappropriate subdivision, use, and development:
- g) the protection of protected customary rights:
- h) the management of significant risks from natural hazards.

In context, the relevant items to the proposal and have been recognized and provided for.

Māori are not considered to be adversely affected by this proposal, nor is any historic heritage impacted.

Other Matters

In achieving the purpose of the RMA, a range of matters are to be given particular regard. This includes:

- (a) kaitiakitanga:
 - (aa) the ethic of stewardship:
- (b) the efficient use and development of natural and physical resources:
 - (ba) the efficiency of the end use of energy:
- (c) the maintenance and enhancement of amenity values:
- (d) intrinsic values of ecosystems:
- (e) [Repealed]
- (f) maintenance and enhancement of the quality of the environment:

- (g) any finite characteristics of natural and physical resources:
- (h) the protection of the habitat of trout and salmon:
- (i) the effects of climate change:
- (j) the benefits to be derived from the use and development of renewable energy.

These matters have been given particular regard through the design of the proposal.

Amenity values will be maintained because the proposal relates to the use of a building in the Rural Production zone that could ordinarily be constructed as a permitted activity. Significant landscaping remains on the property and the neighbours closest to the activity have provided their written approval. There will be no adverse impact on local ecosystems or overall.

Treaty of Waitangi

The Far North District Council is required to take into account the principles of the Treaty of Waitangi when processing this consent. This consent application may be sent to local iwi and hapū who may have an interest in this application.

9. Conclusion

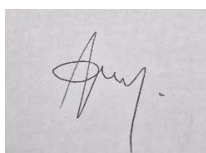
This application seeks retrospective resource consent for the use of an existing building on the property at 390 Kapiro Road to accommodate a Church for the Seventh-day Adventist

The proposal is consistent with the purpose of the NPS-HPL, the aims of the RPS, it is generally compatible with the aims of the ODP and is also considered to achieve the purpose of the RMA (Part II).

While the application does not wholly align with the intent of the Horticulture zone in the PDP, it is considered that the size of the site is not economic in terms of productive horticultural use. Further, the PDP is not far enough along in the process to apply sufficient weight.

In terms of the potential adverse effects being minor or more than minor, it is considered that there are no directly affected parties to this proposal, however as a belts and braces approach the applicant has gained the written approval of the neighbours closest to the activity. The effects can be adequately mitigated, as such notification is not required. Further, there are not considered to be any special circumstances applying to the application.

We look forward to receiving acknowledgment of the application and please advise if any additional information is required.



Andrew McPhee
Consultant Planner

Reviewed
Steven Sanson
Consultant Planner



**RECORD OF TITLE
UNDER LAND TRANSFER ACT 2017
FREEHOLD**

**Guaranteed Search Copy issued under Section 60 of the Land
Transfer Act 2017**




R. W. Muir
Registrar-General
of Land

Identifier 51777
Land Registration District North Auckland
Date Issued 06 October 2005

Prior References
NA34A/1361

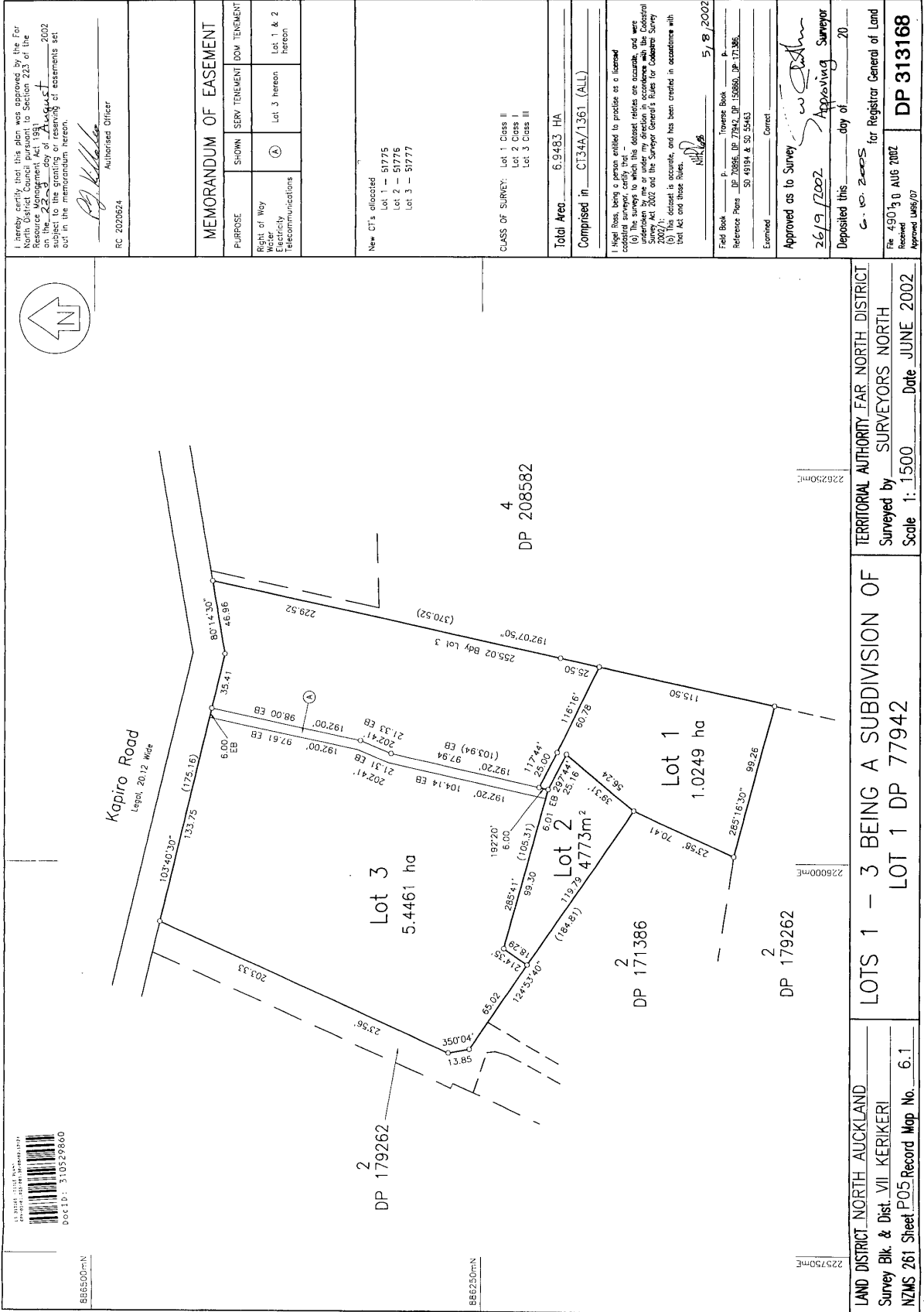
Estate Fee Simple
Area 5.4461 hectares more or less
Legal Description Lot 3 Deposited Plan 313168
Registered Owners
Solid Holdings Limited

Interests

Subject to Section 59 Land Act 1948

Subject to a right of way, water, electricity, telecommunications and computer media easements over part marked A on DP 313168 created by Easement Instrument 6599738.5 - 6.10.2005 at 9:00 am

The easements created by Easement Instrument 6599738.5 are subject to Section 243 (a) Resource Management Act 1991



I hereby certify that this plan was approved by the Registrar General of Land on the 23rd day of August 2002 subject to the granting or reserving of easements set out in the memorandum hereon.

P. K. K. K.
Authorised Officer

RC 2020624

MEMORANDUM OF EASEMENT			
PURPOSE	SHOWN	SERV TENEMENT	DOM TENEMENT
Right of Way	(A)	Lot 3 hereon	Lot 1 & 2 hereon
Electricity			
Telecommunications			

New CT's allocated
 Lot 1 - 51775
 Lot 2 - 51776
 Lot 3 - 51777

CLASS OF SURVEY:
 Lot 1 Class II
 Lot 2 Class I
 Lot 3 Class II

Total Area 6.9483 HA
 Comprised in CT344/1361 (ALL)

I, Noel Ross, being a person entitled to practise as a licensed cadastral surveyor, certify that -
 (a) The surveys to which this dataset relate are accurate, and were surveyed in accordance with the provisions of the Cadastral Survey Act 2002 and the Surveyor General's Rules for Cadastral Survey 2007;
 (b) This dataset is accurate, and has been created in accordance with that Act and those Rules.

Field Book P. 70866, DP 77942, DP 150860, DP 171386.
 Reference Plan SD 49184 & SD 55463

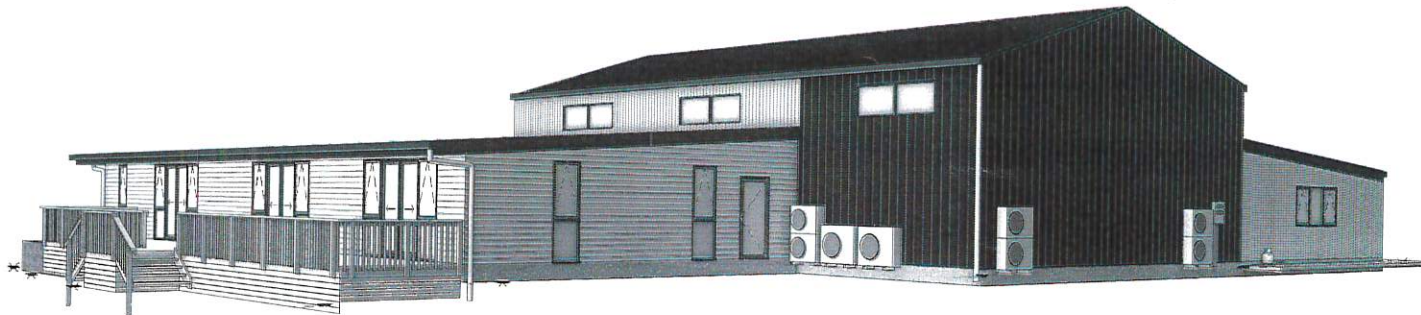
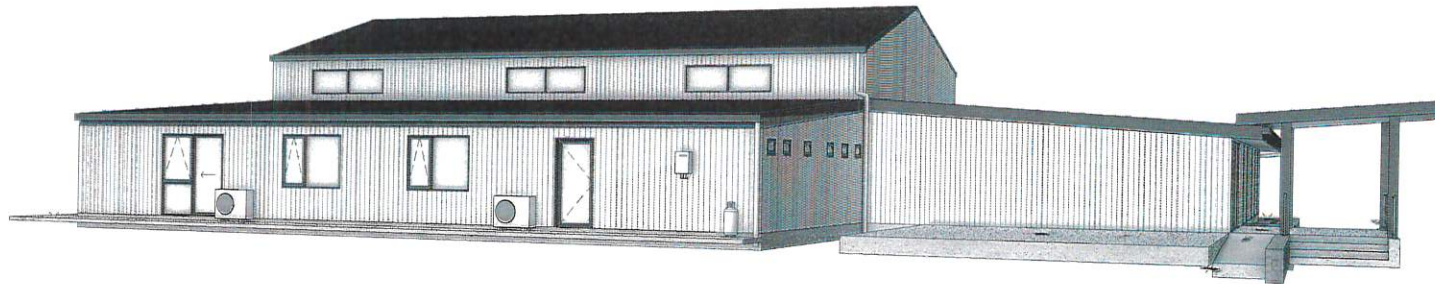
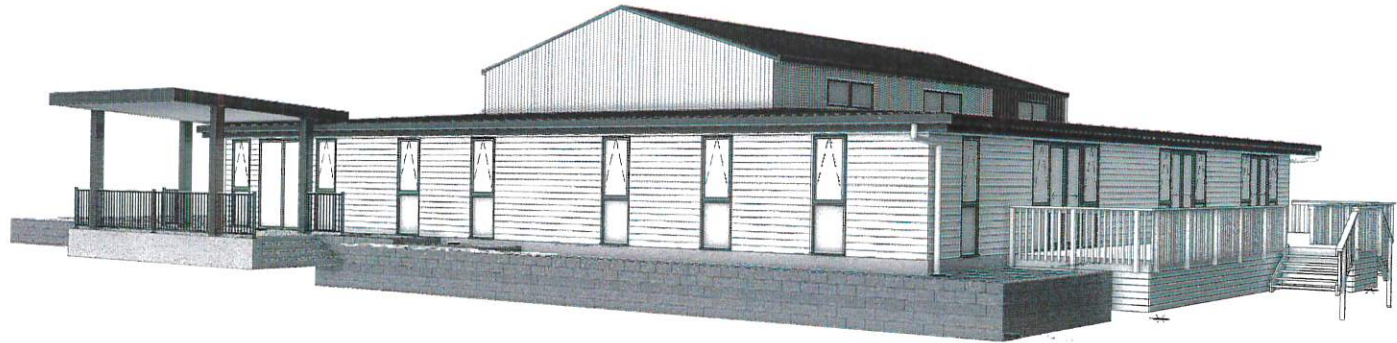
Examined Correct
 Approved as to Survey *S. W. Easton*
 26/9/2002 Approving Surveyor
 Deposited this 20 day of 20

C. W. Zeeb
 for Registrar General of Land
 File 49013 0 AUG 2002
 Received Approved JMS/07
 DP 313168

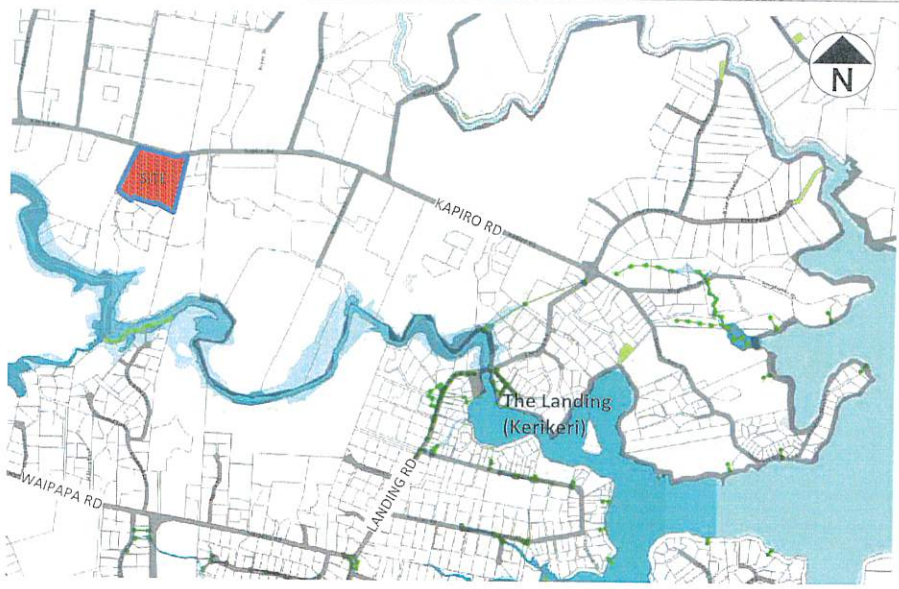
Seventh-day Adventist Church - COA

C/- Kerry Lupi
390 Kapiro Road, Kerikeri, Lot3 DP313168

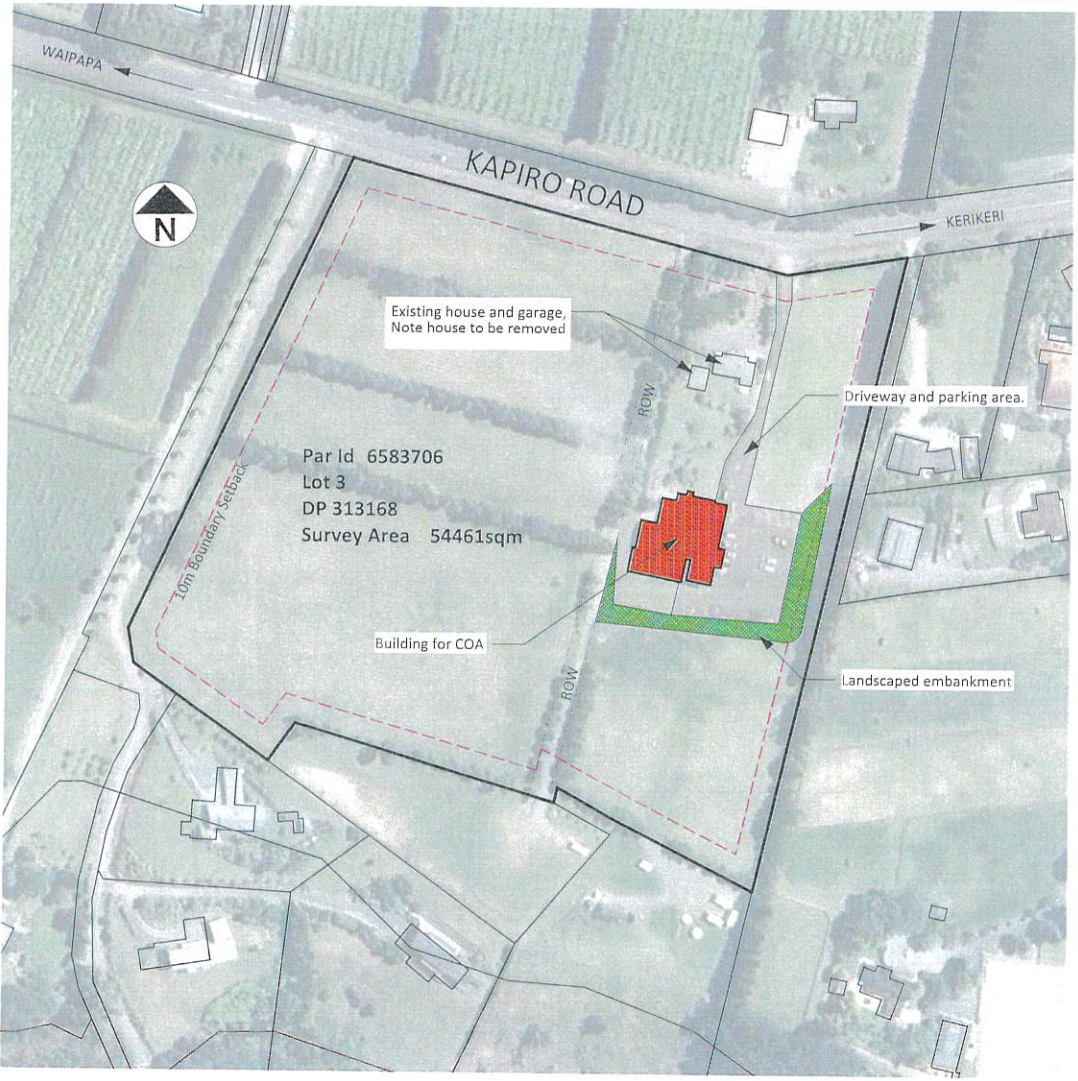
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Interior Photos	09.2
Interior Photos	09.3
Exterior Photos	10.0



2 Context Location
Scale: NTS



1 O/A Site Plan
Scale: 1:2000

FNDC Zone Map - Rural Production

Site Calculations

Site	54461sqm	
FNDC ODP RPZ 8.6.5.1.3 Stormwater Management - The maximum proportion of the gross site area covered by buildings and other impermeable surfaces shall be 15%.		
Existing House	145sqm	Estimated
Existing Garage	65sqm	Estimated
Church Building (COA)	980sqm	Drawn
Church Driveway (COA)	2200sqm	Estimated
ROW	1600sqm	Estimated
Total SW Management	4990sqm	or 9.163%

FNDC ODP RPZ 8.6.5.1.10 Building Coverage - Any new building or alteration/addition to an existing building is a permitted activity if the total Building Coverage of a site does not exceed 12.5% of the gross site area.		
Existing House	145sqm	Estimated
Existing Garage	65sqm	Estimated
Church Building (COA)	970sqm	Drawn
Total Building Coverage	1180sqm	or 2.167%

NB: All areas are collated from LINZ downloads, traced satellite photos and drawing and area estimates only.

Coppermine
Coppermine CAD Services Ltd
85 Coppermine Road
Kaeo, Northland
022 500 1985 - 09 405 1985

This drawing remains the property of Coppermine CAD Services Ltd and should not be copied or used in any way without our written consent.
All work shown or implied to comply with NZS 3109 and the NZ Building Code.
Underpinning treatment to comply with NZS 3602:2003.
Plumbing and drainage must comply with AS/NZS 3555:2003 and the NZ Building Code.
Do not scale from this drawing.
This drawing is to be used in conjunction with all relevant conditions, specialist manufacturer drawings and specifications.
Any discrepancies in dimensions or detail on or between these drawings, should be given to our attention.
All dimensions are in millimetres unless noted.
Any surveyed information incorporated within this drawing cannot be guaranteed as accurate unless confirmed by a fixed dimension.

Project Name
Seventh-day Adventist Church - COA

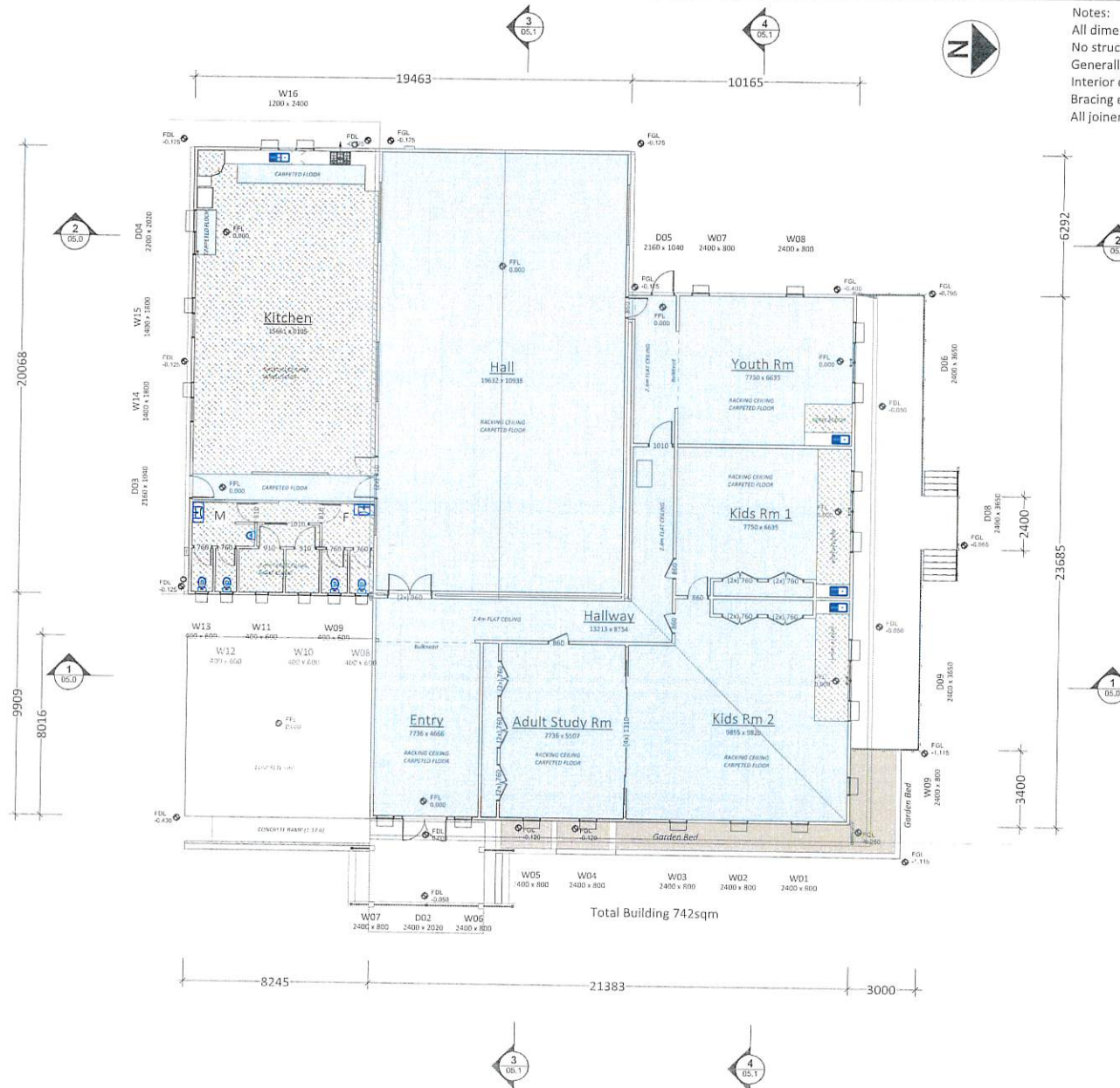
Client
C/- Kerry Lupi

SITE ADDRESS / LOT & DP
390 Kapiro Road, Kerikeri
Lot3 DP313168

Sheet Title Site Plan	ISSUE DATE REVISION
390 Kapiro Road v2.1.vwx	

SIT:	01.0
SCALE:	
DATE:	21/08/2024
DRAWN:	CHECKED

Kerry Lupi



Notes:
 All dimensions shown are to be confirmed onsite.
 No structural elements were sighted.
 Generally all the interior walls are lined with Winstones Gib Board.
 Interior of Hall walls lined with Triboard (Thickness unknown - TBC).
 Bracing element locations unknown. Bracing calculated not sighted.
 All joinery is single glazed powder coated aluminium framed joinery.

1 Floor Plan
 Scale: 1:200

Coppermine
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Project Name
Seventh-day Adventist Church - COA
 Client
C/- Kerry Lupi
 SITE ADDRESS / LOT & DP
**390 Kapiro Road, Kerikeri
 Lot3 DP313168**

Sheet Title
Floor Plan

ISSUE	DATE	REVISION

SHT:	03.0
SCALE:	
DATE:	21/08/2024
DRAWN:	CHECKED

390 Kapiro Road v2.1.wvx



NOTICE OF WRITTEN APPROVAL

Written Approval of Affected Parties in accordance with Section 95E of the Resource Management Act

PART A – To be completed by Applicant

Applicant/s Name:	Kerry Lupi
Address of proposed activity:	390 Kapiro Road, Waipapa
Legal description:	Lot 3, DP313168
Description of the proposal (including why you need resource consent):	The proposal is to use and maintain a Church on Saturdays and the occasional Wednesday. The building is not a permitted activity under the district plan
Details of the application are given in the attached documents & plans (list what documents & plans have been provided to the party being asked to provide written approval):	<ol style="list-style-type: none"> 1. <u>Plan</u> 2. <u>Site Plan</u> 3. <u>Floor Plan</u> 4. _____ 5. _____ 6. _____

- Notes to Applicant:**
1. Written approval must be obtained from all registered owners and occupiers.
 2. The **original copy** of this signed form and **signed plans and accompanying documents** must be supplied to the Far North District Council.
 3. The amount and type of information provided to the party from whom you seek written approval should be sufficient to give them a full understanding of your proposal, its effects and why resource consent is needed.

PART B – To be completed by Parties giving approval

Notes to the party giving written approval:

1. If the owner and the occupier of your property are different people then separate written approvals are required from each.
2. You should only sign in the place provided on this form and accompanying plans and documents if you **fully understand** the proposal and if you **support** or have **no opposition** to the proposal. Council will not accept conditional approvals. If you have conditions on your approval, these should be discussed and resolved with the applicant directly.
3. Please note that when you give your written approval to an application, council cannot take into consideration any actual or potential effects of the proposed activity on you unless you formally withdraw your written approval **before** a decision has been made as to whether the application is to be notified or not. After that time you can no longer withdraw your written approval.
4. Please sign and date all associated plans and documentation as referenced overleaf and return with this form.
5. If you have any concerns about giving your written approval or need help understanding this process, please feel free to contact the duty planner on 0800 920 029 or (09) 401 5200.

Full name/s of party giving approval:

JAMES CRABB .

Address of affected property including legal description

374 A. KAPIRO RD RA5000 436-5
LOT 1 DP 334071 BLK VII KERIRERI

Contact Phone Number/s and email address

Daytime:

027 4076767

email:

I am/we are the OWNER(S) / OCCUPIER(S) of the property (circle which is applicable)

*Please note: in most instances the approval of **all** the legal owners and the occupiers of the affected property will be necessary.*

1. I/We have been provided with the details concerning the application submitted to Council and understand the proposal and aspects of non-compliance with the Operative District Plan.
2. I/We have signed each page of the plans and documentation in respect of this proposal (these need to accompany this form).
3. I/We understand and accept that once I/we give my/our approval the Consent Authority (Council) cannot take account of any actual or potential effect of the activity and/or proposal upon me/us when considering the application and the fact that any such effect may occur shall not be relevant grounds upon which the Consent Authority may refuse to grant the application.
4. I/We understand that at any time before the notification decision is made on the application, I/we may give notice in writing to Council that this approval is withdrawn.

Signature

J. Crabb

Date

23.9.24

Signature

Date

Signature

Date

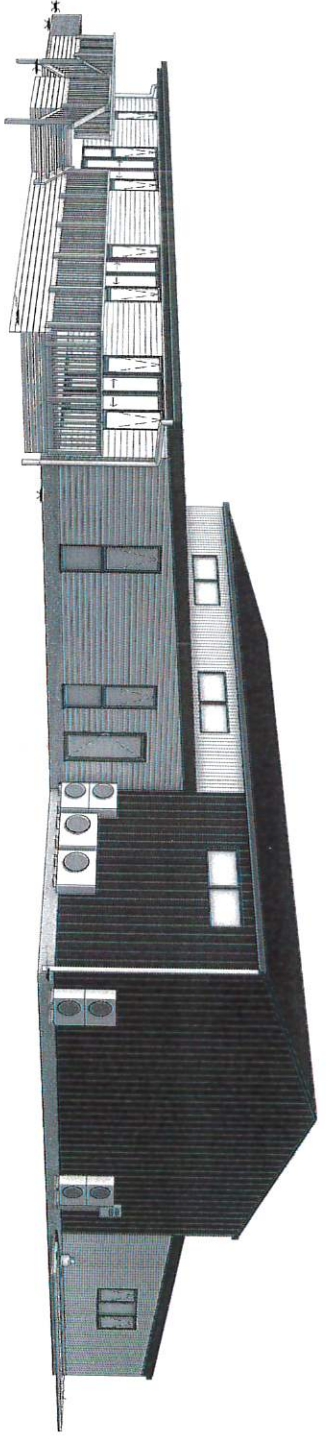
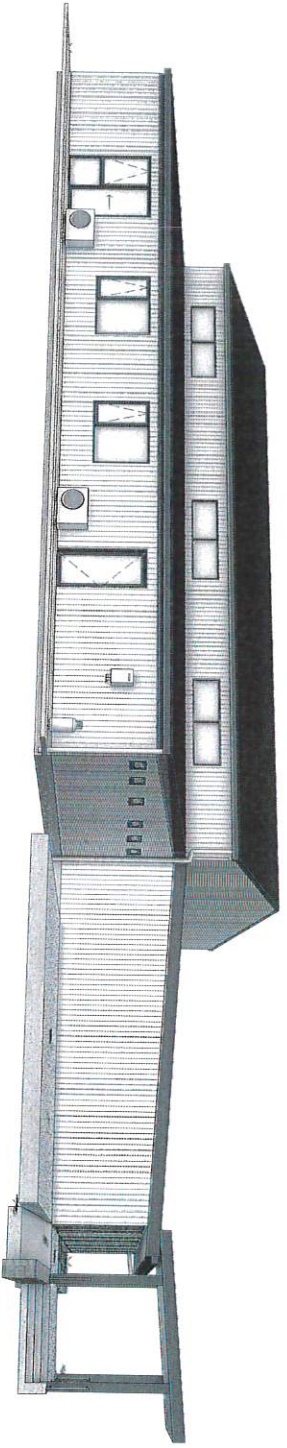
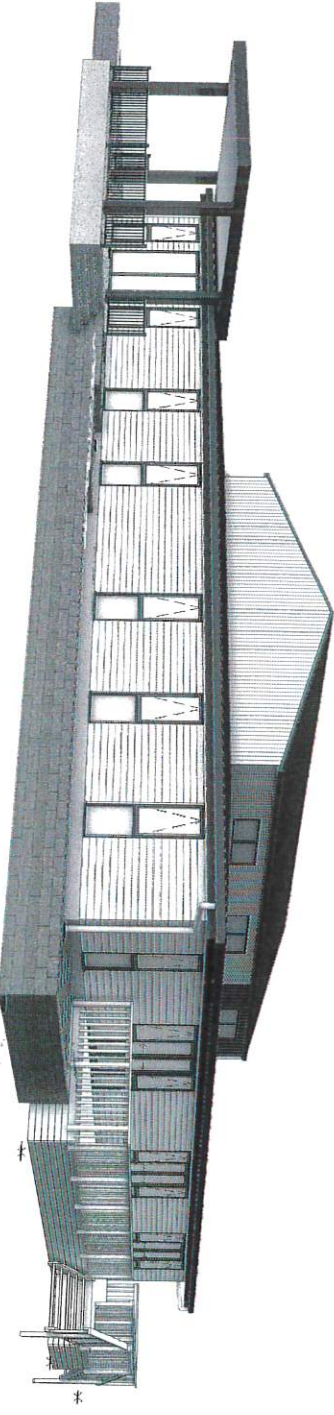
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Date

J. Crabb

Seventh-day Adventist Church - COA

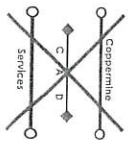
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390 Kapiro Road, Kerikeri, Lot3 DP313168



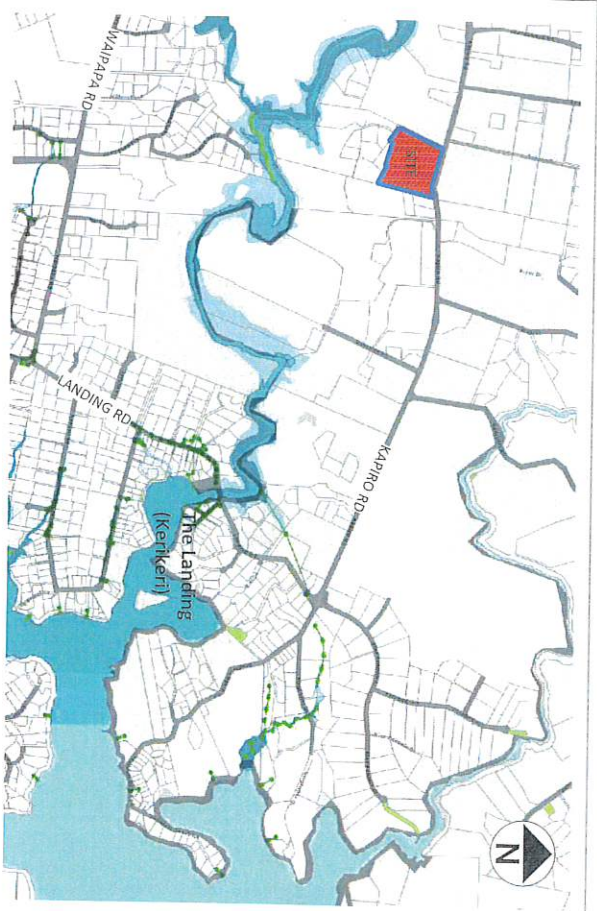
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Exterior Photos	10.0

K. Ebb.



Coppertine CAD Services Ltd
85 Coppertine Road
Cape, Northland
022 600 1985 • 09 405 1785



2
Context Location
Scale: NTS

FNDC Zone Map - Rural Production

Site Calculations

Site 54461sqm

FNDC ODP RP2 8.5.5.1.3 Stormwater Management - The maximum proportion of the gross site area covered by buildings and other impermeable surfaces shall be 15%.

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Total Building Coverage	1180sqm	or 2.167%

NB: All areas are collated from LINZ downloads, traced satellite photos and drawing and area estimates only.



1
O/A Site Plan
Scale: 1:2000

J. O'Connell

Coppermine CAD Services Ltd
85 Coppermine Road
Kareo, Northland
022 500 1985 - 09 405 1985

It is the client's responsibility to ensure that the information provided in this drawing is accurate and complete. The client warrants that the information provided is true and correct. The client warrants that the information provided is true and correct. The client warrants that the information provided is true and correct.

Seventh-day Adventist Church - COA
C/- Kerry Lupi
390 Kapiro Road, Kerikeri
03 313168

Site Plan

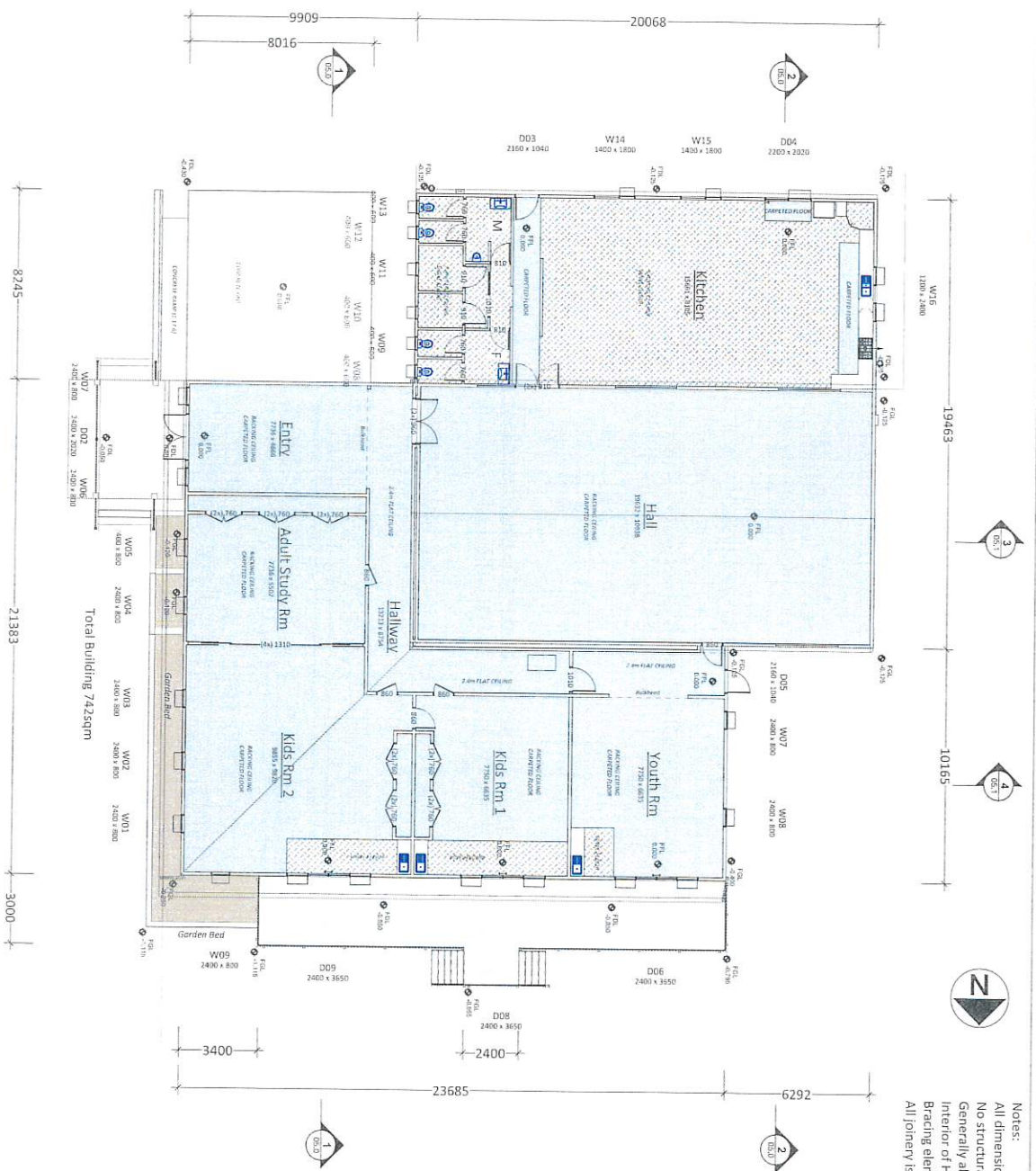
REVISION	DATE	BY

390 Kapiro Road v2.1.NWX

01.0

SCALE: 1:2000
DATE: 21/08/2024
DRAWN: [Name]
CHECKED: [Name]

Notes:
 All dimensions shown are to be confirmed onsite.
 No structural elements were sighted.
 Interior of Hall walls lined with Ttrboard (Thickness unknown - TBC).
 Bracing element locations unknown. Bracing calculated not sighted.
 All joinery is single glazed powder coated aluminium framed joinery.



1 Floor Plan
 Scale: 1:200

Project Name
Seventh-day Adventist Church - COA

Client
C/- Kerry Lupi
 SITE ADDRESS: LOT 8 & DP
390 Kaprio Road, Kerikeri
 Lot3 DP313168

Sheet Title
Floor Plan

ISSUE DATE
 REVISION

J. O'Neil

03.0

SHEET	03.0
SCALE	2/100/2024
DATE	
DRAWN	CHECKED

Coopering
 C.A.D.
 Services

Coopering CAD Services Ltd
 85 Coopering Road
 Koro, Northland
 022 500 1965 - 09 405 1965

For the purpose of this project, the property of Coopering CAD Services, Ltd and its employees, shall be deemed to be the property of Coopering CAD Services, Ltd and its employees. All work shown is intended to comply with the Building Code of New Zealand. The design is based on the information provided to the designer and is not intended to be a final design. The designer is not responsible for any errors or omissions in the design. The designer is not responsible for any damage or injury caused by the use of the design. The designer is not responsible for any damage or injury caused by the use of the design.



NOTICE OF WRITTEN APPROVAL

Written Approval of Affected Parties in accordance with Section 95E of the Resource Management Act

PART A – To be completed by Applicant

Applicant/s Name:	Kerry Lupi
Address of proposed activity:	390 Kapiro Road, Waipapa
Legal description:	Lot 3, DP313168
Description of the proposal (including why you need resource consent):	The proposal is to use and maintain a Church on Saturdays and the occasional Wednesday. The building is not a permitted activity under the district plan
Details of the application are given in the attached documents & plans (list what documents & plans have been provided to the party being asked to provide written approval):	<ol style="list-style-type: none"> 1. <u>Site Plan</u> 2. <u>External Images</u> 3. <u>Floor Plan</u> 4. _____ 5. _____ 6. _____

Notes to Applicant:

1. Written approval must be obtained from all registered owners and occupiers.
2. The **original copy** of this signed form and **signed plans and accompanying documents** must be supplied to the Far North District Council.
3. The amount and type of information provided to the party from whom you seek written approval should be sufficient to give them a full understanding of your proposal, its effects and why resource consent is needed.

PART B – To be completed by Parties giving approval

- Notes to the party giving written approval:**
1. If the owner and the occupier of your property are different people then separate written approvals are required from each.
 2. You should only sign in the place provided on this form and accompanying plans and documents if you **fully understand** the proposal and if you **support** or have **no opposition** to the proposal. Council will not accept conditional approvals. If you have conditions on your approval, these should be discussed and resolved with the applicant directly.
 3. Please note that when you give your written approval to an application, council cannot take into consideration any actual or potential effects of the proposed activity on you unless you formally withdraw your written approval **before** a decision has been made as to whether the application is to be notified or not. After that time you can no longer withdraw your written approval.
 4. Please sign and date all associated plans and documentation as referenced overleaf and return with this form.
 5. If you have any concerns about giving your written approval or need help understanding this process, please feel free to contact the duty planner on 0800 920 029 or (09) 401 5200.

Full name/s of party giving approval: Janine Mackay Trustee of Celtic Glade Trust

Address of affected property including legal description: 404B Kapiro Road DP208582

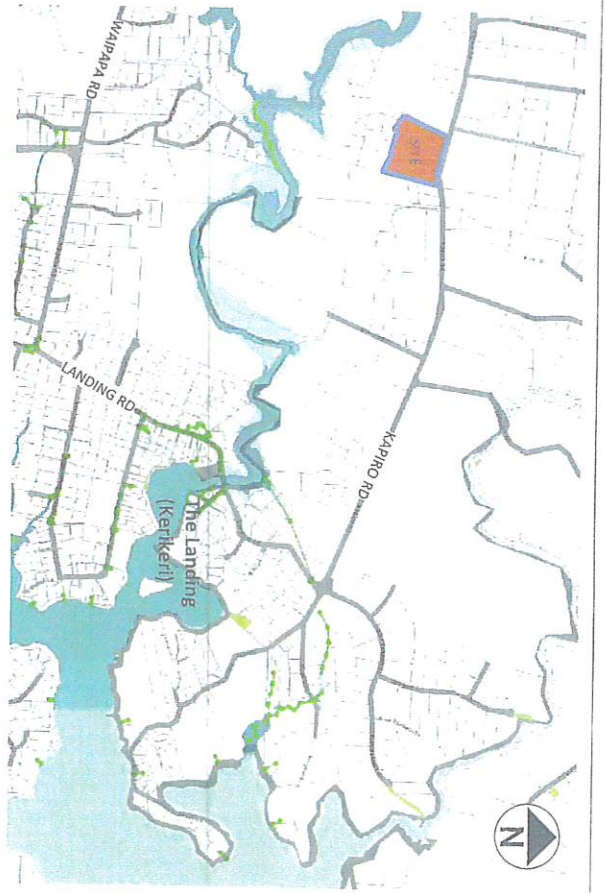
Contact Phone Number/s and email address: Daytime: 0212536892 email: janne.telfere@gmail.com

I am/we are the OWNER(S) / OCCUPIER(S) of the property (circle which is applicable)

Please note: in most instances the approval of all the legal owners and the occupiers of the affected property will be necessary.

1. I/We have been provided with the details concerning the application submitted to Council and understand the proposal and aspects of non-compliance with the Operative District Plan.
2. I/We have signed each page of the plans and documentation in respect of this proposal (these need to accompany this form).
3. I/We understand and accept that once I/we give my/our approval the Consent Authority (Council) cannot take account of any actual or potential effect of the activity and/or proposal upon me/us when considering the application and the fact that any such effect may occur shall not be relevant grounds upon which the Consent Authority may refuse to grant the application.
4. I/We understand that at any time before the notification decision is made on the application, I/we may give notice in writing to Council that this approval is withdrawn.

Signature	<u>[Signature]</u>	Date	<u>23/10/24</u>
Signature	<input type="text"/>	Date	<input type="text"/>
Signature	<input type="text"/>	Date	<input type="text"/>
Signature	<input type="text"/>	Date	<input type="text"/>



2 Context Location
Scale: NTS

FNDZ Zone Map - Rural Production

Site Calculations

Site	544615sqm
FNDZ ODP RP2 8.6.5.1.3 Stormwater Management - The maximum proportion of the gross site area covered by buildings and other impermeable surfaces shall be 35%.	
Existing House	145sqm Estimated
Existing Garage	65sqm Estimated
Church Building (COA)	980sqm Drawn
Church Driveway (COA)	2200sqm Estimated
ROW	1600sqm Estimated
Total SW Management	4990sqm or 9.163%

FNDZ ODP RP2 8.6.5.1.10 Building Coverage - Any new building or alteration/addition to an existing building is a permitted activity if the total Building Coverage of a site does not exceed 12.5% of the gross site area.	
Existing House	145sqm Estimated
Existing Garage	65sqm Estimated
Church Building (COA)	970sqm Drawn
Total Building Coverage	1180sqm or 2.167%

NB: All areas are collated from LINZ downloads, traced satellite photos and drawing and area estimates only.



1 O/A Site Plan
Scale: 1:2000

Coppemille CAD Services Ltd
85 Coppemille Road
Kero, Northland
022 500 1985 - 07 405 1985

Project Name
Seventh-day Adventist Church - COA

Client
C/ Kerry Lupi
SITE ADDRESS / LOT & DP
**390 Kapiro Road, Kerikeri
Lot 3 DP313168**

Sheet Title
Site Plan

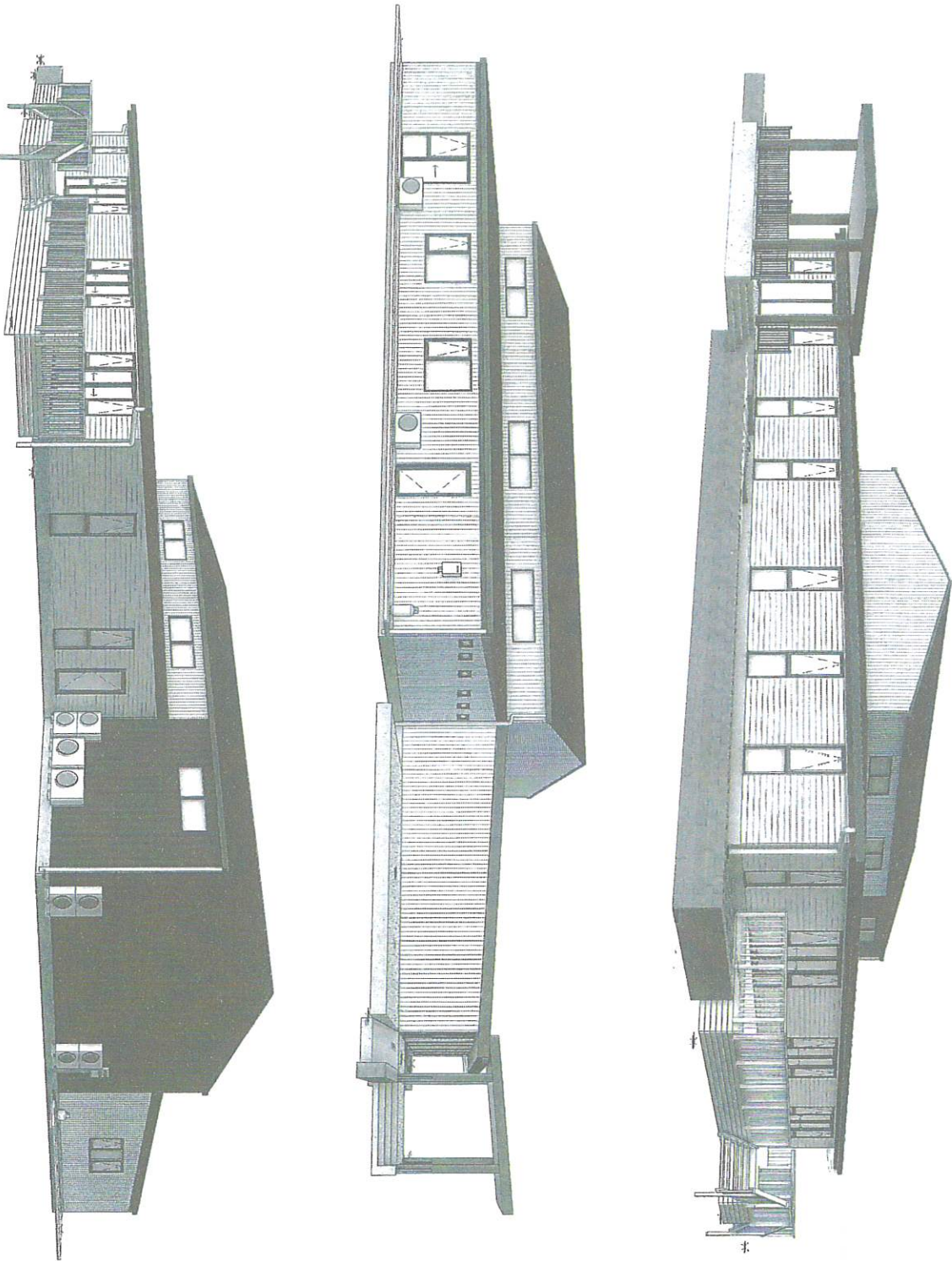
ISSUE DATE	REVISION

390 Kapiro Road V2.1.IWX

Scale: **0:1.0**
Date: **21/09/2024**
Drawn: **CHEROKEE**

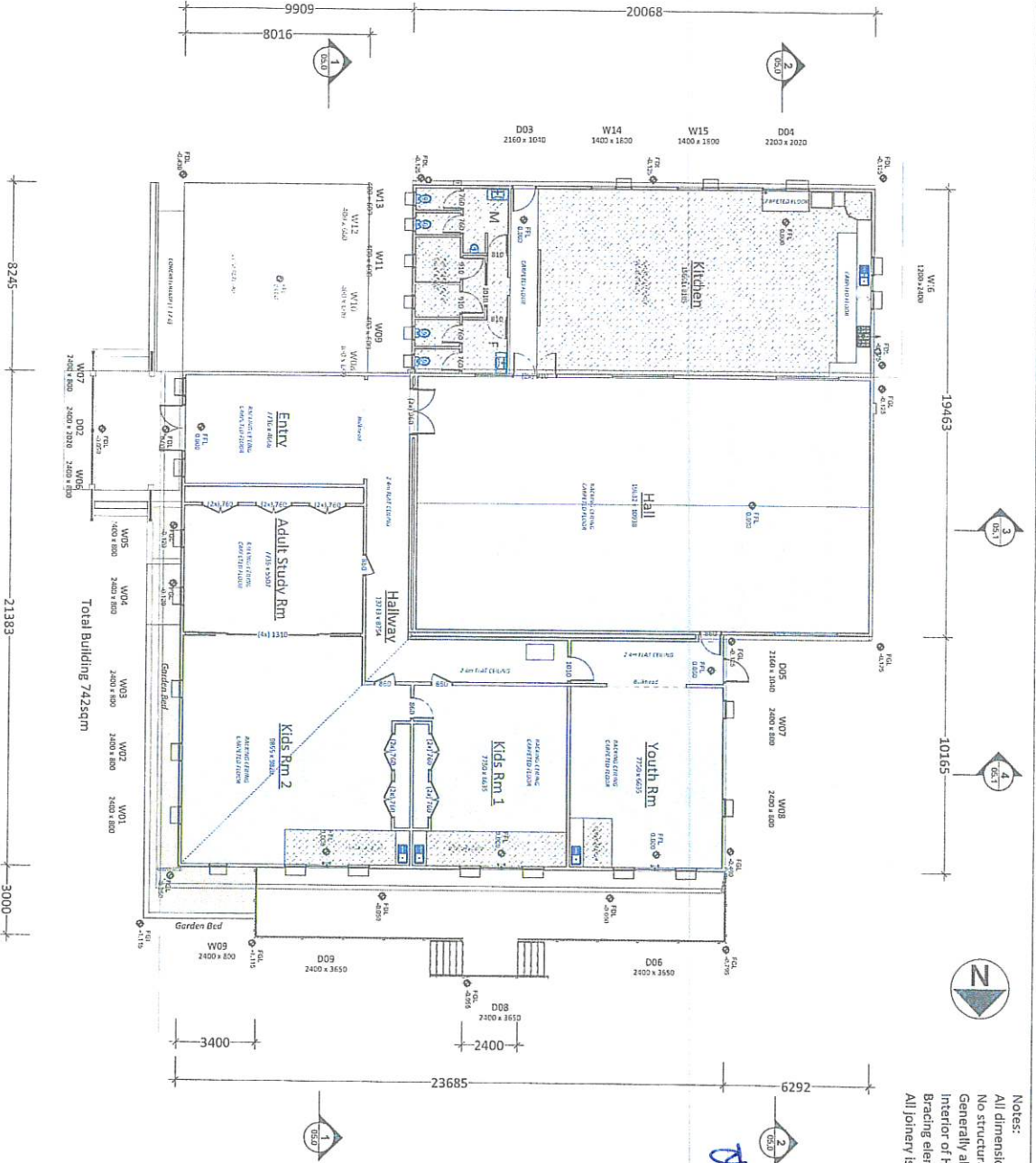
Seventh-day Adventist Church - COA

C/- Kerry Lupi
390 Kapiro Road, Kerikeri, Lot3 DP313168



CONTENTS	
SHEET TITLE	SHEET
Site Plan	01.0
Elevations 1	02.0
Elevations 2	02.1
Floor Plan	03.0
Electrical, Gas & HVAC	03.1
Compaction Test Plan	03.2
Roof Plan	04.0
X-Section 1	05.0
X-Section 2	05.1
Foundation Photos	06.0
Foundation Photos	06.1
Foundation Photos	06.2
South Lean-to & Hall Framing Photos	07.0
South Lean-to & Hall Framing Photos	07.1
North/East Wall Framing Photos	07.2
North/East Wall Framing Photos	07.3
North/East Roof Framing Photos	08.0
East Roof Flashing Photos	08.1
Interior Photos	09.0
Interior Photos	09.1
Interior Photos	09.2
Interior Photos	09.3
Exterior Photos	10.0

Notes:
 All dimensions shown are to be confirmed onsite.
 No structural elements were sighted.
 Generally all the interior walls are lined with Winstones GIB Board.
 Interior of Hall walls lined with Triboard (Thickness unknown - TBC).
 Bracing element locations unknown. Bracing calculated not sighted.
 All joinery is single glazed powder coated aluminium framed joinery.



Floor Plan

Scale: 1:200

Sheet Title: Floor Plan

Project Name: Seventh-day Adventist Church - COA

Client: C/- Kerry Lupi
 390 Kapipo Road, Kerikeri
 Lots Df-313168

ISSUE DATE	REVISION

390 Kapipo Road v2.1.vwx

SRT	SCALE
03.0	21/08/2024
DATE	CHECKED
DRWN	

Coppermine CAD Services Ltd
 85 Coppermine Road
 Koro, Northland
 022 500 1985 - 09 405 1985

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NOTICE OF WRITTEN APPROVAL

Written Approval of Affected Parties in accordance with Section 95E of the Resource Management Act

PART A – To be completed by Applicant

Applicant/s Name:	Kerry Lupi												
Address of proposed activity:	390 Kapiro Road, Waipapa												
Legal description:	Lot 3, DP313168												
Description of the proposal (including why you need resource consent):	<p>The proposal is to use and maintain a Church on Saturdays and the occasional Wednesday.</p> <p>The building is not a permitted activity under the district plan</p>												
Details of the application are given in the attached documents & plans (list what documents & plans have been provided to the party being asked to provide written approval):	<table style="width: 100%; border-collapse: collapse;"> <tr><td style="width: 5%; text-align: right;">1.</td><td style="border-bottom: 1px solid black;">O/A Site Plan</td></tr> <tr><td style="text-align: right;">2.</td><td style="border-bottom: 1px solid black;">COA Certificates</td></tr> <tr><td style="text-align: right;">3.</td><td style="border-bottom: 1px solid black;">Floor Plan</td></tr> <tr><td style="text-align: right;">4.</td><td style="border-bottom: 1px solid black;"> </td></tr> <tr><td style="text-align: right;">5.</td><td style="border-bottom: 1px solid black;"> </td></tr> <tr><td style="text-align: right;">6.</td><td style="border-bottom: 1px solid black;"> </td></tr> </table>	1.	O/A Site Plan	2.	COA Certificates	3.	Floor Plan	4.		5.		6.	
1.	O/A Site Plan												
2.	COA Certificates												
3.	Floor Plan												
4.													
5.													
6.													

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PART B – To be completed by Parties giving approval

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5. If you have any concerns about giving your written approval or need help understanding this process, please feel free to contact the duty planner on 0800 920 029 or (09) 401 5200.

Full name/s of party giving approval:

GARTH JOHN SOLLY

Address of affected property including legal description

404 KAPIRO ROAD, KERIKERI
LOT 4 DP 208582

Contact Phone Number/s and email address

Daytime:

021 549 885

email:

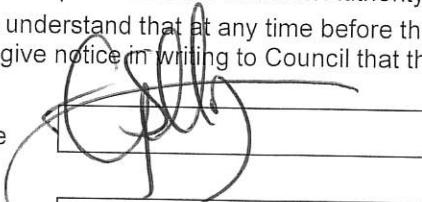
garth.solly@gmail.com

I am/we are the OWNER(S) / OCCUPIER(S) of the property (circle which is applicable)

Please note: in most instances the approval of all the legal owners and the occupiers of the affected property will be necessary.

1. I/We have been provided with the details concerning the application submitted to Council and understand the proposal and aspects of non-compliance with the Operative District Plan.
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Signature



Date

23/10/24

Signature

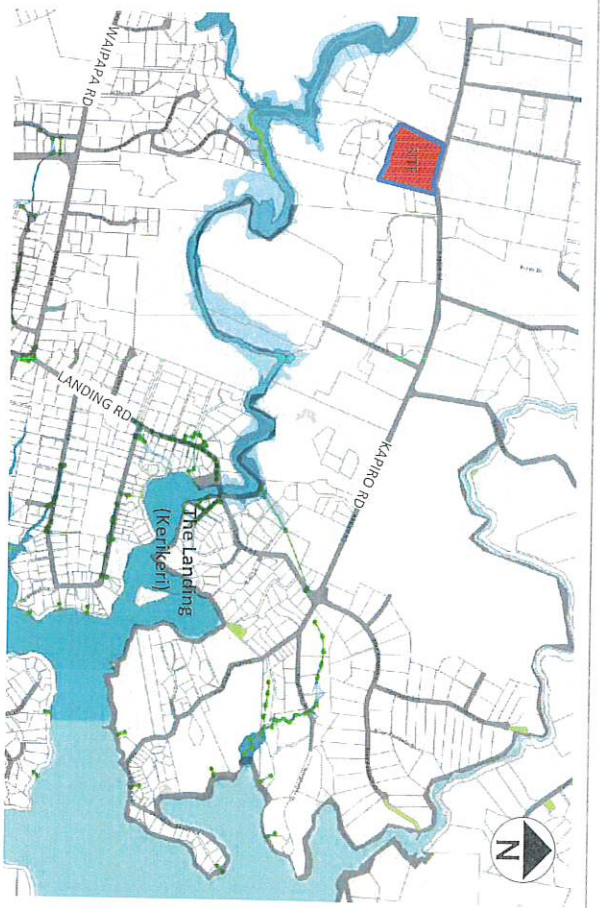
Date

Signature

Date

Signature

Date



2 Context Location
Scale: NTS

FNDC Zone Map - Rural Production

Site Calculations
Site 54461sqm

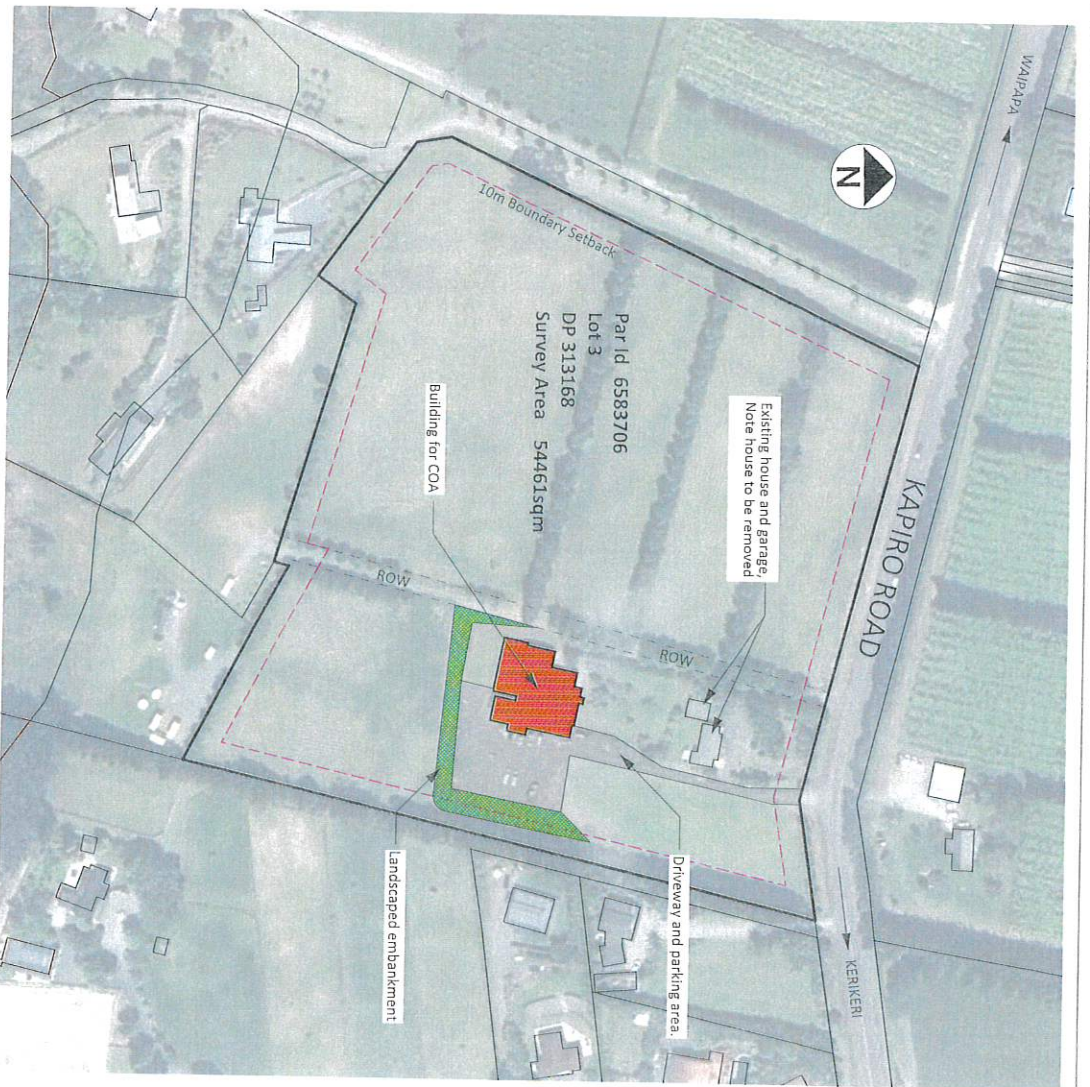
FNDC ODP RPZ 8, 6, 5, 1, 3 Stormwater Management - The maximum proportion of the gross site area covered by buildings and other impermeable surfaces shall be 15%.

Existing House	145sqm	Estimated
Existing Garage	65sqm	Estimated
Church Building (COA)	980sqm	Drawn
Church Driveway (COA)	2200sqm	Estimated
ROW	1600sqm	Estimated
Total SW Management	4990sqm	or 9.163%

FNDC ODP RPZ 8, 6, 5, 1, 10 Building Coverage - Any new building or alteration/addition to an existing building is a permitted activity if the total Building Coverage of a site does not exceed 12.5% of the gross site area.

Existing House	145sqm	Estimated
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Church Building (COA)	970sqm	Drawn
Total Building Coverage	1180sqm	or 2.167%

NB: All areas are collated from LINZ downloads, traced satellite photos and drawing and area estimates only.



1 O/A Site Plan
Scale: 1:2000



Coppermine CAD Services Ltd
85 Coppermine Road
Koro Northland
022 500 1985 - 09 405 1985

Project Name
Client
C/- Kerry Lupi
Site Address: LOT 3 DP
390 Kapiro Road, Kerikeri
Lot 3 DP313168

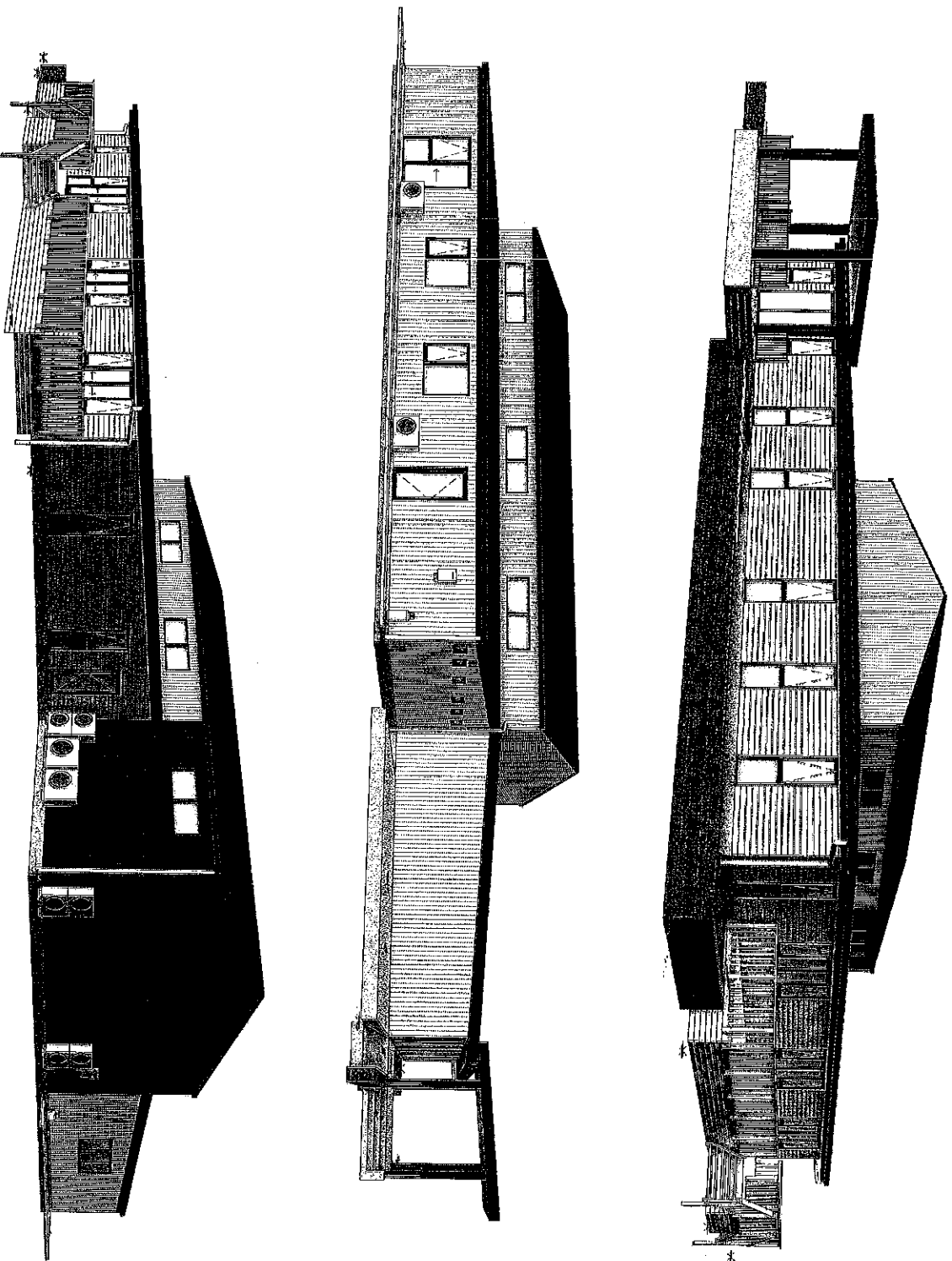
Site Plan

ISSUE DATE	REVISION

Scale: 01.0
DATE: 21/08/2024
DRAWN: [Signature]
CHECKED: [Signature]

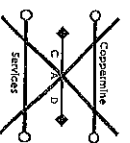
Seventh-day Adventist Church - COA

Cl- Kerry Lupi
390 Kapiro Road, Kerikeri, Lot13 DP313168

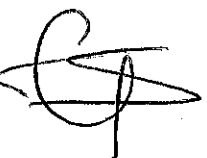


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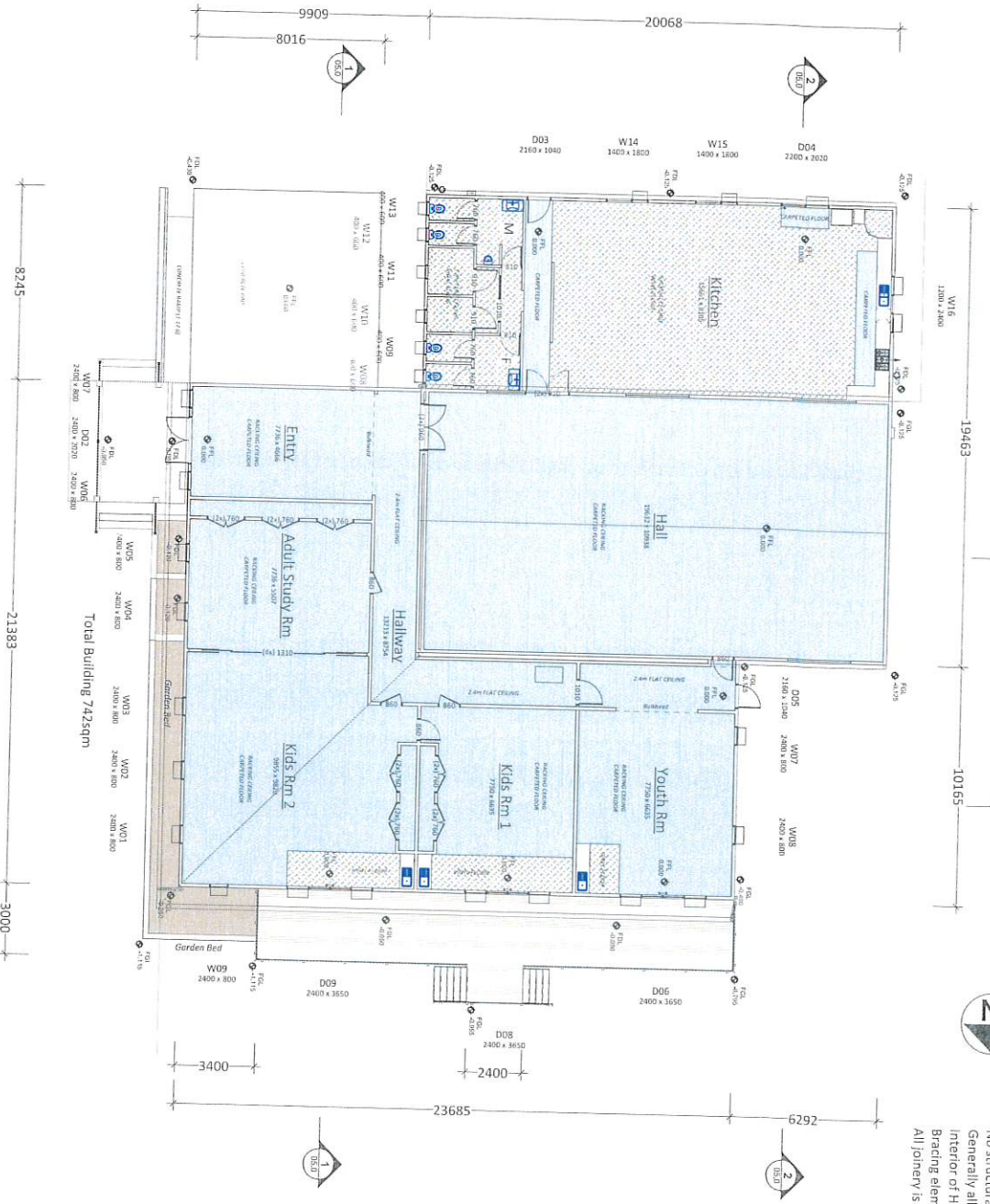
SHEET TITLE	SHEET
Site Plan	01.0
Elevations 1	02.0
Elevations 2	02.1
Floor Plan	03.0
Electrical, Gas & HVAC	03.1
Compaction Test Plan	03.2
Roof Plan	04.0
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East Roof Flashing Photos	08.1
Interior Photos	09.0
Interior Photos	09.1
Interior Photos	09.2
Interior Photos	09.3
Exterior Photos	10.0



Coppermine CAD Services Ltd
85 Coppermine Road
Kaero, Northland
022 800 1985 - 09 406 1985



Notes:
 All dimensions shown are to be confirmed onsite.
 No structural elements were sighted.
 Generally all the interior walls are lined with Winsstones Gib Board.
 Interior of Hall walls lined with Triboard (Thickness unknown - TBC).
 Bracing element locations unknown. Bracing calculated not sighted.
 All joinery is single glazed powder coated aluminium framed joinery.



1 Floor Plan
 Scale: 1:200

Copyright
 C.A.D. Services
 Coppenhine CAD Services Ltd
 86 Coppenhine Road
 Kapeo, Northland
 022 500 1985 - 09 405 1985

This drawing, unless the project of Coppenhine CAD Services Ltd is specifically stated, is the property of Coppenhine CAD Services Ltd. It is not to be used for any other purpose without the written consent of Coppenhine CAD Services Ltd. All dimensions are to be confirmed onsite. No structural elements were sighted. Generally all the interior walls are lined with Winsstones Gib Board. Interior of Hall walls lined with Triboard (Thickness unknown - TBC). Bracing element locations unknown. Bracing calculated not sighted. All joinery is single glazed powder coated aluminium framed joinery.

Project Name
 Seventh-day Adventist Church - COA
 Client
 C/- Kerry Luppi
 SITE ADDRESS: LOT 3 DP
 390 Kapiro Road, Kerikeri
 Lot 3 DB313166

Sheet Title
 Floor Plan

ISSUE DATE REVISION

SHT
 SCALE
 DATE
 DRAWN
 CHECKED

03.0

390 Kapiro Road v2.1.vwx
 21/08/2024



NOTICE OF WRITTEN APPROVAL

Written Approval of Affected Parties in accordance with Section 95E of the Resource Management Act

PART A – To be completed by Applicant

Applicant/s Name:	Kerry Lupi
Address of proposed activity:	390 Kapiro Road, Waipapa
Legal description:	Lot 3, DP313168
Description of the proposal (including why you need resource consent):	The proposal is to use and maintain a Church on Saturdays and the occasional Wednesday. The building is not a permitted activity under the district plan
Details of the application are given in the attached documents & plans (list what documents & plans have been provided to the party being asked to provide written approval):	<ol style="list-style-type: none"> 1. Part A - Noticed Written Approval 2. Part B 3. Elevation Plan 4. Site Plan 5. Floor Plan 6. _____

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Full name/s of party giving approval:

Deborah Amy Wheeler

Address of affected property including legal description

396 Kapiro Rd, Kenten
Lot 2, DP 208582

Contact Phone Number/s and email address

Daytime:

021 02339295

email:

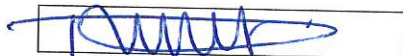
debz.keri@gmail.com

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Signature



Date

1.10.2024

Signature

Date

Signature

Date

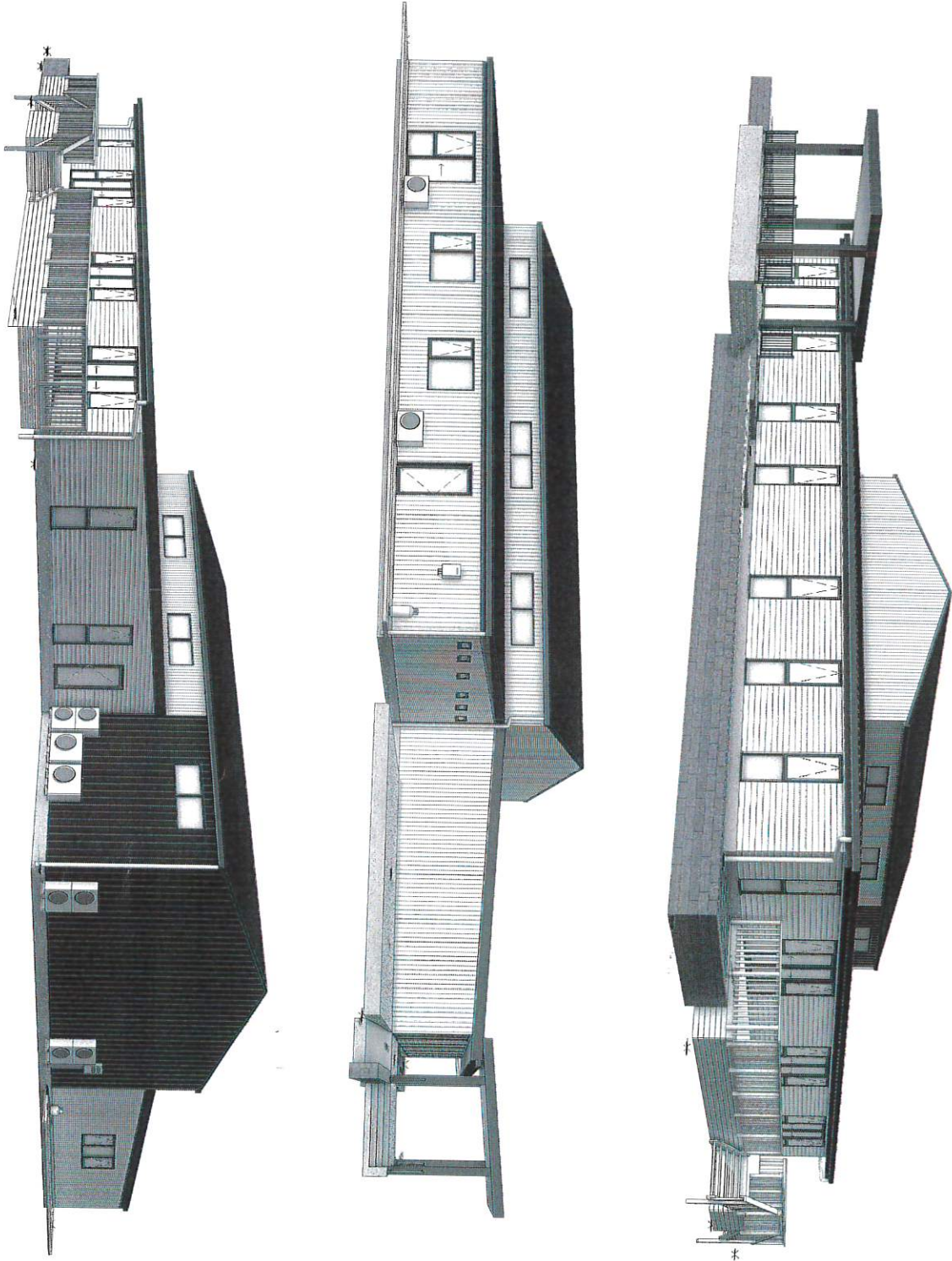
Signature

Date



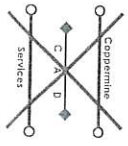
Seventh-day Adventist Church - COA

C/- Kerry Lupi
390 Kapiro Road, Kerikeri, Lot3 DP313168



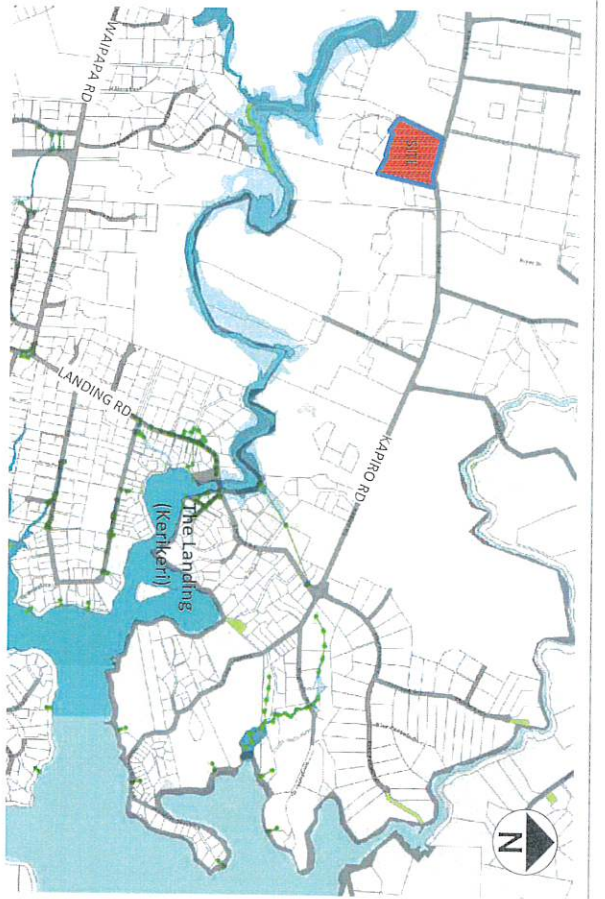
CONTENTS

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Exterior Photos	10.0

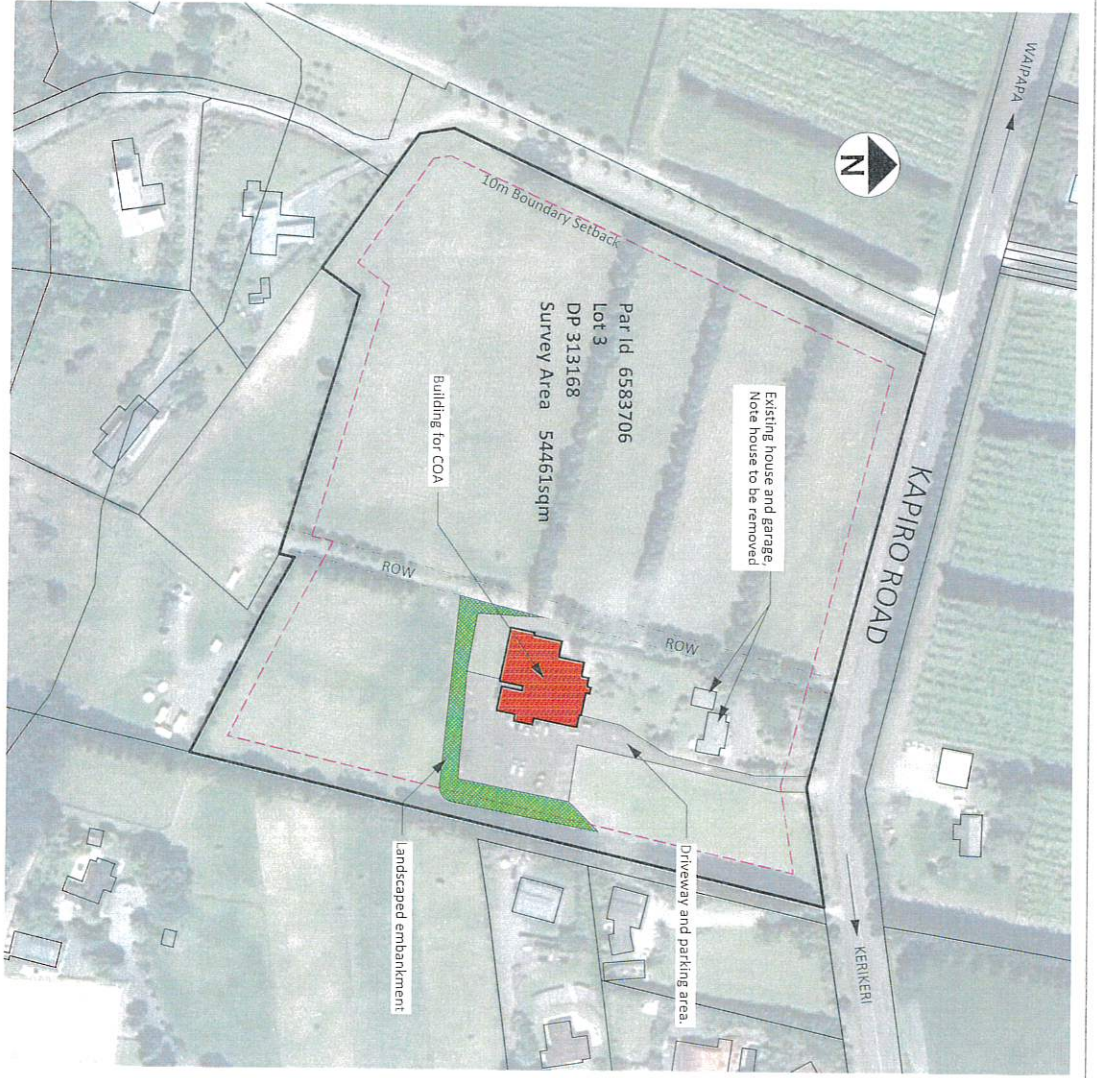


Coppermine CAD Services Ltd
85 Coppermine Road
Kero, Northland
022 500 1985 - 09 405 1985





2 Context Location
Scale: NTS



1 O/A Site Plan
Scale: 1:2000

FNDC Zone Map - Rural Production

Site Calculations

Site	54461sqm
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Copernicus
Copernicus CAD Services Ltd
66 Copernicus Road
Kaero, Northland
022 500 1985 - 09 405 1985

Project Name
Seventh-day Adventist Church - COA

Site Title
Site Plan

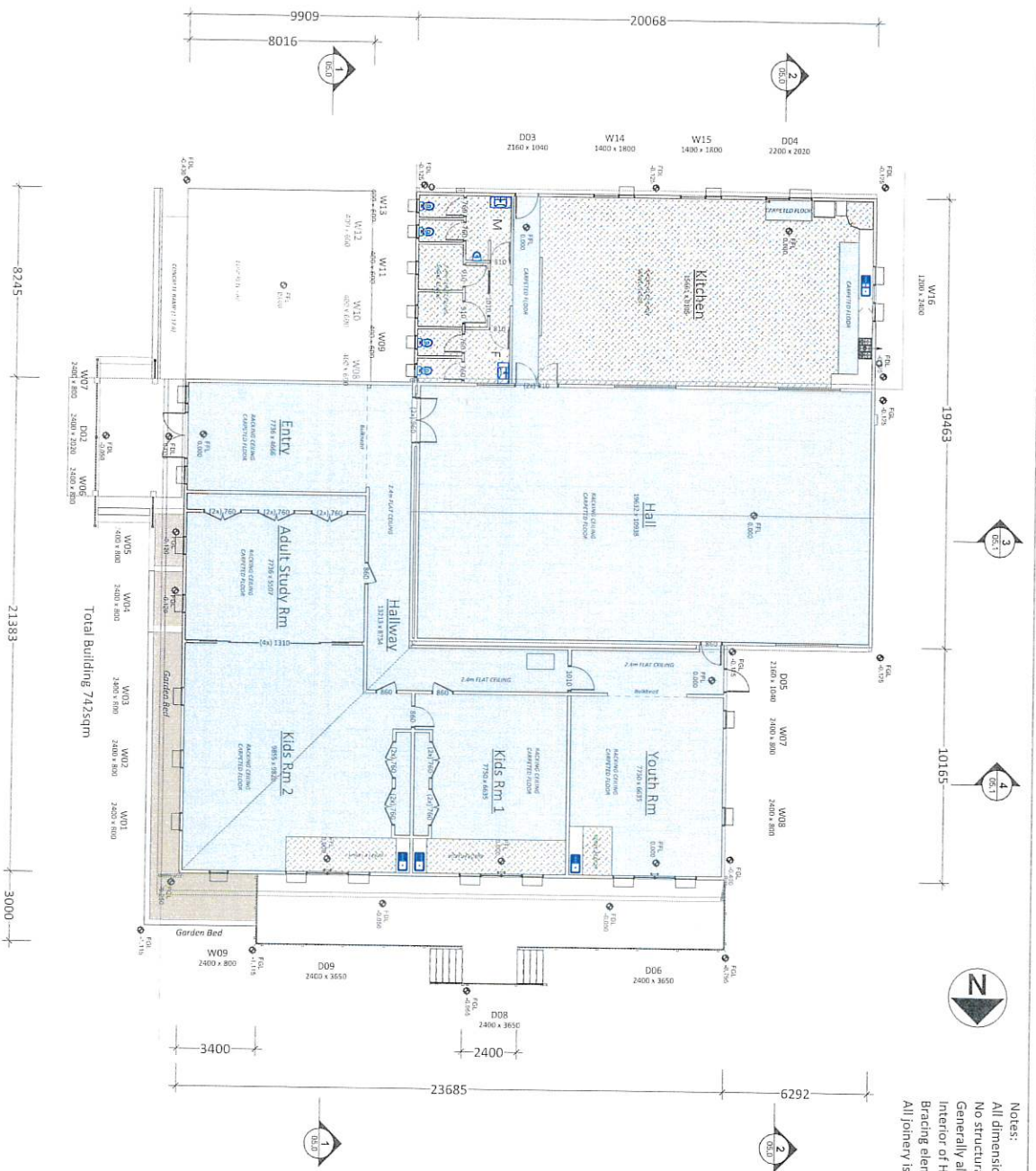
Issue Date
21/08/2024

Scale
1:2000

Drawn
Checked

Handwritten signature

Notes:
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1 Floor Plan
 Scale: 1:200

Corpenline
 Corpenline CAD Services Ltd
 85 Corpenline Road
 Koro, Northland
 022 500 1985 - 09 405 1985

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Project Name: **Seventh-day Adventist Church - COA**
 Client: **C/- Kerry Lupi**
 SITE ADDRESS: LOT 1 RDP
 390 Kapiro Road, Kerikeri
 Lot 13 DP313168

Issue Title: **Floor Plan**

ISSUE DATE	REVISION

300 Kapiro Road V2.1.vwx

SIT	SCALE	DATE	DRAWN	CHECKED
03.0		21/09/2024		