

Application for change or cancellation of resource consent condition (S.127)

(Or Associated Consent Pursuant to the Resource Management Act 1991 (RMA)) Prior to, and during, completion of this application form, please refer to Resource Consent Guidance Notes and Schedule of Fees and Charges — [both available on the Council's web page](#).

1. Pre-Lodgement Meeting

Have you met with a council Resource Consent representative to discuss this application prior to lodgement?

Yes No

If yes, who have you spoken with? Salamasina Brown, Rinku Mishra, Smitha Bhaskar

2. Type of Consent being applied for

Change of conditions (s.127)

3. Consultation:

Have you consulted with Iwi/Hapū? Yes No

If yes, which groups have you consulted with?

Who else have you consulted with?

For any questions or information regarding iwi/hapū consultation, please contact Te Hono at Far North District Council tehonosupport@fndc.govt.nz

4. Applicant Details:

Name/s:

Esнем Properties Ltd

Email:

Phone number:

Postal address:

(or alternative method of service under section 352 of the act)

Office Use Only
Application Number:

5. Address for Correspondence

Name and address for service and correspondence (if using an Agent write their details here)

Name/s:

Shane Tregidga

Email:

Phone number:

Postal address:

(or alternative method of service under section 352 of the act)

All correspondence will be sent by email in the first instance. Please advise us if you would prefer an alternative means of communication.

6. Details of Property Owner/s and Occupier/s

Name and Address of the Owner/Occupiers of the land to which this application relates (where there are multiple owners or occupiers please list on a separate sheet if required)

Name/s:

Esнем Properties Ltd

Property Address/
Location:

242 Pouto Rd, Dargaville, Northland

Postcode

0371

7. Application Site Details

Location and/or property street address of the proposed activity:

Name/s:

Site Address/
Location:

6 Bisset Road, Kaikohe, Northland

Postcode

0405

Legal Description:

Lot 1 DP 584828

Val Number:

00523-20801

Certificate of title:

1101253

Please remember to attach a copy of your Certificate of Title to the application, along with relevant consent notices and/or easements and encumbrances (search copy must be less than 6 months old)

Site visit requirements:

Is there a locked gate or security system restricting access by Council staff? Yes No

Is there a dog on the property? Yes No

7. Application Site Details (continued)

Please provide details of any other entry restrictions that Council staff should be aware of, e.g. health and safety, caretaker's details.

This is important to avoid a wasted trip and having to re-arrange a second visit.

No restrictions

8. Detailed description of the proposal:

This application relates to the following resource consent: 2300042-RMAVAR/A

Specific conditions to which this application relates:

Subdivision

Describe the proposed changes:

Proposing to split 6 Bisset Rd property into 2 Lots (as previously approved as part of - RC 2300042). Proposed footprint for potential future medium density development on 4 Timatanga Place property.

9. Would you like to request Public Notification?

Yes No

10. Other Consent required/being applied for under different legislation

(more than one circle can be ticked):

Building Consent

Regional Council Consent (ref # if known)

National Environmental Standard consent

Other (please specify)

11. Assessment of Environmental Effects:

Every application for resource consent must be accompanied by an Assessment of Environmental Effects (AEE). This is a requirement of Schedule 4 of the Resource Management Act 1991 and an application can be rejected if an adequate AEE is not provided. The information in an AEE must be specified in sufficient detail to satisfy the purpose for which it is required. Your AEE may include additional information such as Written Approvals from adjoining property owners, or affected parties (including consultation from iwi/hapū).

Your AEE is attached to this application Yes

12. Draft Conditions:

Do you wish to see the draft conditions prior to the release of the resource consent decision? Yes No

If yes, do you agree to extend the processing timeframe pursuant to Section 37 of the Resource Management Act by 5 working days? Yes No

13. Billing Details:

This identifies the person or entity that will be responsible for paying any invoices or receiving any refunds associated with processing this resource consent. Please also refer to Council's Fees and Charges Schedule.

Name/s: (please write in full)

Email:

Phone number:

Postal address:

(or alternative method of service under section 352 of the act)

Fees Information:

An instalment fee for processing this application is payable at the time of lodgement and must accompany your application in order for it to be lodged. Please note that if the instalment fee is insufficient to cover the actual and reasonable costs of work undertaken to process the application you will be required to pay any additional costs. Invoiced amounts are payable by the 20th of the month following invoice date. You may also be required to make additional payments if your application requires notification.

Declaration concerning Payment of Fees:

I/we understand that the Council may charge me/us for all costs actually and reasonably incurred in processing this application. Subject to my/our rights under Sections 357B and 358 of the RMA, to object to any costs, I/we undertake to pay all and future processing costs incurred by the Council. Without limiting the Far North District Council's legal rights if any steps (including the use of debt collection agencies) are necessary to recover unpaid processing costs I/we agree to pay all costs of recovering those processing costs. If this application is made on behalf of a trust (private or family), a society (incorporated or unincorporated) or a company in signing this application I/we are binding the trust, society or company to pay all the above costs and guaranteeing to pay all the above costs in my/our personal capacity.

Name: (please write in full)

Signature: (signature of bill payer)

MANDATORY

14. Important Information:

Note to applicant

You must include all information required by this form. The information must be specified in sufficient detail to satisfy the purpose for which it is required.

You must pay the charge payable to the consent authority for the resource consent application under the Resource Management Act 1991.

Privacy Information:

Once this application is lodged with the Council it becomes public information. Please advise Council if there is sensitive

information in the proposal. The information you have provided on this form is required so that your application for consent pursuant to the Resource Management Act 1991 can be processed under that Act. The information will be stored on a public register and held by the Far North District Council. The details of your application may also be made available to the public on the Council's website, www.fndc.govt.nz. These details are collected to inform the general public and community groups about all consents which have been issued through the Far North District Council.

Declaration

The information I have supplied with this application is true and complete to the best of my knowledge.

Name: (please write in full)

Shane Tregidga

Signature:



Date 13/12/24

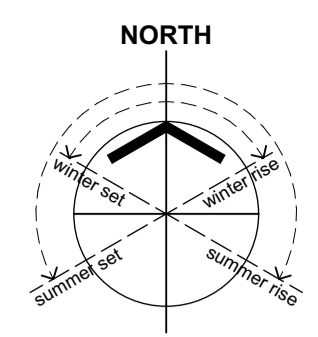
A signature is not required if the application is made by electronic means

Checklist (please tick if information is provided)

- Payment (cheques payable to Far North District Council)
- Details of your consultation with Iwi and hapū
- A current Certificate of Title (Search Copy not more than 6 months old)
- Copies of any listed encumbrances, easements and/or consent notices relevant to the application
- Applicant / Agent / Property Owner / Bill Payer details provided
- Location of property and description of proposal
- Assessment of Environmental Effects
- Written Approvals / correspondence from consulted parties
- Reports from technical experts (if required)
- Copies of other relevant consents associated with this application
- Location and Site plans (land use) AND/OR
- Location and Scheme Plan (subdivision)
- Elevations / Floor plans
- Topographical / contour plans

Please refer to chapter 4 (Standard Provisions) of the Operative District Plan for details of the information that must be provided with an application. This contains more helpful hints as to what information needs to be shown on plans.

Layout ID	Layout Name	Issue ID
RC01	Cover Sheet	K
RC02	Site: FNUP Compliance Schedule	K
RC03	Site Bulk & Location	K
RC04	Vehicle Tracking/Landscape Plan & Critical Point Sections	K
RC05	Proposed Scheme Plan	K



- GENERAL NOTES**
- 0.1 Contractor to verify all dimensions and condition on site before commencing work.
 - 0.2 Work only from figured dimensions. In the event of a discrepancy consult the Architect.
 - 0.3 The drawings are to be read in conjunction with Specification.
 - 0.4 If in doubt, consult the Architect.

6 Bisset Road, Kaikohe

RC Variation Application



RevID	CHD	Revision	Date
A			22/07/2020
B	B-01	Boundary Setout plan added to set	19/08/2020
C			27/09/2020
D	D-05	Issue Schedule updated	11/09/2020
K			24/11/2024

P: 021 250 6671
 E: esnempropertiesltd@gmail.com
 title

Esnem Properties Ltd

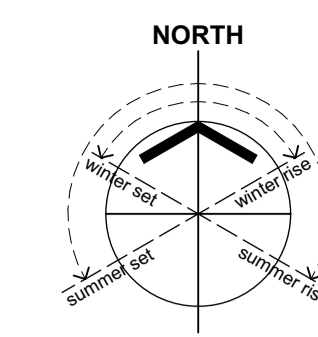
Proposed Subdivision
 6 Bisset Road
 Kaikohe
 Northland

sheet title
RC Submission
Cover Sheet

drawn
 ST
 scale
 As marked at A1

sheet no. issue
 RC01 K

printed Sunday, 8 December 2024
 RC Variation #2

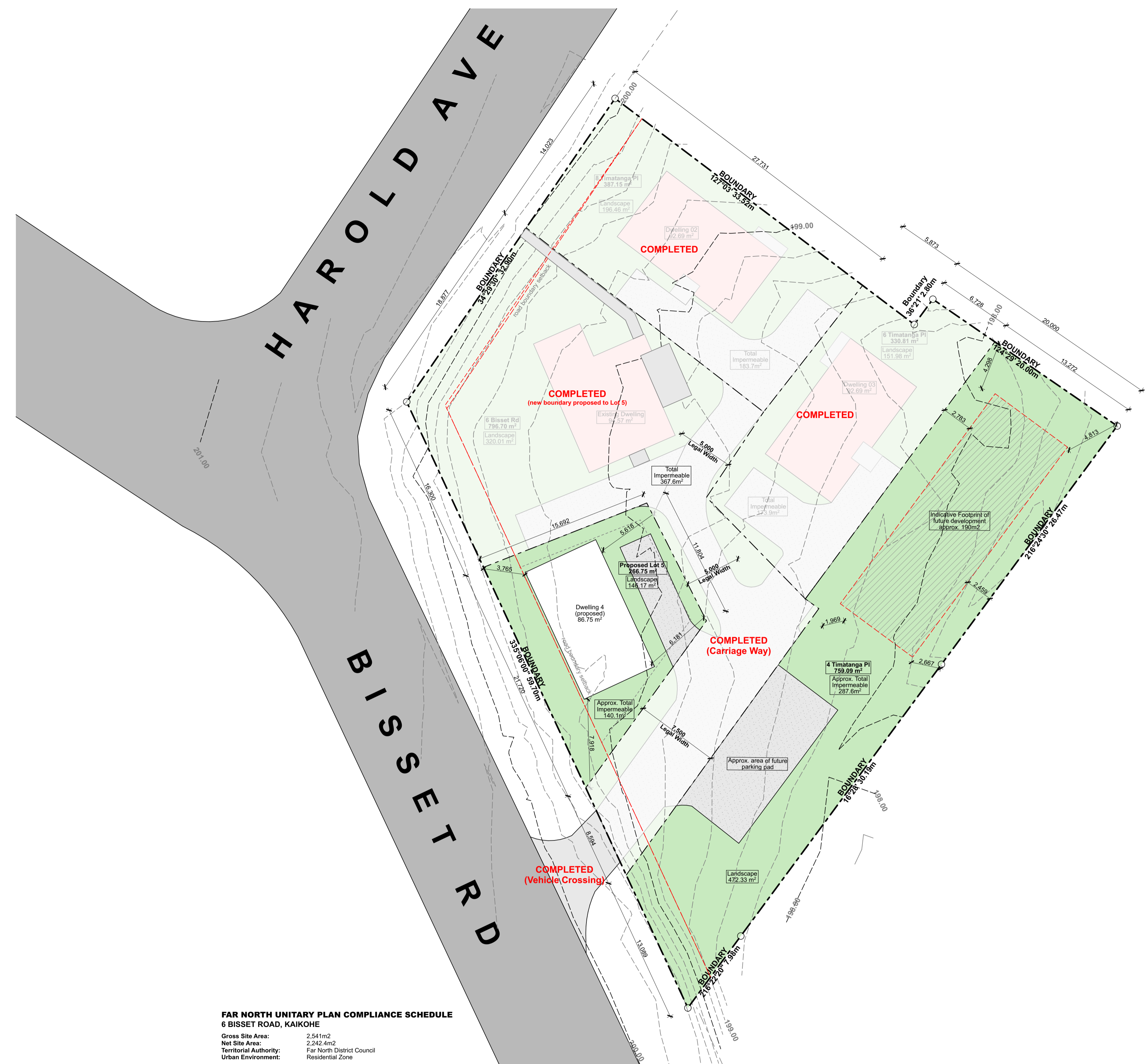


- GENERAL NOTES**
- Contractor to verify all dimensions and condition on site before commencing work.
 - Work only from figured dimensions. In the event of a discrepancy consult the Architect.
 - The drawings are to be read in conjunction with Specification.
 - If in doubt, consult the Architect.

- DEVELOPMENT CONTROLS:**
- Legal Description:
 Lot 2
 DP 161706
 CT: NA97C/58
 Area: 2.541m²
- Local Authority: **FNDC**
- FNDC Environment: **Residential Zone**
- Max. Building Height: 8.0m max.
- Building Coverage: 45% max.
- Impermeable Coverage: 60% max.
- Boundary Setbacks: 3.0m road Bdy

- SITE DESIGN INFORMATION:**
- Wind Zone = **MEDIUM**
- Earthquake Zone = **Zone 1**
- Exposure Zone = **Zone B**
- Rainfall Intensity = **80 - 90mm/hr**

- BULK & LOCATION LEGEND:**
- Existing residence to remain.
 - Proposed transportable home
 - Landscape (permeable)
 - Deck/Landing (impermeable)
 - Gravel / vehicle manoeuvring (impermeable)
 - Indicative coverage of unconfirmed future development



FAR NORTH UNITARY PLAN COMPLIANCE SCHEDULE
6 BISSET ROAD, KAIKOHE
 Gross Site Area: 2.541m²
 Net Site Area: 2.2424m²
 Territorial Authority: Far North District Council
 Urban Environment: Residential Zone

CLAUSE	CONTROL	PERMITTED	ADDITIONAL INFO	6 Bisset Rd	8 Timatanga PI	6 Timatanga PI	4 Timatanga PI	LOT 5
7.6.5.1.4	Building Height	8m		complies	complies	complies	TBC	complies
7.6.5.1.5	Sunlight	2m + 45deg	neighbour / external	complies	complies	complies	TBC	Restricted Discretionary
7.6.5.1.6	Maximum Impervious Area m2 required to be compliant	60% 1,524.6	Site Area Impervious Area Percentage	796.7 367.6 46.1%	387.2 183.7 47.4%	330.8 173.9 52.5%	TBC (future development)	266.8 123.6 46.3%
7.6.5.1.7	Boundary Setbacks	road 3m		complies	complies	complies	TBC	complies
7.6.5.1.17	Maximum Building Coverage m2 required to be compliant	45% 1,143.5	Site Area Building Coverage Percentage	796.7 92.8 11.6%	387.2 92.7 23.9%	330.8 92.7 28.0%	TBC	266.8 approx. 90 33.7%

RevID	CHD	Revision	Date
A		Carriageway updates / boundary adjustments	22/07/2020
D		D-01 Carriageway updates / boundary adjustments D-02 Compliance Schedule Updated	11/09/2020
K		D-05 Issue Schedule updated	24/11/2024

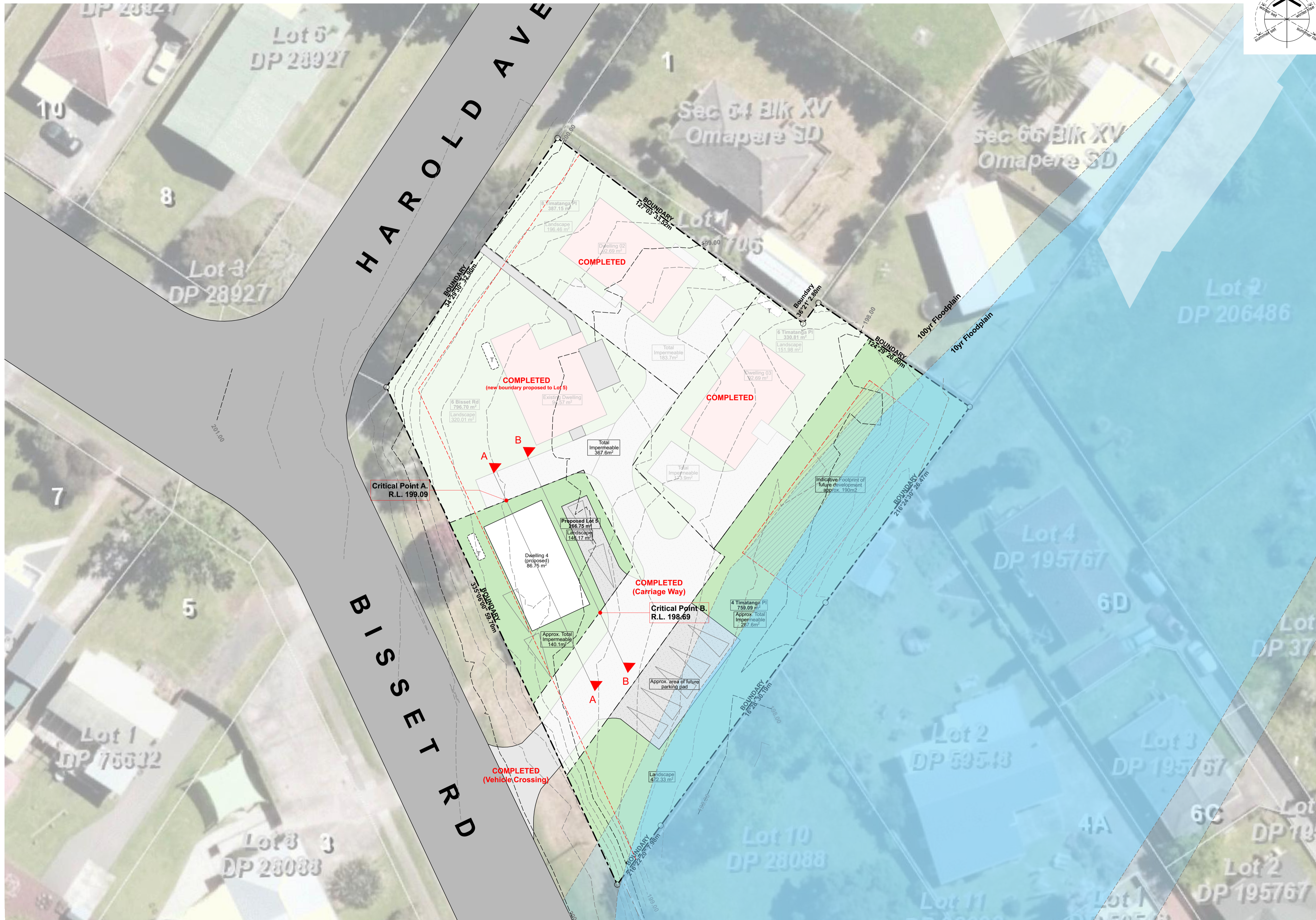
P. 021 250 6671
 E. esnempropertiesltd@gmail.com
 title
Esнем Properties Ltd

Proposed Subdivision
 6 Bisset Road
 Kaikohe
 Northland

sheet title
RC Submission
Site: FNUP Compliance Schedule

drawn
 ST
 scale
 As marked at A1

sheet no. **RC02** issue **K**
 printed Sunday, 8 December 2024
 RC Variation #2



- GENERAL NOTES**
- Contractor to verify all dimensions and condition on site before commencing work.
 - Work only from figured dimensions. In the event of a discrepancy consult the Architect.
 - The drawings are to be read in conjunction with Specification.
 - If in doubt, consult the Architect.
- BULK & LOCATION LEGEND:**
- Existing residence to remain.
 - Proposed transportable home
 - Landscape (permeable)
 - Deck/Landing (impermeable)
 - Gravel / vehicle manoeuvring (impermeable)
 - Indicative coverage of unconfirmed future development

- SITE PLAN LEGEND:**
- Vehicle carpark
 - Boundary line
 - Setback Line
 - Vehicle Driveway
 - Water Tanks as per engineer design.
 - Indicative Zone - 100yr flood event
 - Indicative Zone - 10yr flood event
 - CP R.L. 198 HRB Reference Point

RevID	CHD	Revision	Date
A		Carriageway updates / boundary adjustments	22/07/2020
D		D.01 Coverage Calculations updated	11/09/2020
K			24/11/2024

P. 021 250 6671
E. esnempropertiesltd@gmail.com
title
Esнем Properties Ltd

Proposed Subdivision
6 Bisset Road
Kaikohe
Northland

sheet title
RC Submission
Site Bulk & Location

Site: Bulk and Location (context)

1:200

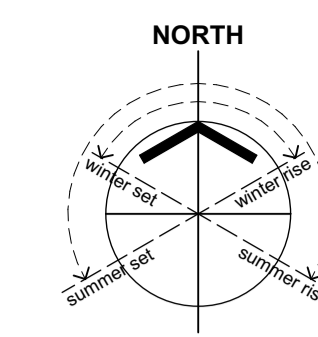
6 BISSET ROAD - AUP COVERAGE CALCULATIONS

Site Area	2.541m ²	AUP Compliance	22.1% (<45% required)
Building Coverage Impermeable:	approx. 563m ²	approx. 1,206m ²	47.4% (<60% required)
Landscaped Area:	approx. 1,338m ²		

drawn
ST
scale
As marked at A1
sheet no. issue
RC03 K
printed Sunday, 8 December 2024
RC Variation #2

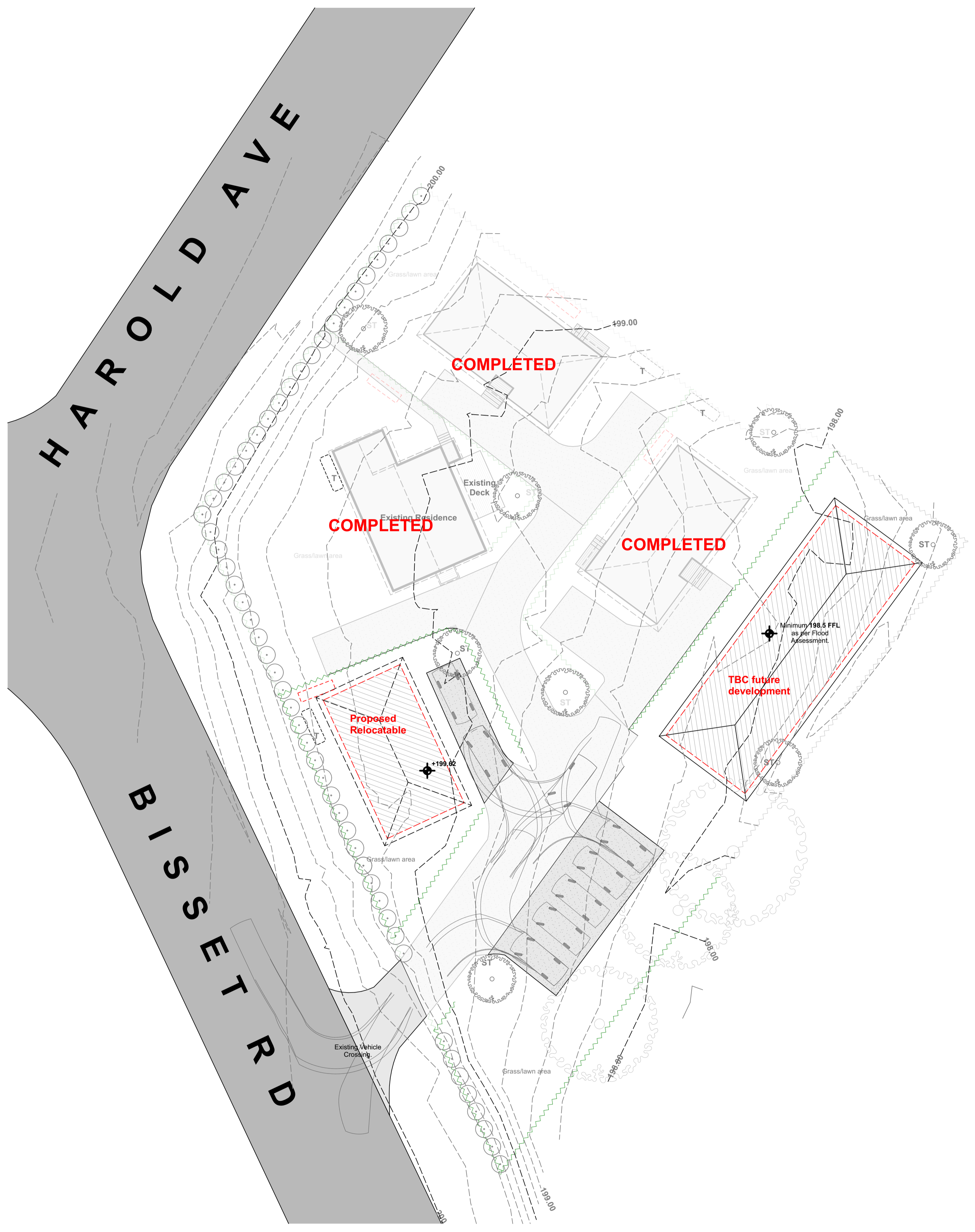


This drawing and the design it covers shall remain the property and copyright of the Architects.



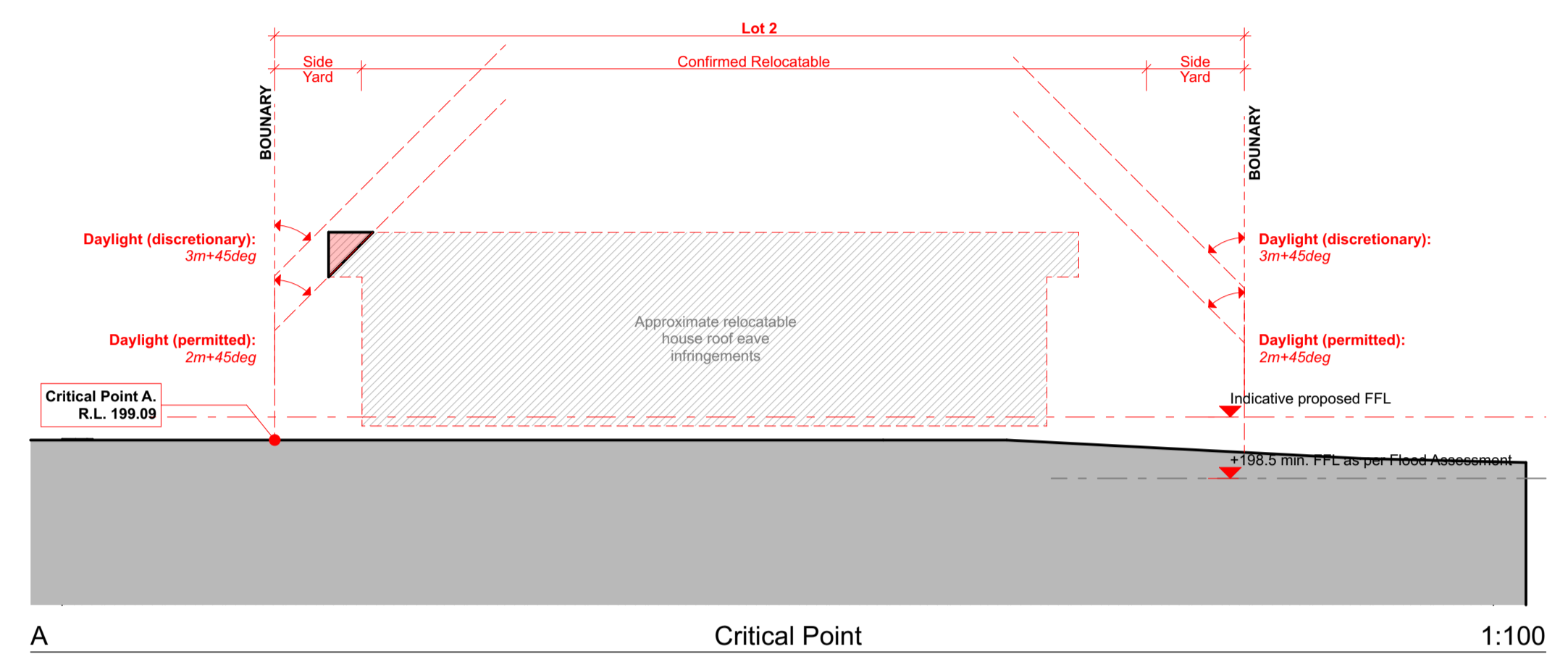
- GENERAL NOTES**
- 0.1 Contractor to verify all dimensions and condition on site before commencing work.
 - 0.2 Work only from figured dimensions. In the event of a discrepancy consult the Architect.
 - 0.3 The drawings are to be read in conjunction with Specification.
 - 0.4 If in doubt, consult the Architect.

- LANDSCAPE PLAN LEGEND:**
- Vehicle Driveway
 - 5000L Water Tanks as Stormwater Assessment.
 - Proposed Specimen Tree
 - Proposed Pittosporum hedge along road boundaries.
 - Existing timber fences to remain.
 - Proposed timber fencing
 - Indicative washing line zone

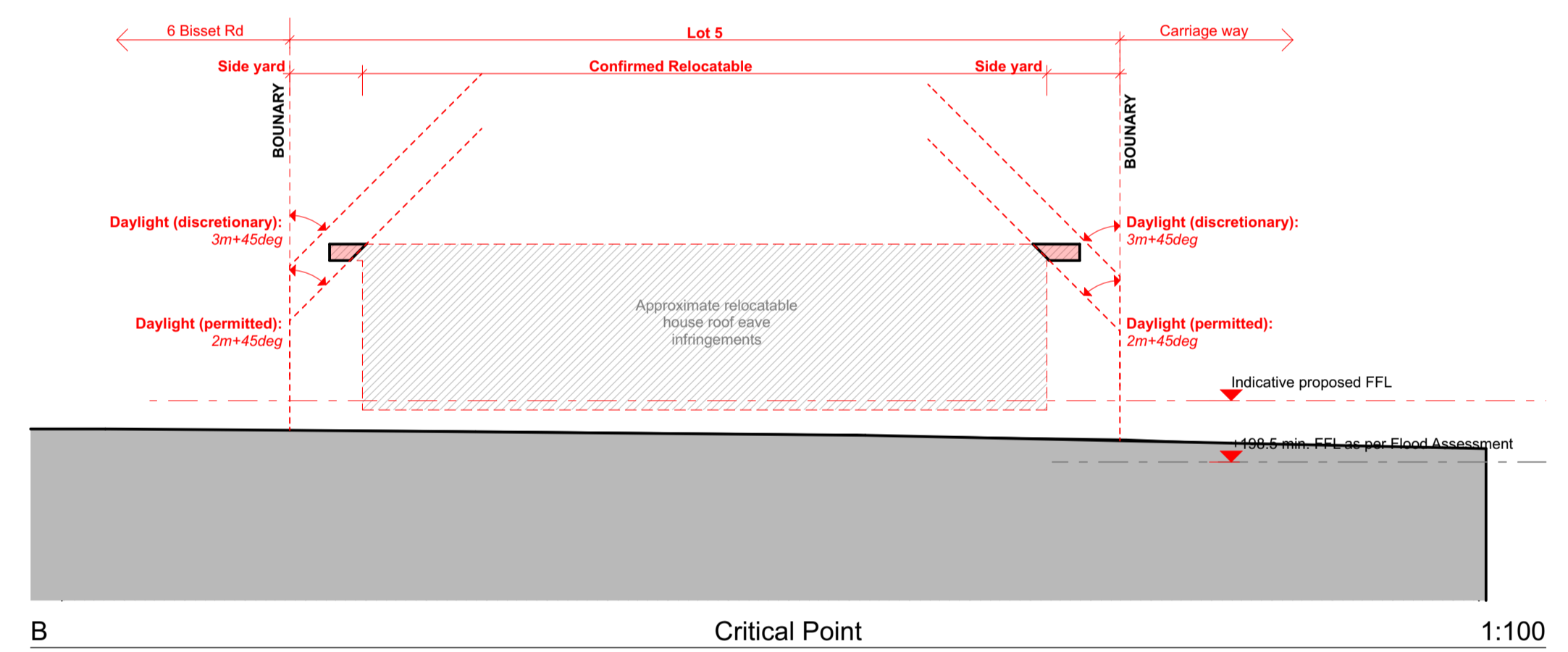


Site: Landscape Plan

1:200



A Critical Point 1:100



B Critical Point 1:100

RevID	CHD	Revision	Date
A		Carriageway updates / boundary adjustments	22/07/2020
D	D.01	Carriageway updates / boundary adjustments	11/09/2020
	D.04	Section C updated	
K			24/11/2024

P: 021 250 6671
E: esnempropertiesltd@gmail.com
title
Esnem Properties Ltd

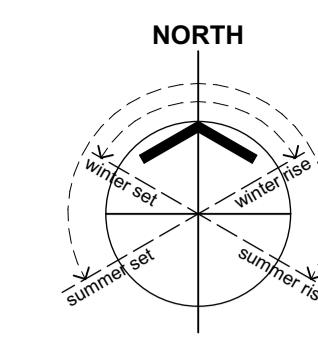
Proposed Subdivision
6 Bisset Road
Kaikohe
Northland

sheet title
RC Submission
**Vehicle Tracking/
Landscape Plan &
Critical Point Sections**

ST
scale
As marked at A1

sheet no. issue
RC04 K
printed Sunday, 8 December 2024
RC Variation #2

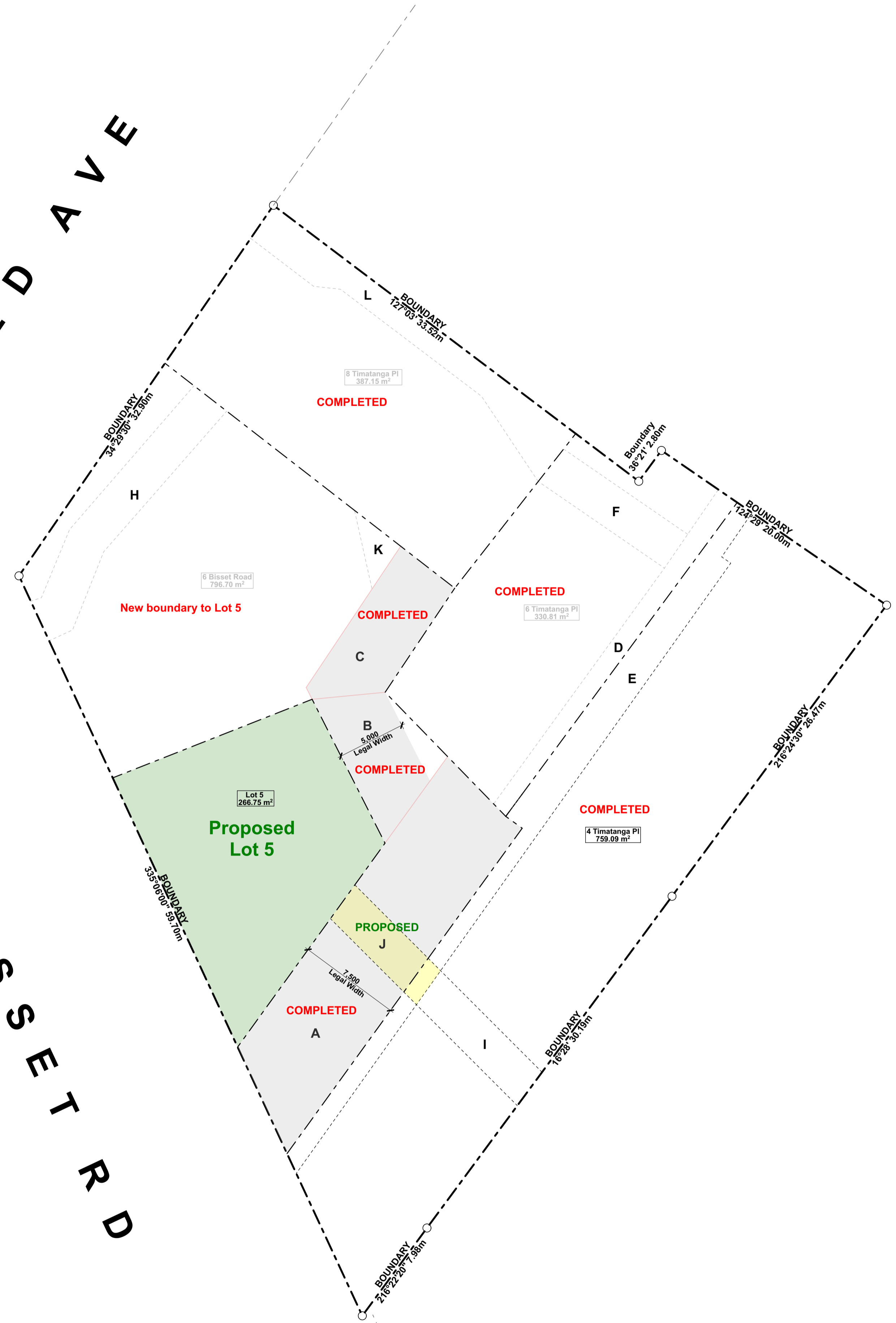




- GENERAL NOTES**
- 0.1 Contractor to verify all dimensions and condition on site before commencing work.
 - 0.2 Work only from figured dimensions. In the event of a discrepancy consult the Architect.
 - 0.3 The drawings are to be read in conjunction with Specification.
 - 0.4 If in doubt, consult the Architect.

H A R O L D A V E

B I S S E T R D



Scheme Plan

1:200

Schedule / Memorandum

Land Registration District North Auckland	Plan Number DP 584828
Territorial Authority (the Council) Far North District Council	Council Reference 2300042-RMAVAR/A

Memorandum of Easements Pursuant to s243 Resource Management Act 1991			
Purpose	Shown	Burdened Land (Servient Tenement)	Benefitted Land (Dominant Tenement)
Right of Way and Right to Convey Electricity & Telecommunications	A & B	Lot 1 DP 584828	Lots 2, 3 & 4 DP 584828
	C	Lot 1 DP 584828	Lot 2 DP 584828
Right to Convey Water	A	Lot 1 DP 584828	Lots 3 & 4 DP 584828
	D	Lot 3 DP 584828	Lot 4 DP 584828
	E	Lot 4 DP 584828	Lot 3 DP 584828
	H	Lot 1 DP 584828	Lot 2 DP 584828
Right to Drain Sewage	K	Lot 1 DP 584828	Lot 2 DP 584828
PROPOSED Right to Drain Water & Sewage	J	Lot 1 DP 584828	Proposed new Lot

Memorandum of Easements in Gross Pursuant to s243 Resource Management Act 1991			
Purpose	Shown	Burdened Land (Servient Tenement)	Grantee
Right to Drain Water & Sewage	A, B & C	Lot 1 DP 584828	Far North District Council
	D	Lot 3 DP 584828	
	E	Lot 4 DP 584828	
Right to Drain Water	F	Lot 3 DP 584828	Far North District Council
	I	Lot 4 DP 584828	
Right to Drain Sewage	G	Lot 3 DP 584828	Chorus New Zealand Ltd
Right to Convey Telecommunications	L	Lot 2 DP 584828	
PROPOSED Right to Drain Water & Sewage	J	Lot 1 DP 584828	Far North District Council

RevID	CHD	Revision	Date
B	B-01	Boundary Setout plan added to set	19/08/2020
C	C-01	Easement schedule added	27/08/2020
D	D-01	Carriageway updates / boundary adjustments	11/08/2020
K			24/11/2024

P. 021 250 6671
E. esnempropertiesltd@gmail.com

Esнем Properties Ltd

Proposed Subdivision
6 Bisset Road
Kaikohe
Northland

sheet title
RC Submission
Proposed Scheme Plan

drawn
ST
scale
As marked at A1

sheet no. issue
RC05 K
printed Sunday, 8 December 2024
RC Variation #2



Document Information

Client: **Esнем Properties Ltd**

Title: **6 Bisset Road Development**
Assessment of Environmental Effects for Resource Consent
Combined Subdivision & Land Use Application

Address: 6 Bisset Road, Kaikohe
Northland

Prepared by: Esнем Properties Ltd

Date: **24 Nov 2024**



Table of Contents

1. Site Description	3
2. Work Proposal	4
3. Reasons for Application	5
3.1 Subdivision	
3.2 Residential Intensity - Lot Sizes	
3.3 Access location change	
3.4 Increase in number of Certificates of Title	
3.5 Boundary adjustments	
3.6 Allotment dimensions	
4. Assessment of Environmental Effects	7
5. Assessment of Part 2 of RMA	10
6. Notes from FNDC District Plan	11
7. Conclusion	11
8. Supporting Documents (uploaded to FNDC Portal)	
8.1 Pre-Application Meeting Minutes	
8.2 AEE Assessment District Plan Table	
8.3 Records of Title	
8.4 Scheme Plan (last page of Architectural Drawings)	

1. Site Description

Site Location: 6 Bisset Road, Kaikohe, Northland
Legal Description: Lot 2 DP 16176
Certificate of Title: NA97C/58
Site Area: 2,541m²
Relevant Plans: Far North District Plan
Zone: Residential Zone

The site is located approximately 1 kilometer from Kaikohe town center. It is a large, corner site which contains one existing residence and single garage. The topography of the site slopes slightly towards the South East boundary. Along the South East boundary there is partial flood plain infringement (as commented on in Flood Assessment). Surrounding context is residential.



2. Work Proposal

Background:

The original subdivision was approved to create six new Lots (RC 2300042, stamped 15/9/2020). Due to staging challenges, a variation was submitted and subsequently approved to reduce the subdivision to four Lots, which has since been completed. Certificates 223 and 224c were issued 27/3/2023.

Variation:

This proposal seeks a minor variation to the previously approved resource consent. The variation includes the following:

1. Creation of an Additional Lot (Lot 5):

- The proposal involves creating a new Lot, identified as Lot 5 in the accompanying drawings.

2. Relocatable Housing for Lot 5:

- A 3 Bed 1 Bath relocatable house, consistent in quality and process with those completed in Stage 1, is proposed to be delivered to Lot 5.

3. Medium-Density Development Concept for 4 Timatanga Place (Future Proposal):

- A tentative concept for a medium-density development is proposed, which may include either a duplex or a small block of 2-3 ground-level flats.
- This proposal outlines the general footprint required for such development, including the approximate location for the building and associated parking.

The original resource consent allowed for six standalone dwellings. If a duplex is constructed in the future (on 4 Timatanga PI), the total number of dwellings will remain consistent across the development with the originally approved consent (RC 2300042, stamped 15/9/2020). Should 2-3 flats be developed instead, this would result in one additional dwelling beyond the originally approved plan. This represents a minor increase in the overall number of dwellings in the development and would positively contribute to the local housing stock. These flats are envisioned as housing options tailored for retirees, offering one- or two-bedroom configurations.

As no definitive strategy has been finalised for 4 Timatanga Place, this proposal seeks approval for the building area and medium-density development aspect as part of the current consent. This approach will streamline potential future variations, saving time and resources should this direction be pursued. When the time comes to develop 4 Timatanga Place, all required processes, including obtaining building consent and complying with relevant regulations, will be diligently followed.

The surrounding site is all grass pasture with a range of small to large trees forming parts of the boundary of the site. Approximately 1.8m high existing timber fences to the North and East boundaries is to remain.

The wider vicinity is made up of residential lots, with a grass reserve/park close by and an Early Child Centre across the road.

3. Reasons for Application

3.1 Subdivision

Resource Consent is an instant requirement for any development proposing subdivision in the Far North District.

The resource consent application is required through no less than one non-complying component of the Urban Environment, Residential Activity rules; being that each residential unit for a single household shall have available to it a minimum net site of 600m² for sewered sites. Resource consent is further required to cover no more than four subsequent non-complying components to the Urban Environment, Subdivision Rules; being an accessway change, increase in the certificate of titles, minimum lot sizes and also allotment dimensions.

3.2 Urban Environment - Residential Activity Rules

7.5.6.1.2 Residential Activity a) Residential Intensity:

Each residential unit for a single household shall have available to it a minimum net site area of 600m² for sewered sites. Any activity that does not comply with a condition for a permitted activity is a restricted discretionary activity.

This subdivision proposes one new Lot with an area of 266.75m².

3.3 Urban Environment - Subdivision Rules

13.7.1 Controlled Subdivision Activities

a) *There is no change in the number and location of any access to the lots involved*

b) *there is no increase in the number of certificates of title*

The proposed subdivision will amend 6 Bisset Road title as well as adding one further title.

c) *the area of each adjusted lot complies with the allowable minimum lot sizes specified for the relevant zone*

As stated in section 3.1, the subdivision will add one Lot which will be smaller than what is specified as a controlled activity in the relevant zone.

3.4 Urban Environment - Subdivision Rules

13.7.2.2 Allotment dimensions

Residential = 14m x 14m

As the proposed Lot is not perfectly square; the below dimensions are nominal and reflect the

overall shape (length and width) in a general sense only.

Lot 5 nominal dimensions
15.6m x 16m

The Lots contains a greater overall area than 14x14m.

3.5 All permitted and complying activities

Refer to attachment ***AEE Assessment District Plan Table*** for all controlled and permitted activities the subdivision proposes.

4. Assessment of Environmental Effects

As per Schedule 4 - Information required in application for a resource consent, subsection 6 - information required in assessment of environmental effects; the following statements confirm intent and compliance:

The proposed subdivision is not for commercial use, before, during or once complete. The lots will be used solely as residential dwellings. No commercial activity will take place on any of the proposed Lots.

Building consent will be applied for separately to this application; however, there are no hazardous installations outside of NZS 3604. The proposed subdivision comprises of an additional single story residential home (with possible future single level medium-density development). Using timber subfloor and framing, along with standard materials and processes as outlined in NZS 3604. The new homes will comply with the New Zealand Building Code.

The proposed subdivision will not produce or discharge any contaminant or hazardous substance outside regulation construction materials.

There is minimal to no earth works required, all physical waste will be stored in a skip bin and subsequently removed from the site, as per council protocol once construction comes to an end. There are no notable byproducts proposed in this consent.

As per Schedule 4 - Information required in application for a resource consent, subsection 7 - matters that must be addressed by assessment of environmental effects; the following statements confirm intent and compliance:

There are no notable trees or plants on the current section.

There are no known animal or wildlife protections or habitats on the current section.

There is no physical alteration proposed to the landscape; regarding earth works and contour.

There will be no discharge of contaminants into the environment.

The current section is not being used for recreational or community purposes.

There is no known tie of this land to any cultural or significant spiritual or community event.

There are no natural resources or natural resource access ways associated with this site.

The proposed development will not create or encourage any form of noise pollution unrelated to residential activity.

Environmental effects and proposed points of management or mitigation:

The proposed subdivision will have less than minor effect on those in the neighbourhood and the wider community.

As any construction is expected, there will be construction noise, increased traffic and construction hazards on the site during the subdivision and building process. These issues are unavoidable and will be managed / mitigated by the building and relocatable team. All construction works will be in accordance with relevant building / construction code standards and will be undertaken by licensed professionals.

Effect summary – Less than minor

The proposed subdivision will have a less than minor effect on the visual appearance on the current section and property.

The proposal looks to add a 4th dwelling to an existing 3 dwelling development. The typology will be very similar and will have a very minor impact on the overall feel and aesthetic of the street scape.

Effect summary – Less than minor

The subdivision will have no effect on the trees and plants on the current section.

The proposed relocated building (or potential future medium density development) will have no impact on vegetation currently within the sections.
Refer Landscape Plan.

Effect summary – No effect

Vehicle crossing location onto Bisset Road

The existing vehicle crossing will remain as is.
Refer Landscape Plan.

Effect summary – Less than minor

Shape of Lots (minimum dimension of 14m x 14m)

The shapes of Lot 5 has been derived from a number of considerations:

- Central accessway and vehicle circulation
- Existing service line
- Shapes and floor layouts of relocatable houses
- Location of existing home
- Orientation of yards and outdoor areas

- Vehicle maneuverability

Many planning exercises were conducted before arriving at the finalised layout which was given approval (RC 2300042, stamped 15/9/2020).

Effect summary – *Less than minor*

Size of the Lots

The current zoning parameters for lot sizes indicate no smaller than 600m².

The approval of the initial six-lot scheme was influenced by its positive contribution to the community through the addition of housing stock and the presence of a large open park located directly across the road. The adjacent grass park reduces the necessity for each lot to include expansive grassed areas, thereby lowering maintenance requirements for owners and tenants while still providing access to public open space amenities. The lot sizes remain unchanged from the previously approved resource consent.

Approved RC 2300042, stamped 15/9/2020.

Effect summary - *Less than minor*

Increased drain on infrastructure

This does not propose the requirement of increasing infrastructure beyond the Initially approved RC.

Approved RC 2300042, stamped 15/9/2020.

Effect summary – *Less than minor*

Activity Status:

Overall, consent is required as a restricted discretionary activity.

5. Assessment of Part 2 of RMA (relevant sections addressed)

Purposes

(1) The purpose of this Act is to promote the sustainable management of natural and physical resources.

*(2) In this Act, **sustainable management** means managing the use, development, and protection of natural and physical resources in a way, or at a rate, which enables people and communities to provide for their social, economic, and cultural well-being and for their health and safety while—*

(a) sustaining the potential of natural and physical resources (excluding minerals) to meet the reasonably foreseeable needs of future generations; and

(b) safeguarding the life-supporting capacity of air, water, soil, and ecosystems; and

(c) avoiding, remedying, or mitigating any adverse effects of activities on the environment.

The proposed subdivision does not impede or promote sustainable management of natural physical resources. It is proposed to connect to town supply for utilities; this will support sustainable systems if they are employed by the Far North District council in its supply. Or alternatively not, if they are not managed sustainably.

The section does not have any notable physical or natural features which place any significant value to the owners or community. Therefore, the proposal does not have any effect.

The proposal suggests a stormwater management plan that promotes an ecofriendly treatment of storm water, which will improve on the current site as there is nothing in place to date.

The proposal suggests a combination of relocatable homes and new build. This is a model of recycle over waste and will have a far greater positive impact on the environment than only new builds, not to mention adding historical significance to the section with homes of a different era and story.

The proposal suggests there will be no contaminants or waste products from the development, as to have no effect on the environment. The minimal build-up of waste products or building materials will be taken away from site and disposed of responsibly.

The proposal suggests there will be no commercial activity undertaken on the site currently, during or following the development, avoiding any adverse effects.

Overall, the proposal suggests a subdivision that has little to no effect on the natural environment. Little to no effect on the physical / visual perception of the property. Little to no effect on public safety through an increase of hazard or traffic consideration.

The proposal does suggest a positive impact on the housing stock for Kaikohe and follows proactive community and environmentally friendly systems to achieve it. The proposal suggests a consideration of the Far North District Plan with a goal to support the districts needs and requirements.

6. Notes from FNDC District Plan

The Far North District Council could be considered to be affected by this proposal due to the development falling within the restricted discretionary activity category due to the reasons mentioned in this report. No other parties have been considered affected by this proposal.

Overall, we believe this application satisfies the relevant provisions of S95 of the Resource Management Act and can lawfully be assessed without notification.

7. Conclusion

We believe the proposal is in line with the Far North District Plan, Residential Zone with the overall effects and as a result, the works are considered to be *less than minor*.

Urban Environment - Residential Activity Rules		Compliance
7.6.5.1.1	Relocated Buildings	Complies
7.5.6.1.2	<p>Residential Activity</p> <p>a) Residential Intensity Each residential unit for a single household shall have available to it a minimum net site area of: Sewered sites: 600m² Unsewered sites: 3,000m²</p> <p>b) Accessory buildings on a site within the Coopers Beachfront Estate are a permitted activity provided that: (i) there is no more than one accessory building detached from each residential unit on the site; and (ii) any accessory building which is detached from the residential unit has a total floor area of no more than 45m²</p>	<p>Does not comply</p> <p>Not applicable</p>
7.6.5.1.3	<p>Scale of Activities</p> <p>The total number of people engaged at any one period of time in activities on a site, including employees and persons making use of any facilities, but excluding people who normally reside on the site or are members of the household shall not exceed: 2 persons per 600m² (sewered) 2 persons per 3,000m² (unsewered)</p>	Not applicable
7.6.5.1.4	<p>Building Height</p> <p>The maximum height of any building shall be 8m.</p>	Complies

7.6.5.1.5	<p>Sunlight No part of any building shall project beyond a 45 degree recession plane as measured inwards from any point 2m vertically above ground level on any site boundary</p>	Complies
7.6.5.1.6	<p>Stormwater Management The maximum proportion of the gross site area covered by buildings and other impermeable surfaces shall be 50%</p>	Complies
7.6.5.1.7	<p>Set Back from Boundaries The minimum building setback from road boundaries shall be 3m</p>	Complies
7.6.5.1.8	<p>Screening for Neighbours - Non residential activities</p>	Not Applicable
7.6.5.1.9	<p>Outdoor activities Except as otherwise provided by Rule 7.6.5.1.10, any activity may be carried out outside except that any commercial non-residential activity involving manufacturing, altering, repairing, dismantling or processing of any materials, live produce, goods or articles shall be carried out within a building.</p>	Complies
7.6.5.1.10	<p>Visual Amenity</p>	Not Applicable
7.6.5.1.11	<p>Transportation</p>	Not Applicable
7.6.5.1.12	<p>Site Intensity - Non Residential Activities</p>	Not Applicable
7.6.5.1.14	<p>Hours of Operation</p>	Not Applicable
7.6.5.1.14	<p>Keeping of Animals</p>	Not Applicable
7.6.5.1.15	<p>Noise</p>	Not Applicable

7.6.5.1.16	Helicopter Landing Area	Not Applicable
7.6.5.1.17	Building Coverage Any new building or alteration/addition to an existing building is a permitted activity if the total Building Coverage of a site does not exceed 45% of the gross site area.	Complies
Urban Environment - Subdivision Rules		
13.7.1	Controlled Subdivision Activities there is no change in the number and location of any access to the lots involved; and	Complies
	a) there is no increase in the number of certificates of title; and	Does not comply
	b) the area of each adjusted lot complies with the allowable minimum lot sizes specified for the relevant zone	Does not comply
	c) the area affected by the boundary adjustment is within or contiguous with the area of the original lots; and	Does not comply
	d) all boundary adjusted sites must be capable of complying with all relevant land use rules (e.g building setbacks, effluent disposal); and	Complies
	e) all existing on-site drainage systems (stormwater, effluent disposal, potable water) must be wholly contained within the boundary adjusted sites.	Complies
13.7.2.1	(v) The minimum lot sizes are 2,000m ² (unsewered) and 300m ² (sewered).	Complies
13.7.2.2	Allotment diemnsions Residential = 14m x 14m	Does not comply
13.7.2.3	Amalgamation of land in a Rural Zone	Not Applicable
13.7.2.4	Lots divided by zone boundaries	Not Applicable
13.7.2.5	Sites divided by Outstanding Landscape	Not Applicable
13.7.2.6	Acces, Utilities, Roads	Not Applicable
13.7.2.7	Savings as to Previous Approvals	Not Applicable

13.7.2.8	Proximity to top energy transmission lines	Not Applicable
13.7.2.9	Proximity to national grid	Not Applicable
13.7.3.1	Property Access A controlled (subdivision) activity application must comply with rules for property access in Chapter 15, namely Rules 15.1.6C.1.1 - 15.1.6C.1.11 (inclusive).	Complies
13.7.3.2	Natural and other Hazards Any proposed subdivision shall avoid, remedy or mitigate any adverse effects of natural hazards.	Complies
13.7.3.3	Water Supply	Complies
13.7.3.4	Stormwater Disposal	Complies
13.7.3.5	Sanitary Sewer Disposal	Complies
13.7.3.6	Energy Supply	Complies
13.7.3.7	Telecommunications	Complies
13.7.3.8	Easements for any purpose	Not applicable
13.7.3.9	Preservation of Heritage Resources	Not applicable
13.7.3.10	Access to Reserves and Waterways	Not applicable
13.7.3.11	Land use compatibility	

Subdivision shall avoid, remedy or mitigate any adverse effects of incompatible land uses (reverse sensitivity). In considering a controlled subdivision activity under Rule 13.7.3.11 the Council will restrict the exercise of its control to the following matters: (i) the degree to which the proposed allotments take into account adverse effects arising from incompatible land use activities (including but not limited to noise, vibration, smell, smoke, dust and spray) resulting from an existing land use adjacent to the proposed subdivision

Complies

13.7.3.12

Proximity to Airports

Not applicable



**RECORD OF TITLE
UNDER LAND TRANSFER ACT 2017
FREEHOLD
Search Copy**




R. W. Muir
Registrar-General
of Land

Identifier **1101253**
Land Registration District **North Auckland**
Date Issued 11 April 2023

Prior References
NA97C/58

Estate Fee Simple
Area 1092 square metres more or less
Legal Description Lot 1 Deposited Plan 584828

Registered Owners
Esnem Properties Limited

Interests

Subject to Part IV A Conservation Act 1987

Subject to Section 11 Crown Minerals Act 1991

12131842.2 Mortgage to ASB Bank Limited - 3.6.2021 at 4:34 pm

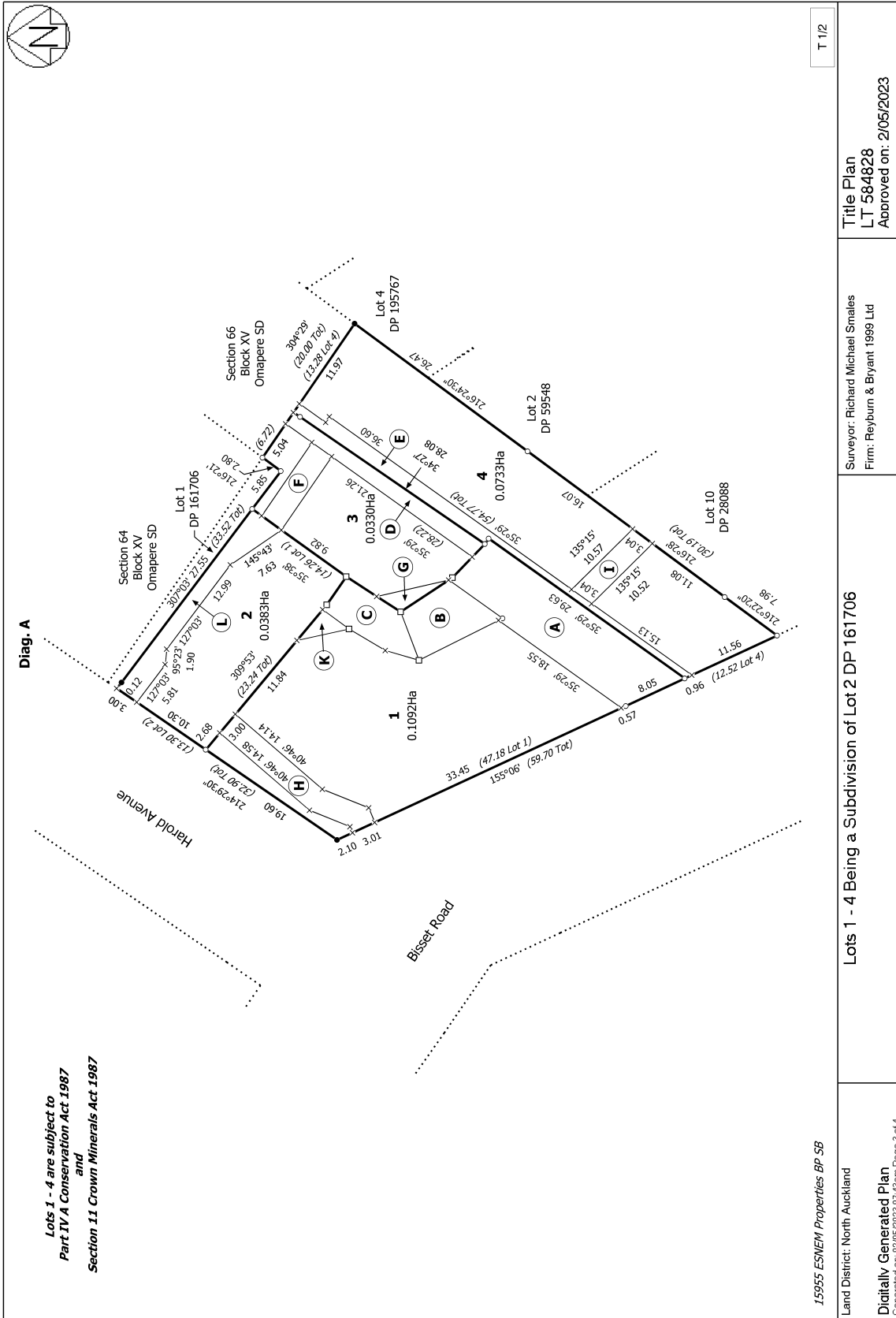
Subject to a right of way, right to convey electricity, telecommunications over part marked A, B and C, right to convey water over part marked A, H and a right to drain sewage over part marked B, C and K all on DP 584828 created by Easement Instrument 12709349.2 - 11.4.2023 at 2:27 pm

Appurtenant hereto is a right to drain water created by Easement Instrument 12709349.2 - 11.4.2023 at 2:27 pm

The easements created by Easement Instrument 12709349.2 are subject to Section 243 (a) Resource Management Act 1991

Subject to a right (in gross) to drain sewage over part marked A on DP 584828 in favour of Far North District Council created by Easement Instrument 12709349.3 - 11.4.2023 at 2:27 pm

The easements created by Easement Instrument 12709349.3 are subject to Section 243 (a) Resource Management Act 1991





**RECORD OF TITLE
UNDER LAND TRANSFER ACT 2017
FREEHOLD
Search Copy**




R. W. Muir
Registrar-General
of Land

Identifier **1101256**
Land Registration District **North Auckland**
Date Issued 11 April 2023

Prior References
NA97C/58

Estate Fee Simple
Area 733 square metres more or less
Legal Description Lot 4 Deposited Plan 584828
Registered Owners
Esnem Properties Limited

Interests

Subject to Part IV A Conservation Act 1987

Subject to Section 11 Crown Minerals Act 1991

12131842.2 Mortgage to ASB Bank Limited - 3.6.2021 at 4:34 pm

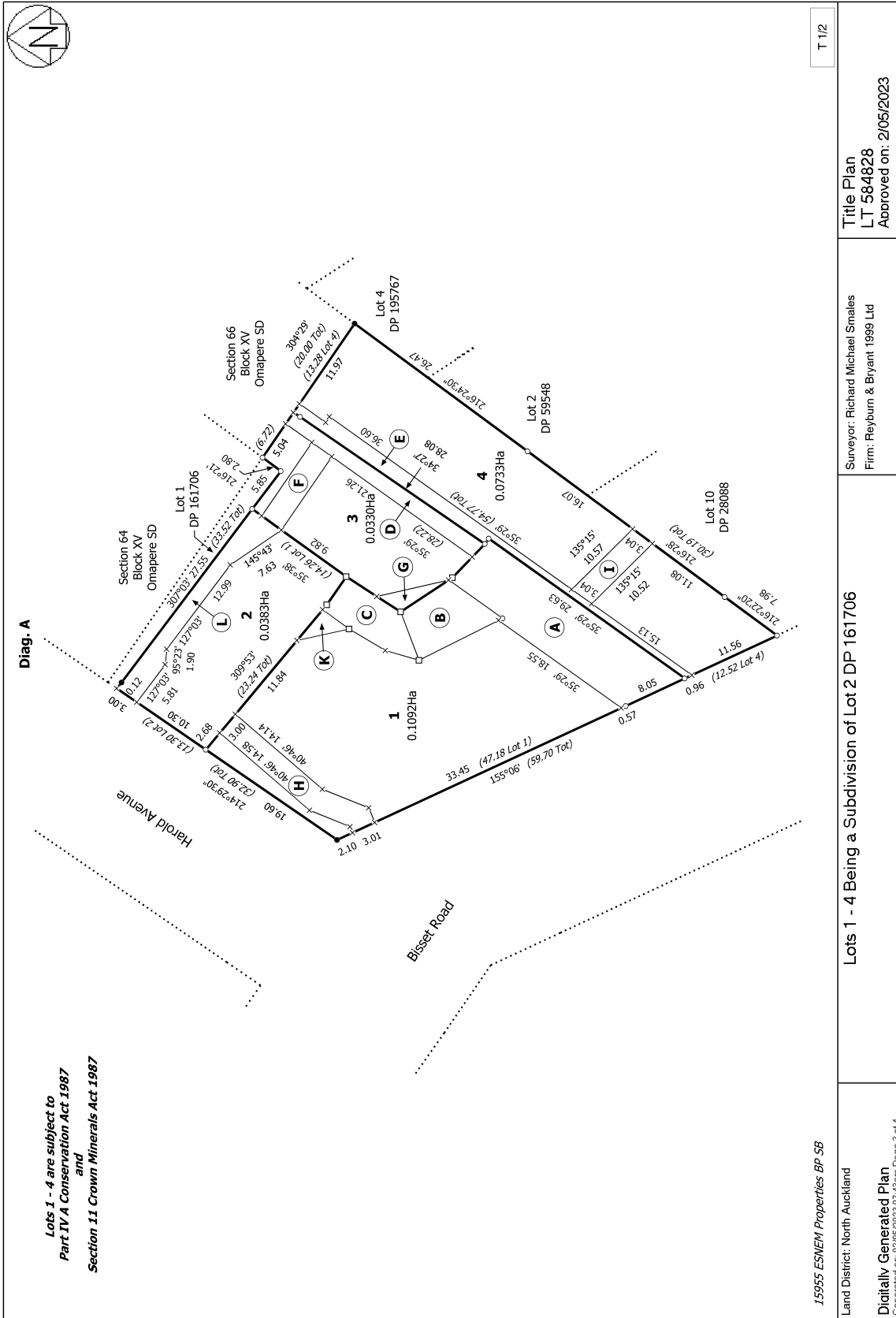
Subject to a right to convey water over part marked E and a right to drain water over parts marked E and I all on DP 584828 created by Easement Instrument 12709349.2 - 11.4.2023 at 2:27 pm

Appurtenant hereto is a right of way, right to convey electricity, telecommunications and water created by Easement Instrument 12709349.2 - 11.4.2023 at 2:27 pm

The easements created by Easement Instrument 12709349.2 are subject to Section 243 (a) Resource Management Act 1991

Subject to a right (in gross) to drain sewage over part marked E on DP 584828 in favour of Far North District Council created by Easement Instrument 12709349.3 - 11.4.2023 at 2:27 pm

The easements created by Easement Instrument 12709349.3 are subject to Section 243 (a) Resource Management Act 1991





Scale: 1:1000



This work is licensed under the Creative Commons Attribution 3.0 New Zealand License. To view a copy of this license, visit <http://creativecommons.org/licenses/by/3.0/nz/>

If any survey marks (inverted purple triangles) appear on this image and are at risk from your works please fill in the response form. If no marks are shown or affected, no further action is required.

DISCLAIMER: While reasonable measures have been taken to ensure the accuracy of the information contained in this plan response, neither LINZ or PelicanCorp shall have any liability whatsoever in relation to any loss, damage, cost or expense arising from the use of this plan response or the information contained in it or the completeness or accuracy of such information. Use of such information is subject to and constitutes acceptance of these terms. Sourced from the LINZ Data Service <https://data.linz.govt.nz/layer/50839> Crown Copyright Reserved.

Response Cover Letter



Land Information New Zealand (LINZ)

PO Box 5501

Wellington 6145

www.linz.govt.nz

Date: 16/09/2020

To:

Mr Shane Tregidga

Not Supplied

6 Tahora Avenue

Remuera Not Supplied 1050

Your request has been successfully processed. Please review the attached Plan for survey markers in and around your enquiry location, and complete the attached Form within two clear business days of this response, if your work will impact these marks:

Sequence No: 8745322

Job No: 1709066

Location: 6 Bisset Road
Kaikohe Northland 0405

If you require further information, please contact LINZ on 0800 665 463 or beforeudig@linz.govt.nz

Important Notice: This enquiry response, including any associated documentation, has been assessed and compiled from the information detailed within the beforeUdig enquiry outlined above. Please ensure that the beforeUdig enquiry details and this response accurately reflect your proposed works.

This response is intended for use only by the addressee. If you have received the enquiry response in error, please let us know by telephone and delete all copies; you are advised that copying, distributing, disclosing or otherwise acting in reliance on the response is expressly prohibited.



beforeUdig
.co.nz

While reasonable measures have been taken to ensure the accuracy of the information contained in this plan response, neither LINZ or PelicanCorp shall have any liability whatsoever in relation to any loss, damage, cost or expense arising from the use of this plan response or the information contained in it or the completeness or accuracy of such information. Use of such information is subject to and constitutes acceptance of these terms.

**Caller Details**

Contact: Mr Shane Tregidga
Company: Not Supplied
Address: 6 Tahora Avenue
 Remuera Auckland 1050

Caller Id: 174358
Mobile: Not Supplied
Email: esnempropertiesltd@gmail.com
Phone: 0212506671
Fax: Not Supplied

Dig Site and Enquiry Details

WARNING: The map below only displays the location of the proposed dig site and does not display any asset owners' pipe or cables. The area highlighted has been used only to identify the participating asset owners, who will send information to you directly.



User Reference: 6 Bisset
Working on Behalf of: Private
Enquiry Date: 16/09/2020
Start Date: 19/09/2020
End Date: 30/11/2020
Address: Lot 1 - 6 6 Bisset Road
 Kaikohe Kaikohe 0405
For Planning: No
Plans Requested: Yes
Workplace Location: Private Property
Locate Requested: No
Onsite Activity: Trenching
Location in Road: Not Supplied
Preferred Locate Date: Not Supplied

- Check that the location of the dig site is correct. If not you must submit a new enquiry.
- Should the scope of works change, or plan validity dates expire, you must submit a new enquiry.
- Do NOT dig without plans. Safe excavation is your responsibility. If you do not understand the plans or how to proceed safely, please contact the relevant asset owners.

Notes/Description of Works:

New double width concrete vehicle entrance as per engineer design (Bisset Road - min. 30m from intersection). Extend the water supply rider main from Harold Ave to serve development.

Your Responsibilities and Duty of Care

- If plans are **not** received within **2 working days**, contact the asset owners directly & quote their Sequence No.
- ALWAYS perform an onsite inspection for the presence of assets. Should you require an onsite location, contact the asset owners directly. Please remember, plans do not detail the exact location of assets.
- Pothole to establish the exact location of all underground assets using a hand shovel, before using heavy machinery.
- Ensure you adhere to any legislative requirements regarding Duty of Care and safe digging requirements.
- If you damage an underground asset you MUST advise the asset owner immediately.
- By using the beforeUdig service, you agree to our privacy policy and the terms and conditions set out at www.beforeudig.co.nz
- For more information about the beforeUdig service, visit www.beforeudig.co.nz

Asset Owner Details

The assets owners listed below have been requested to contact you with information about their asset locations within 2 working days. Additional time should be allowed for information issued by post. It is **your responsibility** to identify the presence of any underground assets in and around your proposed dig site. Please be aware, that not all asset owners are registered with the beforeUdig service, this confirmation will not provide details of those asset owners so it is **your responsibility** to identify and contact directly any asset owners not listed here. Known Non-Member Utilities are listed on the beforeUdig website under the 'Utilities & Members' Tab.

Any asset owner name listed below with the status 'Not Notified' is an associate member of beforeUdig which only notifies you of their presence and you will need to contact them directly.

Where an Asset Locate has been requested, Utilities will endeavour to respond to your Preferred Locate Date, where possible. Asset owners highlighted by asterisks ** **Do Not** supply plans and/or information regarding the existence of underground assets on private property. # Asset owners highlighted with a hash request you reference their attachment for further instructions on how to obtain plans.

Seq. No.	Authority Name	Phone	Status
8745321	Chorus **	0800822003	Notification Sent
8745319	Far North District Council - CAR Only	0800920029	CAR Not Required
8745322	LINZ	044983835	Notification Sent
8745320	Top Energy	0800867363	Not Notified

END OF UTILITIES LIST

SITE INSPECTION RECORD



ENGINEERING SOLUTIONS
Consulting Engineers

CES JOB No. & REV.	22-0230	INSPECTION No.	001
ADDRESS	6 Bisset Road, Kaikohe		
INSPECTOR	OMc		
TYPE OF INSPECTION	Private road		
	CIVIL <input checked="" type="checkbox"/>	GEOTECHNICAL <input type="checkbox"/>	STRUCTURAL <input type="checkbox"/>
CONSENT No.	TBC	DATE AND TIME	09:00am 28/02/22
H & S ISSUES ON SITE	-	H & S 'TAKE 5'	<input checked="" type="checkbox"/>

Inspected private road post-pour:

- Row A 5.0m wide sealed carriageway 150mm GAP 40 Basecourse. OK
- Row B 3.0 wide sealed carriageway 150mm GAP 40 Basecourse. OK
- Row C 3.0 wide sealed carriageway 150mm GAP 40 Basecourse. OK
- 4/300x300 Sump. OK
- uPVC trafficable channel drain. OK
- Dished channel. OK
- Crossing meets flush with road edge. OK

Works detailed in Engineering plans complete



SITE CONTACT	Esнем Properties	COUNCIL INSPECTOR	-
PASS <input checked="" type="checkbox"/>	SIGNED	<i>[Signature]</i>	
PENDING <input type="checkbox"/>			
FAIL <input type="checkbox"/>	SIGNED		

SCHEDULE 1A

DESIGN CERTIFICATE – LAND DEVELOPMENT/SUBDIVISION

ISSUED BY: Core Engineering Solution Ltd
(Approved certifier firm/suitably qualified design professional) (CES Ltd)

TO: ESNEM Properties
(Developer/owner)

TO BE SUPPLIED TO: Far North District Council
(Territorial authority)

FOR: Subdivision @ Bisset Street
(Description of land development/subdivision)

AT: 6 Bisset Street, Lot
Kaitiaki
(Address)

CES Ltd has been engaged by ESNEM Properties
(Consultant/designer) (Developer/owner)

to provide Engineering services for the land development and/or subdivision described above.

I David Leslie have the qualifications and experience relevant to this project as set out herein and have designed the land development/subdivision and confirm that the design is to current engineering practice, and that I believe on reasonable grounds that it satisfies all relevant resource consent conditions, all relevant FNDC (insert name of authority) requirements and applicable codes and standards.

I / My practice holds professional indemnity insurance to the amount of \$5,000,000 and includes run-off cover.

[Signature] Date 15/12/2022
(Signature of approved certifier on behalf of the approved certifier firm)

David Andrew Leslie BEng (Civil), Dip Eng (Civil)
MEMGT, CPens (geo struct)
(Name, title, and professional qualifications)

NOTE – This statement shall only be relied upon by the territorial authority named above. Liability under this statement accrues to the approved certifier firm only. The total maximum amount of damages payable arising from this statement and all other statements provided to the territorial authority on this land development/subdivision, whether in contract, tort, or otherwise (including negligence), is limited to the sum of \$... (insert)

Ref to insurance cover

Copyright waived

Masterspec (1222460) subscribers are licensed to temporarily download this document and may print it but not more than 10% of the documents subscribed to may be held in printed form at any one time.

6 Bisset Road, Kaikohe

for Resource Consent



Asbuilt sheet Index			
Layout ID	Layout Name	Issue ID	Issued Date
1AB01	As-Built Cover Sheet	01	21/09/22,
1AB02	Asbuilt Plan - Service Layout 01	01	21/09/22,
1AB03	Asbuilt Plan - Service Layout 02	01	21/09/22,

Rev	Date	Notes
01	10/9/21	6 Bisset Development

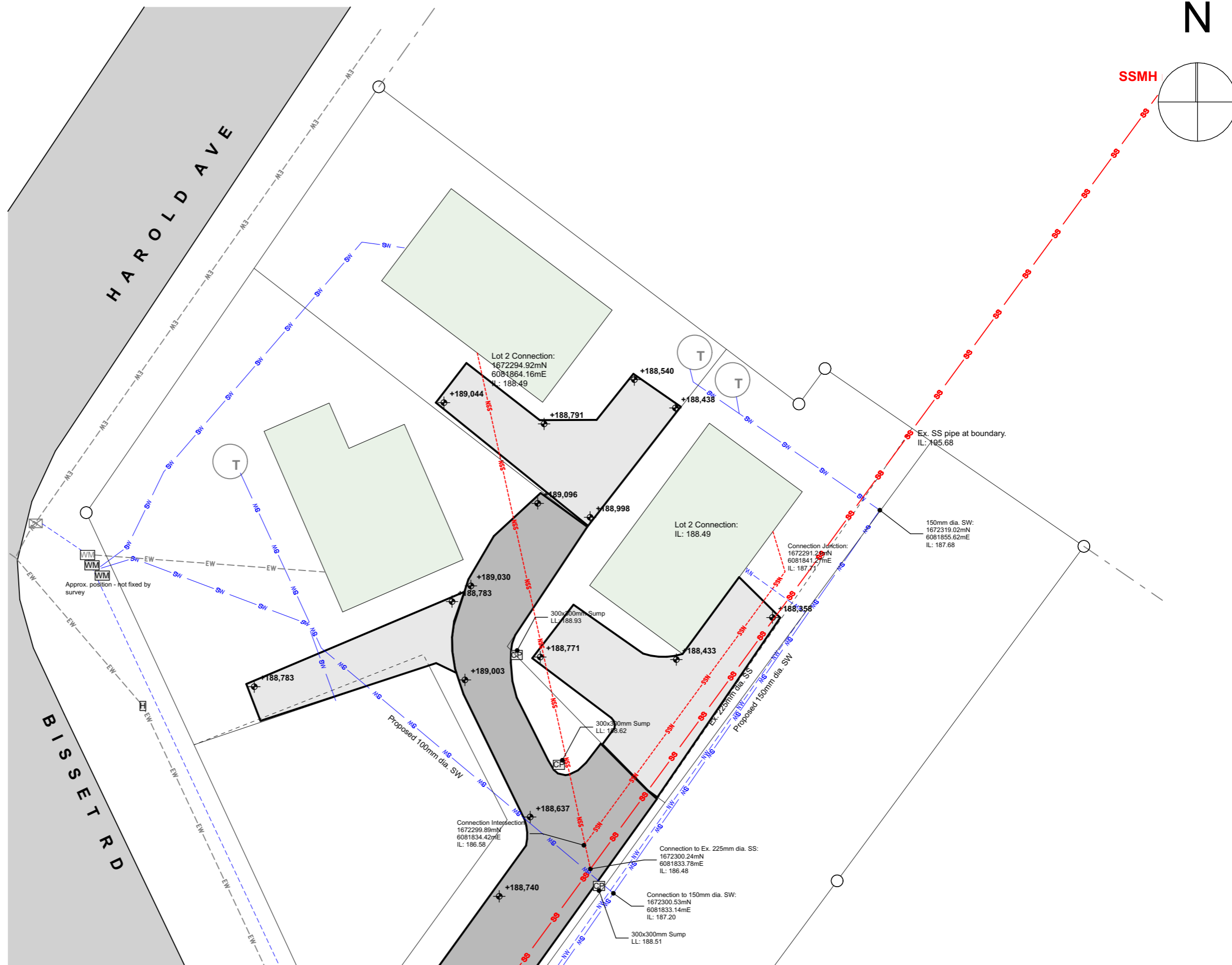
CLIENT: Esнем Properties Ltd	PROJECT DESCRIPTION: 6 Bisset Road Development
LOCATION: 6 Bisset Road, Kaikohe, Northland	SHEET TITLE: As-Built Cover Sheet

APPROVED BY:	SCALE:
ORIGINAL: A3	SHEET: 1AB01
FILE:	

Important Note:
This drawing and design remains the property of, and may not be reproduced or amended without the written permission of CORE Engineering Solutions Limited. No liability shall be accepted for the unauthorised use of this drawings or design.

Legend:

- 10,000L detention tanks (T)
- 225mm Existing SS line — SS —
- 100mm Proposed SS line - - - NSS - - -
- 150mm Proposed SW line — SW —
- Existing water supply - - - EW - - -
- New water supply - - - NSW - - -
- Water supply rider main extension - - - - -
- Proposed SW Cesspit CP
- Existing water meter WM
- Proposed water meter WM
- Existing hydrant H
- Ex. water supply valve ⊗



01	10/9/21	6 Bisset Development
Rev	Date	Notes

CLIENT: Esнем Properties Ltd
LOCATION: 6 Bisset Road, Kaikohe, Northland

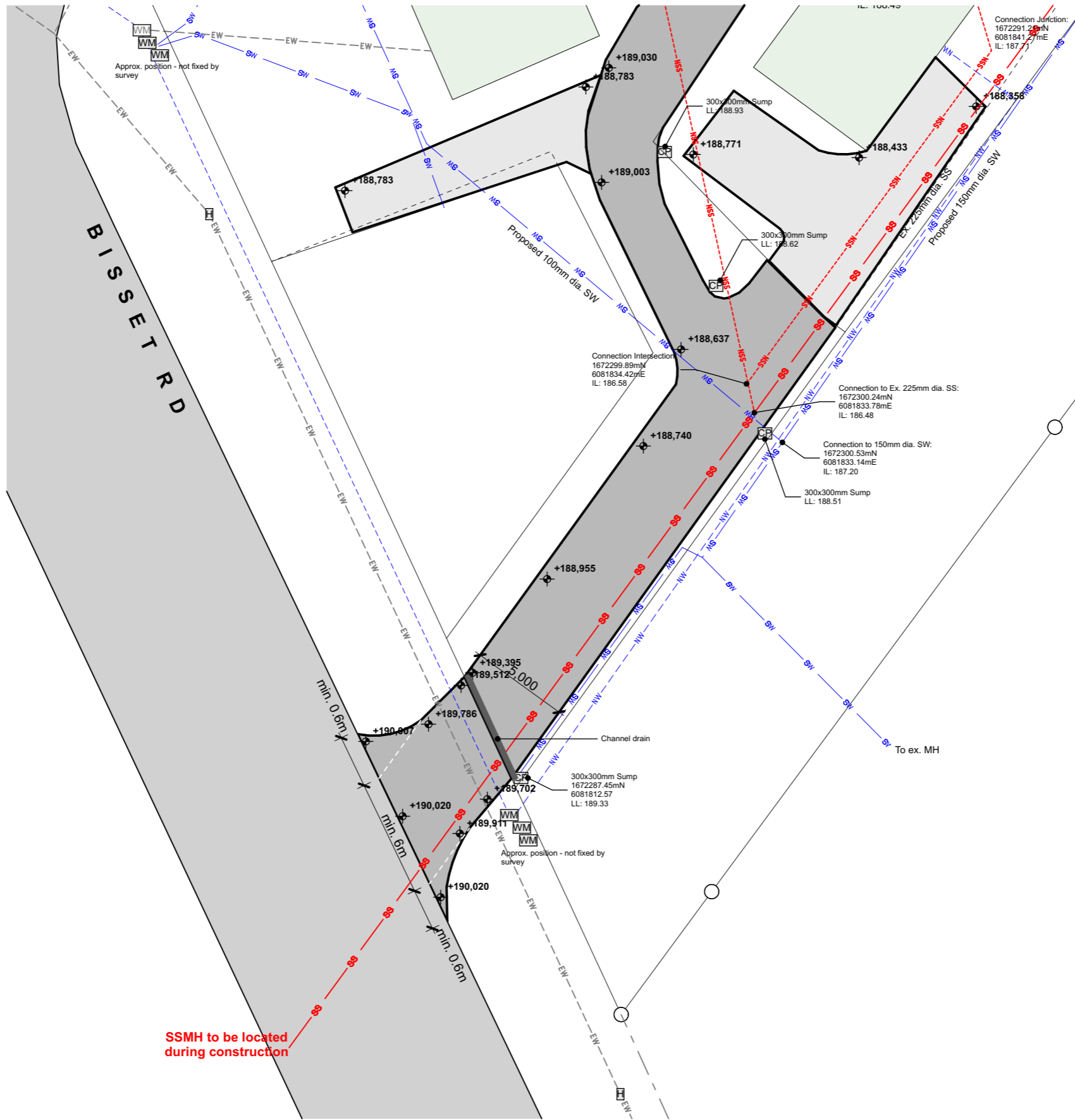
PROJECT DESCRIPTION: 6 Bisset Road Development
SHEET TITLE: Asbuilt Plan - Service Layout 01

APPROVED BY:	
ORIGINAL: A3	SCALE: 1:250
FILE:	SHEET: 1AB02

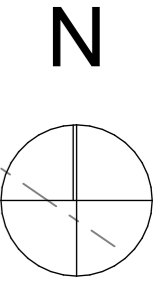
Important Note:
This drawing and design remains the property of, and may not be reproduced or amended without the written permission of CORE Engineering Solutions Limited. No liability shall be accepted for the unauthorised use of this drawings or design.

Legend:

- 10,000L detention tanks (T)
- 225mm Existing SS line — SS —
- 100mm Proposed SS line - - - NSS - - -
- 150mm Proposed SW line — SW —
- Existing water supply - - - EW - - -
- New water supply - - - NSW - - -
- Water supply rider main extension - - - - -
- Proposed SW Cesspit CP
- Existing water meter WM
- Proposed water meter WM
- Existing hydrant H
- Ex. water supply valve X



6081855.62mE
IL: 187.68



Rev	Date	Notes
01	10/9/21	6 Bisset Development

CLIENT: Esнем Properties Ltd
LOCATION: 6 Bisset Road, Kaikohe, Northland

PROJECT DESCRIPTION: 6 Bisset Road Development
SHEET TITLE: Asbuilt Plan - Service Layout 02

APPROVED BY:	SCALE: 1:250
ORIGINAL: A3	SHEET: 1AB03
FILE:	

6 Bisset Road, Kaikohe

for Resource Consent



Sheet Index			
Layout ID	Layout Name	Issue ID	Issue Date
ED01	Cover Sheet	01	21/09/22
ED02	Private Rd Layout	01	21/09/22
ED03	Section A	01	21/09/22
ED04	Section B & C	01	21/09/22
ED05	Section D & E	01	21/09/22
ED06	Vehicle Crossing	01	21/09/22
ED07	Engineering Standards - Vehicle Crossing 01	01	21/09/22
ED08	Engineering Standards - Vehicle Crossing 02	01	21/09/22
ED09	Engineering Standards - Kerb/channel & Cesspit	01	21/09/22
ED010	Service Layout 01	01	21/09/22
ED011	Service Layout 02	01	21/09/22
ED012	SS01 & SS02 Long Sections	01	21/09/22
ED013	SW01, SW02 & SW03 Long Sections	01	21/09/22
ED014	SW03 Long Section, FNDC Pipe Bedding	01	21/09/22
ED015	Engineering Standards - Stormwater	01	21/09/22






01	10/9/21	6 Bisset Development
Rev	Date	Notes

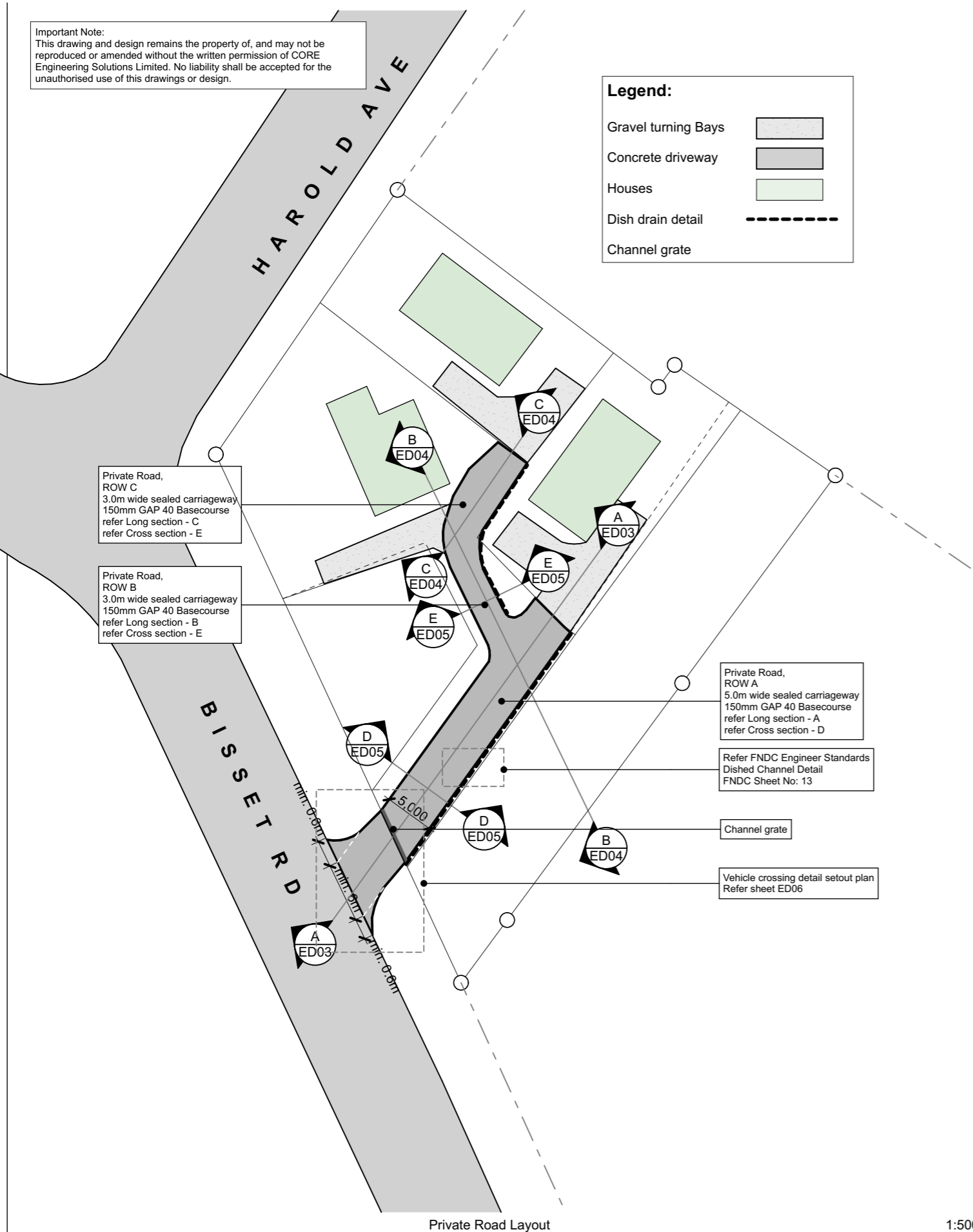
CLIENT: Esнем Properties Ltd	PROJECT DESCRIPTION: 6 Bisset Road Development
LOCATION: 6 Bisset Road, Kaikohe, Northland	SHEET TITLE: Cover Sheet

APPROVED BY:	SCALE:
ORIGINAL: A3	SHEET: ED01
FILE: 22-0230	

Important Note:
 This drawing and design remains the property of, and may not be reproduced or amended without the written permission of CORE Engineering Solutions Limited. No liability shall be accepted for the unauthorised use of this drawings or design.

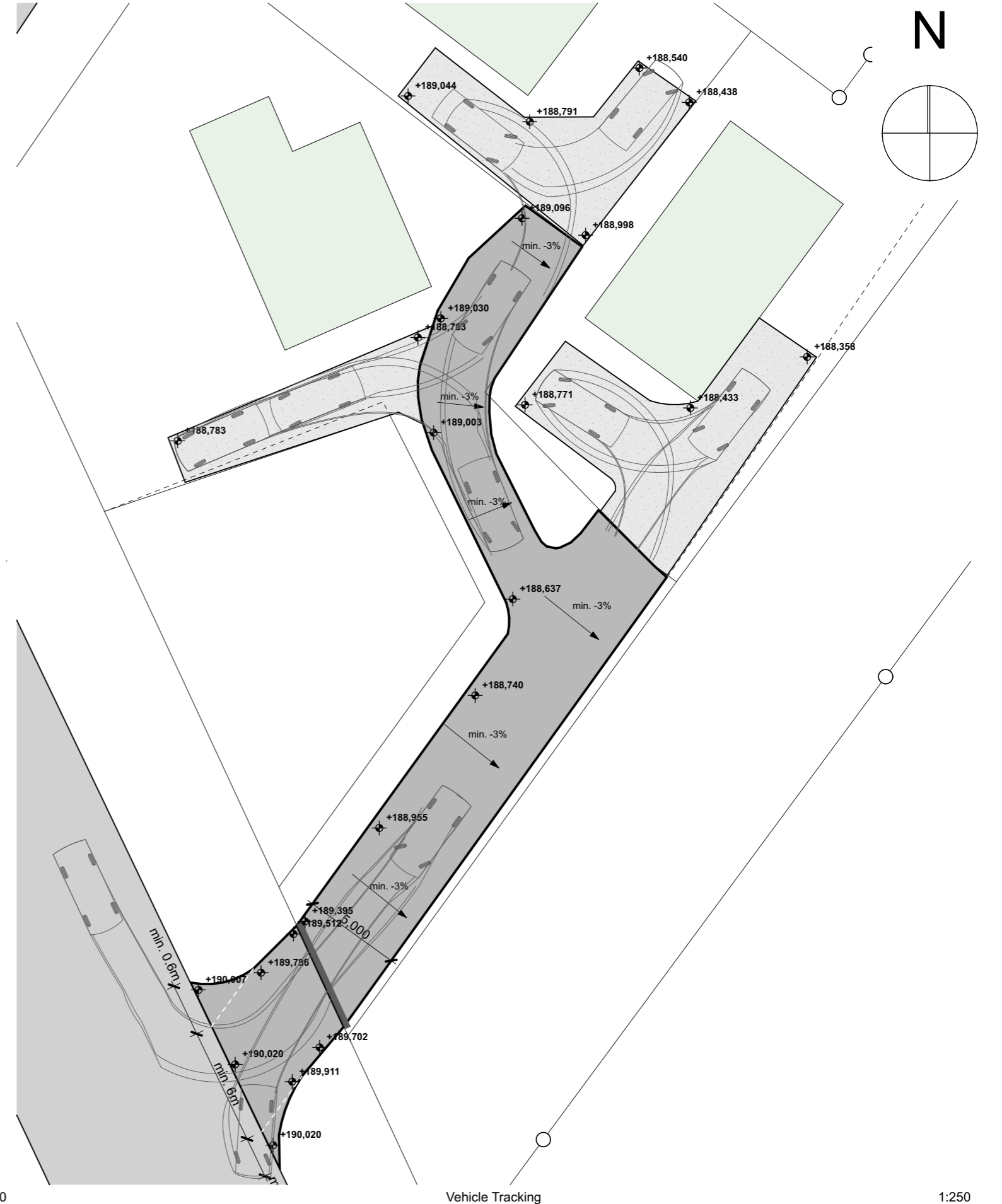
Legend:

- Gravel turning Bays 
- Concrete driveway 
- Houses 
- Dish drain detail 
- Channel grate 



Private Road Layout

1:500



Vehicle Tracking

1:250

CORE Consulting Engineers
 ENGINEERING SOLUTIONS
 Structural | Geotechnical | Civil

T: 09 553 3660
 jobs@coreeng.nz
 Level 1, 31 Vine Street,
 Whangarei 0110

Rev	Date	Notes
01	10/9/21	6 Bisset Development

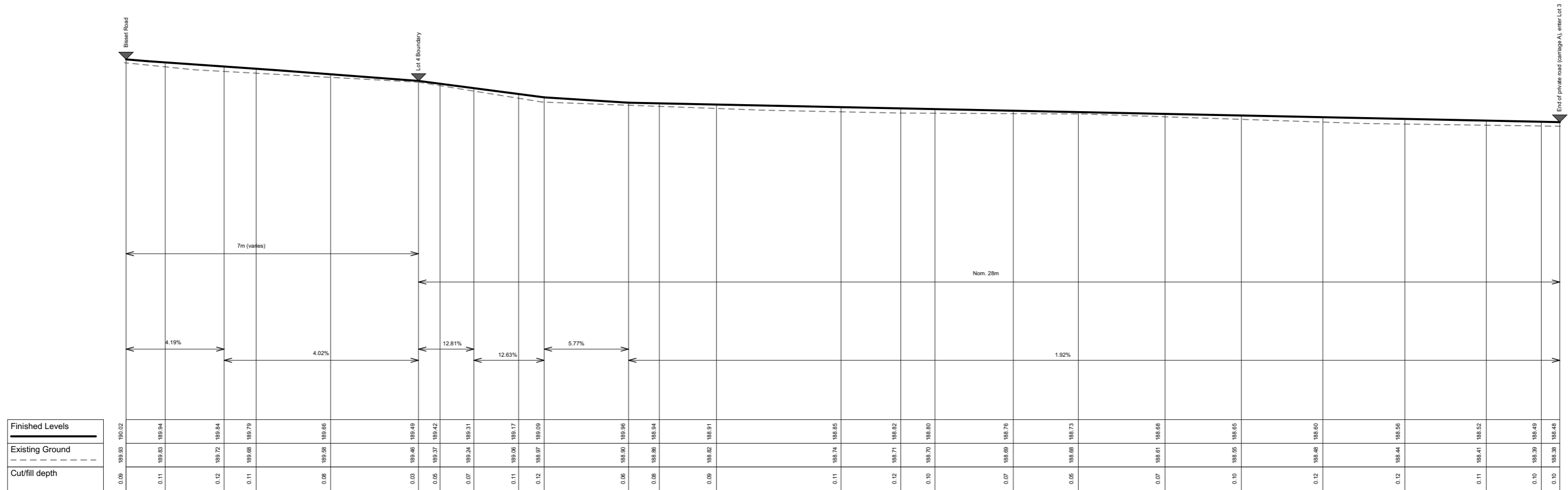
CLIENT:
Esнем Properties Ltd

LOCATION:
**6 Bisset Road, Kaikohe,
 Northland**

PROJECT DESCRIPTION:
6 Bisset Road Development

SHEET TITLE:
Private Rd Layout

APPROVED BY:	SCALE:
ORIGINAL: A3	SHEET: ED02
FILE: 22-0230	



A

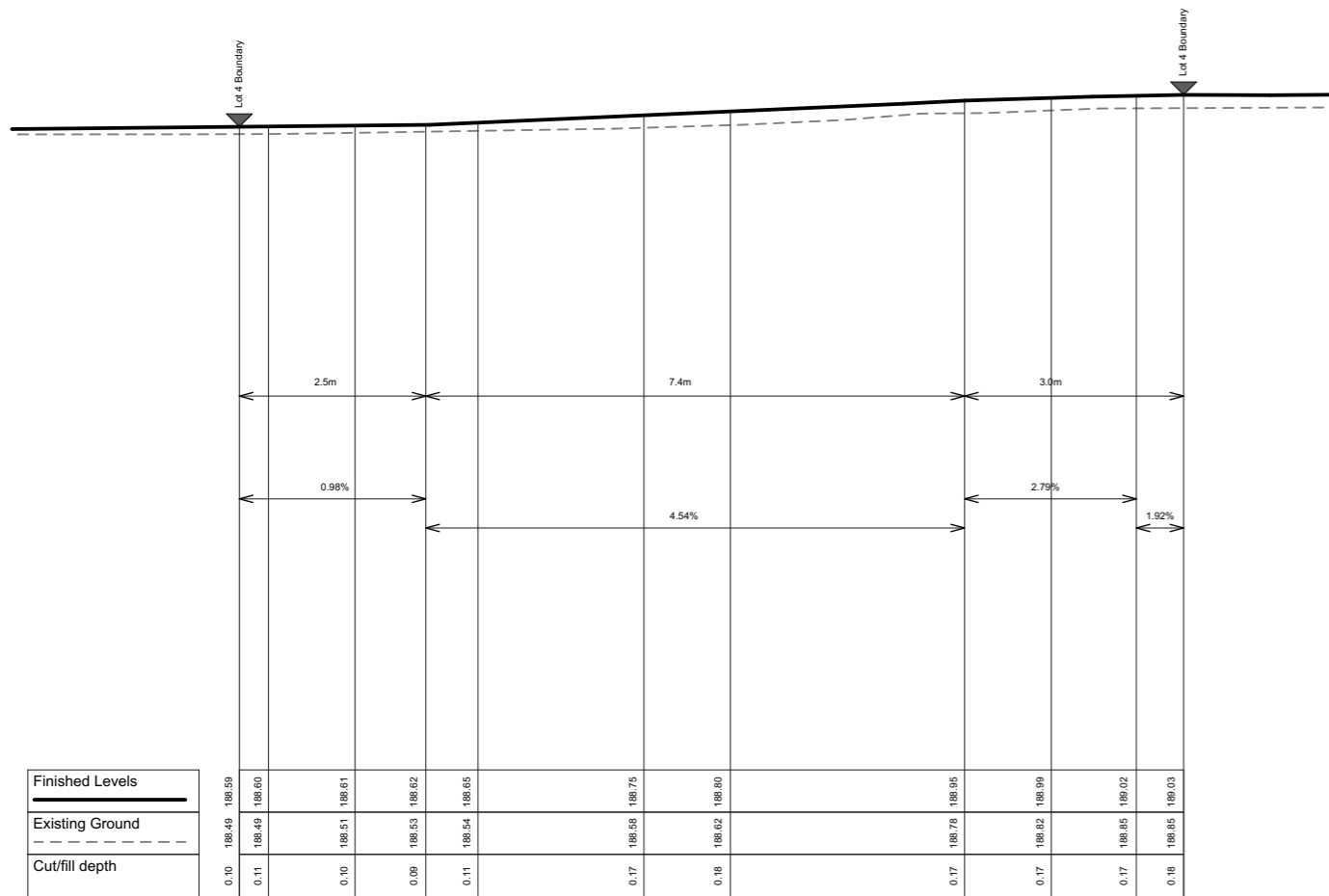
Longitudinal Section - ROW A

1:100

Rev	Date	Notes
01	10/9/21	6 Bisset Development

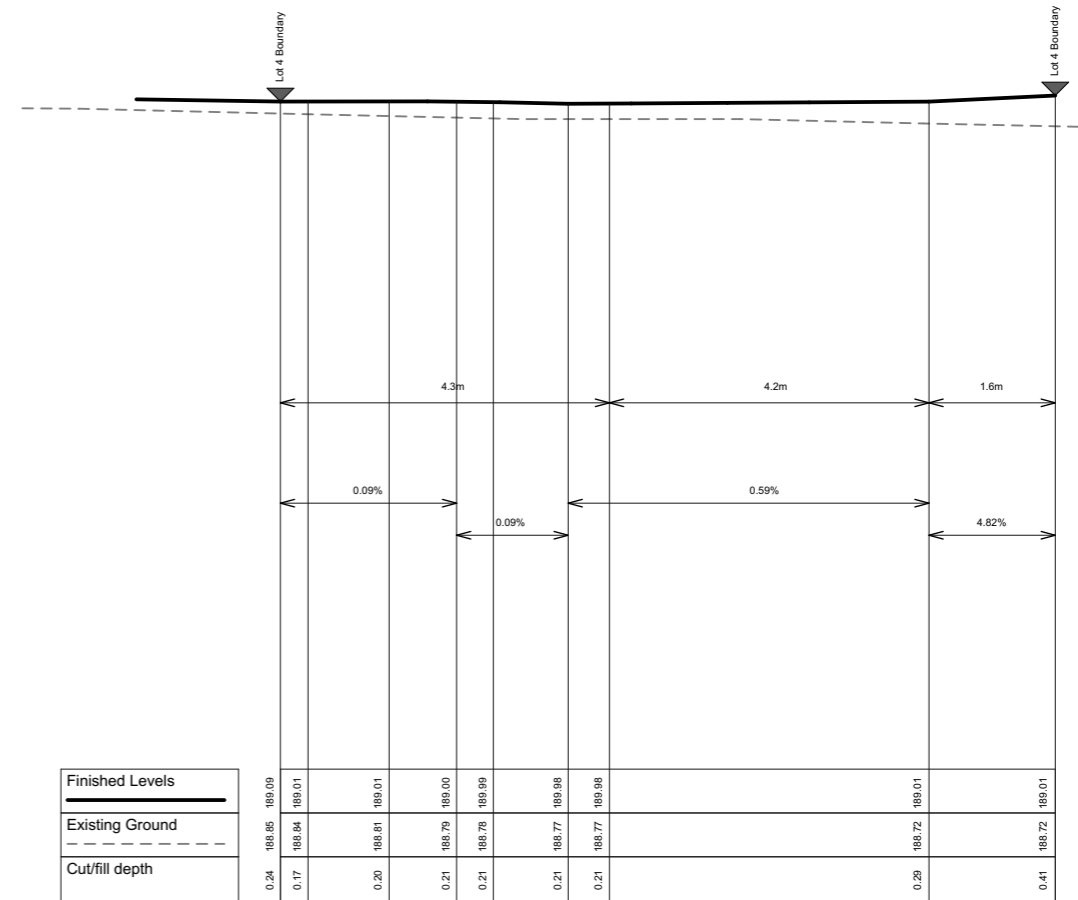
CLIENT: Esнем Properties Ltd	PROJECT DESCRIPTION: 6 Bisset Road Development
LOCATION: 6 Bisset Road, Kaikohe, Northland	SHEET TITLE: Section A

APPROVED BY:	ORIGINAL: A3	SCALE: 1:100
FILE: 22-0230	SHEET: ED03	



B Longitudinal Section - ROW B

1:100



C Longitudinal Section - ROW C

1:100

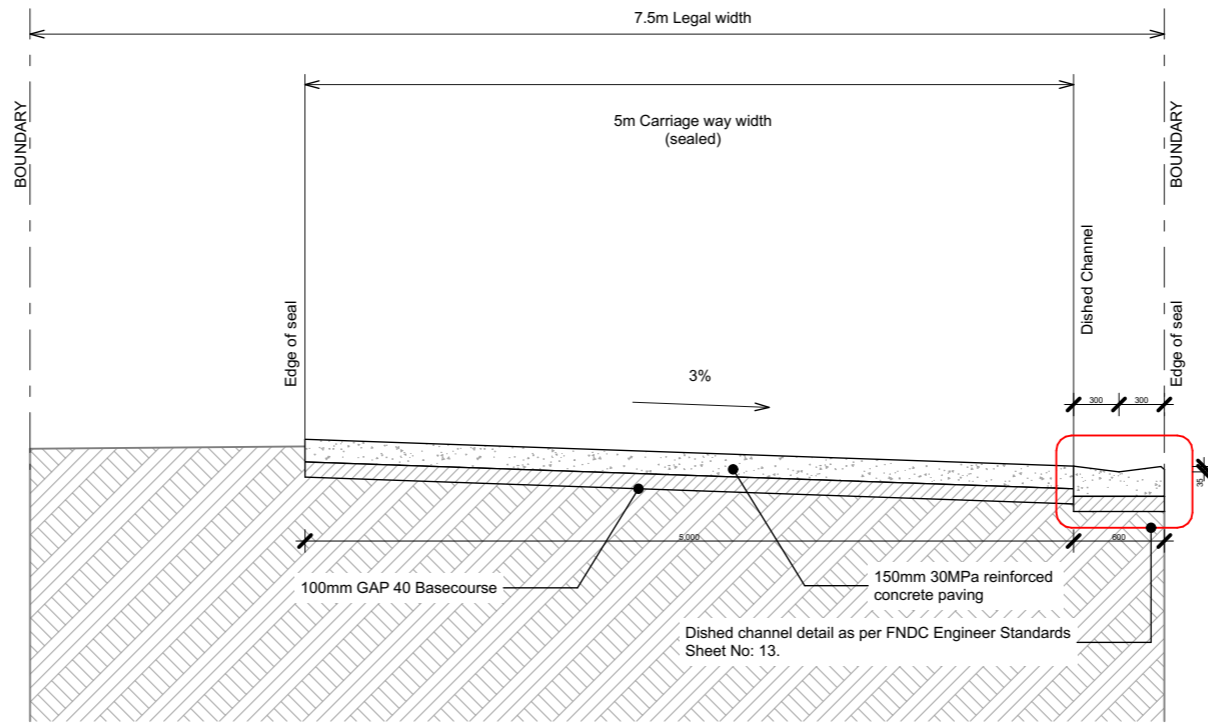
Rev	Date	Notes
01	10/9/21	6 Bisset Development

CLIENT: Esnem Properties Ltd	PROJECT DESCRIPTION: 6 Bisset Road Development
LOCATION: 6 Bisset Road, Kaikohe, Northland	SHEET TITLE: Section B & C

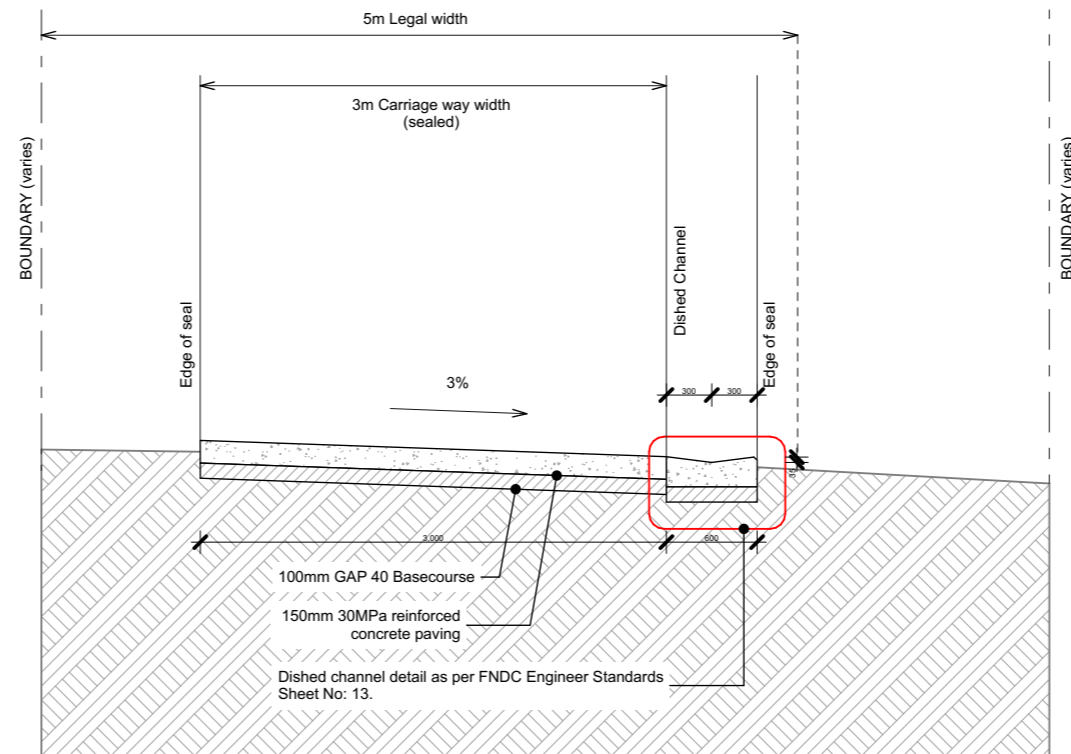
APPROVED BY:	ORIGINAL: A3	SCALE: 1:100
FILE: 22-0230	SHEET: ED04	

Important Note:
 This drawing and design remains the property of, and may not be reproduced or amended without the written permission of CORE Engineering Solutions Limited. No liability shall be accepted for the unauthorised use of this drawings or design.

- PRIVATE ROAD:**
1. Hardfill is to be placed where pipelines cross or where lines cross carriageways
 2. Urban Cross sections to comply with FNDC Engineer Standards (sheet 18, dated Jan 2021)
 3. Private road kerb detail as per FNDC Engineer Standards (sheet 13, dated Jan 2021).
 4. Private Road cross section to comply with FNDC Engineer Standards.
 5. Concrete shall be 30.0 MPa through crossings
 6. Expansion joints shall be made at 3.5m intervals or closer as need arises
 7. The Engineer must view the subgrade prior to the application of the bedding material.
 8. The boxing for the private road is to be inspected prior to the pouring of the concrete. Contact the Engineer on 09 553 3660, at least 48 hours prior to inspection.



D Cross Section - ROW A 1:50

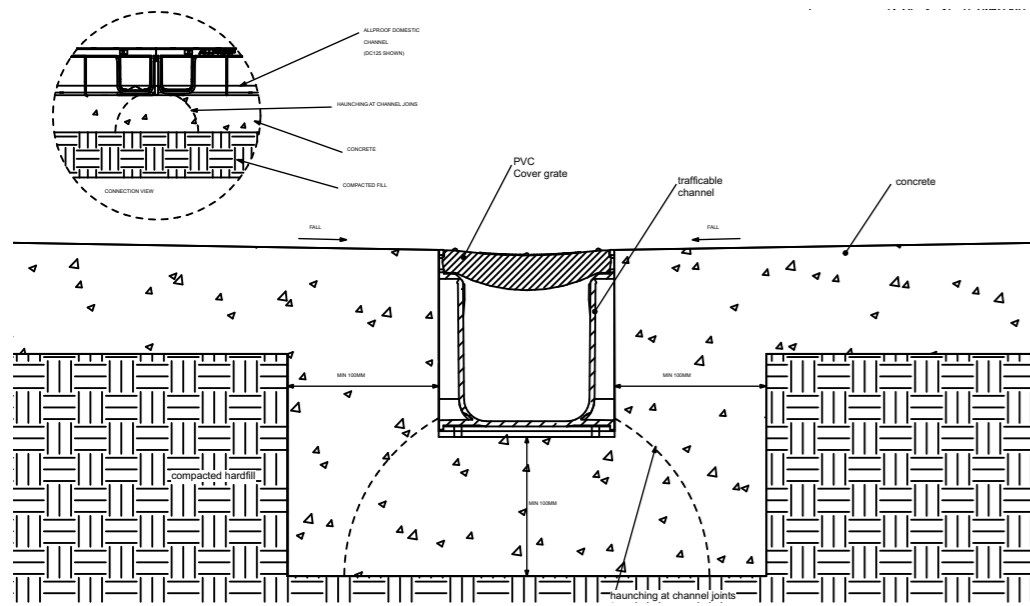


E Cross Section - ROW B & C 1:50

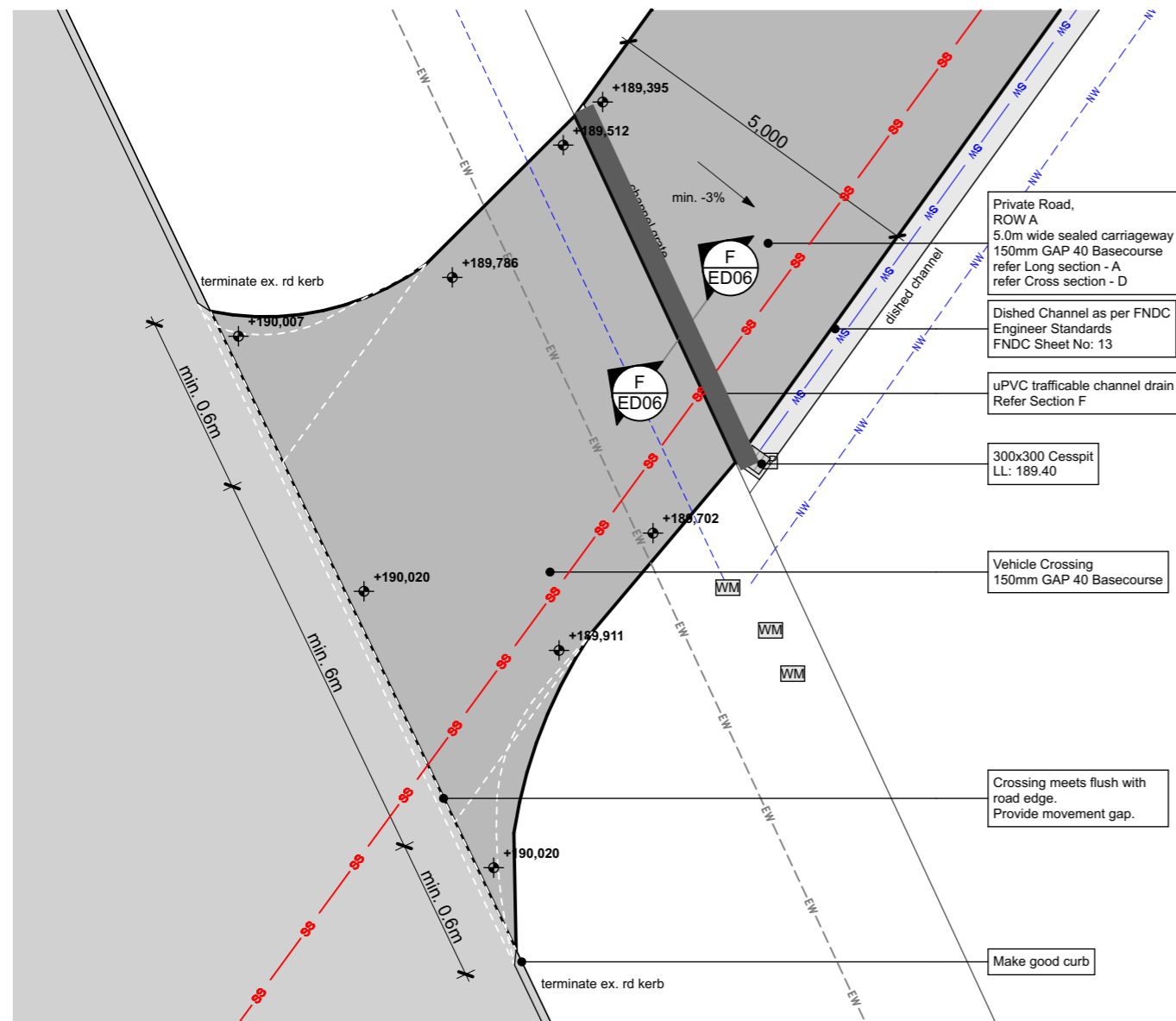
Rev	Date	Notes
01	10/9/21	6 Bisset Development

CLIENT: Esнем Properties Ltd	PROJECT DESCRIPTION: 6 Bisset Road Development
LOCATION: 6 Bisset Road, Kaikohe, Northland	SHEET TITLE: Section D & E

APPROVED BY:	SCALE: 1:100
ORIGINAL: A3	SHEET: ED05
FILE: 22-0230	



F Typical Channel Drain Section 1:5



Vehicle Crossing Plan 1:100

- PRIVATE ROAD:**
1. Hardfill is to be placed where pipelines cross or where lines cross carriageways
 2. Urban Cross sections to comply with FNDC Engineer Standards (sheet 18, dated Jan 2021)
 3. Private road kerb detail as per FNDC Engineer Standards (sheet 13, dated Jan 2021).
 4. Private Road cross section to comply with FNDC Engineer Standards.
 5. Concrete shall be 30.0 MPa through crossings
 6. Expansion joints shall be made at 3.5m intervals or closer as need arises
 7. The Engineer must view the subgrade prior to the application of the bedding material.
 8. The boxing for the private road is to be inspected prior to the pouring of the concrete. Contact the Engineer on 09 553 3660, at least 48 hours prior to inspection.

Important Note:
This drawing and design remains the property of, and may not be reproduced or amended without the written permission of CORE Engineering Solutions Limited. No liability shall be accepted for the unauthorised use of this drawings or design.

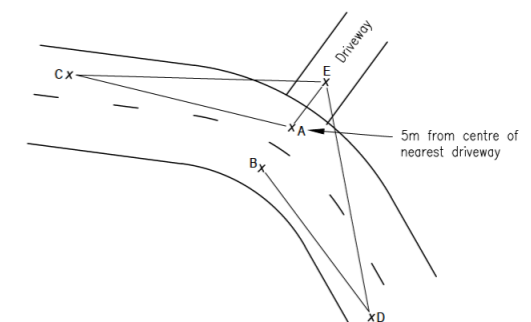
Sheet 4 Traffic Sightlines for Vehicle Entrances

MINIMUM SIGHT DISTANCE FROM VEHICLE ENTRANCES (m)

Posted Speed Limit (km/hr)	Frontage Transport Corridor Classification		
	Access (incl. Low Volume)	Primary & Secondary Collector	Arterial & Regional
40	45	50	90
50	60	70	120
60	85	90	150
70	105	120	185
80	135	145	220
90	160	175	265
100	195	210	305

- Notes:
1. The sight distances are based on Austroads Guide to Road Design, Part 4A: Unsignalised and Signalised Intersections (Equation 1 and 2).
 2. Where there is an accepted speed survey, the operating speed and relevant equation may be used to calculate the minimum sight distance.
 3. Access transport corridor sight distances are calculated based upon Approach Sight Distance (ASD) with Reaction (Rt) time of 1.5 seconds.
 4. Collector transport corridor sight distances are calculated based upon ASD with Rt of 2 seconds.
 5. Arterial and Regional transport corridor sight distances are calculated based upon Safe Intersection Sight Distance (SISD) with Rt of 2 seconds.
 6. Grade is based on 0%. Austroads provides adjustment factors for grades.

SIGHT DISTANCE MEASUREMENT



- Note:
1. Derived from the New Zealand Transport Agency, "Road and Transport Standards: Guidelines for Visibility at Driveways."

There should be lines of clear sight from the driver's eye height (1.15m above ground level) along the lines detailed below.	
Lines AC and BD	All vehicle crossings on all transport corridors
Lines EC and ED (no permanent obstructions, exclude parked vehicles which might obstruct these sight lines occasionally).	All vehicle crossings on arterial, collector and access transport corridors.
Lines EC and ED (no obstructions, parked vehicles not excluded).	All vehicle crossings on regional transport corridors.

Points C and D are established by measuring the sight distance from the above Table along the centre of the appropriate lane from points A and B. For practical purposes A and B can be taken as opposite the centre of the driveway.

TRAFFIC SIGHT LINES FOR VEHICLE ENTRANCES

Date:	JAN 2021
Revision:	0.1
Scale:	AS SHOWN
SHEET No.	4

FAR NORTH DISTRICT COUNCIL
ENGINEERING STANDARDS

01	10/9/21	6 Bisset Development
Rev	Date	Notes

CLIENT:
Esнем Properties Ltd

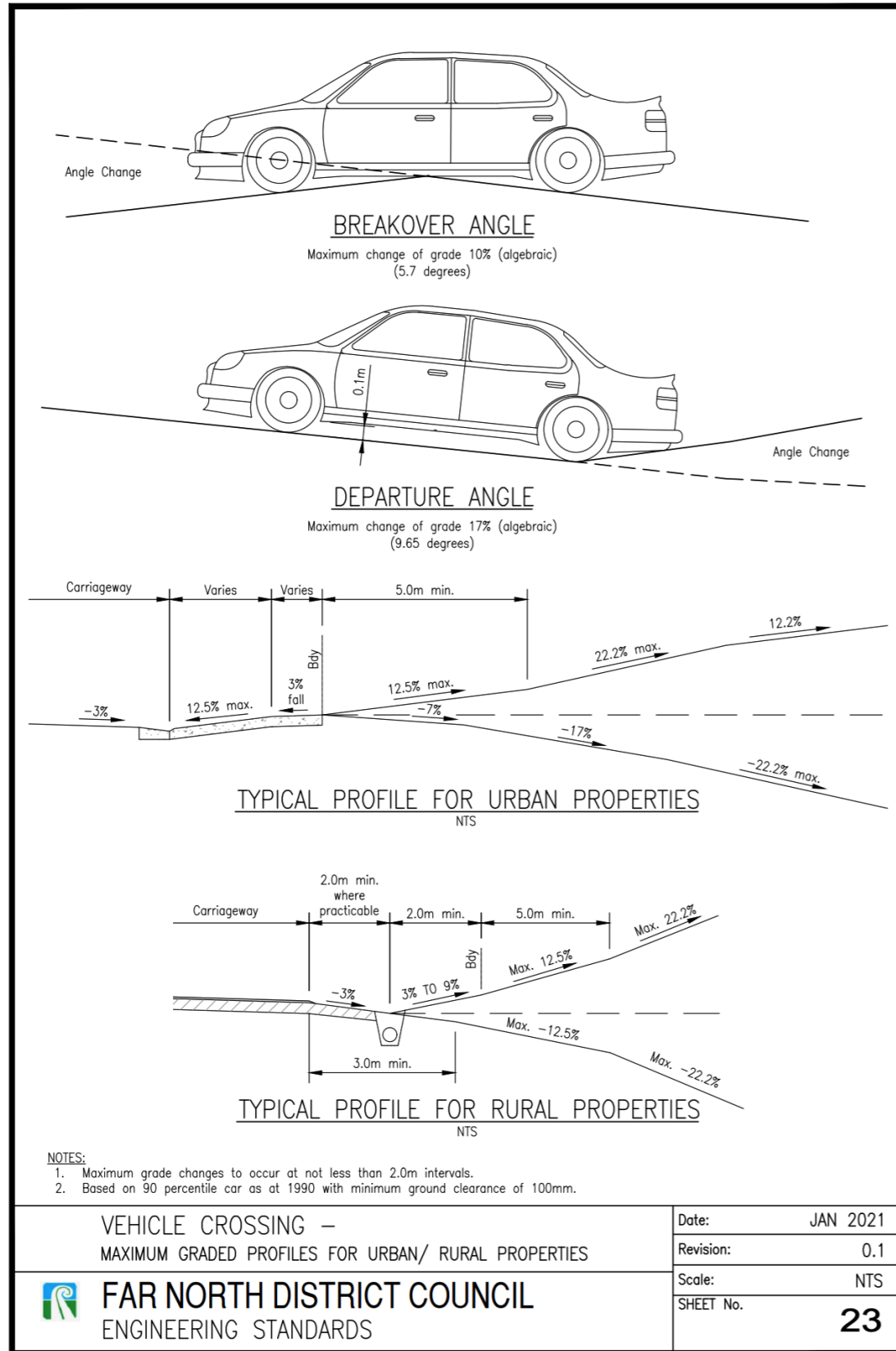
LOCATION:
6 Bisset Road, Kaikohe, Northland

PROJECT DESCRIPTION:
6 Bisset Road Development

SHEET TITLE:
Vehicle Crossing

APPROVED BY:	
ORIGINAL:	A3
SCALE:	1:100
FILE:	22-0230
SHEET:	ED06

Sheet 23 Vehicle Crossing - Maximum Graded Profiles for Urban/ Rural Properties



Sheet 22 Vehicle Crossing Notes

- RESIDENTIAL, COMMERCIAL AND INDUSTRIAL CROSSINGS**
- All concrete to be 30 MPa strength at 28 days.
 - Crossings to be constructed to match existing footpath and channel levels and be graded to give sufficient clearance to the underside of all vehicles.
 - The alternative channel crossing detailed on Sheet 20 may only be used with specific approval. It is for use only where thick overlay of existing seal precludes the standard option.
 - If no footpath, allowance shall be made for such with a 3% crossfall to the kerb.
 - Kerb transitions to be constructed of similar materials to the adjacent kerb or cast insitu concrete. See Sheet 12 for details.
 - Where the footpath or adjacent property level is below the channel level, ramp the crossing up from the channel to control surface water while maintaining vehicle clearance. A freeboard of 200mm above the channel is required to contain stormwater within the road.
 - Gradient of crossing not to exceed 12.5% (1 in 8)
 - Crossings for all private accessways shall be commercial grade to Sheet 19.
 - Edges of footpath and back of channel to be saw cut.
 - All crossings require council inspection prior to pouring concrete.
 - If the edge of the crossing is within 1m of a crack or joint in an existing footpath then that section of footpath shall be replaced.
 - Commercial and industrial channels to be reinforced with an extension of the 668 mesh.
 - Where a street sump is located within the proposed crossing, the sump shall be relocated to the side of the crossing and reconnected to the council storm water system.
 - Refer to Sheet 16 for vehicle crossing over a drainage swale.
 - Stormwater kerb connections generally not permitted. (See Section 4.3.17.2).
 - Splay width may need to be increased in some circumstances to accommodate an 11.5m rigid truck.
- RURAL CROSSINGS**
- Pipes are to be RCRRJ Class "4".
 - Pipes are to be adequate for the upstream catchment, but not less than 300mm dia or the downstream culvert and shall be constructed to the correct line and level to maintain drainage paths.
 - Provide traversable culvert safety ends. See Section 1.2.27.4
 - Gateways shall be located to allow vehicle parking clear of the road shoulder.
 - Minimum sight distance requirements for entrance crossings are to comply with Sheet 4.
 - All crossings adjoining sealed public roads are to be sealed or concrete, to the property boundary or 10m (whichever is greater).
 - Concrete crossings shall start at least 0.5m outside of the existing edge of seal or 0.5m outside of the carriageway width required by the standard whichever is the further.
 - Concrete entrance crossings are to be 125mm of 30MPa concrete for light vehicle access. Heavy vehicle crossings shall be 150mm thick of 30MPa concrete reinforced with 665 mesh unless specifically designed.
 - Unsealed crossings shall comprise not less than 125mm GAP 65 and 75mm GAP40 or 200mm GAP 40 (compacted depths).
 - For application of Type 2 crossing refer to Section 1.2.27.4.
 - Where local widening is required (Types 2 and 3) the tapers shall be sealed.
- | | | |
|-----------------------------------------------------------------------------------|--|---------------------|
| VEHICLE CROSSING NOTES
(FOR RESIDENTIAL, COMMERCIAL, INDUSTRIAL AND RURAL USE) | | Date: JAN 2021 |
| | | Revision: 0.1 |
| FAR NORTH DISTRICT COUNCIL
ENGINEERING STANDARDS | | Scale: AS SHOWN |
| | | SHEET No. 22 |

01	10/9/21	6 Bisset Development
Rev	Date	Notes

CLIENT: Esnem Properties Ltd
LOCATION: 6 Bisset Road, Kaikohe, Northland

PROJECT DESCRIPTION: 6 Bisset Road Development
SHEET TITLE: Engineering Standards - Vehicle Crossing 01

APPROVED BY:
ORIGINAL: A3
SCALE:
FILE: 22-0230
SHEET: ED07

NOTES:

The standards are minimum and may need to be increased to cope with services, topographical and drainage problems, or similar.

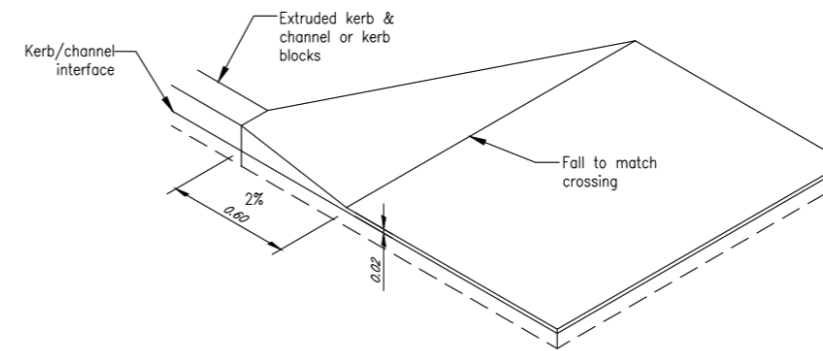
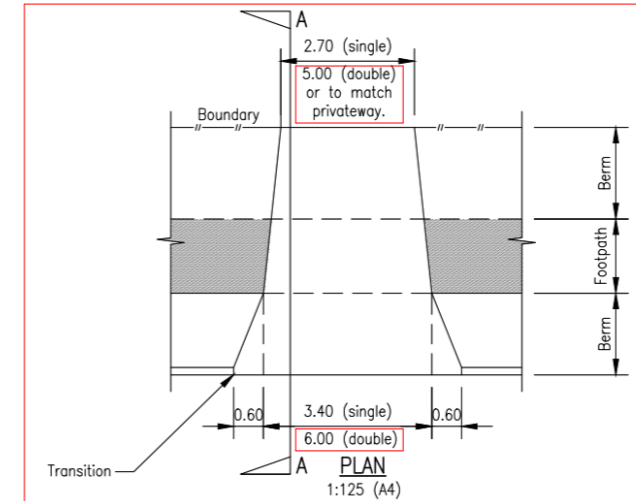
- Access longitudinal gradients shall not be steeper than 1:4.5 (22.2%) unless specifically approved. the first 5m within the property shall not exceed 1:8 (12.5%).
- Pavements shall be 30 MPa concrete 125mm thick with 665 mesh (or as approved) with construction joints @ 3.5m centres on 100mm compacted basecourse.

OR, Where the subgrade CBR is not less than 7 the sub-base shall be 150mm of GAP 65 with 100mm of selected blue GAP 40 basecourse with either a chip seal, or a minimum of 30mm of asphaltic concrete over a waterproofing seal coat.

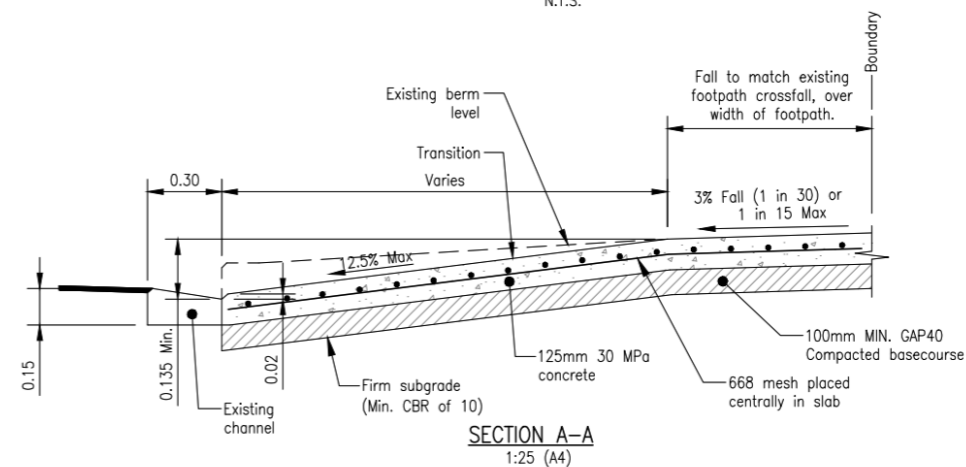
OR, specifically designed by a council approved SQEP, and in particular where the subgrade CBR is less than 7.
- If kerb blocks are used, concrete channels shall also be provided for gradients steeper than 1:12.5 (8%).
- The alternative channel may only be used with specific approval and must be slipformed. It shall not be used in business environments.
- Privateways with a carriageway less the 4.5m shall have passing bays at no more than 50m spacing, subject to adequate visibility, or as approved.
- Gated privateways shall ensure that vehicles are not required to park on the road affecting through traffic.
- Sealed surfaces may be grade 4 chip with a grade 6 dry locking coat chip rolled in within 5 hours of the application of the grade 4 chip, OR, as approved.
- The Clegg Impact Value prior to sealing shall be not less than 40 tested at 10m intervals.
- Concrete vehicle crossings shall comply with Sheet 19 or as approved including drainage provisions as required.
- Privateways containing public watermains, sewers, or cables, must be of adequate width for separation of services to comply with Table 4.10, or as approved.
- Stormwater pipes and associated installation are to comply with relevant NZ standards and the manufacturer,s requirements, be suitable for the catchment, and not less than 200mm diameter.
- Sump grates shall be not less than 300mm x 300mm, be suitable for catchment, and vehicle loading.
- Where an access falls towards a road, a sump is to be installed at the property boundary discharging to an approved outfall. Runoff is not to be concentrated so as to pond, flood, or cause erosion on any adjacent property, or affect pedestrian use of footpaths.
- Cut and fill batters are to be contained within the legal access, unless otherwise approved.
- Adequate turning & parking areas for fire appliances and service vehicles shall be provided in the vicinity of fire hydrant and sewer pump stations located within or adjacent to a privateway.

URBAN PRIVATEWAY DETAILS
FAR NORTH DISTRICT COUNCIL
ENGINEERING STANDARDS

Date:	FEB 2022
Revision:	0.2
Scale:	AS SHOWN
SHEET No.	8



DETAIL OF KERB TRANSITION AT CROSSING
N.T.S.



For further notes refer to Sheet 22

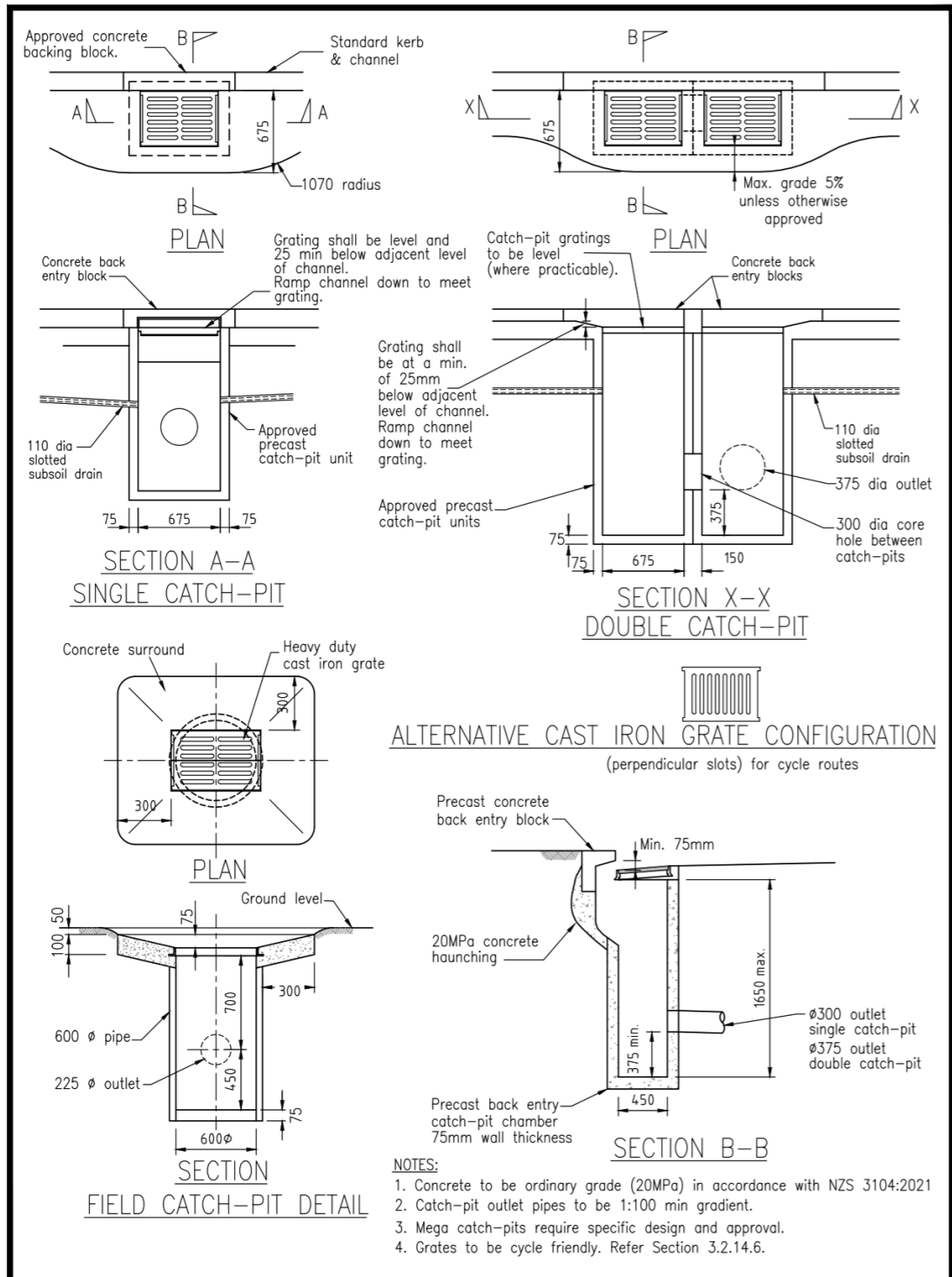
VEHICLE CROSSING - RESIDENTIAL
FAR NORTH DISTRICT COUNCIL
ENGINEERING STANDARDS

Date:	JAN 2021
Revision:	0.1
Scale:	AS SHOWN
SHEET No.	18

01	10/9/21	6 Bisset Development
Rev	Date	Notes

CLIENT: Esnem Properties Ltd	PROJECT DESCRIPTION: 6 Bisset Road Development
LOCATION: 6 Bisset Road, Kaikohe, Northland	SHEET TITLE: Engineering Standards - Vehicle Crossing 02

APPROVED BY:	ORIGINAL: A3	SCALE:
FILE: 22-0230	SHEET: ED08	

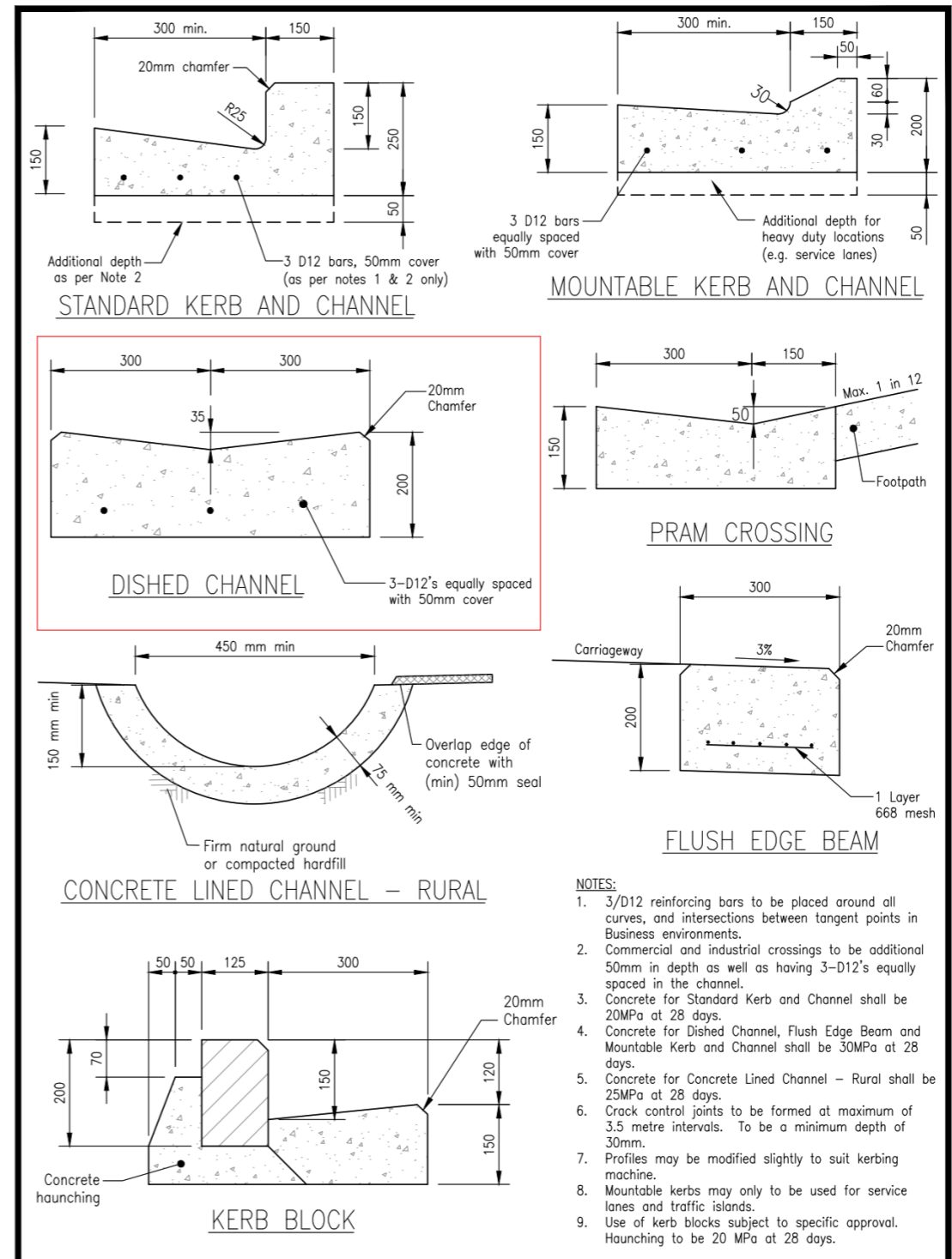


CATCH-PIT DETAILS FOR ENVIRONMENTS LIVING 1 AND 2, AND BUSINESS 1-5



FAR NORTH DISTRICT COUNCIL
 ENGINEERING STANDARDS

Date:	FEB 2022
Revision:	0.2
Scale:	AS SHOWN
SHEET No.	34



KERB & CHANNEL DETAILS FOR ALL ENVIRONMENTS



FAR NORTH DISTRICT COUNCIL
 ENGINEERING STANDARDS

Date:	JAN 2021
Revision:	0.1
Scale:	NTS
SHEET No.	13

Rev	Date	Notes
01	10/9/21	6 Bisset Development

CLIENT:	Esnem Properties Ltd
LOCATION:	6 Bisset Road, Kaikohe, Northland

PROJECT DESCRIPTION:	6 Bisset Road Development
SHEET TITLE:	Engineering Standards - Kerb/channel & Cesspit

APPROVED BY:	
ORIGINAL:	A3
SCALE:	
FILE:	22-0230
SHEET:	ED09

Important Note:
 This drawing and design remains the property of, and may not be reproduced or amended without the written permission of CORE Engineering Solutions Limited. No liability shall be accepted for the unauthorised use of this drawings or design.

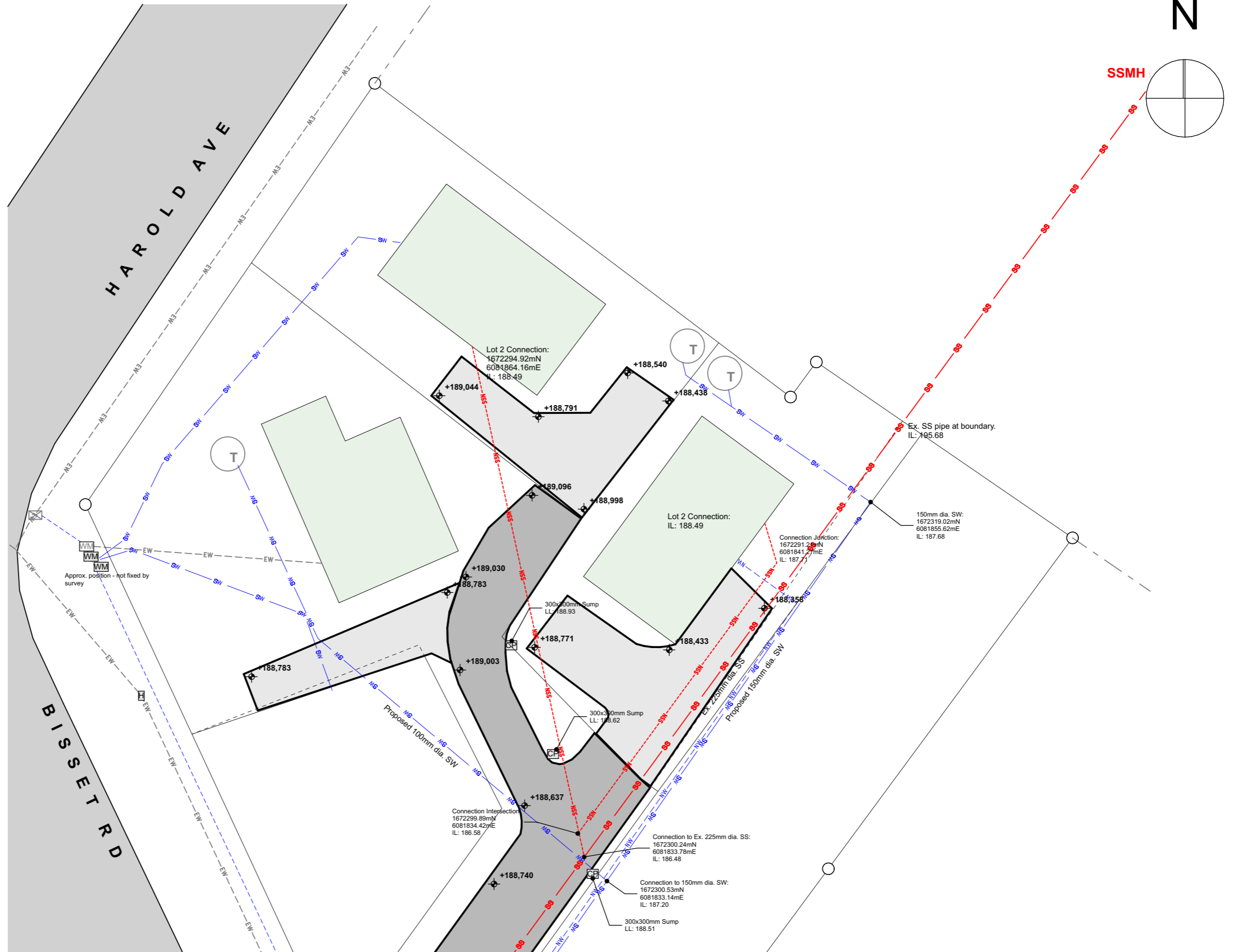
Legend:

- 10,000L detention tanks (T)
- 225mm Existing SS line — SS — SS
- 100mm Proposed SS line - - - NSS - - -
- 150mm Proposed SW line — SW — SW —
- Existing water supply - - - EW - - -
- New water supply - - - NSW - - -
- Water supply rider main extension - - - - -
- Proposed SW Cesspit CP
- Existing water meter WM
- Proposed water meter WM
- Existing hydrant H
- Ex. water supply valve ⊗

- PRIVATE ROAD:**
1. Hardfill is to be placed where pipelines cross or where lines cross carriageways
 2. Urban Cross sections to comply with FNDC Engineer Standards (sheet 18, dated Jan 2021)
 3. Private road kerb detail as per FNDC Engineer Standards (sheet 13, dated Jan 2021).
 4. Private Road cross section to comply with FNDC Engineer Standards.
 5. Concrete shall be 30.0 MPa through crossings
 6. Expansion joints shall be made at 3.5m intervals or closer as need arises
 7. The Engineer must view the subgrade prior to the application of the bedding material.
 8. The boxing for the private road is to be inspected prior to the pouring of the concrete. Contact the Engineer on 09 553 3660, at least 48 hours prior to inspection.

- VEHICLE CROSSING:**
1. Minimum crossing dimensions as per FNDC Engineer Standards - Hardfill is to be placed where pipelines cross or where lines cross carriageways.

- WATER SUPPLY:**
1. Hardfill is to be placed where pipelines cross or where lines cross carriageways
 2. Urban Cross sections to comply with FNDC Engineer Standards (sheet 18, dated Jan 2021)
 3. Private road kerb detail as per FNDC Engineer Standards (sheet 13, dated Jan 2021).
 4. Private Road cross section to comply with FNDC Engineer Standards.
 5. Concrete shall be 30.0 MPa through crossings
 6. Expansion joints shall be made at 3.5m intervals or closer as need arises
 7. The Engineer must view the subgrade prior to the application of the bedding material.
 8. The boxing for the private road is to be inspected prior to the pouring of the concrete. Contact the Engineer on 09 553 3660, at least 48 hours prior to inspection.



01	10/9/21	6 Bisset Development
Rev	Date	Notes

CLIENT: Esнем Properties Ltd
LOCATION: 6 Bisset Road, Kaikohe, Northland

PROJECT DESCRIPTION: 6 Bisset Road Development
SHEET TITLE: Service Layout 01

APPROVED BY:	SCALE: 1:100
ORIGINAL: A3	SHEET: ED010
FILE: 22-0230	

Important Note:
 This drawing and design remains the property of, and may not be reproduced or amended without the written permission of CORE Engineering Solutions Limited. No liability shall be accepted for the unauthorised use of this drawings or design.

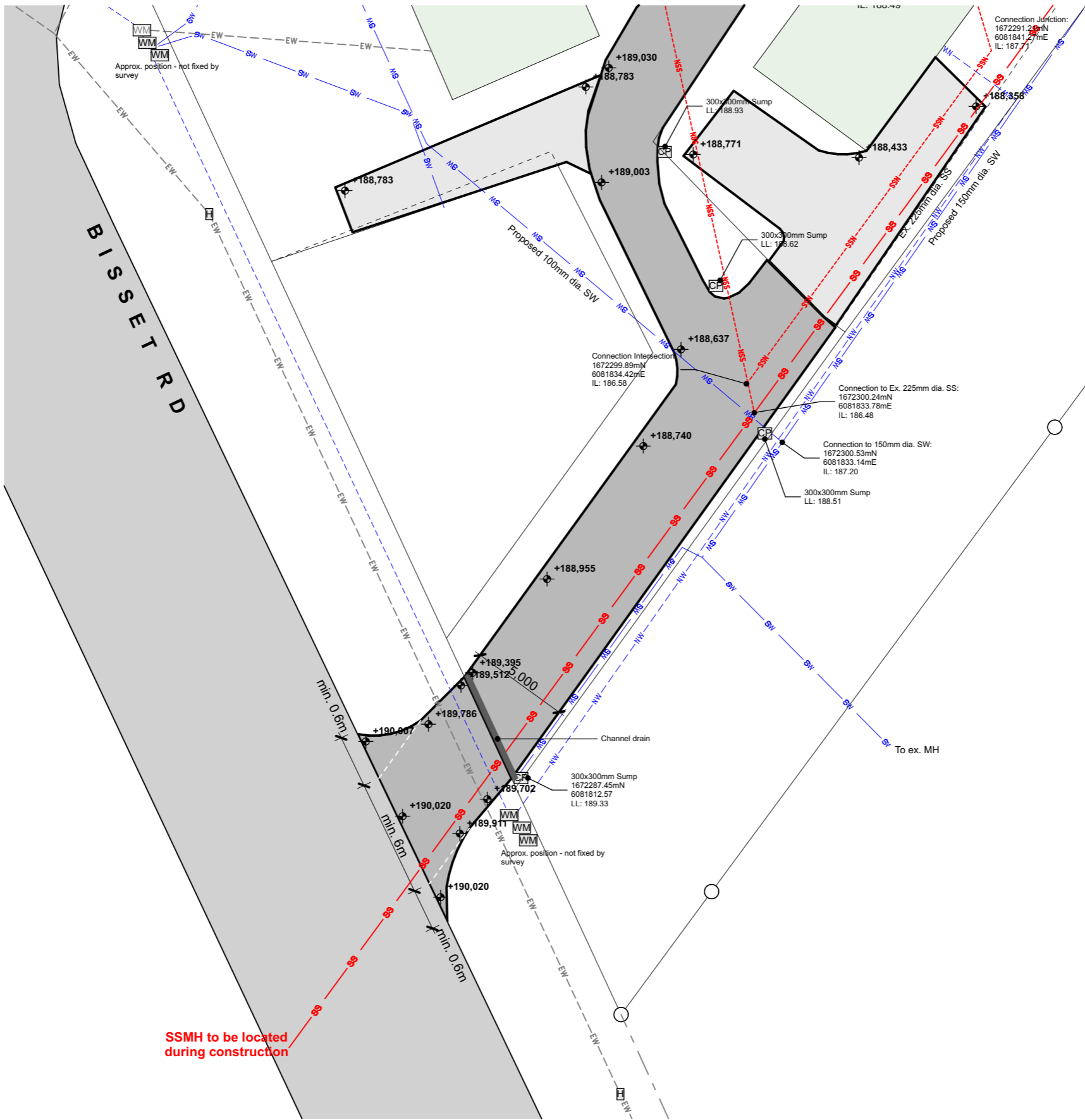
Legend:

- 10,000L detention tanks (T)
- 225mm Existing SS line — SS —
- 100mm Proposed SS line - - - NSS - - -
- 150mm Proposed SW line — SW —
- Existing water supply - - - EW - - -
- New water supply - - - NSW - - -
- Water supply rider main extension - - - - -
- Proposed SW Cesspit CP
- Existing water meter WM
- Proposed water meter WM
- Existing hydrant H
- Ex. water supply valve ⊠

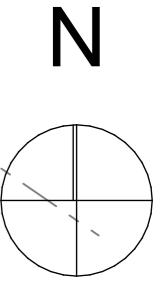
- PRIVATE ROAD:**
1. Hardfill is to be placed where pipelines cross or where lines cross carriageways
 2. Urban Cross sections to comply with FNDC Engineer Standards (sheet 18, dated Jan 2021)
 3. Private road kerb detail as per FNDC Engineer Standards (sheet 13, dated Jan 2021).
 4. Private Road cross section to comply with FNDC Engineer Standards.
 5. Concrete shall be 30.0 MPa through crossings
 6. Expansion joints shall be made at 3.5m intervals or closer as need arises
 7. The Engineer must view the subgrade prior to the application of the bedding material.
 8. The boxing for the private road is to be inspected prior to the pouring of the concrete. Contact the Engineer on 09 553 3660, at least 48 hours prior to inspection.

- VEHICLE CROSSING:**
1. Minimum crossing dimensions as per FNDC Engineer Standards - Hardfill is to be placed where pipelines cross or where lines cross carriageways.

- WATER SUPPLY:**
1. Hardfill is to be placed where pipelines cross or where lines cross carriageways
 2. Urban Cross sections to comply with FNDC Engineer Standards (sheet 18, dated Jan 2021)
 3. Private road kerb detail as per FNDC Engineer Standards (sheet 13, dated Jan 2021).
 4. Private Road cross section to comply with FNDC Engineer Standards.
 5. Concrete shall be 30.0 MPa through crossings
 6. Expansion joints shall be made at 3.5m intervals or closer as need arises
 7. The Engineer must view the subgrade prior to the application of the bedding material.
 8. The boxing for the private road is to be inspected prior to the pouring of the concrete. Contact the Engineer on 09 553 3660, at least 48 hours prior to inspection.



6081855.62mE
 IL: 187.68

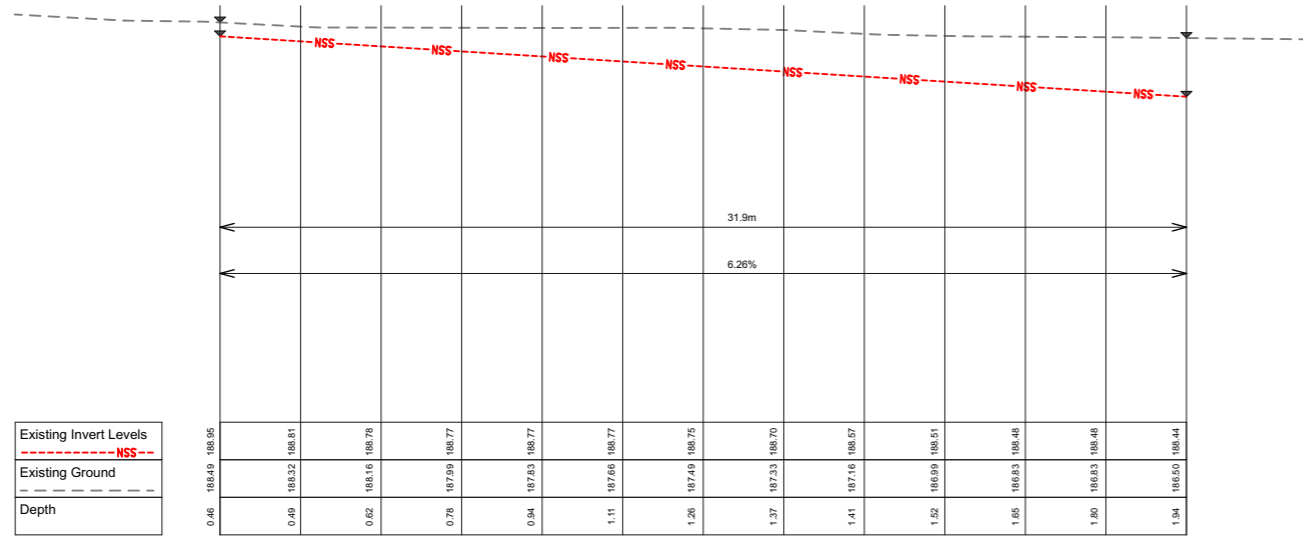


01	10/9/21	6 Bisset Development
Rev	Date	Notes

CLIENT: Esнем Properties Ltd
LOCATION: 6 Bisset Road, Kaikohe, Northland

PROJECT DESCRIPTION: 6 Bisset Road Development
SHEET TITLE: Service Layout 02

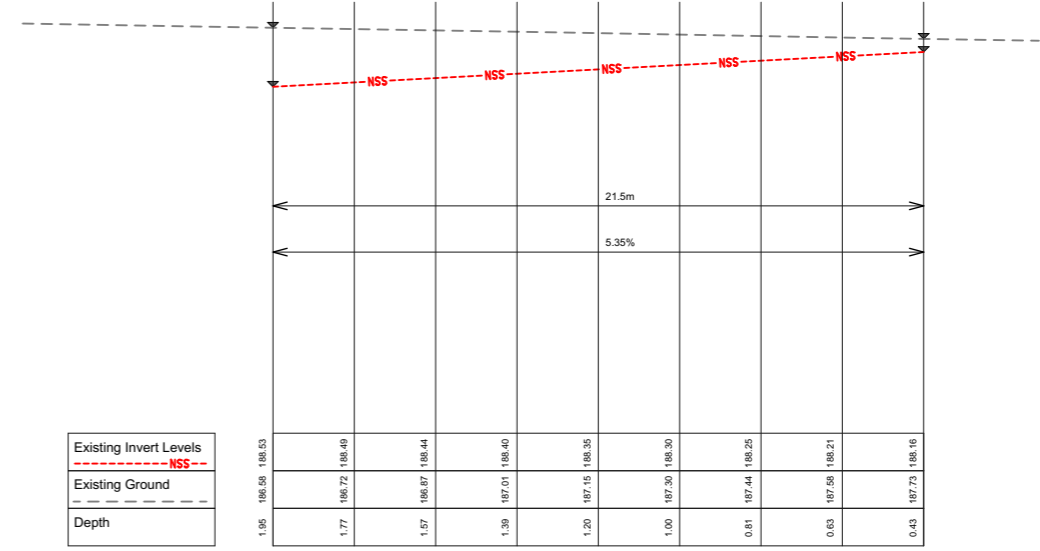
APPROVED BY:	SCALE: 1:100
ORIGINAL: A3	SHEET: ED011
FILE: 22-0230	



SS

01

1:250



SS

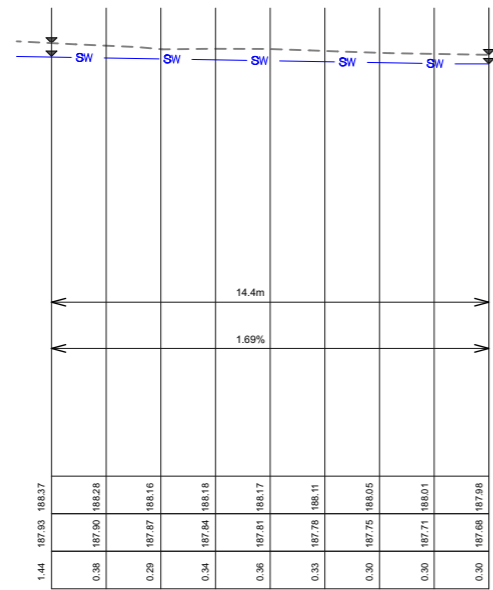
02

1:250

Rev	Date	Notes
01	10/9/21	6 Bisset Development

CLIENT: Esnem Properties Ltd	PROJECT DESCRIPTION: 6 Bisset Road Development
LOCATION: 6 Bisset Road, Kaikohe, Northland	SHEET TITLE: SS01 & SS02 Long Sections

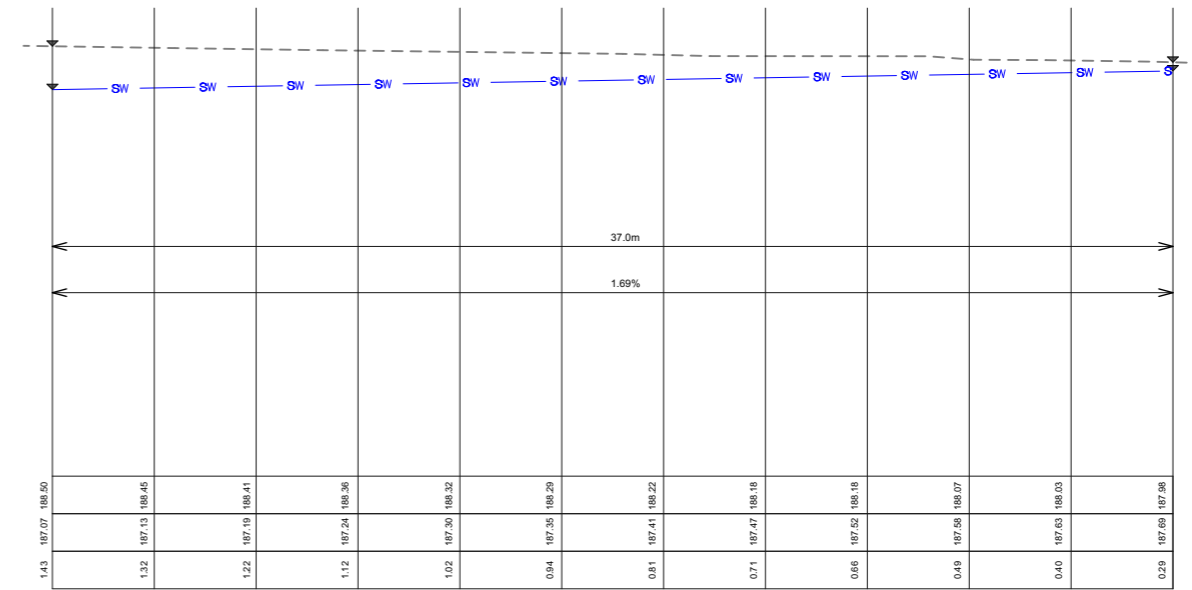
APPROVED BY:	SCALE: 1:250
ORIGINAL: A3	SHEET: ED012
FILE: 22-0230	



SW

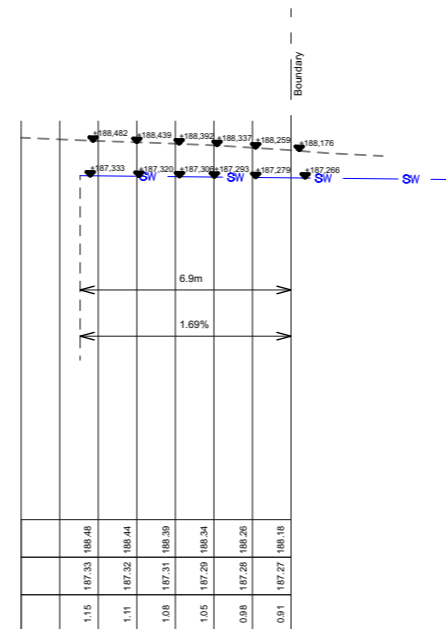
01

1:250



02

1:250



SW

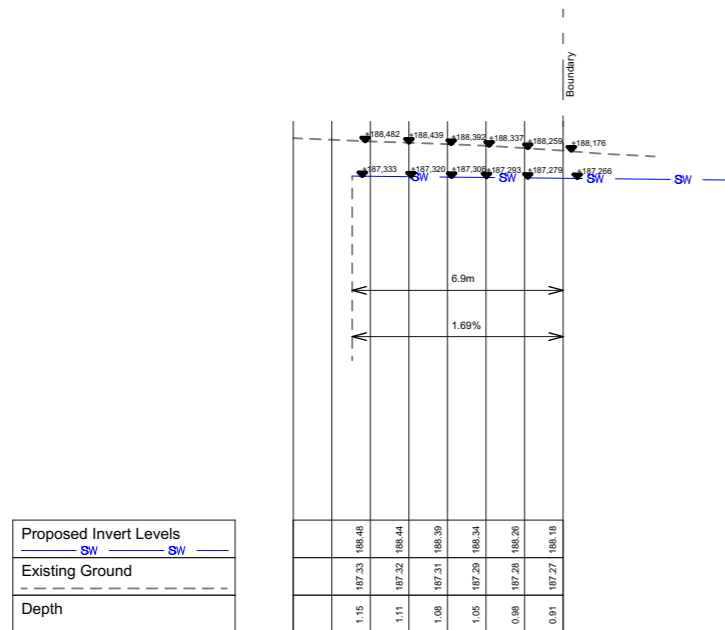
03

1:250

Rev	Date	Notes
01	10/9/21	6 Bisset Development

CLIENT: Esнем Properties Ltd	PROJECT DESCRIPTION: 6 Bisset Road Development
LOCATION: 6 Bisset Road, Kaikohe, Northland	SHEET TITLE: SW01, SW02 & SW03 Long Sections

APPROVED BY:	SCALE: 1:250
ORIGINAL: A3	SHEET: ED013
FILE: 22-0230	



SW

03

1:250

CONCRETE, DUCTILE IRON, STEEL OR VITRIFIED CLAY PIPE
(Where specifically approved)

PVC, PE & PP PIPE
(PVC & PP not approved for water supply)

ADDITIONAL BACKFILL REQUIREMENTS UNDER CARRIAGEWAYS
(All types of pipe)

W	TYPE OF PIPE
D + 600	Steel, DI
D + 450	Concrete
D + 450	Vitrified clay
D + 400	uPVC, PE & PP

Variations in W require additional design compensation.

PIPE BEDDING & BACKFILL
(FOR ALL ENVIRONMENTS)

FAR NORTH DISTRICT COUNCIL
ENGINEERING STANDARDS

Date: FEB 2022

Revision: 0.2

Scale: AS SHOWN

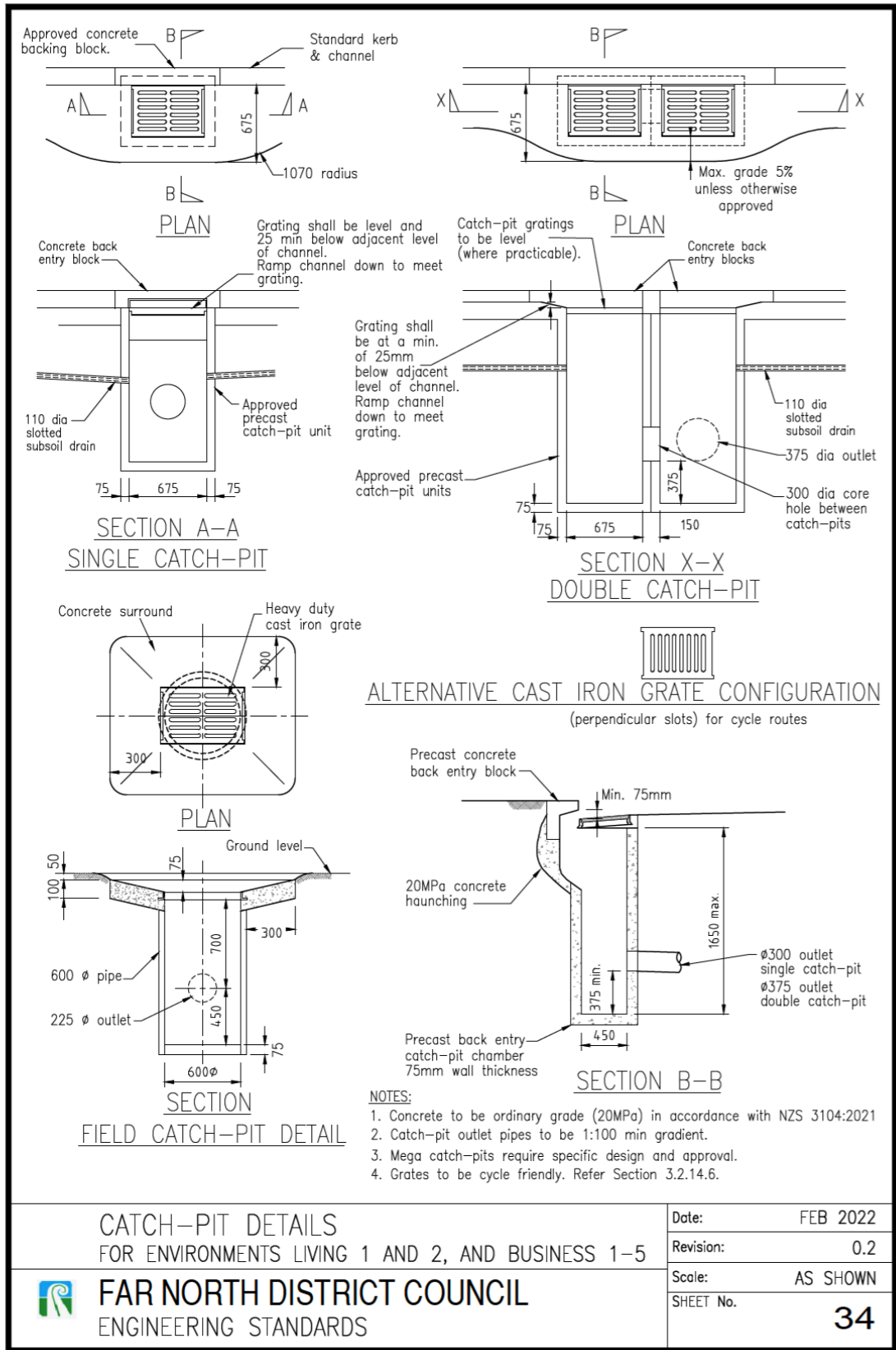
SHEET No. **31**

Rev	Date	Notes
01	10/9/21	6 Bisset Development

CLIENT: Esнем Properties Ltd	PROJECT DESCRIPTION: 6 Bisset Road Development
LOCATION: 6 Bisset Road, Kaikohe, Northland	SHEET TITLE: SW03 Long Section, FNDC Pipe Bedding

APPROVED BY:	ORIGINAL: A3	SCALE: 1:250
	FILE: 22-0230	SHEET: ED014

Sheet 34 Catch-Pit Details



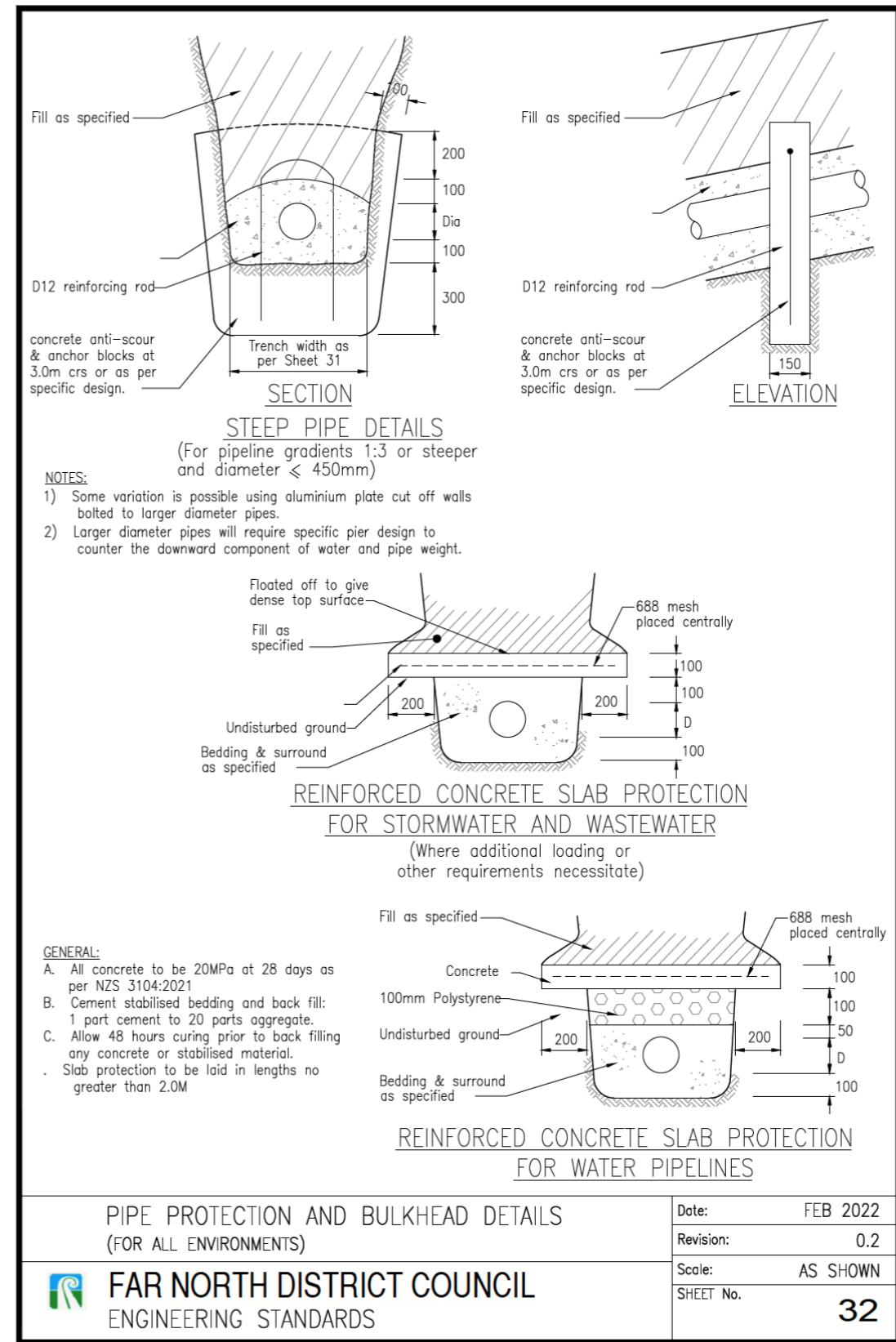
CATCH-PIT DETAILS
FOR ENVIRONMENTS LIVING 1 AND 2, AND BUSINESS 1-5



FAR NORTH DISTRICT COUNCIL
ENGINEERING STANDARDS

Date: FEB 2022
Revision: 0.2
Scale: AS SHOWN
SHEET No. **34**

Sheet 32 Pipe Protection and Bulkhead Details



PIPE PROTECTION AND BULKHEAD DETAILS
(FOR ALL ENVIRONMENTS)



FAR NORTH DISTRICT COUNCIL
ENGINEERING STANDARDS

Date: FEB 2022
Revision: 0.2
Scale: AS SHOWN
SHEET No. **32**



Consulting Engineers

T: 09 553 3660
jobs@coreeng.nz
Level 1, 31 Vine Street,
Whangarei 0110

ENGINEERING SOLUTIONS
Structural | Geotechnical | Civil

Rev	Date	Notes
01	10/9/21	6 Bisset Development

CLIENT: Esnem Properties Ltd	PROJECT DESCRIPTION: 6 Bisset Road Development
LOCATION: 6 Bisset Road, Kaikohe, Northland	SHEET TITLE: Engineering Standards - Stormwater

APPROVED BY:	ORIGINAL: A3	SCALE:
FILE: 22-0230	SHEET: ED015	

Far North District Council
Pre- Application Meeting Minutes

Date: 22/11/24

Time: 10:00-10:30am

Location: Conference call

Attendance:

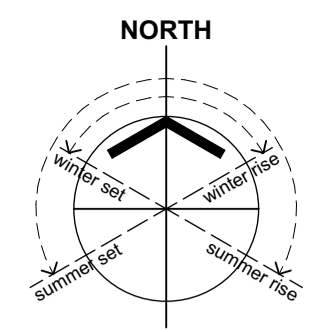
Far North District Council	Rinku Meshra Salamasina Brown Smitha Bhaskar
Esnem Properties Ltd	Shane Tregidga (ST)

Discussion Points

- This application looks to approve what was already approved (RC2300042, stamped 15/9/2020)
- Advice from the FNDC was given to apply for a RC Variation (adding a Lot back in to an previously approved Scheme).
- FNDC stated that no new relocatable housing rules have been created since the initial RC was approved (2020).
- FNDC confirmed that the Assessment of Environmental Effects must be updated to align with the latest planning criteria and regulations.
- FNDC confirmed an updated scheme plan will be required for the submission.
- FNDC confirmed to submit all previous Engineer approvals, 223 and 224c certificates. ST confirmed that no berm works will be required as Lot 5 already has services (completed in Stage 1 of subdivision. FNDC stated that engineer approvals will be required for services on newly created Lot 5.
- FNDC confirmed that we cannot build over "Easement I"

Sheet ID	Layout Name	Issue ID	Issued Date
RC01	Cover Sheet	G	25/05/22
RC02	Site: FNUP Compliance Schedule	D	11/09/20
RC03	Site Bulk & Location	D	11/09/20
RC04	Vehicle Tracking/Landscape Plan & Critical Point Sections	G	25/05/22
RC05	Perspectives	A	22/07/20
RC06	Site Plan: Scheme Plan (Stage 1)	G	25/05/22
RC07	Silt Fence & Planting Plan	E	27/04/22
RC08	Site Plan: Scheme Plan (Stage 2)	G	25/05/22

G-02



- GENERAL NOTES**
- 0.1 Contractor to verify all dimensions and condition on site before commencing work.
 - 0.2 Work only from figured dimensions. In the event of a discrepancy consult the Architect.
 - 0.3 The drawings are to be read in conjunction with Specification.
 - 0.4 If in doubt, consult the Architect.

APPROVED PLAN
 Planner: pkillalea
 RC: 2300042VAR/A
 Date: 2/06/2022

6 Bisset Road, Kaikohe - Resource Consent

Combined Subdivision / Land Use Consent Application



RevID	CHD	Revision	Date
A			22/07/20
B	B-01	Boundary Setout plan added to set	19/08/20
C			27/09/20
D	D-05	Issue Schedule updated	11/09/20
E	E-02	Issue Schedule updated (Rev E)	27/04/22
F	F-03	Issue Schedule updated (Rev F)	27/04/22
G	G-02	Issue Schedule Updated (Issue G)	25/05/22

P: 021 250 6671
 E: esnempropertiesltd@gmail.com
 title

Esnem Properties Ltd

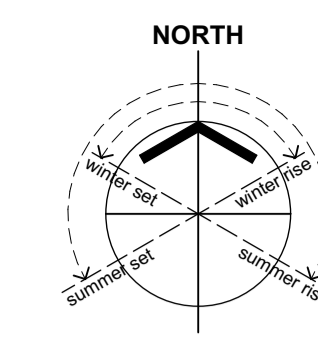
Proposed Subdivision
 6 Bisset Road
 Kaikohe
 Northland

sheet title
RC Submission
Cover Sheet

drawn
 ST
 scale
 As marked at A1

sheet no. issue
RC01 G

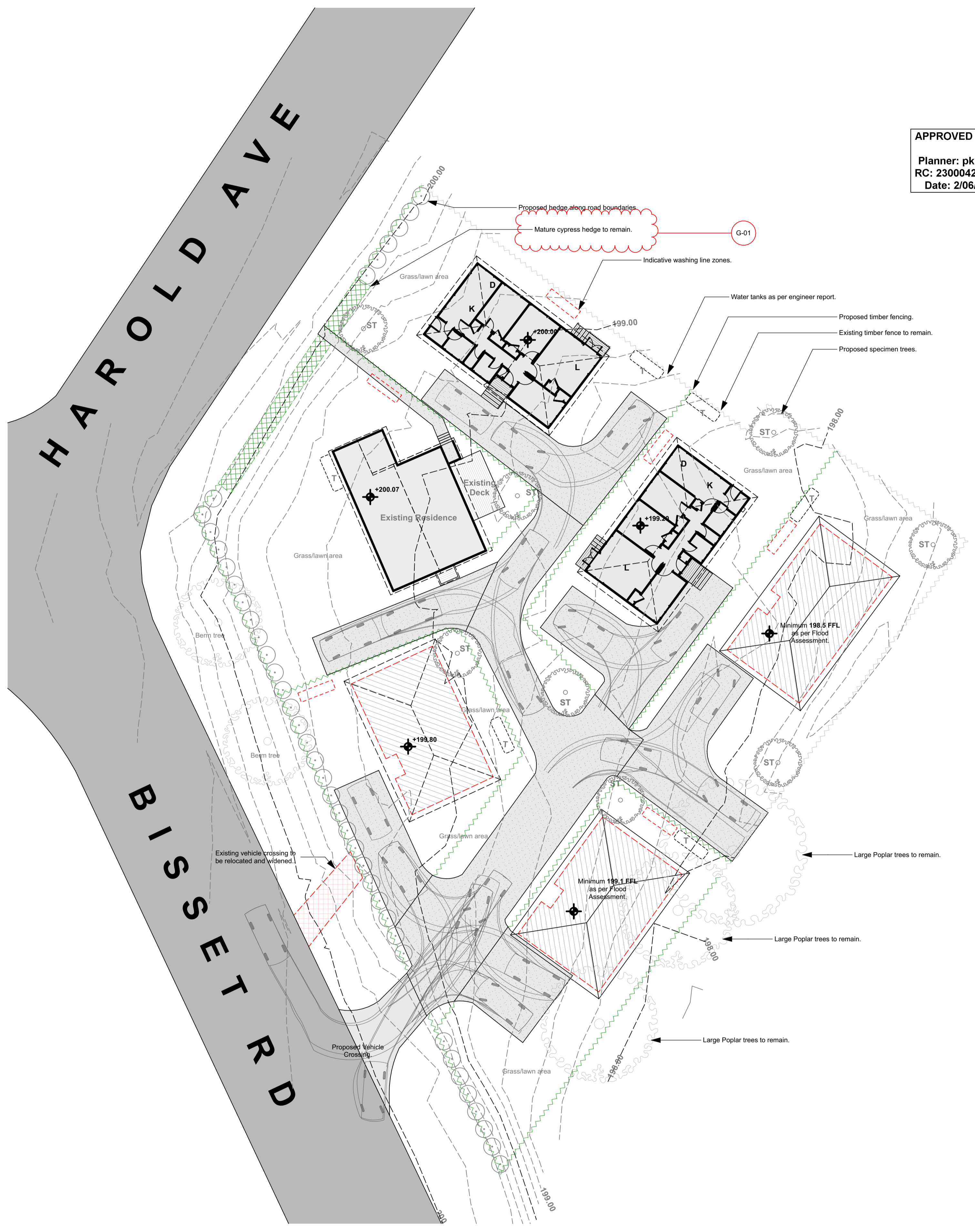
printed Wednesday, 25 May 2022
 Updated Vehicle Tracking/Landscape I



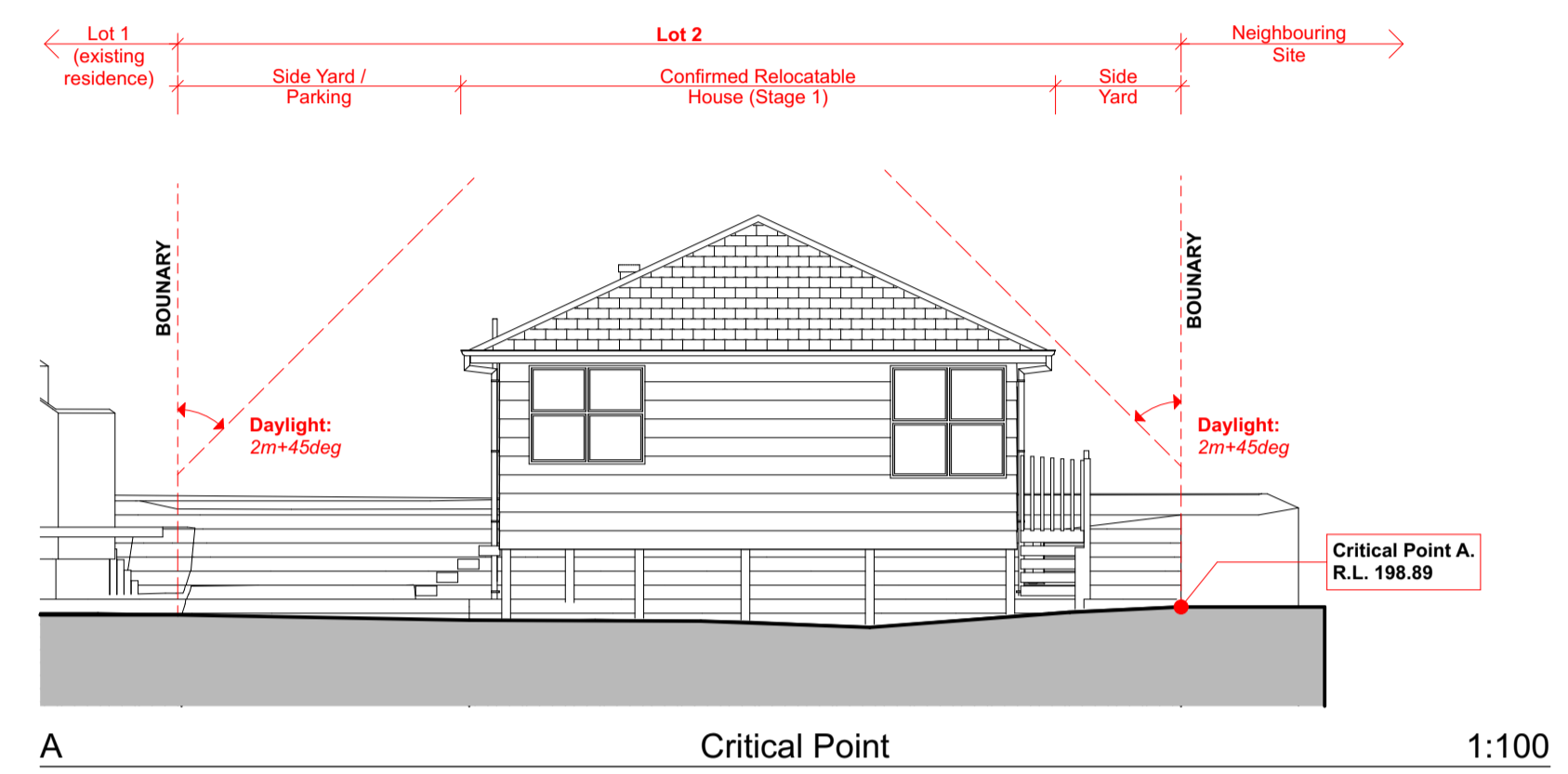
- GENERAL NOTES**
- Contractor to verify all dimensions and condition on site before commencing work.
 - Work only from figured dimensions. In the event of a discrepancy consult the Architect.
 - The drawings are to be read in conjunction with Specification.
 - If in doubt, consult the Architect.

- LANDSCAPE PLAN LEGEND:**
- Vehicle Driveway
 - 5000L Water Tanks as Stormwater Assessment
 - Proposed Specimen Tree (ST)
 - Proposed pittoisporum hedge along road boundaries
 - Existing timber fences to remain
 - Proposed timber fencing
 - Indicative washing line zone
 - Mature cypress hedge to remain

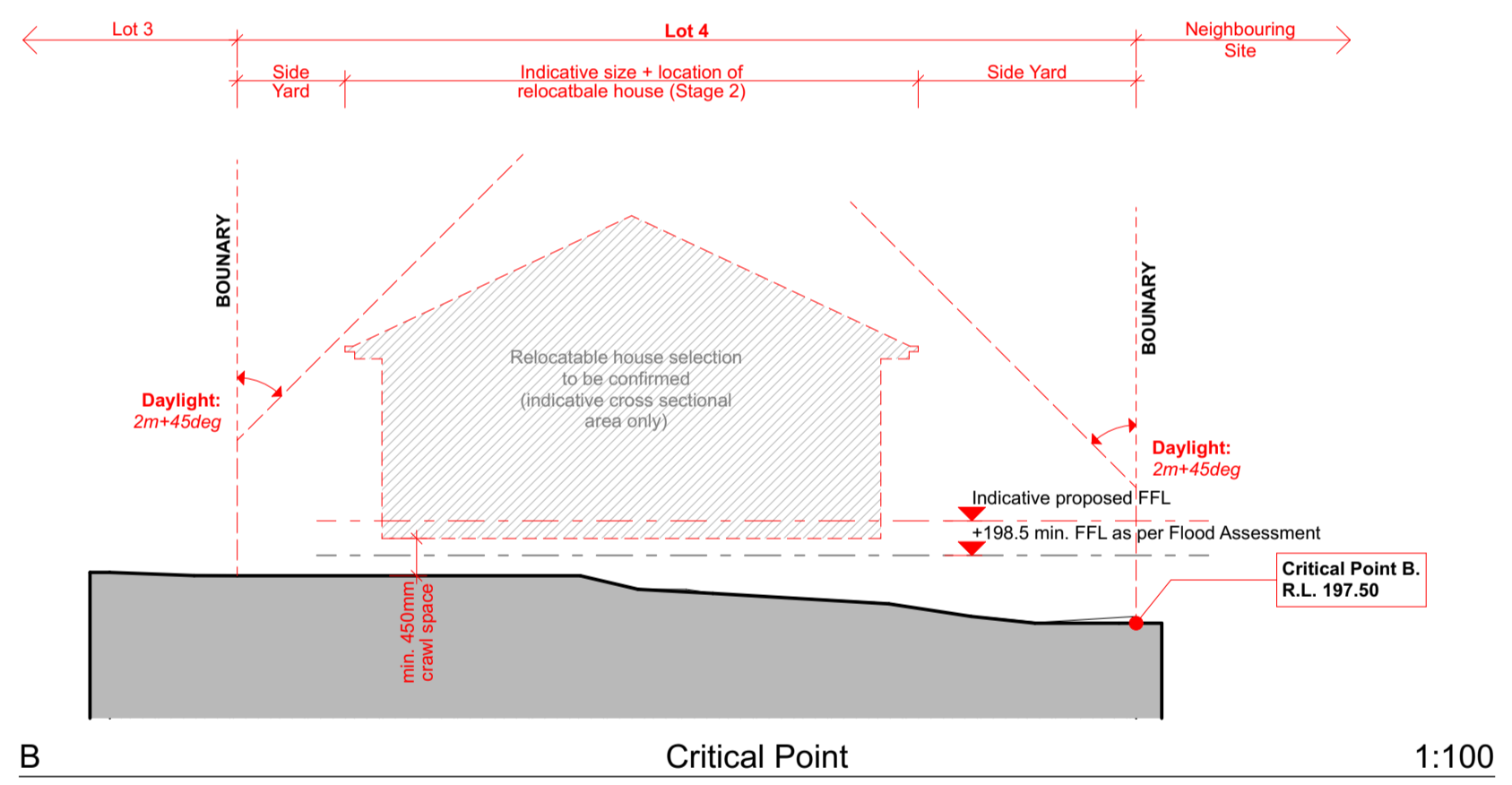
APPROVED PLAN
 Planner: pkillalea
 RC: 2300042VAR/A
 Date: 2/06/2022



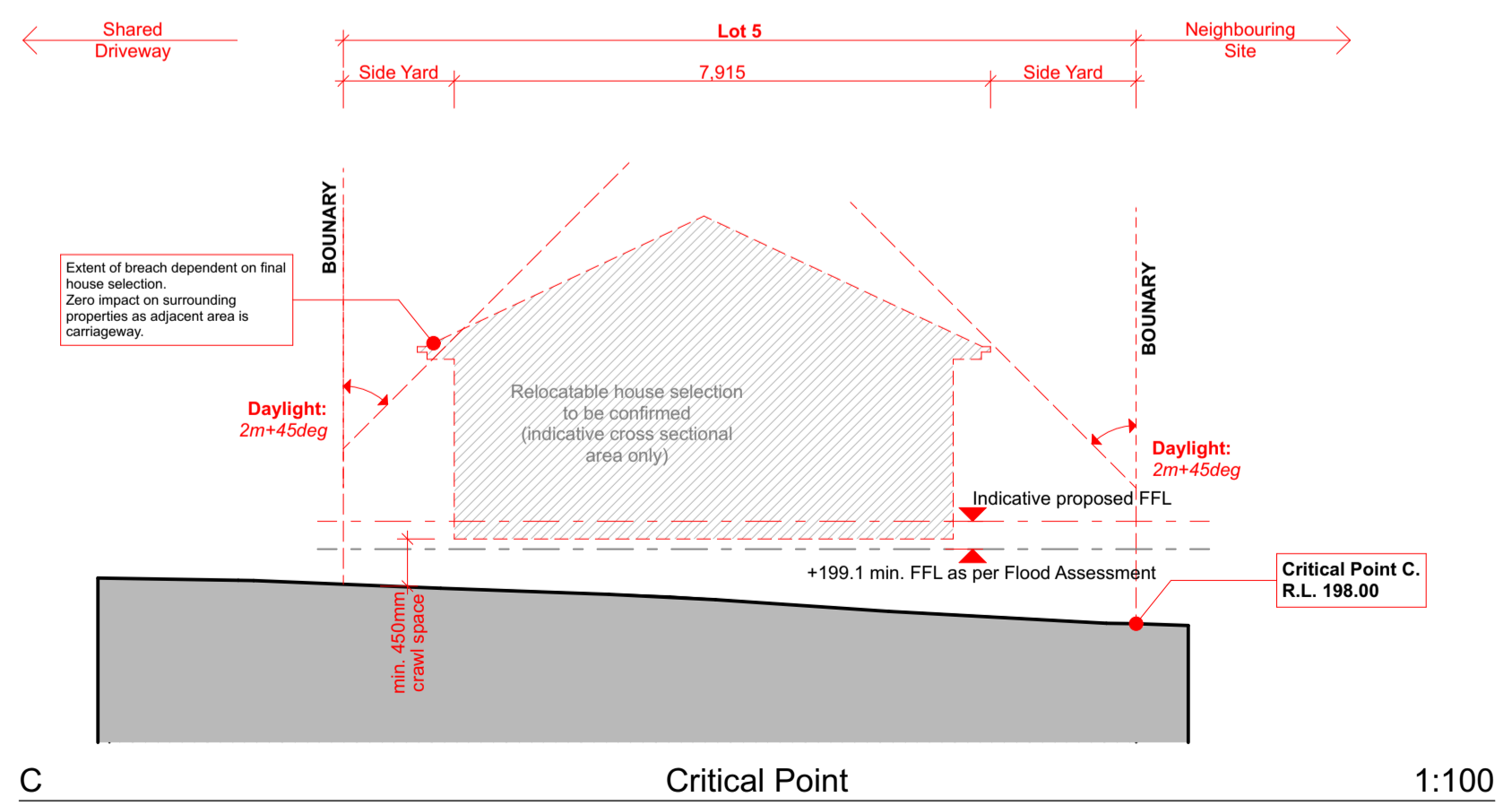
Site: Landscape Plan 1:200



A Critical Point 1:100



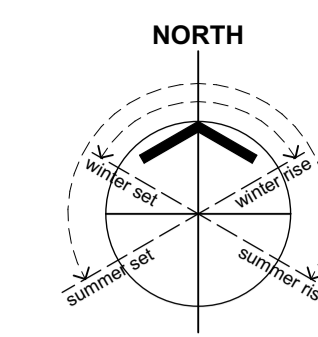
B Critical Point 1:100



C Critical Point 1:100

RevID	CHD	Revision	Date
A		Carriageway updates / boundary adjustments	22/07/20
D	D-01	Carriageway updates / boundary adjustments	11/09/20
	D-04	Section C updated	
G	G-01	Existing cypress hedge to remain	25/05/22

P: 021 250 6671
 E: esnempropertiesltd@gmail.com
 title
Esnem Properties Ltd
 Proposed Subdivision
 6 Bisset Road
 Kaikohe
 Northland
 sheet title
RC Submission
Vehicle Tracking/
Landscape Plan &
Critical Point Sections
 ST
 scale
 As marked at A1
 sheet no. issue
RC04 G
 printed Wednesday, 25 May 2022
 Updated Vehicle Tracking/Landscape I



- GENERAL NOTES**
- 0.1 Contractor to verify all dimensions and condition on site before commencing work.
 - 0.2 Work only from figured dimensions. In the event of a discrepancy consult the Architect.
 - 0.3 The drawings are to be read in conjunction with Specification.
 - 0.4 If in doubt, consult the Architect.

Memorandum of Proposed Easements			
Purpose	Shown	Servient Tenement	Dominant Tenement
Right of Way, Right to Drain Water & Sewage, Convey Water, Electricity & Telecommunications	A	Lot 1 hereon	Lot 2 - 4 hereon
	B	Lot 1 hereon	Lot 2, 3, 4 hereon
	C	Lot 1 hereon	Lot 2 hereon

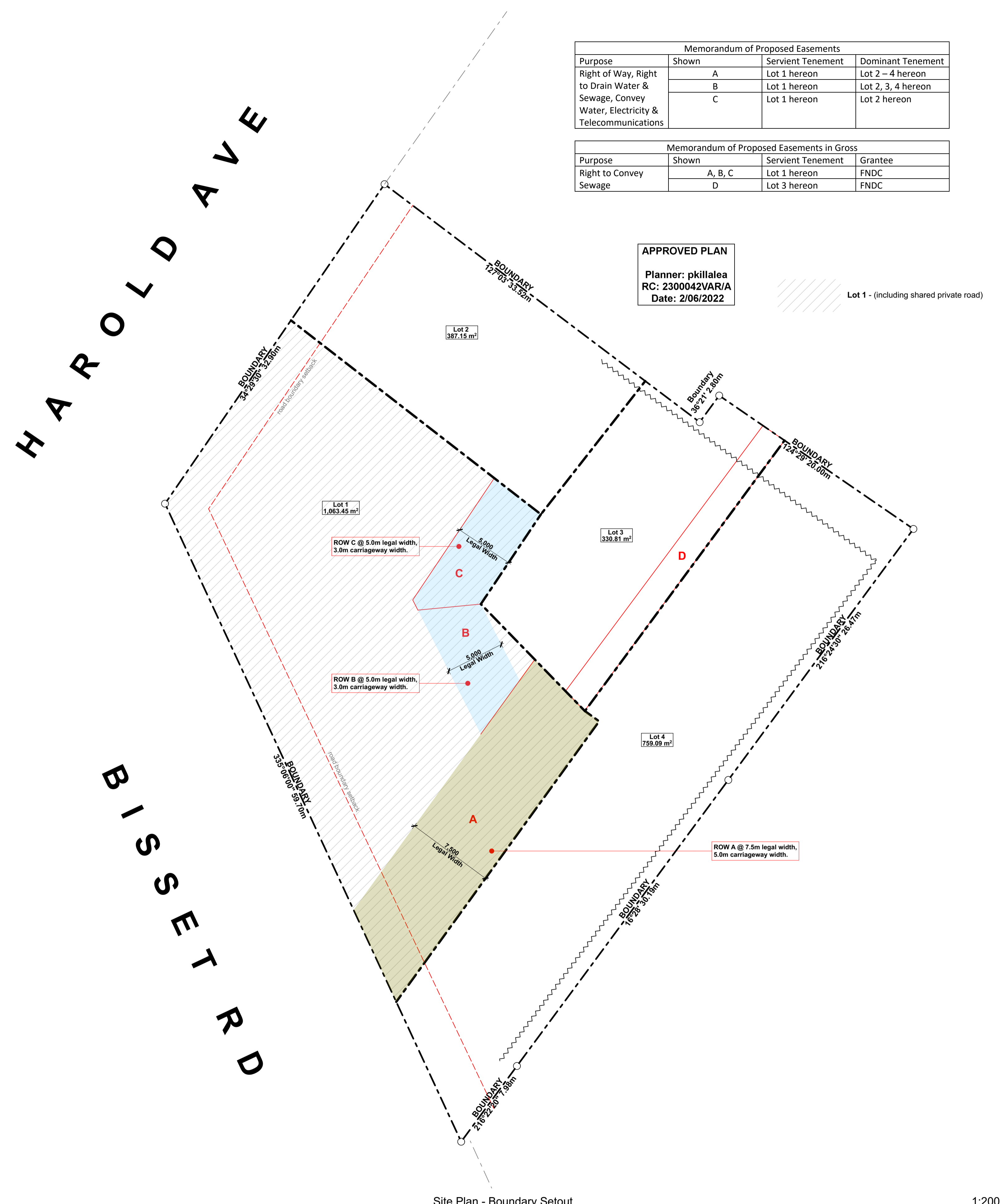
Memorandum of Proposed Easements in Gross			
Purpose	Shown	Servient Tenement	Grantee
Right to Convey	A, B, C	Lot 1 hereon	FNDC
Sewage	D	Lot 3 hereon	FNDC

APPROVED PLAN
 Planner: pkillalea
 RC: 2300042VAR/A
 Date: 2/06/2022

Lot 1 - (including shared private road)

H A R O L D A V E

B I S S E T R D



G-03

Site Plan - Boundary Setout

1:200

RevID	CHD	Revision	Date
B	B-01	Boundary Setout plan added to set	18/08/20
C	C-01	Easement schedule added	27/08/20
D	D-01	Carriageway updates / boundary adjustments	11/09/20
F	F-01	Stages 1 & 2 identified on Scheme Plan	27/04/22
G	G-03	Updated Scheme Plan - Stage 1	25/05/22

P: 021 250 6671
 E: esnempropertiesltd@gmail.com
 title
Esnem Properties Ltd

Proposed Subdivision
 6 Bisset Road
 Kaikohe
 Northland

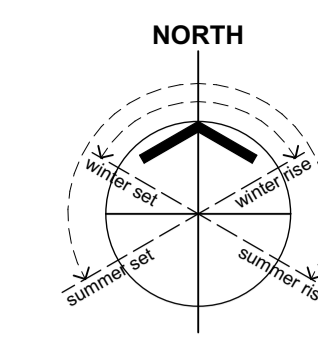
sheet title
RC Submission
Site Plan: Scheme Plan (Stage 1)

drawn
 ST
 scale
 As marked at A1

sheet no. **RC06** issue **G**

printed Wednesday, 25 May 2022
 Updated Vehicle Tracking/Landscape I





- GENERAL NOTES**
- 0.1 Contractor to verify all dimensions and conditions on site before commencing work.
 - 0.2 Work only from figured dimensions. In the event of a discrepancy consult the Architect.
 - 0.3 The drawings are to be read in conjunction with Specification.
 - 0.4 If in doubt, consult the Architect.

Memorandum of Proposed Easements			
Purpose	Shown	Servient Tenement	Dominant Tenement
Right of Way, Right to Drain Water & Sewage, Convey Water, Electricity & Telecommunications	A	Lot 1 hereon	Lot 2 – 6 hereon
	B	Lot 1 hereon	Lot 2, 3, 4 hereon
	C	Lot 1 hereon	Lot 2 hereon

Memorandum of Proposed Easements in Gross			
Purpose	Shown	Servient Tenement	Grantee
Right to Convey	A, B, C	Lot 1 hereon	FNDC
Sewage	D	Lot 3 hereon	FNDC

APPROVED PLAN
 Planner: pkillalea
 RC: 2300042VAR/A
 Date: 2/06/2022

HAROLD AVE

BISSET RD



G-04

Site Plan - Boundary Setout (Stage 2) 1:200

RevID	CND	Revision	Date
G	G-04	New Scheme Plan - Stage 2	25/05/22

P: 021 250 6671
 E: esnempropertiesltd@gmail.com
 title
Esnem Properties Ltd

Proposed Subdivision
 6 Bisset Road
 Kaikohe
 Northland

sheet title
RC Submission
Site Plan: Scheme Plan (Stage 2)

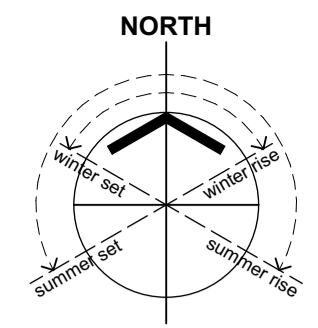
drawn
 ST
 scale
 As marked at A1

sheet no. **RC08** issue **G**

printed Wednesday, 25 May 2022
 Updated Vehicle Tracking/Landscape I

Sheet ID	Layout Name	Issue ID	Issued Date
RC01	Cover Sheet	D	11/09/20
RC02	Site: FNUP Compliance Schedule	D	11/09/20
RC03	Site Bulk & Location	D	11/09/20
RC04	Vehicle Tracking/Landscape Plan & Critical Point Sections	D	11/09/20
RC05	Perspectives	A	22/07/20
RC06	Site Plan: Boundary Setout	D	11/09/20

D-05



- GENERAL NOTES**
- Contractor to verify all dimensions and condition on site before commencing work.
 - Work only from figured dimensions. In the event of a discrepancy consult the Architect.
 - The drawings are to be read in conjunction with Specification.
 - If in doubt, consult the Architect.

APPROVED PLAN
 Planner: pkillalea
 RC: 2300042
 Date: 15/09/2020

6 Bisset Road, Kaikohe - Resource Consent

Combined Subdivision / Land Use Consent Application



RevID	CND	Revision	Date
A			22/07/20
B	B-01	Boundary Setout plan added to set	19/08/20
C			27/09/20
D	D-05	Issue Schedule updated	11/09/20

P: 021 250 6671
 E: esnempropertiesltd@gmail.com
 title

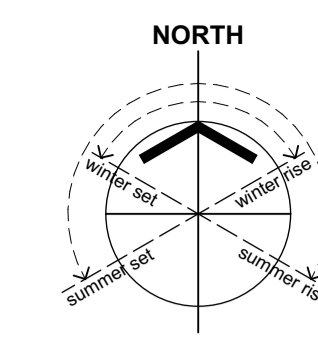
Esnem Properties Ltd

Proposed Subdivision
 6 Bisset Road
 Kaikohe
 Northland

sheet title
RC Submission
Cover Sheet

drawn
 ST
 scale
 As marked at A1

sheet no. issue
RC01 D
 printed Friday, 11 September 2020
 Resource Consent



- GENERAL NOTES**
- Contractor to verify all dimensions and condition on site before commencing work.
 - Work only from figured dimensions. In the event of a discrepancy consult the Architect.
 - The drawings are to be read in conjunction with Specification.
 - If in doubt, consult the Architect.

DEVELOPMENT CONTROLS:

Legal Description:
 Lot 2
 DP 161706
 CT: NA97C/S8
 Area: 2.541m²

Local Authority: **FNDC**

FNDC Environment: **Residential Zone**

Max. Building Height: 8.0m max.

Building Coverage: 45% max.

Impermeable Coverage: 60% max.

Boundary Setbacks: 3.0m road Bdy

APPROVED PLAN
 Planner: pkillalea
 RC: 2300042
 Date: 15/09/2020

SITE DESIGN INFORMATION:

Wind Zone = **MEDIUM**

Earthquake Zone = **Zone 1**

Exposure Zone = **Zone B**

Rainfall Intensity = **80 - 90mm/hr**

- BULK & LOCATION LEGEND:**
- Existing residence to remain.
 - Proposed transportable home (Stage 1).
 - Landscape (permeable)
 - Deck/Landing (impermeable)
 - Gravel / vehicle manoeuvring (impermeable)
 - Indicative coverage of unconfirmed transportable houses (Stage 2)



FAR NORTH UNITARY PLAN COMPLIANCE SCHEDULE
 6 BISSETT ROAD, KAIKOHE

Gross Site Area: 2.541m²
 Net Site Area: 2.2424m²
 Territorial Authority: Far North District Council
 Urban Environment: Residential Zone

CLAUSE	CONTROL	PERMITTED	ADDITIONAL INFO	LOT 1	LOT 2	LOT 3	LOT 4	LOT 5	LOT 6	FULL DEVELOPMENT
7.6.5.1.4	Building Height	8m		complies	complies	complies	complies	complies	complies	n/a
7.6.5.1.5	Sunlight	2m + 45deg	neighbour / external	complies	complies	complies	complies	does not comply (dependent on final house selection)	does not comply (dependent on final house selection)	n/a
7.6.5.1.6	Maximum Impervious Area m2 required to be compliant	60%	Site Area Impervious Area Percentage	796.7 367.6 46.1%	387.2 183.7 47.4%	330.8 173.9 52.5%	424.8 193.6 45.6%	334.7 139.6 41.7%	266.8 140.1 52.5%	2541 1223.0 48.1%
7.6.5.1.7	Boundary Setbacks	road 3m		complies	complies	complies	complies	complies	complies	n/a
7.6.5.1.17	Maximum Building Coverage m2 required to be compliant	45%	Site Area Building Coverage Percentage	796.7 92.8 11.6%	387.2 92.7 23.9%	330.8 92.7 28.0%	424.8 approx. 95 22.3%	334.7 approx. 95 28.3%	266.8 approx. 95 35.6%	2541 approx. 563.2 22.1%

RevID	CHD	Revision	Date
A			22/07/20
D	D-01	Carriageway updates / boundary adjustments	
	D-02	Compliance Schedule Updated	11/09/20
	D-05	Issue Schedule updated	

P: 021 250 6671
 E: esnempropertiesltd@gmail.com
 title
Esnem Properties Ltd

Proposed Subdivision
 6 Bisset Road
 Kaikohe
 Northland

sheet title
RC Submission
Site: FNUP Compliance Schedule

drawn
 ST
 scale
 As marked at A1

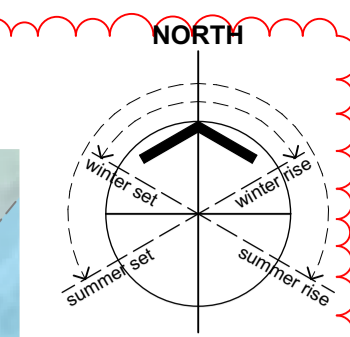
sheet no. **RC02** issue **D**

printed Friday, 11 September 2020
 Resource Consent

16 Bisset/Archb P11a/RC/200911 6 Bisset RC Site Issue D-01



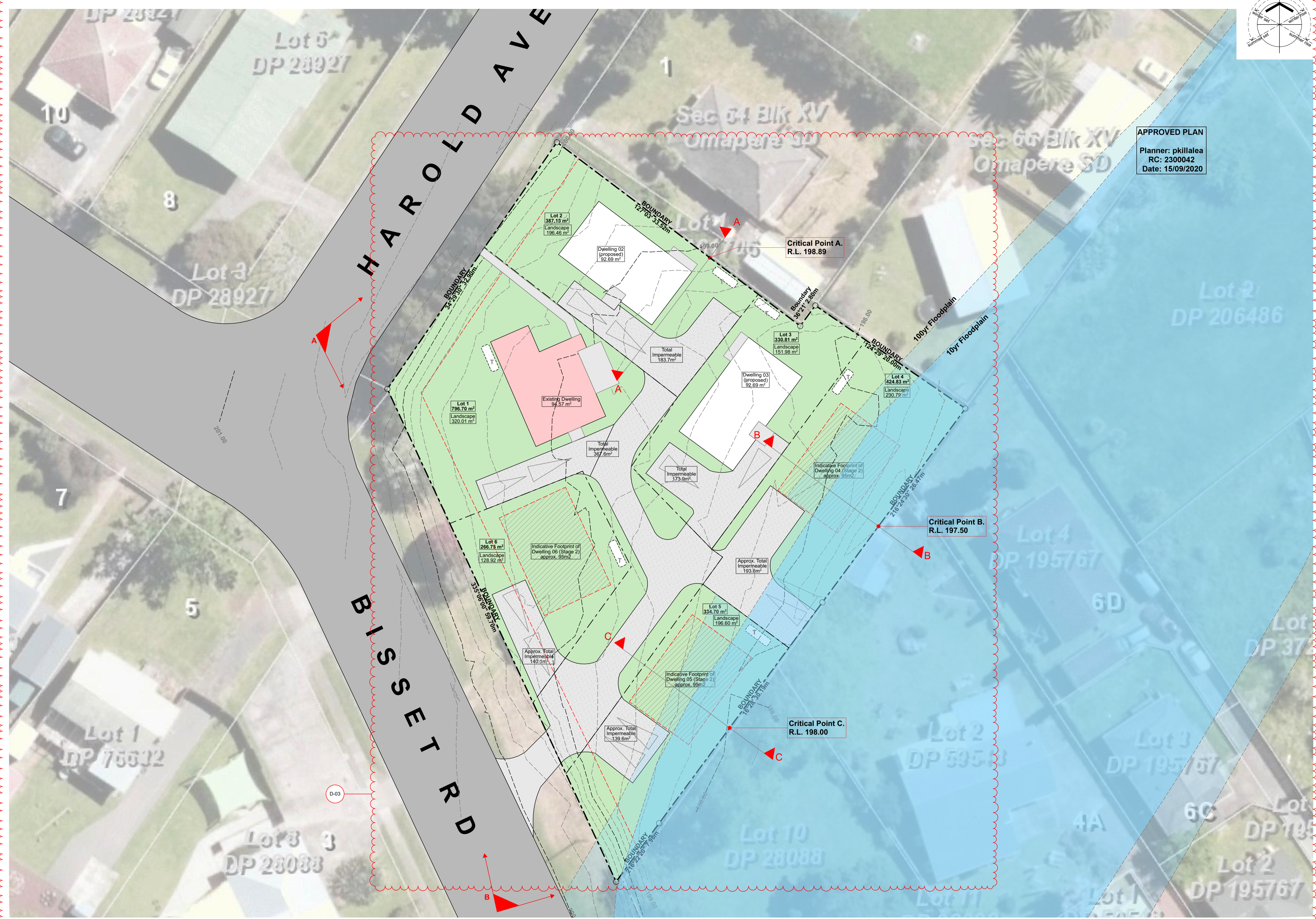
This drawing and the design it covers shall remain the property and copyright of the Architects.



- GENERAL NOTES**
- Contractor to verify all dimensions and condition on site before commencing work.
 - Work only from figured dimensions. In the event of a discrepancy consult the Architect.
 - The drawings are to be read in conjunction with Specification.
 - If in doubt, consult the Architect.

- BULK & LOCATION LEGEND:**
- Existing residence to remain.
 - Proposed transportable home (Stage 1).
 - Landscape (permeable).
 - Deck/Landing (impermeable).
 - Gravel / vehicle manoeuvring (impermeable).
 - Indicative coverage of unconfirmed transportable houses (Stage 2).

- SITE PLAN LEGEND:**
- Vehicle carpark
 - Boundary line
 - Setback Line
 - Perspective View Location
 - Vehicle Driveway
 - Water Tanks as per engineer design.
 - Indicative Zone - 100yr flood event
 - Indicative Zone - 10yr flood event
 - CP R.L. 198 HRB Reference Point



Site: Bulk and Location (context)

1:200

6 BISSET ROAD - AUP COVERAGE CALCULATIONS

Site Area	2.541m ²	AUP Compliance
Building Coverage	approx. 563m ²	22.1% (<45% required)
Impermeable:	approx. 1,206m ²	47.4% (<60% required)
Landscaped Area:	approx. 1,338m ²	

D-01

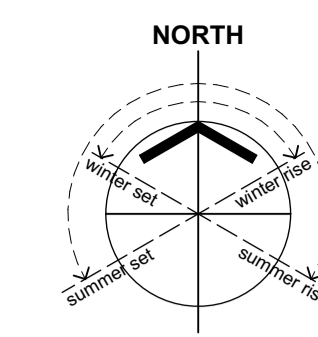
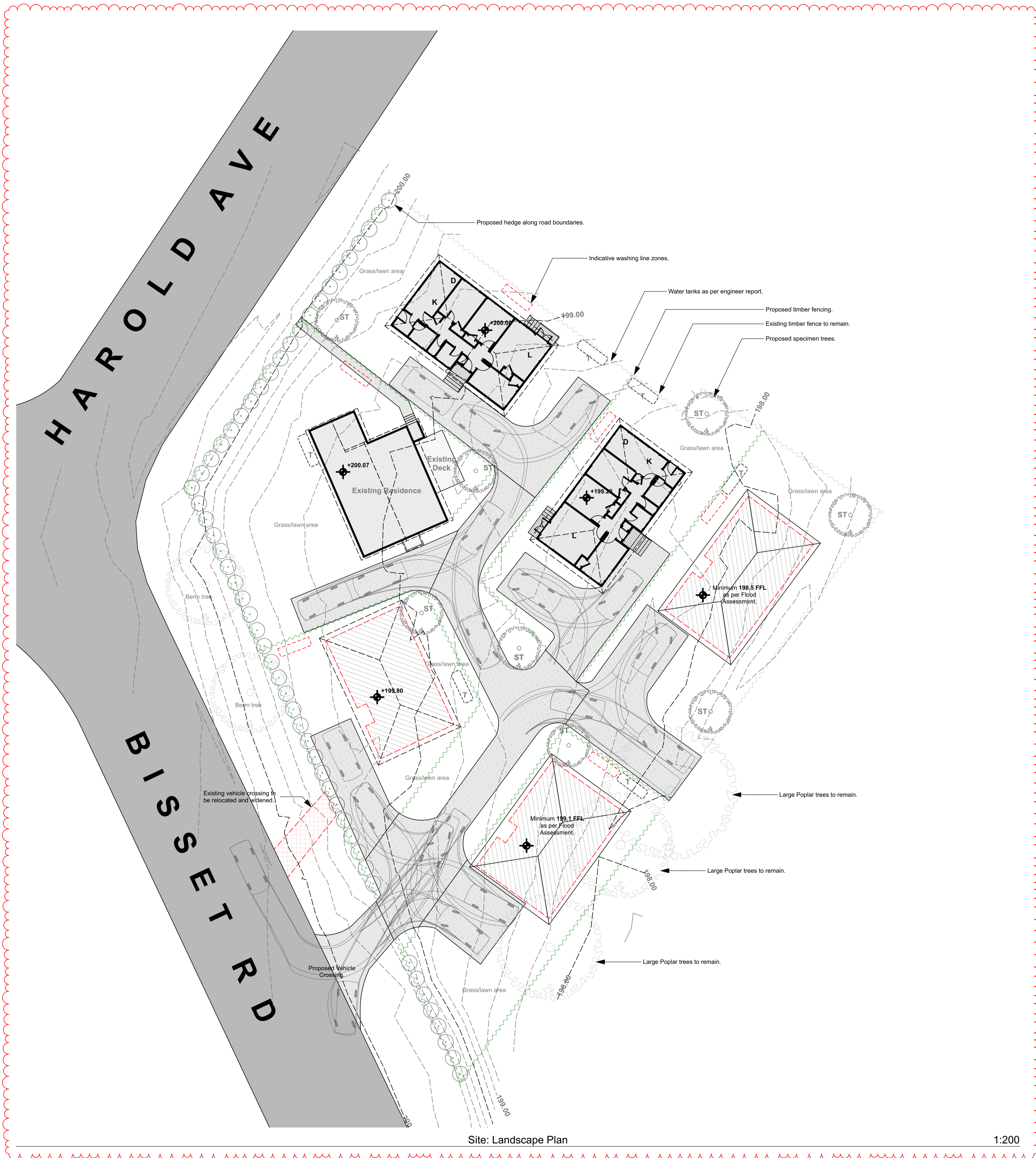
RevID	CHD	Revision	Date
A			22/07/20
D	D-01	Carriageway updates / boundary adjustments	11/09/20
	D-03	Coverage Calculations updated	

P. 021 250 6671
E. esnempropertiesltd@gmail.com
title
Esнем Properties Ltd

Proposed Subdivision
6 Bisset Road
Kaikohe
Northland
sheet title

RC Submission
Site Bulk & Location

drawn
ST
scale
As marked at A1
sheet no. **RC03** issue **D**
printed Friday, 11 September 2020
Resource Consent
16 Bisset/Archb. P15a/RC/200911 6 Bisset RC 06a_Issue D.p1a

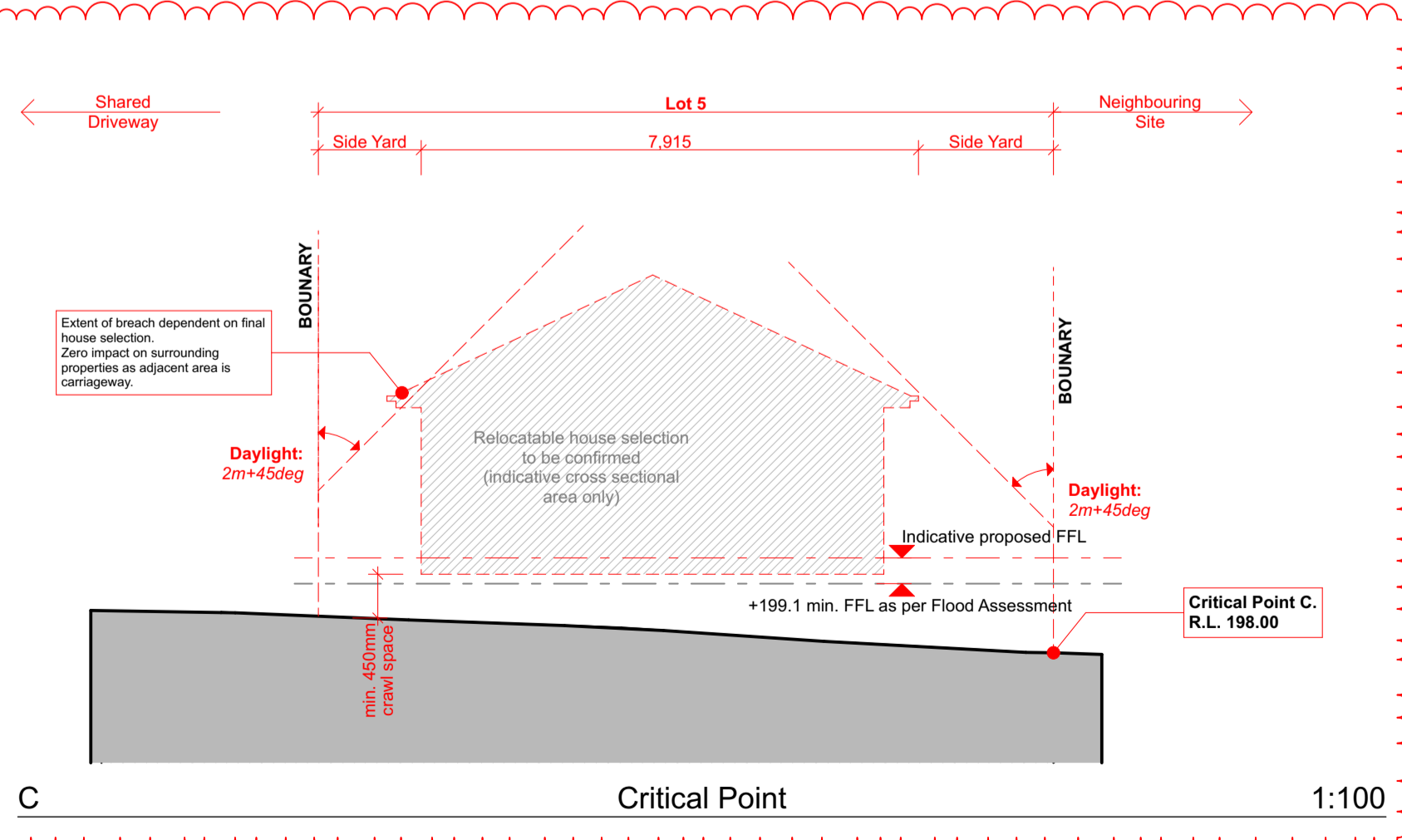
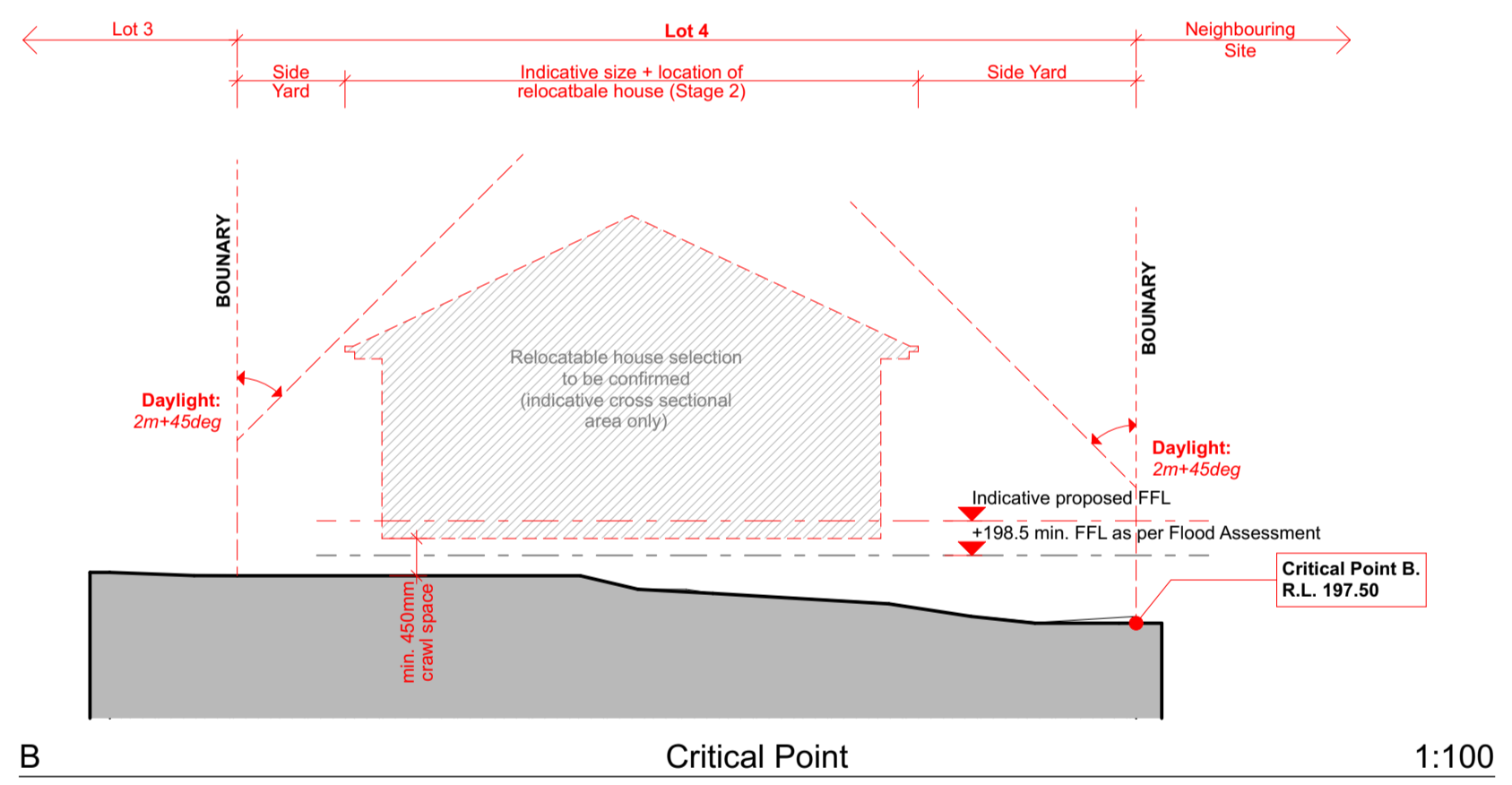
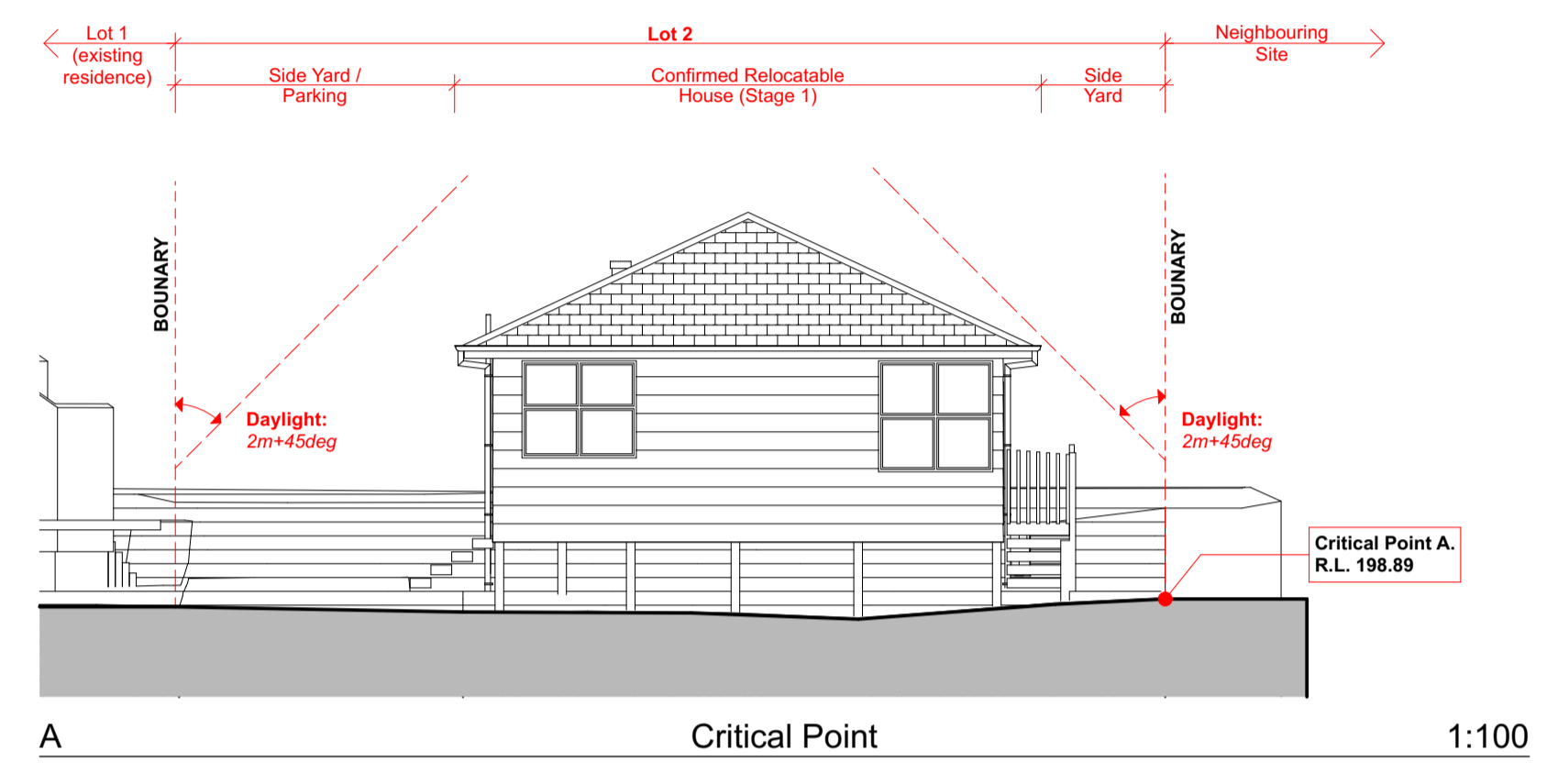


- GENERAL NOTES**
- Contractor to verify all dimensions and condition on site before commencing work.
 - Work only from figured dimensions. In the event of a discrepancy consult the Architect.
 - The drawings are to be read in conjunction with Specification.
 - If in doubt, consult the Architect.

- LANDSCAPE PLAN LEGEND:**
- Vehicle Driveway
 - 5000L Water Tanks as Stormwater Assessment
 - Proposed Specimen Tree
 - Proposed pittoresque hedge along road boundaries.
 - Existing timber fences to remain
 - Proposed timber fencing
 - Indicative washing line zone

APPROVED PLAN
 Planner: pkillalea
 RC: 2300042
 Date: 15/09/2020

D-01



D-04

RevID	CHD	Revision	Date
A		Carriageway updates / boundary adjustments	22/07/20
D	D-01	Carriageway updates / boundary adjustments	11/09/20
	D-04	Section C updated	

P: 021 250 6671
 E: esnempropertiesltd@gmail.com
 title
Esnem Properties Ltd

Proposed Subdivision
 6 Bisset Road
 Kaikohe
 Northland

sheet title
RC Submission
Vehicle Tracking/ Landscape Plan & Critical Point Sections
 ST
 scale
 As marked at A1

sheet no. issue
RC04 D
 printed Friday, 11 September 2020
 Resource Consent
 6 Bisset/Archb. P11a/RC/200911 6 Bisset RC 04a_Issue D.p1a

GENERAL NOTES

- 0.1 Contractor to verify all dimensions and condition on site before commencing work.
- 0.2 Work only from figured dimensions. In the event of a discrepancy consult the Architect.
- 0.3 The drawings are to be read in conjunction with Specification.
- 0.4 If in doubt, consult the Architect.



PERSPECTIVE 'A'

Relocated Dwelling
3 Bed, 1 bathroom.
Area: approx. 95m²
To be delivered during Stage 1.

Stage 1
Relocatable house selection confirmed. Lots 2 & 3.

Existing Dwelling to remain (Lot 1).

Relocated Dwelling
3 Bed, 1 bathroom.
Area: approx. 95m²
To be delivered during Stage 2.

Relocated Dwelling
3 Bed, 1 bathroom.
Area: approx. 95m²
To be delivered during Stage 1.

Relocated Dwelling
3 Bed, 1 bathroom.
Area: approx. 95m²
To be delivered during Stage 2.

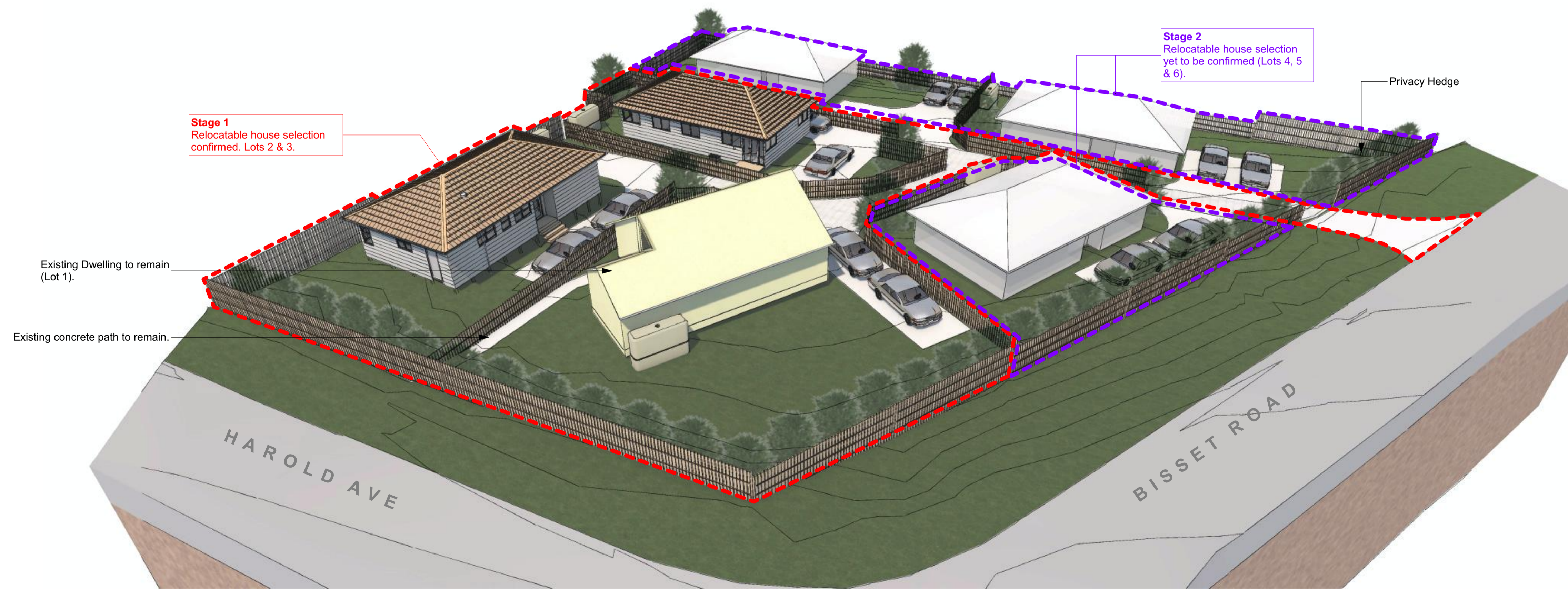
Stage 2
Relocatable house selection yet to be confirmed (Lots 4, 5 & 6).

Relocated Dwelling
3 Bed, 1 bathroom.
Area: approx. 95m²
To be delivered during Stage 2.

Proposed shared driveway (Stage 1).

Proposed Vehicle Crossing (Stage 1).

APPROVED PLAN
Planner: pkillalea
RC: 2300042
Date: 15/09/2020



PERSPECTIVE 'B'

Stage 1
Relocatable house selection confirmed. Lots 2 & 3.

Existing Dwelling to remain (Lot 1).

Existing concrete path to remain.

Stage 2
Relocatable house selection yet to be confirmed (Lots 4, 5 & 6).

Privacy Hedge

RevID	CND	Revision	Date
A			22/07/20

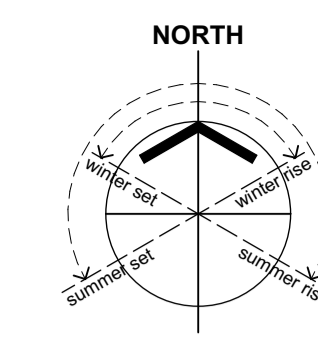
P: 021 250 6671
E: esnempropertiesltd@gmail.com
title
Esnem Properties Ltd

Proposed Subdivision
6 Bisset Road
Kaikohe
Northland

sheet title
RC Submission
Perspectives

drawn
ST
scale
As marked at A1

sheet no. **RC05** issue **A**
printed Friday, 11 September 2020
Resource Consent



- GENERAL NOTES**
- 0.1 Contractor to verify all dimensions and condition on site before commencing work.
 - 0.2 Work only from figured dimensions. In the event of a discrepancy consult the Architect.
 - 0.3 The drawings are to be read in conjunction with Specification.
 - 0.4 If in doubt, consult the Architect.

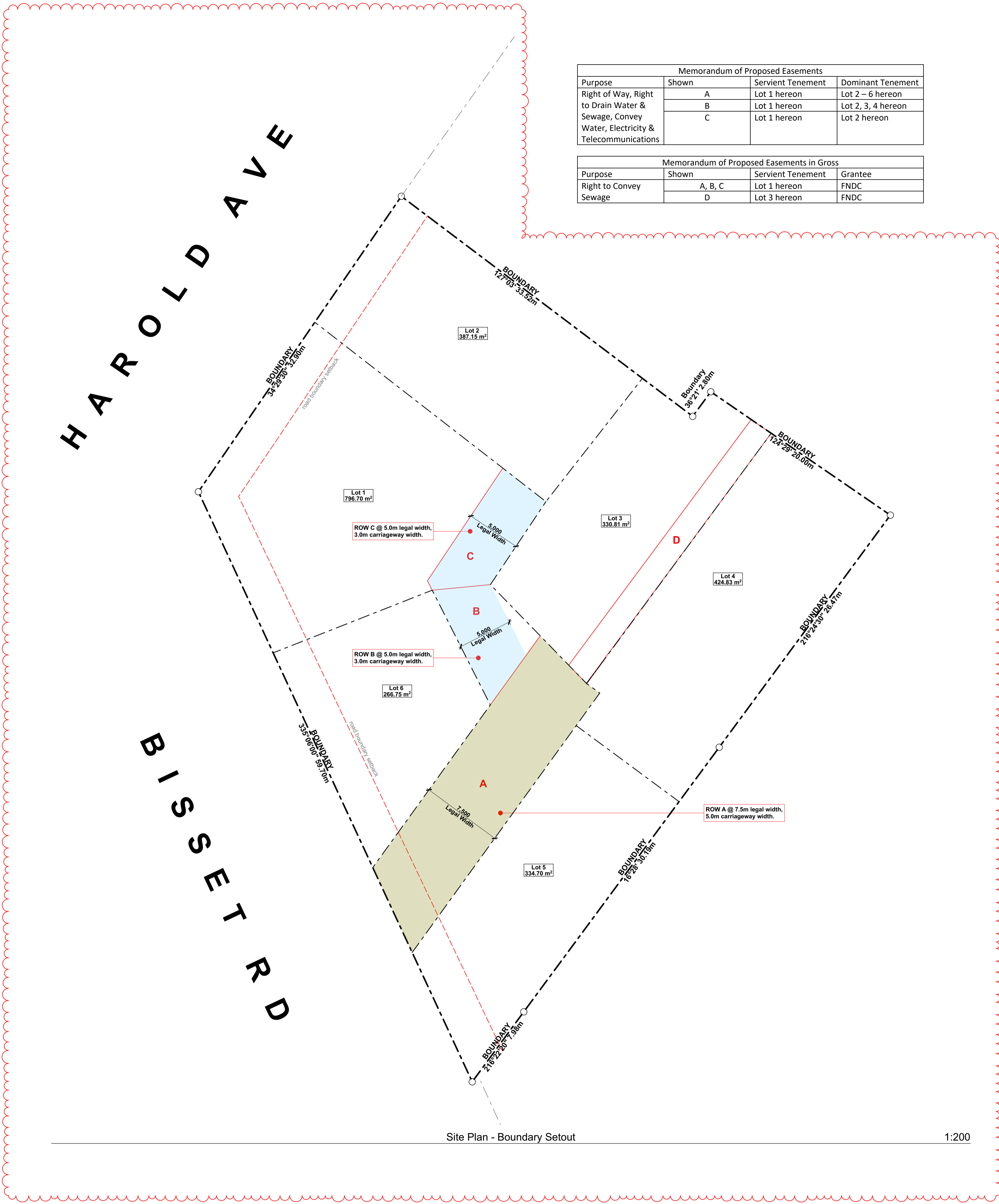
Memorandum of Proposed Easements			
Purpose	Shown	Servient Tenement	Dominant Tenement
Right of Way, Right to Drain Water & Sewage, Convey Water, Electricity & Telecommunications	A	Lot 1 hereon	Lot 2 – 6 hereon
	B	Lot 1 hereon	Lot 2, 3, 4 hereon
	C	Lot 1 hereon	Lot 2 hereon

Memorandum of Proposed Easements in Gross			
Purpose	Shown	Servient Tenement	Grantee
Right to Convey Sewage	A, B, C	Lot 1 hereon	FNDC
	D	Lot 3 hereon	FNDC

APPROVED PLAN
 Planner: pkillalea
 RC: 2300042
 Date: 15/09/2020

H A R O L D A V E

B I S S E T R D



Site Plan - Boundary Setout

1:200

RevID	CHD	Revision	Date
B	B-01	Boundary Setout plan added to set	18/08/20
C	C-01	Easement schedule added	27/08/20
D	D-01	Carriageway updates / boundary adjustments	11/09/20

P. 021 250 6671
 E. esnempropertiesltd@gmail.com
 title
Esnem Properties Ltd

Proposed Subdivision
 6 Bisset Road
 Kaikohe
 Northland

sheet title
RC Submission
Site Plan: Boundary Setout

drawn
 ST
 scale
 As marked at A1
 sheet no. issue

RC06 D
 printed Friday, 11 September 2020
 Resource Consent



ESNEM Properties <esnempropertiesltd@gmail.com>

RC2300042 - SS Line condition report

5 messages

ESNEM Properties <esnempropertiesltd@gmail.com>

24 November 2020 at 07:25

To: Pat Killalea <pat.killalea@fndc.govt.nz>, mark.keehn@fndc.govt.nz, Sujeet Tikaram <Sujeet.Tikaram@fndc.govt.nz>

Morning All,

A thorough inspection of the sanitary sewer line at 6 Bisset Road Kaikohe has now been conducted by Lincoln from Drainlink (report attached). We would like to acknowledge that although the inspection was resisted at first, a major obstruction has been detected which has meant the exercise was not for nothing. We appreciate this condition being put in place by the FNDC.

Please see drop box link which includes:

- Inspection video footage
- Inspection report
- Obstruction Location Plan

<https://drive.google.com/drive/folders/1aIRlbbBVkDT028k6mBiBAcETV8dV8esX?usp=sharing>

As has been reported, a large tree root obstruction via a protruding lateral pipe is present in the SS line. It will be best to contact Lincoln Amosa directly to discuss how best to manage the remediation of this obstruction. As this is a council asset and construction/development has not yet begun on site, the remediation of the pipe is required to be managed and funded by the FNDC.

Lincoln Amosa
linc@drainlink.co.nz
+64272291332

There is a high chance that Drainlink will be engaged to install the new drainage for the development (separate from the obstructed existing SS line) and so it may be advantageous for the FNDC to have Lincoln address the existing line while he is onsite installing the rest of the drainage work, as he is already very familiar with the site and proposed development.

Being a sanitary sewer line – the Health and safety risk of leakage and contamination is highly concerning (it likely is already contaminating the earth) and so it is Lincoln's professional opinion that this be addressed in the immediate future. As owners of this tenanted property, we also cannot tolerate the potential of waste leaking into the site and so we would like to work together with the FNDC to remediate this risk in an efficient and timely manner.

Once Lincoln has been contacted, please get back to us with the appropriate course of action to remediate this line.

Thank you.

--

Yours Sincerely,

Mathew Harding
Shane Tregidga
Directors || ESNEM Properties Limited

MH:021 0230 6882
ST: 021 250 6671
E: esnemprompertiesltd@gmail.com

ESNEM
PROPERTIES LTD

ESNEM Properties <esnemprompertiesltd@gmail.com>

2 December 2020 at 12:48

To: Pat Killalea <pat.killalea@fndc.govt.nz>, mark.keehn@fndc.govt.nz, Sujeet Tikaram <Sujeet.Tikaram@fndc.govt.nz>

Hi All, has there been any movement in regard to the above email?

Thanks

[Quoted text hidden]

Sujeet Tikaram <Sujeet.Tikaram@fndc.govt.nz>

3 December 2020 at 11:24

To: ESNEM Properties <esnemprompertiesltd@gmail.com>

Hi Shane,

Please see emails below. I understand that the lateral connection to the existing dwelling on site is to be made redundant once the house is removed/relocated.

FNDC will remove and repair the root damage to the main line but the root ingress into the lateral will need to be removed by your drainlayer and the lateral is to be capped off to prevent regrowth.

Cheers

Sujeet



Sujeet Tikaram

Development Engineer

Infrastructure & Asset Management, Far North District Council | **24-hour Contact Centre** 0800 920 029

ddi +6494015376 | m 027 566 1191 | Sujeet.Tikaram@fndc.govt.nz

[Website](#) | [Facebook](#) | [LinkedIn](#) | [Careers](#)

Disclaimer: The information shown on plans that may be attached may not be accurate and is indicative only. The Far North District Council accepts no responsibility for incomplete or inaccurate information.

Contractors are to verify the exact location of all Council services on site before work commences. Contractors are liable for any damage they may cause to Council services, including any services not identified on this plan.

Far North District Council | Te Kaunihera o Tai Tokerau Ki Te Raki | Phone: 09 401 5200 | Fax: 09 401 2137 | Email: ask.us@fndc.govt.nz
Memorial Avenue, Private Bag 752, Kaikohe 0440, New Zealand

Get it done online at your convenience, visit our website: www.fndc.govt.nz

 Please consider the environment before printing this email.

From: Pat Killalea <pat.killalea@fndc.govt.nz>
Sent: Thursday, 3 December 2020 11:17 AM
To: Sujeet Tikaram <Sujeet.Tikaram@fndc.govt.nz>
Subject: FW: RC2300042 - SS Line condition report

Sujeet,

I assume that Mark is saying that the remedial work on the lateral is the responsibility of the developer while Council will fix up the main line

Regards,



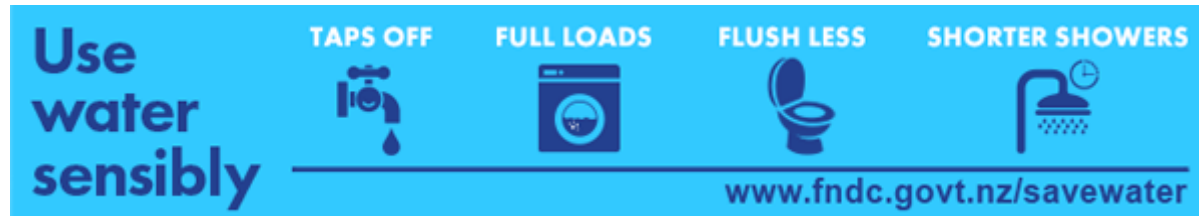
Pat Killalea

Principal Planner

District Services, Far North District Council | **24-hour Contact Centre** 0800 920 029

DDI +6494070404 | M 027 539 5985 | pat.killalea@fndc.govt.nz

[Website](#) | [Facebook](#) | [LinkedIn](#) | [Careers](#)



From: Mark Keehn <Mark.Keehn@fndc.govt.nz>
Sent: Wednesday, 2 December 2020 1:53 PM
To: Sujeet Tikaram <Sujeet.Tikaram@fndc.govt.nz>; Pat Killalea <pat.killalea@fndc.govt.nz>
Subject: FW: RC2300042 - SS Line condition report

Hi Guys,

I have reviewed the CCTV. The roots coming from the lateral I believe should be the responsibility of the developer to remove. As the new development won't be using that connection as well would FNDC require them to cap that lateral where there won't be an opportunity for the roots to grow back into the pipeline from that lateral connection.

I will raise a RFS with FNW to have the pipeline flushed and rootcut.

Thanks

**Mark Keehn****Asset Manager - 3 Waters**Infrastructure & Asset Management, Far North District Council | **24-hour Contact Centre** 0800 920 029ddi +6494015766 | m +64272328371 | Mark.Keehn@fndc.govt.nz[Website](#) | [Facebook](#) | [LinkedIn](#) | [Careers](#)

Disclaimer: The information shown on plans that may be attached may not be accurate and is indicative only. The Far North District Council accepts no responsibility for incomplete or inaccurate information. Contractors are to verify the exact location of all Council services on site before work commences. Contractors are liable for any damage they may cause to Council services, including any services not identified on this plan.

Far North District Council | Te Kaunihera o Tai Tokerau Ki Te Raki | Phone: 09 401 5200 | Fax: 09 401 2137 | Email: ask.us@fndc.govt.nz
Memorial Avenue, Private Bag 752, Kaikohe 0440, New Zealand

Get it done online at your convenience, visit our website: www.fndc.govt.nz

 Please consider the environment before printing this email.

[Quoted text hidden]

Get it done online at your convenience, visit our website - www.fndc.govt.nz

Attention: The information contained in this email (including any attachments) is intended solely for the addressee(s). It is confidential and may be legally privileged. If you have received this email in error you must not use, copy, disclose or distribute it or any information in it. Please simply notify the sender and delete or destroy all copies of the email immediately. Unless formally stated, this e-mail and any attachments do not necessarily reflect the views of the Far North District Council. The Far North District Council accepts no responsibility for any interception of, or changes to, our email after it leaves us. We do not accept responsibility for any viruses or similar carried with our email, or any effects our email may have on the recipients computer system or network.

Far North District Council | Te Kaunihera o Tai Tokerau Ki Te Raki
Ph. 09 401 5200 | Fax. 09 401 2137 | Email. ask.us@fndc.govt.nz
Address. Memorial Avenue, Private Bag 752, Kaikohe 0440, New Zealand

Please consider the environment before printing this email.

ESNEM Properties <esnemprouperiesltd@gmail.com>
To: Sujeet Tikaram <Sujeet.Tikaram@fndc.govt.nz>

8 December 2020 at 21:20

Hi Sujeet,

Thanks for the response.

We understand there are roots coming from the lateral line - or the current 6 bisset connection. You are correct, we will be closing this connection off with the development. However, would it not make sense to treat the roots at the same time while you have the trench open? It seems quite expensive and unnecessary for the FNDC to open the trench up, cut roots and flush, then have us organise a separate drainlayer to come in during this and remove more roots and cap off the connection. The variation in price to cap off our line versus the work that needs to be done would be minimal.

We are happy to fix our connection here - we do have a drainlayer coming to do a lot of work connecting the houses so it would be easy to just add that to the list. We just think for the sake of a minor cost increase, could this not be done at the same time as the other remedial work? That is if you are not replacing the line.

Regards,



Virus-free. www.avast.com

[Quoted text hidden]



Virus-free. www.avast.com

Sujeet Tikaram <Sujeet.Tikaram@fndc.govt.nz>
To: ESNEM Properties <esnempromertiesltd@gmail.com>

9 December 2020 at 07:44

Morning,

Yes, the cost of removing the roots from the sewer lateral are probably minimal, but it depends on the timing of clearing and flushing out of the main line by Council's contractor and when the lateral connection can be capped off.

To be on the safe side, I would suggest that your drainlayer clear the roots from the lateral connection so that all the required works are covered off.

Cheers

Sujeet



Sujeet Tikaram

Development Engineer

Infrastructure & Asset Management, Far North District Council | **24-hour Contact Centre** 0800 920 029

ddi +6494015376 | m 027 566 1191 | Sujeet.Tikaram@fndc.govt.nz

[Website](#) | [Facebook](#) | [LinkedIn](#) | [Careers](#)

Disclaimer: The information shown on plans that may be attached may not be accurate and is indicative only. The Far North District Council accepts no responsibility for incomplete or inaccurate information. Contractors are to verify the exact location of all Council services on site before work commences. Contractors are liable for any damage they may cause to Council services, including any services not identified on this plan.

Far North District Council | Te Kaunihera o Tai Tokerau Ki Te Raki | Phone: 09 401 5200 | Fax: 09 401 2137 | Email: ask.us@fndc.govt.nz
Memorial Avenue, Private Bag 752, Kaikohe 0440, New Zealand

Get it done online at your convenience, visit our website: www.fndc.govt.nz

Please consider the environment before printing this email.

From: ESNEM Properties <esnempromertiesltd@gmail.com>
Sent: Tuesday, 8 December 2020 9:21 PM
To: Sujeet Tikaram <Sujeet.Tikaram@fndc.govt.nz>
Subject: Re: FW: RC2300042 - SS Line condition report


Hi Sujeet,

Thanks for the response.

We understand there are roots coming from the lateral line - or the current 6 bisset connection. You are correct, we will be closing this connection off with the development. However, would it not make sense to treat the roots at the same time while you have the trench open? It seems quite expensive and unnecessary for the FNDC to open the trench up, cut roots and flush, then have us organise a separate drainlayer to come in during this and remove more roots and cap off the connection. The variation in price to cap off our line versus the work that needs to be done would be minimal.

We are happy to fix our connection here - we do have a drainlayer coming to do a lot of work connecting the houses so it would be easy to just add that to the list. We just think for the sake of a minor cost increase, could this not be done at the same time as the other remedial work? That is if you are not replacing the line.

Regards,

 Virus-free. www.avast.com

[Quoted text hidden]

[Quoted text hidden]

[Quoted text hidden]

[Quoted text hidden]

Yours Sincerely,

[Quoted text hidden]

[Quoted text hidden]

--

Yours Sincerely,

Mathew Harding
Shane Tregidga

Directors || ESNEM Properties Limited

MH:021 0230 6882
ST: 021 250 6671
E: esnempropertiesltd@gmail.com

Get it done online at your convenience, visit our website - www.fndc.govt.nz

Attention: The information contained in this email (including any attachments) is intended solely for the addressee(s). It is confidential and may be legally privileged. If you have received this email in error you must not use, copy, disclose or distribute it or any information in it. Please simply notify the sender and delete or destroy all copies of the email immediately. Unless formally stated, this e-mail and any attachments do not necessarily reflect the views of the Far North District Council. The Far North District Council accepts no responsibility for any interception of, or changes to, our email after it leaves us. We do not accept responsibility for any viruses or similar carried with our email, or any effects our email may have on the recipients computer system or network.

Far North District Council | Te Kaunihera o Tai Tokerau Ki Te Raki
Ph. 09 401 5200 | Fax. 09 401 2137 | Email. ask.us@fndc.govt.nz
Address. Memorial Avenue, Private Bag 752, Kaikohe 0440, New Zealand

Please consider the environment before printing this email.

--

Yours Sincerely,

Mathew Harding
Shane Tregidga

Directors || ESNEM Properties Limited

MH:021 0230 6882
ST: 021 250 6671
E: esnempropertiesltd@gmail.com

 Virus-free. www.avast.com

[Quoted text hidden]

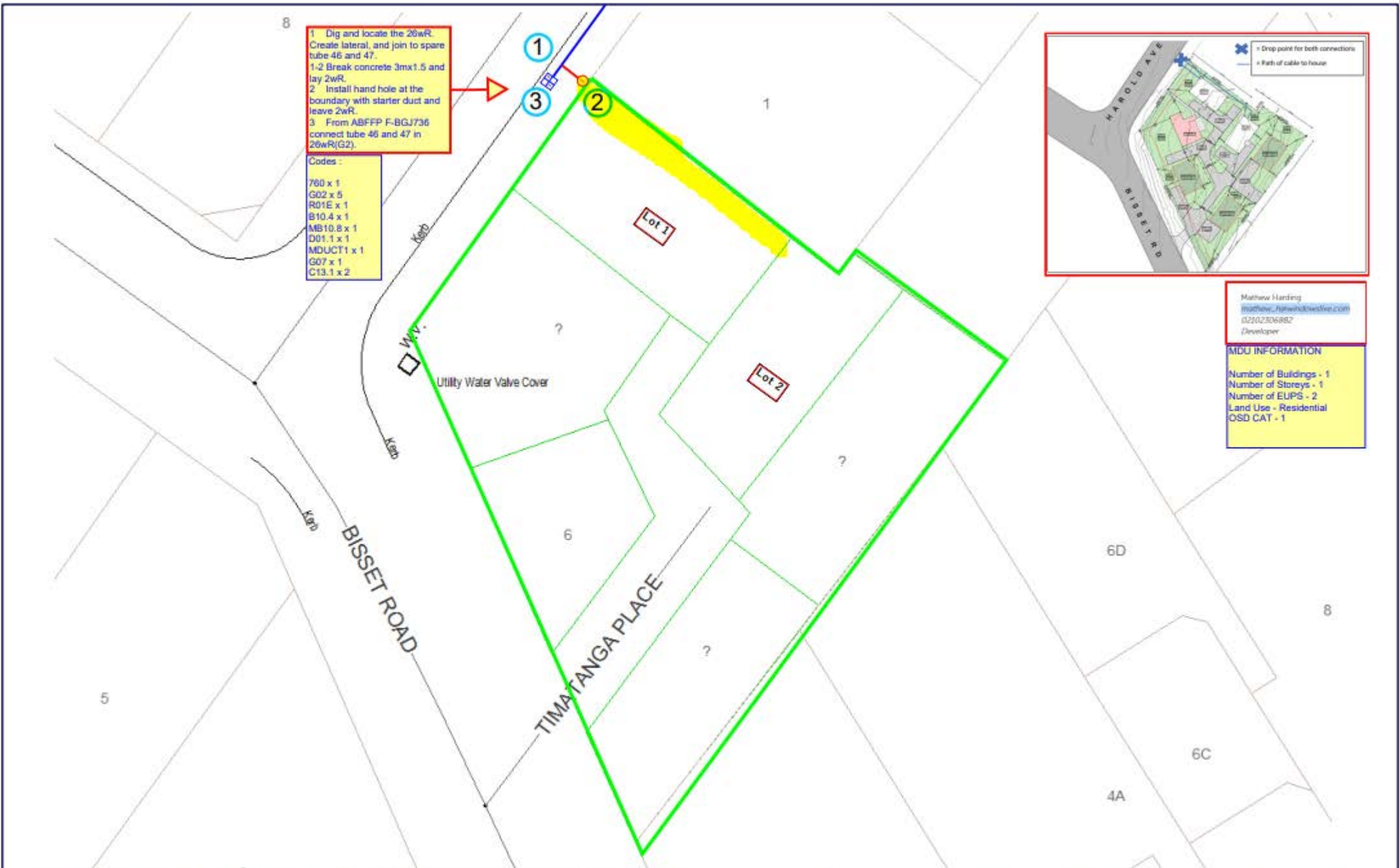
1 Dig and locate the 26wR. Create lateral, and join to spare tube 46 and 47.
 1-2 Break concrete 3mx1.5 and lay 2wR.
 2 Install hand hole at the boundary with starter duct and leave 2wR.
 3 From ABFFFP F-BGJ736 connect tube 46 and 47 in 26wR(G2).

Codes:
 760 x 1
 G02 x 5
 R01E x 1
 B10.4 x 1
 MB10.8 x 1
 D01.1 x 1
 MDUCT1 x 1
 G07 x 1
 C13.1 x 2



Mathew Harding
mohard@hewshardwire.com
 02902306882
 Developer

MDU INFORMATION
 Number of Buildings - 1
 Number of Storeys - 1
 Number of EUPS - 2
 Land Use - Residential
 OSD CAT - 1



RED - PROPOSED / BLUE - EXISTING / PURPLE - FUTURE BUILD / GREEN - TRAINING / ORANGE - CONDUIT	ETP EXTERNAL TERMINATION POINT	ANJON BOX
200 - 200 DUCT & SIZE	BID BUILDING DISTRIBUTOR	PILE
100 - 100 CABLE TRAY	IFFP INTERNAL FIBRE FLEXIBILITY POINT	PENETRATION
300 - 300 CONDUIT & SIZE	FFP FIBRE FLEXIBILITY POINT	CORE HOLE
MERIDNET / ROBINNET	FAT FIBRE ACCESS TERMINAL	PHOTO & DIRECTOR
TRAINING		

REV	DESCRIPTION	DRAWN	DATE
A	ISSUED FOR CONSTRUCTION	MARK	01/09/2022



CLIENT CHORUS	NPD PROJECT	FOR CONSTRUCTION	
Designer	Phone No.	8 Bisset Road, Kaitiaki, Far North	
Mark	096331436	ITTOOLS: 401401	REV A

Chorus New Zealand Limited

29 November 2022

Chorus reference: 10301600



Attention: ESNEM PROPERTIES LIMITED

Chorus clearance letter for development reticulation of Chorus network

2 connections at 6 Bisset Road , Kaikohe, Far North District, 0405

Project: 6 Bisset Road, Kaikohe 0405, Stage 1

We can confirm that satisfactory works have been undertaken to enable the provision of a connected service to the Chorus network for the above development.

This assessment is based on the scheme plan and Land Title plan submitted to Chorus. We note that any required easements may still need to be lodged.

This letter does not cover service lead-ins to individual premises. New occupants will need to contact their chosen internet provider to order a service after 29 November 2022, at which time a service lead-in will be provisioned as required.

Kind Regards

Chorus New Property Development Team



Top Energy Limited

Level 2, John Butler Centre
60 Kerikeri Road
P O Box 43
Kerikeri 0245
New Zealand
PH +64 (0)9 401 5440
FAX +64 (0)9 407 0611

8 July 2022

Mathew Harding
Esnem Properties Ltd

Email: esnempropertiesltd@gmail.com

To Whom It May Concern:

**RE: COMPLETION RC-2300042-RMACOM
Esnem Properties Ltd – 6 Bisset Road, Kaikohe. Lot 2 DP 1611706.**

Thank you for your recent correspondence with attached proposed subdivision scheme plans.

Top Energy wish to advise that the sub divider has made provision for electricity as per conditions of Resource Consent Number: 2300042-RMACOM section 4(m).

If you have any further queries, please do not hesitate to contact the writer.

Yours sincerely

Aaron Birt
Planning and Design
T: 09 407 0685
E: aaron.birt@topenergy.co.nz

DRAFT PLAN

[SUBJECT TO FINAL MEASURE/DESIGN]



CONSTRUCTION DETAILS

TOP ENERGY RESPONSIBILITY

LVUG - Road Reserve - Thrust/install duct and LVUG cable (4c/185mm/AL/XPLE) approx 70m from pillar 820881 on Harold Ave to entrance on Bisset Rd (J1 location shown on plan).

Pillar Install - Install an EP3 pillar at J1 location.

Connection - Provide a 1ph 63A per phase fused connection point at pillar J1. Connect service main cable (installed by others) to the above connection point.

Final Inspection - Inspect, test and live new connection.

CUSTOMER RESPONSIBILITY

Service Main Cable - Customer to arrange their preferred electrical contractor to supply/install the LV UG service main cable from the new pillar to the proposed new meter location.

NOTES:

1. Possible land base inaccuracies. Property boundaries and Top Energy asset locations shown on the plan are an indication only and are subject to onsite verification.

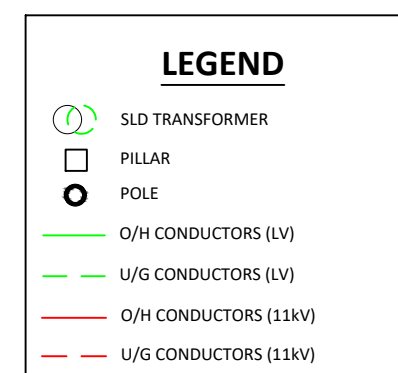
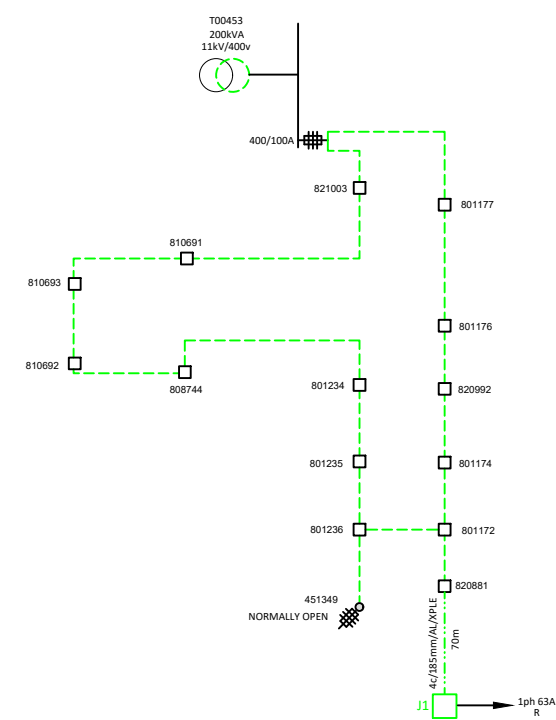
SAP Work Orders

- (CF) 40067288 - Connection Fee
- (CAPC/LV) 40067289 - LVUG Road Reserve/ Pillar Install
- (QUOTE) 20005267

REFERENCE DRAWINGS

10UO-0500-1 Trench Profile

PROPOSED SLD



REV	DESCRIPTION	DRAWN		CHECKED		APPROVED	
		BY	DATE	BY	DATE	BY	DATE
A	INITIAL DESIGN	AC	11/20				

Top Energy
 TePuna Hihiko
 Level 2 John Butler Centre
 60 Kerikeri Road, Kerikeri
 PO Box 43, Kerikeri 0245
 Ph: 09 401 5440
 Fax: 09 401 5605
 www.topenergy.co.nz

DRAWN: AC	DRAWN DATE: 11/20
DESIGNED:	DESIGNED DATE:
CHECKED:	CHECKED DATE:
APPROVED:	APPROVED DATE:
SHEET 1 OF 1	

PROJECT: NEW CONNECTION	DRAWING NUMBER: CIW-4837-1
SUBSTATION: KAIKOHE-0107	FEEDER: KAIKOHE FEEDER
DRAWING TITLE: ESNEM PROPERTIES LTD LOT 3 BISSET RD, KAIKOHE	SERVICE FUSING: 1ph 63A

DRAWING NUMBER	REV
CIW-4837-1	A
SERVICE FUSING	
1ph 63A	

COPYRIGHT © TOP ENERGY 2019 ALL RIGHTS RESERVED. UNAUTHORISED REPRODUCTION PROHIBITED.

Work Pack Ref: C:\VAULTWS\DESIGNS\TE DRAWINGS\03 - PROJECTS\ANDREA\4837-ESNEM\CIW-4837-1.DWG