

DONALDSONS

REGISTERED LAND SURVEYORS

8461

28 June 2024

Planning Division

Far North District Council
Private Bag 752
Kaikohe

Dear Sir/Madam

PROPOSED LAND USE ACTIVITY

I. TAINUI, 1767C STATE HIGHWAY 10, MANGONUI

We submit herewith a Resource Consent application pursuant to Section 87AAC RMA (Fast Track), together with the following:

- Application form & deposit \$1204
- Planning report
- Record of Title
- NZTA comments
- Entrance detail plan
- Land Use plan
- Building Plans

Yours faithfully,

Micah Donaldson

MNZIS - Assoc.NZPI

DONALDSONS

Registered Land / Engineering Surveyors and Development Planners



CSNZ THE CONSULTING
SURVEYORS
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A DIVISION OF THE NEW ZEALAND INSTITUTE OF SURVEYORS



Office Use Only

Application Number:

APPLICATION FOR RESOURCE CONSENT OR FAST-TRACK RESOURCE CONSENT

(Or Associated Consent Pursuant to the Resource Management Act 1991 (RMA))

(If applying for a Resource Consent pursuant to Section 87AAC or 88 of the RMA, this form can be used to satisfy the requirements of Form 9)

Prior to, and during, completion of this application form, please refer to Resource Consent Guidance Notes and Schedule of Fees and Charges – both available on the Council's web page.

1. Pre-Lodgement Meeting

Have you met with a Council Resource Consent representative to discuss this application prior to lodgement? Yes / No

2. Type of Consent being applied for (more than one circle can be ticked):

- Land Use, Fast Track Land Use* (checked), Subdivision, Discharge, Extension of time, Change of conditions, Change of Consent Notice, Consent under National Environmental Standard, Other

*The fast track for simple land use consents is restricted to consents with a controlled activity status and requires you provide an electronic address for service.

3. Would you like to opt out of the Fast Track Process? Yes/ No

4. Applicant Details:

Name/s: I. Tainui

Electronic Address for Service (E-mail): C/o Donaldson's Surveyors Ltd

Phone Numbers: Work: Home:

Postal Address: (or alternative method of service under section 352 of the Act) Post Code:

5. Address for Correspondence: Name and address for service and correspondence (if using an Agent write their details here).

Name/s: Donaldson's Surveyors Ltd

Electronic Address for Service (E-mail):

Phone Numbers: Home:

Postal Address: (or alternative method of service under section 352 of the Act) Post Code:

All correspondence will be sent by email in the first instance. Please advise us if you would prefer an alternative means of communication.

6. Details of Property Owner/s and Occupier/s: Name and Address of the Owner/Occupiers of the land to which this application relates (where there are multiple owners or occupiers please list on a separate sheet if required)

Name/s: Ira Tainui

Property Address/
Location: 1767c State Highway 10, Mangonui

7. Application Site Details:

Location and/or Property Street Address of the proposed activity:

Site Address/
Location: 1767c State Highway 10, Mangonui

Legal Description: Lot 5 DP 209117 & Lot 6 DP 197929 (common access)

Val Number:

Records of Title: RT NA135D/647
Please remember to attach a copy of your Certificate of Title to the application, along with relevant consent notices and/or easements and encumbrances (search copy must be less than 6 months old)

Site Visit Requirements:

Is there a locked gate or security system restricting access by Council staff? Yes / No

Is there a dog on the property? Yes / No

Please provide details of any other entry restrictions that Council staff should be aware of, e.g. health and safety, caretaker's details. **This is important to avoid a wasted trip and having to re-arrange a second visit.**

8. Description of the Proposal:

Please enter a brief description of the proposal here. Attach a detailed description of the proposed activity and drawings (to a recognized scale, e.g. 1:100) to illustrate your proposal. Please refer to Chapter 4 of the District Plan, and Guidance Notes, for further details of information requirements.

Proposed Land Use for Minor Residential Unit.

If this is an application for an Extension of Time (s.125); Change of Consent Conditions (s.127) or Change or Cancellation of Consent Notice conditions (s.221(3)), please quote relevant existing Resource Consents and Consent Notice identifiers and provide details of the change(s) or extension being sought, with reasons for requesting them.

9. Would you like to request Public Notification?

Yes/No

10. Other Consent required/being applied for under different legislation (more than one circle can be ticked):

Building Consent (BC ref # if known) Regional Council Consent (ref # if known)

National Environmental Standard consent Right of Way Section 348 LGA

11. National Environmental Standard for Assessing and Managing Contaminants in Soil to Protect Human Health:

The site and proposal may be subject to the above NES. In order to determine whether regard needs to be had to the NES please answer the following (further information in regard to this NES is available on the Council's planning web pages):

Is the piece of land currently being used or has it historically ever been used for an activity or industry on the Hazardous Industries and Activities List (HAIL)

yes no don't know
Exempt as production land

Is the proposed activity an activity covered by the NES? (If the activity is any of the activities listed below, then you need to tick the 'yes' circle).

yes no don't know

Subdividing land

Changing the use of a piece of land

Disturbing, removing or sampling soil

Removing or replacing a fuel storage system

12. Assessment of Environmental Effects:

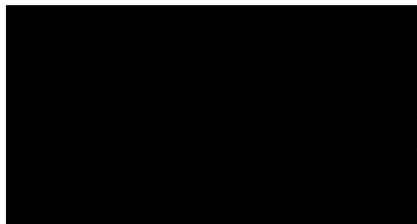
Every application for resource consent must be accompanied by an Assessment of Environmental Effects (AEE). This is a requirement of Schedule 4 of the Resource Management Act 1991 and an application can be rejected if an adequate AEE is not provided. The information in an AEE must be specified in sufficient detail to satisfy the purpose for which it is required. Your AEE may include additional information such as Written Approvals from adjoining property owners, or affected parties.

Please attach your AEE to this application. See within the planning report

13. Billing Details:

This identifies the person or entity that will be responsible for paying any invoices or receiving any refunds associated with processing this resource consent. Please also refer to Council's Fees and Charges Schedule.

Name/s: (please write all names in full)



Email:

Postal Address:

Post Code: 0245

Phone Numbers:

Work: 09-4079182

Home: _____

Fax: _____

Fees Information: An instalment fee for processing this application is payable at the time of lodgement and must accompany your application in order for it to be lodged. Please note that if the instalment fee is insufficient to cover the actual and reasonable costs of work undertaken to process the application you will be required to pay any additional costs. Invoiced amounts are payable by the 20th of the month following invoice date. You may also be required to make additional payments if your application requires notification.

Declaration concerning Payment of Fees: I/we understand that the Council may charge me/us for all costs actually and reasonably incurred in processing this application. Subject to my/our rights under Sections 357B and 358 of the RMA, to object to any costs, I/we undertake to pay all and future processing costs incurred by the Council. Without limiting the Far North District Council's legal rights if any steps (including the use of debt collection agencies) are necessary to recover unpaid processing costs I/we agree to pay all costs of recovering those processing costs. If this application is made on behalf of a trust (private or family), a society (incorporated or unincorporated) or a company in signing this application I/we are binding the trust, society or company to pay all the above costs and guaranteeing to pay all the above costs in my/our personal capacity.

Name: Micah Donaldson

Signature:



(signature of bill payer – mandatory)

Date: 28/06/2024

14. Important Information:

Note to applicant

You must include all information required by this form. The information must be specified in sufficient detail to satisfy the purpose for which it is required.

You may apply for 2 or more resource consents that are needed for the same activity on the same form.

You must pay the charge payable to the consent authority for the resource consent application under the Resource Management Act 1991.

Fast-track application

Under the fast-track resource consent process, notice of the decision must be given within 10 working days after the date the application was first lodged with the authority, unless the applicant opts out of that process at the time of lodgement.

A fast-track application may cease to be a fast-track application under section 87AAC(2) of the RMA.

Privacy Information:

Once this application is lodged with the Council it becomes public information. Please advise Council if there is sensitive information in the proposal. The information you have provided on this form is required so that your application for consent pursuant to the Resource Management Act 1991 can be processed under that Act. The information will be stored on a public register and held by the Far North District Council. The details of your application may also be made available to the public on the Council's website, www.fndc.govt.nz. These details are collected to inform the general public and community groups about all consents which have been issued through the Far North District Council.

Declaration: The information I have supplied with this application is true and complete to the best of my knowledge.

Name: Micah Donaldson (please print)

Signature:  (signature) Date: 28/06/2024

(A signature is not required if the application is made by electronic means)

Checklist (please tick if information is provided)

- Payment (cheques payable to Far North District Council)
- A current Certificate of Title (Search Copy not more than 6 months old)
- Copies of any listed encumbrances, easements and/or consent notices relevant to the application
- Applicant / Agent / Property Owner / Bill Payer details provided
- Location of property and description of proposal
- Assessment of Environmental Effects
- Written Approvals / correspondence from consulted parties
- Reports from technical experts (if required)
- Copies of other relevant consents associated with this application
- Location and Site plans (land use) AND/OR
- Location and Scheme Plan (subdivision)
- Elevations / Floor plans
- Topographical / contour plans

Please refer to Chapter 4 of the District Plan for details of the information that must be provided with an application. Please also refer to the RC Checklist available on the Council's website. This contains more helpful hints as to what information needs to be shown on plans.

Digital Applications may be submitted via E- mail to: Planning.Support@fndc.govt.nz

Only one copy of an application is required, but please note for copying and scanning purposes, documentation should be:

UNBOUND

SINGLE SIDED

NO LARGER THAN A3 in SIZE

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PLANNING REPORT

PROPOSED LAND USE ACTIVITY

MINOR RESIDENTIAL UNIT

I. TAINUI, 1767C STATE HIGHWAY 10, MANGONUI

Date: 28 June 2024

Reference: 8461



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INTRODUCTION

The applicant is seeking consent to formalize the status of a garage sleepout, which has been repurposed into a minor residential unit on Lot 5 DP 209117, situated at 1767c State Highway 10, Mangonui, utilising the Fast Track provisions outlined in Section 87AAC of the Resource Management Act 1991.

The property spans 1.48 hectares, inclusive of a 1/4th share in the common access lot (Lot 6 DP 197929).

The current minor residential unit has a floor area of approximately 55m², complemented by a covered porch and lean-to.

The proposed endeavour aims to legitimise the existing minor residential unit, thereby facilitating the subsequent construction of a primary residential unit, as delineated in the attached land use plan illustrating the existing and proposed structures.

This proposal is advanced as a Controlled activity under the Rural Production zone, and is in accordance with the stipulations delineated in Section 87AAC of the Resource Management Act 1991, governing **fast track** consents.

SITE DESCRIPTION

The property's legal reference:

Appellation:	Lot 5 DP-209117 Lot 6 DP 197929 (common access 1/4 th share)
Registered Owner:	Ira Tainui
Record of Title:	NA135D/647
Total Area:	1.4827ha

The property is located at 1767c State Highway 10, Mangonui.

The property forms a well-established lifestyle block with mature feature trees and landscape plantings. There is currently one building onsite that is described as the proposed "Minor Residential Unit", this has a building consent issued under BC 2007-1158.

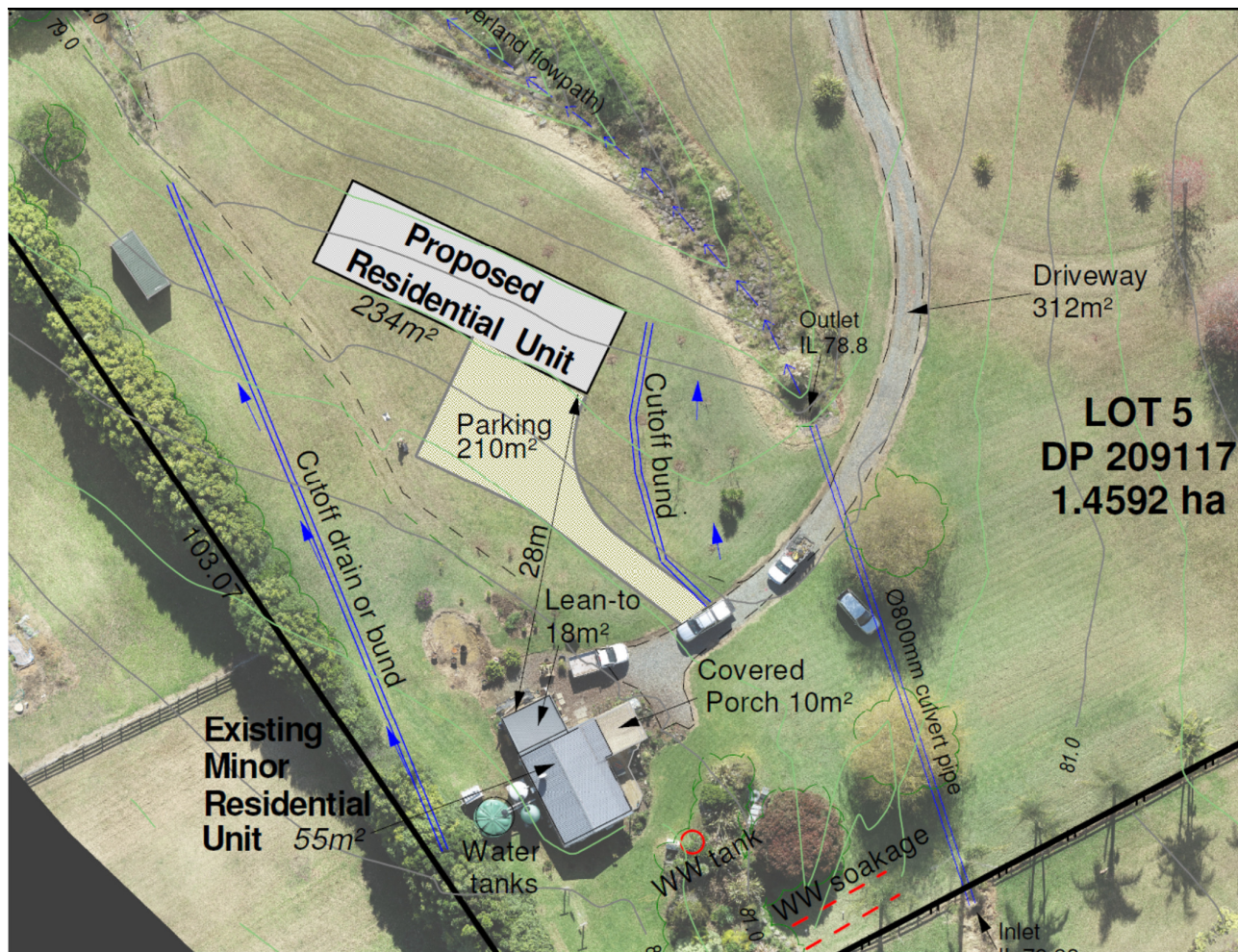
The building is connected to an onsite wastewater system and has a metalled parking area and driveway that leads to the shared common access lot and then on to the State Highway.

The entrance onto State Highway 10 was topographically surveyed and proves to meet NZTA Diagram D standard with a sealed formation.

The proposed residential unit is approximately 234m², positioning 28m north of the minor residential unit on a gentle sloping contour in mown grass.

There is a central vegetated gully through the property that is partly piped with a 800ø culvert, as illustrated on the land use plan.

The soil type is defined as Rangiuru clay – RU (these old semi-volcanic soils are a complex group formed on lava, breccia, scoria and ash) with a land use capability of 4s3. The soils are not within class 1-3 category, therefore are not highly productive.



FAR NORTH DISTRICT PLAN

The property is located in the Rural Production zone under the provisions of the Far North District Plan and is not located within any outstanding landscape.

PERMITTED LAND USE ACTIVITY

8.6.5.1.1 RESIDENTIAL INTENSITY

Residential development shall be limited to one unit per 12ha of land. In all cases the land shall be developed in such a way that each unit shall have at least 3,000m² for its exclusive use surrounding the unit plus a minimum of 11.7ha elsewhere on the property.

Except that this rule shall not limit the use of an existing site, or a site created pursuant to **Rule 13.7.2.1 (Table 13.7.2.1)** for a single residential unit for a single household, provided that all other standards for permitted activities are complied with.

The site exists and was created under rule 13.7.2.1, therefore the principal residential unit is permitted.

The development involves constructing one new residential unit, and the existing building becomes the minor residential unit.

The proposal fails to comply with the permitted activity rule, and therefore defaults to a Controlled Activity.

8.6.5.1.2 SUNLIGHT

*No part of any building shall project beyond a 45 degree recession plane as measured inwards from any point 2m vertically above ground level on any site boundary (refer to definition of Recession Plane in **Chapter 3 - Definitions**), except where a site boundary adjoins a legally established entrance strip, private way, access lot, or access way serving a rear site, the measurement shall be taken from the farthest boundary of the entrance strip, private way, access lot, or access way.*

All buildings easily comply without concern.

8.6.5.1.3 STORMWATER MANAGEMENT

The maximum proportion of the gross site area covered by buildings and other impermeable surfaces shall be 15%.

The total site cover including buildings and access formation calculate at 955m², being 6.5%.

The roof areas as shown on the land use plan, have a slightly larger coverage than does the floor area, an inconsequential difference.

The proposal complies.

8.6.5.1.4 SETBACK FROM BOUNDARIES

No building shall be erected within 10m of any site boundary;

The only influencing boundary to the west.

The proposed residential unit is to be located 22m from the western boundary, and the existing minor residential unit is located 10m from the western boundary.

12.4.6.1.2 FIRE RISK TO RESIDENTIAL UNITS

(a) Residential units shall be located at least 20m away from the drip line of any trees in a naturally occurring or deliberately planted area of scrub or shrubland, woodlot or forest;

The proposed building is located more than 20m from any bush or woodlot, and therefore complies.

There are no nearby streams, rivers, or lakes to consider. The overland flowpath does not constitute a river.

8.6.5.1.5 TRAFFIC INTENSITY

15.1.6A TRAFFIC

The Traffic Intensity Factor for a site in this zone is 60 daily one way movements, unless the site gains access off a State Highway administered by the New Zealand Transport Agency, in which case the Traffic Intensity Factor is 30 daily one way movements.

A single residential unit contributes 10 one-way traffic movements, and a minor residential unit is factored into the same allocation under this rule, and therefore overall the 20-one-way movements complies with the permitted 30 movement allowance.

Exemptions: The first residential unit on a site, farming, forestry and construction traffic (associated with the establishment of an activity) are exempt from this rule.

Traffic using the shared access (Lot 6 DP 197929) are all from the first residential units on each applicable site and therefore are 'exempt'.

15.1.6B.1.1 ON-SITE CAR PARKING SPACES

Where:

- (i) an activity establishes; or*
- (ii) the nature of an activity changes; or*
- (ii) buildings are altered to increase the number of persons provided for on the site;*

Both the minor residential unit, and residential unit, would each have 2 carparks that comply with size and manoeuvring requirements.

15.1.6B.1.4 ACCESSIBLE CAR PARKING SPACES

Accessible carparks are not a requirement.

15.1.6C.1.1 PRIVATE ACCESSWAY IN ALL ZONES

Appendix 3B-1 requires a legal boundary width of 7.5m, and carriageway width of 3m with passing bay at 100m intervals or on blind corners.

The access provides for 4 properties (*household equivalents*), each occupying one residential unit.

The application site exits the shared access after just 25m, therefore having little influence on traffic movements. The formation width is 3.5m, and there is one combined passing bay and turning area, approximately 100m from the entrance onto State Highway 10.

The legal width of the access is made up of two components; 6m is part of the common access lot (Lot 6 DP 197929), and a further 4m forms as a legal 'right of way', shown area 'B', over Lot 1 DP 197929. A total of 10m legal width.

The access accordingly complies with Appendix 3B-1.

15.1.6C.1.5 VEHICLE CROSSING STANDARDS IN RURAL AND COASTAL ZONES

The entrance onto State Highway 10 is in good condition and closely represents an NZTA Diagram D standard with a sealed formation. NZTA has been consulted with their comments attached.

The entrance complies with council engineering standards and guidelines.

15.1.6C.1.7 GENERAL ACCESS STANDARDS

There is no requirement for any vehicles to reverse off site.

All corners have radius that exceed 15m, suitable for heavy rigid vehicles.

Berms are vegetated and stormwater flows to defined watercourse.

The access upholds existing use rights and is adequate for the proposed land use.

8.6.5.1.6 KEEPING OF ANIMALS

Not applicable.

8.6.5.1.7 NOISE

No concern.

8.6.5.1.8 BUILDING HEIGHT

The maximum height of any building shall be 12m.

No concern all building are single storied.

8.6.5.1.9 HELICOPTER LANDING AREA

Not applicable.

8.6.5.1.10 BUILDING COVERAGE

Any new building or alteration/addition to an existing building is a permitted activity if the total Building Coverage of a site does not exceed 12.5% of the gross site area.

The total building coverage is approximately 2% and therefore complies.

8.6.5.1.11 SCALE OF ACTIVITIES

Not applicable.

8.6.5.1.12 TEMPORARY EVENTS

Not applicable.

CONTROLLED ACTIVITIES**8.6.5.2.3 MINOR RESIDENTIAL UNIT**

Minor residential units are a controlled activity in the zone provided that:

(a) there is no more than one minor residential unit per site;

There would be only one minor residential unit on the site.

(b) the site has a minimum net site area of 5000m²

The net site area exceeds 5000m² and therefore complies.

(c) the minor residential unit shares vehicle access with the principal dwelling;

Access is currently in place and would be shared with the principal dwelling.

(d) the separation distance of the minor residential unit is no greater than 30m from the principal dwelling.

The separation distance from the principal unit is 28m, and therefore complies.

Definition: Minor Residential unit is contained in Chapter 3 and reads as follows:
(i) is not more than 65m² GFA, plus an attached garage or carport with GFA not exceeding 18m² (for the purpose of vehicle storage, general storage and laundry facilities). The garage area shall not be used for living accommodation;

The minor residential unit is made up of:

- internal floor area of 55m²
- external covered porch at 10m² (not enclosed more than 50%)
- carport/lean-to : 18m²

The minor residential unit complies with the definition.

GROSS FLOOR AREA

The area includes all floors of all buildings on the site, and includes:

(d) floor space in terraces (open or roofed), external balconies, breezeways or porches if more than 50% of the perimeter is enclosed, except that a parapet not higher than 1.2m or a railing not less than 50% open and not higher than 1.4m shall not constitute an enclosure. (A 'breezeway' is a roofed outdoor area);

The covered deck is not more than 50% enclosed and therefore does not meet the definition of Gross Floor Area.

(ii) is subsidiary to the principal dwelling on the site;

The minor residential unit will appear subsidiary to the proposed principal residential unit.

(iii) is located and retained within the same Certificate of Title as the principal dwelling on the site.

Both buildings are contained on the same title.

Controlled Activity Assessment

In considering an application under this provision, the Council will restrict the exercise of its control to the following matters:

(i) the extent of the separation between the principal dwelling and the minor residential unit

The separation distance is ideal to maintain connectivity between the two buildings yet achieve sufficient privacy with approximately 15m of open lawn allowing for further screen planting if required.

(ii) the degree to which design is compatible with the principal dwelling;

Both buildings align on a northwest / southeast axis, with the same pitched roof and rectangular shape. The designs are considered compatible with one another.

(iii) the extent that services can be shared;

The intention is to share existing electricity and telecommunication cables, wastewater disposal, and the existing access formation. The proposed principal dwelling only requires a small parking and manoeuvring area, at just 71m².

The proposal utilises all existing services consequently minimising the impact on the environment.

(iv) the ability to mitigate any adverse effects by way of provision of landscaping and screening;

The site is well established with mature feature tree throughout and landscape planting that creates privacy and increased amenity value. The effects caused by the proposal do not require additional mitigation in this regard.

(v) the location of the unit.

The minor residential unit is located in the southern most corner of the site, compliant with minimum building to boundary setbacks of 10m. The location is more than 100m from any public space (State Highway 10).

The surrounding properties are all lifestyle in use, and of similar site area, with exception to the south eastern boundary, which adjoins the Whangaroa Golf Club.

Any effects occurring from the minor residential unit are well contained and do not detract from the level of effects already occurring from the site, based on its current use.

OBJECTIVES & POLICIES

RURAL ENVIRONMENT

OBJECTIVES

8.3.2

To ensure that the life supporting capacity of soils is not compromised by inappropriate subdivision, use or development.

The property is used as a lifestyle lot absent of any production base, instead it certainly lends itself to residential activity. Very little soil needs to be disturbed to complete the activity, and all soil would remain onsite for landscaping purposes, maintaining overall the soils onsite life supporting capacity.

8.3.10

To enable the activities compatible with the amenity values of rural areas and rural production activities to establish in the rural environment.

The subject property and those surrounding are already lifestyle based, such that the additional building does not detract from the existing theme, or introduce any new out of character activity.

The wider vicinity includes the Whangaroa Golf course, which is seen to be a compatible activity, in fact, making the site rather desirable for any golf enthusiast.

POLICIES**8.4.1**

That activities which will contribute to the sustainable management of the natural and physical resources of the rural environment are enabled to locate in that environment.

The vicinity has a definite theme of residential / lifestyle activity, and residential use forms a sustainable use of the land, anything contrary to residential would likely detract from the environment.

8.4.2

That activities be allowed to establish within the rural environment to the extent that any adverse effects of these activities are able to be avoided, remedied or mitigated and as a result the life supporting capacity of soils and ecosystems is safeguarded and rural productive activities are able to continue.

All effects are deemed low impact and compatible. The site is well established and sufficiently large enough to absorb the effects from the proposed land use. Consequently, there is no implied need to enforce any mitigation under consent conditions.

RURAL PRODUCTION ZONE**OBJECTIVES****8.6.3.2**

To enable the efficient use and development of the Rural Production Zone in a way that enables people and communities to provide for their social, economic, and cultural well being and for their health and safety.

8.6.3.3

To promote the maintenance and enhancement of the amenity values of the Rural Production Zone to a level that is consistent with the productive intent of the zone.

POLICIES**8.6.4.1**

That the Rural Production Zone enables farming and rural production activities, as well as a wide range of activities, subject to the need to ensure that any adverse effects on the environment, including any reverse sensitivity effects, resulting from these activities are avoided, remedied or mitigated and are not to the detriment of rural productivity.

8.6.4.7

That although a wide range of activities that promote rural productivity are appropriate in the Rural Production Zone, an underlying goal is to avoid the actual and potential adverse effects of conflicting land use activities.

The objectives and policies support the land use activity environment. The proposal is considered to promote the nature of this rural environment, without cause to any adversity on rural production activity.

The proposal finds no disconnect with the objectives and policies and certainly is not repugnant to their intent.

RESOURCE MANAGEMENT ACT 1991

Fourth Schedule

ASSESSMENT OF ENVIRONMENTAL EFFECTS

The following assesses the environmental effects of the proposed activity in accordance with the Resource Management Act 1991 (RMA). The activity under consideration involves the establishment of a minor residential unit. Below is a detailed examination of the potential environmental impacts and adherence to regulatory standards.

1. **Hazardous Substances and Contaminants:**

- There are no hazardous substances associated with the proposed activity.
- No discharge of contaminants is anticipated.

2. **Adverse Environmental Effects:**

- The proposal does not disproportionately cause adverse environmental effects or undermine rural production capacity.
- There are no adverse impacts on adjoining rural activities.
- The proposed activity aligns with the environmental expectations of the zone.

3. **Compliance with RMA Principles:**

- The proposal is consistent with the purpose and principles of the RMA.
- It does not conflict with matters of national importance.
- No impact on local iwi or hapu management plans or heritage concerns.

4. **National Environmental Standards:**

- The proposal does not raise concerns regarding potential soil contamination as the site is not on the Hazardous Activities and Industries List (HAIL), and the land already has a residential use.

CLAUSE 6

(1) An assessment of the activity's effects on the environment must include the following information:

(a) *if it is likely that the activity will result in any significant adverse effects on the environment, a description of any possible alternative locations or methods for undertaking the activity;*

The proposed land use presents no significant adverse effects, and effects are well managed.

(b) *an assessment of the actual or potential effects on the environment of the activity.*

The actual physical effects associated with the minor residential unit (as a structure) meets the permitted activity standards; for example as a standalone sleepout.

The principle residential unit is also able to uphold the permitted activity standards as the only residential unit on site.

(c) *if the activity includes the use of hazardous substances and installations, an assessment of any risk to the environment that are likely to arise from such use.*

There are none.

(d) *if the activity includes the discharge of any contaminants, a description of –*
 (i) *the nature of the discharge and the sensitivity of the receiving environment to adverse effects; and*
 (ii) *any possible alternative methods of discharge, including discharge into any other receiving environment:*

Wastewater is the only discharge and this is in accordance with industry standards.

(e) *a description of the mitigation measures (including safeguards and contingency plans where relevant) to be undertaken to help prevent or reduce the actual or potential effects:*

There are no issues to address.

(f) *identification of the persons affected by the activity and consultation undertaken, and any response to the views of any person consulted:*

All physical effects are compliant with permitted standards, and the buildings use as a minor residential unit upholds the controlled activity standards, whilst meeting the intentions of both objectives and policies, therefore on that basis there are no affected parties.

(g) *if the scale and significance of the activity's effects are such that monitoring is required, a description of how and by whom the effects will be monitored if the activity is approved:*

No monitoring appears necessary.

(h) *if the activity will, or is likely to, have adverse effects that are more than minor on the exercise of a protected customary right, a description of possible alternative locations or methods for the exercise of the activity (unless written approval for the activity is given by the protected customary rights group).*

No concern.

(2)

A requirement to include information in the assessment of environmental effects is subject to the provisions of any policy statement or plan.

This is covered under the heading 'Northland Regional Policy Statement' below.

CLAUSE 7

7 Matters that must be addressed by assessment of environmental effects

(1) *An assessment of an activity's effects on the environment must address the following matters:*

(a) *any effect on those in the neighbourhood and, where relevant, the wider community, including any social, economic, or cultural effects:*

The proposal is considered to promote the zone guidelines and surrounding land use activities, without any unreasonable effects to concern the wider community including social and economic or cultural aspects.

(b) *any physical effects on the locality, including any landscape, and visual effects.*

No concern.

(c) *Any effects on ecosystems, including effects on plants or animals and any physical disturbance of habitats in the vicinity.*

The land use does not result in any habitat disturbance.

(d) *any effect on natural and physical resources having aesthetic, recreational, scientific, historical, spiritual, or cultural values, or other special value, for present and future generations:*

The values outlined are not seen to be depleted in this instance.

There is no influence on Fisheries.

(e) *any discharge of contaminants in to the environment, including any unreasonable emissions of noise, and options for the treatment and disposal of contaminants:*

There are none associated with the proposal.

(f) *any risk to the neighbourhood, the wider community, or the environment through natural hazards or the use of hazardous substances or hazardous installations.*

To the best of our knowledge there are no concerns.

In summary, the proposed activity upholds the fundamental principles of the Resource Management Act (RMA) and is projected to exert minimal environmental influence. It represents a constructive step towards optimising land usage and enhancing social well-being without compromising environmental integrity. The assessment conducted, underscores compliance with regulatory requirements and signifies the proposal's suitability within its environmental context. Thus, based on its compatibility with surrounding conditions and adherence to regulatory standards, the proposed activity aligns with the overarching objectives of sustainable development and environmental stewardship outlined in the RMA.

Northland Regional Policy Statement

The Northland Regional Policy Statement presents foundation development guidelines for the northland region.

PART 3: OBJECTIVES

3.4 Indigenous ecosystems and biodiversity

Safeguard Northland's ecological integrity by:

- a) Protecting areas of significant indigenous vegetation and significant habitats of indigenous fauna;*
- b) Maintaining the extent and diversity of indigenous ecosystems and habitats in the region; and*
- c) Where practicable, enhancing indigenous ecosystems and habitats, particularly where this contributes to the reduction in the overall threat status of regionally and nationally threatened species.*

The site has a central stormwater gully and overland flowpath that is partially piped via 800ø culvert. The central gully is also rocked lined (manmade) and well vegetated with grasses, reducing likelihood of sediment dislodgement. This stormwater route leads to mature bush farther north on adjoining properties.

There are no known wetlands within 100m of the proposed activity.

Stormwater discharge would be addressed at the building consent stage.

6.1.1 Policy – Regional and district plans

Regional and district plans shall:

- (a) Only contain regulation if it is the most effective and efficient way of achieving resource management objective(s), taking into account the costs, benefits and risks;*
- (b) Be as consistent as possible;*
- (c) Be as simple as possible;*
- (d) Use or support good management practices;*
- (e) Minimise compliance costs and enable audited self-management where it is efficient and effective;*
- (f) Enable subdivision, use and development that accords with the Regional Policy Statement; and*
- (g) Focus on effects and where suitable use performance standards.*

The activity is small-scale absent of any adverse effects on natural vegetation or waterways.

The proposal is not seen to clash with the Regional Policy Statement and therefore should be assessed under Resource Consent on an enabling basis.

Subdivision, use and development should be located, designed and built in a planned and co-ordinated manner which:

(a) Is guided by the 'Regional Form and Development Guidelines' in Appendix 2;

5.1.1 Policy – Planned and coordinated development

Part A) Regional form and development guidelines

New subdivision, use and development should:

(a) Demonstrate access to a secure supply of water;

No concern, the increase in roof area will increase the catchment for potable supplies.

(b) Demonstrate presence or capacity or feasibility for effective wastewater treatment;

There is ample area for onsite effluent disposal without concern.

(c) If of an urban or residential nature connect well with existing development and make use of opportunities for urban intensification and redevelopment to minimise the need for urban development in greenfield (undeveloped) areas;

This is not urban or residential.

(d) If of an urban or residential nature provide, where possible, opportunities to access a range of transport modes;

Not applicable.

(e) If of a community-scale, encourage flexible, affordable and adaptable social infrastructure that is well located and accessible in relation to residential development, public transport services and other development;

Not applicable.

(f) Recognise the importance of and provide for parks, in regards to medium and large-scale residential and residential / mixed use development.

Not applicable.

(g) If of a residential nature be, wherever possible, located close to or sited in a manner that is accessible to a broad range of social infrastructure;

Not applicable.

(h) Be directed away from regionally significant mineral resources and setback from their access routes to avoid reverse sensitivity effects;

There are no known nearby regionally significant mineral resources.

(i) Be designed, located and sited to avoid adverse effects on energy transmission corridors and consented or designated renewable energy generation sites (refer to 'Regional form and infrastructure' for more details and guidance);

There are no subject energy transmission corridors, or renewable energy sites.

(j) Be designed, located and cited to avoid significant adverse effects on transportation corridors and consented or designated transport corridors;

There are no known adverse effects on transportation corridors, and NZTA have provided support.

(k) Be directed away from 10-year and 100-year flood areas and high risk coastal hazard areas (refer to 'Natural hazards' for more details and guidance);

There are no flooding areas or high-risk coastal hazards on site. Flooding does occur within the wider environment as shown on the NRC flood maps. The sites existing impermeable surface cover upholds existing use rights and proposal maintains within permitted site coverage allowance, any stormwater effects therefore are compliant.

(l) Seek to maintain or improve outstanding landscape and natural character values and provide for the protection of significant historic and cultural heritage from inappropriate subdivision, use and development (refer to 'Land, Water and Common Resources' for more details and guidance);

There are no outstanding landscapes.

(m) Protect significant ecological areas and species, and where possible enhance indigenous biological diversity (refer to 'Maintaining and enhancing indigenous ecosystems and species' for more details and guidance);

There is no impact on significant ecological areas. The central gully is already well planted, creating its own habitat.

(n) Maintain and improve public access to and along the coastal marine area, lakes and rivers;

Not applicable.

(o) Avoid or mitigate adverse effects on natural hydrological characteristics and processes (including aquifer recharge), soil stability, water quality and aquatic ecosystems, including through low impact design methods where appropriate;

No concerns.

(p) Adopt, where appropriate, sustainable design technologies such as the incorporation of energy-efficient (including passive solar) design, low-energy street lighting, rain gardens, renewable energy technologies, rainwater storage and grey water recycling techniques;

Many of these aspects are possible through the building consent process.

(q) Be designed to allow adaptation to the projected effects

No concern.

(r) Consider effects on the unique tangata whenua relationships, values, aspirations, roles and responsibilities with respect to the site of development;

Tangata whenua are protective of waterways and water quality and the proposal does not undermine those aspirations.

(s) Encourage waste minimisation and efficient use of resources (such as through resource-efficient design and construction methods);

As described, by utilising the existing building as a minor residential unit, this allows the applicant to construct a small dwelling, and with all existing infrastructure being utilised this overall supports the efficient use of resources.

(t) Take into account adopted regional / sub-regional growth strategies;

No concern with this small-scale activity.

(u) Where appropriate, encourage housing choice and business opportunities, particularly within urban areas.

Lifestyle allotments are an important component of the rural environment, and by intensifying, the onsite use for residential based living enhances the sustainability of the land without undue compromise to the natural environment or integrity of the rural zone.

(b) Is guided by the 'Regional Urban Design Guidelines' in Appendix 2 when it is urban in nature;

Not applicable.

(c) Recognises and addresses potential cumulative effects of subdivision, use, and development, and is based on sufficient information to allow assessment of the potential long-term effects;

The very nature of the wider environment is certainly diverse and has proven over many years to form a well-integrated community with no conflicting effects.

(d) Is integrated with the development, funding, implementation, and operation of transport, energy, water, waste, and other infrastructure;

No concerns.

(e) Should not result in incompatible land uses in close proximity and avoids the potential for reverse sensitivity;

Overall, there is no change to the sites actual use.

(f) Ensures that plan changes and subdivision to / in a primary production zone, do not materially reduce the potential for soil-based primary production on land with highly versatile soils, or if they do, the net public benefit exceeds the reduced potential for soil-based primary production activities; and

No concern, there is no reduction to soil-based primary production.

(g) Maintains or enhances the sense of place and character of the surrounding environment except where changes are anticipated by approved regional or district council growth strategies and / or district or regional plan provisions.

The proposal does not change the sense of place, already exhibiting a defined lifestyle theme that the proposal expands on.

(h) Is or will be serviced by necessary infrastructure.

The site is serviced with all necessary infrastructure.

NATIONAL POLICY STATEMENT FOR HIGHLY PRODUCTIVE LAND 2022

Highly productive land is to be protected for use in land based primary production, both now and for future generations, and is to be recognised as a resource with finite characteristics and long term values for land based primary production.

1.3 Interpretation

Highly productive land – means land that has been mapped in accordance with clause 3.4 and is included in an operative regional policy statement as required by clause 3.5 (but see clause 3.5(7) for what is treated as highly productive land before the maps are included in an operative regional policy statement and clause 3.5(6) for when land is rezoned and therefore ceases to be highly productive land).

The site does not have highly productive class 1 – 3 soil.

NATIONAL POLICY STATEMENT For Freshwater Management 2020

Part 1

1.3 Fundamental concept – Te Mana o te Wai

(1) Te Mana o te Wai is a concept that refers to the fundamental importance of water and recognises that protecting the health of freshwater protects the health and well-being of

the wider environment. It protects the mauri of the wai. Te Mana o te Wai is about restoring and preserving the balance between the water, the wider environment, and the community.

Objectives and Policies

2.1

The objective of this National Policy Statement is to ensure that natural and physical resources are managed in a way that priorities:

- (a) first, the health and wellbeing of water bodies and freshwater ecosystems*
- (b) second, the health needs of people (such as drinking water)*
- (c) third, the ability of people and communities to provide for their social, economic and cultural wellbeing, now and in the future.*

2.2

Policy 3

Freshwater is managed in an integrated way that considers the effects of the use and development of land on a whole-of-catchment basis, including the effects on receiving environments.

Policy 4

Freshwater is managed as part of New Zealand's integrated response to climate change.

Policy 6

There is no further loss of extent of natural inland wetlands, their values are protected, and their restoration promoted.

Policy 9

The habitats of indigenous freshwater species are protected.

3.5 Integrated management

(1) Adopting an integrated approach ki uta ki tai, as required by Te Mana o te Wai, requires that local authorities must:

- (a) recognise the interconnectedness of the whole environment, from the mountains and lakes, down the rivers to lagoons, estuaries and to the sea.*
- (b) recognise interactions between freshwater, land, water bodies, ecosystems, and receiving environments.*
- (c) manage freshwater, and land use and development, in catchments in an integrated and sustainable way to avoid, remedy, or mitigate adverse effects, including cumulative effect on the health and well-being of water bodies, freshwater ecosystems, and receiving environments.*

- (d) Encourage the co-ordination and sequencing of regional or urban growth.*

The national policy statement presents strong incentives for development to 'avoid' actual or potential effects that would compromise wetlands, or the natural components linked to waterways.

It has been described that the central watercourse defines a well vegetated overland flowpath, with stabilised base that reduces the impacts associated with sediment dislodgement, and encourages stormwater absorption during a storms inception.

The applicant has offered to include a sediment control plan during the building consent stage of the principle residential unit, in accordance with GD05.

There are no known wetlands within 100m of any proposed lot.

The proposal therefore presents a low-impact risk to those vulnerable components described within the Freshwater Policy.

PROPOSED DISTRICT PLAN

The Rural Production zone is the largest zone in the district and accounts for approximately 65% of all land. The Rural Production zone is a dynamic environment, influenced by changing farming and forestry practices and by a wide range of productive activities. The purpose of this zone is to provide for primary production activities including non-commercial, quarrying, farming, intensive indoor primary production, plantation forestry activities, and horticulture

There is also a need to accommodate recreational and tourism activities that may occur in the rural environment, subject to them being complementary to the function, character and amenity values of the surrounding environment.

Council has a responsibility under the RMA and the Northland Regional Policy Statement to manage the rural land resource to provide for the economic, social and cultural well-being of people and communities, protect highly versatile soils, and avoid reverse sensitivity effects on primary production activities.

The proposed minor residential unit activity is not influenced by the proposed district plan because the site is not subject to those parameters currently having legal effect; natural hazards, ecological, cultural / historical or earthworks that do not uphold permitted activity status.

The following is described for consistency, to demonstrate that the proposed activity accords with the districts future planning directives.

Objectives

RPROZ03

Land use and subdivision in the Rural Production zone:

- a. protects highly productive land from sterilisation and enables it to be used for more productive forms of primary production;*
- b. protects primary production activities from reverse sensitivity effects that may constrain their effective and efficient operation;*
- c. does not compromise the use of land for farming activities, particularly on highly productive land;*
- d. does not exacerbate any natural hazards; and*
- e. is able to be serviced by on-site infrastructure.*

RPROZP4

Land use and subdivision activities are undertaken in a manner that maintains or enhances the rural character and amenity of the Rural Production zone, which includes:

- a. a predominance of primary production activities;*
- b. low density development with generally low site coverage of buildings or structures;*
- c. typical adverse effects such as odour, noise and dust associated with a rural working environment; and*
- d. a diverse range of rural environments, rural character and amenity values throughout the district.*

The proposal is consistent with the objectives and policies of the proposed district plan.

Rules**RPROZ-R19 Minor residential unit**

Activity status: Controlled

Where:

CON-1

The number of minor residential units on a site does not exceed one.

CON-2

The site area per minor residential unit is at least one hectare.

CON-3

The minor residential unit shares vehicle access with the principal residential unit.

CON-4

The separation distance between the minor residential unit and the principal residential unit does not exceed 15m.

CON-5

The minor residential unit:

- 1. does not exceed a GFA of 65m² ;*
- 2. with an optional attached garage or carport that does not exceed GFA of 18m² , where the garage or carport is used for vehicle storage, general storage and laundry facilities.*

The proposed district plan presents the same standards as the operative rules and therefore the activity complies with the Controlled Activity status.

Earthworks

Earthworks involve the alteration or disturbance of land, including by moving, removing, placing, blading, cutting, contouring, filling or excavation of earth. Earthworks are an integral part and necessary component of the use and development of rural and urban land for living, business and recreation purposes. In addition, earthworks are a key component of the development, operation, maintenance and upgrading of infrastructure.

Objectives & Policies

EW-01

Earthworks are enabled where they are required to facilitate the efficient subdivision and development of land, while managing adverse effects on waterbodies, the coastal marine area, public safety, surrounding land and infrastructure.

EW-P1

Enable earthworks necessary to provide for the district's social, economic and cultural well-being, and their health and safety where they provide for:

- a) urban land uses and development within urban zones;*
- b) rural land uses and development including, farm tracks, land drainage, and other farming activities within the Rural zones;*
- c) conservation and recreation activities;*
- d) land drainage and flood control works; and*
- e) installation, upgrade and maintenance of infrastructure.*

Rules

EW-R13 Earthworks and erosion and sediment control

All zones

Activity status: Permitted

Where:

PER-1

The earthworks complies with standard EW-S5 Erosion and sediment control.

Standards**Maximum earthworks thresholds**

Rural Production, Horticulture, Kauri Cliffs, Ngawha Innovation Park, Māori Purpose - Rural

The following maximum volumes and area thresholds for all earthworks undertaken on a site within a single calendar year:

EW-S1 Zone	Volume (m³)	Area (m²)
General Residential, Mixed Use, Light Industrial, Heavy Industrial, Hospital, Horticulture Processing Facility, Carrington, Kororāreka Russell Township, Hospital, Māori Purpose - Urban	200	2,500
Natural Open Space, Open Space, Sport and Active Recreation, Rural Residential, Settlement, Quail Ridge, Airport	300	2,500
Rural Lifestyle	1000	2,500
Rural Production, Horticulture, Kauri Cliffs, Ngawha Innovation Park, Māori Purpose - Rural	5000	2,500

<p>EW-S2</p> <p>Maximum depth and slope</p>	<p>The maximum depth of any cut or height of any fill shall not exceed:</p> <p>1) 1.5m, i.e. maximum permitted cut and fill height may be 3m; or 2) 3m subject to it being retained by a engineered retaining wall, which has had a building consent issued.</p>	<p>Where the standard is not met, matters of <u>discretion are restricted to:</u></p> <p>a) the location, scale and volume; b) depth and height of cut and fill; c) the extent of exposed surfaces or stockpiling of fill; d) the risks of natural hazards, particularly flood events; e) stormwater controls; f) flood storage, overland flow paths and drainage patterns; g) impacts on natural coastal processes; h) the stability of land, buildings and infrastructure; i) natural character, landscape, historic heritage, spiritual and cultural values; j) the life-supporting capacity of soils; k) the extent of indigenous vegetation clearance and its effect on biodiversity; l) impact on any outstanding natural character, outstanding natural landscapes and outstanding natural features; m) riparian margins; n) the location and use of infrastructure; o) temporary or permanent nature of any adverse effect; p) traffic and noise effects; q) time of year earthworks will be carried out and duration of the activity; and r) impact on visual and amenity values.</p>
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Earthworks associated with the proposal would uphold permitted activity standards.

EW-S3 *Accidental discovery protocol*

The property is not recorded as having any archaeological sites.

Conditions of consent may include that Heritage NZ be contacted if any artifacts are uncovered during earthworks associated with the principal residential unit, and works shall stop until advised.

EW-S5 *Erosion and sediment control*

- 1) *must for their duration be controlled in accordance with the Erosion and Sediment Control Guidelines for Land Disturbing Activities in the Auckland Region 2016 (Auckland Council Guideline Document GD2016/005);*
- 2) *shall be implemented to prevent silt or sediment from entering water bodies, coastal marine area, any stormwater system, overland flow paths, or roads.*

Conditions of consent may include that earthworks associated with the principle residential unit include a sediment control plan in accordance with GD05.

EW-S6 *Setback*

Earthworks must be setback by the following minimum distances:

- 1) earthworks supported by engineered retaining walls - 1.5m from a site boundary;*
- 2) earthworks not supported by engineered retaining walls - 3m from a site boundary;*
- 3) earthworks must be setback by a minimum distance of 10m from coastal marine area.*

Note: setbacks from waterbodies is managed by the Natural Character chapter.

The proposal complies with setback standards.

CONCLUSION

The proposed minor residential unit changes the use of an existing building, and serves to support a more compact design and establishment of the proposed principal residential unit. This proves possible in a way that complements the established rural lifestyle theme, evidencing its capability to integrate into the surrounding environment without eliciting adverse effects that exceed the permitted activity parameters or conflict with rural activity, thus upholding the intended ethos of the rural production zone.

Furthermore, the use of the existing building as a minor residential unit adheres to the Controlled Activity provisions delineated in the Rural Production zone whilst upholding Section 87AAC of the Resource Management Act 1991 (Fast Track).

Anticipated effects are projected to be minimal, with the activity categorised as a low-impact endeavour. It is viewed as a harmonious addition to the rural landscape, aligning effectively with the overarching objectives and policies set forth for rural environments.

The proposal is therefore recommended for approval with standard conditions.

Micah Donaldson
ASSOC.NZPI

DONALDSONS

Land / Engineering Surveyors and Development Planners



Quickmap Title Details



Information last updated as at 19-May-2024

RECORD OF TITLE DERIVED FROM LAND INFORMATION NEW ZEALAND FREEHOLD

Identifier NA135D/647

Land Registration District North Auckland

Date Issued 17 October 2006

Prior References

NA126A/582 NA126A/583

Type Fee Simple
Area 1.4592 hectares more or less
Legal Description Lot 5 Deposited Plan 209117

Registered Owners

Ira Tainui

Type Fee Simple - 1/4 share
Area 943 square metres more or less
Legal Description Lot 6 Deposited Plan 197929

Registered Owners

Ira Tainui

D618152.2 Consent Notice pursuant to Section 221(1) Resource Management Act 1991 - 2.7.2001 at 3.40 pm

Subject to a right (in gross) to transmit electricity over part marked A on DP 197929 in favour of Top Energy Limited created by Transfer D618152.6 - 2.7.2001 at 3.40 pm (affects Lot 6 DP 197929)

The easements created by Transfer D618152.6 are subject to Section 243 (a) Resource Management Act 1991

Subject to Section 59 Land Act 1948

7074350.4 Consent Notice pursuant to Section 221 Resource Management Act 1991 - 17.10.2006 at 9:00 am

Subject to Section 241(2) and Sections 242(1) and (2) Resource Management Act 1991(affects DP 209117)

Appurtenant hereto is a right of way, a right to convey electricity, telecommunications and computer media created by Easement Instrument 7074350.7 - 17.10.2006 at 9:00 am

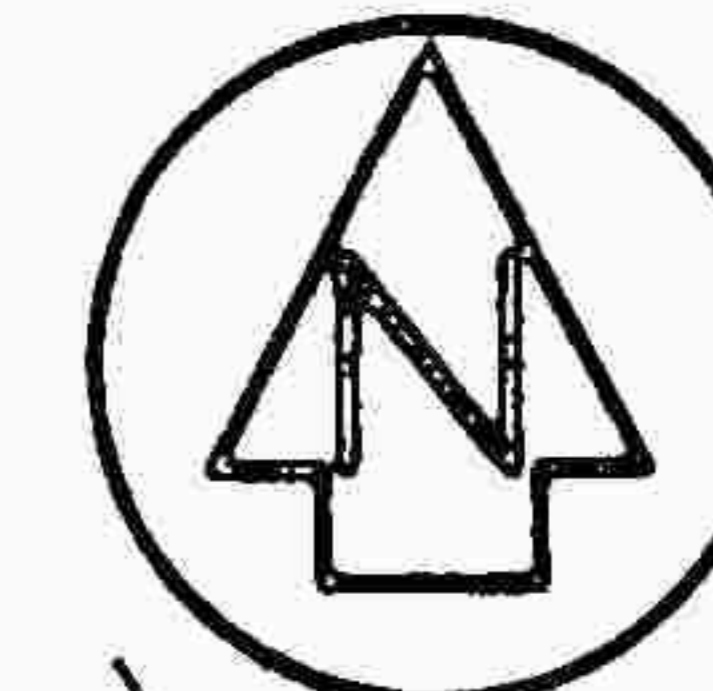
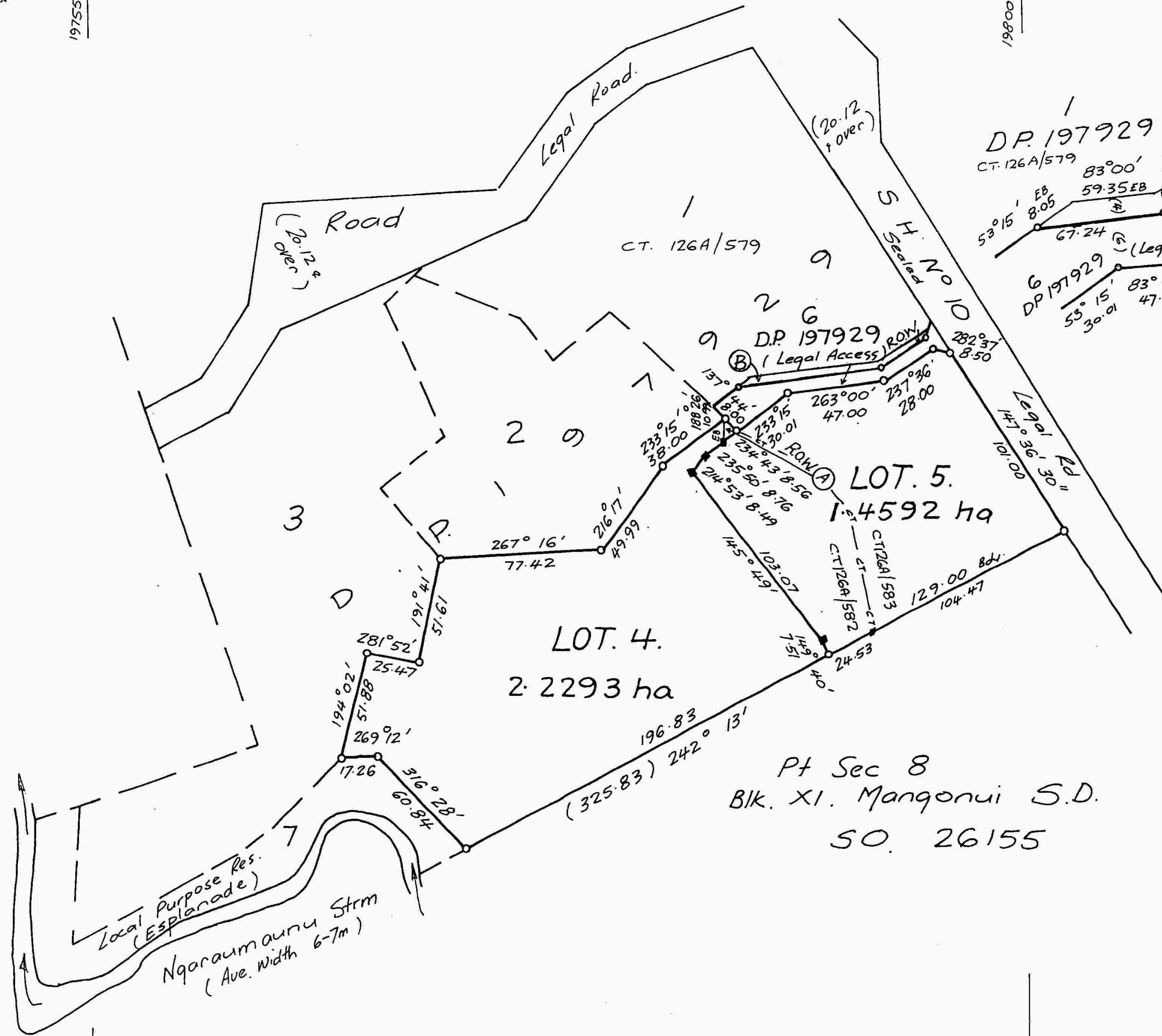
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197550 E

904800 N

904500 N



Approvals R.C. 2010684
 I hereby Certify that this plan was approved by the Far North District Council pursuant to Section 223 of the Resource Management Act 1991 on the 16th day of May 2001
 Subject to the amalgamation Condition Setout hereon
 P.J. Killalea
 Authorised Officer

Amalgamation Condition
 That Lot 6. DP 197929 (Legal Access) be held as to two undivided One-Fourth shares by the owners of lots 4 & 5 hereon as tenants in Common in the said shares and that individual certificates of Title be issued in accordance therewith
 See A.633395

Proposed Easement			
Purpose	Shown	Servient Tenement	Dominant Tenement
Right of Way			
Electric Power Supply	(A)	Lot. 4.	Lot. 5.
Telecommunication	(B)	Lot. 1. DP. 197929	Lots 4 & 5 hereon & lots 2 & 3 DP. 197929

New Cst Allocated
 Lot. 4. 135D/646 Lot. 5. 135D/647
 Class II Survey

Total Area... 3.6885 ha
 Comprised in C.T. 126A/582 (All)
 C.T. 126A/583 (All)
 C.T. 126A/579 Easement

Donald Barrington van Sturmer
 Being a person entitled to practice as a registered surveyor, certify that -
 (a) The surveys to which this dataset relates are accurate, and were undertaken by me or under my direction in accordance with the Survey Act 1988 and the Survey Regulations 1998:
 (b) This dataset is accurate, and has been created in accordance with that Act and those Regulations.
 (Signature) _____ (Date) 16/07/2001

Field Book p. Traverse Book p.
 Reference Plans
 Examined Correct

Approved as to Survey
 31/7/2001 Deputy Chief Surveyor

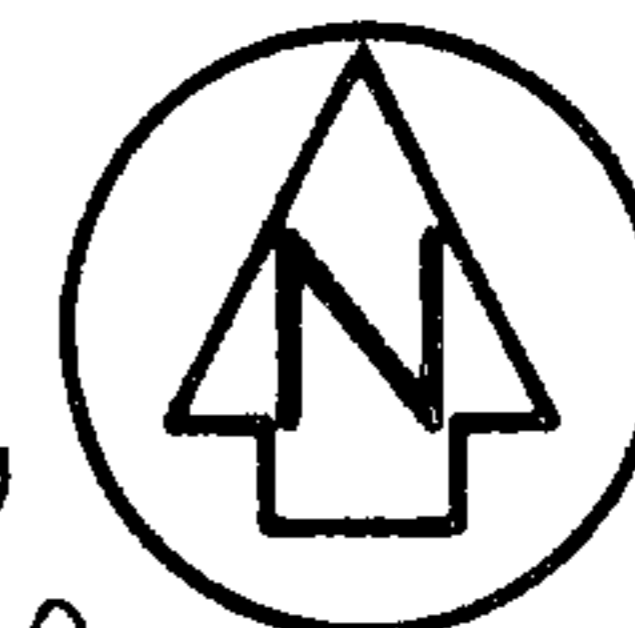
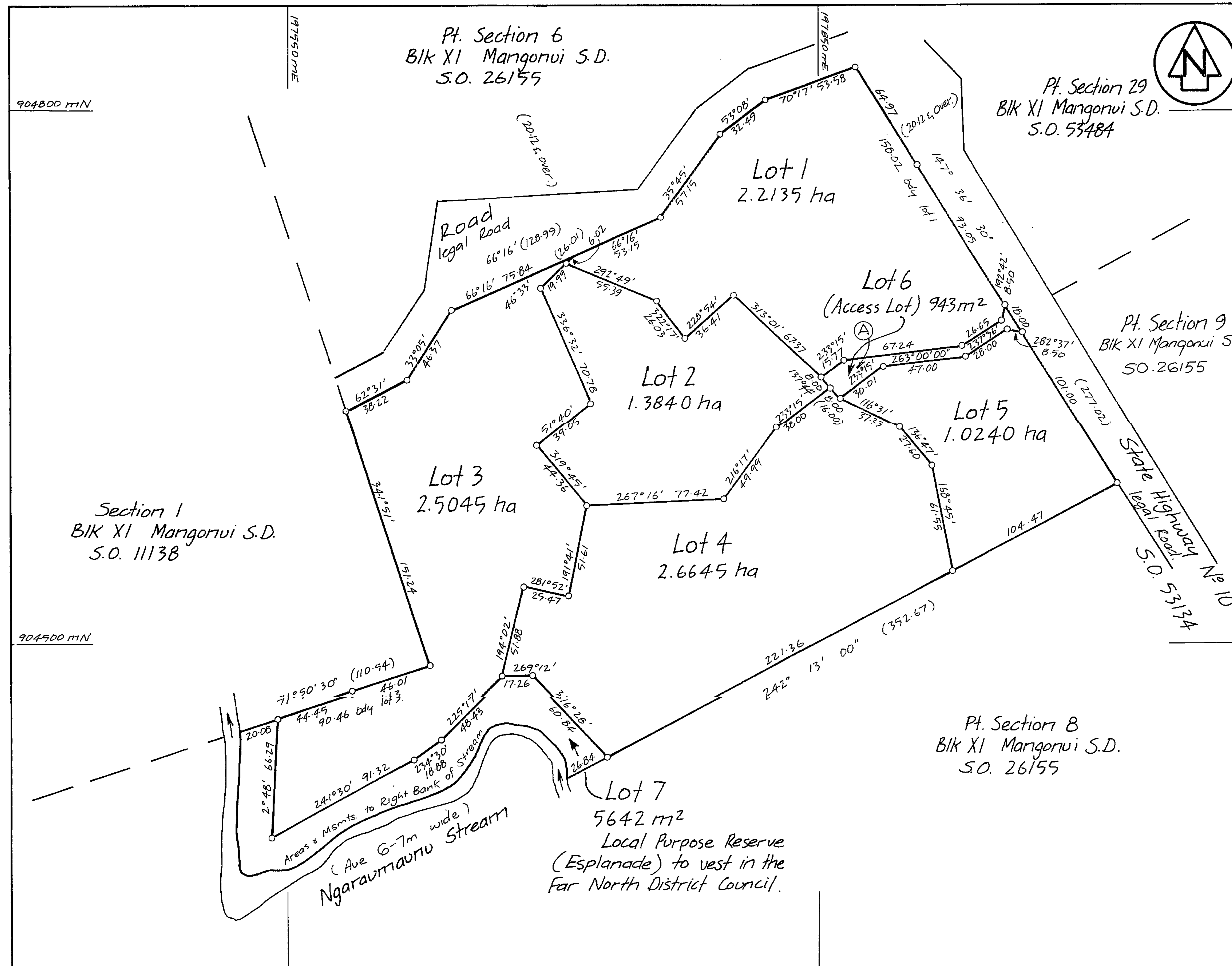
Deposited this ..17..... day of October.. 2001
 Registrar-General of Land

LAND DISTRICT North Auckland
 SURVEY BLK. & DIST. XI. Mangonui
 NZMS 261 SHT RECORD MAP No

LOTS 4 & 5 BEING SUBDIVISION
 OF LOTS 4 & 5 DP 197929 and
 Easement over Lot. 1. DP 197929

TERRITORIAL AUTHORITY Far North District
 Surveyed by D. von Sturmer
 Scale 1500 Date February 2001

File 1519
 Received 24 JUL 2001
 Instructions DP 209117



Approvals
 I hereby certify that this plan was approved by the Far North District Council pursuant to section 223 of the Resource Management Act 1991 on the 12th day of MARCH 1999 subject to the granting or reserving of the easements set out in the memorandum hereon and subject to the amalgamation condition set out hereon
R. J. ...
 Authorised Officer.
 R.C. # 1970443

Amalgamation Condition
 That Lot 6 hereon (Legal Access) be held as to Four undivided one fourth shares by the owners of Lots 1, 2, 4 & 5 hereon as tenants in common in the said shares and that individual certificates of Title be issued in accordance therewith.
 See A 63395

Memorandum of Easements in Gross

Purpose Shown	Servient Tenement	Grantee
Electric Power Supply	(A) Lot 6 hereon	TopEnergy Ltd

New C's T Allocated.
 Lot 1 - 126A/579 Lot 4 - 126A/582
 Lot 2 - 126A/580 Lot 5 - 126A/583
 Lot 3 - 126A/581 Lot 7 - 126A/584

Total Area 10.4490 ha
 Comprised in C.T. 94B/63 (all)

I, Donald Barrington von Sturmer
 Registered Surveyor and holder of an annual practising certificate (or who may act as a registered surveyor pursuant to section 25 of the Survey Act 1986) hereby certify that this plan has been made from surveys executed by me or under my directions, that both plan and survey are correct and have been made in accordance with the Survey Regulations 1972 or any regulations made in substitution thereof.
 Dated at Kaitiaki this 11th day of May 1999.
 Signature *D. von Sturmer*

Field Book p. Traverse Book p.
 Reference Plans
 Examined *Sejma* Correct

Approved as to Survey *W. ...*
 1999 8/1999 *Deputy* Chief Surveyor

Deposited this 2nd day of July 2001

for Registrar-General of Land
 District Land Registrar
 File Received Instructions 10 AUG 1999
 DP 197929

LAND DISTRICT North Auckland
 SURVEY BLK. & DIST. XI Mangonui S.D.
 NZMS 261 SHT RECORD MAP No

Lots 1-7 Being Subdivision of
 Lot 1 D.P. 156804.

TERRITORIAL AUTHORITY Far North District
 Surveyed by D. B. von Sturmer & Assoc.
 Scale 1:1500 Date February 1999

A.J. BEVIN, SURVEYOR GENERAL, LAND INFORMATION, NEW ZEALAND.

Hi Micah

Having heard back from both NZTA Safety and Operations I can report that provided the existing accessway is up to our Dia D standard – sealed to the property boundary, with traversable headwalls installed on the existing culvert if any, NZTA would be satisfied with your client's proposal. That is in accordance with your entrance detail Ref 8461.

Regards

Bruce Hawkins

Senior Planner – Environmental Planning

Pouttiaki Taiao / System Design

T: 09 969 9858 M: 027 626 2216

E: Bruce.Hawkins2@nzta.govt.nz / W: nzta.govt.nz

Auckland / Level 5, AON Tower, 29 Custom St West
Private Bag 106602, Auckland 1143, New Zealand

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Working days; Monday - Thursday

From: micah@donaldsons.net.nz <micah@donaldsons.net.nz>

Sent: Wednesday, June 26, 2024 9:22 AM

To: Bruce Hawkins <Bruce.Hawkins2@nzta.govt.nz>

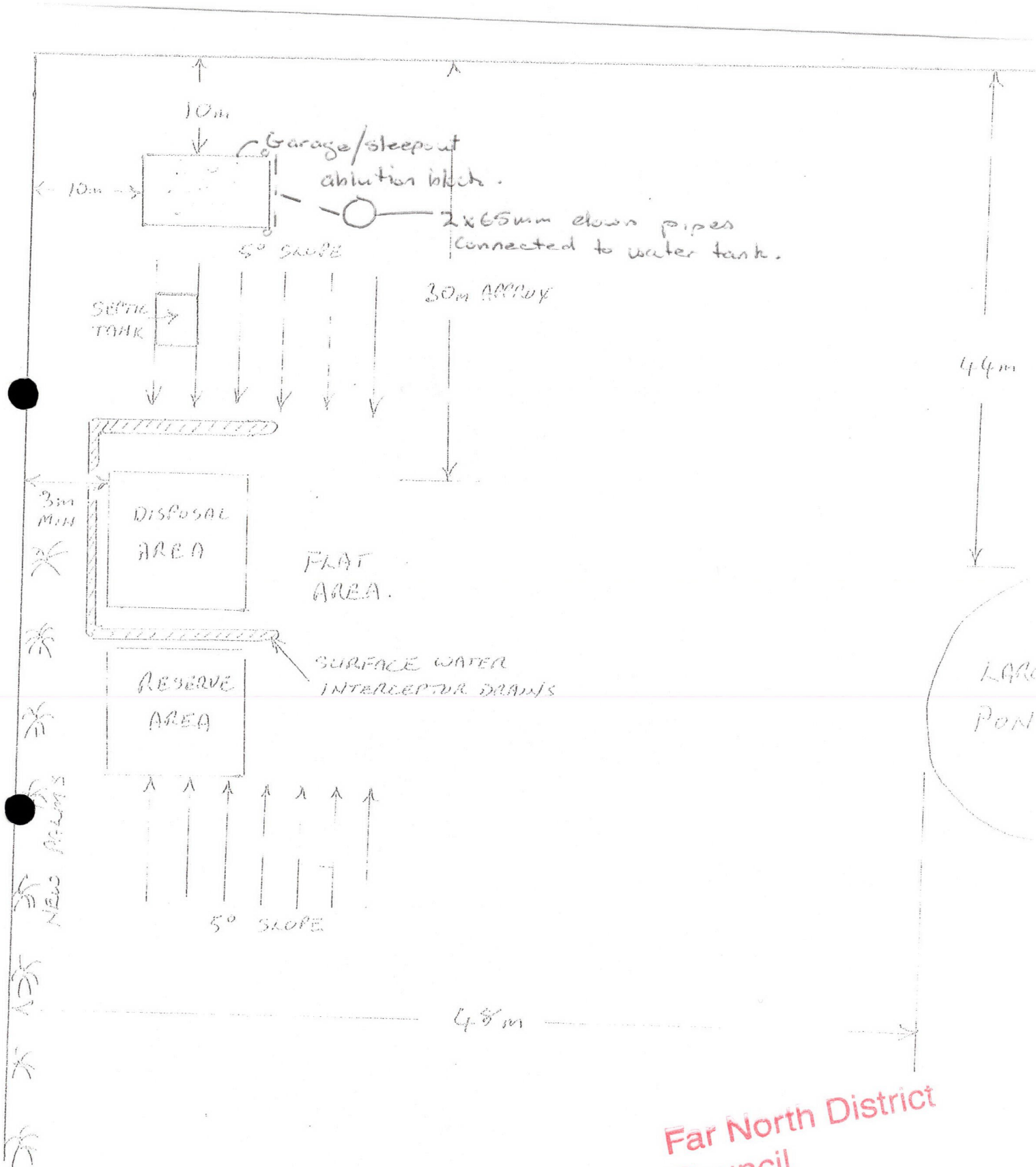
Subject: RE: 1767c State Highway 10 Mangonui - Proposed Land Use Minor Residential Unit

Morning Bruce,

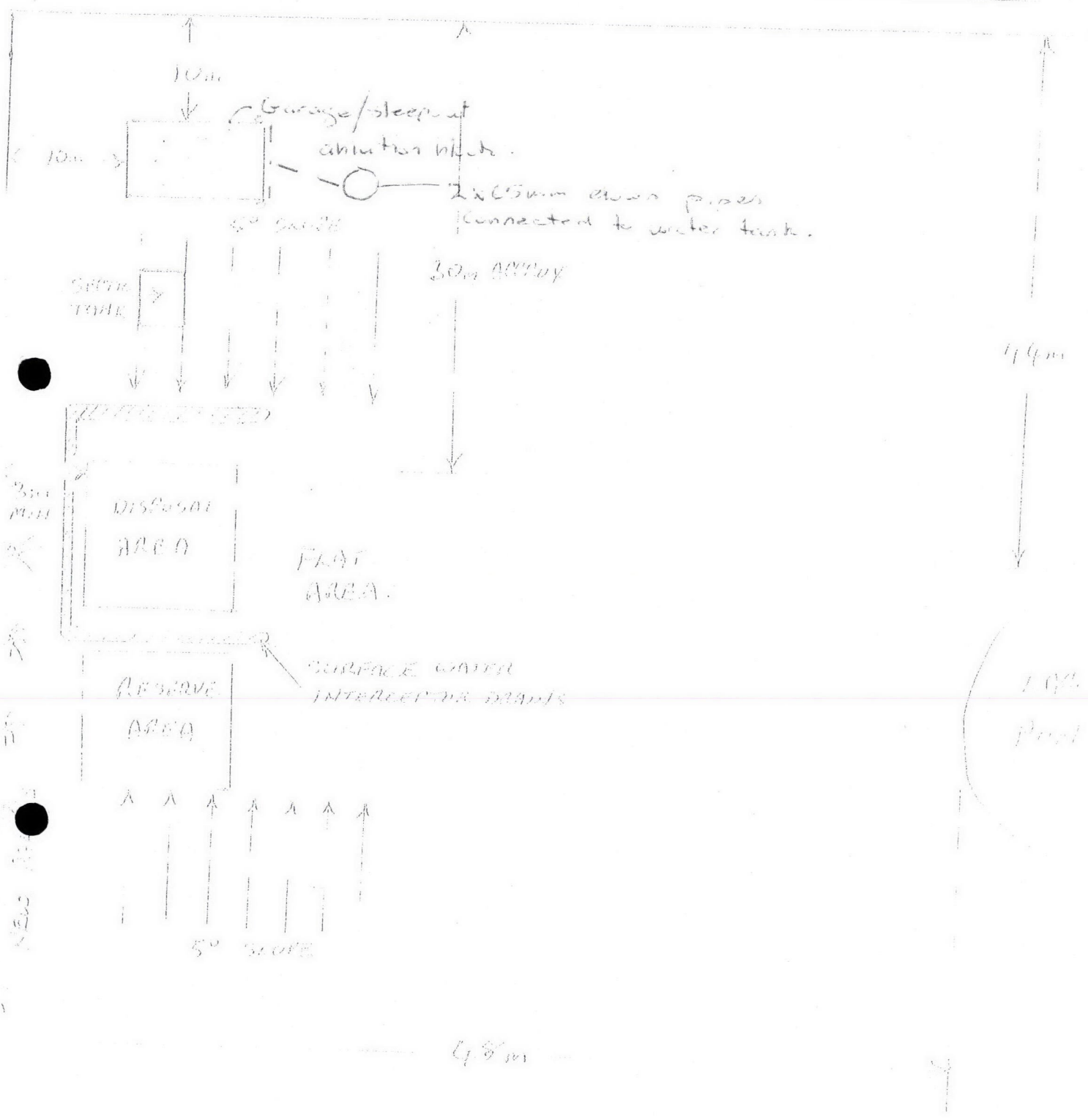
Any update would be appreciated...

Regards,

Micah



Far North District
 Council
 Received



10%
Pool

Versatile Buildings 600 Series Specifications

Customer: Errol Dean

Site Address: Whangaroa Golf Course

Reference: mc-597

Contact: Mike Clapshaw, Keri Keri, Far North, (09) 4079861

Model:	Versatile 600 Series
Size & Stud Height:	9.0m long x 6.0m wide, with 2.4m stud height
Floor Type:	Concrete floor
Roof Details:	15 degree pitch. Thickness: 0.40mm
Trusses:	90mm x 35mm kiln dried, stress graded timber as per floor plan
Wall Framing:	H1.2 treated 90mm x 35mm kiln dried, stress graded timber
Wind Zone:	High wind zone
Cladding Type:	Superclad 'hidden-nail' profile
Gable Cladding:	Board & Batten profile
Gable Soffit:	Front & Rear
Downpipes Location:	As per Instruction

Notes:

GENERAL: Construction to comply with Mitek Producer Statement, VB 2000 and in all other respects NZS 3604:1999 and the NZ Building Code.

FOUNDATIONS: Concrete floor shall be 17.5Mpa, 100mm thick. Footing as detailed

WALL FRAMING: All timber shall be machine stress graded, gauged and treated to minimum TPA Specification H1.2 for habitable buildings or C.F, MGP 10 framing for garages. Studs shall be 90 x 35mm at 600mm crs and housed into 90 x 35mm plates. Lay Supercoarse DPC under all plates. Refer Producer Statement VB 2000, Sheet 4 for timber grade options and specification. Fix proprietary nail plates and hardware in accordance with Producer Statement VB 2000, Sheets 4 and 5.

ROOF FRAMING: Purlins shall be 90 x 45mm on edge at 1500mm crs fixed to Gangnail 15 degree roof trusses. Fix purlins and ridge braces as detailed in Producer Statement VB 2000, Sheet 13. See Gangnail truss details and specification on Sheets 14 and 15. For raking ceiling (skillion roof) refer VB 2000, Sheet 13.

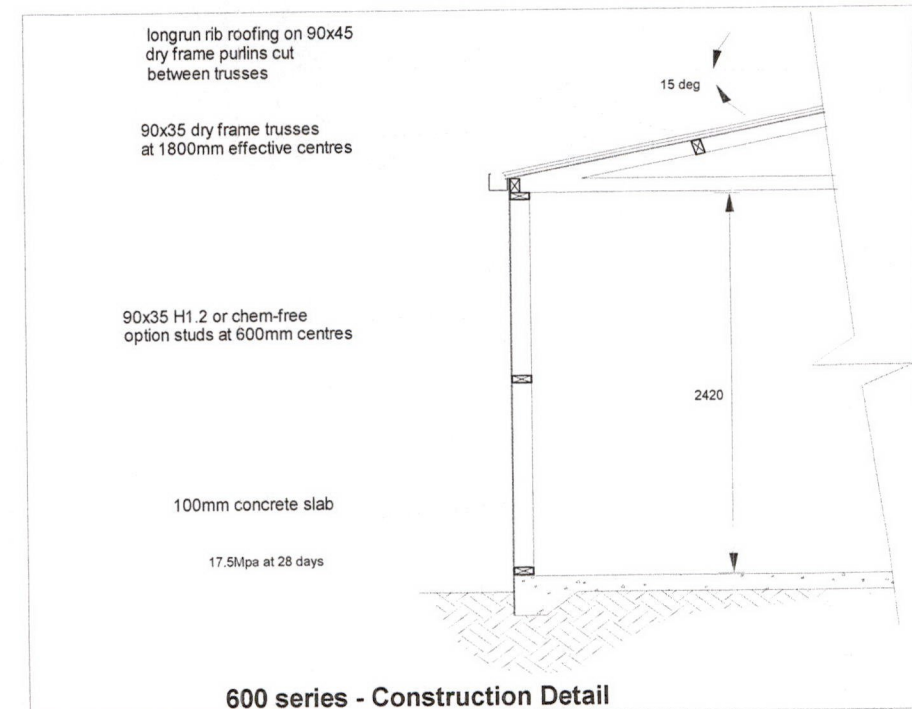
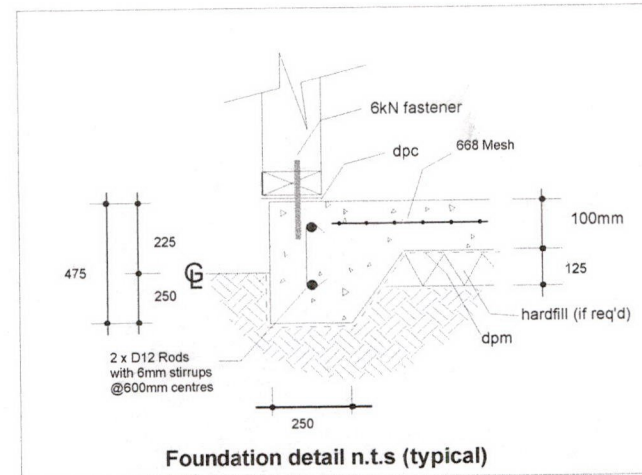
SIDE ENTRY OPENING LINTELS: LVL beam sizes and spans are specified in VB 2000, sheet 4. Fixing details are shown on Sheet 9 of VB 2000.

ROOFING: Shall be Versatile 6 rib longrun metal roofing fixed with 75mm spiral shank weatherseal roof nails, over bituminous type building paper supported by ultra-violet fast lashing.

WALL CLADDING: Fix with galvanised clouts as specified in VB 2000 sheet 6.

ROOF BRACING: For all buildings fix Lumberlok roof plane strap bracing in accordance with VB 2000 Producer Statement, Sheet 7. For 2.7 & 3.0m stud buildings refer VB 2000, Sheet 8.

WALL BRACING: Fix bracing in accordance with VB 2000, Sheet 6. Bracing panel locations and fixing refer to "Wall Bracing: 600 Series, Feb 04 Ver1.4." For 2.7 & 3.0m stud buildings refer VB 2000, Sheet 8.



Far North District Council Received

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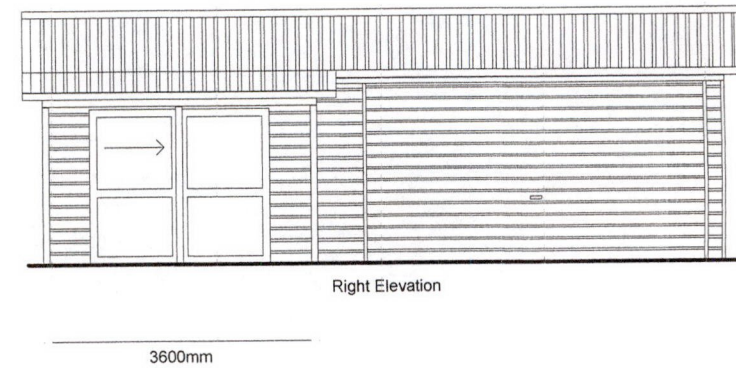
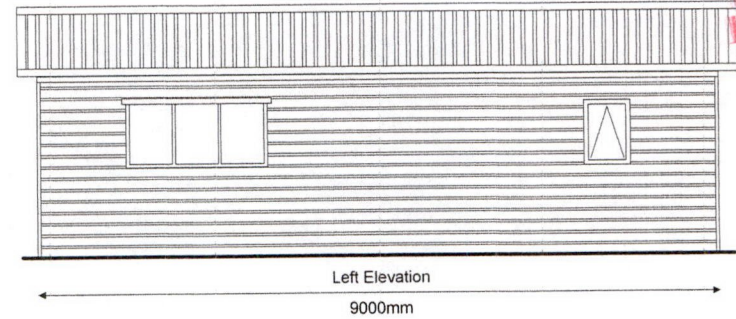
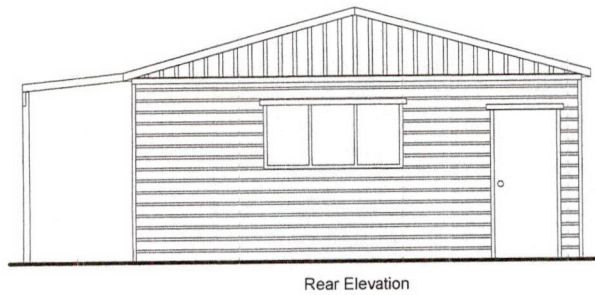
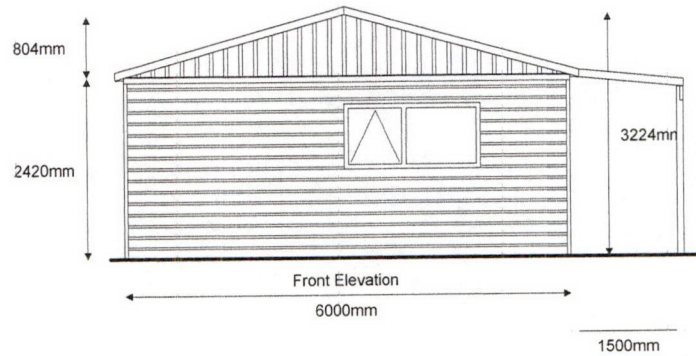
Versatile Buildings 600 Series Elevations

Customer: Errol Dean

Site Address: Whangaroa Golf Course

Reference: mc-597

Contact: Mike Clapshaw, Keri Keri, Far North, (09) 4079861

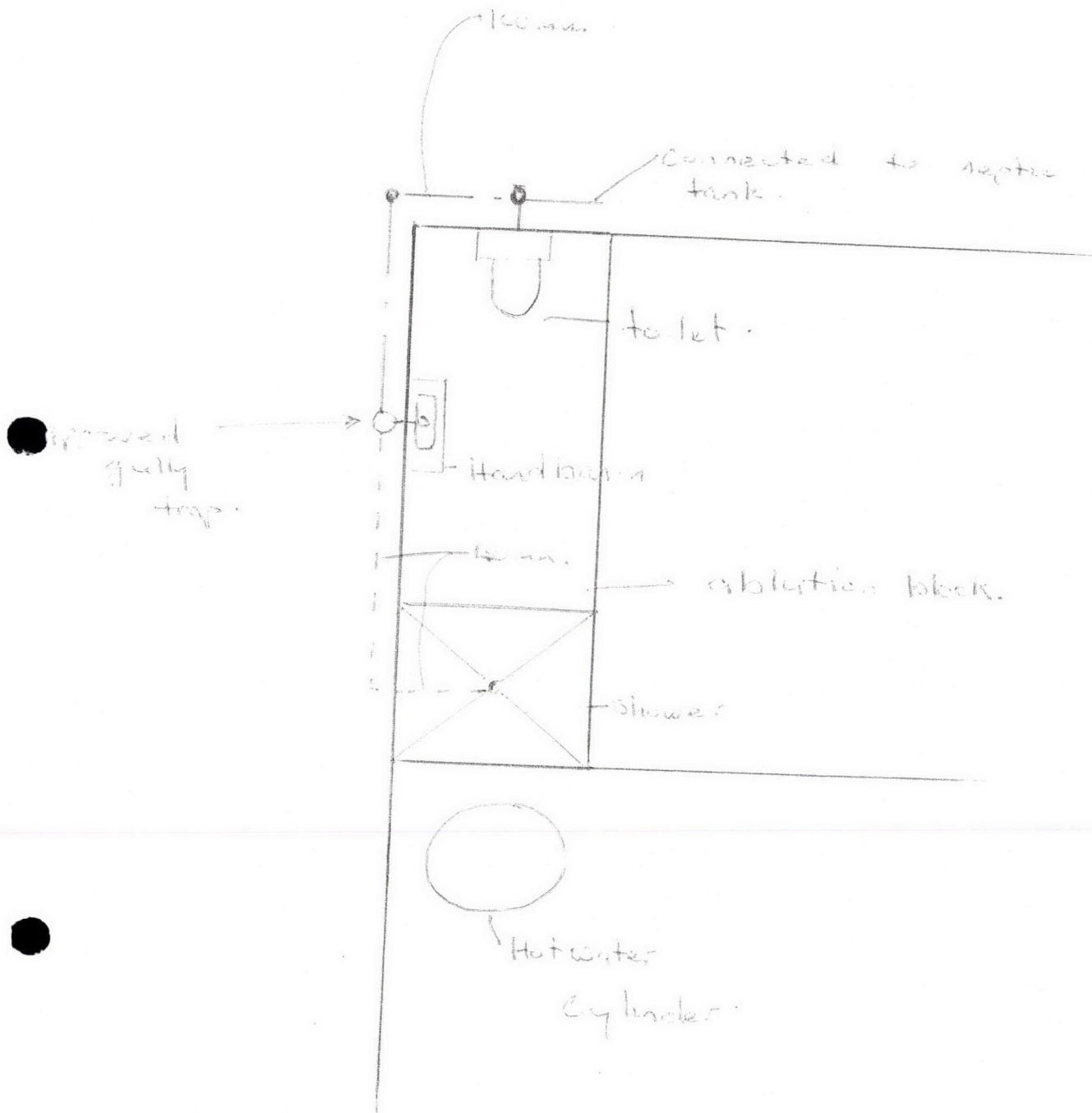


Far North District
Council
Received

COPYRIGHT

100mm ----- 1.60 Fall

150mm ----- 1.60 Fall



Far North District
Council
Received

Versatile Buildings 600 Series Floor Plan
 Customer: Errol Dean
 Site Address: Whangaroa Golf Course
 Reference: mc-597
 Contact: Mike Clapshaw, Keri Keri, Far North, (09) 4079861

APPROVED PIM/BC 20071158
 Date 12-02-07
 Signed J.B. Mann
 FAR NORTH DISTRICT COUNCIL

Far North District Council NOTIFIABLE INSPECTIONS		
Site Inspection		✓
Footing / Foundation	✓	
Slab	✓	
Bond Beam		
Sub-floor		
Framing		
Exposed Rafter Strapping		
Pre-line		✓
Sheet Bracing		
Other (specify) window caps	✓	
Final Inspection		✓

All stormwater from roof, driveways & watertank overflow to be disposed of to N.Z.B.C. EI

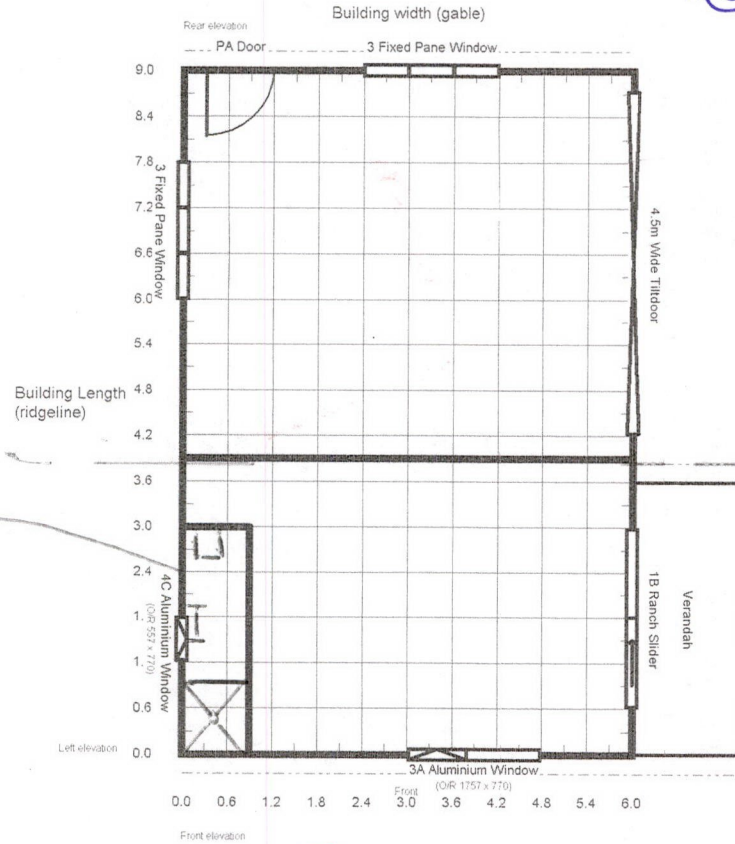
BUILDER TO CHECK LOCATIONS, LEVELS, DEPTHS ETC. OF ALL INGROUND SERVICES PRIOR TO COMMENCEMENT.

INSPECTION REQUIRED OF ALL WATER SUPPLY & SOIL/WASTE DISPOSAL PIPES, PRIOR TO COVERAGE WITH CONCRETE.

Abkition block
 See attached sheet for plumbing drainage detail.

THESE PLANS AND SPECIFICATIONS MUST BE KEPT 'ON SITE' DURING CONSTRUCTION. ALL BOUNDARY PEGS MUST BE LOCATED AND FLAGGED BEFORE WORK IS COMMENCED.

Allowance is to be made to be able to extend the septic tank effluent system if proved necessary.



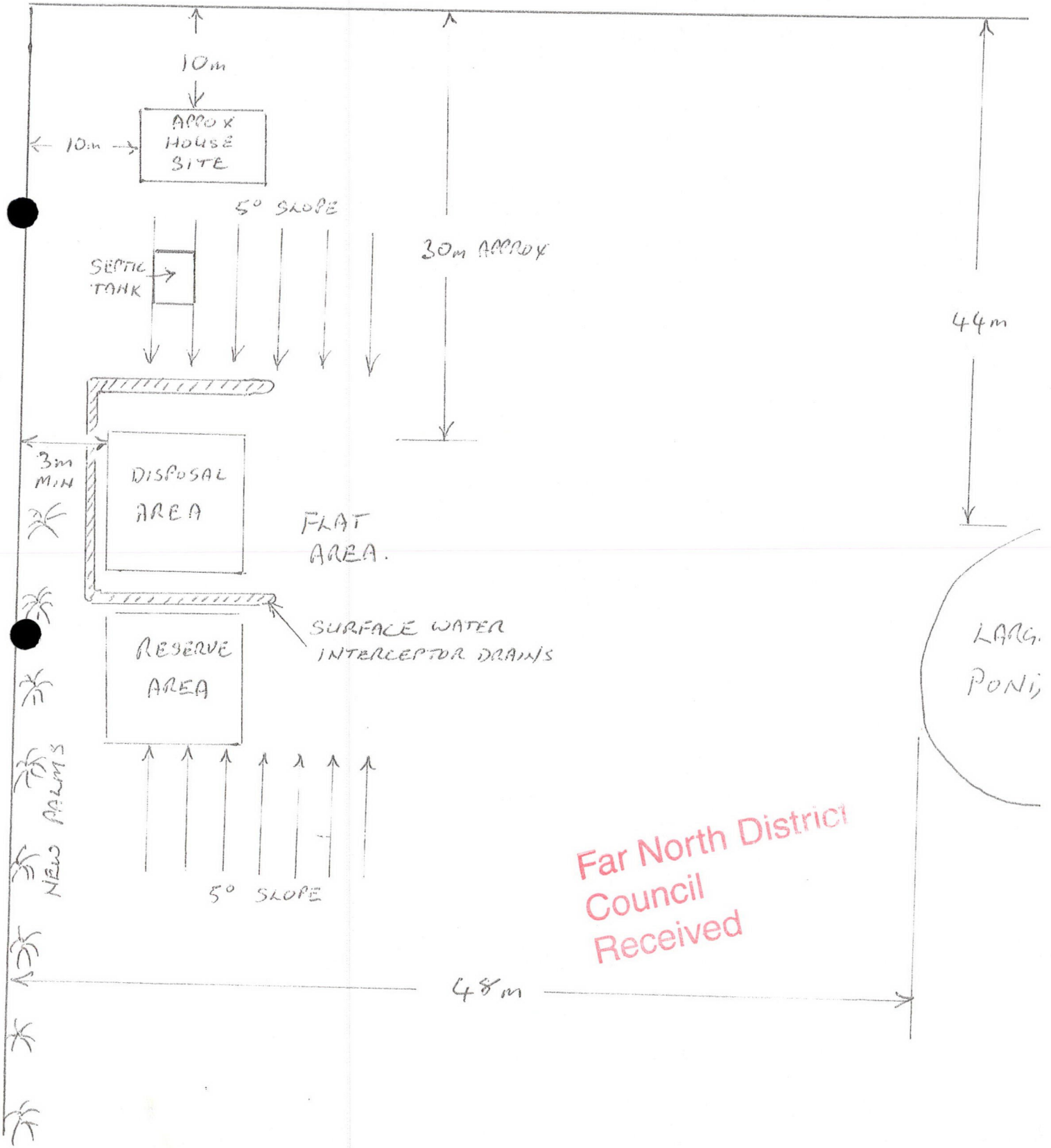
expansion joint under partition wall.

Far North District Council NOTIFIABLE INSPECTIONS Plumbing & Drainage		
Pre-pour under slab P & O		✓
Pre-Line Plumbing in walls		✓
Sewer & Stormwater drainage prior to back-filling trench		✓
Septic Tank effluent disposal Trench		✓
Other		

Doubtless Bay Plumbing and Drain laying Ltd T/A

Vernon's Plumbing

99 Cable Bay Block Rd
Coopers Beach, Mangonui 0557
Ph: 09 406 1733 Fax: 09 406 1131
E-mail: vernonsplumbing@xtra.co.nz





904800 N

Lot 4 No 3336254 Hills

LA 26645

Val 121 05504

R 2432158

Dean

Lot 5 No 3336255

LA 10240

Val 121 05505

R 2432159

904500 N

Local Purpose Res. (Esplanade)
Ngaraumauu Stream
(Ave. width 6-7m)



BCFLA

AND DISTRICT North Auckland

SURVEY BLK. & DIST. XI Mangonui

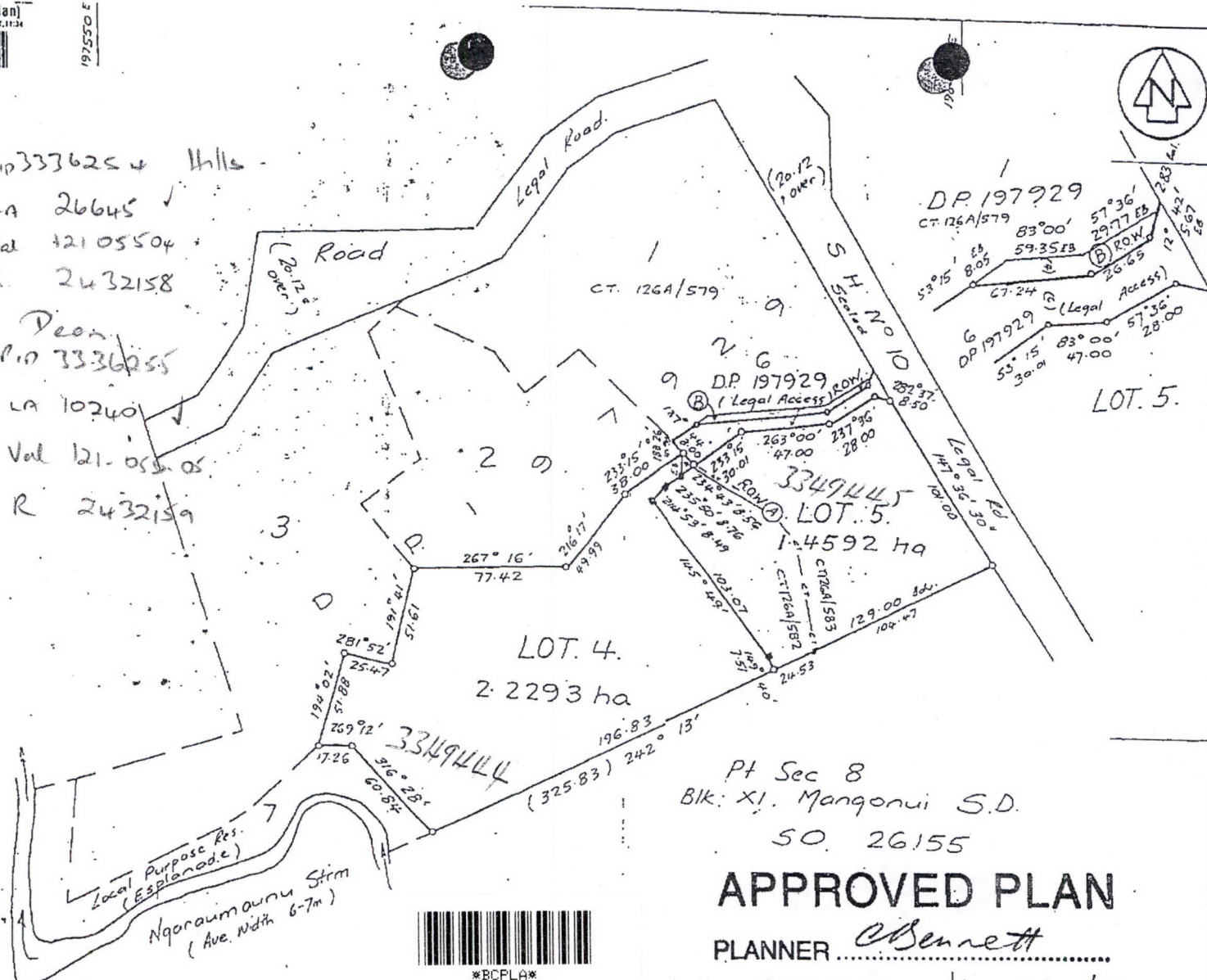
ZMS 261 SHT RECORD MAP No

LOTS 4 & 5 BEING SUBDIVISION
OF LOTS 4 & 5. DP 197929
and Easement over Lot 1. DP 197929

TERRITORIAL AUTHORITY For North District

Surveyed by DBuon Sturmer

Scale 1500 Date February 2001



Approvals RC. 2010684
I hereby Certify that this Plan was approved by the for North District Council pursuant to Section 223 of the Resource Management Act. 1991 on the 16th day of May 2001
Subject to the amalgamation Condition Setout hereon
P. Killeen
Authorised Officer

Amalgamation Condition
That Lot 6. DP 197929 (Legal Access) be held as to two undivided One-Fourth shares by the owners of lots 4 & 5 hereon as tenants in Common in the said shares and that individual certificates of Title be issued in accordance therewith
See A.633395

Proposed Easement table with columns: Purpose, Shown, Servient Tenement, Dominant Tenement

New Cst Allocated
Lot 4. 1350/446 Lot 5 1350/647
Class II Survey
Total Area 3.6885 ha

Comprised in CT. 126A/582 (All)
CT. 126A/583 (All)
CT. 126A/584 (All)

Donald Barrington van Sturmer
person entitled to practice as a registered surveyor, certify that:
(a) The surveys to which this dataset relates are accurate, and were undertaken by me or under my direction in accordance with the Survey Act 1980 and the Survey Regulations 1988;
(b) This dataset is accurate, and has been created in accordance with the Act and those Regulations.

Field Book Traverse Book
Reference Plans
Examined Correct

Approved as to Survey
31/7/2001
Chief Surveyor

Deposited this day of 20 ..
Registrar-General of Land

File 1519
Received 24 JUL 2001
Instruction DP 209117

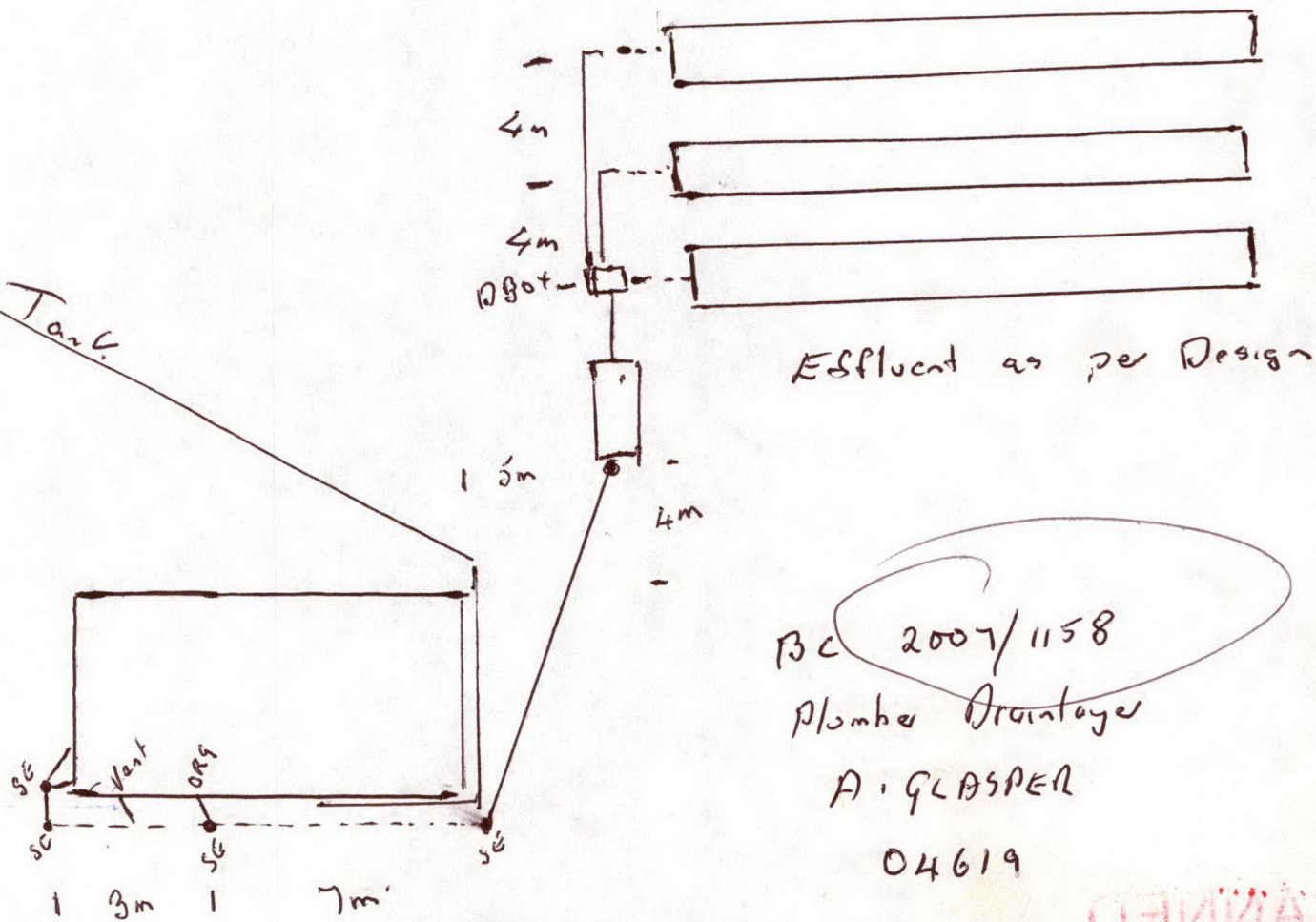
PT Sec 8
Blk. XI. Mangonui S.D.
50. 26155
APPROVED PLAN
PLANNER Bennett
RC 2061132 Date 14/7/06

TYPEWAX

OKOH LAND FLOW PAT. + COLLECT DRAIN UNIDRAIN.

DAM

Overflow from Tank

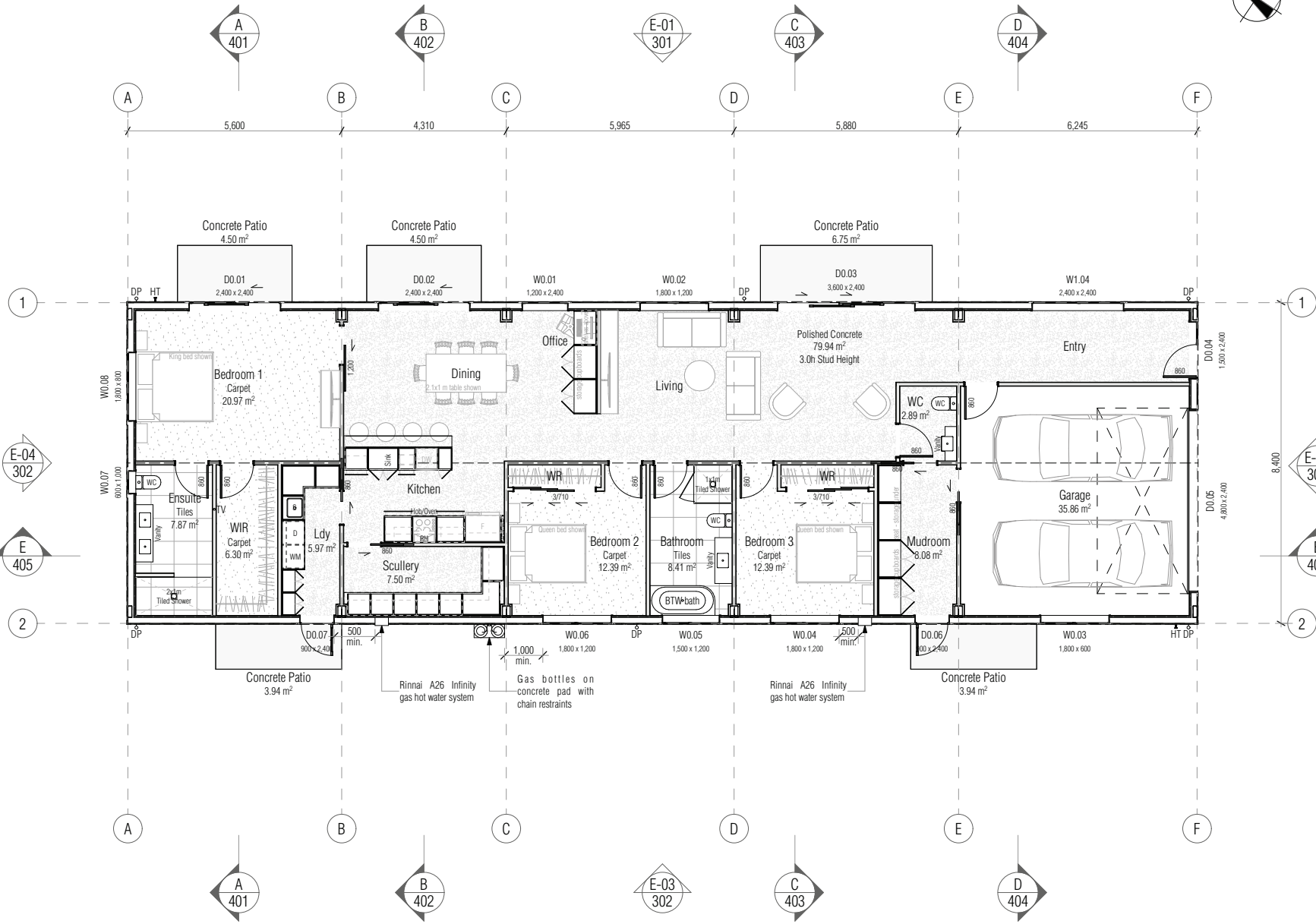


BC 2007/1158
Plumber Drantager
A. GLASPER
04619

SCANNED

Ground Floor Area over Framing
235.64 m²

- Key/Notes
- Horizontal Steel Tophat Girt framing
 - Insulated H1.2 SGB wall framing
 - Un-insulated H1.2 SGB wall framing



MARC VALE ARCHITECTURE
 ARCHITECTURAL DESIGNERS
 HONORING BUILDING CONFIDENCE
 ANZ Professional Member

Client
 Ira Tainui
 Project Title
 Proposed Dwelling
 Site Address
 1767C State Highway 10
 Totara North
 Drawing Issue
 Developed Design
 Sheet Title
 Floor Plan

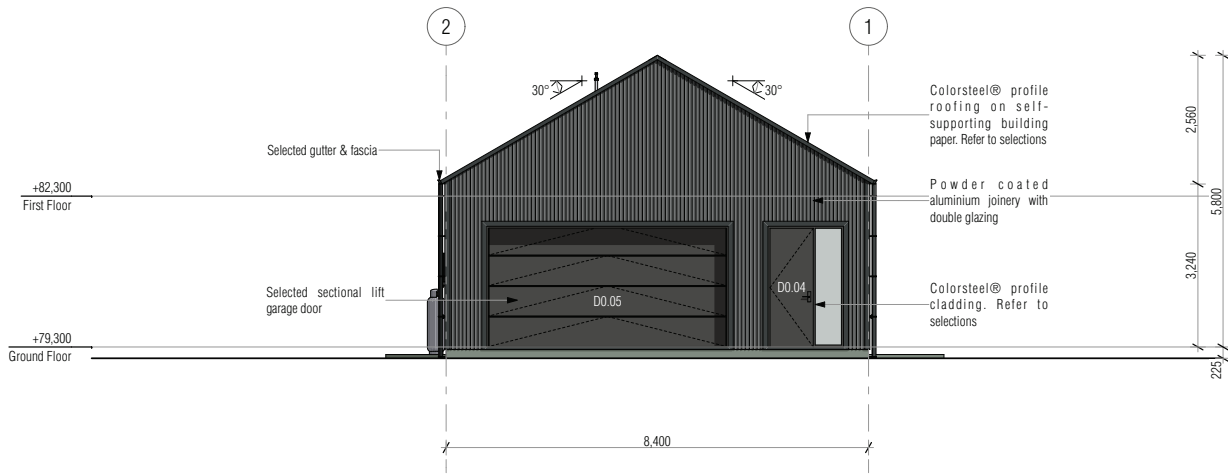
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Date	26/05/24	Checked	Marc Vale Architecture
Drawing no.	201	Revision	02

31. Consented to be verified or not before commencing any work or producing shop drawings. On all scales. The copyright of this drawing remains with Marc Vale Architecture Ltd.

RevID	Revision Name	Date
01	Concept Design	29/04/24
02	Developed Design	26/05/24



E-01 North Elevation
201 Scale 1:100



E-02 East Elevation
201 Scale 1:100



Client

Ira Tainui

Project Title

Proposed Dwelling

Site Address

1767C State Highway 10
Totara North

Drawing Issue

Developed Design

Sheet Title

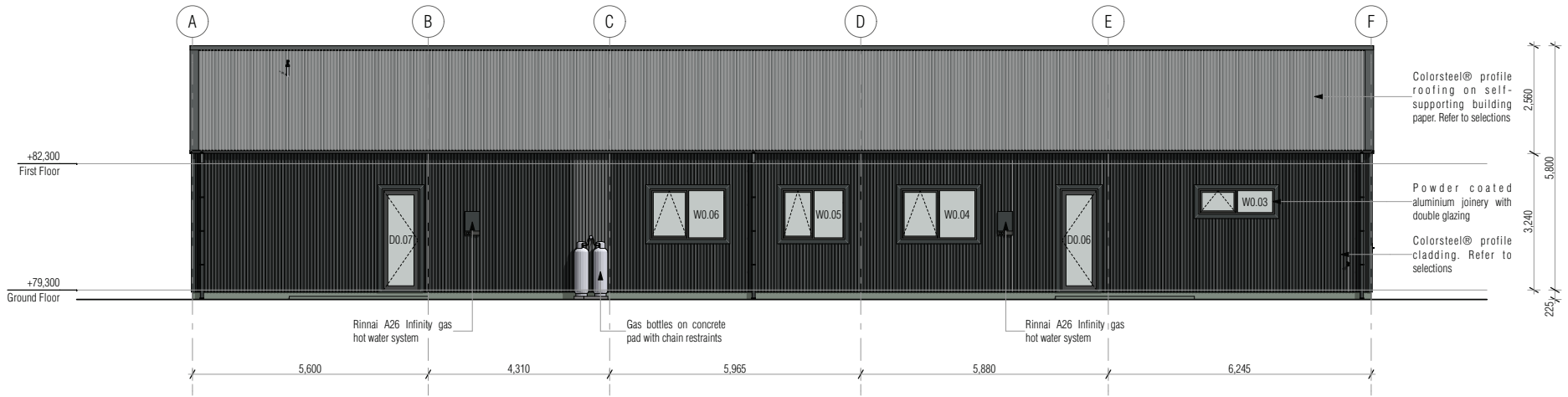
Elevations

Selections Schedule	
Colorsteel Coating:	Endura
Roof Profile:	Dimond Corrugate
Fascia Profile:	Dimond 185 Fascia
Gutter Profile:	Dimond 125 Box
Downpipe Profile:	80mm dia.
Cladding:	Dimond Corrugate

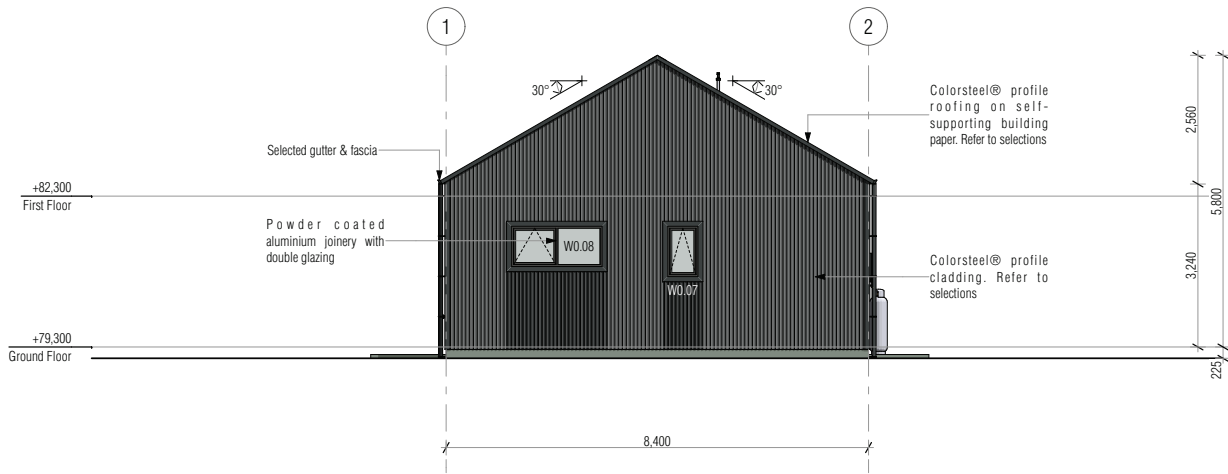
Risk Factor	Description	Risk Score
Wind Zone	High	M 1
Number of Storeys	Single Storey	L 0
Roof/Wall Intersection	Partly exposed (e.g. hip and gable roof with no eaves)	M 1
Eaves Width	0-100mm wide	VH 5
Envelope Complexity	Simple rectangular with single cladding type.	L 0
Deck Design	None	L 0
		Total Score: 7

Selected Cladding: Vertical corrugated profile metal over nominal 20mm drained cavity

Scale	Drawn	
1:100 @ A3	Marc R. Vale	
Date	Checked	
26/05/24	Marc Vale Architecture	
Drawing no.	Revision	
301	02	
31. Approved to be verified on site before commencing any work or producing shop drawings. On site, the copyright of this drawing remains with Marc Vale Architecture Ltd.		
RevID	Revision Name	Date
01	Concept Design	29/04/24
02	Developed Design	26/05/24



E-03 South Elevation
201 Scale 1:100



E-04 West Elevation
201 Scale 1:100



Client

Ira Tainui

Project Title

Proposed Dwelling

Site Address

1767C State Highway 10
Totara North

Drawing Issue

Developed Design

Sheet Title

Elevations

Selections Schedule	
Colorsteel Coating:	Endura
Roof Profile:	Dimond Corrugate
Fascia Profile:	Dimond 185 Fascia
Gutter Profile:	Dimond 125 Box
Downpipe Profile:	80mm dia.
Cladding:	Dimond Corrugate

Risk Factor	Description	Risk Score
Wind Zone	High	M 1
Number of Storeys	Single Storey	L 0
Roof/Wall Intersection Design	Partly exposed (e.g. hip and gable roof with no eaves)	M 1
Eaves Width	0-100mm wide	VH 5
Envelope Complexity	Simple rectangular with single cladding type.	L 0
Deck Design	None	L 0
		Total Score: 7

Selected Cladding: Vertical corrugated profile metal over nominal 20mm drained cavity

Scale

1:100 @ A3

Date

26/05/24

Drawing no.

302

33. Approved to be verified or site before commencing any work or producing shop drawings. On all scales the copyright of this drawing remains with Marc Vale Architecture Ltd.

RevID	Revision Name	Date
01	Concept Design	29/04/24
02	Developed Design	26/05/24

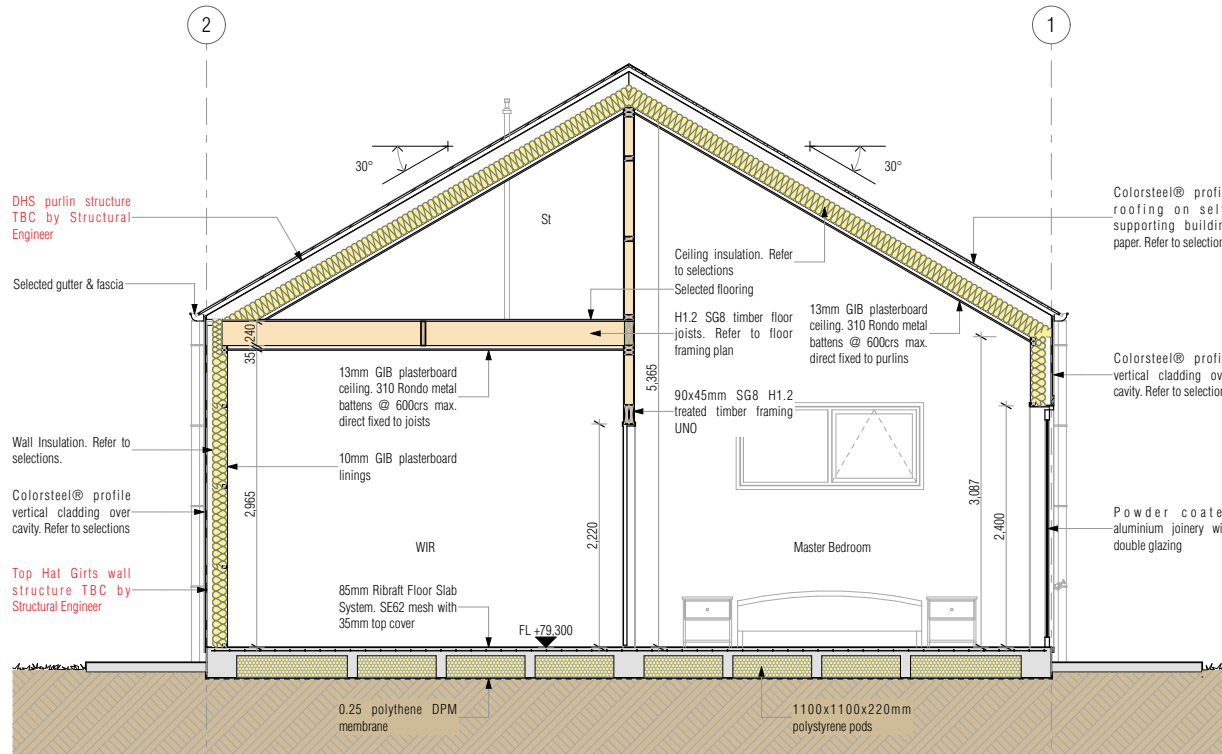
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Selections Schedule	
Colorsteel Coating:	Endura
Roof Profile:	Dimond Corrugate
Fascia Profile:	Dimond 185 Fascia
Gutter Profile:	Dimond 125 Box
Downpipe Profile:	80mm dia.
Cladding:	Dimond Corrugate
Wall Underlay:	Kingspan Thermakraft Watergate Plus
Roof Underlay:	Kingspan Thermakraft Covertek 405
Wall Insulation:	Knaufl Earthwool R3.2 (140mm)
Ceiling Insulation:	Knaufl Earthwool R3.6 (175mm)
Flooring:	Maglok Dragonboard (20mm)

Key/Notes

Square stop to ceiling/wall junction

Stud Framing as per NZS 3604:2011			
Section 8 - Walls		High Wind	
from Table 8.2 - Load bearing walls			
Stud height	Stud size	Stud Spacing	
up to 2.4m	90x45mm	600crs	
up to 2.7m	90x45mm	400crs	
up to 3.0m	90x45mm	300crs	
up to 3.6m	2/90x45mm	300crs	
from Table 8.4 - Non-load bearing walls			
Stud height	Stud size	Stud Spacing	
up to 3.0m	90x45mm	600crs	
up to 3.3m	90x45mm	400crs	



A Cross Section A-A
1:50
201, 505



Client

Ira Tainui

Project Title

Proposed Dwelling

Site Address

1767C State Highway 10
Totara North

Drawing Issue

Developed Design

Sheet Title

Cross Sections

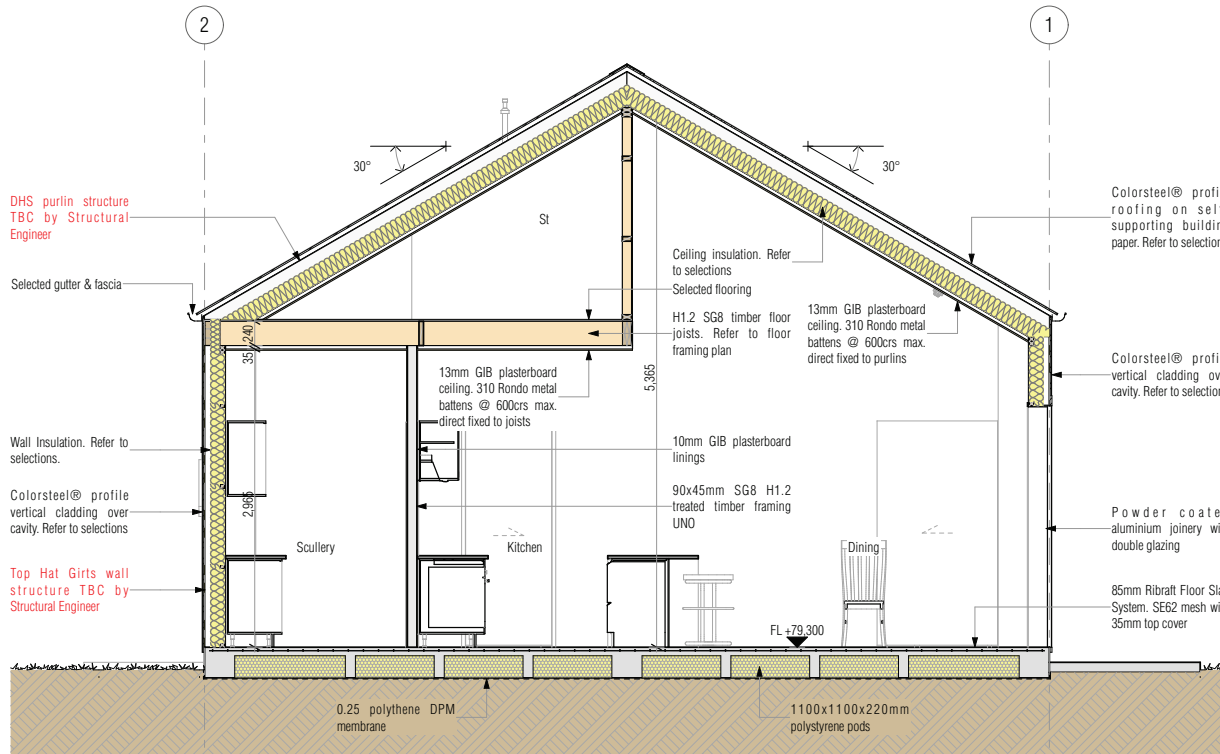
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Date	Checked
26/05/24	Marc Vale Architecture
Drawing no.	Revision

401 02

All dimensions to be verified on site before commencing any work or producing shop drawings. On all scales the copyright of this drawing remains with Marc Vale Architecture Ltd.

RevID	Revision Name	Date
02	Developed Design	26/05/24

Selections Schedule	
Colorsteel Coating:	Endura
Roof Profile:	Dimond Corrugate
Fascia Profile:	Dimond 185 Fascia
Gutter Profile:	Dimond 125 Box
Downpipe Profile:	80mm dia.
Cladding:	Dimond Corrugate
Wall Underlay:	Kingspan Thermakraft Watergate Plus
Roof Underlay:	Kingspan Thermakraft Covertek 405
Wall Insulation:	Knaufl Earthwool R3.2 (140mm)
Ceiling Insulation:	Knaufl Earthwool R3.6 (175mm)
Flooring:	Maglok Dragonboard (20mm)



B Cross Section B-B
1:50
201, 505

Key/Notes

Square stop to ceiling/wall junction

Stud Framing as per NZS 3604:2011			
Section 8 - Walls		High Wind	
from Table 8.2 - Load bearing walls			
Stud height	Stud size	Stud Spacing	
up to 2.4m	90x45mm	600crs	
up to 2.7m	90x45mm	400crs	
up to 3.0m	90x45mm	300crs	
up to 3.6m	2/90x45mm	300crs	
from Table 8.4 - Non-load bearing walls			
Stud height	Stud size	Stud Spacing	
up to 3.0m	90x45mm	600crs	
up to 3.3m	90x45mm	400crs	



Client

Ira Tainui

Project Title

Proposed Dwelling

Site Address

1767C State Highway 10
Totara North

Drawing Issue

Developed Design

Sheet Title

Cross Sections

Scale Drawn

1:50 @ A3 Marc R. Vale

Date Checked

26/05/24 Marc Vale Architecture

Drawing no. Revision

402 02

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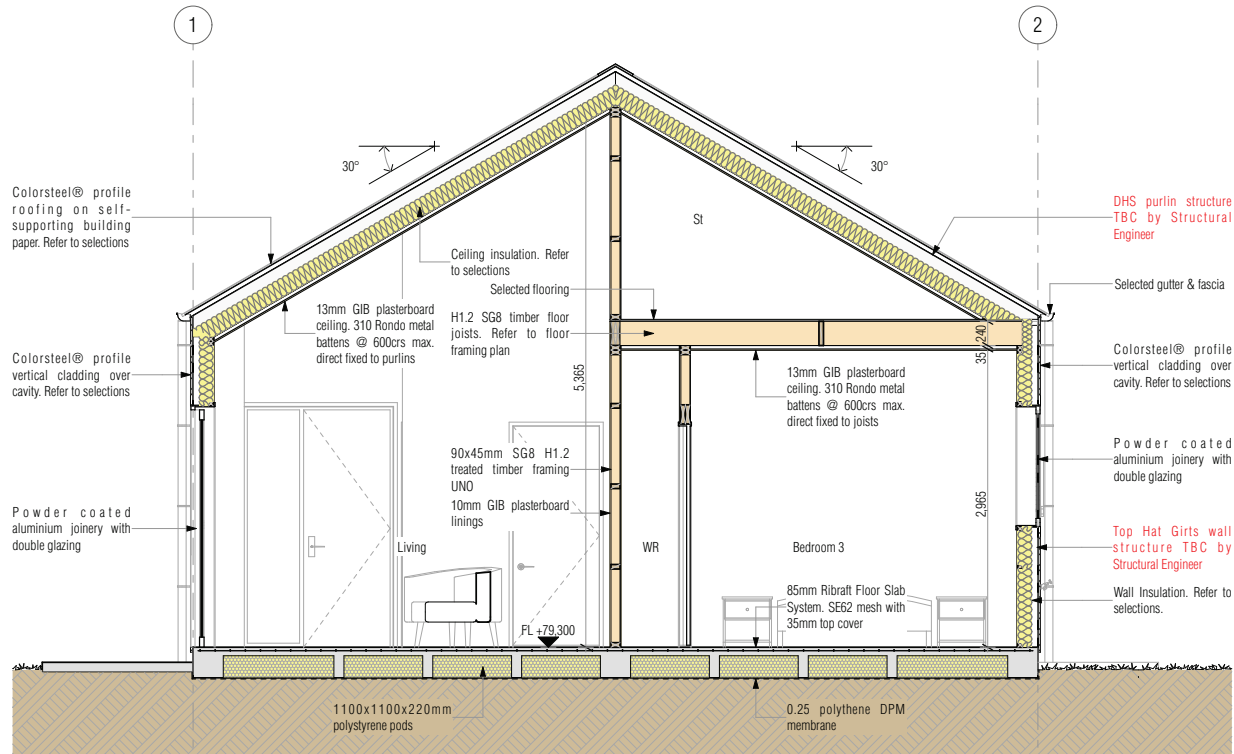
RevID	Revision Name	Date
02	Developed Design	26/05/24

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Selections Schedule	
Colorsteel Coating:	Endura
Roof Profile:	Dimond Corrugate
Fascia Profile:	Dimond 185 Fascia
Gutter Profile:	Dimond 125 Box
Downpipe Profile:	80mm dia.
Cladding:	Dimond Corrugate
Wall Underlay:	Kingspan Thermakraft Watergate Plus
Roof Underlay:	Kingspan Thermakraft Covertek 405
Wall Insulation:	Knaut Earthwool R3.2 (140mm)
Ceiling Insulation:	Knaut Earthwool R3.6 (175mm)
Flooring:	Maglok Dragonboard (20mm)



C Cross Section C-C
1:50
201, 505

Key/Notes

Square stop to ceiling/wall junction

Stud Framing as per NZS 3604:2011			
Section 8 - Walls		High Wind	
from Table 8.2 - Load bearing walls			
Stud height	Stud size	Stud Spacing	
up to 2.4m	90x45mm	600crs	
up to 2.7m	90x45mm	400crs	
up to 3.0m	90x45mm	300crs	
up to 3.6m	2/90x45mm	300crs	
from Table 8.4 - Non-load bearing walls			
Stud height	Stud size	Stud Spacing	
up to 3.0m	90x45mm	600crs	
up to 3.3m	90x45mm	400crs	



Client

Ira Tainui

Project Title

Proposed Dwelling

Site Address

1767C State Highway 10

Totara North

Drawing Issue

Developed Design

Sheet Title

Cross Sections

Scale Drawn

1:50 @ A3 Marc R. Vale

Date Checked

26/05/24 Marc Vale Architecture

Drawing no. Revision

403 02

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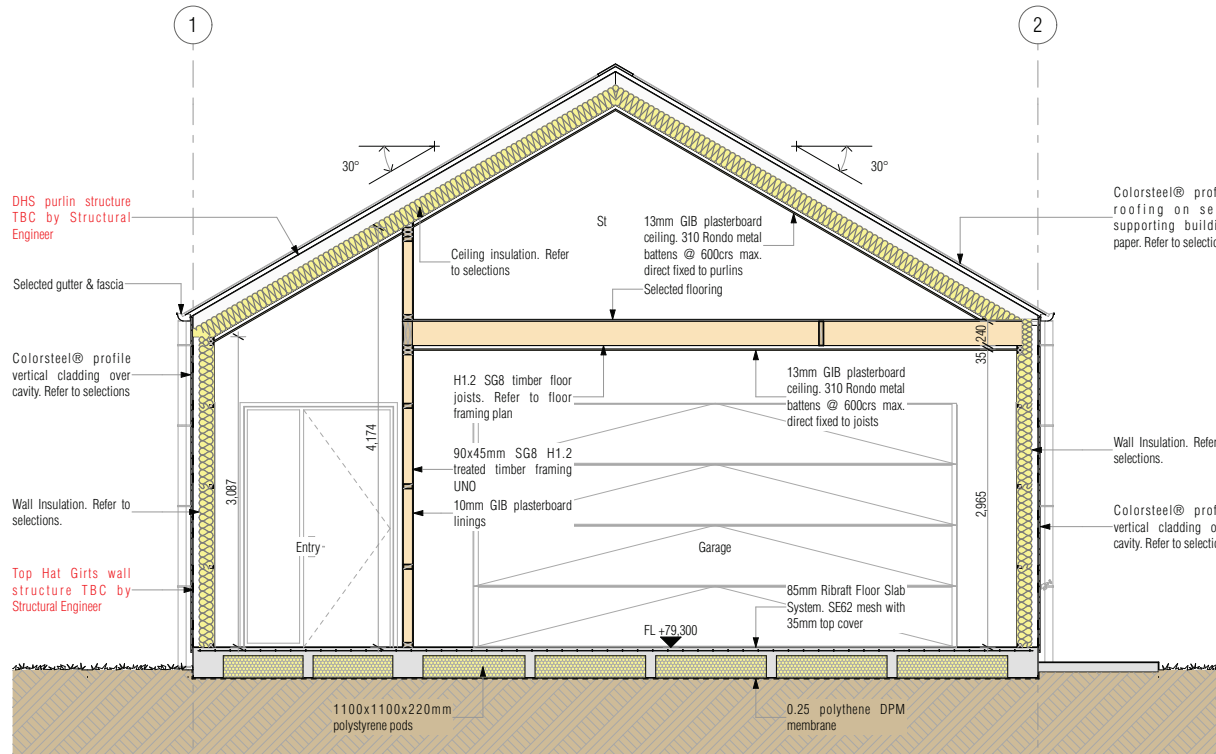
RevID	Revision Name	Date
02	Developed Design	26/05/24

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Selections Schedule	
Colorsteel Coating:	Endura
Roof Profile:	Dimond Corrugate
Fascia Profile:	Dimond 185 Fascia
Gutter Profile:	Dimond 125 Box
Downpipe Profile:	80mm dia.
Cladding:	Dimond Corrugate
Wall Underlay:	Kingspan Thermakraft Watergate Plus
Roof Underlay:	Kingspan Thermakraft Covertek 405
Wall Insulation:	Knaut Earthwool R3.2 (140mm)
Ceiling Insulation:	Knaut Earthwool R3.6 (175mm)
Flooring:	Maglok Dragonboard (20mm)



D Cross Section D-D
1:50
201, 505

Key/Notes

Square stop to ceiling/wall junction

Stud Framing as per NZS 3604:2011			
Section 8 - Walls		High Wind	
from Table 8.2 - Load bearing walls			
Stud height	Stud size	Stud Spacing	
up to 2.4m	90x45mm	600crs	
up to 2.7m	90x45mm	400crs	
up to 3.0m	90x45mm	300crs	
up to 3.6m	2/90x45mm	300crs	
from Table 8.4 - Non-load bearing walls			
Stud height	Stud size	Stud Spacing	
up to 3.0m	90x45mm	600crs	
up to 3.3m	90x45mm	400crs	



Client

Ira Tainui

Project Title

Proposed Dwelling

Site Address

1767C State Highway 10

Totara North

Drawing Issue

Developed Design

Sheet Title

Cross Sections

Scale Drawn

1:50 @ A3 Marc R. Vale

Date Checked

26/05/24 Marc Vale Architecture

Drawing no. Revision

404 02

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RevID	Revision Name	Date
02	Developed Design	26/05/24

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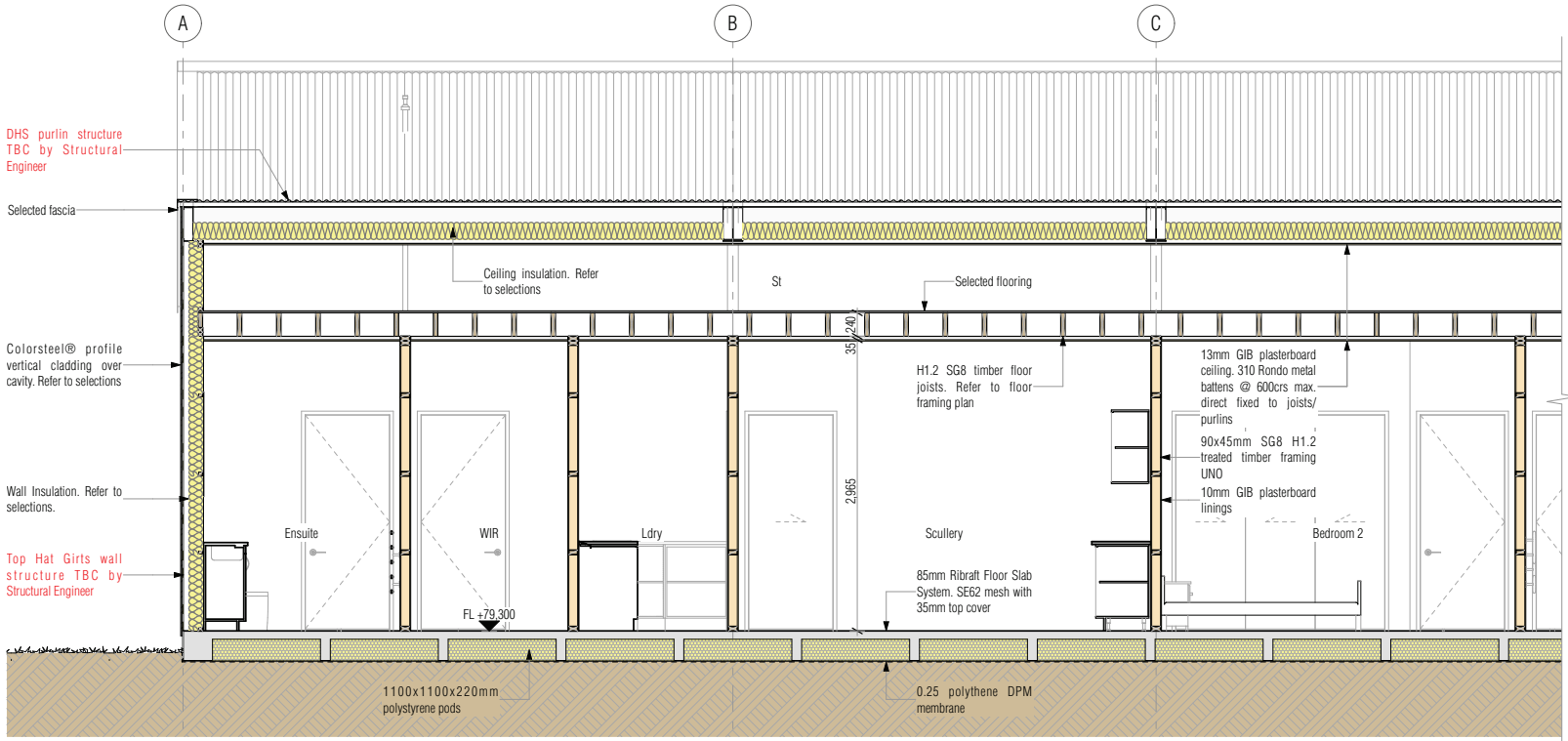
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Selections Schedule			
Colorsteel Coating:	Endura	Roof Underlay:	Kingspan Thermakraft Covertek 405
Roof Profile:	Dimond Corrugate	Wall Insulation:	Knauf Earthwool R3.2 (140mm)
Fascia Profile:	Dimond 185 Fascia	Ceiling Insulation:	Knauf Earthwool R3.6 (175mm)
Gutter Profile:	Dimond 125 Box	Flooring:	Maglok Dragonboard (20mm)
Downpipe Profile:	80mm dia.		
Cladding:	Dimond Corrugate		
Wall Underlay:	Kingspan Thermakraft Watergate Plus		

Key/Notes

Square stop to ceiling/wall junction

Stud Framing as per NZS 3604:2011 Section 8 - Walls High Wind			
from Table 8.2 - Load bearing walls			
Stud height	Stud size	Stud Spacing	
up to 2.4m	90x45mm	600crs	
up to 2.7m	90x45mm	400crs	
up to 3.0m	90x45mm	300crs	
up to 3.6m	2/90x45mm	300crs	
from Table 8.4 - Non-load bearing walls			
Stud height	Stud size	Stud Spacing	
up to 3.0m	90x45mm	600crs	
up to 3.3m	90x45mm	400crs	



E Cross Section E-E
201, 505



Sheet Title
Cross Sections

Client
Ira Tainui

Project Title
Proposed Dwelling

Site Address
1767C State Highway 10, Totara North

Scale
1:50 @ A3

Date
26/05/24

Drawing no.
405

Revision
02

Developed Design

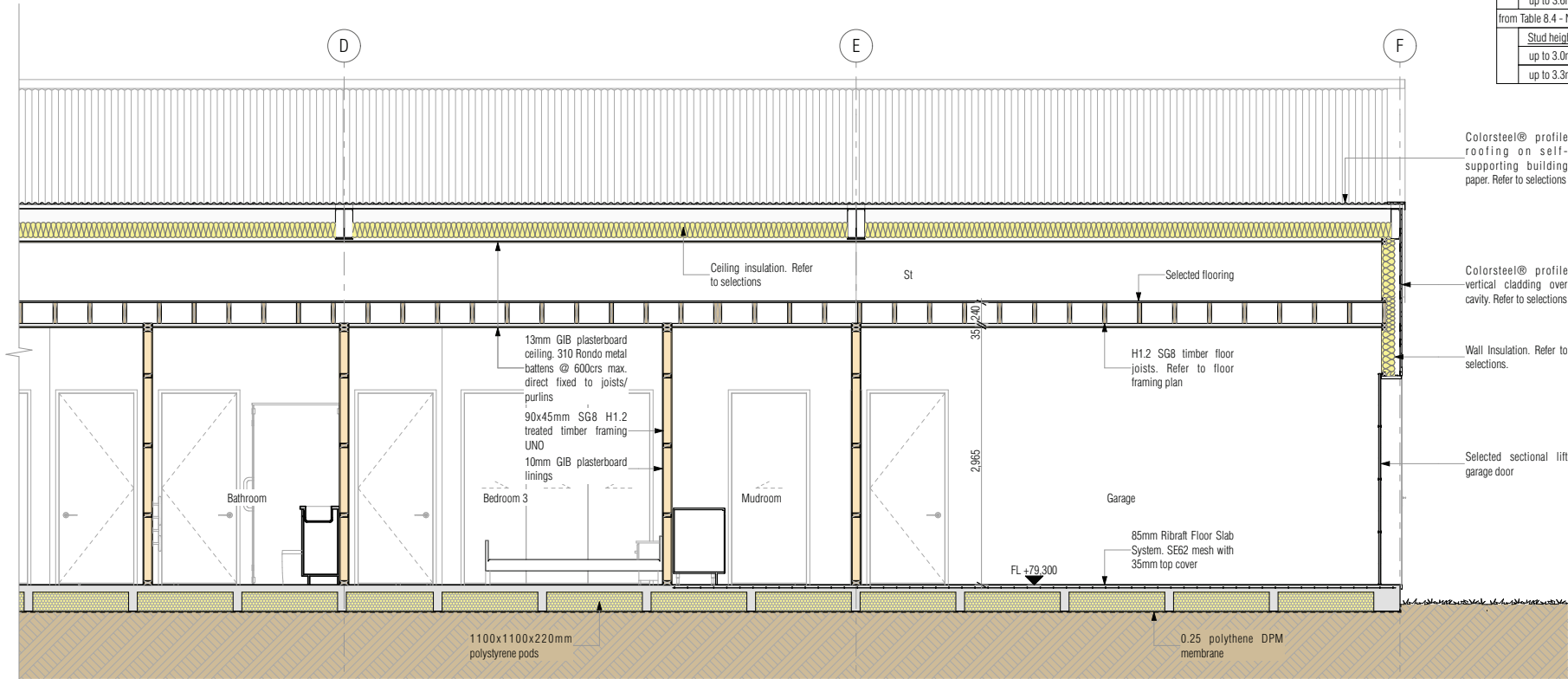
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Date	Checked	
26/05/24	Marc Vale Architecture	
Drawing no.	Revision	
405	02	
<small>All dimensions to be verified on site before commencing any work or producing shop drawings. On all scale: The copyright of this drawing remains with Marc Vale Architecture Ltd.</small>		
Revised	Revision Name	Date
02	Developed Design	26/05/24

Selections Schedule			
Colorsteel Coating:	Endura	Roof Underlay:	Kingspan Thermakraft Covertex 405
Roof Profile:	Dimond Corrugate	Wall Insulation:	Knauf Earthwool R3.2 (140mm)
Fascia Profile:	Dimond 185 Fascia	Ceiling Insulation:	Knauf Earthwool R3.6 (175mm)
Gutter Profile:	Dimond 125 Box	Flooring:	Maglok Dragonboard (20mm)
Downpipe Profile:	80mm dia.		
Cladding:	Dimond Corrugate		
Wall Underlay:	Kingspan Thermakraft Watergate Plus		

Key/Notes

Square stop to ceiling/wall junction

Stud Framing as per NZS 3604:2011			
Section 8 - Walls			High Wind
from Table 8.2 - Load bearing walls			
Stud height	Stud size	Stud Spacing	
up to 2.4m	90x45mm	600crs	
up to 2.7m	90x45mm	400crs	
up to 3.0m	90x45mm	300crs	
up to 3.6m	2/90x45mm	300crs	
from Table 8.4 - Non-load bearing walls			
Stud height	Stud size	Stud Spacing	
up to 3.0m	90x45mm	600crs	
up to 3.3m	90x45mm	400crs	



E Cross Section E-E
1:50 201, 505

MARC VALE ARCHITECTURE
 LICENSED BUILDING PRACTITIONER
 AD NZ Professional Member
 Architects and Planners New Zealand

Sheet Title
Cross Sections

Client
Ira Tainui

Project Title
Proposed Dwelling

Site Address
1767C State Highway 10, Totara North

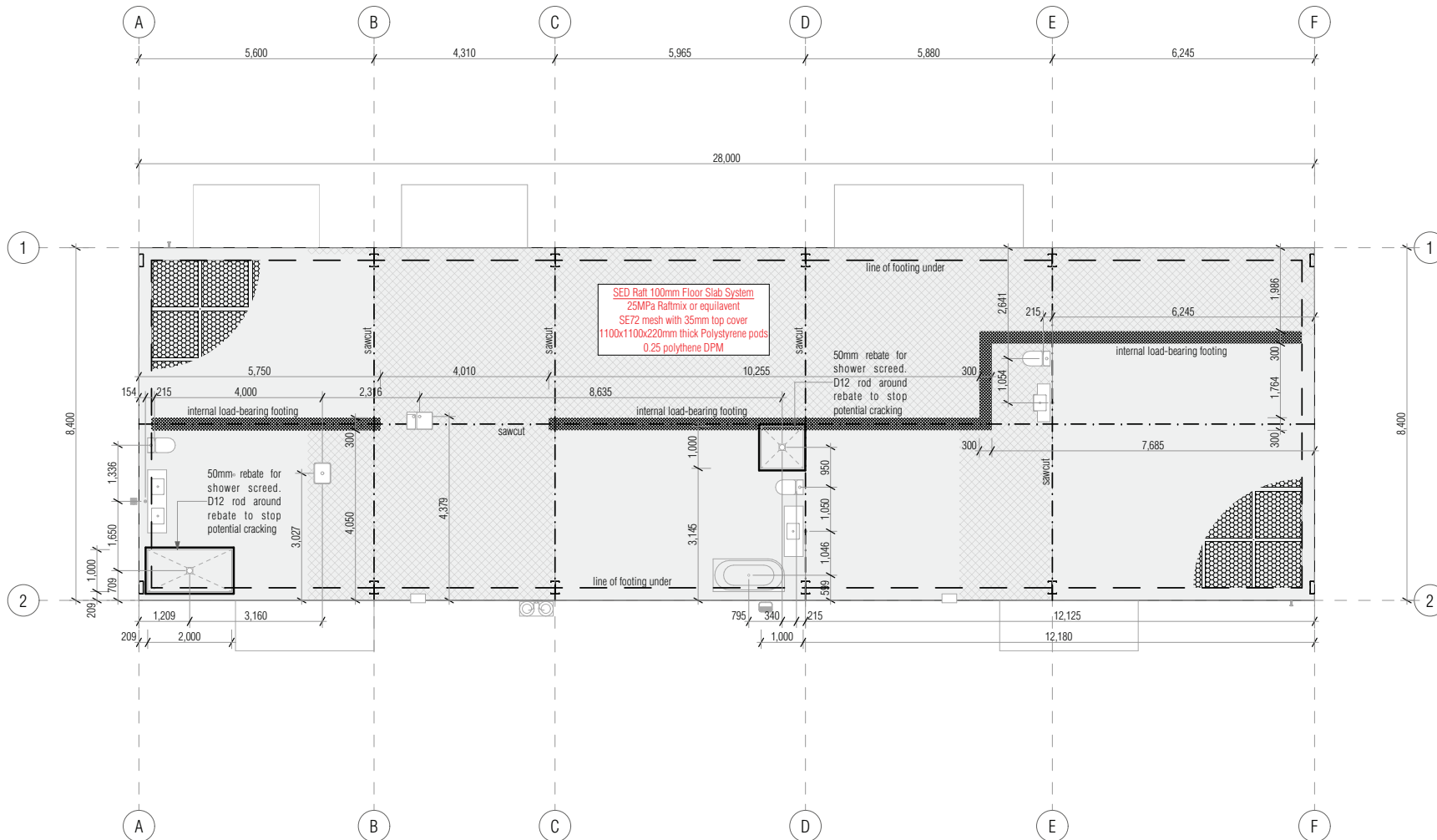
Developed Design

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Date	Checked	
26/05/24	Marc Vale Architecture	
Drawing no.	Revision	
406	02	
All dimensions to be verified on site before commencing any work or producing shop drawings. On no scale. The copyright of this drawing remains with Marc Vale Architecture Ltd.		
RevID	Revision Name	Date
02	Developed Design	26/05/24

Ground Floor Area over Framing
235.64 m²

Key/Notes

Polished concrete floor finish



Client

Ira Tainui

Project Title

Proposed Dwelling

Site Address

1767C State Highway 10
Totara North

Drawing Issue

Developed Design

Sheet Title

Foundation Plan

Scale Drawn

1:100, 1:1 @ A3 Marc R. Vale

Date Checked

26/05/24 Marc Vale Architecture

Drawing no. Revision

501 02

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RevID	Revision Name	Date
02	Developed Design	26/05/24

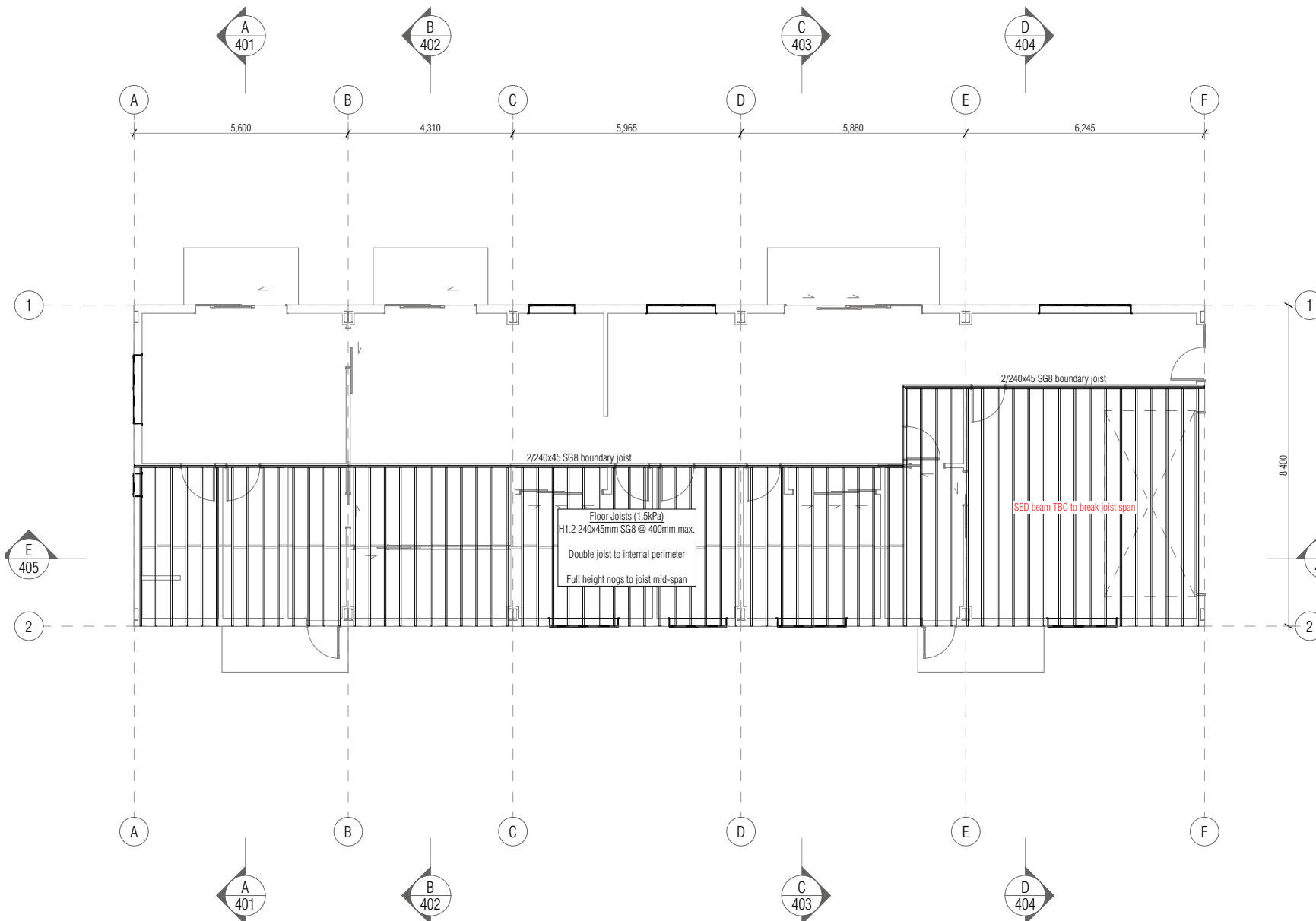
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Ground Floor Area over Framing
235.64 m²

Key/Notes



Client
Ira Tainui

Project Title
Proposed Dwelling

Site Address
**1767C State Highway 10
Totara North**

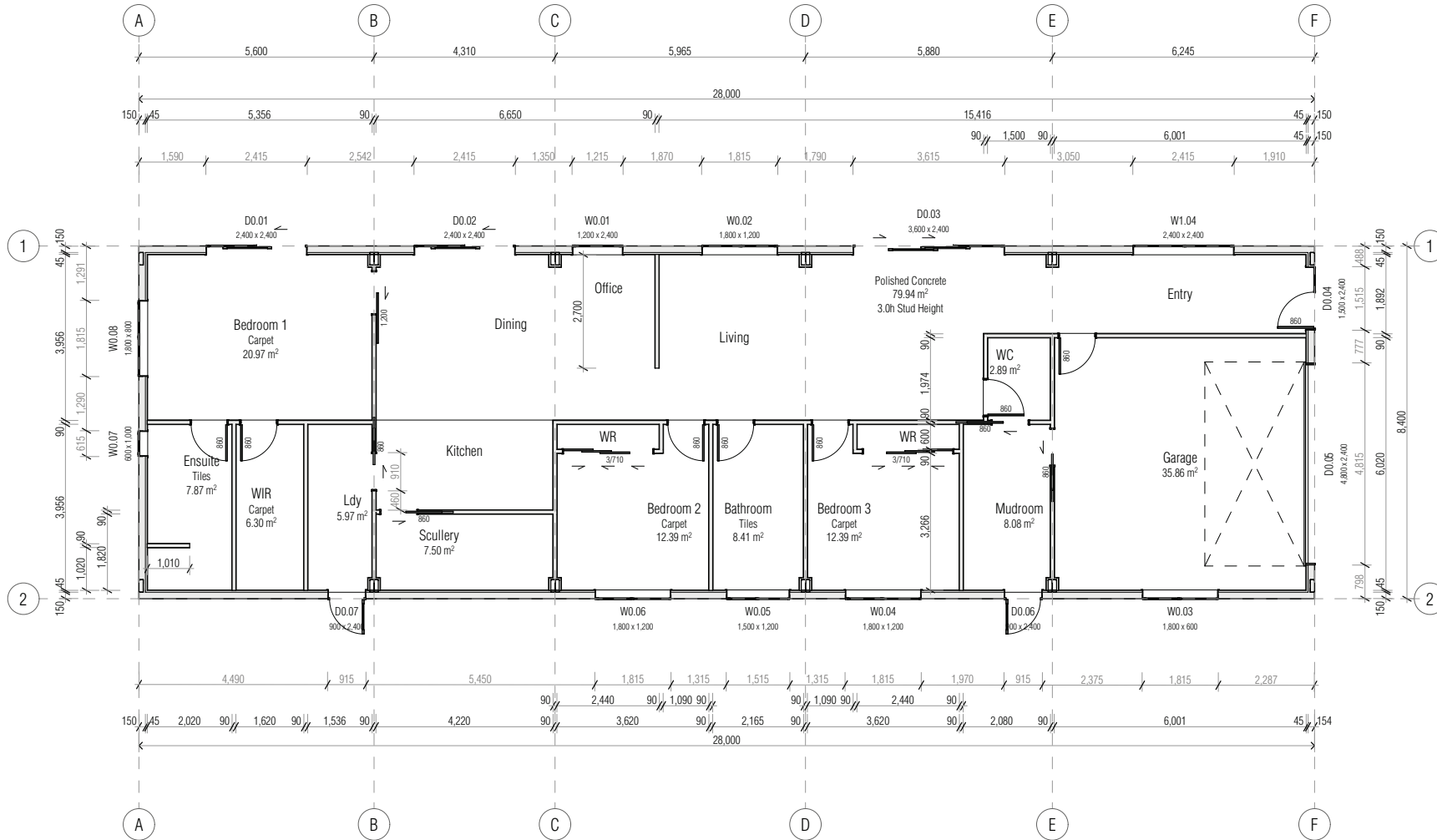
Drawing Issue
Developed Design

Sheet Title
Floor Framing Plan

Scale	Drawn
1:100, 1:1 @ A3	Marc R. Vale
Date	Checked
26/05/24	Marc Vale Architecture
Drawing no.	Revision
502	02

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RevID	Revision Name	Date
02	Developed Design	26/05/24



Client

Ira Tainui

Project Title

Proposed Dwelling

Site Address

1767C State Highway 10
Totara North

Drawing Issue

Developed Design

Sheet Title

Dimension Plan

Scale	1:100 @ A3	Drawn	Marc R. Vale
Date	26/05/24	Checked	
Drawing no.	503	Revision	02

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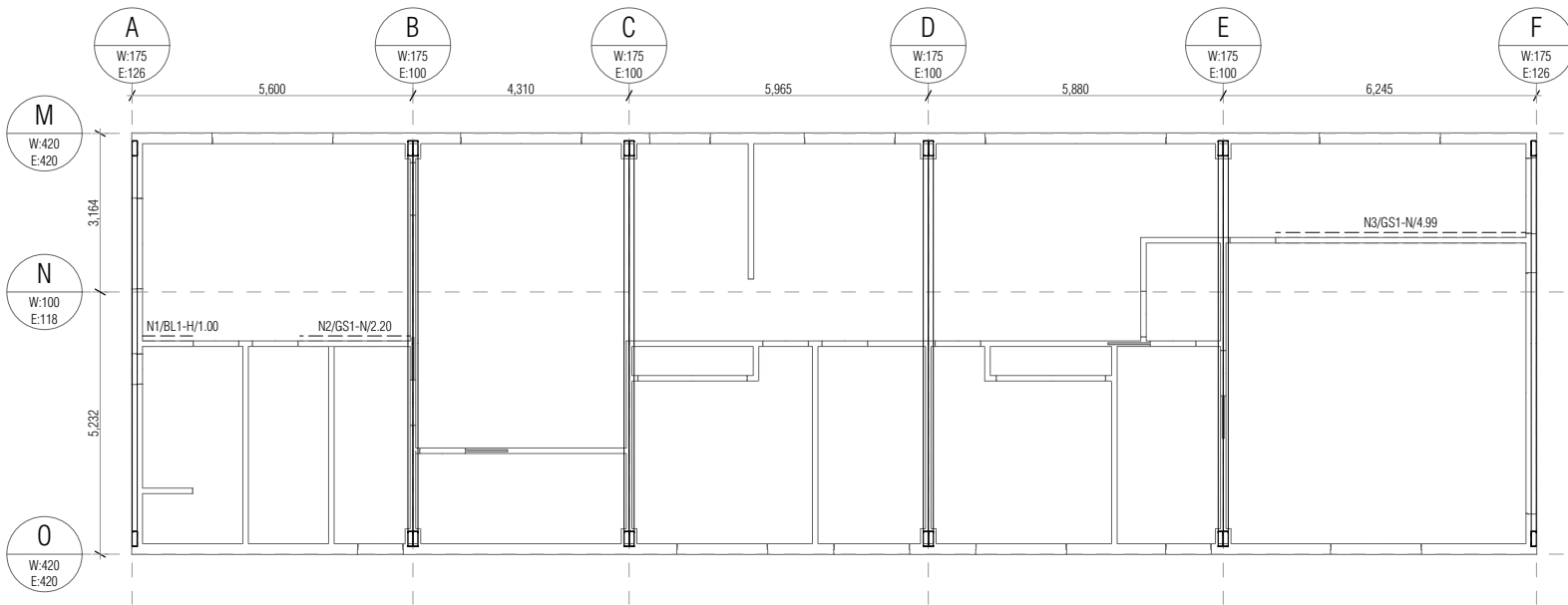
RevID	Revision Name	Date
02	Developed Design	26/05/24

- Load-bearing wall
- Non-Load bearing wall

All connecting top plates for bracing walls to be fixed with MiTek Lumberlok Plate-Lok 6kN Capacity Connector as per MiTek Structural fixing on-site guide page 85

Stud to Top Plate fixing as per MiTek Structural fixings on-site Guide page 88 as an alternative to NZS3604:2011 table 8.18

All bracing elements shall be installed and fixed as per the manufacturers recommendations.



BRACING CALCULATIONS

Location of Storey	Single	Wind Zone	
Room in Roof Space	No	Earthquake Zone	
Roof Width (RW)	8.40m	Soil Class	
Roof Length (RL)	28.00m		
Gross Floor Area (GFA)	235.20m ²	W along	65BU/m
Floor Height to Apex	6m	W along x RW	546BU
Roof Height Above Eaves	3m	W across	75BU/m
Roof Pitch	26 - 45°	W across x RL	2100BU
Roof Style	Gable		
Double Top Plate	Yes	EQ	38BU/m ²
Floor Load	2kPa	EQ x GFA	706BU
Cladding Weights:			
- Subfloor	Concrete Floor		
- Wall	Light		
- Roof	Light		

TABLE: Default

High	1
E - Very Soft	
M	420
N	100
O	420
Total	706BU

BRACING ALONG

Line	Required		Provided					Achieved		
	W	EQ	Brace Type	W BU/m	EQ BU/m	Length m	Height m	Angle	W	EQ
M	420	420							0	0
N	100	118	N-1 BL1-H	90	100	1.00	3.00	-	90	100
			N-2 GS1-N	70	60	2.20	3.00	-	154	132
			N-3 GS1-N	70	60	4.99	3.00	-	349	299
									593	531
O	420	420							0	0
Total									593	531
									546	706

BRACING ACROSS

Line	Required		Provided					Achieved		
	W	EQ	Brace Type	W BU/m	EQ BU/m	Length m	Height m	Angle	W	EQ
A	175	126							0	0
B	175	100							0	0
C	175	100							0	0
D	175	100							0	0
E	175	100							0	0
F	175	126							0	0
Total									2100	706

Calculations based on NZS3604:2011



Client

Ira Tainui

Project Title

Proposed Dwelling

Site Address

1767C State Highway 10

Totara North

Drawing Issue

Developed Design

Sheet Title

Bracing + Fixing Plan

Scale Drawn

1:100 @ A3 Marc R. Vale

Date Checked

26/05/24 Marc Vale Architecture

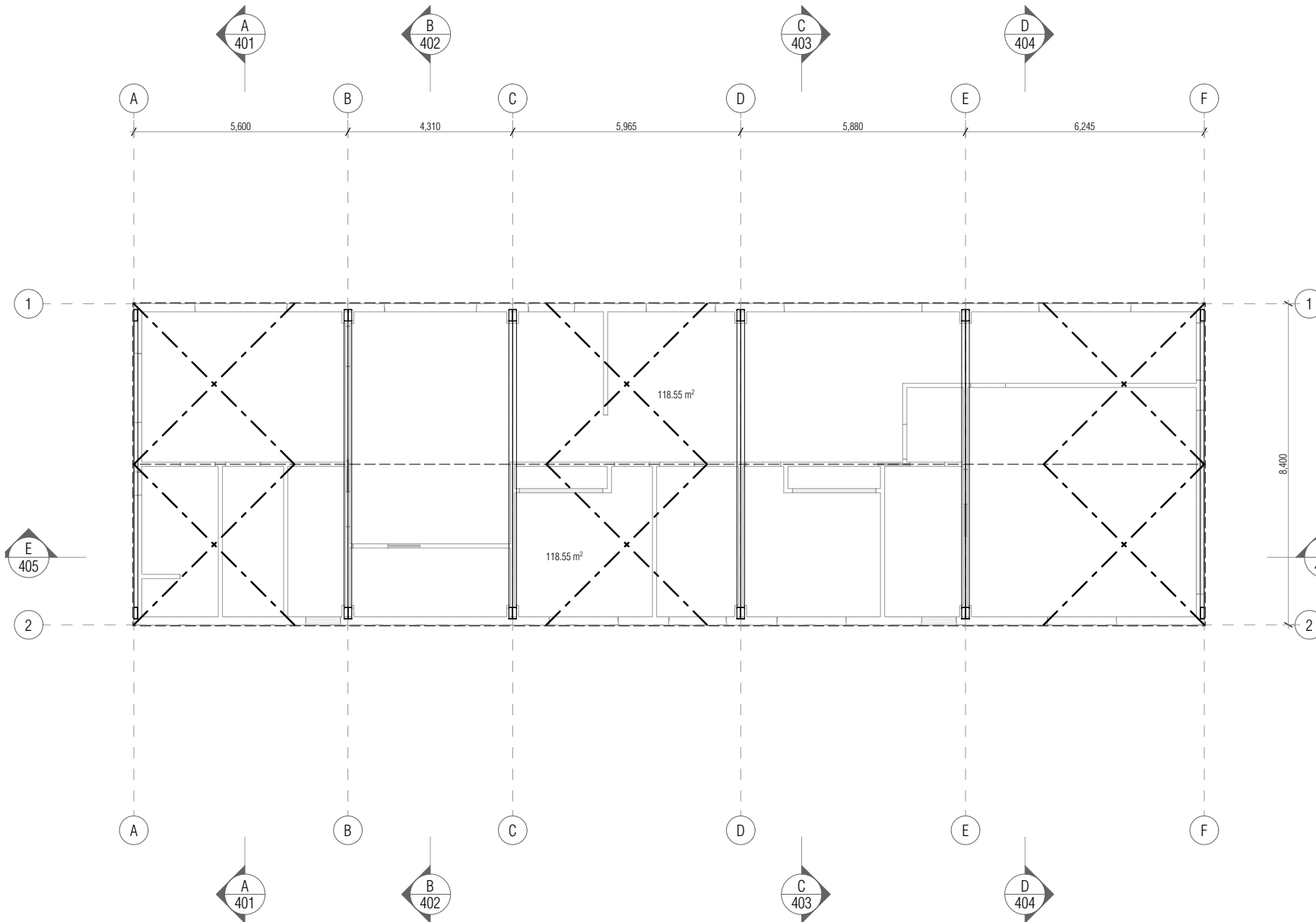
Drawing no. Revision

504 02

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RevID	Revision Name	Date
02	Developed Design	26/05/24

Total Roof Plan Area
237.10 m²



Key/Notes

- Load-bearing wall
- Non-Load bearing wall
- Roof plane Brace - pair of tensioned and crossed LUMBERLOK Strip Brace running continuously from ridge to top plate

Roof bracing as per NZS3604:2011 sections 10.3 & 10.4. 1 brace per 50m² for light roof



Client
Ira Tainui

Project Title
Proposed Dwelling

Site Address
**1767C State Highway 10
Totara North**

Drawing Issue
Developed Design

Sheet Title
Roof Framing Plan

Scale	Drawn
1:100, 1:1 @ A3	Marc R. Vale
Date	Checked
26/05/24	Marc Vale Architecture
Drawing no.	Revision

505 **02**

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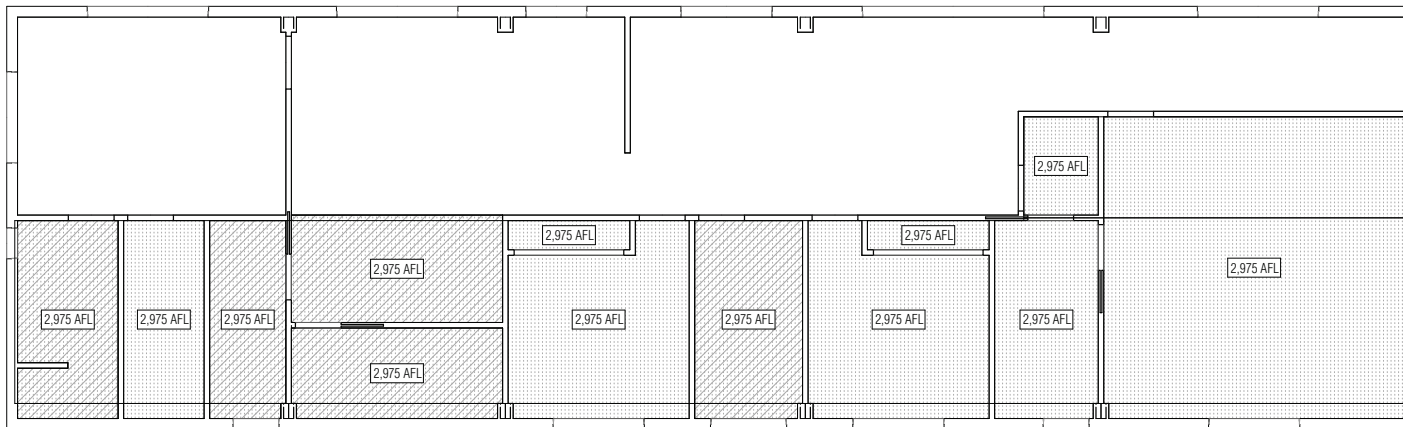
RevID	Revision Name	Date
02	Developed Design	26/05/24

Key/Notes

 Flat 13mm GIB Standard ceiling

 Flat 13mm GIB Aqualine ceiling

Square stop to ceiling/wall junction



Client

Ira Tainui

Project Title

Proposed Dwelling

Site Address

1767C State Highway 10
Totara North

Drawing Issue

Developed Design

Sheet Title

Lower Reflected Ceiling Plan

Scale Drawn

1:100 @ A3 Marc R. Vale

Date Checked

26/05/24 Marc Vale Architecture

Drawing no. Revision

507 02

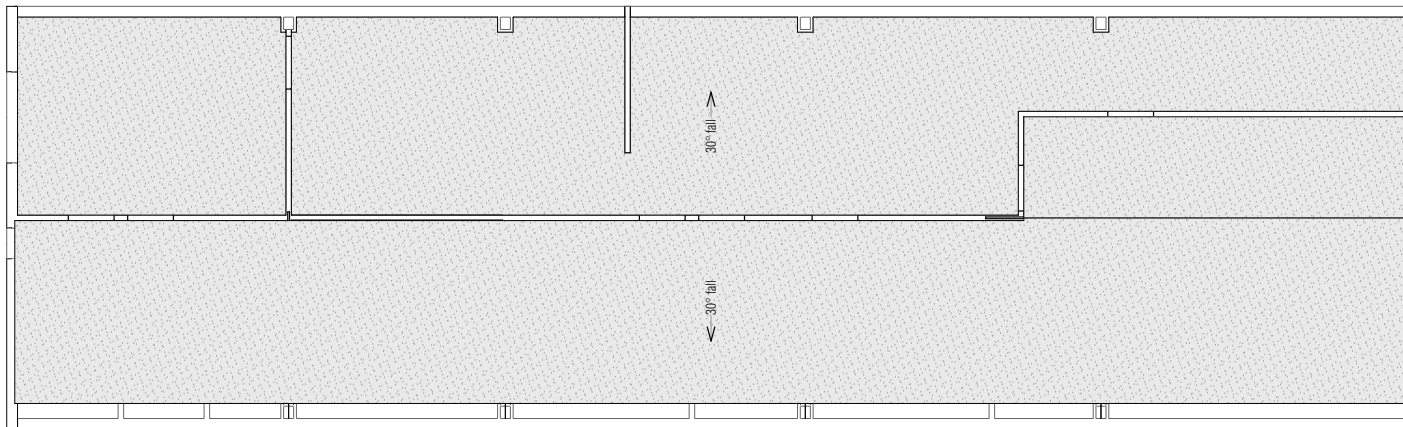
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Revisi	Revision Name	Date
02	Developed Design	26/05/24

Key/Notes

 Raking 13mm GIB Standard ceiling

Square stop to ceiling/wall junction



Client

Ira Tainui

Project Title

Proposed Dwelling

Site Address

1767C State Highway 10
Totara North

Drawing Issue

Developed Design

Sheet Title

Upper Reflected Ceiling Plan

Scale Drawn

1:100 @ A3 Marc R. Vale

Date Checked

26/05/24 Marc Vale Architecture













Drawing no. Revision

508 02

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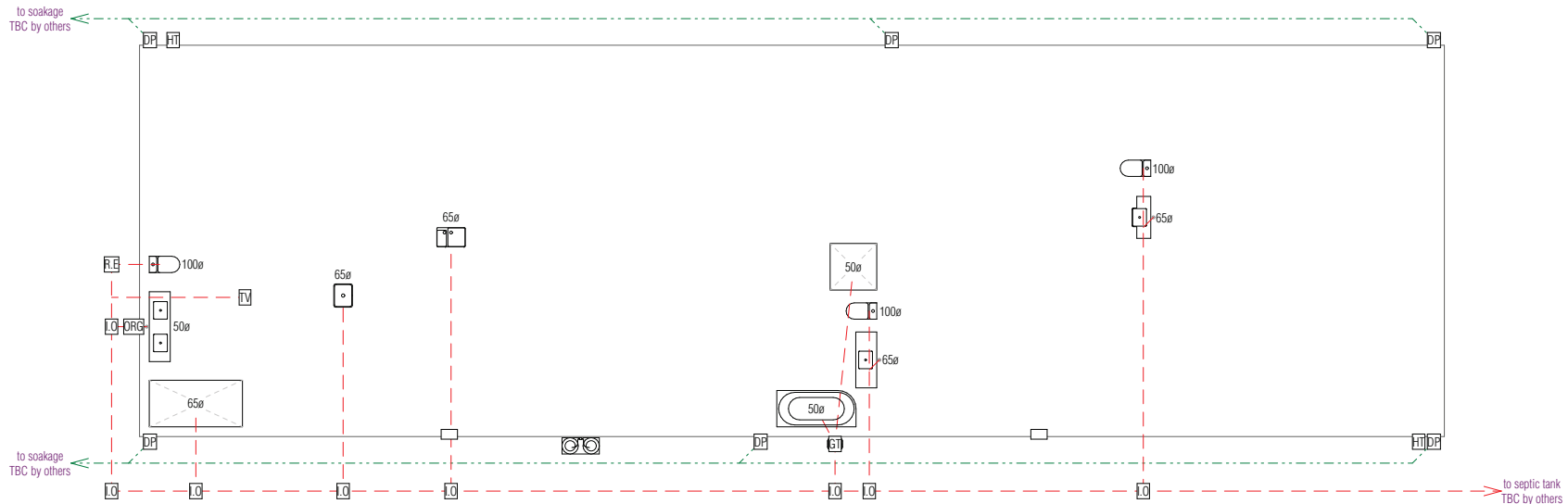
RevID	Revision Name	Date
02	Developed Design	26/05/24

Key/Notes

-  Rodding Eye
-  Inspection Point
-  Air Admittance Valve
-  Overflow Relief Gully
-  Gully Trap
-  Terminal Vent
-  Fixture Vent
-  Stack Vent
-  uPVC Sanitary Sewer Pipe
-  Downpipe
-  100mm uPVC Stormwater Pipe
-  Hoselap

Key/Notes

- Carry out all sanitary sewer work and complete all tests to NZBC G1/AS1: 2.0, 3.0 and AS/NZS 3500.2, as modified by NZBC G13/AS3
- 1:40 for 65mm diameter and under
1:60 for 100mm diameter and under
- Carry out all stormwater work and complete all tests to NZBC E1/AS1
- 1:120 for 100mm diameter and under
- Lay uPVC pipe systems to relevant sections of AS/NZS 2032, NZS 2566.1 and AS/NZS 2566.2
- All plumbing and drainage to be confirmed by contractor before commencement of works
- A registered drainlayer/plumber is to provide an as-built layout to council
- Drains installed under buildings shall be:
 - a) Straight and of even gradient,
 - b) Separated from the building foundation by at least 25 mm, and
 - c) When passing through concrete, sleeved or wrapped in a durable and flexible material to allow for expansion and contraction.
- Drains passing beneath buildings with a concrete slab on the ground floor shall have in addition to Paragraph 5.8.1:
 - a) 50 mm clearance from the top of the pipe to the underside of the slab, and
 - b) Junctions beneath the building joining at an angle of not more than 45°



Client

Ira Tainui

Project Title

Proposed Dwelling

Site Address

1767C State Highway 10
Totara North

Drawing Issue

Developed Design

Sheet Title

Plumbing and Drainage Plan

Scale	Drawn
1:100 @ A3	Marc R. Vale
Date	Checked
26/05/24	Marc Vale Architecture
Drawing no.	Revision

601 02

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RevID	Revision Name	Date
02	Developed Design	26/05/24

Ground Floor Area over Framing
235.64 m²

Key/Notes

SD Type 1 smoke alarm to NZBC F7/AS1

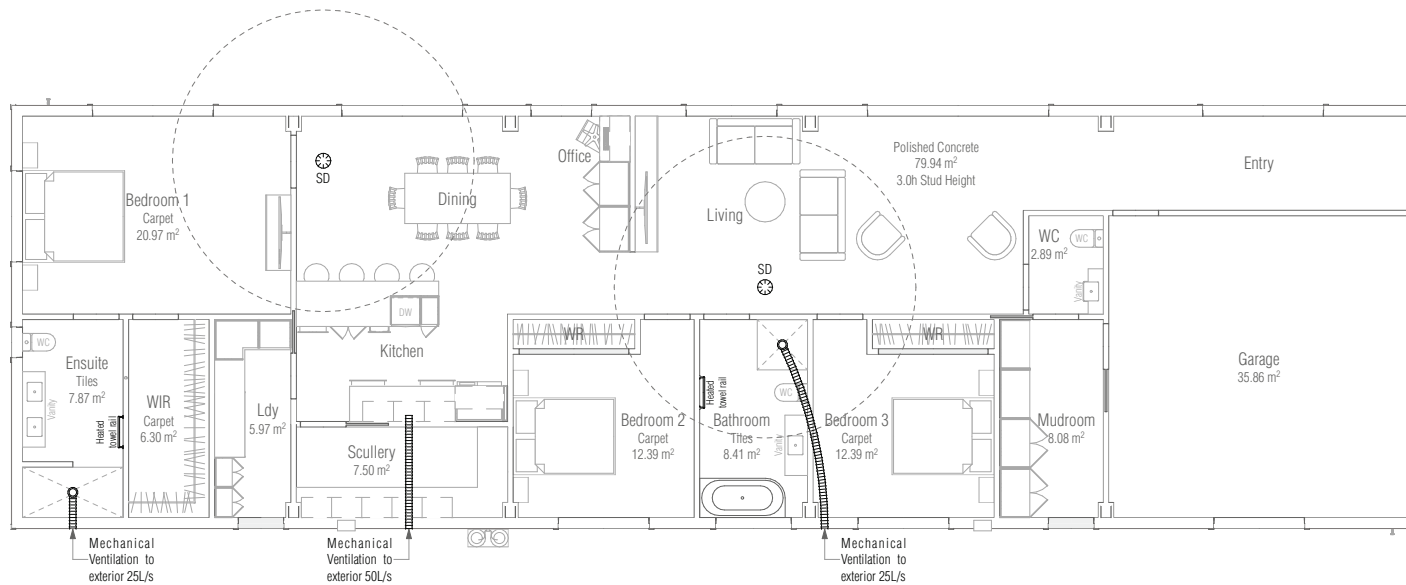
----- 3.0m smoke alarm radius

Mechanical Ventilation to NZS 4303:1990

All electrical work to be confirmed by client before commencement of works

Downlights to be IC-F or IC so that insulation does not require any insulation clearances.

Adequate artificial lighting in entrance (min. 20 lux at floor level) and when activated in the absence of sufficient natural light will enable safe moveable.



Client

Ira Tainui

Project Title

Proposed Dwelling

Site Address

1767C State Highway 10
Totara North

Drawing Issue

Developed Design

Sheet Title

Electrical & Ventilation Plan

Scale	1:100 @ A3	Drawn	Marc R. Vale
Date	26/05/24	Checked	Marc Vale Architecture
Drawing no.	602	Revision	02

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RevID	Revision Name	Date
02	Developed Design	26/05/24

Door / Window ID	D0.01	D0.02	D0.03	D0.04	D0.05	D0.06	D0.07	W0.01
Quantity	1	1	1	1	1	1	1	1
2D Elevation (Unit Size Dimensioned)								
Unit W x H Size	2,400x2,400	2,400x2,400	3,600x2,400	1,500x2,400	4,800x2,400	900x2,400	900x2,400	1,200x2,400
FL to Head Height	2,400	2,400	2,400	2,400	2,400	2,400	2,400	2,400
FL to Sill	0	0	0	0	0	0	0	0
Restrictor stays	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Double-Glazed	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
Safety Glass	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
Frosted	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Door / Window ID	W0.02	W0.03	W0.04	W0.05	W0.06	W0.07	W0.08
Quantity	1	1	1	1	1	1	1
2D Elevation (Unit Size Dimensioned)							
Unit W x H Size	1,800x1,200	1,800x600	1,800x1,200	1,500x1,200	1,800x1,200	600x1,000	1,800x800
FL to Head Height	2,400	2,400	2,400	2,400	2,400	2,400	2,400
FL to Sill	1,200	1,800	1,200	1,200	1,200	1,400	1,600
Restrictor stays	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
Double-Glazed	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
Safety Glass	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Frosted	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Exterior Door & Window Schedule

Room Location	Bedroom 1	Bedroom 2	Bedroom 2 WR	Bedroom 3	Bedroom 3 WR	Ensuite	Garage	Garage / Mudroom	Ldy	Scullery	WC	WC / Mudroom	WIR
Door Leaf	860	1,200 Barn	860	860	860	860	860	860 CS	860 CS	860 CS	860	860 CS	860
Quantity	1	1	1	1	1	1	1	1	1	1	1	1	1
2D Elevation													
Frame W x H Size	900x2,220	1,040x2,220	900x2,220	2,170x2,220	900x2,220	2,170x2,220	900x2,220	900x2,220	900x2,220	900x2,220	900x2,220	900x2,220	900x2,220

Interior Door Schedule

Key/Notes

All glazing to NZS 4223 - Parts 1 & 4:2008, Parts 2 & 3:2016

Dimensions shown are Unit Size



Client

Ira Tainui

Project Title

Proposed Dwelling

Site Address

1767C State Highway 10

Totara North

Drawing Issue

Developed Design

Sheet Title

Door & Window Schedule

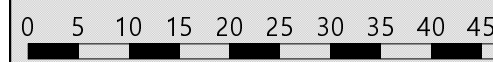
Scale	1:100 @ A3	Drawn	Marc R. Vale
Date	26/05/24	Checked	Marc Vale Architecture
Drawing no.	801	Revision	02

02 Developed Design 26/05/24



Applicant : I Tainui
 Title : NA135D/647
 Area : 1.4592ha
 1/4th share Lot 6 DP 197929
 Total Area : 1.4827ha
 Zone : Rural Production
 Coordinates are in terms of NZGD
 Mt Eden 2000.
 Heights are in terms of NZVD 2016.
 Origin of heights DC64 (RL 102.477).

Impermeable Areas
 Residential Unit roof: 234m²
 Minor Residential Unit roof: 55m²
 Carport: 18m²
 Covered deck: 10m²
 Driveway onsite: 522m²
 1/4th share in common driveway: 116m²
 Total 955m² (6.5%)



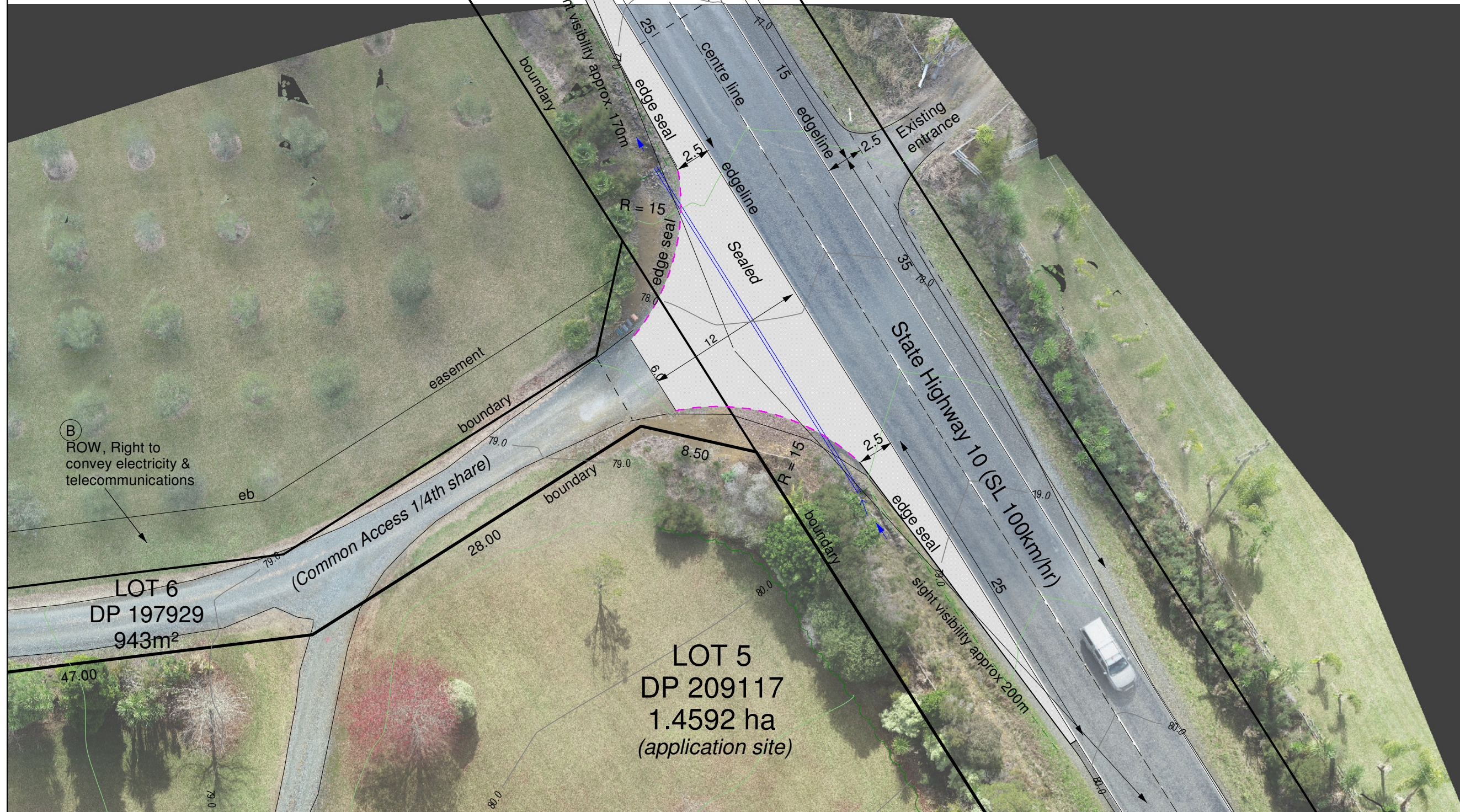
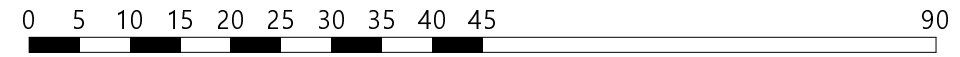
Coordinates are in terms of NZGD Mt Eden 2000
Heights are in terms of NZVD 2016
Origin of heights DC64 (RL 102.477)

Applicant : I. Tainui

Title : NA135D/647

Total Area : 1.48ha
(includes share in common access)

Zone : Rural Production



(B) ROW, Right to convey electricity & telecommunications

LOT 6
DP 197929
943m²

LOT 5
DP 209117
1.4592 ha
(application site)