



<b>Office Use Only</b> Application Number:
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**APPLICATION FOR RESOURCE CONSENT OR FAST-TRACK RESOURCE CONSENT**

**(Or Associated Consent Pursuant to the Resource Management Act 1991 (RMA))**

**(If applying for a Resource Consent pursuant to Section 87AAC or 88 of the RMA, this form can be used to satisfy the requirements of Form 9)**

*Prior to, and during, completion of this application form, please refer to Resource Consent Guidance Notes and Schedule of Fees and Charges – both available on the Council’s web page.*

**1. Pre-Lodgement Meeting**

Have you met with a Council Resource Consent representative to discuss this application prior to lodgement? Yes / No

**2. Type of Consent being applied for (more than one circle can be ticked):**

- Land Use
- Fast Track Land Use\*
- Subdivision
- Discharge
- Extension of time (s.125)
- Change of conditions (s.127)
- Change of Consent Notice (s.221(3))
- Consent under National Environmental Standard (e.g. Assessing and Managing Contaminants in Soil)
- Other (please specify) \_\_\_\_\_

**\*The fast track for simple land use consents is restricted to consents with a controlled activity status and requires you provide an electronic address for service.**

**3. Would you like to opt out of the Fast Track Process? Yes / No**

**4. Applicant Details:**

Name/s: Cornerstone Assets Ltd

Electronic Address for Service (E-mail):

Phone Numbers:

Postal Address: (or alternative method of service under section 352 of the Act)



Post Code: \_\_\_\_\_

**5. Address for Correspondence: Name and address for service and correspondence (if using an Agent write their details here).**

Name/s: cadplanz- Paul Hayman

Electronic Address for Service (E-mail):

Phone Numbers:

Postal Address: (or alternative method of service under section 352 of the Act)



Post Code: \_\_\_\_\_

**All correspondence will be sent by email in the first instance. Please advise us if you would prefer an alternative means of communication.**

**6. Details of Property Owner/s and Occupier/s: Name and Address of the Owner/Occupiers of the land to which this application relates (where there are multiple owners or occupiers please list on a separate sheet if required)**

Name/s: Cornerstone Assets Ltd

Property Address/ Location: 553 Kerikeri Road  
Kerikeri

**7. Application Site Details:**

Location and/or Property Street Address of the proposed activity:

Site Address/ Location: 553 Kerikeri Road  
Kerikeri

Legal Description: Lot 1 DP 158861 Val Number: \_\_\_\_\_

Certificate of Title: NA95B/340  
Please remember to attach a copy of your Certificate of Title to the application, along with relevant consent notices and/or easements and encumbrances (search copy must be less than 6 months old)

Site Visit Requirements:

Is there a locked gate or security system restricting access by Council staff? **Yes / No**  
Is there a dog on the property? **Yes / No**  
Please provide details of any other entry restrictions that Council staff should be aware of, e.g. health and safety, caretaker's details. **This is important to avoid a wasted trip and having to re-arrange a second visit.**

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**8. Description of the Proposal:**

Please enter a brief description of the proposal here. Attach a detailed description of the proposed activity and drawings (to a recognized scale, e.g. 1:100) to illustrate your proposal. Please refer to Chapter 4 of the District Plan, and Guidance Notes, for further details of information requirements.

8.6.5.1.3 Stormwater Management- Proposed impermeable surfaces area exceeds the 33% threshold approved by Resource Consent 2220607

8.6.5.1.4 Setback from Boundaries- Proposed works are demonstrated within 10m of a boundary

If this is an application for an Extension of Time (s.125); Change of Consent Conditions (s.127) or Change or Cancellation of Consent Notice conditions (s.221(3)), please quote relevant existing Resource Consents and Consent Notice identifiers and provide details of the change(s) or extension being sought, with reasons for requesting them.

**9. Would you like to request Public Notification** **Yes/No**

**10. Other Consent required/being applied for under different legislation (more than one circle can be ticked):**

- Building Consent (BC ref # if known) **EBC 2025-260/0**  Regional Council Consent (ref # if known)
- National Environmental Standard consent  Other (please specify)

**11. National Environmental Standard for Assessing and Managing Contaminants in Soil to Protect Human Health:**

The site and proposal may be subject to the above NES. In order to determine whether regard needs to be had to the NES please answer the following (further information in regard to this NES is available on the Council's planning web pages):

Is the piece of land currently being used or has it historically ever been used for an activity or industry on the Hazardous Industries and Activities List (HAIL)  yes  no  don't know

Is the proposed activity an activity covered by the NES? (If the activity is any of the activities listed below, then you need to tick the 'yes' circle).  yes  no  don't know

- Subdividing land  Changing the use of a piece of land
- Disturbing, removing or sampling soil  Removing or replacing a fuel storage system

**12. Assessment of Environmental Effects:**

*Every application for resource consent must be accompanied by an Assessment of Environmental Effects (AEE). This is a requirement of Schedule 4 of the Resource Management Act 1991 and an application can be rejected if an adequate AEE is not provided. The information in an AEE must be specified in sufficient detail to satisfy the purpose for which it is required. Your AEE may include additional information such as Written Approvals from adjoining property owners, or affected parties.*

**Please attach your AEE to this application.**

**13. Billing Details:**

This identifies the person or entity that will be responsible for paying any invoices or receiving any refunds associated with processing this resource consent. Please also refer to Council's Fees and Charges Schedule.

Name/s: (please write all names in full)

**Cornerstone Assets Ltd**

Email:

Postal Address:

Phone Numbers:

**Fees Information:** An instalment fee for processing this application is payable at the time of lodgement and must accompany your application in order for it to be lodged. Please note that if the instalment fee is insufficient to cover the actual and reasonable costs of work undertaken to process the application you will be required to pay any additional costs. Invoiced amounts are payable by the 20<sup>th</sup> of the month following invoice date. You may also be required to make additional payments if your application requires notification.

**Declaration concerning Payment of Fees:** I/we understand that the Council may charge me/us for all costs actually and reasonably incurred in processing this application. Subject to my/our rights under Sections 357B and 358 of the RMA, to object to any costs, I/we undertake to pay all and future processing costs incurred by the Council. Without limiting the Far North District Council's legal rights if any steps (including the use of debt collection agencies) are necessary to recover unpaid processing costs I/we agree to pay all costs of recovering those processing costs. If this application is made on behalf of a trust (private or family), a society (incorporated or unincorporated) or a company in signing this application I/we are binding the trust, society or company to pay all the above costs and guaranteeing to pay all the above costs in my/our personal capacity.

Name: **Ray Adams** (please print)

Signature: \_\_\_\_\_ (signature of bill payer – **mandatory**) Date: **21 October 2024**

## 14. Important Information:

### Note to applicant

You must include all information required by this form. The information must be specified in sufficient detail to satisfy the purpose for which it is required.

You may apply for 2 or more resource consents that are needed for the same activity on the same form.

You must pay the charge payable to the consent authority for the resource consent application under the Resource Management Act 1991.

### Fast-track application

Under the fast-track resource consent process, notice of the decision must be given within 10 working days after the date the application was first lodged with the authority, unless the applicant opts out of that process at the time of lodgement. A fast-track application may cease to be a fast-track application under section 87AAC(2) of the RMA.

### Privacy Information:

Once this application is lodged with the Council it becomes public information. Please advise Council if there is sensitive information in the proposal. The information you have provided on this form is required so that your application for consent pursuant to the Resource Management Act 1991 can be processed under that Act. The information will be stored on a public register and held by the Far North District Council. The details of your application may also be made available to the public on the Council's website, [www.fndc.govt.nz](http://www.fndc.govt.nz). These details are collected to inform the general public and community groups about all consents which have been issued through the Far North District Council.

**Declaration:** The information I have supplied with this application is true and complete to the best of my knowledge.

Name: **Paul Hayman** (please print)

Signature:  (signature)

Date: 21 October 2024

(A signature is not required if the application is made by electronic means)

### Checklist (please tick if information is provided)

- Payment (cheques payable to Far North District Council)
- A current Certificate of Title (Search Copy not more than 6 months old)
- Copies of any listed encumbrances, easements and/or consent notices relevant to the application
- Applicant / Agent / Property Owner / Bill Payer details provided
- Location of property and description of proposal
- Assessment of Environmental Effects
- Written Approvals / correspondence from consulted parties
- Reports from technical experts (if required)
- Copies of other relevant consents associated with this application
- Location and Site plans (land use) AND/OR
- Location and Scheme Plan (subdivision)
- Elevations / Floor plans
- Topographical / contour plans

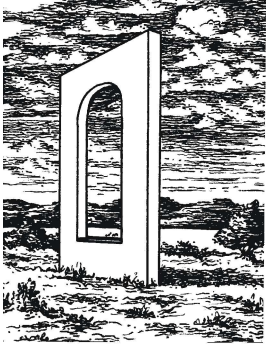
*Please refer to Chapter 4 of the District Plan for details of the information that must be provided with an application. Please also refer to the RC Checklist available on the Council's website. This contains more helpful hints as to what information needs to be shown on plans.*

**Only one copy of an application is required, but please note for copying and scanning purposes, documentation should be:**

**UNBOUND**

**SINGLE SIDED**

**NO LARGER THAN A3 in SIZE**



cad  
planz



DBH LICENSED BP110435 DESIGN D2 SITE S2

**WOODWORKS CONSTRUCTION LTD trading as cadplanz**

Paul Hayman

P O Box 250, Kaeo. 0448. New Zealand.

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21 October 2024



**RESOURCE CONSENT APPLICATION**

**LAND USE**

FOR

**CORNERSTONE ASSETS LIMITED**

**ASSESSMENT**

OF

**ENVIRONMENTAL EFFECTS**

**THE PROPOSED ACTIVITY**

The applicant proposes to internally reconfigure an existing building into a residential dwelling and convert an existing shed into a showroom. Both buildings are existing and consented under RC 222067 RMALUC. The repurposing of the two buildings each include a small portico, the combined impermeable surfaces increase the impermeable surfaces to 37%. This is above the 33% consented under 2220607.

The property is legally described as Lot 1 Deposited Plan 158861 and located at 553 Kerikeri Road, Kerikeri. This assessment and report accompany the Resource Consent Application made by the applicant and is provided in accordance with Section 88 and Schedule 4 of the Resource Management Act 1991. The application is a discretionary activity. The information provided in this assessment and report is considered commensurate with the scale and intensity of the activity for which consent is being sought. Applicant details are contained within the Application Form.

**PROPERTY DETAILS**

Location	553 Kerikeri Road, Kerikeri
Legal Description	Lot 1 Deposited Plan 158861
Size	5246.4451106m2
OPD Zoning	Rural Production
Resource Features	Kiwi Present
PDP Rural Production	Rural Production
Resource Overlays	Highly Productive Land

**RESOURCE OVERLAYS**



Figure 1: NRC Coastal environment -The Regional Policy Statement for Northland maps the site as well outside of the Coastal Environment

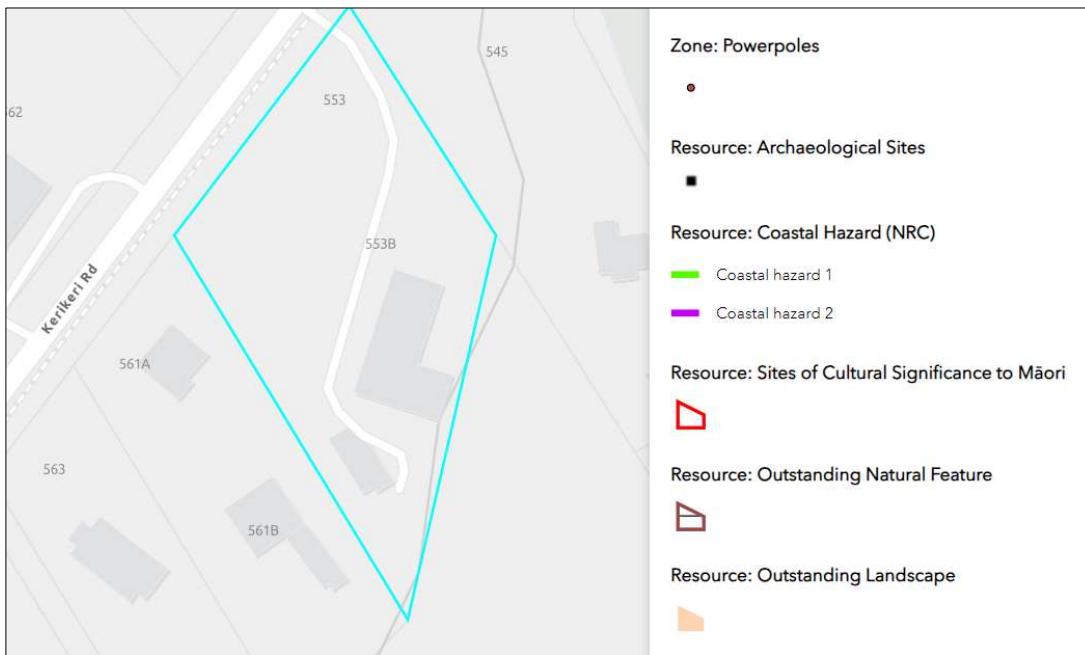


Figure 2: Showing the site does not contain any areas of high natural character.

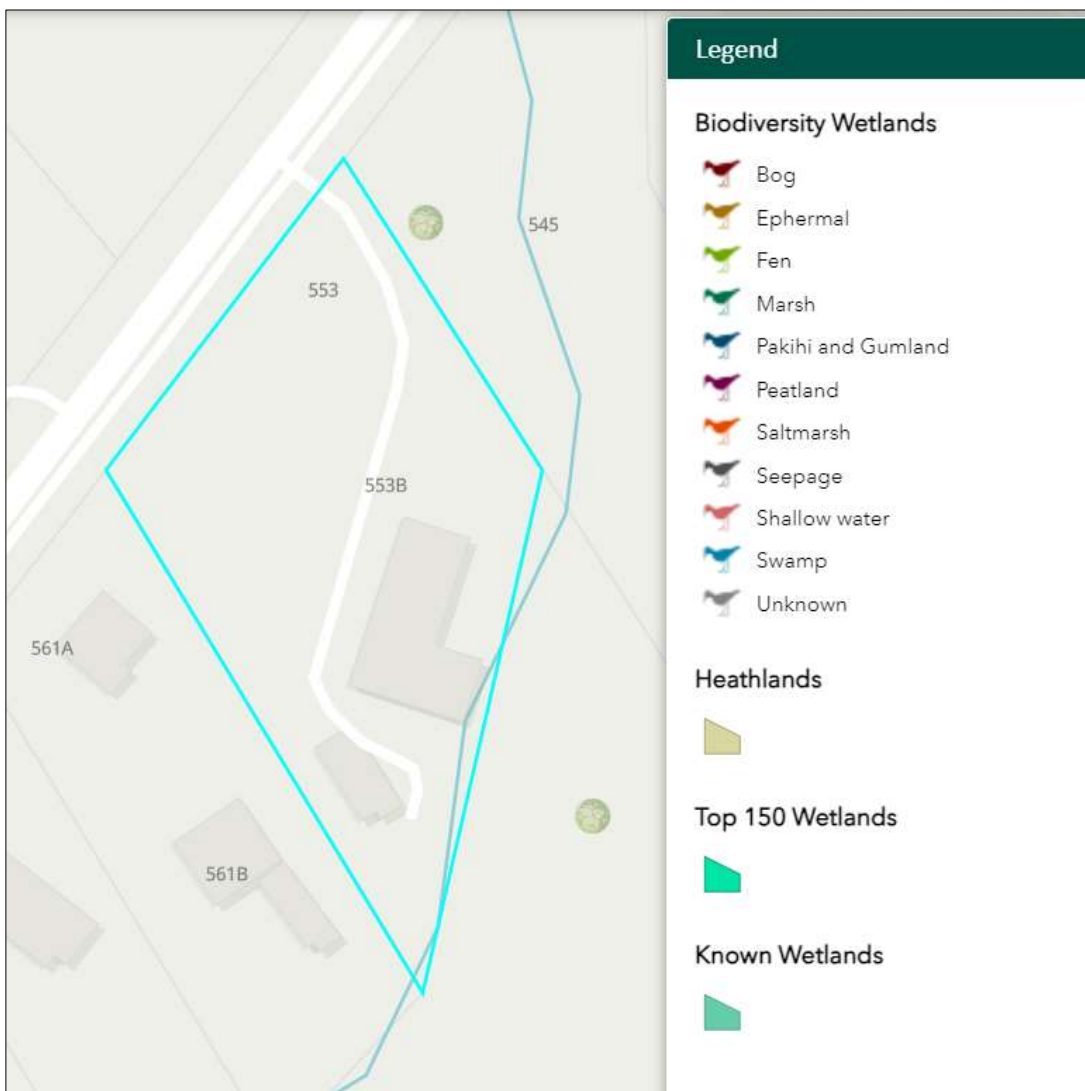


Figure 3: NRC Wetlands Maps showing the site also does not contain any mapped wetlands.

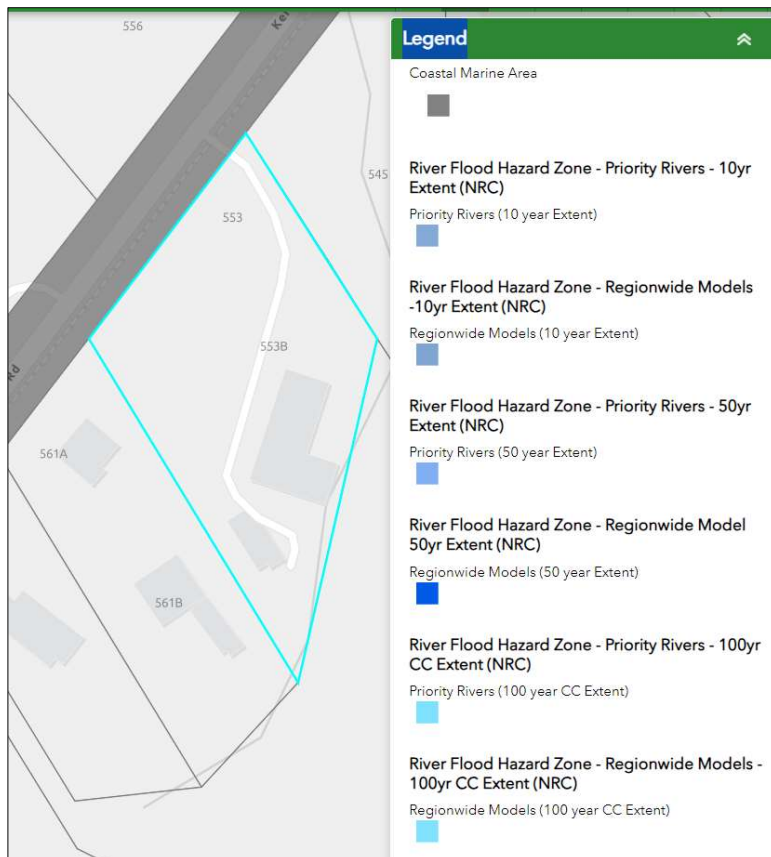


Figure 4: Natural hazards - The site is not mapped as being subject to any natural hazard

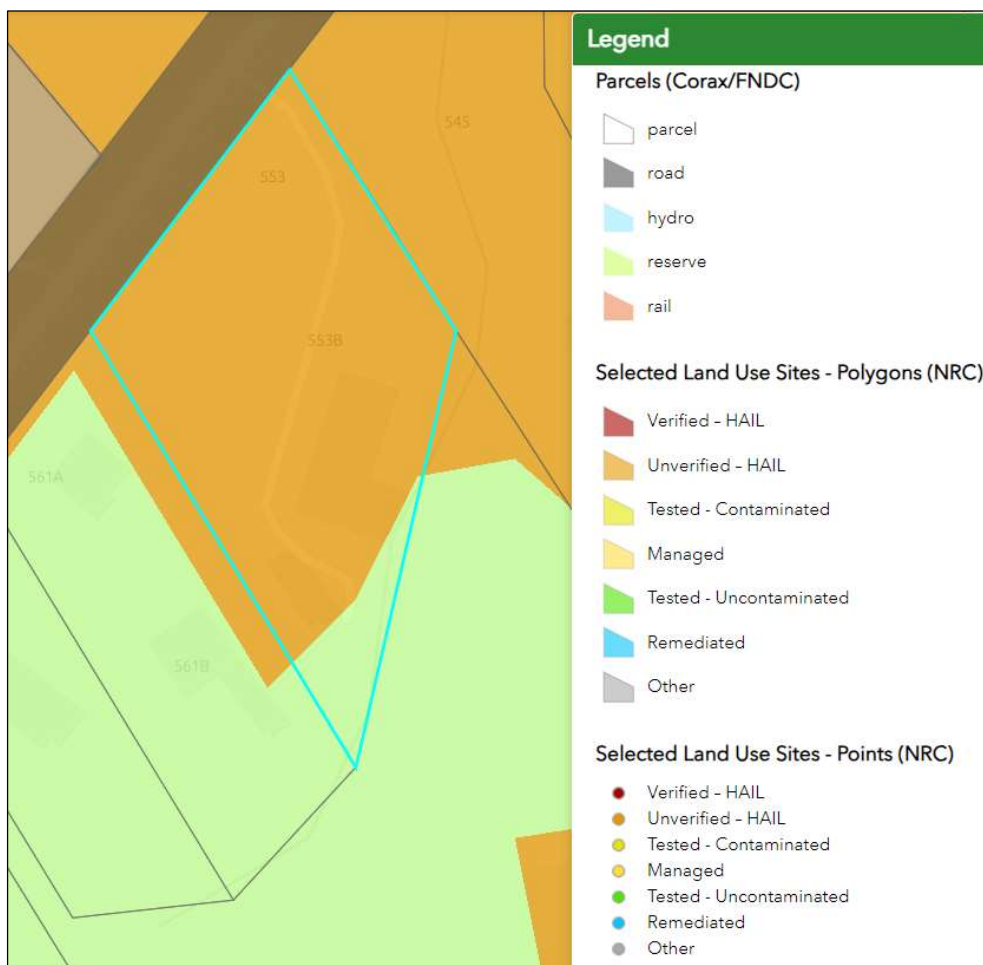
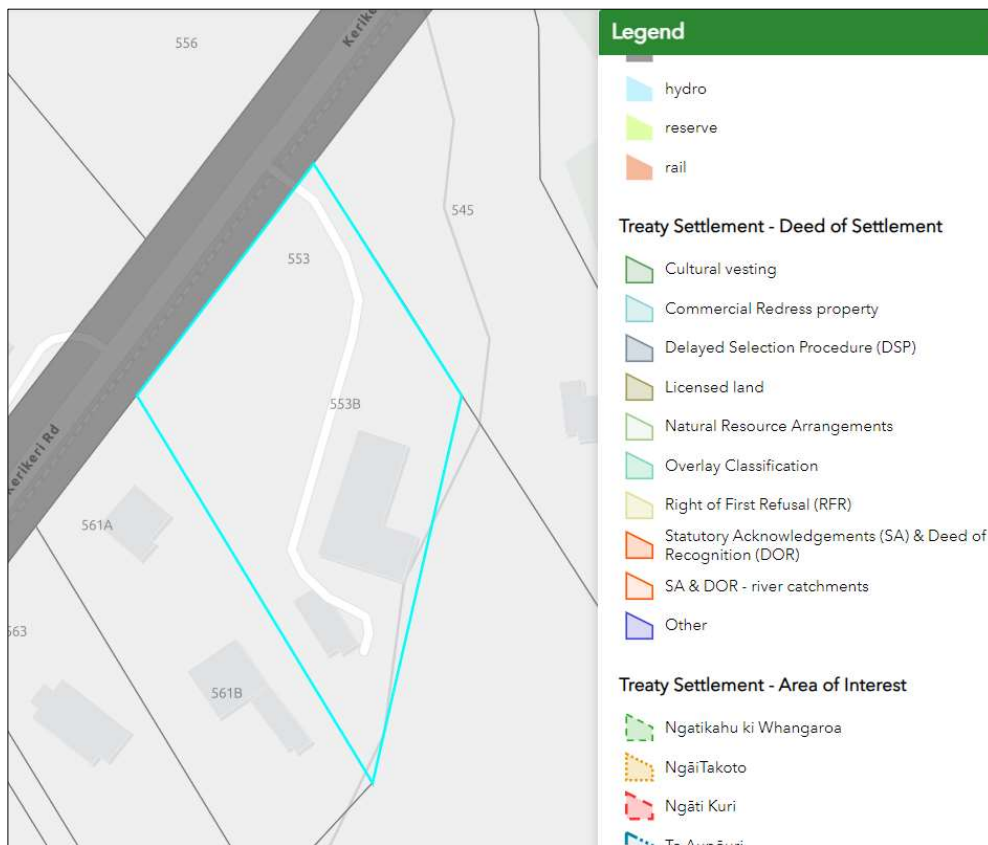
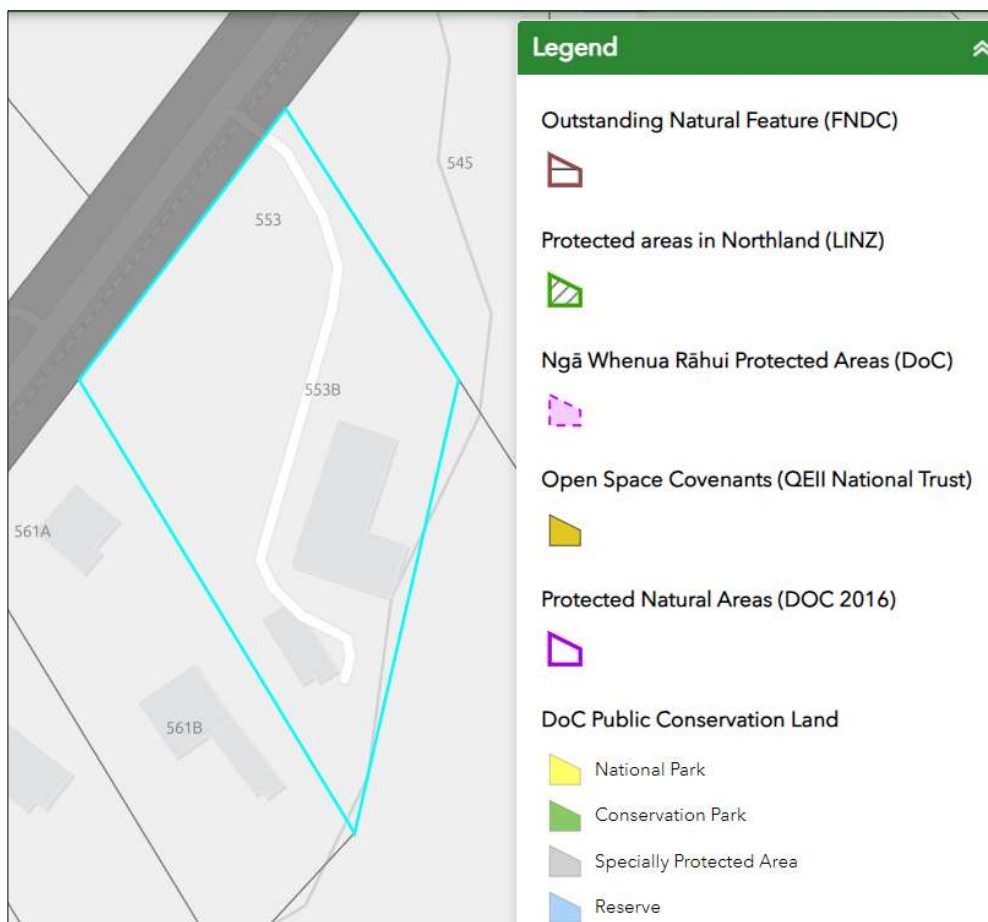


Figure 5: HAIL - The site is mapped as HAIL and is discussed further on this report





**Figure 6: Statutory Acknowledgement Area- The site is not located within a Statutory Acknowledgement Area and is not located within an area of interest to local hapu on Councils Treaty Settlement maps.**



**Figure 7: PNA or draft SNA - The site does not contain any areas of PNA.**

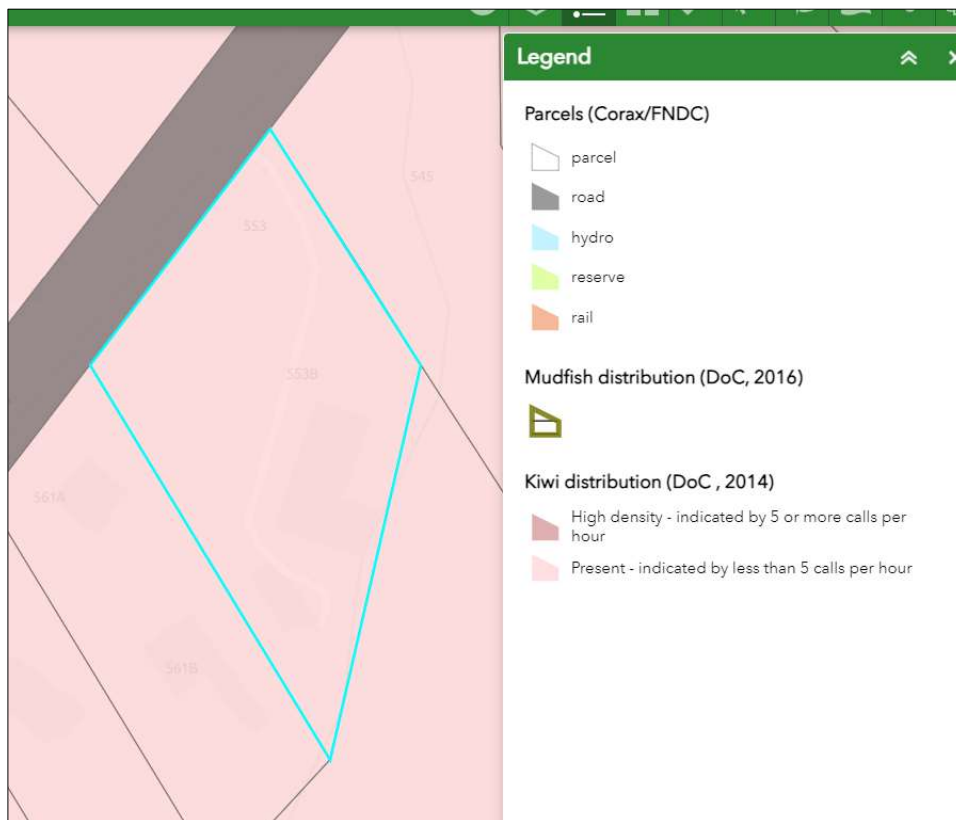


Figure 8: Highly mobile Fauna- the is site mapped as kiwi present on the species distribution map layer.

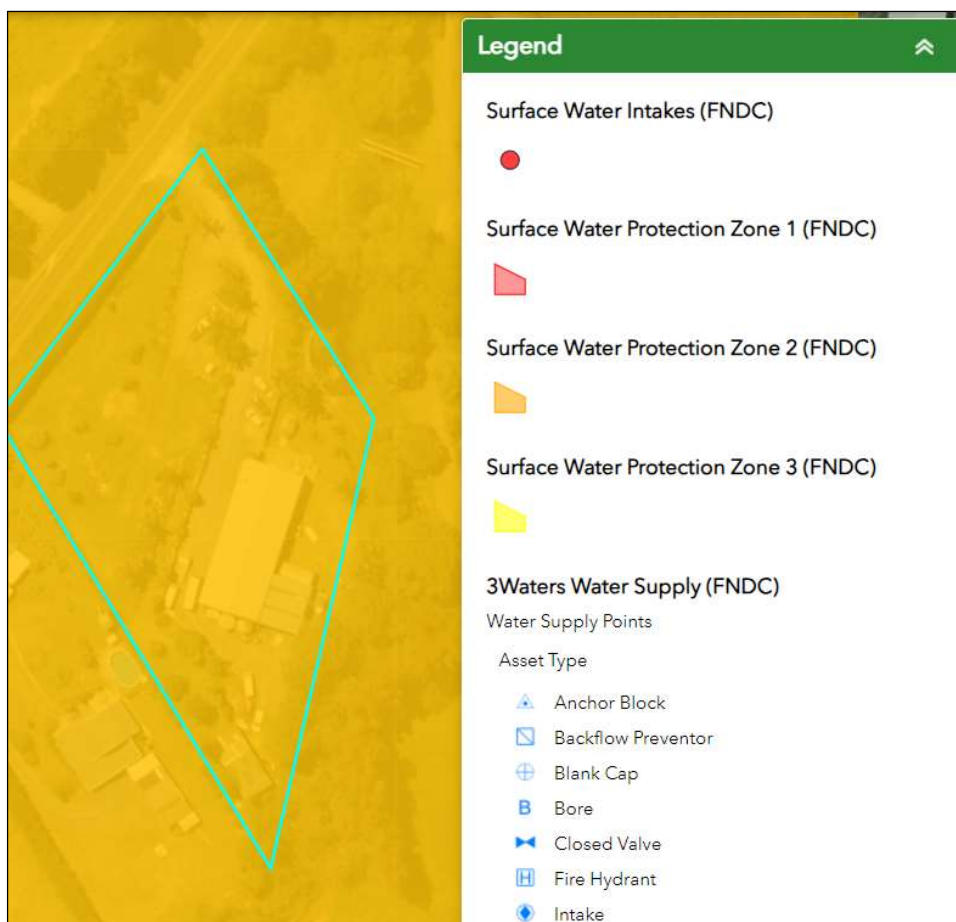


Figure 9: The site is not mapped as within any surface water protection zones.

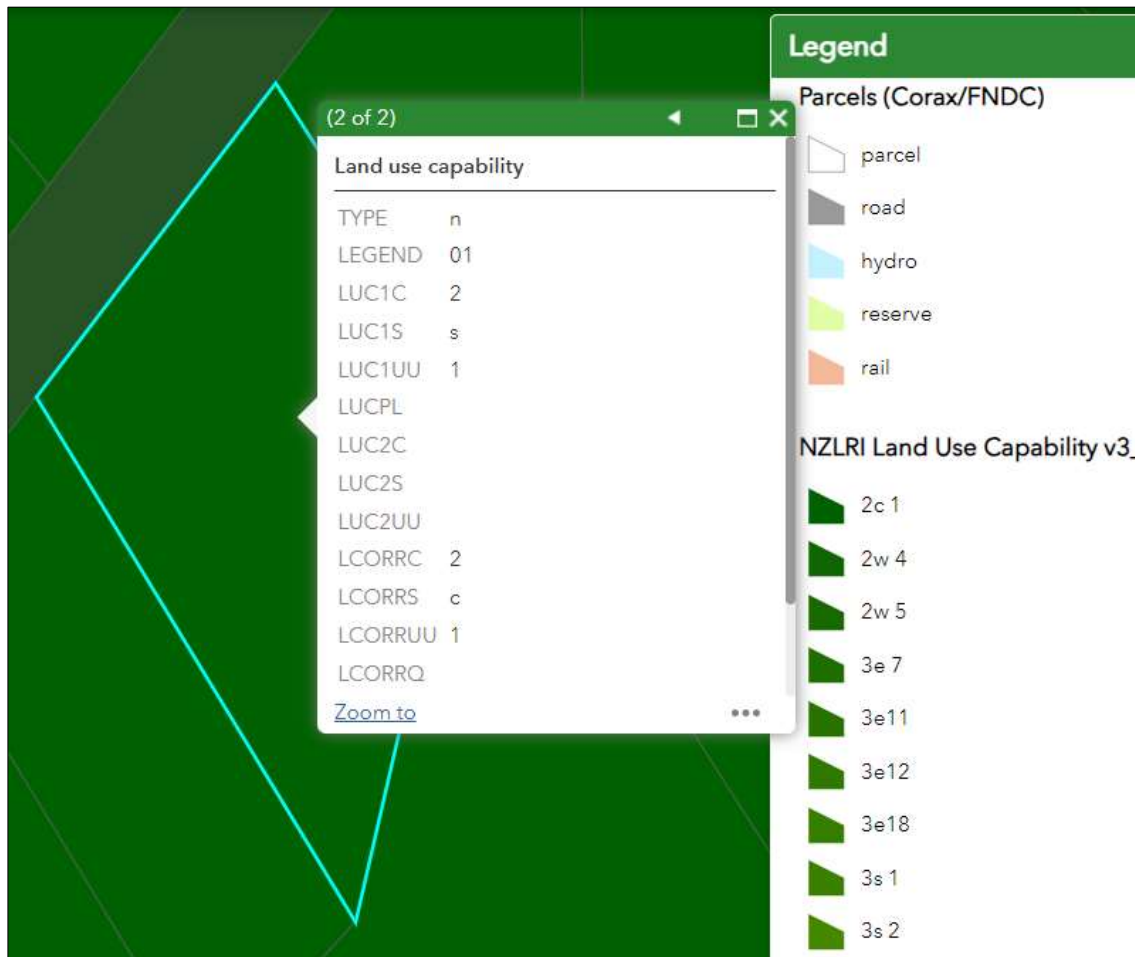


Figure 9: NPS - HPL – showing the soil is LUC 2

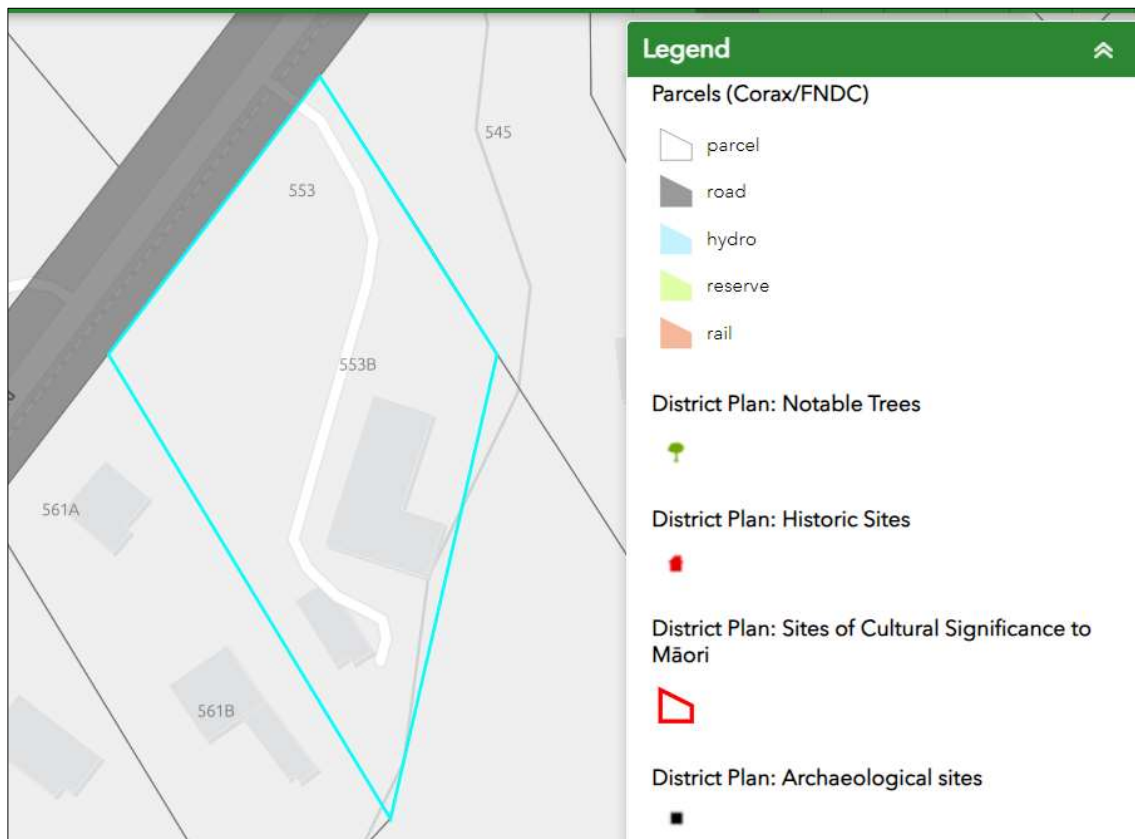


Figure 10: Heritage: There are no archaeological sites, sites of cultural significance to Māori or scheduled Heritage or Resources on the site adjacent.

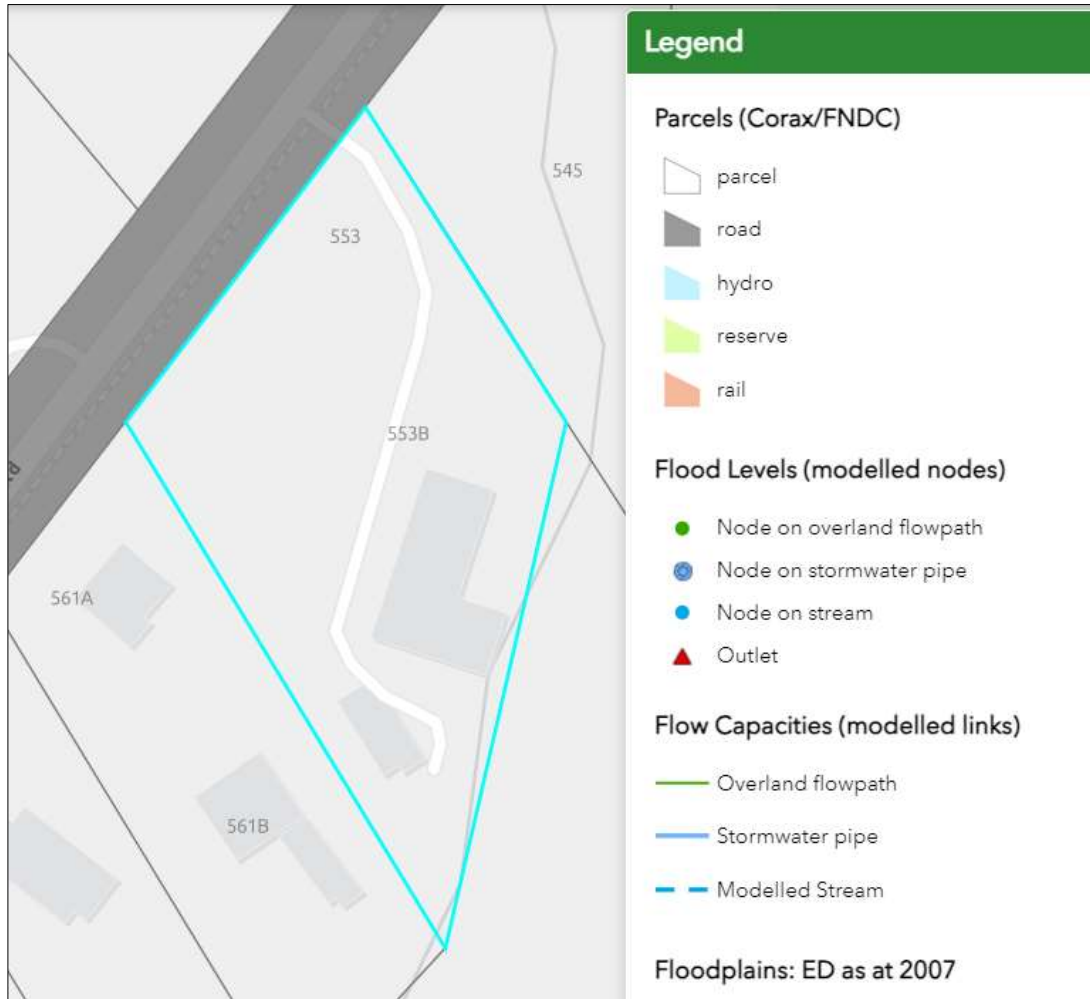


Figure 11: Showing the site is not mapped in any flood layers.

## LEGAL INTERESTS ON THE TITLE

The property is legally described as Lot 1 Deposited Plan 158861

There are no interests on the title applicable to the proposal.

## SITE DESCRIPTION

The site is trapezoidal in shape and has a gentle slope to the east. The site is accessed from the northern corner of the site, from Kerikeri Road.

There is an existing wastewater system as well as existing stormwater attenuation for the existing shed and metalled drive.

## REASONS FOR THE APPLICATION

As explained above the owners of the property have two buildings on the site. One is a large shed with a residential dwelling inside and the other was a storage shed on which the owners wish to convert into a showroom. The proposal breaches the following rules in the Operative District Plan:

- 8.6.5.1.3 Stormwater Management Proposed impermeable surfaces area exceeds the 33% threshold approved by Resource Consent 2220607
- 8.6.5.1.4 Setback from Boundaries Proposed works are demonstrated within 10m of an internal boundary.

The proposal also includes wastewater discharge of 3,280litres per day. Under the Regional Plan anything over 3m3 per day requires consent from the Northland Regional Council.

The subject site is located within the Rural Production Zone. A specific assessment of the relevant zone and district wide rules of the District Plan is set out below:

Table One: ODP Rule Assessment

<b>ASSESSMENT OF THE PERMITTED RURAL PRODUCTION ZONE RULES:</b>		
<b>PERFORMANCE STANDARDS</b>		
<b>Plan Reference</b>	<b>Rule</b>	<b>Compliance and Performance of Proposal</b>
8.6.5.1.1	RESIDENTIAL INTENSITY	<b>Not Applicable</b> the house is the only house on the site
8.6.5.1.2	SUNLIGHT	<b>Complies</b> - The existing dwelling will not breach permitted height to boundary rule.
8.6.5.1.3	STORMWATER MANAGEMENT	<b>Discretionary</b>
8.6.5.1.4	SETBACK FROM BOUNDARIES	<b>Does not comply-</b> The larger shed portico is within the 10m setback.
8.6.5.1.5	TRANSPORTATION	<b>Provided in the table below</b>
8.7.5.1.6	KEEPING OF ANIMALS	<b>N/A</b>
8.7.5.1.7	NOISE	<b>NA</b>
8.7.5.1.8	BUILDING HEIGHT	<b>Complies</b>
8.7.5.1.9	HELICOPTER LANDING AREA	<b>N/A</b>
8.7.5.1.10	BUILDING COVERAGE	<b>Complies</b>
8.6.5.11	SCALE OF ACTIVITIES	<b>Complies</b>
8.6.5.12	TEMPORARY EVENTS	<b>Complies</b>
<b>ASSESSMENT OF THE APPLICABLE PERMITTED DISTRICT WIDE RULES:</b>		
<b>PERFORMANCE STANDARDS</b>		
<b>Plan Reference</b>	<b>Rule</b>	<b>Compliance and Performance of Proposal</b>
<b>CHAPTER 12 – NATURAL AND PHYSICAL RESOURCES</b>		
12.1.6.1.1	Protection of Outstanding Landscape Features	<b>NA</b>
12.2.6.1.4	INDIGENOUS VEGETATION CLEARANCE IN OTHER ZONES	<b>NA</b>
12.4.6.1.2	FIRE RISK TO RESIDENTIAL UNITS	<b>NA.</b>

12.7.6.1.2	SETBACK FROM SMALLER LAKES, RIVERS AND WETLANDS	<b>NA</b>
12.7.6.1.4	LAND USE ACTIVITIES INVOLVING DISCHARGES OF HUMAN SEWAGE EFFLUENT	<b>NA</b>
<b>CHAPTER 14 – FINANCIAL CONTRIBUTIONS</b>		
14.6.1(iii)	ESPLANADE AREAS (iii)where any land use requires a resource consent for an activity or activities and the Council considers it necessary to require an esplanade reserve or strip for any of the purposes outlined in s229 of the Act, an esplanade reserve or strip may be required;	<b>NA</b>
<b>CHAPTER 15 - TRANSPORT</b>		
15.1.6B	PARKING	<b>Complies</b> Manoeuvring & adequate parking space is available on site.

## OVERALL ACTIVITY STATUS

Overall, consent is required as a **Discretionary** activity under the Operative District Plan.

## PROPOSED DISTRICT PLAN

The proposal is also subject to the Proposed District Plan process. Within the Proposed District Plan, the site is zoned Horticulture. Assessment of the matters relating to the Proposed District Plan that have immediate legal effect, has been undertaken below:

*Table Two: PDP Rule Assessment*

Chapter	Rule Reference	Compliance of Proposal
<b>Hazardous Substances</b>	The following rules have immediate legal effect: Rule HS-R2 has immediate legal effect but only for a new significant hazardous facility located within a scheduled site and area of significance to Māori, significant natural area or a scheduled heritage resource Rules HS-R5, HS-R6, HS-R9	<b>Not applicable.</b> The site does not contain any hazardous substances to which these rules would apply.
<b>Heritage Area Overlays</b>	All rules have immediate legal effect (HA-R1 to HA-R14) All standards have immediate legal effect (HA-S1 to HA-S3)	<b>Not applicable.</b> The site is not located within a Heritage Overlay Area.

<b>Historic Heritage</b>	All rules have immediate legal effect (HH-R1 to HH-R10) Schedule 2 has immediate legal effect	<b>Not applicable.</b> The site is not known to contain any historic heritage.
<b>Notable Trees</b>	All rules have immediate legal effect (NT-R1 to NT-R9) All standards have legal effect (NT- S1 to NT-S2) Schedule 1 has immediate legal effect	<b>Not applicable.</b> The site does not contain any notable trees.
<b>Sites and Areas of Significance to Māori</b>	All rules have immediate legal effect (SASM-R1 to SASM-R7) Schedule 3 has immediate legal effect	<b>Not applicable.</b> The site does not contain any sites or areas of significance to Māori.
<b>Ecosystems and Indigenous Biodiversity</b>	IB-R1 <b>Indigenous vegetation pruning, trimming and clearance and any associated land disturbance for specified activities within and outside a Significant Natural Area</b> Per 1 -7 1. To allow for the construction of a single <a href="#">residential unit</a> on a title and essential associated on-site <a href="#">infrastructure</a> and access and it does not exceed 1,000m <sup>2</sup> .	<b>Not Applicable</b>
<b>Subdivision</b>	The following rules have immediate legal effect: SUB-R6, SUB-R13, SUB-R14, SUB- R15, SUB-R17	<b>Not applicable.</b> SUB-R6 relates to environmental benefit subdivisions which the proposal is not applying for.

The proposal does not breach any rules under the Proposed District Plan.

## OVERALL ACTIVITY STATUS

Overall, under the Operative District Plan the application falls to be a **Discretionary activity**

## STATUTORY CONSIDERATIONS

Section 104B of the RMA governs the determination of Discretionary and Non-Complying applications. Section 104B & 104D of the Resource Management Act (RMA) governs the determination of applications for non-complying activities.

### 104B Determination of applications for discretionary or non-complying activities

After considering an application for a resource consent for a discretionary activity or non-complying activity, a consent authority—

- (a) may grant or refuse the application; and
- (b) if it grants the application, may impose conditions under [section 108](#).

Section 104B: inserted, on 1 August 2003, by [section 44](#) of the Resource Management Amendment Act 2003 (2003 No 23).

With respect to both Discretionary and Non-Complying activities under section 104B, a consent authority is unrestricted in relation to the matters covered.

Section 104 of the RMA states that when considering an application for a resource consent,

*“The consent authority must, subject to Part II, have regard to –*

- (a) any actual and potential effects on the environment of allowing the activity; and*
- (ab) any measure proposed or agreed to by the applicant for the purpose of ensuring positive effects on the environment that will or may result from allowing the activity; and;*
- (c) any relevant provisions of –*
  - i. a national environmental standard:*
  - ii. other regulations:*
  - iii. a national policy statement:*
  - iv. a New Zealand Coastal Policy Statement:*
  - v. a regional policy statement or proposed regional policy statement:*
  - vi. a plan or proposed plan; and*
- (d) any other matter the consent authority considers relevant and reasonably necessary to determine the application.”*



## ASSESSMENT OF ENVIRONMENTAL EFFECTS

The proposal was previously approved under 2220607 RMALUC for the following rule breaches:

- 8.6.5.1.3 – Stormwater Management
- 8.6.5.1.10 – Building Coverage
- 16.6.1.2 & 16.6.1.3 – Signs
- 15.1.6A.2.1 – Traffic Intensity

### STORMWATER

The proposal includes a portico added to both buildings which increases the impermeable surfaces from the 33% approved under 2220607 RMALUC (Refer Attachment 3). The stormwater calculations provided by T & A Structures Limited dated 24 August 2024 concludes the existing mitigation already on site attenuates the stormwater.

<u>site coverage:</u>	
area of site	5,250m <sup>2</sup>
existing sheds roof area	698m <sup>2</sup>
small shed portico	42.93m <sup>2</sup>
large shed portico	99.72m <sup>2</sup>
driveways & paths	1,112m <sup>2</sup>
total impermeable surfaces	1,952.65m <sup>2</sup>
37.19% of site has impermeable surfaces	
<u>15% impermeable surfaces is permitted</u>	
<u>1,733m<sup>2</sup> (33%) approved under EBC 2022-343</u>	

An assessment against the assessment criteria is s.11 of the OPD is provided below:

(a) *The extent to which building site coverage and impermeable surfaces result in increased stormwater runoff and contribute to total catchment impermeability and the provisions of any catchment or drainage plan for that catchment.*

Building two porticos will not result in increased stormwater runoff because the rainwater will be collected in the on-site water tanks therefore it will not contribute to total catchment impermeability.

(b) *The extent to which Low Impact Design principles have been used to reduce site impermeability.*

The stormwater attenuation system complies with Low Impact Design principles.

(c) *Any cumulative effects on total catchment impermeability.*

There will be no cumulative effects on total catchment impermeability because the attenuation system release water over a period of time after any rain event.

(d) *The extent to which building site coverage and impermeable surfaces will alter the natural contour or drainage patterns of the site or disturb the ground and alter its ability to absorb water.*

The natural contour of the site or drainage patterns of the site will be unaffected by the construction of the two porticos.

(e) *The physical qualities of the soil type.*

The soil type is Sandy loam, loam & silt loam with moderate draining capabilities.

(f) *Any adverse effects on the life supporting capacity of soils.*

The Proposal will not have any adverse effects on the life supporting capacity of the soils

*(g) The availability of land for the disposal of effluent and stormwater on the site without adverse effects on the water quantity and water quality of water bodies (including groundwater and aquifers) or on adjacent sites.*

The attenuated stormwater will flow into the natural watercourse on the eastern boundary of the property without any adverse effects on

*(h) The extent to which paved, impermeable surfaces are necessary for the proposed activity.*

The porticos are necessary to provide shaded outdoor living spaces, which are vital to the inhabitants' wellbeing especially with warmer temperatures and increased skin cancer.

*(i) The extent to which landscaping may reduce adverse effects of run-off.*

The site is already landscaped, and the attenuation system does reduce run-off

*(j) Any recognised standards promulgated by industry groups.*

Stormwater flows were calculated using the requirements of NZBC E1/VM1 and the rainfall data from NIWA

*(k) The means and effectiveness of mitigating stormwater run-off to that expected by the permitted activity threshold.*

The engineer has provided an attenuation system which will be comparable to that expected by the permitted activity threshold

*(l) The extent to which the proposal has considered and provided for climate change.*

The attenuation calculations are in accordance with RCP 8.5

*(m) The extent to which stormwater detention ponds and other engineering solutions are used to mitigate any adverse effects.*

The attenuation system will totally mitigate the almost 4% impermeable surfaces generated by the two porticos

## **SETBACK FROM BOUNDARY**

**8.6.5.3.4 SETBACK FROM BOUNDARIES** In assessing an application resulting from a breach of Rule 8.6.5.1.4 Setback from Boundaries the matters to which the Council will restrict its discretion are:

*(a) the extent to which the building(s) reduces outlook and privacy of adjacent properties;*

*(b) the extent to which the buildings restrict visibility for access and egress of vehicles;*

The setback is not near the access and egress of vehicles

*(c) the ability to mitigate any adverse effects on the surrounding environment, for example by way of planting;*

*(d) for sites having a frontage with Kerikeri Road (between its intersection with SH10 and Cannon Drive:*

*(i) the scale of the buildings;*

*(ii) the extent of set back from Kerikeri Road;*

*(iii) the visual appearance of the site from the Kerikeri Road frontage;*

*(iv) the extent to which the building(s) are in harmony with landscape plantings and shelter belts;*

Not Applicable

*(e) for residential buildings located within 100m of Minerals Zone:*

*(i) the position of the building platform(s) in relation to the mine or quarry;*

*(ii) the likelihood of the mine or quarry causing environmental effects, especially noise and loss of amenity values, that will impact adversely on the occupiers of the proposed residential building;*

*(iii) the effectiveness of any mitigation measures proposed; Where an application is required under this rule, the owner and/or operator of any mine or quarry within the adjacent Minerals Zone shall be considered an affected party. Where the written approval of the owner and the mine or quarry operator has been obtained, the application will be non-notified.*

Not Applicable

*(f) the extent to which the buildings and their use will impact on the public use and enjoyment of adjoining esplanade reserves and strips and adjacent coastal marine areas.*

Not Applicable.

## **HIGHLY PRODUCTIVE LAND**

It is understood that the intention of the NPS-HPL is to ensure that highly productive land is protected for use in land based primary production, both now and in the future, and that the subdivision of highly productive land is to be avoided. The site is zoned rural production, and the site has been mapped as containing Class 3 soils, therefore this applies. Section 3.9(2) of the NPS intends to avoid highly productive land from inappropriate uses and development.

In assessing these matters, it is important to note that fragmentation from a larger contiguous area has already occurred due to historic subdivisions within this immediate area. The proposed construction of two porticos at the end of the two buildings will cause a small reduction to the productive capacity of the highly productive land, the overall cumulative impermeable surfaces on site will increase from 33% to 37%. Therefore, the increase in built form and available productive land on the site is negligible.

In considering the research undertaken for the Proposed District Plan regarding the future of the Horticultural Zone, the assessment of the Horticultural Zone provided in the Section 32 Report for Subdivision (dated May 2022) states the following:

*A 4ha lot is considered to be the absolute minimum lot size that can still be a productive parcel (in some circumstances), which is why a discretionary activity is appropriate to determine whether creating a smaller 4ha lot in productive use is feasible*

The application site is proposed to be located within the Horticultural Zone under the PDP and has a site size of 0.5250ha resulting from an earlier subdivision of the parent site. Given the size of the lot, it is considered that its productive capacity is already limited, and the proposed internal reconfiguration of the shed and construction of two small porticos will not result in further reduction of this.

The proposal is located between two residential lots even smaller than the application therefore, it is not considered that reverse sensitivity effects will result.

Overall, it is not considered that the proposal will not result in inappropriate subdivision, use and development of highly productive land.

**SUMMARY**

An attenuation design has been calculated to demonstrate the feasibility of the proposed development for implementation. The proposal shows that site runoff of the 5% AEP rainfall events, including climate change, can be reduced to permitted-development rates for storms up to 24hour duration.


This development does not affect any heritage sites and will not involve any hazardous substances. The traffic intensity will be well below the 60 one-way movements allowed for the Production Zone, and there is adequate parking space available.

By following the guidelines set out in the Far North District Operative and Proposed Plan, the development supports Part 2 of the RMA Purpose and Principles. This rebuild represents an economic investment into the Far North Region, which correlates well with the NRC Regional Policy Statement.

**ADJACENT LAND**

When assessing whether an activity will have or is likely to have adverse effects on the environment that are more than minor, Section 95D states that the consent authority must disregard effects on persons who own or occupy the land in, on or over which the activity will occur and any land adjacent to that land. In this instance, the following properties are considered to be ‘adjacent’ as they adjoin the subject site.



Adjacent Properties	Assessment	Symbol
Lot 2 DP 158861	This property is also residential and is not considered affected.	Red 
Lot 1 DP 149791	This property is also residential and is not considered affected.	Green
Lot 1 DP 196231	This property is also residential and is not considered affected.	Blue

The large shed is within the 10m setback to the property on the southern boundary, shown above with the blue star. There is no residential dwelling on this site as yet. As can be seen in Figure x below the setback is on northern point of this lot that has existing vegetation. Due to narrow angular shape of this lot, it is unlikely that the owner of Lot 1 DP196231 could build there without requiring a setback to boundary breach themselves.

## **SUMMARY**

Overall, it is considered that the proposed development is sympathetic to the existing rural environment. Overall, it has been demonstrated in the above assessment that adverse effects on the environment will be less than minor and therefore public notification is not required.

## **SUMMARY OF EFFECTS**

The above assessment has concluded that no persons are adversely affected as adverse effects are less than minor.

## **HIGHER ORDER PLANNING DOCUMENTS**

### **NATIONAL POLICY STATEMENT FOR HIGHLY PRODUCTIVE LAND**

The site is classified as containing soil that is considered Highly Productive soil, therefore this NPS does apply. This discussed further down in this report.

### **NATIONAL ENVIRONMENTAL STANDARDS FOR CONTAMINATED SOIL**

Majority of site demonstrated as HAIL – Orchard, Vineyard or Other Perennial Crop. However, it was assessed under RC 2220607 and stated, “The applicant has provided aerial photographs dating back to 1981 which shows that the site has not been used for horticulture activities since then, however, the site has been used as a commercial mechanic workshop which does fall under HAIL activities.”

Permitted soil disturbance for this site 262.50m<sup>3</sup>. The proposal includes earthworks of 150m<sup>3</sup>, leaving 112.5m<sup>3</sup> available. Earthworks for the Portico portal foundations are estimated to not exceed 5m<sup>3</sup>.

### **NATIONAL ENVIRONMENTAL STANDARDS FOR FRESHWATER MANAGEMENT**

No areas of wetland have been identified within 100m of the proposed development. As such the National Environmental Standard for Freshwater management is not applicable to this development and is considered to be a Permitted activity.

### **OTHER ENVIRONMENTAL STANDARDS**

No other National Environmental Standards are considered applicable to this development.

The proposal is permitted in terms of these above-mentioned documents.

## **REGIONAL POLICY STATEMENT FOR NORTHLAND**

The Northland Regional Policy Statement is the applicable regional statutory document that governs the Northland region. An assessment of relevant objectives and policies is detailed below. Jurisdiction for land use and subdivision activities is governed by the Far North District Council. The policy framework for the location of land use and subdivision activities and the management of potential adverse effects across the district is set out in the Far North District Plan. This Plan is subject to the governing regional policy framework set out in the Northland Regional Policy Statement. The

following assesses the application against various objectives and policies of the Regional Policy Statement for Northland to assess whether the application is consistent with these aims.

o *5.1.1 Planned and coordinated development.*

*Subdivision, use and development should be located, designed and built in a planned and co-ordinated manner which:*

*(a) Is guided by the 'Regional Form and Development Guidelines' in Appendix 2.*

*(b) Is guided by the 'Regional Urban Design Guidelines' in Appendix 2 when it is urban in nature;*

*(c) Recognises and addresses potential cumulative effects of subdivision, use, and development, and is based on sufficient information to allow assessment of the potential long-term effects;*

*(d) Is integrated with the development, funding, implementation, and operation of transport, energy, water, waste, and other infrastructure;*

*(e) Should not result in incompatible land uses in close proximity and avoids the potential for reverse sensitivity;*

*(f) Ensures that plan changes and subdivision to / in a primary production zone, do not materially reduce the potential for soil-based primary production on land with highly versatile soils<sup>10</sup>, or if they do, the net public benefit exceeds the reduced potential for soil-based primary production activities; and*

*(g) Maintains or enhances the sense of place and character of the surrounding environment except where changes are anticipated by approved regional or district council growth strategies and / or district or regional plan provisions.*

*(h) Is or will be serviced by necessary infrastructure.*

The application has demonstrated compliance with the applicable regional form and development guidelines in Appendix 2 of the RPS attributable to its scale and location. The Development is not urban and as such the Regional urban Design Guidelines have not been assessed. The development seeks to provide for the first residential dwelling on the site.

It can be concluded from the above review of the objectives and policies of the Regional Policy Statement for Northland that the proposal does not conflict with its overall aims.

## **PART 4: OPERATIVE DISTRICT PLAN OBJECTIVES & POLICIES**

### **8.6 RURAL PRODUCTION**

#### **CONTEXT**

##### **8.6.3 OBJECTIVES**

*These objectives supplement those set out in **Section 8.3**.*

*8.6.3.1 To promote the sustainable management of natural and physical resources in the Rural Production Zone.*

*8.6.3.2 To enable the efficient use and development of the Rural Production Zone in a way that enables people and communities to provide for their social, economic, and cultural wellbeing and for their health and safety.*

*8.6.3.3 To promote the maintenance and enhancement of the amenity values of the Rural Production Zone to a level that is consistent with the productive intent of the zone.*

*8.6.3.4 To promote the protection of significant natural values of the Rural Production Zone.*

*8.6.3.5 To protect and enhance the special amenity values of the frontage to Kerikeri Road between its intersection with SH10 and the urban edge of Kerikeri.*

*8.6.3.6 To avoid, remedy or mitigate the actual and potential conflicts between new land use activities and existing lawfully established activities (reverse sensitivity) within the Rural Production Zone and on land use activities in neighbouring zones.*

*8.6.3.7 To avoid remedy or mitigate the adverse effects of incompatible use or development on natural and physical resources.*

*8.6.3.8 To enable the efficient establishment and operation of activities and services that have a functional need to be located in rural environments.*

*8.6.3.9 To enable rural production activities to be undertaken in the zone.*

This new build promotes the efficient use and development of the Rural Production Zone by providing additional permanent residences without affecting productive land or the natural character of the environment and enhances the community's social, economic, and cultural fabric.

The internal construction of the existing house shed with the construction of the portico and similarly the portico for the other building will have a minor effect on the natural resources, and the environment. This residential aspect of the proposal is existing but is being increased and will not be disrupting any productive rural land, thereby enhancing the social, economic, and cultural well-being of the local community. The development is bounded on the north and south boundaries with similar sized small parcels that are both residential in nature and not used either for horticultural or agricultural purposes. The property on the back boundary is mostly pasture but does not share a road boundary or access and unlikely to be even aware of the renovation. To summarise, the proposal is rather removed from any working farmland therefore avoids adverse effects of incompatible activities. The renovation will not diminish the rural character of this area, as the built development is already existing.

##### **8.6.4 POLICIES**

*These policies supplement those set out in **Section 8.4**.*

*8.6.4.1 That the Rural Production Zone enables farming and rural production activities, as well as a wide range of activities, subject to the need to ensure that any adverse effects on the environment, including any reverse sensitivity*

*effects, resulting from these activities are avoided, remedied or mitigated and are not to the detriment of rural productivity.*

*8.6.4.2 That standards be imposed to ensure that the offsite effects of activities in the Rural Production Zone are avoided, remedied or mitigated.*

*8.6.4.3 That land management practices that avoid, remedy or mitigate adverse effects on natural and physical resources be encouraged.*

*8.6.4.4 That the type, scale and intensity of development allowed shall have regard to the maintenance and enhancement of the amenity values of the Rural Production Zone to a level that is consistent with the productive intent of the zone.*

*8.6.4.5 That the efficient use and development of physical and natural resources be taken into account in the implementation of the Plan.*

*8.6.4.6 That the built form of development allowed on sites with frontage to Kerikeri Road between its intersection with SH10 and Cannon Drive be maintained as small in scale, set back from the road, relatively inconspicuous and in harmony with landscape plantings and shelter belts.*

*8.6.4.7 That although a wide range of activities that promote rural productivity are appropriate in the Rural Production Zone, an underlying goal is to avoid the actual and potential adverse effects of conflicting land use activities.*

*8.6.4.8 Those activities whose adverse effects, including reverse sensitivity effects, cannot be avoided remedied or mitigated are given separation from other activities*

*8.6.4.9 That activities be discouraged from locating where they are sensitive to the effects of or may compromise the continued operation of lawfully established existing activities in the Rural Production zone and in neighbouring zones.*

As the proposal involves largely internal conversion of an existing building into a residential dwelling there will be a negligible effect on the natural and physical resources of the rural environment.

## **PROPOSED DISTRICT PLAN CONSIDERATIONS**

For this resource consent application, the relevant provisions of both an operative and any proposed plan must be considered. Weighting is relevant if different outcomes arise from assessments of objectives and policies under both the operative and proposed plans.

## **PROPOSED DISTRICT PLAN**

### **PART 3 – AREA-SPECIFIC MATTERS/SPECIFIC PURPOSE ZONES/HORTICULTURE**

The application site is proposed to be zoned Horticulture under the PDP. The objectives and policies of that zone aim to ensure that residential activities are designed and located to avoid or mitigate reverse sensitivity effects on horticultural activities. As discussed earlier, the two buildings are already consented. The larger house and garage that is to be converted to a single residential dwelling is located within two existing residential sized lots and therefore will avoid any reverse sensitivity effects.:

- The site is small for the Horticulture zone and will be used primarily for residential activity for the owner.
- The activity proposed will not compromise the character and amenity of the zone or any horticultural activities. The location, scale and design of the residential unit is sympathetic within the context of the site and wider environs.



## CONCLUSION

As demonstrated in the above assessment, the proposal will be consistent with the relevant objectives and policies and as such, satisfies the relevant assessment criteria which are derived from the objectives and policies.

## CONSIDERATION OF PART 2 MATTERS

### Purpose

Section 5 identifies the purpose of the RMA as the sustainable management of natural and physical resources. This means managing the use of natural and physical resources in a way that enables people and communities to provide for their social, cultural and economic well-being while sustaining those resources for future generations, protecting the life supporting capacity of ecosystems, and avoiding, remedying or mitigating adverse effects on the environment.

### Principles

Section 6 sets out a number of matters of national importance which need to be recognised and provided for. These include

- (a) the preservation of the natural character of the coastal environment (including the coastal marine area, wetlands, and lakes and rivers and their margins, and the protection of them from inappropriate subdivision, use, and development:*
- (b) the protection of outstanding natural features and landscapes from inappropriate subdivision, use, and development:*
- (c) the protection of areas of significant indigenous vegetation and significant habitats of indigenous fauna:*
- (d) the maintenance and enhancement of public access to and along the coastal marine area, lakes, and rivers:*
- (e) the relationship of Māori and their culture and traditions with their ancestral lands, water, sites, waahi tapu, and other taonga:*
- (f) the protection of historic heritage from inappropriate subdivision, use, and development:*
- (g) the protection of protected customary rights:*
- (h) the management of significant risks from natural hazards.*

Section 7 identifies a number of “other matters” to be given particular regard by the council in considering an application for resource consent. These include the following:

- (a) kaitiakitanga:*
  - (aa) the ethic of stewardship:*
  - (b) the efficient use and development of natural and physical resources:*
    - (ba) the efficiency of the end use of energy:*
  - (c) the maintenance and enhancement of amenity values:*
  - (d) intrinsic values of ecosystems:*
  - (e) [Repealed]*
  - (f) maintenance and enhancement of the quality of the environment:*

*(g) any finite characteristics of natural and physical resources:*

*(h) the protection of the habitat of trout and salmon:*

*(i) the effects of climate change:*

*(j) the benefits to be derived from the use and development of renewable energy.*

Section 8 requires the council to take into account the principles of the Treaty of Waitangi (Te Tiriti o Waitangi).

## **Part 2 Assessment**

The purpose of the Resource Management Act 1991 (RMA) is to promote the sustainable management of natural and physical resources. This involves managing these resources in a way that enables people and communities to provide for their social, economic, and cultural well-being while ensuring that these resources are sustained for future generations, protecting the life-supporting capacity of ecosystems, and avoiding, remedying, or mitigating adverse effects on the environment. The most relevant section of Part 2 to this proposal is Section 6(e) I have provided an analysis accordingly.

### **Section 6(e) - Relationship of Māori and Their Culture and Traditions**

Section 6(e) of the RMA requires all persons exercising functions and powers under the Act to recognize and provide for the relationship of Māori and their culture and traditions with their ancestral lands, water, sites, waahi tapu, and other taonga as a matter of national importance.

### **Consultation with Local Iwi/Hapu**

The applicant has not included written approval from the local iwi/hapu as the proposal is converting the shed and house into a single residential dwelling. The building footprint is largely existing aside from the addition of a covered portico. The reason for the application is the stormwater breach and the existing stormwater controls already attenuate all stormwater onsite down to a 1% event. For these reasons the applicant did not think it was required to consult with Iwi as there is essentially no discernible difference.

### **Impact on Ancestral Lands and Sites**

The site does not contain any archaeological sites, sites of cultural significance to Māori, or scheduled heritage resources, which suggests that the proposed development will not directly impact any known ancestral lands or waahi tapu.

### **Protection of Water and Other Taonga**

The indigenous vegetation is considered taonga by the local Iwi. The dwelling and the other existing building, have the stormwater controls designed so that all stormwater is attenuated onsite. This aligns with the principles of safeguarding the life-supporting capacity of water and other taonga.

## Part 2 Conclusion

Based on the information provided and the assessment of the proposed activity against Section 6(e) of the RMA, the following conclusions can be drawn:

- The relationship of Māori and their culture and traditions with their ancestral lands, water, sites, waahi tapu, and other taonga has been recognized and provided via the stormwater controls.
- The proposed activity does not directly impact any known sites of cultural significance to Māori.
- Measures are in place to protect water quality and other taonga, ensuring that the life-supporting capacity of these resources is maintained.
- Overall, the proposed activity at 553 Kerikeri Road, Kerikeri appears to be consistent with the principles outlined in Section 6(e) of the RMA, and Part 2 in general and the cultural and spiritual values of the Māori have been appropriately considered and integrated into the planning process.

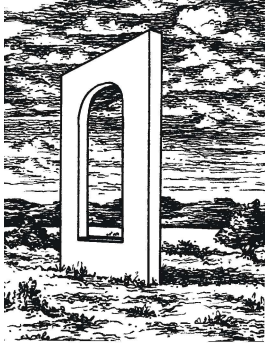
Therefore, the proposal is considered to meet the purpose of the Act being the sustainable use and development of natural and physical resources. In particular, the proposal represents will allow for social, cultural and economic wellbeing to be achieved whilst ensuring adverse effects on the environment will be appropriately avoided, remedied or mitigated.

## CONCLUSION

This assessment concludes that adverse effects on the environment arising from the proposal will be less than minor and, on this basis, pursuant to Section 95 of the Resource Management Act, this proposal should be processed without the requirement for public or limited notification and without the requirement for the written approval of any specific persons.

Overall, the actual and potential effects of the proposal in relation to s104(1)(a) will be acceptable in nature noting that the proposal will not have adverse effects on the environment that are at odds to the matters of discretion. The assessment also concludes that the proposal will be consistent with the relevant provisions of the Far North District Plan and will achieve the purpose of the RMA. Therefore, the application is not at odds with the objectives and policies of the FNDP and will have less than minor effects on the environment.

We look forward to receiving acknowledgment of the application and please advise if any additional information is required.



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planz



DBH LICENSED BP110435 DESIGN D2 SITE S2

**WOODWORKS CONSTRUCTION LTD trading as cadplanz**

Paul Hayman

P O Box 250, Kaeo. 0448. New Zealand.

Tel. 09 407 9816 Mob. 0274 505 471

[info@cadplanz.co.nz](mailto:info@cadplanz.co.nz)

**21 October 2024**

Resource Consents Department  
Far North District Council  
John Butler Centre  
Kerikeri

Dear Team Leaders,

Re: Proposed Land Use Consent at 553 Kerikeri Road, Kerikeri

Please find attached this application to apply for a resource consent to build renovate an existing shed consented under 22220607 RMALUC into a residential dwelling on a property located on Kerikeri Road. The site is zoned 'Rural Production' within the Far North District Council Operative District Plan and Rural Production under the Proposed District Plan. The application has been assessed as a Discretionary Activity.

The following attachments are included with this application:

ATTACHMENT 1 - Record of Title

ATTACHMENT 2 - Architectural Plans

ATTACHMENT 3 - Copy of RC 2220607 RMALUC

ATTACHMENT 4 - Stormwater Calculations

Please do not hesitate to contact me should you require any further information.

Yours sincerely,

**Paul Hayman**



**RECORD OF TITLE  
UNDER LAND TRANSFER ACT 2017  
FREEHOLD  
Search Copy**



  
R. W. Muir  
Registrar-General  
of Land

**Identifier** **NA95B/340**  
**Land Registration District** **North Auckland**  
**Date Issued** 03 October 1994

**Prior References**  
NA48B/1219

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**Estate** Fee Simple  
**Area** 5250 square metres more or less  
**Legal Description** Lot 1 Deposited Plan 158861

**Registered Owners**  
Cornerstone Assets Limited

---

**Interests**

12984381.2 Mortgage to Pasquale Investments Limited - 30.4.2024 at 12:33 pm

Approve: **BRYAN HARVIE** LIMARVIE 11/1/94  
 The Chairman  
 of  
 Registered Owners

Approved pursuant to Section 223 of the Resource Management Act 1991 on the 16 day of October 1994. The Common Seal of the Far North District Council was hereby affixed in the presence of:

**THE FAR NORTH DISTRICT COUNCIL**  
 THE CHAIRMAN  
 OF  
 REGISTERED OWNERS  
 (for delegated authority)

New CIST Allocated:  
 Lot 1. 995/340  
 Lot 2. 995/341

Total Area 8840 m<sup>2</sup>  
 Comprised in CT 485/219 (P)

Registered Surveyor and holder of an annual practicing certificate (or who may act as a registered surveyor pursuant to section 25 of the Survey Act 1976) who has examined this plan and is satisfied that the boundaries and areas shown by or on or under my directions, that both plan and survey are correct and have been made in accordance with the Survey Regulations 1972 or any regulations made in substitution thereof.  
 Dated at Kerikeri this 15th day of September 1994.  
 Signature: *R. Donaldson*  
 Robert John Donaldson  
 Chief Surveyor

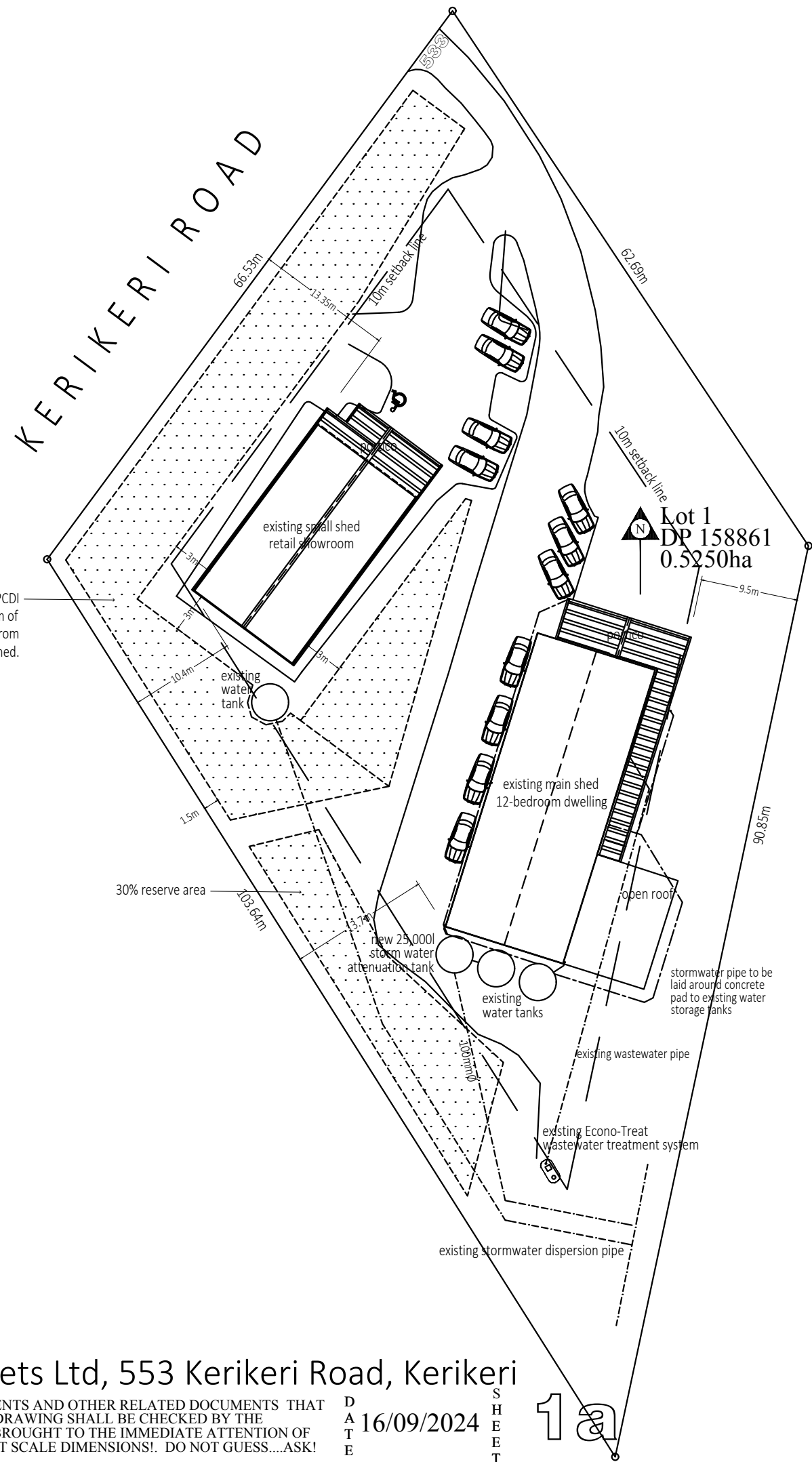
Field Book P  
 Reference Plans P  
 Examined by *R. Donaldson* Chief Surveyor  
 Approved as to Survey P  
 Deposited in the office of the Chief Surveyor on 11/1/94  
 File No. 2438  
 Date of Registration 11/1/94  
 DP 158861

LAND DISTRICT North Auckland  
 SURVEY BLK. & DIST. 1 & 11, KAWAKAWA  
 NZMS 261 SHT POS. RECORD MAP No 62

TERRITORIAL AUTHORITY Far North District  
 Surveyed by R.J. Donaldson & Assoc.  
 Scale 1:750 Date September 1994

W.A. ROBERTSON, DIRECTOR GENERAL/SURVEYOR GENERAL, DEPARTMENT OF SURVEY AND LAND INFORMATION, NEW ZEALAND





Land Application System: 820sqm of sub-surface laid PCDI dripline, 10 x 82m buried at 1m centers to a minimum of 100mm deep. To be laid near to contour and protected from stock and vehicular traffic. See schematic drawing attached.

**Notes:**

**floor areas:**  
 small shed GFA 243.60m<sup>2</sup>  
 main shed GFA 360.00m<sup>2</sup>  
 total GFA 603.60m<sup>2</sup>

**district plan zone:**  
 site is in the 'Rural Production' zone

**wind zone:**  
 building site wind zone is 'high'

**exposure zone:**  
 building site exposure zone is 'B'

**ground:**  
 the soil supporting the footings is assumed to be good ground as per NZS 3604:2011 3.1.3 (a) - (d) and (f)

**topography:**  
 building site contour is near flat

**excavation:**  
 maximum depth: <1.4m  
 maximum volume: <5m<sup>3</sup>

**plumbing & drainage:**  
 all plumbing & drainage work is to fully comply with NZBC G13/AS1 & all local body regulations

**wastewater:**  
 wastewater disposal is by existing wastewater treatment system & drainage field designed by Waterflow NZ Ltd

**stormwater:**  
 stormwater is to be piped to existing water tanks  
 potable water outlet to be fitted with a 20 micron filter

see stormwater report by T&A Structures Ltd

**building coverage:**

area of site	5,250m <sup>2</sup>
small sheds footprint	243.6m <sup>2</sup>
large sheds footprint	360.6m <sup>2</sup>
total building coverage	603.6m <sup>2</sup>

11.5% of site has building coverage  
 12.5% building coverage permitted

**site coverage:**

area of site	5,250m <sup>2</sup>
existing sheds roof area	698m <sup>2</sup>
small shed portico	42.93m <sup>2</sup>
large shed portico	99.72m <sup>2</sup>
driveways & paths	1,112m <sup>2</sup>
total impermeable surfaces	1,952.65m <sup>2</sup>

37.19% of site has impermeable surfaces  
 15% impermeable surfaces is permitted

1,733m<sup>2</sup> (33%) approved under EBC 2022-343

site location 1:500

Proposed alterations for Cornerstone Assets Ltd, 553 Kerikeri Road, Kerikeri

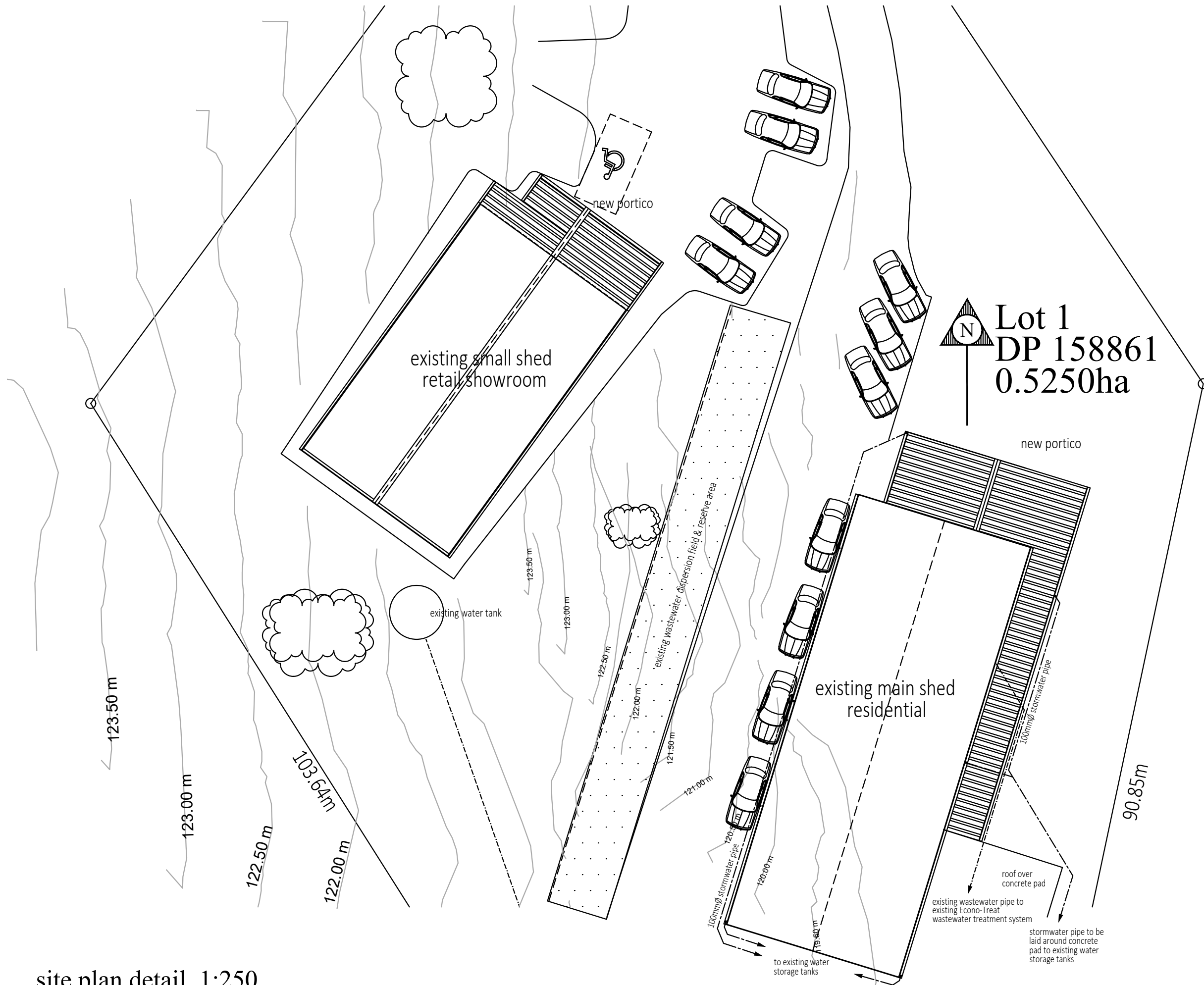



NOTES: ALL CONSTRUCTION SHALL BE TO NZS 3604:2011 AND AMENDMENTS AND OTHER RELATED DOCUMENTS THAT APPLY TO THE WORK SHOWN. ALL DIMENSIONS AND DETAIL IN THIS DRAWING SHALL BE CHECKED BY THE CONTRACTOR AND ANY DISCREPANCIES OR AMBIGUITIES SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF CADPLANZ. TEL. 09-407 9816. FAX. 09 407 9817. MOB. 0274 505 471. DO NOT SCALE DIMENSIONS!. DO NOT GUESS....ASK!

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16/09/2024

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**Lot 1**  
**DP 158861**  
**0.5250ha**

**Notes:**

floor areas:	
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main shed GFA	360.00m <sup>2</sup>
<b>total GFA</b>	<b>603.60m<sup>2</sup></b>

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wind zone:  
building site wind zone is 'high'

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building site exposure zone is 'B'

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the soil supporting the footings is assumed to be good ground as per NZS 3604:2011 3.1.3 (a) - (d) and (f)

topography:  
building site contour is near flat

excavation:  
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potable water outlet to be fitted with a 20 micron filter

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37.19% of site has impermeable surfaces  
15% impermeable surfaces is permitted

1,733m<sup>2</sup> (33%) approved under EBC 2022-343

site plan detail 1:250

Proposed alterations for Cornerstone Assets Ltd, 553 Kerikeri Road, Kerikeri



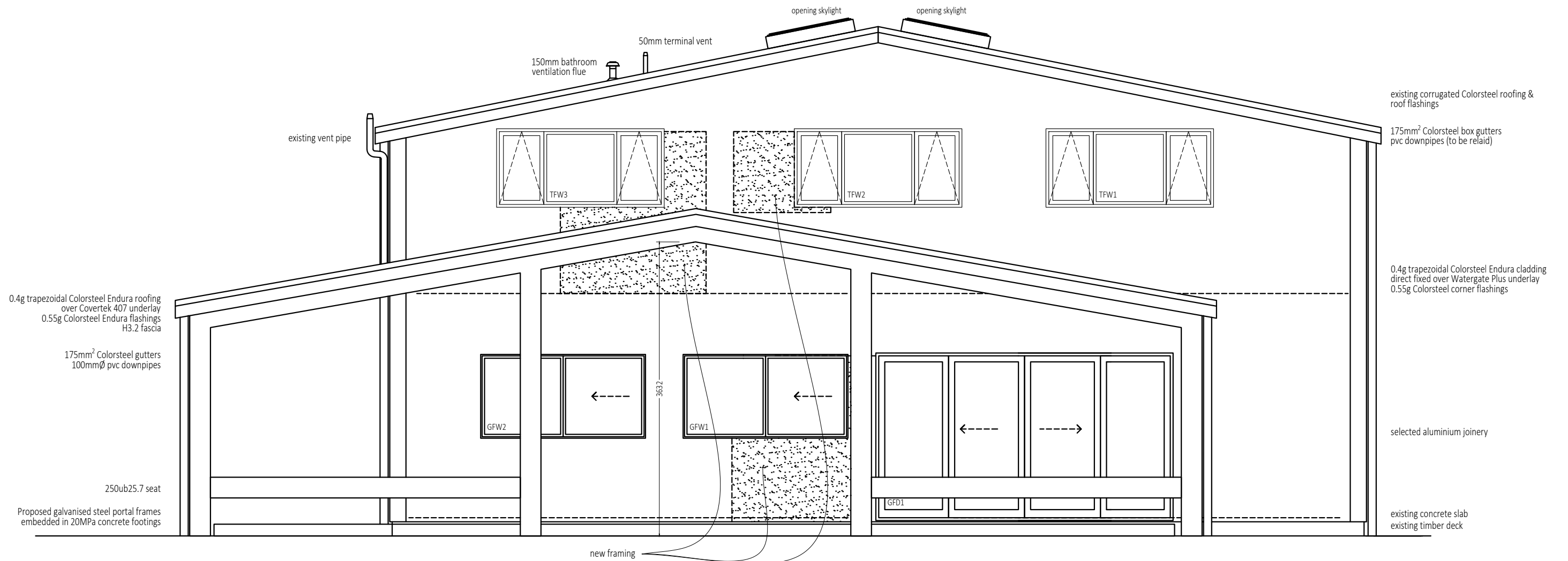
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DATE 16/09/2024

SHEET

1b





north elevation

elevations #1 1:50

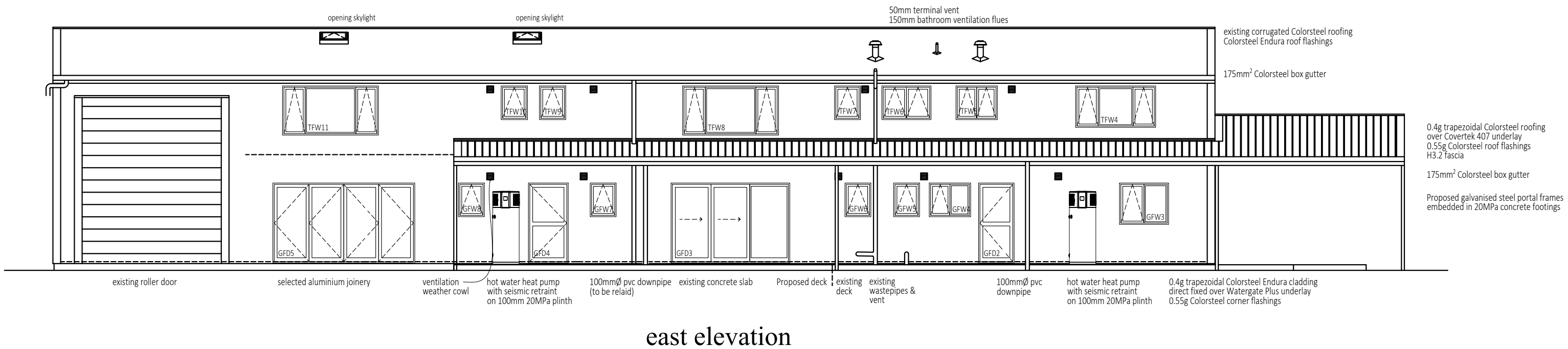
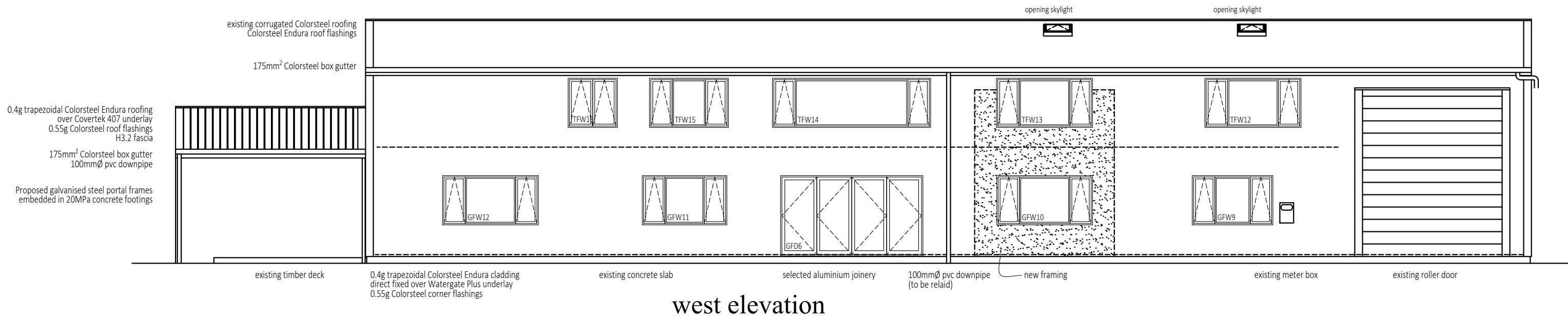
Proposed alterations for Cornerstone Assets Ltd, 553 Kerikeri Road, Kerikeri



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elevations #2 1:100

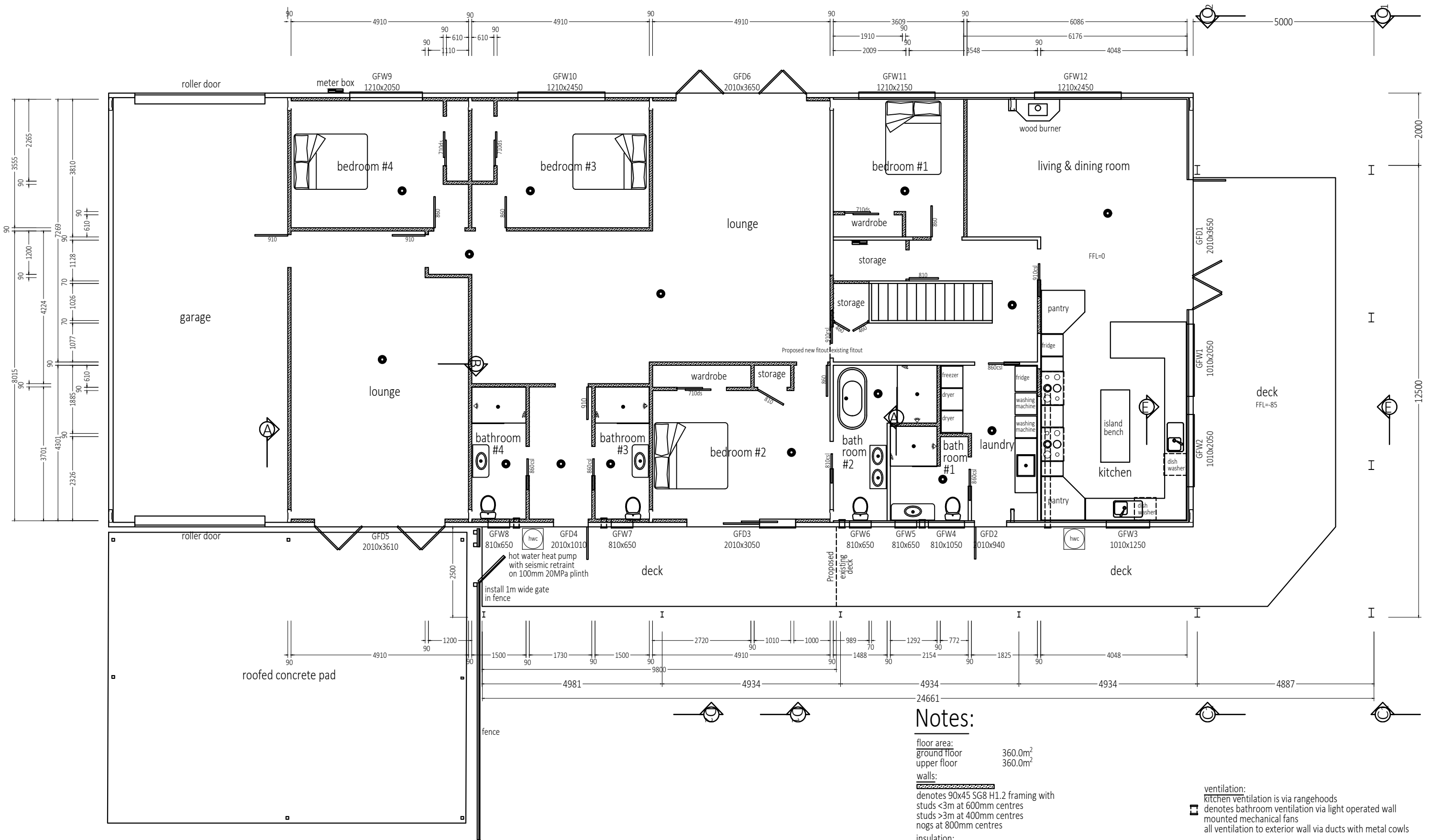
Proposed alterations for Cornerstone Assets Ltd, 553 Kerikeri Road, Kerikeri



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**Notes:**

floor area:  
ground floor 360.0m<sup>2</sup>  
upper floor 360.0m<sup>2</sup>

walls:  
denotes 90x45 SG8 H1.2 framing with studs <3m at 600mm centres  
studs >3m at 400mm centres  
nogs at 800mm centres

insulation:  
installation is to comply with manufacturers specifications  
fit 2-R2.2 layers of batts between framing etc. to exterior walls  
fit R2.5 & R1.3 layers of batts insulation between framing etc. to ceilings

splashbacks:  
vanities & sinks are to have ceramic tile splashbacks over Aqualine Gib

wet areas:  
bathroom floors are to have ceramic tiles over Flexiseal PUD membrane  
shower walls are to have ceramic tiles over Flexiseal PUD membrane over Gib Aqualine

kitchen floor is to have ceramic tiles over Flexiseal PUD membrane

safety glass:  
bathroom windows are to be glazed with laminated safety glass & shower partitions are to be toughened safety glass in accordance with NZS 4223.1:2008

ventilation:  
kitchen ventilation is via rangehoods  
denotes bathroom ventilation via light operated wall mounted mechanical fans  
all ventilation to exterior wall via ducts with metal cowls

joinery:  
all joinery measurements are framing trim sizes  
windows, doors & flashings are to be installed as per NZBC E2/AS1 exterior jamb liners are to be H3.1  
site measure all joinery before manufacture

NZBC:  
all work is to comply with relevant clauses of the NZ building code

● denotes interconnected smoke alarm

**main shed: Proposed ground floor plan 1:100**  
**Proposed alterations for Cornerstone Assets Ltd, 553 Kerikeri Road, Kerikeri**



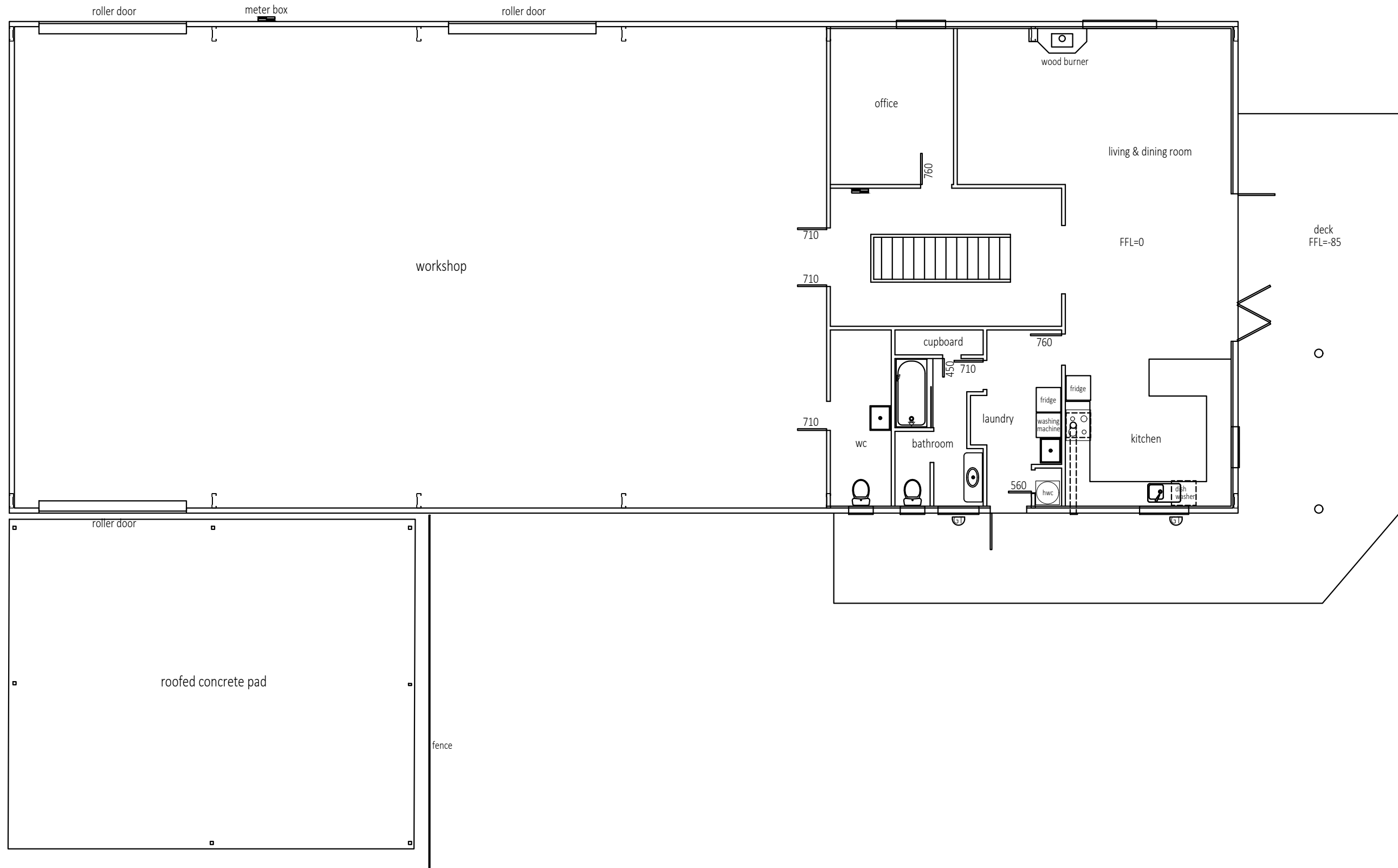
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main shed: existing ground floor plan 1:100  
 Proposed alterations for Cornerstone Assets Ltd, 553 Kerikeri Road, Kerikeri

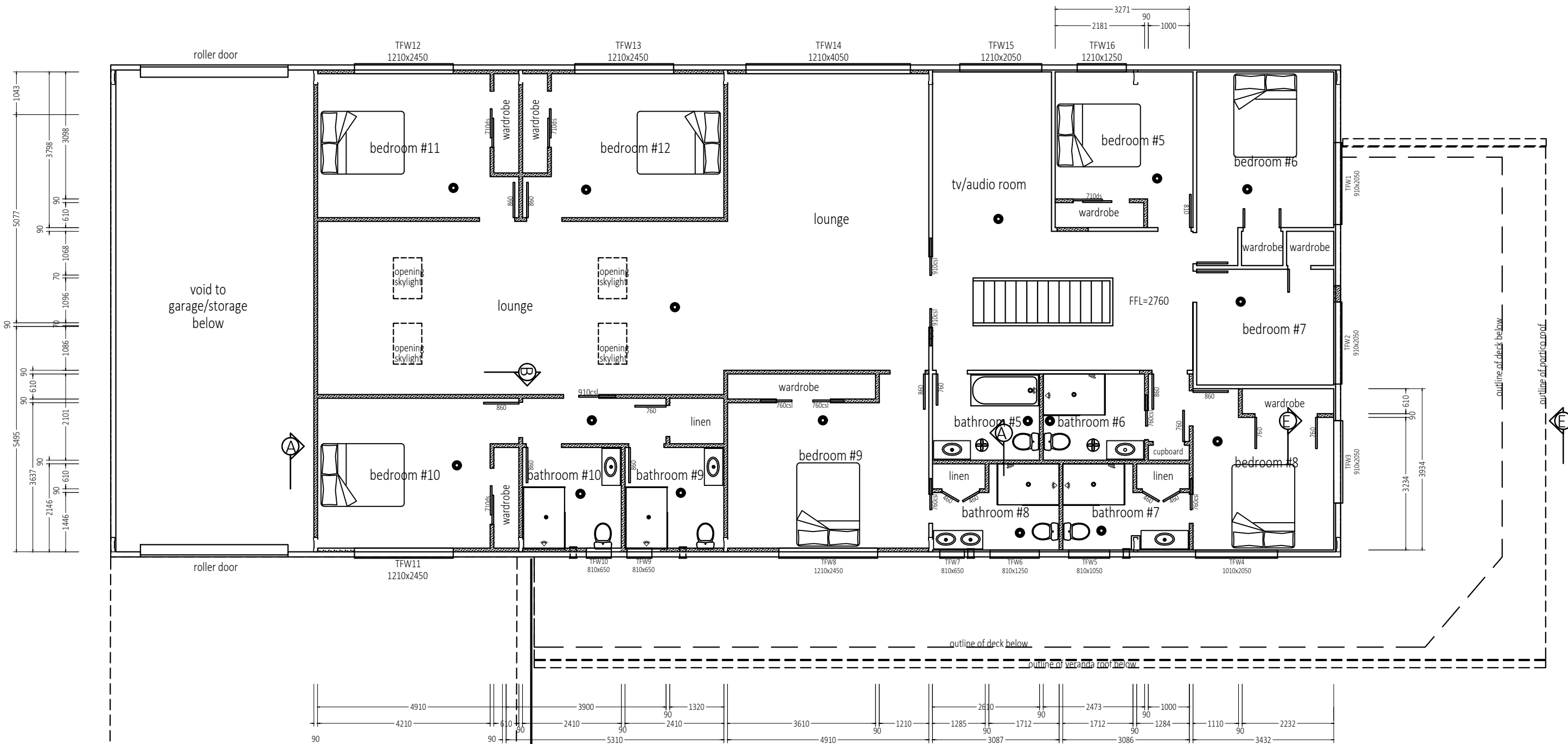


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**Notes:**

floor area:  
 ground floor 360.0m<sup>2</sup>  
 upper floor 360.0m<sup>2</sup>

walls:  
 denotes 90x45 SG8 H1.2 framing with studs <3m at 600mm centres studs >3m at 400mm centres nogs at 800mm centres

insulation:  
 installation is to comply with manufacturers specifications fit 2-R2.2 layers of batts between framing etc. to exterior walls fit R2.5 & R1.3 layers of batts insulation between framing etc. to ceilings

splashbacks:  
 vanities & sinks are to have ceramic tile splashbacks over Aqualine Gib

wet areas:  
 bathroom floors are to have ceramic tiles over Flexiseal membrane shower walls are to have ceramic tiles over Flexiseal PUD membrane over Gib Aqualine kitchen floor is to have ceramic tiles over Flexiseal PUD membrane

safety glass:  
 bathroom windows are to be glazed with laminated safety glass & shower partitions are to be toughened safety glass in accordance with NZS 4223.1:2008

ventilation:  
 kitchen ventilation via rangehoods  
 denotes bathroom ventilation via light operated ceiling mounted mechanical fans  
 denotes bathroom ventilation via light operated wall mounted mechanical fans  
 all ventilation to exterior via ducts with metal cowls

joinery:  
 all joinery measurements are framing trim sizes windows, doors & flashings are to be installed as per NZBC E2/AS1 exterior jamb liners are to be H3.1 site measure all joinery before manufacture

NZBC:  
 all work is to comply with relevant clauses of the NZ building code  
 ● denotes interconnected smoke alarm

**main shed: Proposed upper floor plan 1:100**  
**Proposed alterations for Cornerstone Assets Ltd, 553 Kerikeri Road, Kerikeri**

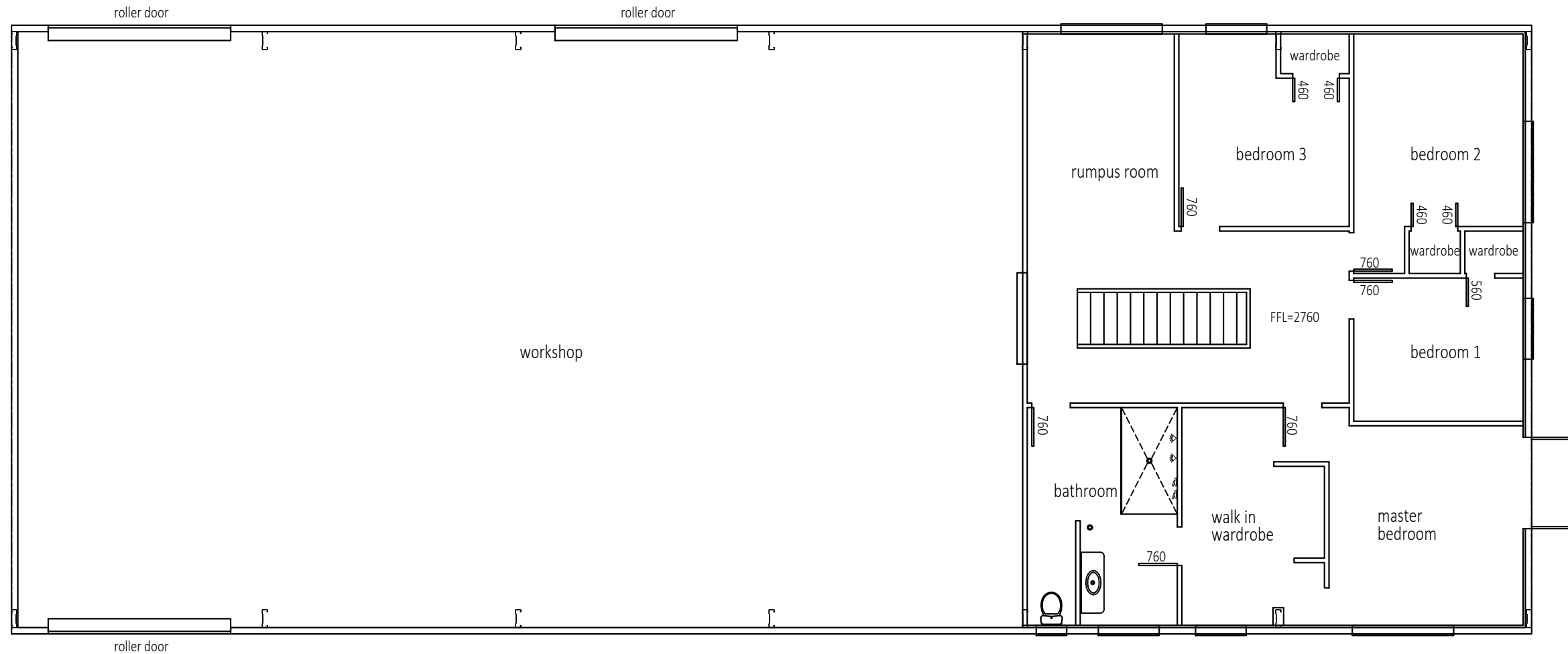
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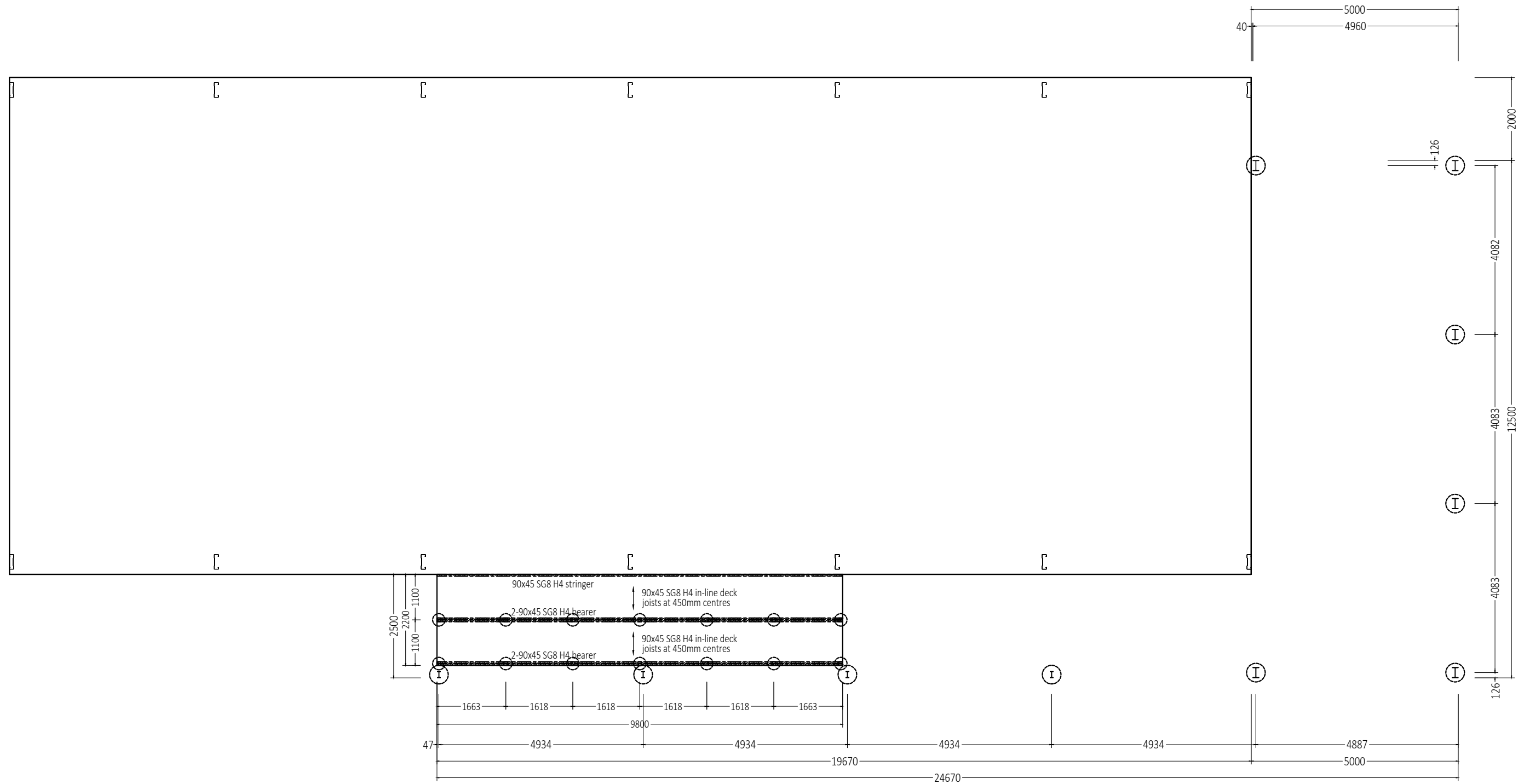
main shed: existing upper floor plan 1:100  
 Proposed alterations for Cornerstone Assets Ltd, 553 Kerikeri Road, Kerikeri



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TEO PILAPIL CPEng:

19 Sep 2024

Notes:

- ⊙ deck pile: 90mm<sup>2</sup> SG8 H5 embedded 200mm in 300mm $\phi$  x 300mm deep 20MPa concrete footing
- Ⓜ portal leg: 150ub18 portal leg embedded 1.3m in 450mm $\phi$ x1.4m deep 20MPa concrete footing
- Ⓜ portal leg: 250ub25.7 portal leg embedded 1.3m in 450mm $\phi$  x1.4m deep 20MPa concrete footing

all portals to be hot dipped galvanised to HD600 as per table 6.2 AS/NZ 2312.2:2014  
the contractor shall check and verify all dimensions, levels and details on site (including h.d. bolts as constructed) before commencing fabrication of any steelwork.

subfloor plan 1:100

Proposed alterations for Cornerstone Assets Ltd, 553 Kerikeri Road, Kerikeri

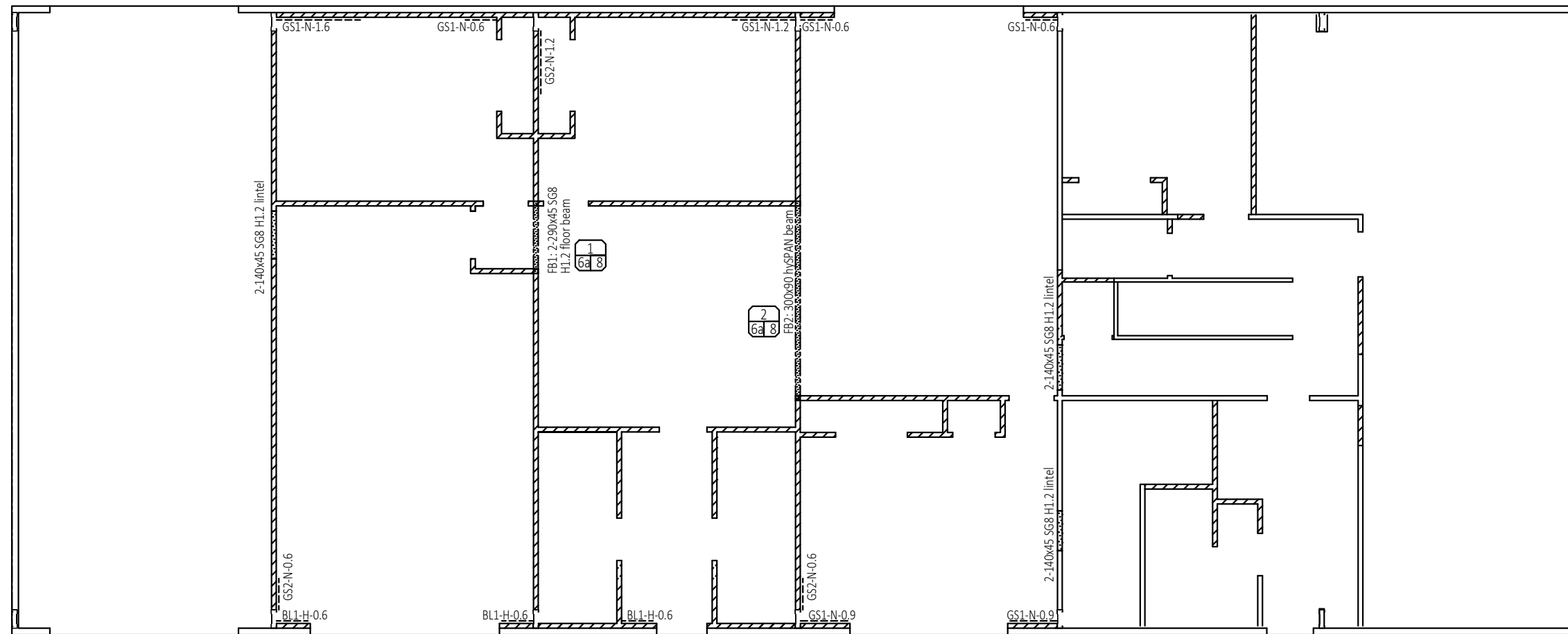


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**Notes:**

- denotes new 90x45 SG8 H1.2 framing with studs <3m at 600mm centres & studs >3m at 400mm centres & nogs at 800mm centres
- denotes lintel
- denotes lintel size 2-140x45 SG8 H1.2

**bracing summary:**

<u>along:</u>	
west wall - ground floor:	
4.6m GS1-N at 50BU/m (min)	= 230BU
west wall - upper floor:	
4.4m GS1-N at 50BU/m (min)	= 220BU
west wall total	= 450BU
east wall - ground floor:	
1.8m BL1-H at 90BU/m (min)	= 162BU
1.8m GS1-N at 50BU/m (min)	= 90BU
east wall - upper floor:	
4.2m GS1-N at 50BU/m (min)	= 210BU
east wall - total	= 462BU
<u>across:</u>	
<u>ground floor:</u>	
2.4m GS2-N at 85BU/m (min)	= 204BU
<u>top floor:</u>	
2.4m GS2-N at 85BU/m (min)	= 204BU

**bracing, framing & lintel plan - ground floor 1:100**  
 Proposed alterations for Cornerstone Assets Ltd, 553 Kerikeri Road, Kerikeri



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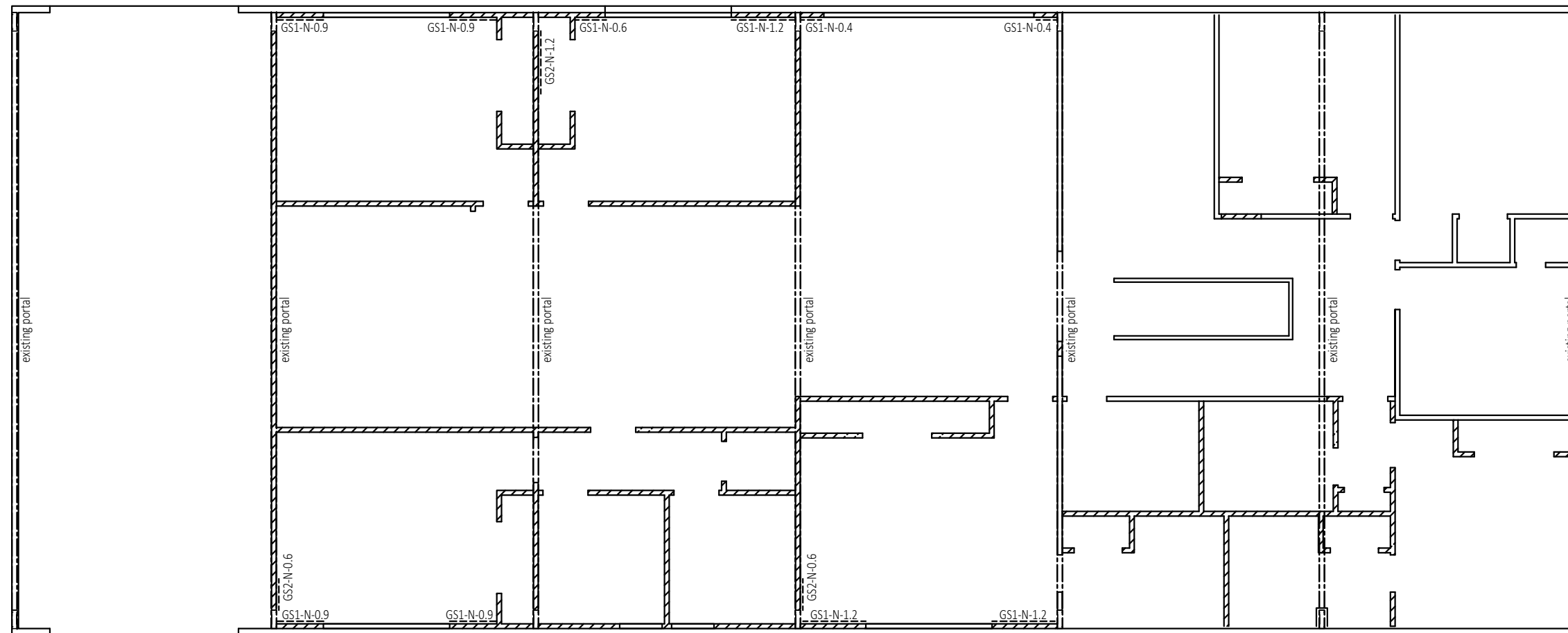
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**Notes:**

- denotes new 90x45 SG8 H1.2 framing with studs <3m at 600mm centres & studs >3m at 400mm centres & nogs at 800mm centres
- denotes lintel
- denotes lintel size 2-140x45 SG8 H1.2

**bracing summary:**

along:

west wall - ground floor:  
4.6m GS1-N at 50BU/m (min) = 230BU

west wall - upper floor:  
4.4m GS1-N at 50BU/m (min) = 220BU

west wall total = 450BU

east wall - ground floor:  
1.8m BL1-H at 90BU/m (min) = 162BU  
1.8m GS1-N at 50BU/m (min) = 90BU

east wall - upper floor:  
4.2m GS1-N at 50BU/m (min) = 210BU

east wall - total = 462BU

across:

ground floor:  
2.4m GS2-N at 85BU/m (min) = 204BU

top floor:  
2.4m GS2-N at 85BU/m (min) = 204BU

**bracing, framing & lintel plan - upper floor 1:100**  
Proposed alterations for Cornerstone Assets Ltd, 553 Kerikeri Road, Kerikeri



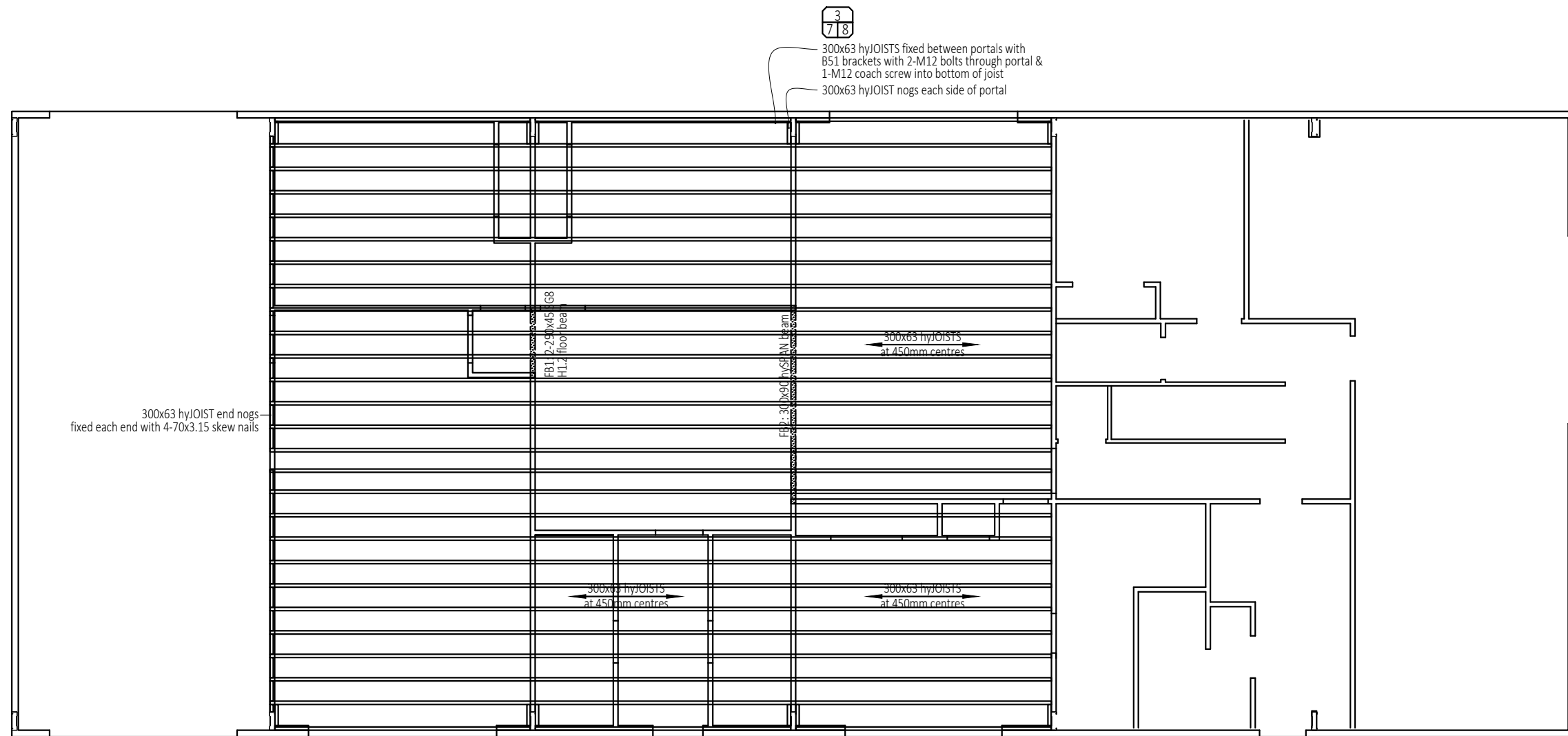
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**Notes:**

floor beams:

FB1: 2-290x45 SG8 H1.2 beam fixed each end with 4-90x3.15mm skew nails & 1-CPC80 with 4-Type 17-14gx75mm screws & 6-Type 17-14gx35mm screws

FB2: 300x90 hySPAN beam fixed each end with 4-90x3.15mm skew nails & 1-CPC80 with 4-Type 17-14gx75mm screws & 6-Type 17-14gx35mm screws

joists:

300x63 hyJOIST joists at 450mm centres fixed to floor beam & existing edge joist with hyJOIST hangers with 6-40x3.75mm product nails each flange fix to top plates with 2-70x3.15mm nails See HyJOIST manufacturer's instructions

**upper floor floor framing plan 1:100**

Proposed alterations for Cornerstone Assets Ltd, 553 Kerikeri Road, Kerikeri



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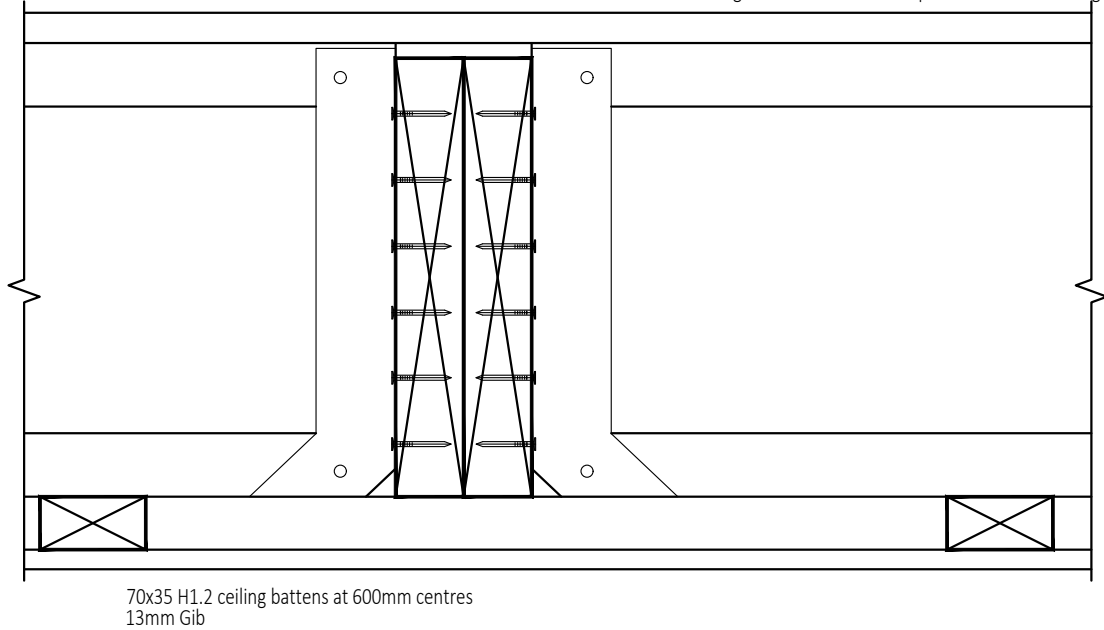
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19mm CD Ecoply H1.2 fixed as per manufacturer's specifications with 60mm galvanised annular grooved jolt head nails at 150mm centres to sheet perimeter & 300mm centres elsewhere use construction adhesive to glue sheets in a brick pattern

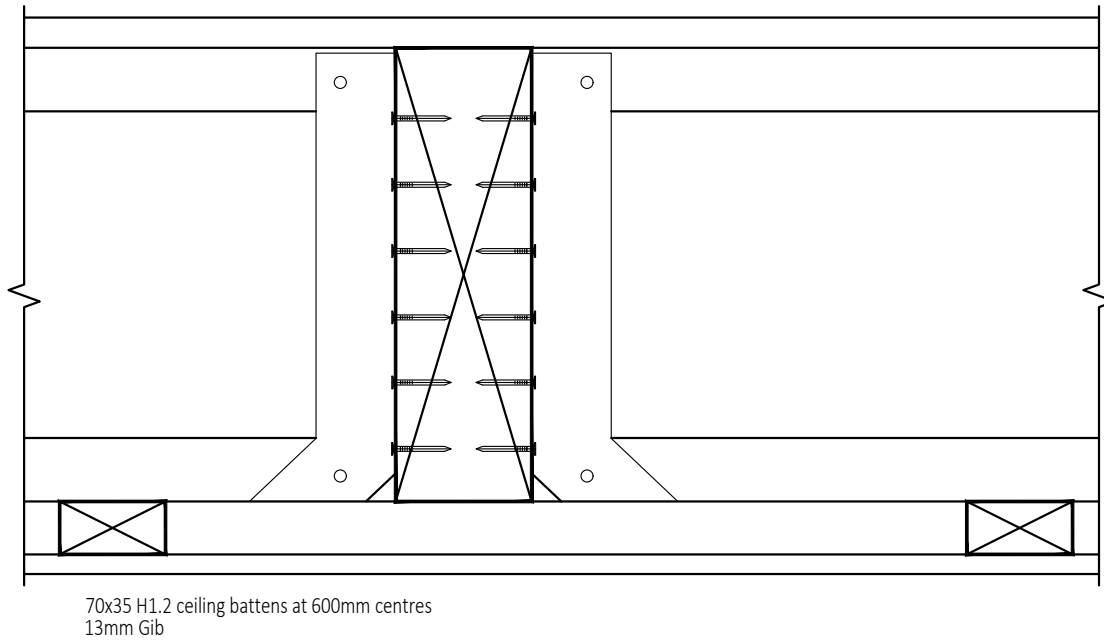
300x63 hyJOIST joists at 450mm centres fixed to 2-290x45 SG8 H1.2 floor beam with hyJOIST hangers with 6-40x3.75mm product nails each flange



**1**  
6a 8 floor beam 1 detail 1:5

19mm CD Ecoply H1.2 fixed as per manufacturer's specifications with 60mm galvanised annular grooved jolt head nails at 150mm centres to sheet perimeter & 300mm centres elsewhere use construction adhesive to glue sheets in a brick pattern

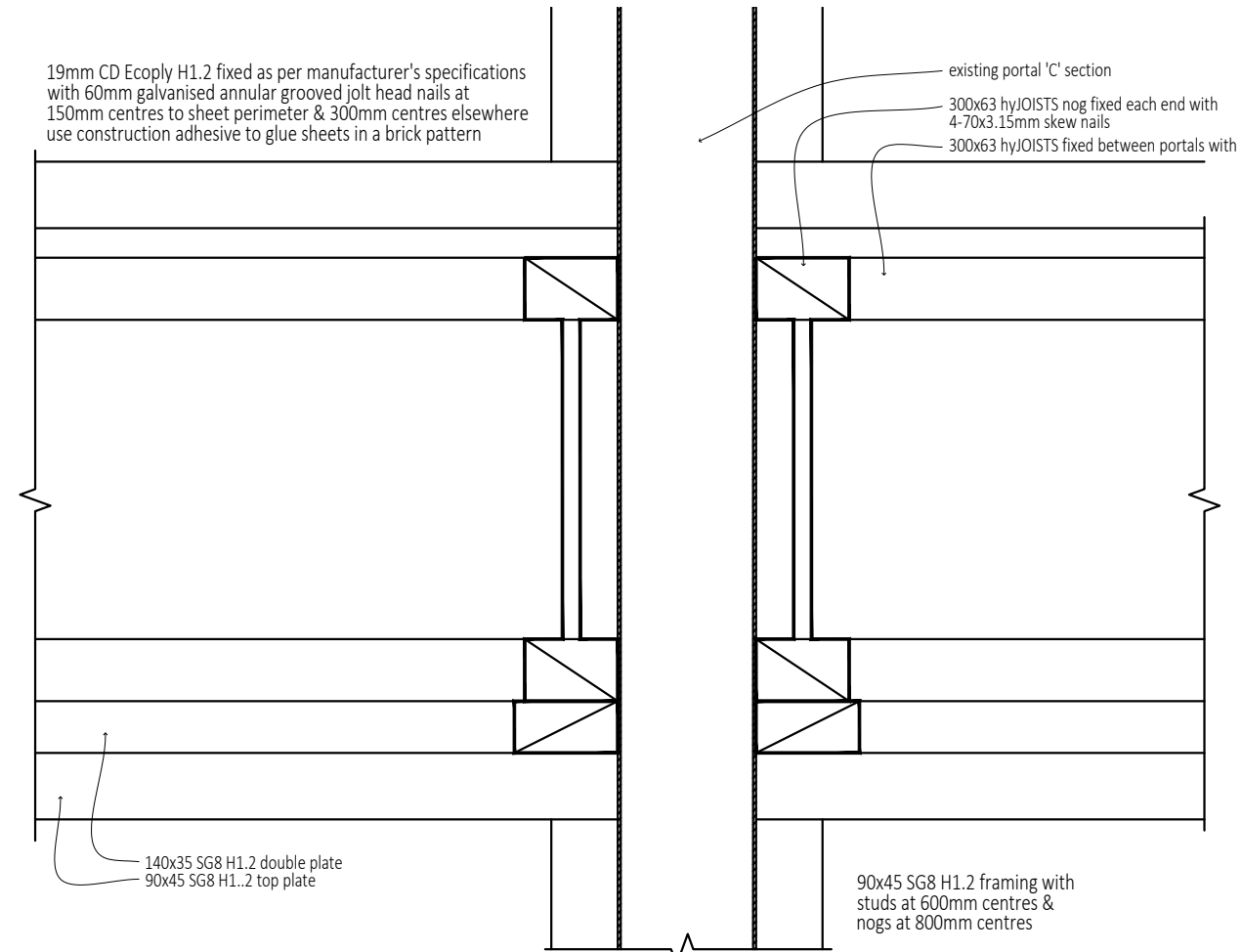
300x63 hyJOIST joists at 450mm centres fixed to 300x90 hySPAN beam with hyJOIST hangers with 6-40x3.75mm product nails each flange



**2**  
6a 8 floor beam 2 detail 1:5

19mm CD Ecoply H1.2 fixed as per manufacturer's specifications with 60mm galvanised annular grooved jolt head nails at 150mm centres to sheet perimeter & 300mm centres elsewhere use construction adhesive to glue sheets in a brick pattern

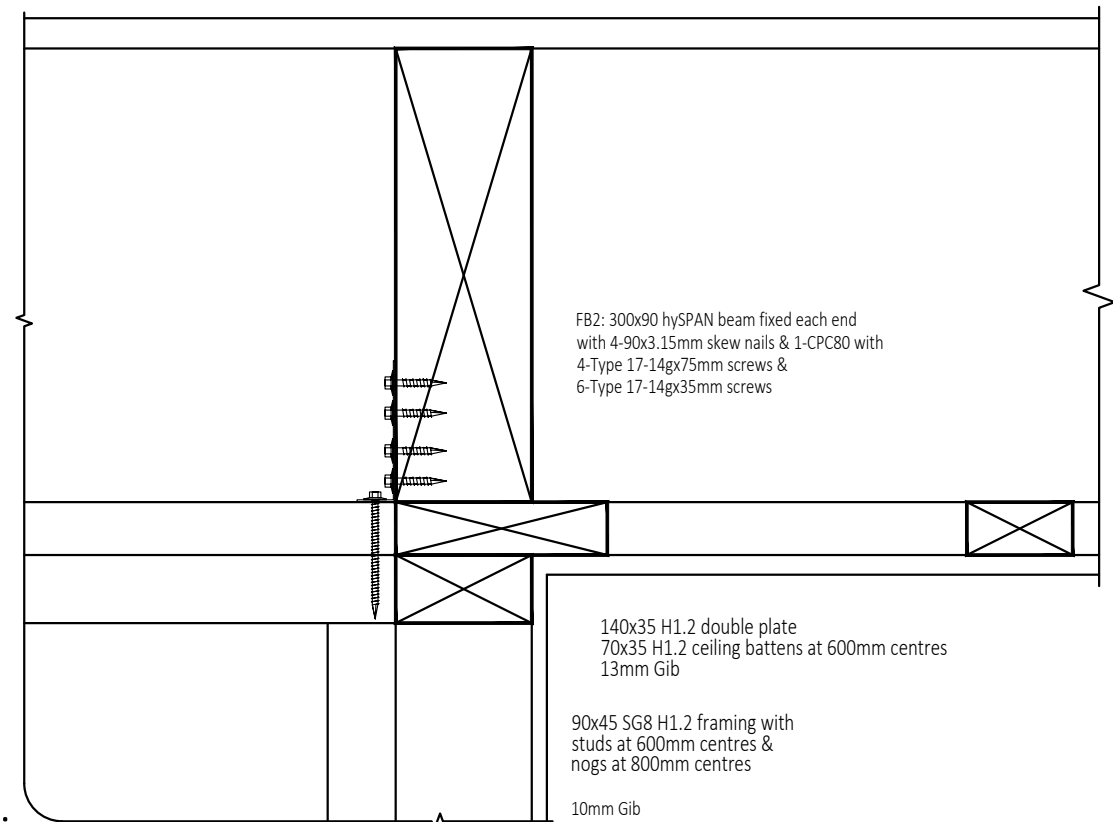
existing portal 'C' section  
300x63 hyJOISTS nog fixed each end with 4-70x3.15mm skew nails  
300x63 hyJOISTS fixed between portals with



**3**  
7 8 hyJOIST fixing to portal detail 1:5

19mm CD Ecoply H1.2 fixed as per manufacturer's specifications with 60mm galvanised annular grooved jolt head nails at 150mm centres to sheet perimeter & 300mm centres elsewhere use construction adhesive to glue sheets in a brick pattern

FB2: 300x90 hySPAN beam fixed each end with 4-90x3.15mm skew nails & 1-CPC80 with 4-Type 17-14gx75mm screws & 6-Type 17-14gx35mm screws



**8**  
FB2 floor beam fixing detail 1:5 (FB1 similar)

**floor framing details 1:5**

Proposed alterations for Cornerstone Assets Ltd, 553 Kerikeri Road, Kerikeri



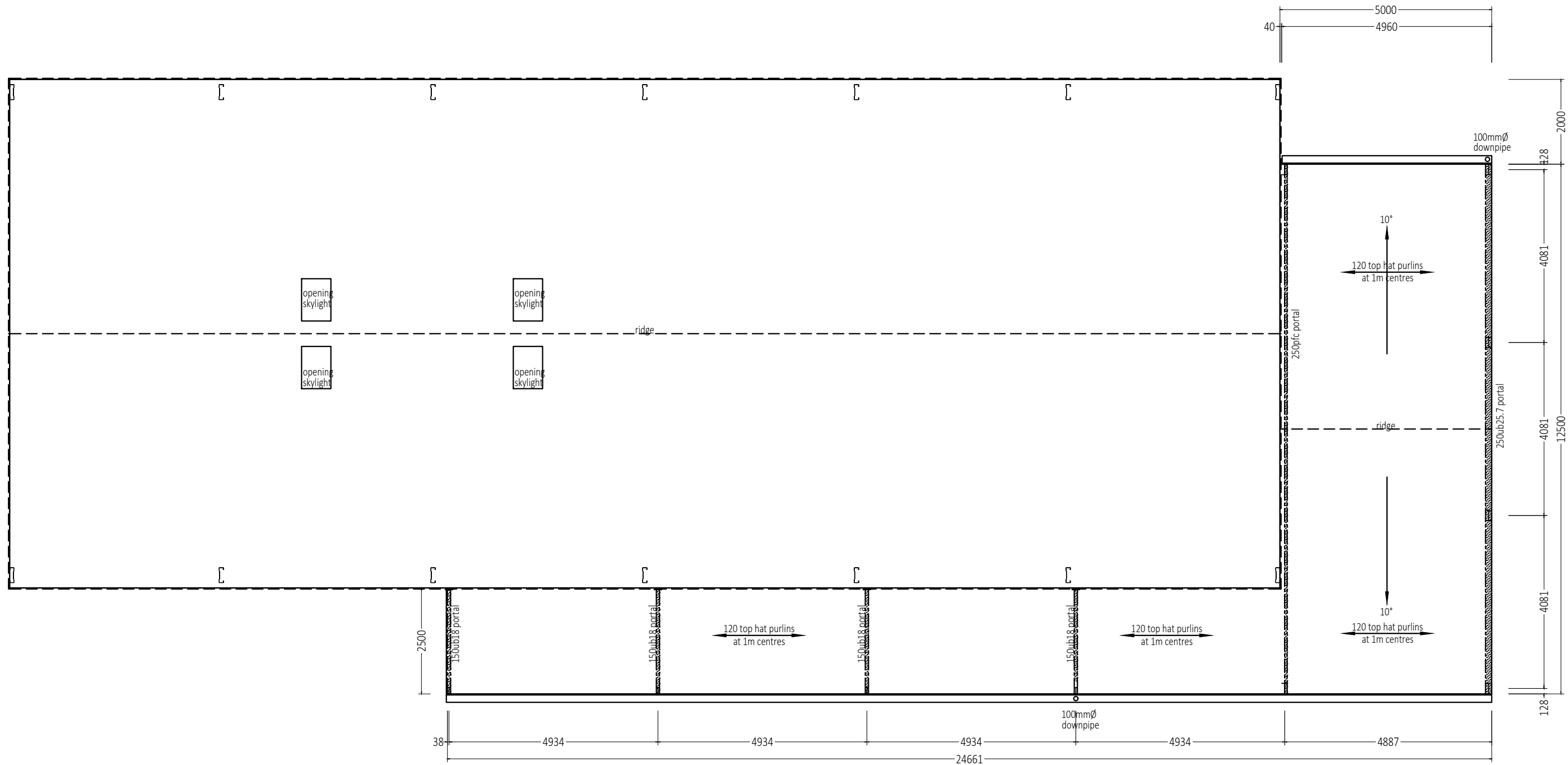
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 19 Sep 2024

**Notes:**

roofing:  
 0.4g trapezoidal Colorsteel Endura over  
 Covertek 407 underlay fixed with  
 75mm Steeltite roofing screws

purlins:  
 120mm top hat purlins at 1m centres  
 fixed with 4-14gx 35mm Tek screws

roof framing plan 1:100

Proposed alterations for Cornerstone Assets Ltd, 553 Kerikeri Road, Kerikeri

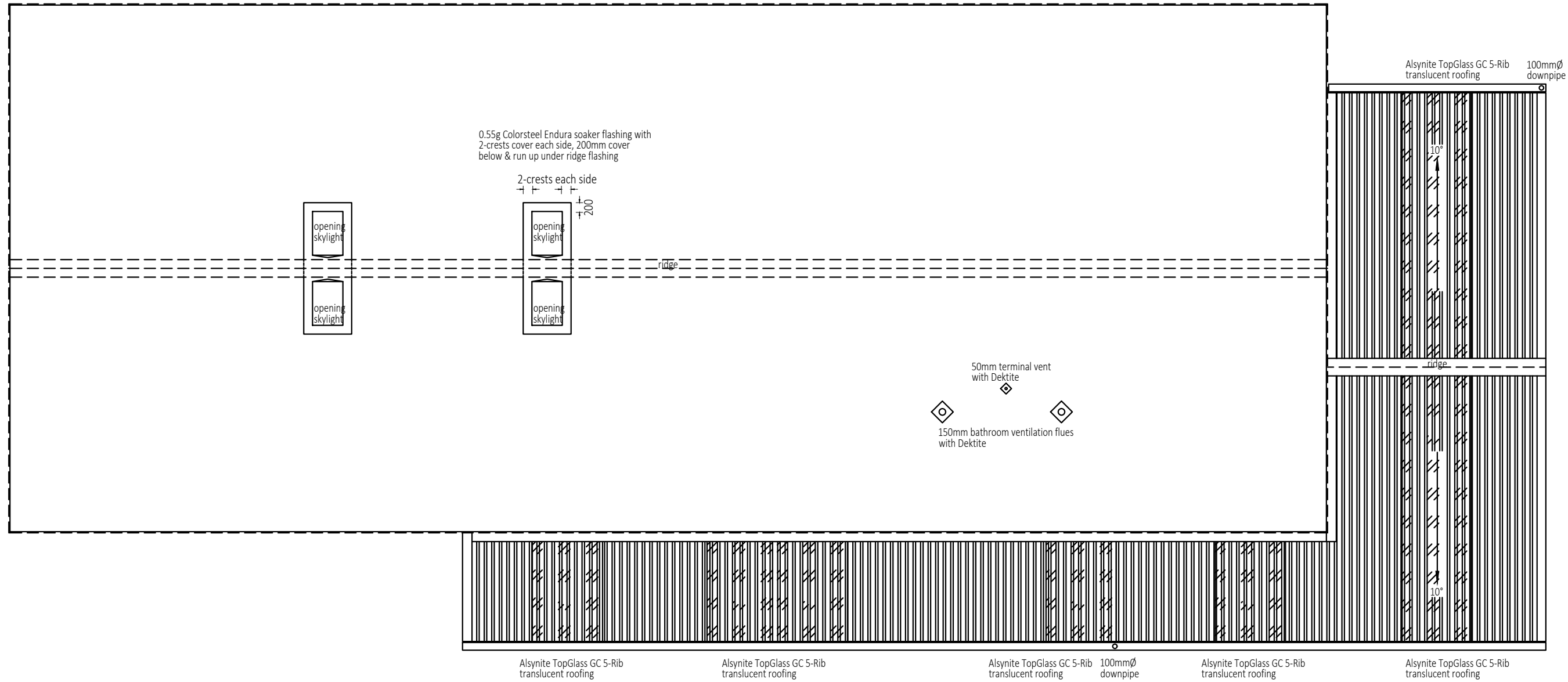


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Notes:  
 trapezoidal Colorsteel Endura roofing fixed with 75mm Steeltite roofing screws over Covertek 407 building paper

0.55g Colorsteel Endura flashings

120 top hat purlins at 1m max centres

175mm 0.55g Colorsteel box gutters laid to fall 1:100

100mmØ pvc downpipes

penetrations:  
 Deklite Premium sealed & fixed to overflashing/roofing with 4-4 aluminium rivets at 50mm centres

roof layout plan 1:100  
 Proposed alterations for Cornerstone Assets Ltd, 553 Kerikeri Road, Kerikeri

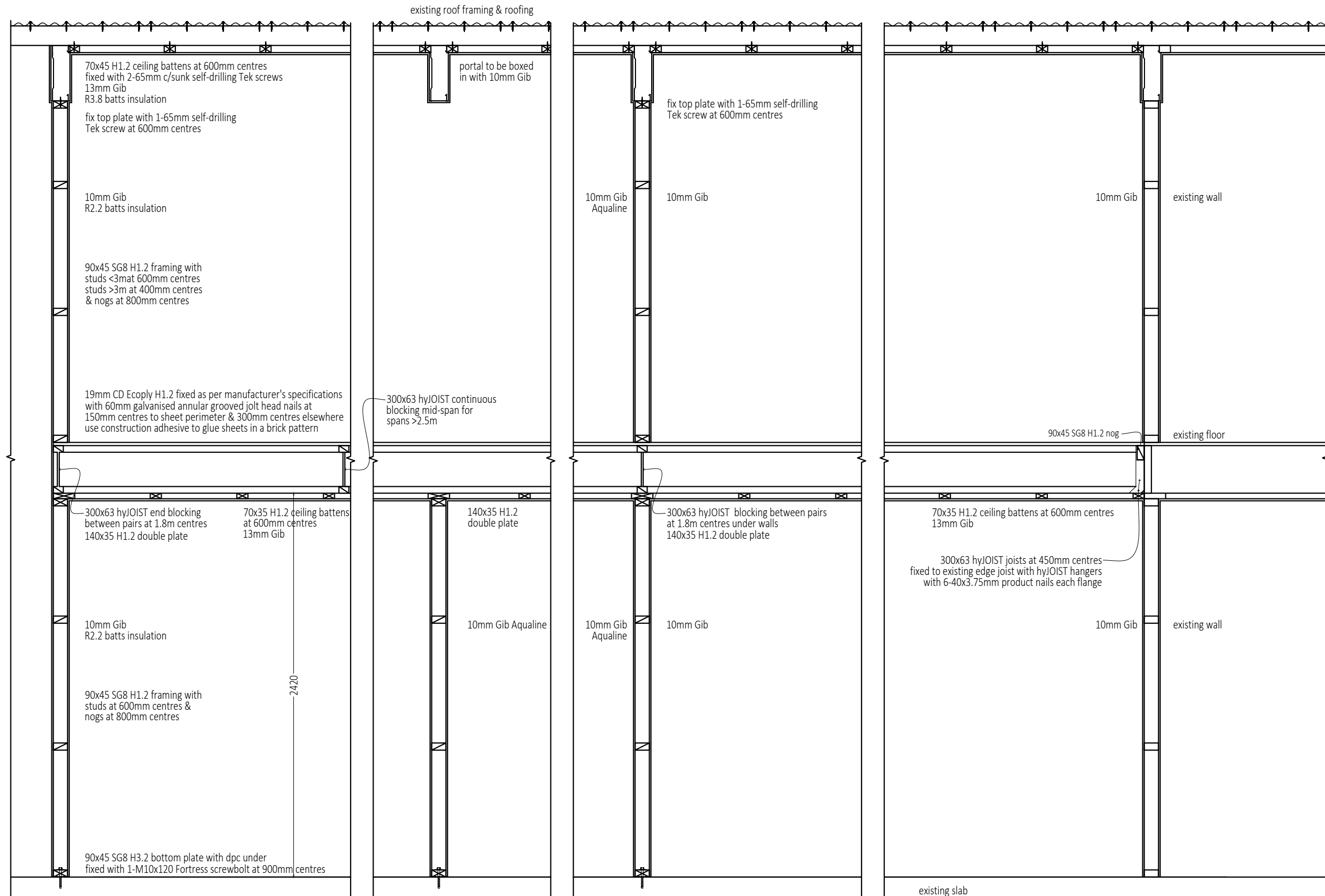


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 Proposed alterations for Cornerstone Assets Ltd, 553 Kerikeri Road, Kerikeri

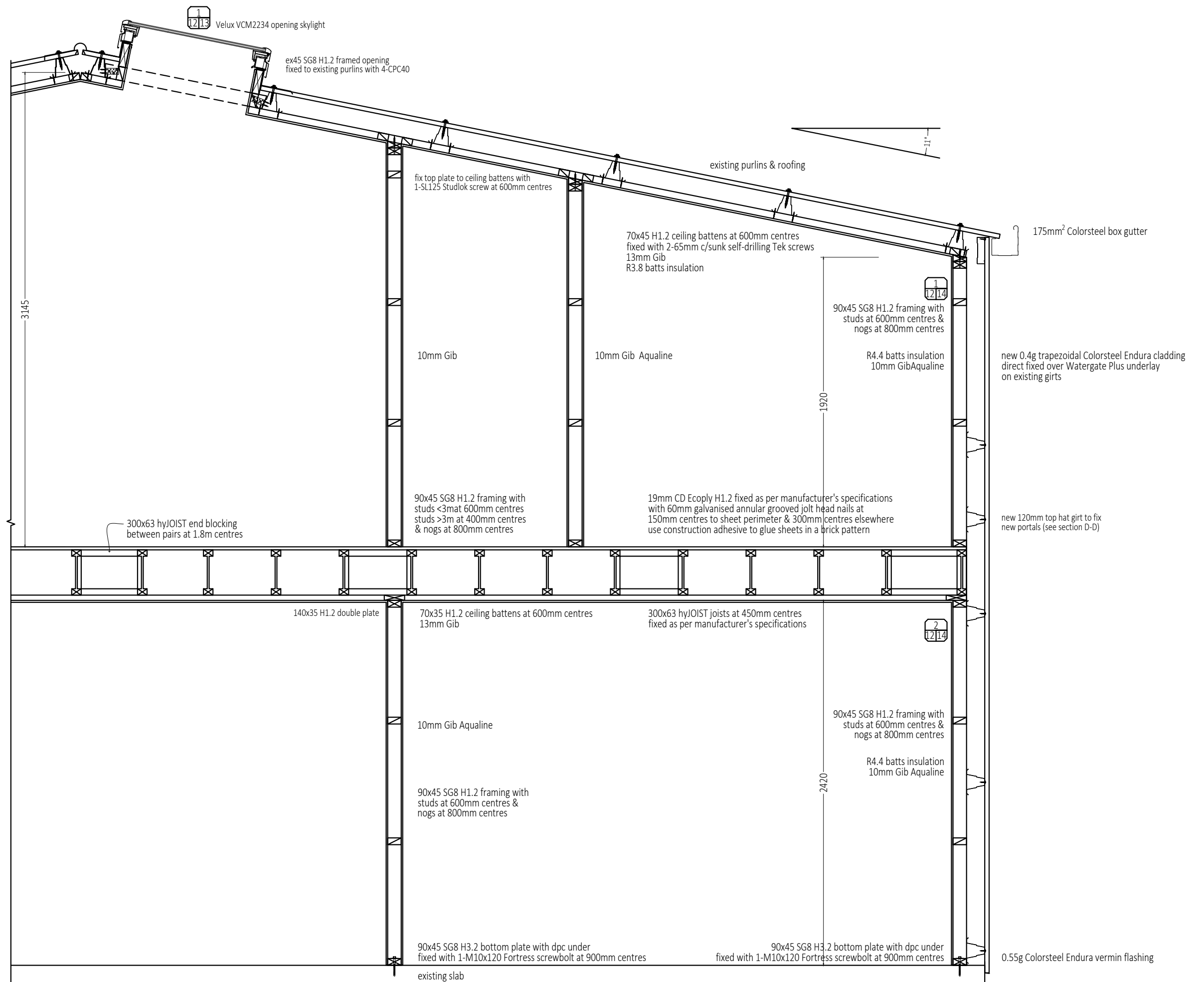


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section B-B 1:25

Proposed alterations for Cornerstone Assets Ltd, 553 Kerikeri Road, Kerikeri

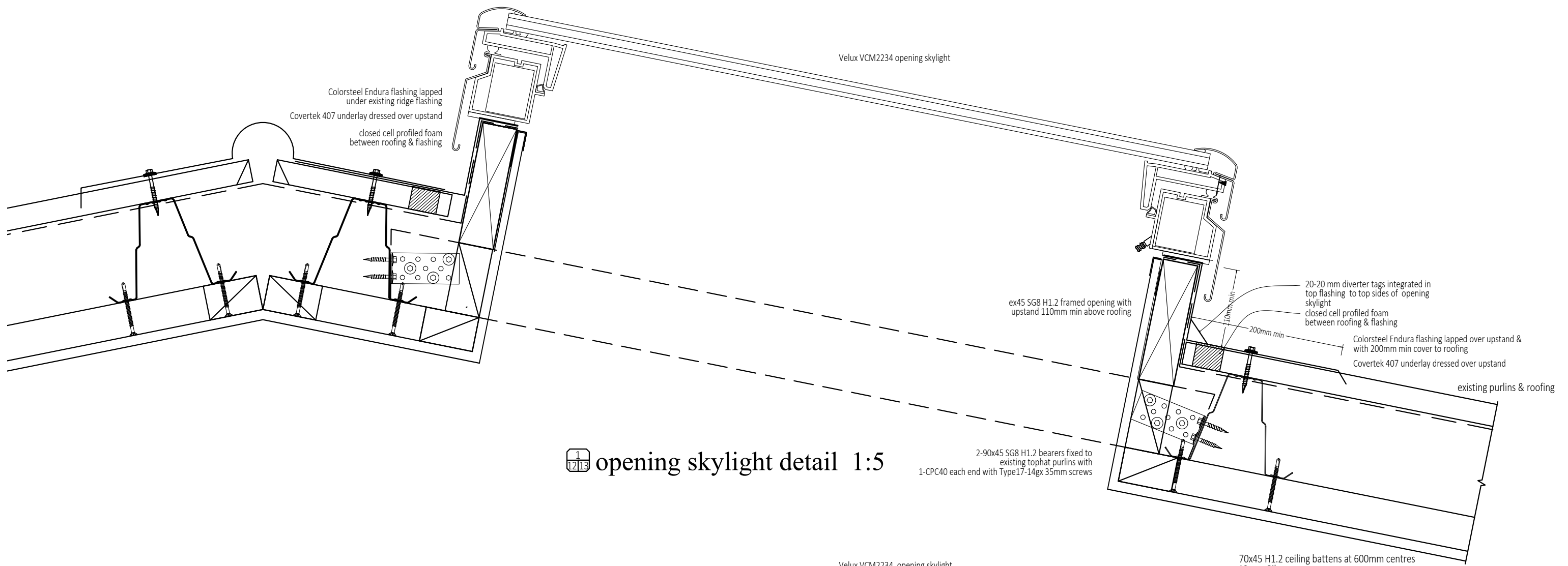


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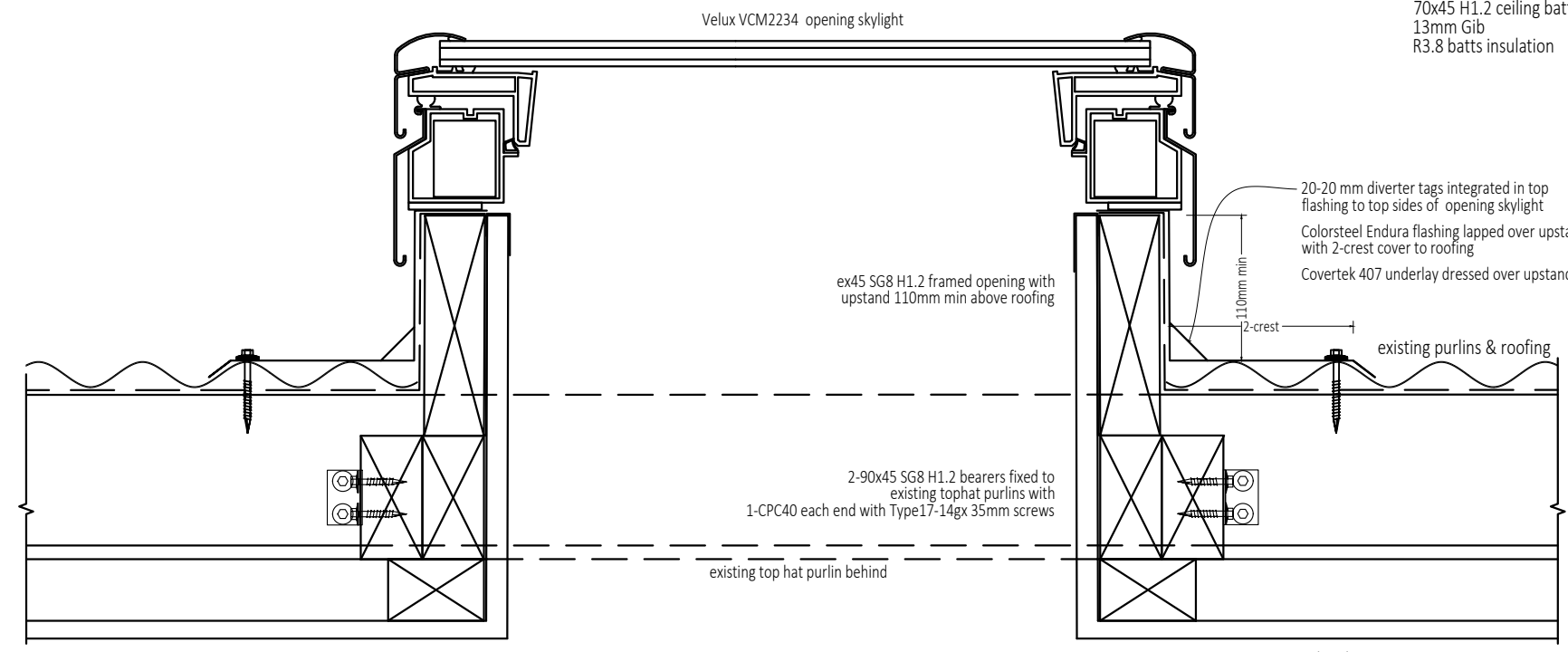
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**opening skylight detail 1:5**



**opening skylight detail 1:5**

**section B-B details 1:5**

Proposed alterations for Cornerstone Assets Ltd, 553 Kerikeri Road, Kerikeri

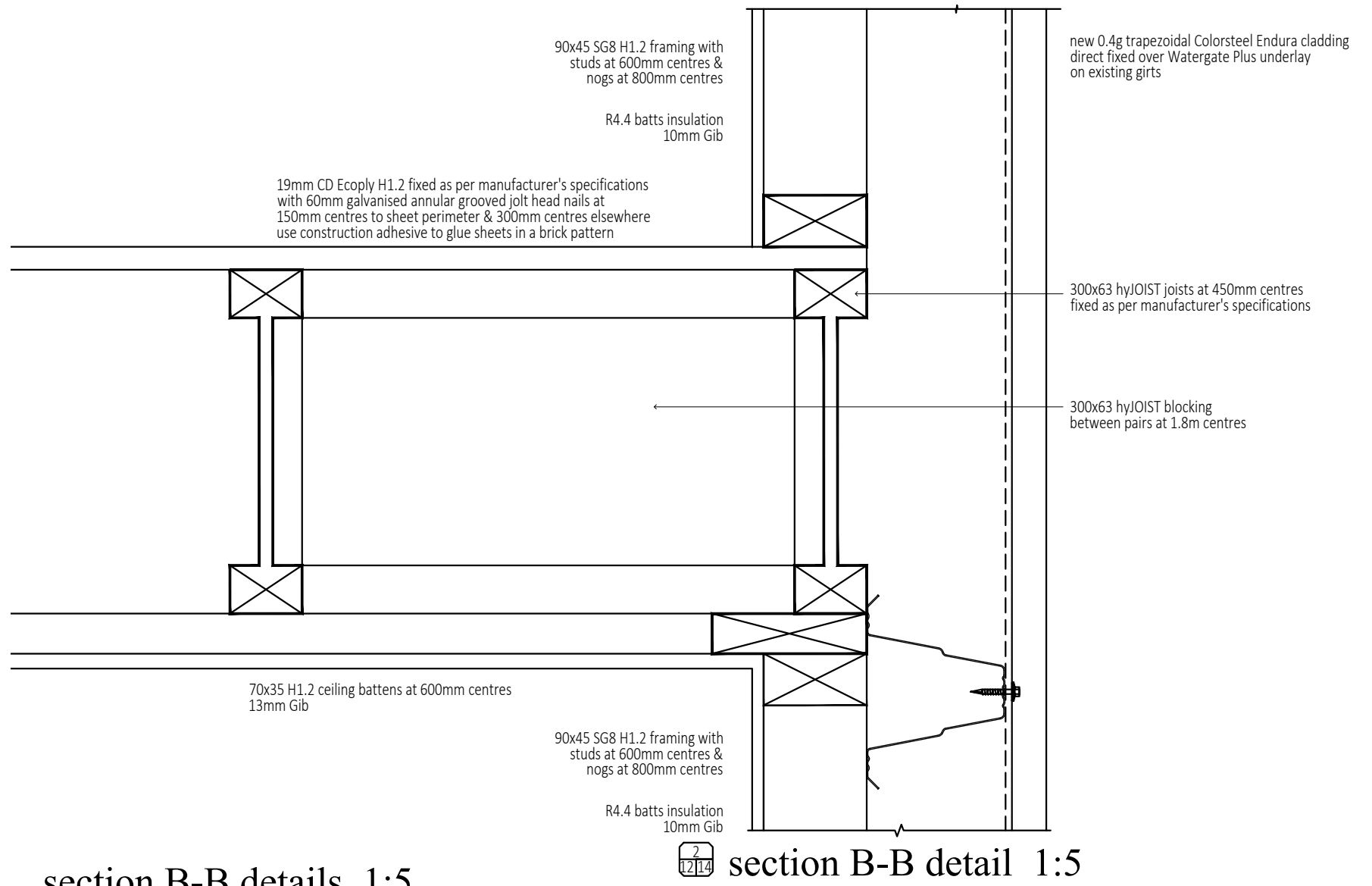
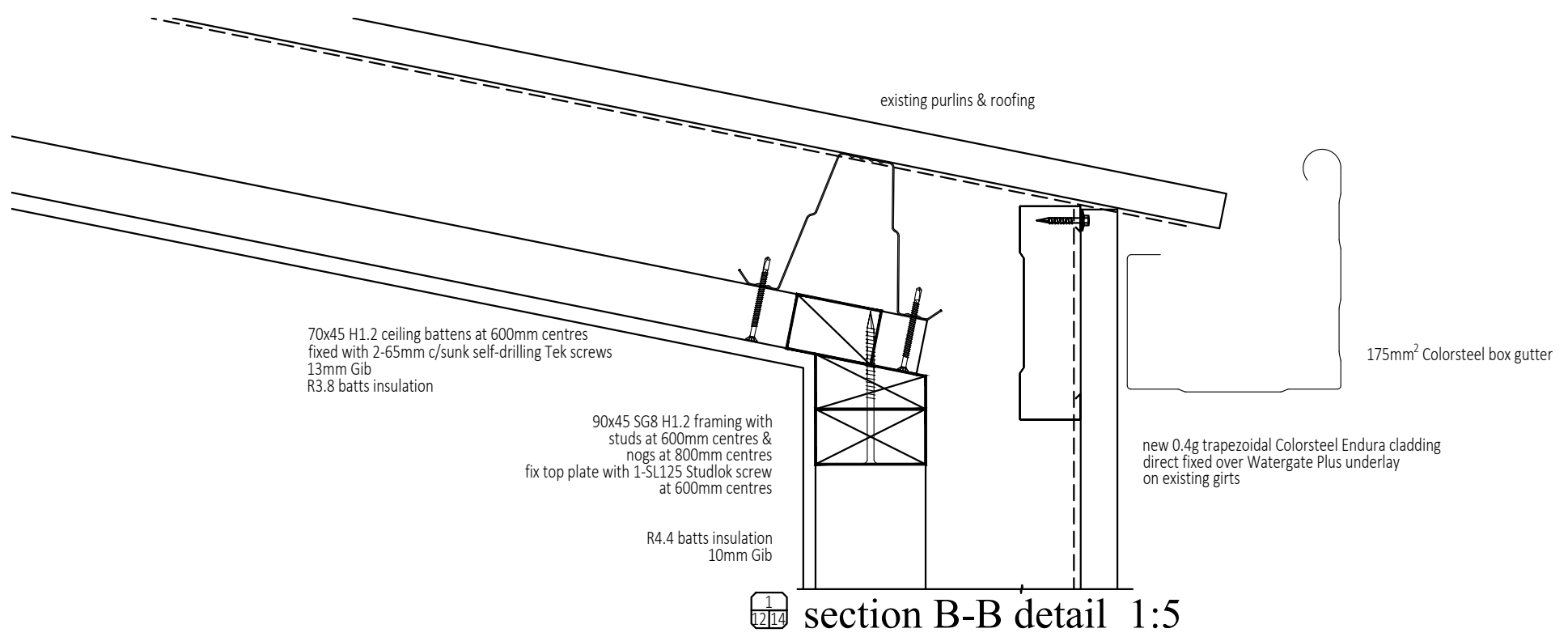


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section B-B details 1:5

Proposed alterations for Cornerstone Assets Ltd, 553 Kerikeri Road, Kerikeri

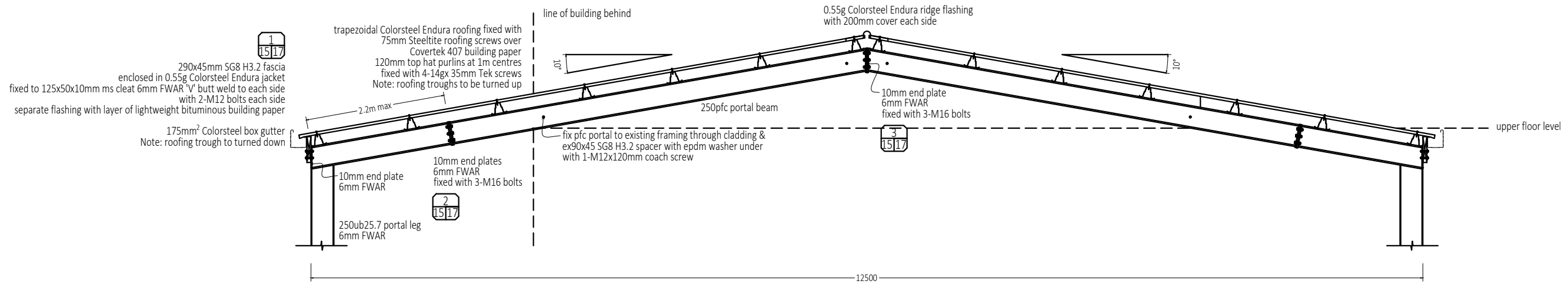


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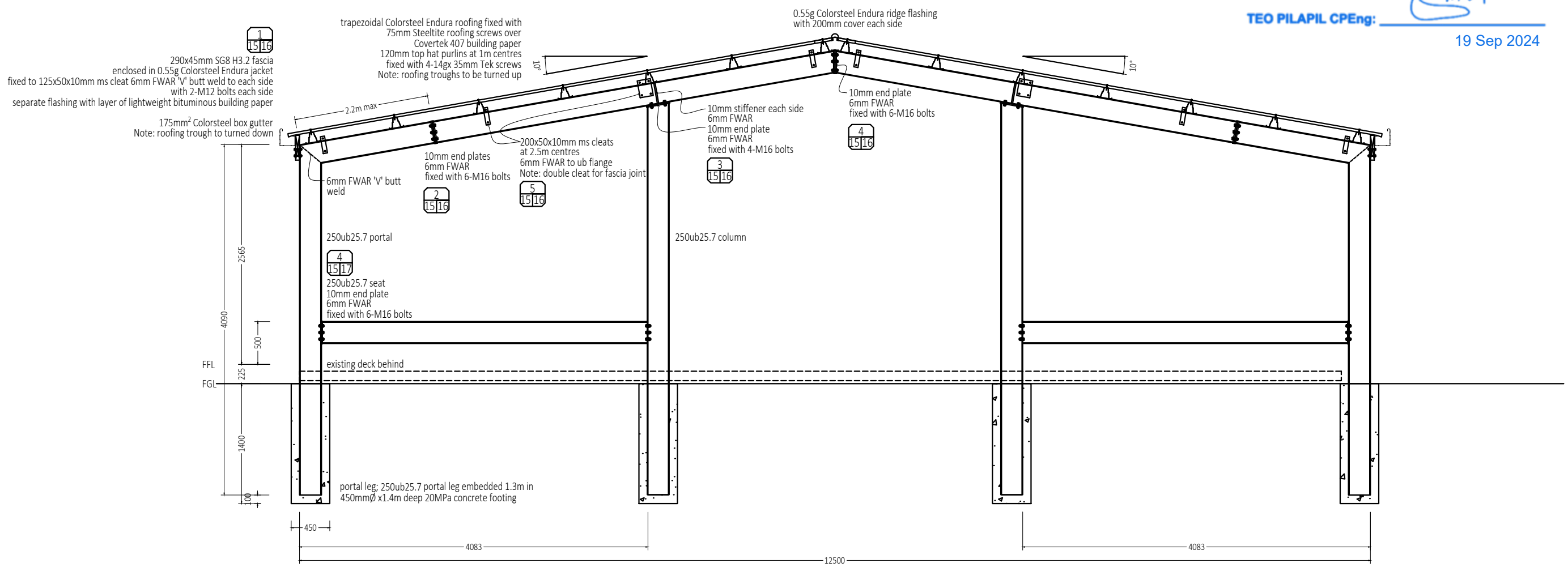
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section C2-C1 1:50

I STATE ON REASONABLE GROUNDS THAT THESE DRAWINGS ARE IN ACCORDANCE WITH OUR CALCULATIONS WHERE APPLICABLE

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19 Sep 2024



section C1-C1 1:50

section C-C 1:50

Proposed alterations for Cornerstone Assets Ltd, 553 Kerikeri Road, Kerikeri





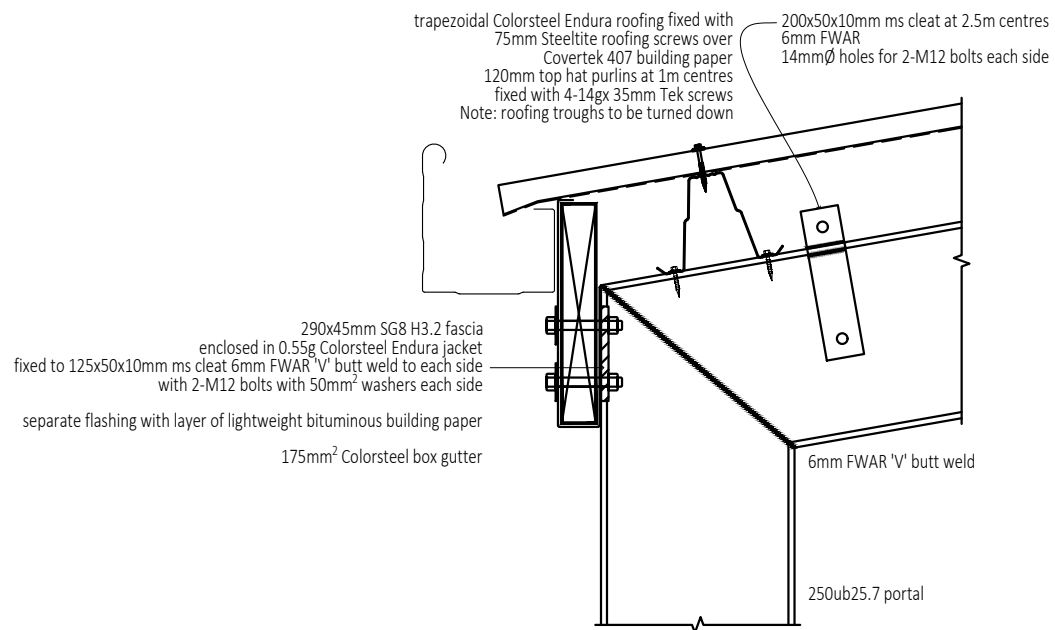
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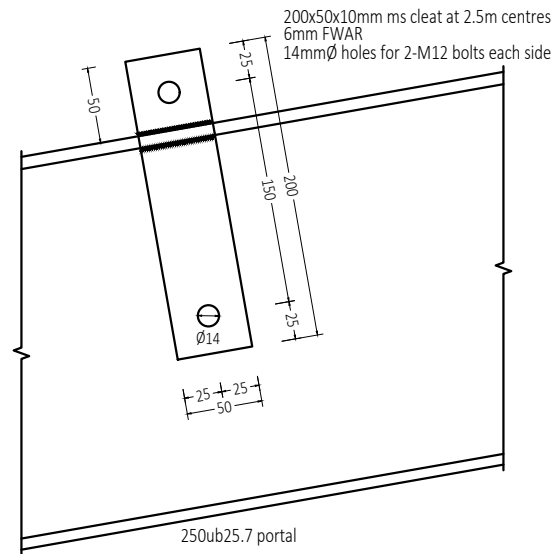
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all portals to be hot dipped galvanised to HD600 as per table 6.2 AS/NZ 2312.2:2014  
the contractor shall check and verify all dimensions, levels and details on site (including h.d. bolts as constructed) before commencing fabrication of any steelwork.

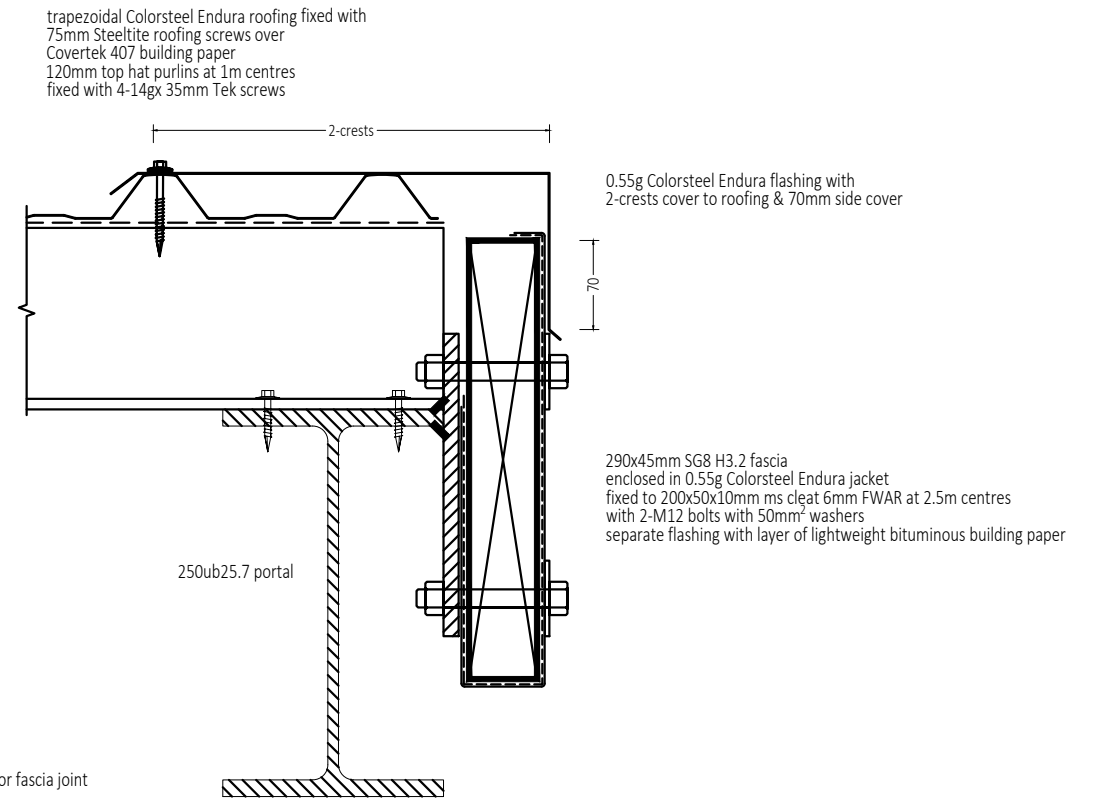
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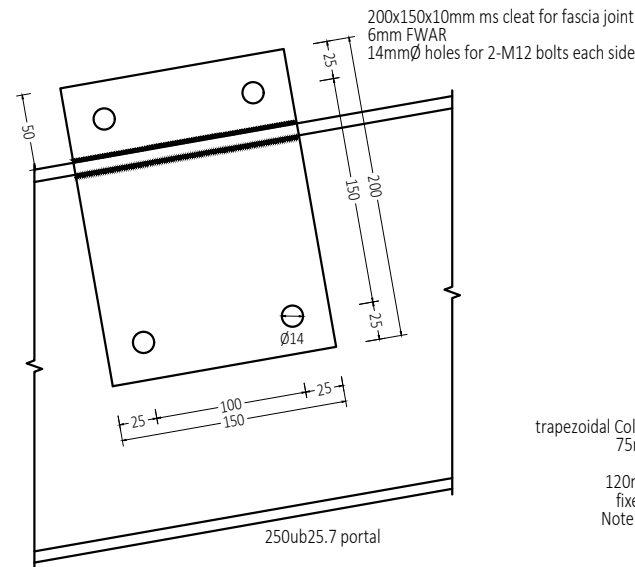
1 250ub25.7 portal eave detail 1:10 (150ub18 portal eave similar)



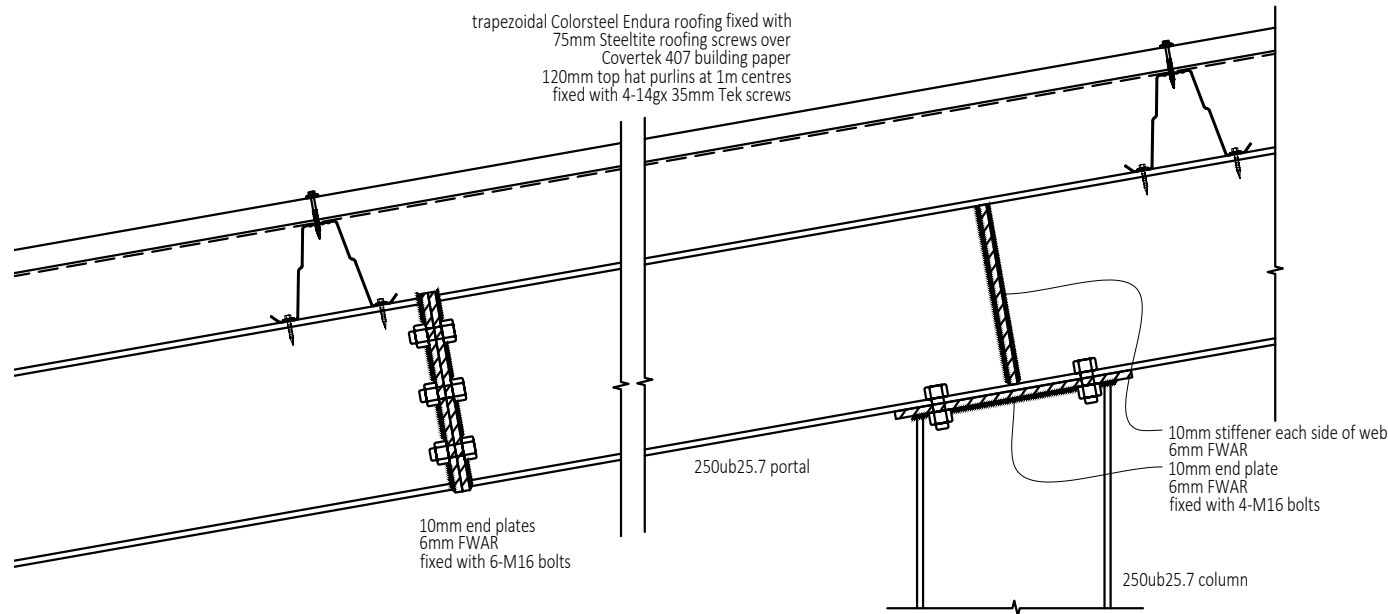
fascia cleat details 1:5



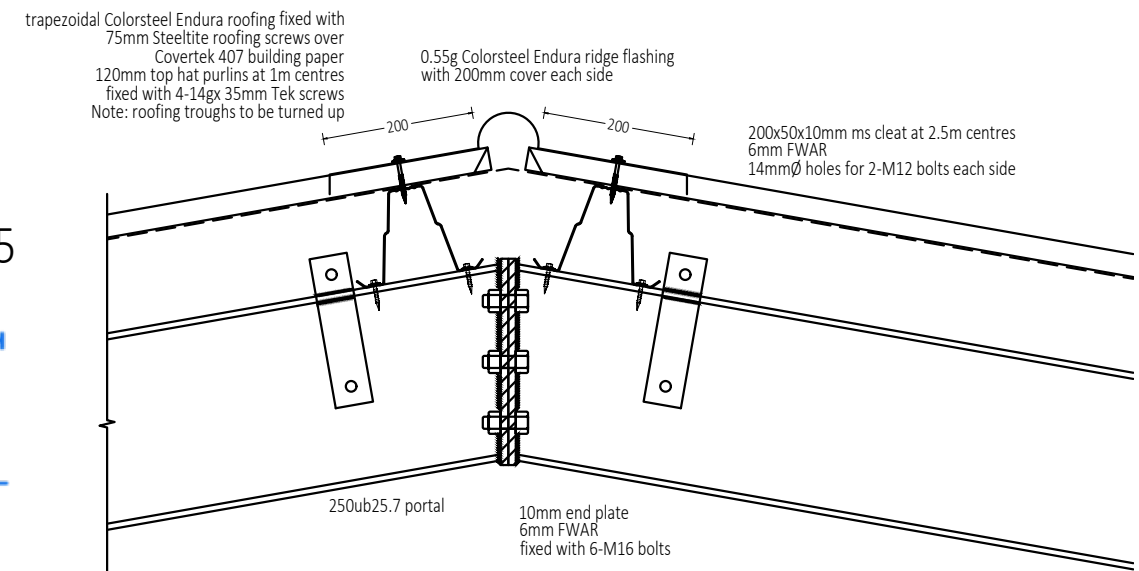
5 fascia detail 1:5



fascia double cleat detail 1:5



2 250ub25.7 portal joint detail 1:10 3 250ub25.7 portal support detail 1:10



4 250ub25.7 portal ridge detail 1:10

section C1-C1 details 1:10 & 1:5  
Proposed alterations for Cornerstone Assets Ltd, 553 Kerikeri Road, Kerikeri



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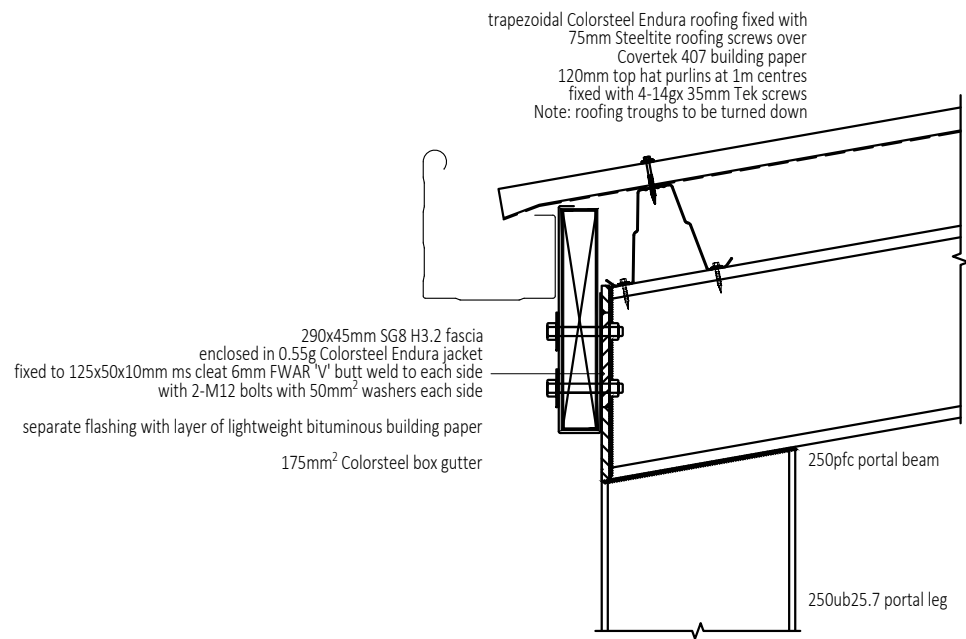
I STATE ON REASONABLE GROUNDS THAT THESE DRAWINGS ARE IN ACCORDANCE WITH OUR CALCULATIONS WHERE APPLICABLE

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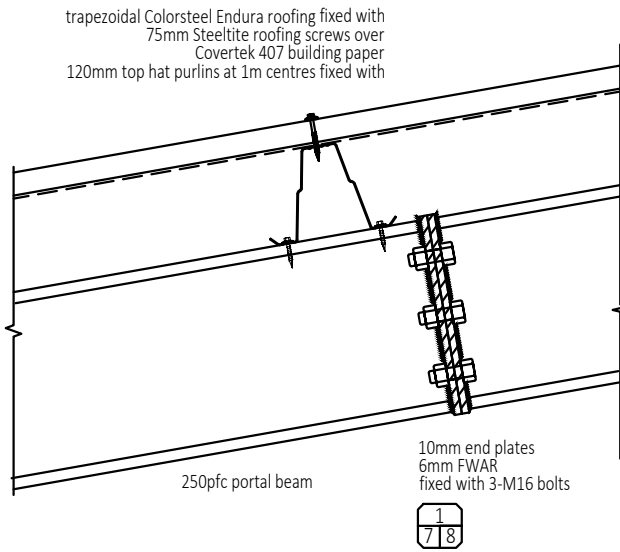
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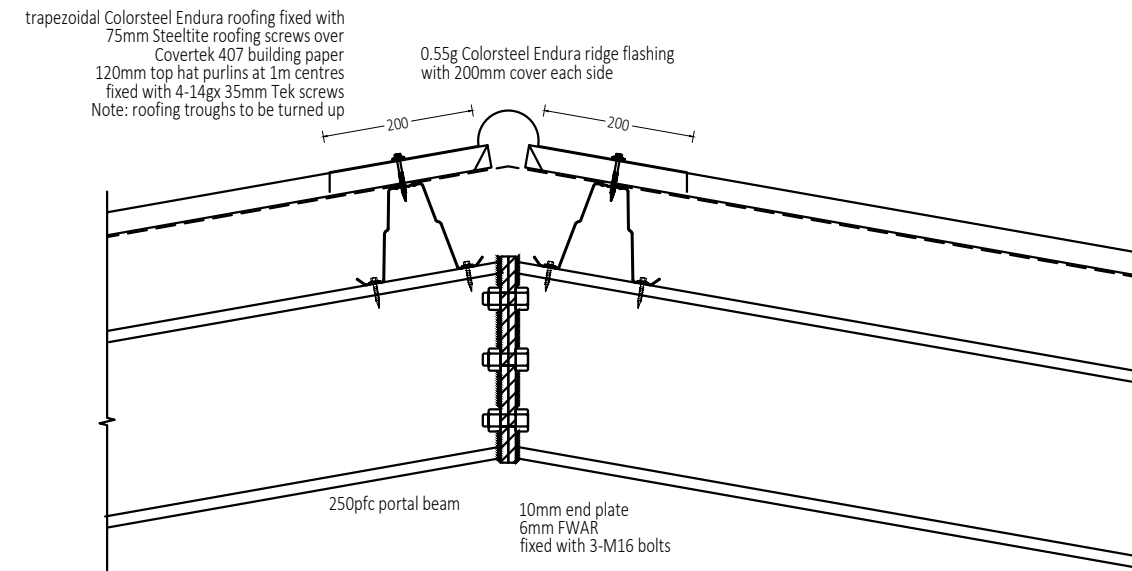
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1 250pfc portal eave detail 1:10



2 250pfc portal detail 1:10

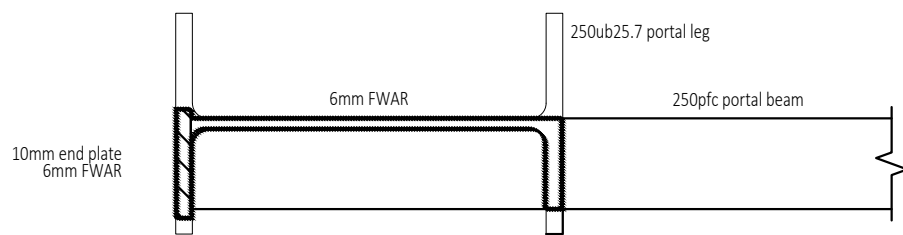


3 250pfc portal ridge detail 1:10

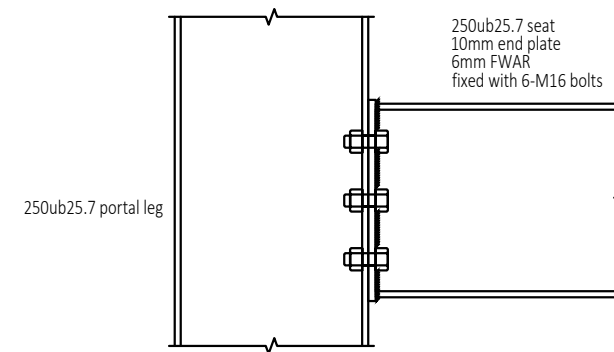
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250ub25.7/250pfc portal eave joint detail 1:5



4 250ub25.7 portal seat detail 1:5

section C2-C2 details 1:10 & 1:5

Proposed alterations for Cornerstone Assets Ltd, 553 Kerikeri Road, Kerikeri

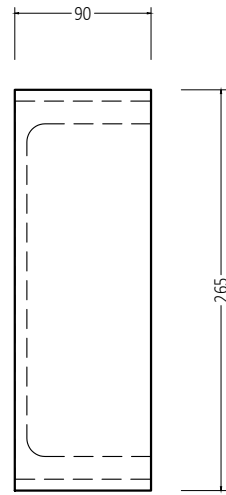


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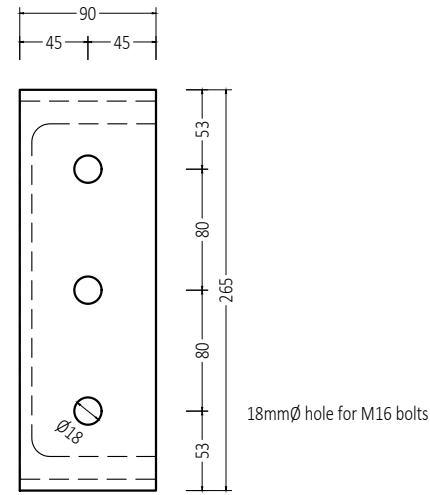
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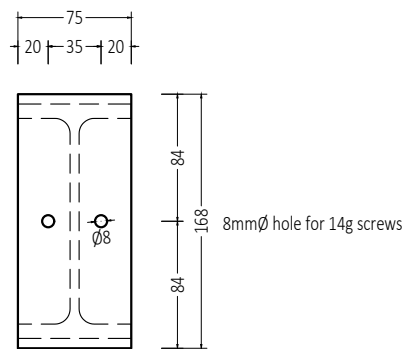
250pfc portal eave  
10mm end plate



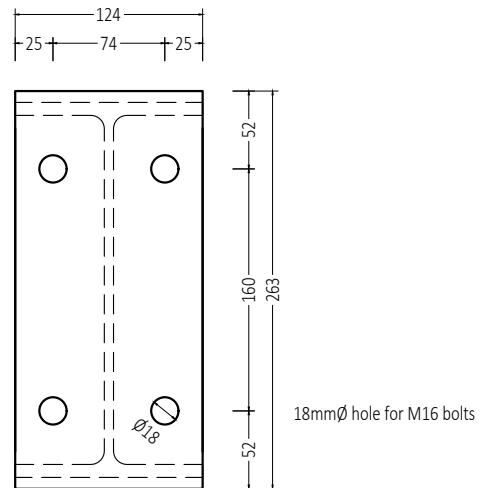
250pfc portal ridge  
10mm end plate

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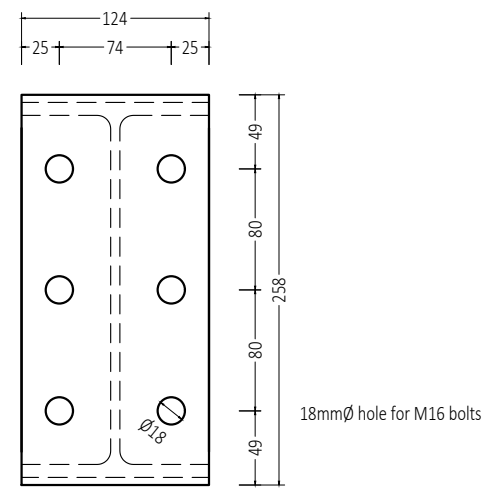
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19 Sep 2024



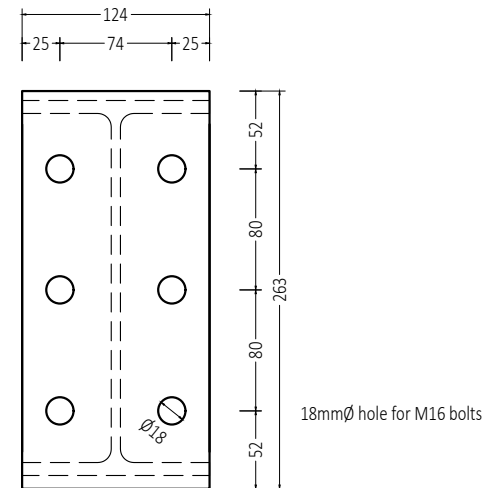
150ub18 portal  
10mm end plate



250ub25.7 portal column  
10mm end plate



250ub25.7 portal joint 10mm end plate  
250ub25.7 portal seat 10mm end plate



250ub25.7 portal ridge  
10mm end plate

portal end plate details 1:5

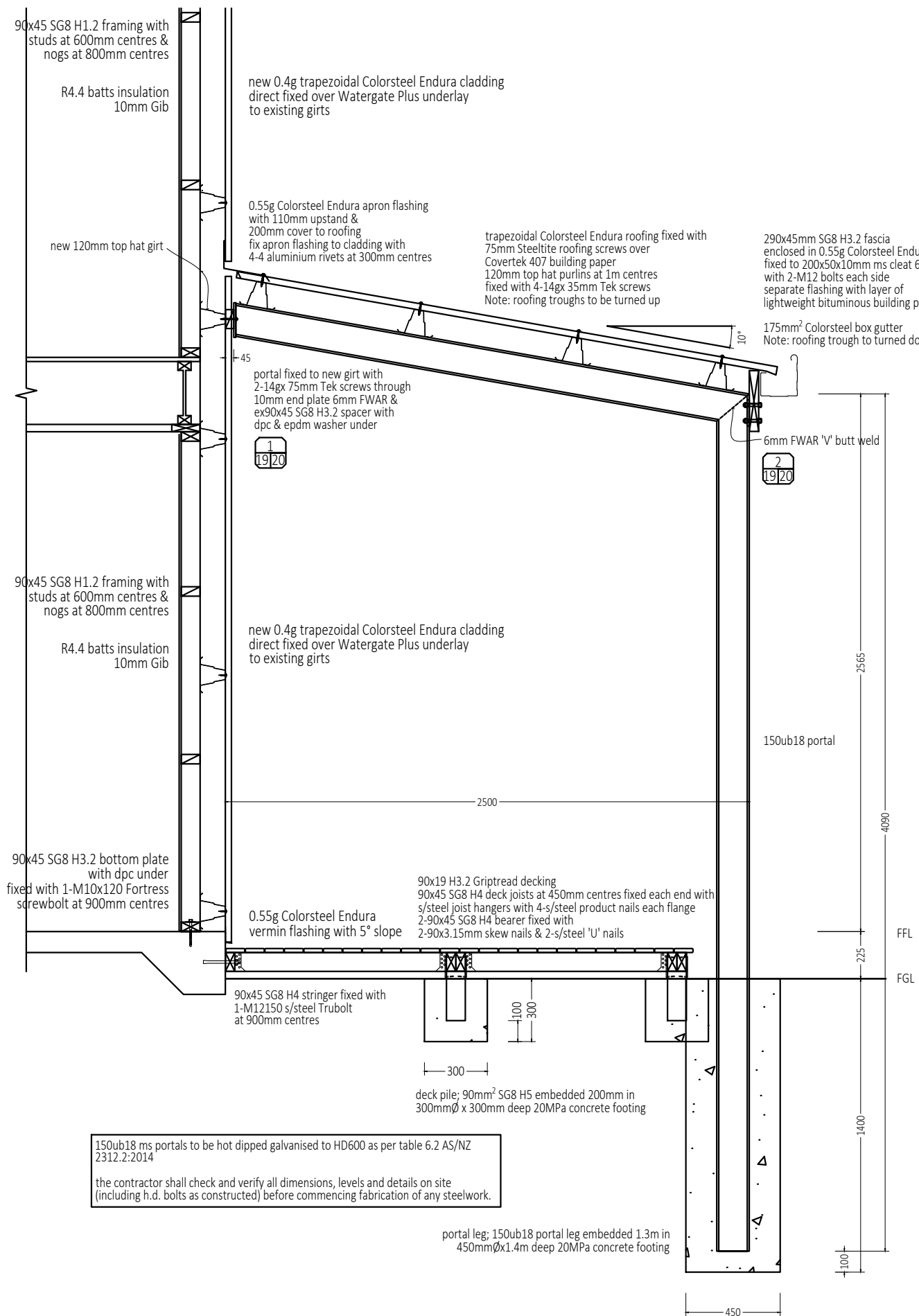
Proposed alterations for Cornerstone Assets Ltd, 553 Kerikeri Road, Kerikeri



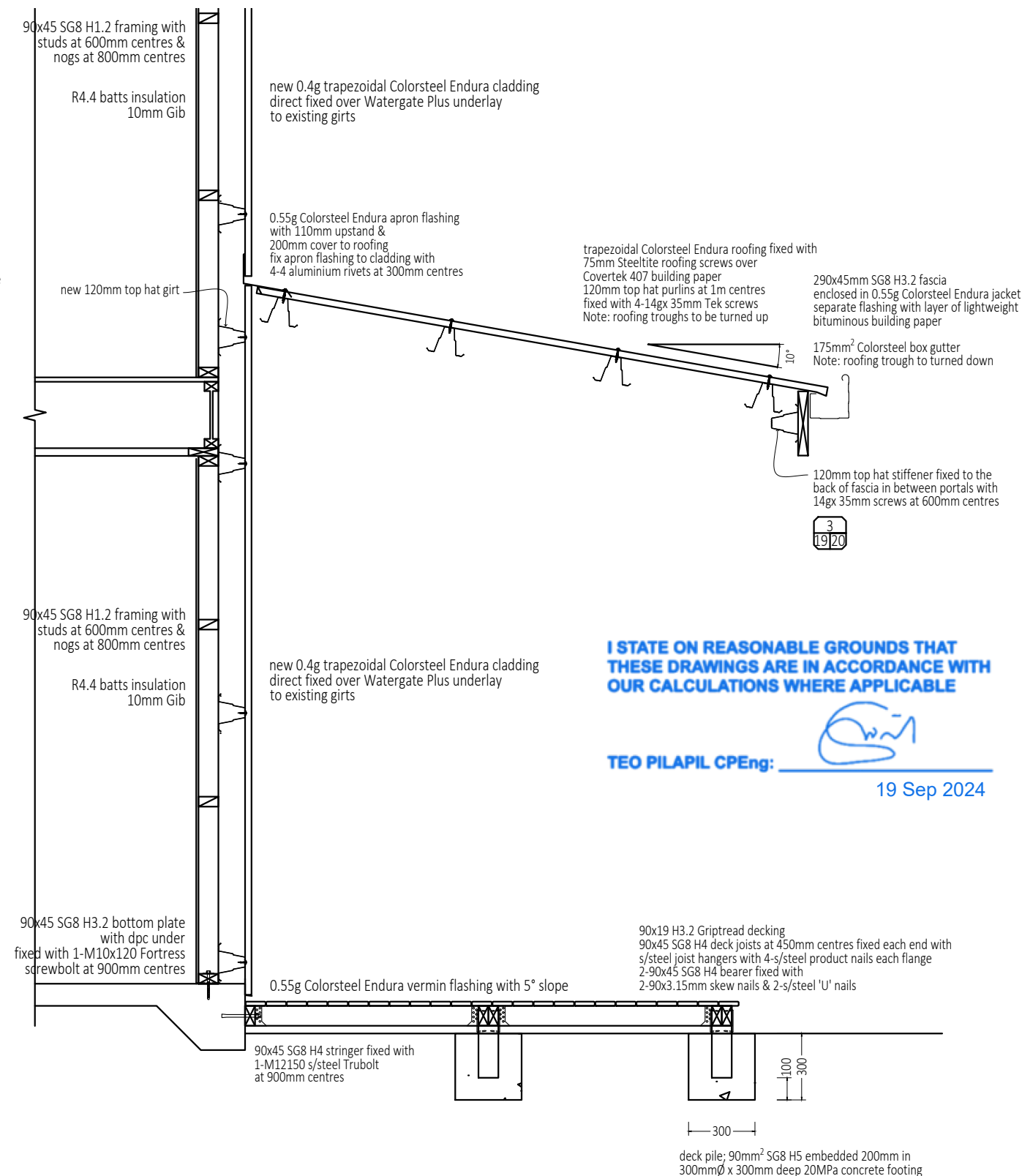
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section D<sub>1</sub>-D<sub>1</sub> 1:25



section D<sub>2</sub>-D<sub>2</sub> 1:25

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section D-D 1:25



Proposed alterations for Cornerstone Assets Ltd, 553 Kerikeri Road, Kerikeri

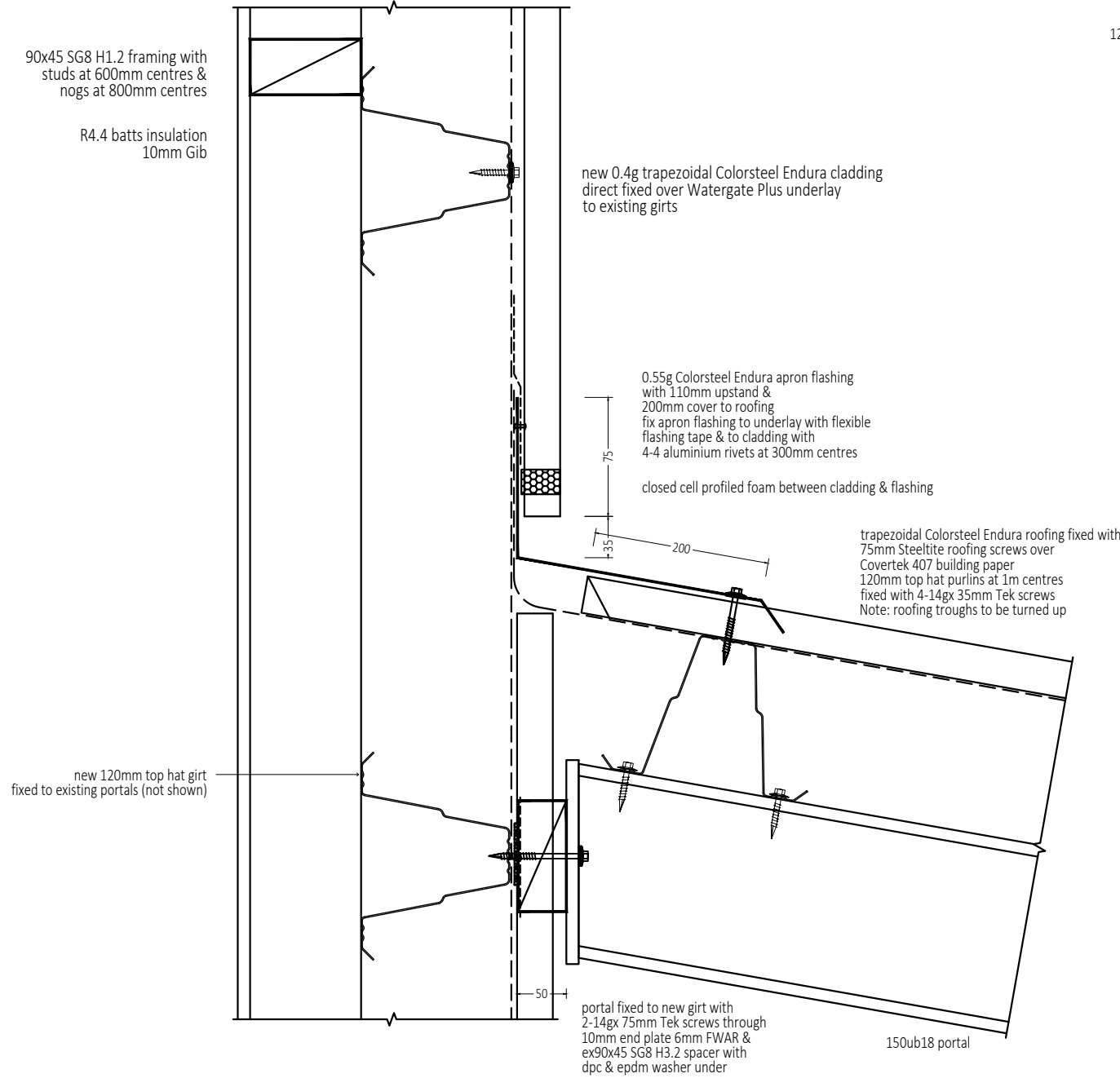


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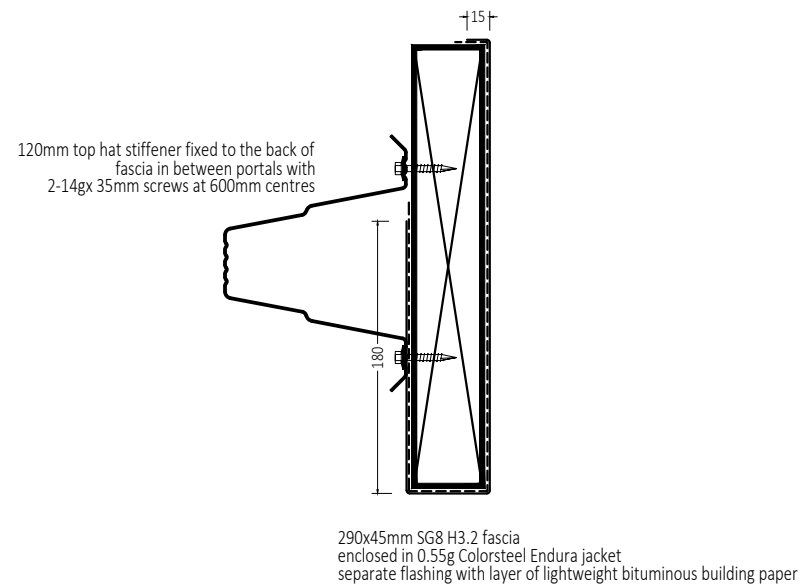
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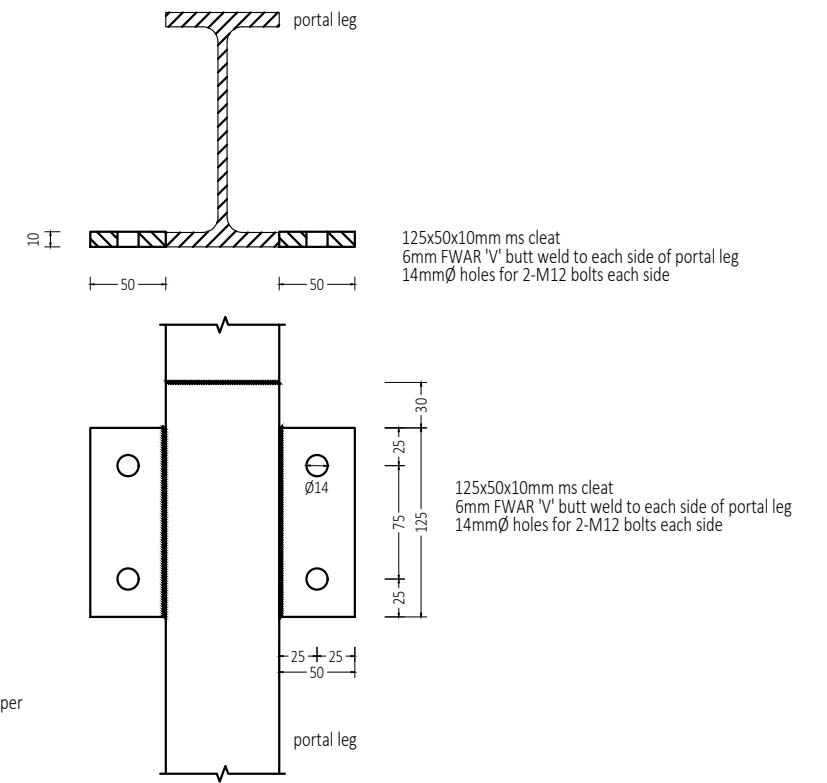
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1 apron flashing detail 1:5



3 fascia detail 1:5

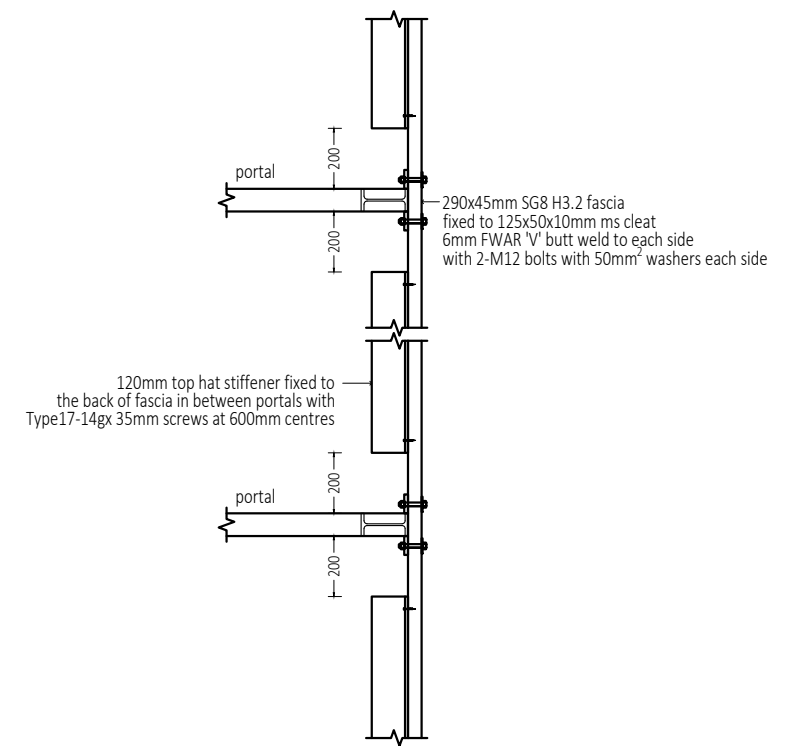


fascia cleat details 1:5

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19 Sep 2024



2 fascia detail (plan) 1:25

section D-D details 1:25 & 1:5  
Proposed alterations for Cornerstone Assets Ltd, 553 Kerikeri Road, Kerikeri

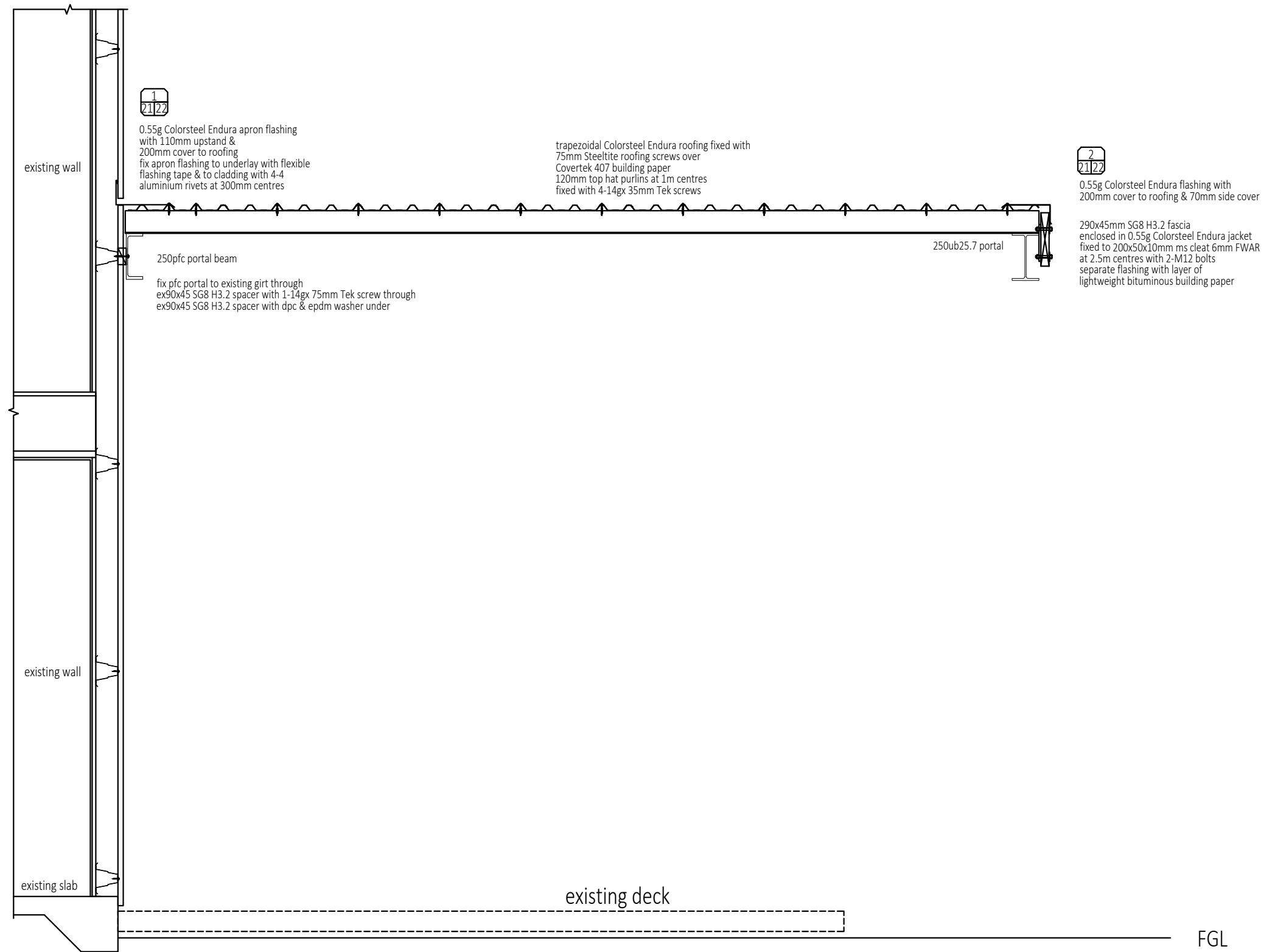


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section E-E 1:25

Proposed alterations for Cornerstone Assets Ltd, 553 Kerikeri Road, Kerikeri



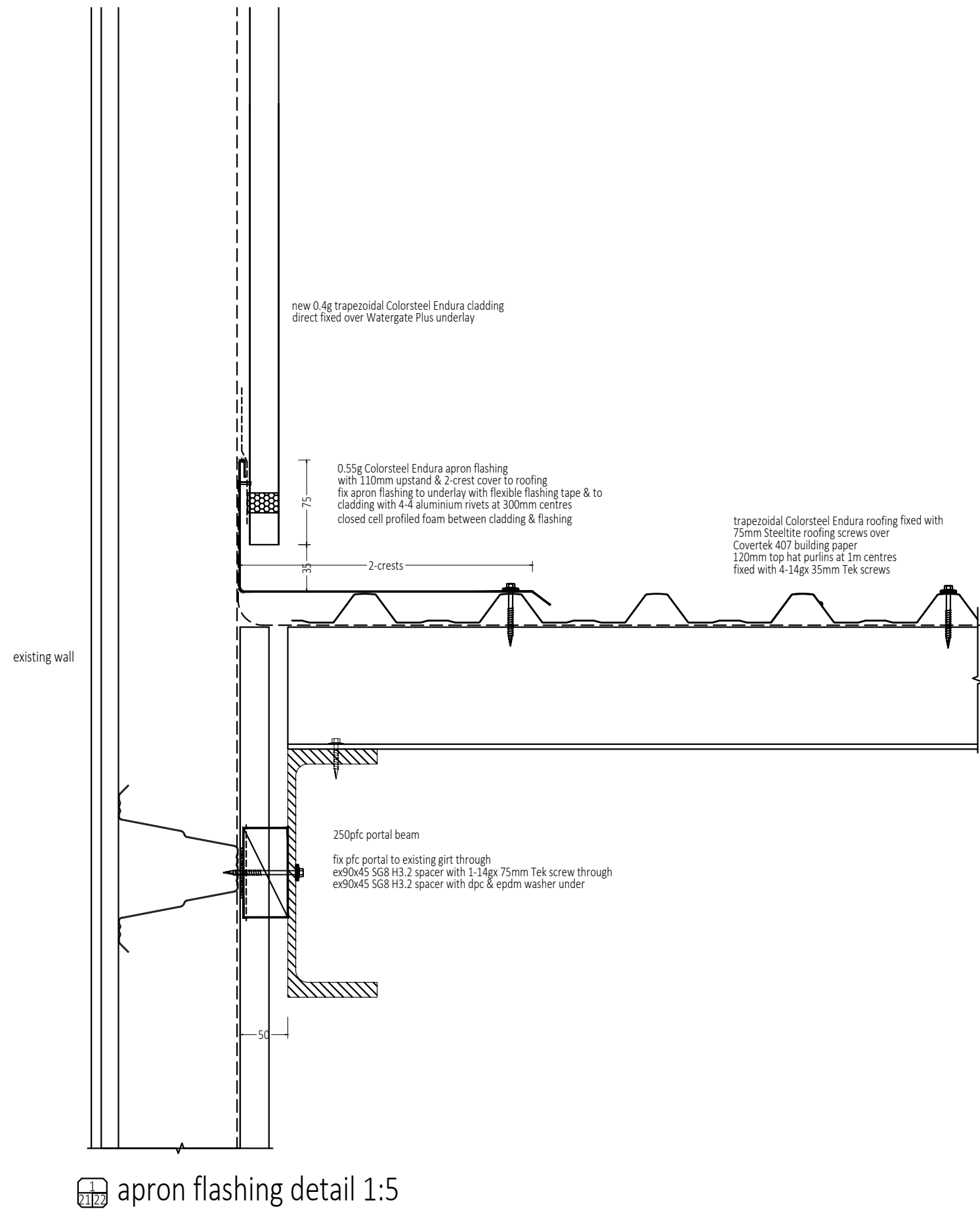
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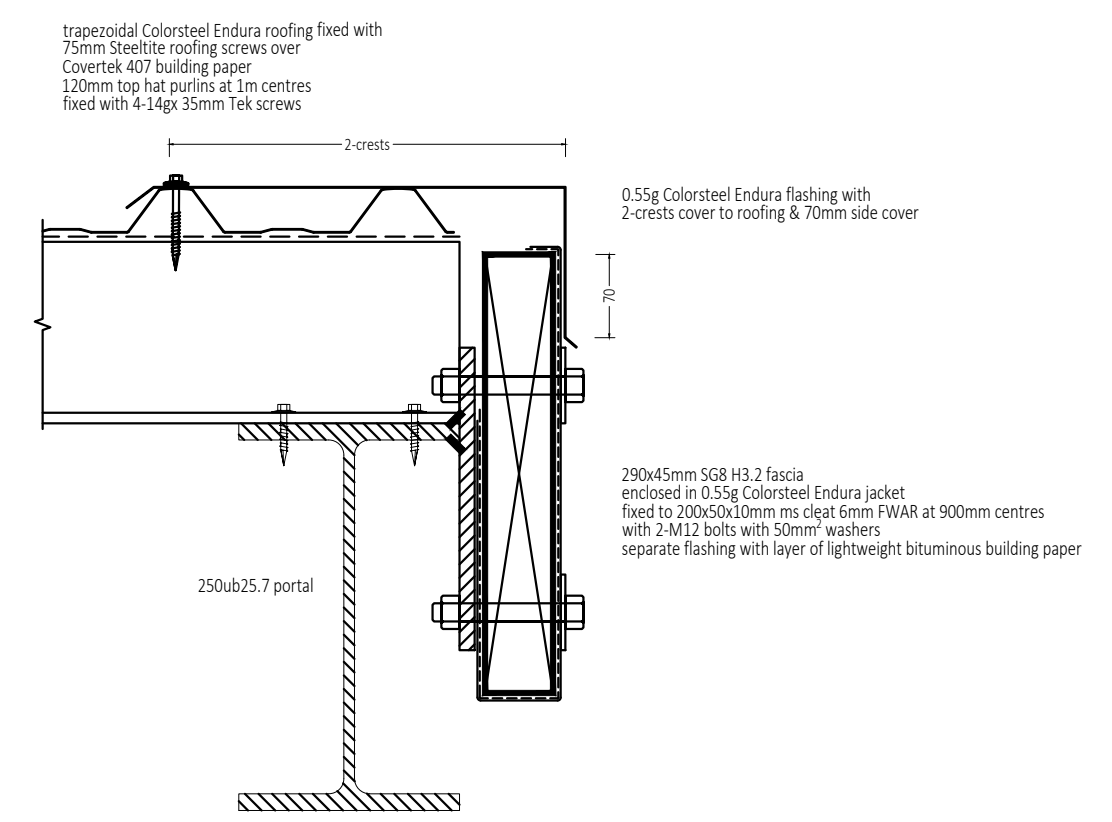




1/21/22 apron flashing detail 1:5

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19 Sep 2024



2/21/22 fascia detail 1:5

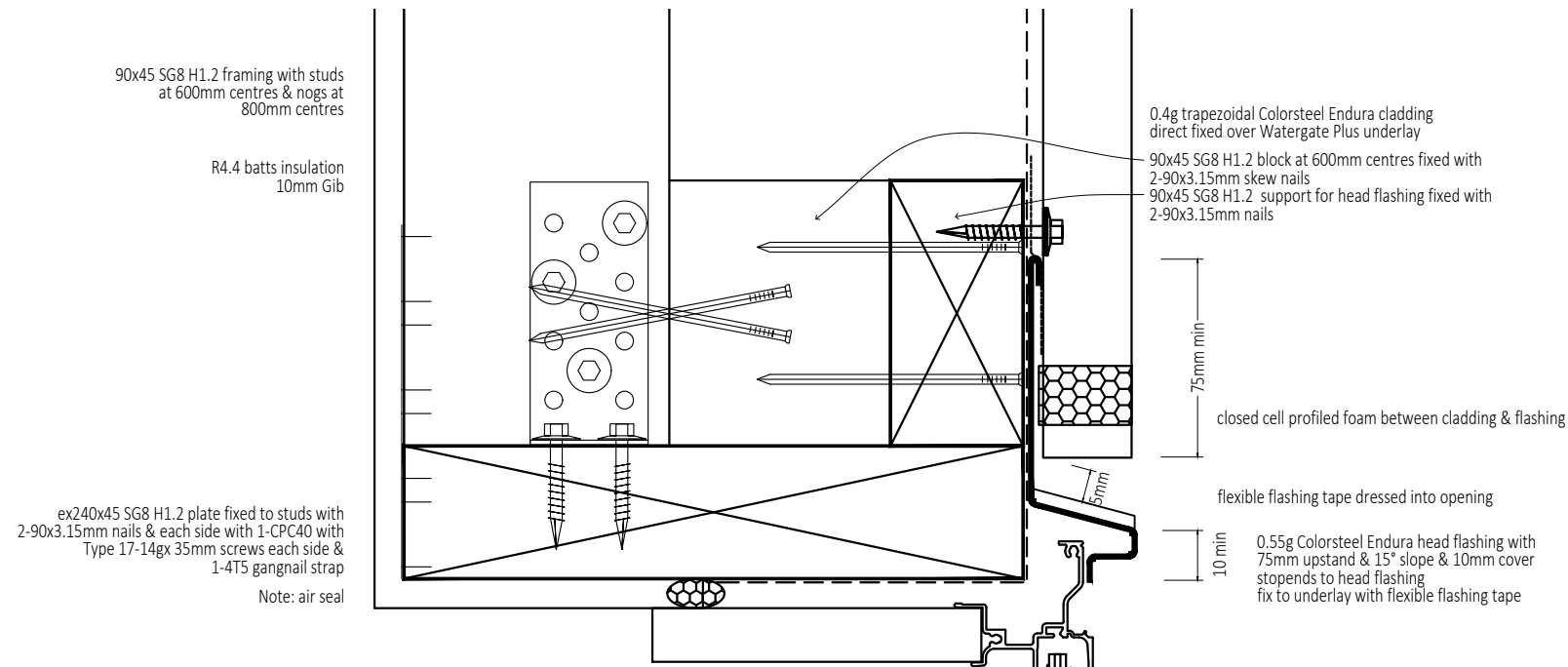
section E-E details 1:5  
Proposed alterations for Cornerstone Assets Ltd, 553 Kerikeri Road, Kerikeri



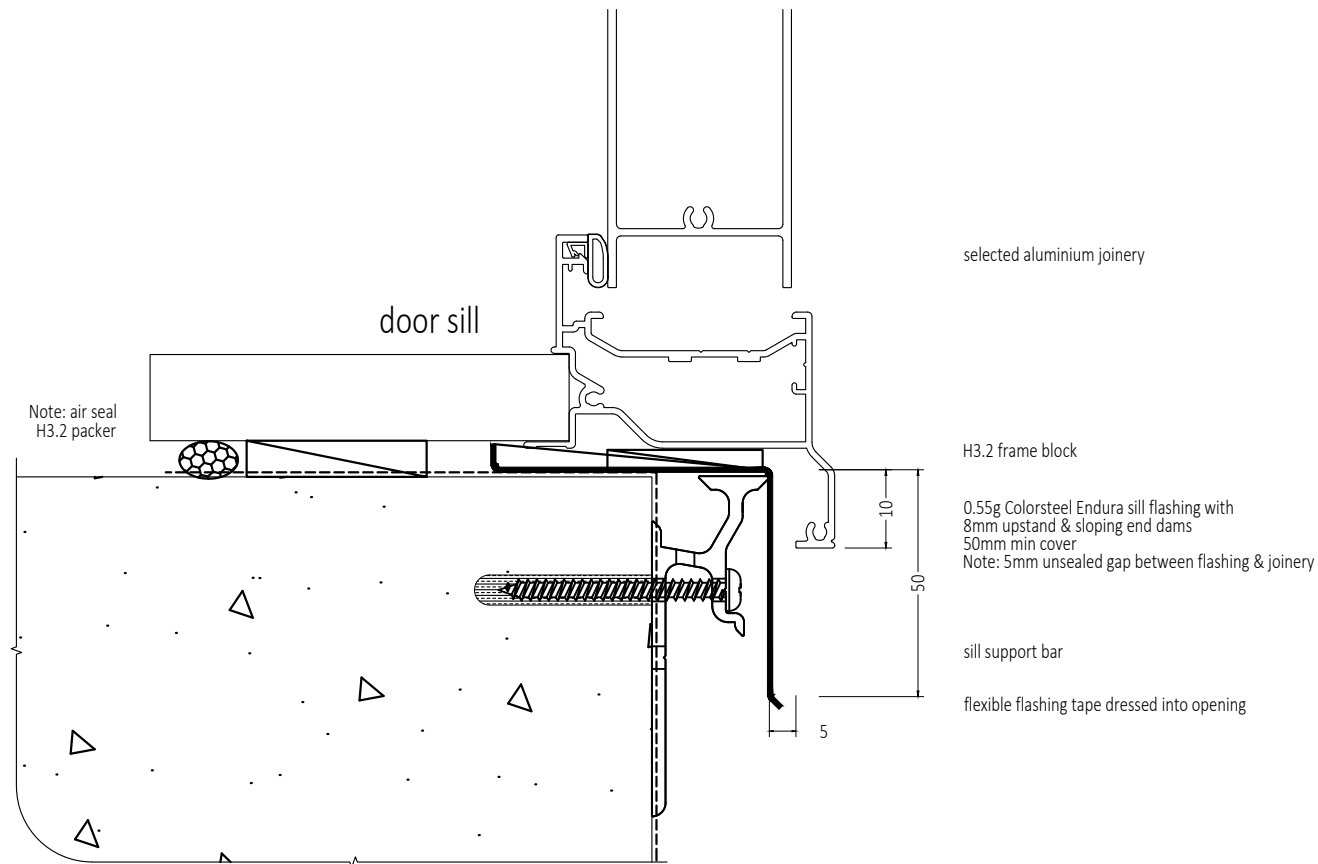
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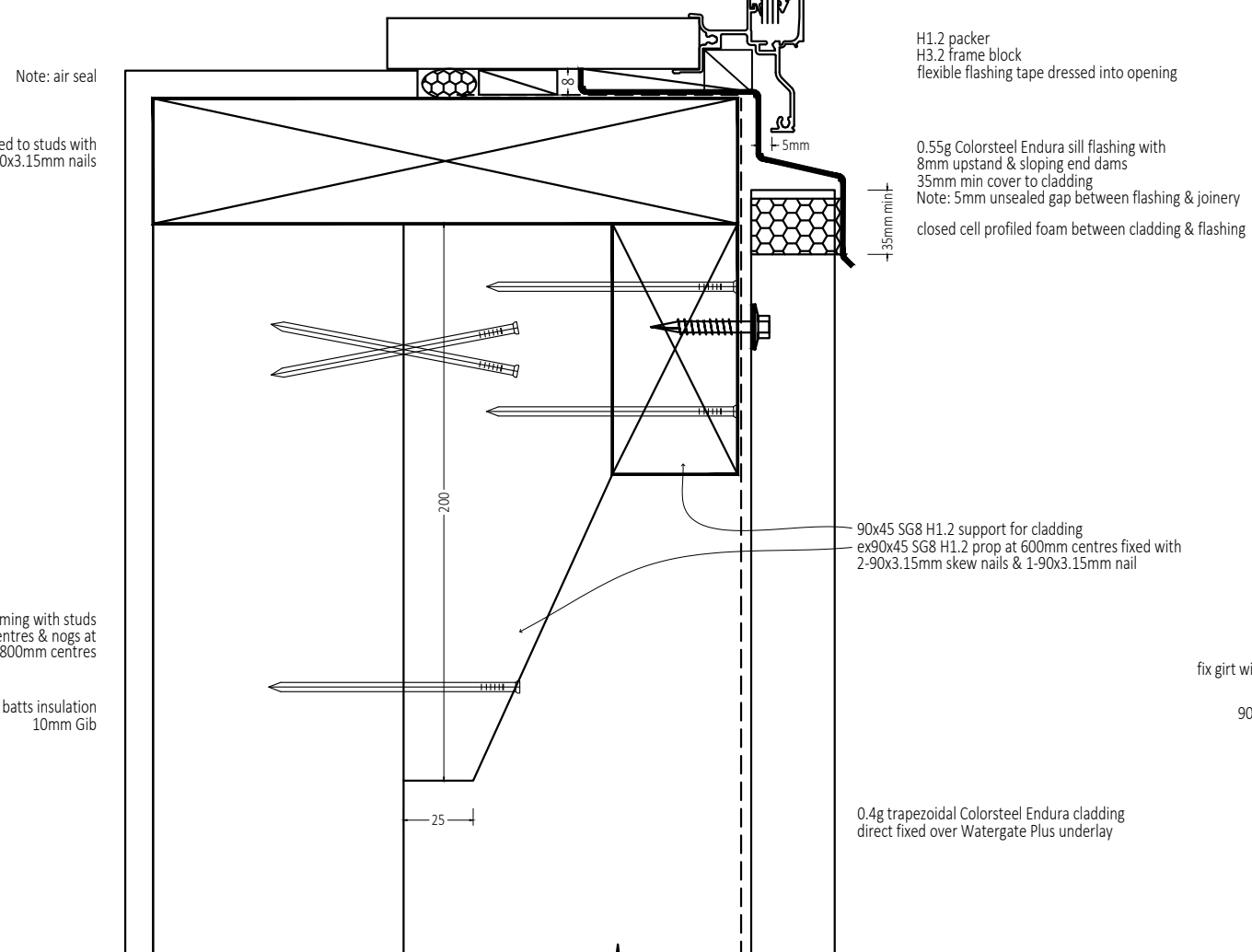
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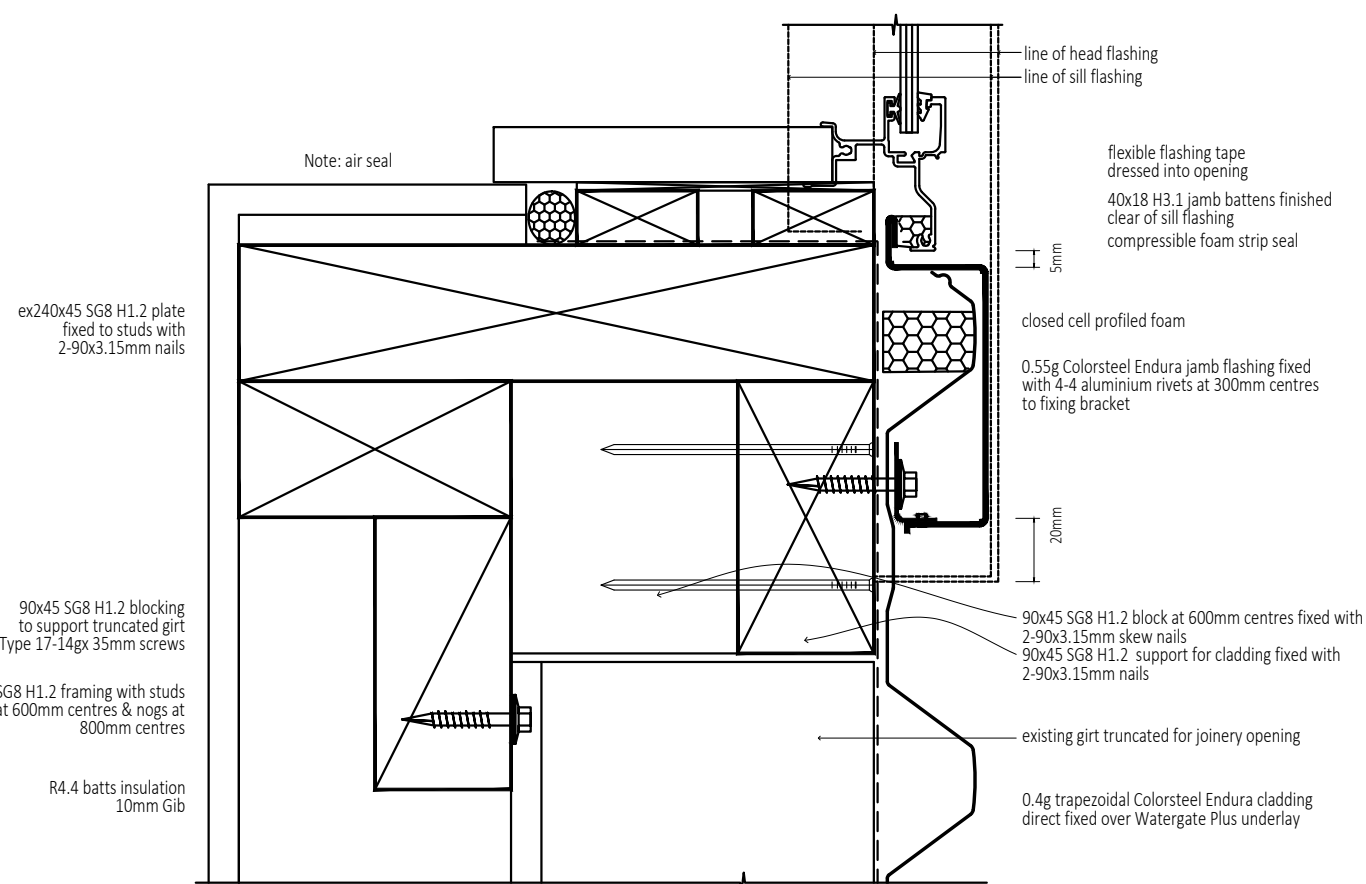
head detail 1:2.5



door sill detail 1:2.5



sill detail 1:2.5



jamb detail 1:2.5

joinery details 1:2.5

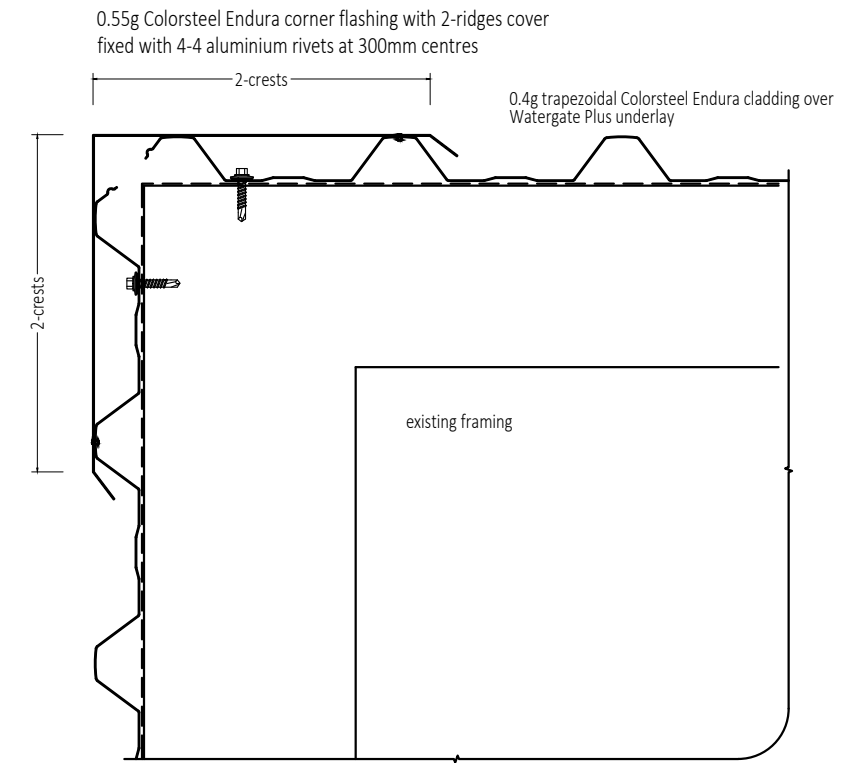
Proposed alterations for Cornerstone Assets Ltd, 553 Kerikeri Road, Kerikeri



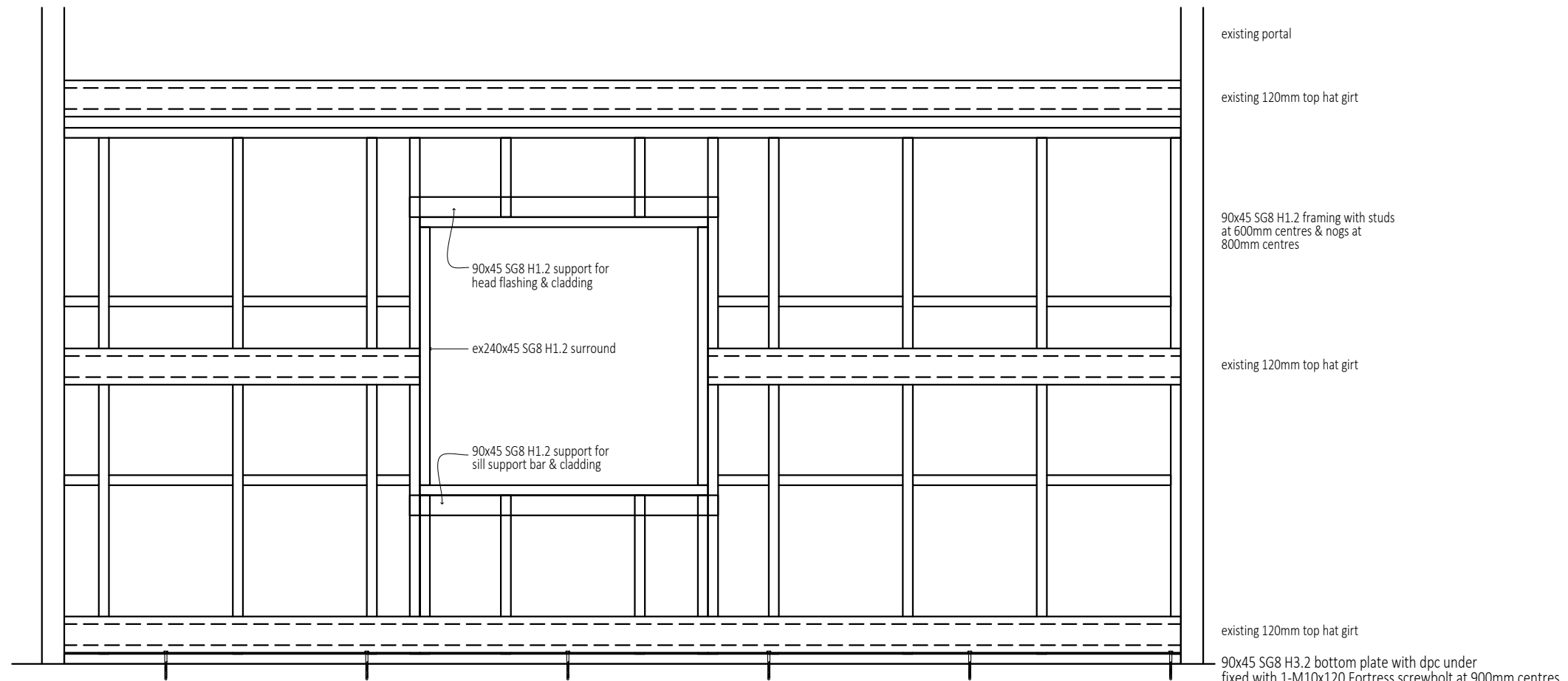
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external corner flashing detail 1:5



joinery openings detail 1:25

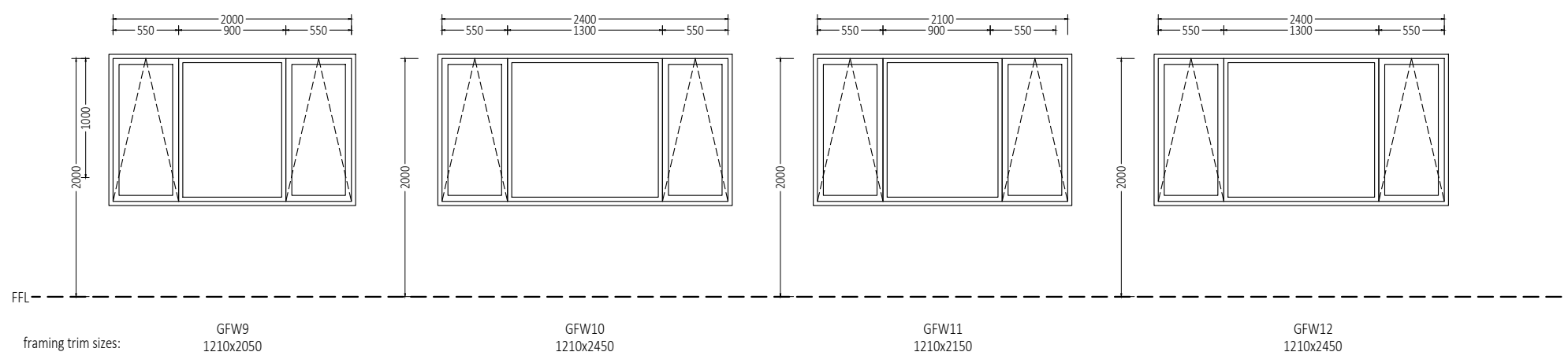
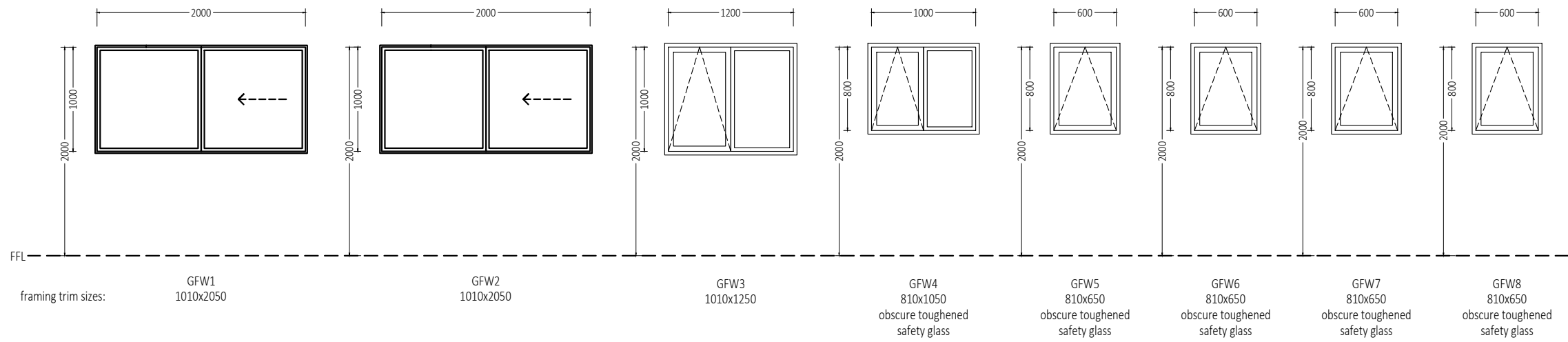
joinery openings details & cladding details 1:25 & 1:5  
 Proposed alterations for Cornerstone Assets Ltd, 553 Kerikeri Road, Kerikeri



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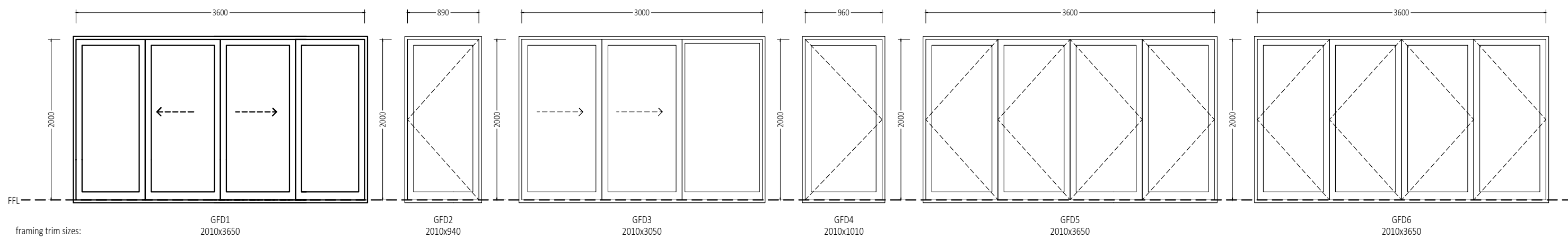
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**Notes:**

- new windows are to be thermally broken aluminium double glazed Low-E IGU (R0.46)
- jambes are to be H3.1 treated
- site measure all joinery before manufacture
- all glazing is to be in accordance with NZS 4223.3:2016 & amendments
- all exterior joinery dimensions are joinery trim sizes
- all exterior joinery measurements are framing trim sizes
- windows, doors & flashings are to be installed as per NZBC E2/AS1 exterior joinery

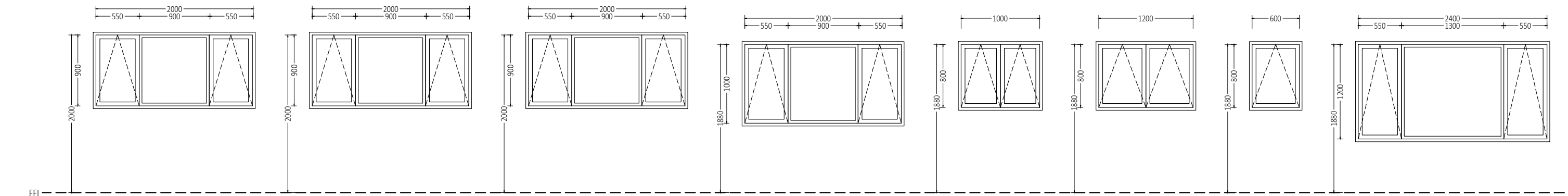


**joinery schedule - ground floor 1:50**  
 Proposed alterations for Cornerstone Assets Ltd, 553 Kerikeri Road, Kerikeri



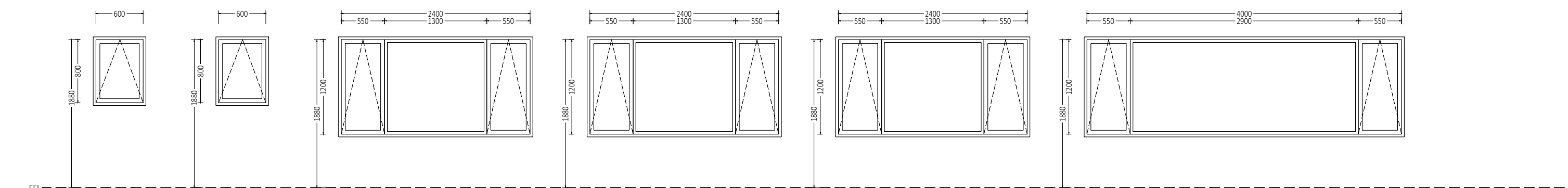
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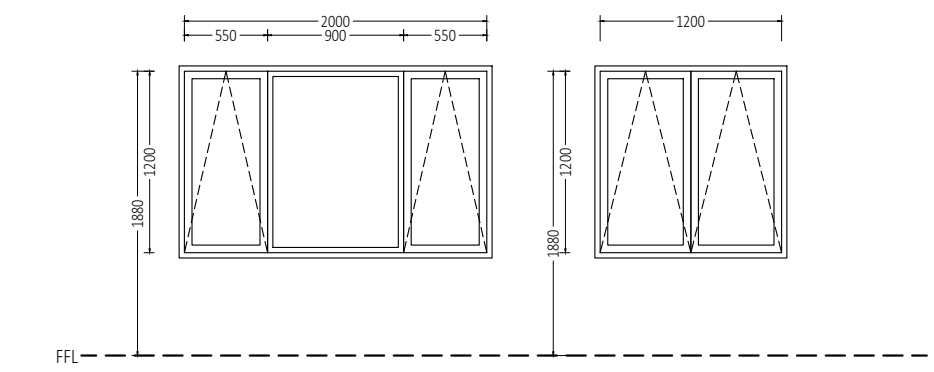
framing trim sizes:

TFW1 910x2050	TFW2 910x2050	TFW3 910x2050	TFW4 1010x2050	TFW5 810x1050 obscure toughened safety glass	TFW6 810x1250 obscure toughened safety glass	TFW7 810x650 obscure toughened safety glass	TFW8 1210x2450
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framing trim sizes:

TFW9 810x650 obscure toughened safety glass	TFW10 810x650 obscure toughened safety glass	TFW11 1210x2450	TFW12 1210x2450	TFW13 1210x2450	TFW14 1210x4050
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framing trim sizes:

TFW15 1210x2050	TFW16 1010x1250
--------------------	--------------------

**Notes:**

- new windows are to be thermally broken aluminium double glazed Low-E IGU (R0.46)
- jambes are to be H3.1 treated
- site measure all joinery before manufacture
- all glazing is to be in accordance with NZS 4223.3:2016 & amendments
- all exterior joinery dimensions are joinery trim sizes
- all exterior joinery measurements are framing trim sizes
- windows, doors & flashings are to be installed as per NZBC E2/AS1 exterior joinery

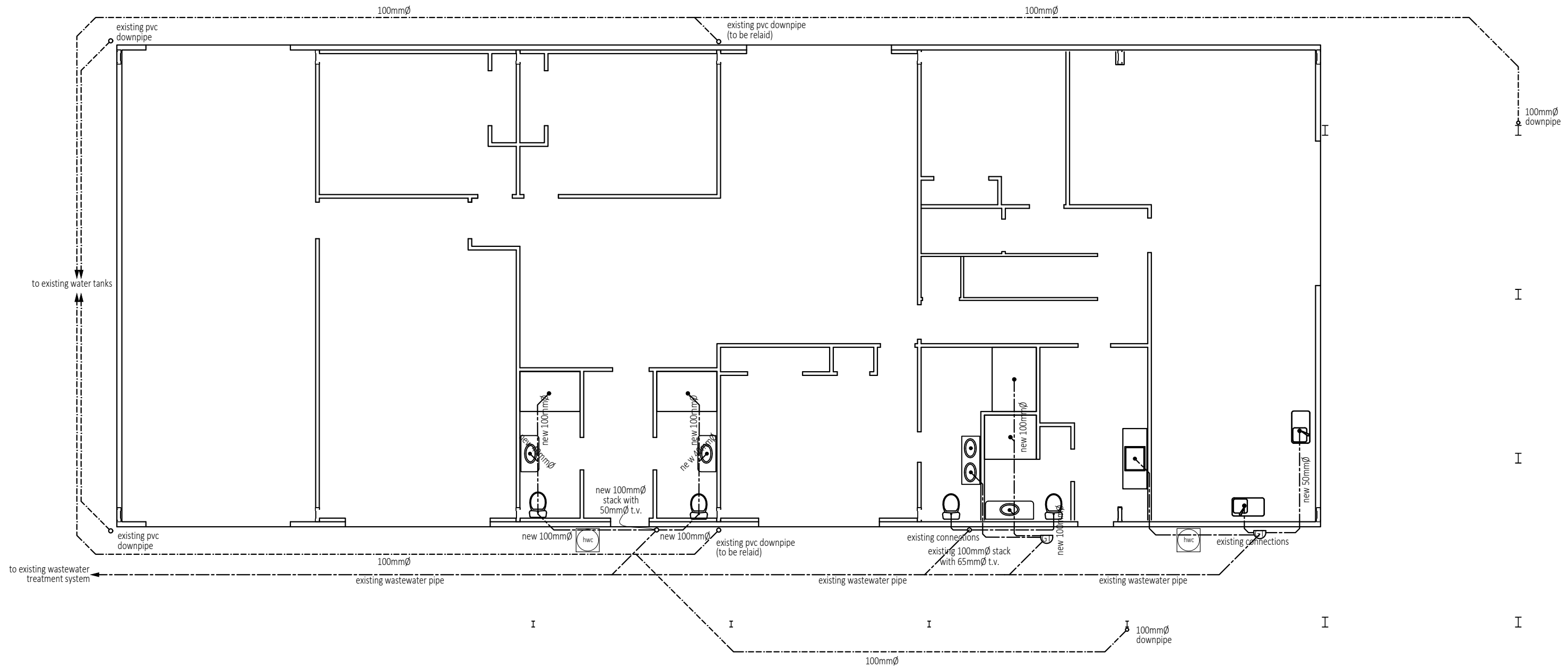
# joinery schedule - upper floor 1:50

## Proposed alterations for Cornerstone Assets Ltd, 553 Kerikeri Road, Kerikeri



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- Notes:**
- plumbing & drainage:  
all plumbing & drainage work is to fully comply with NZBC G13/AS1 & all local body regulations
  - wastewater:  
wastewater is to be piped to existing treatment system
  - 1:60 min gradient for 100mmØ pipe
  - 1:40 min gradient for 65mmØ pipe
  - all external penetrations to have TradeSeals
  - 65mmØ pipe between fixtures & junctions
  - branch vent 50mmØ in wall wet vent
  - stacks >6m need branch vent
  - replace existing 50mmØ vent with 65mmØ vent

plumbing layout - ground floor 1:100  
 Proposed alterations for Cornerstone Assets Ltd, 553 Kerikeri Road, Kerikeri



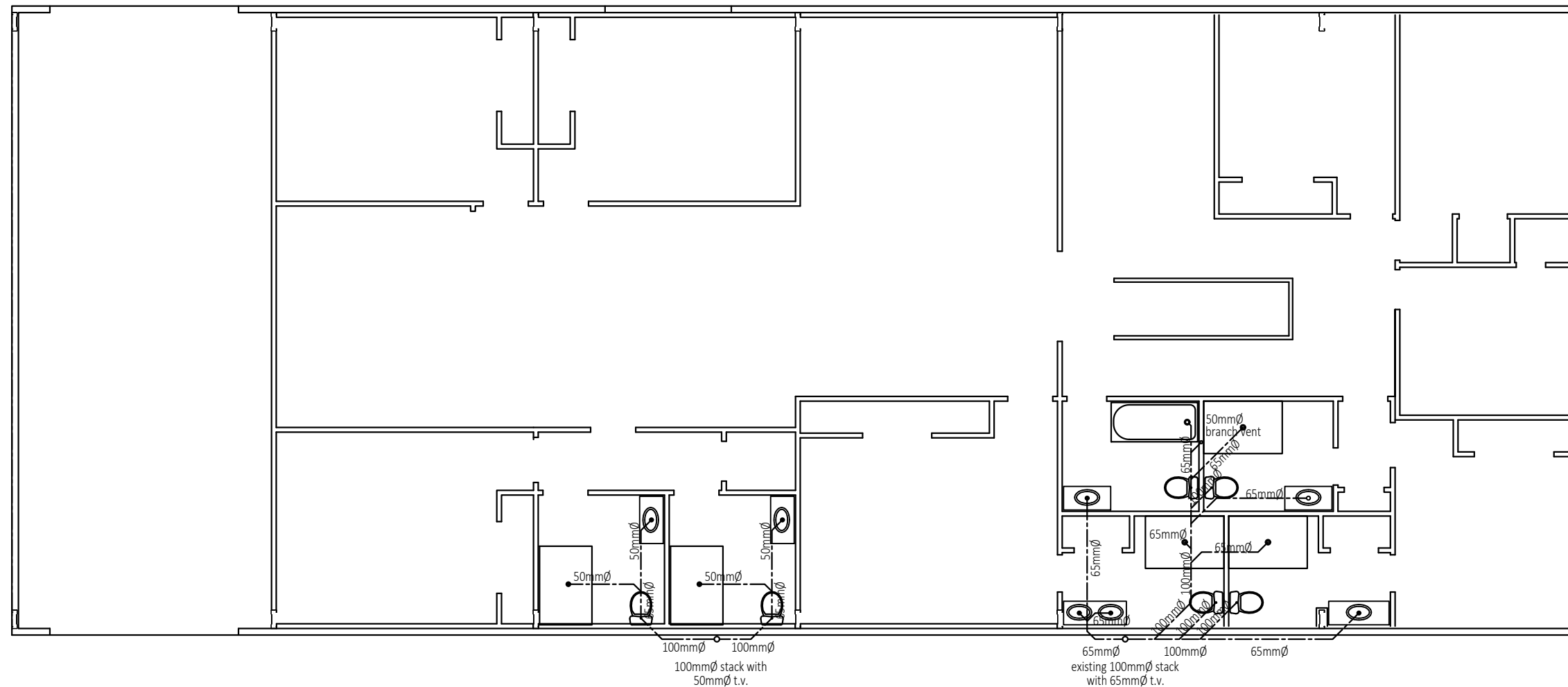
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DATE 16/09/2024

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**Notes:**

**plumbing & drainage:**  
all plumbing & drainage work is to fully comply with NZBC G13/AS1 & all local body regulations

**wastewater:**  
wastewater is to be piped to existing treatment system

1:60 min gradient for 100mmØ pipe  
1:40 min gradient for 65mmØ pipe  
all external penetrations to have TradeSeals  
65mmØ pipe between fixtures & junctions  
branch vent 50mmØ in wall wet vent  
stacks >6m need branch vent  
replace existing 50mmØ vent with 65mmØ vent

**joist penetrations:**  
max hole size through hyJOIST for services is 210mm  
refer to FutureBuild hyJOIST installation guide

**roof penetrations:**  
Dektite Premium sealed & fixed to overflashing/roofing with 4-4 aluminium rivets at 50mm centres

**plumbing layout - upper floor 1:100**

Proposed alterations for Cornerstone Assets Ltd, 553 Kerikeri Road, Kerikeri



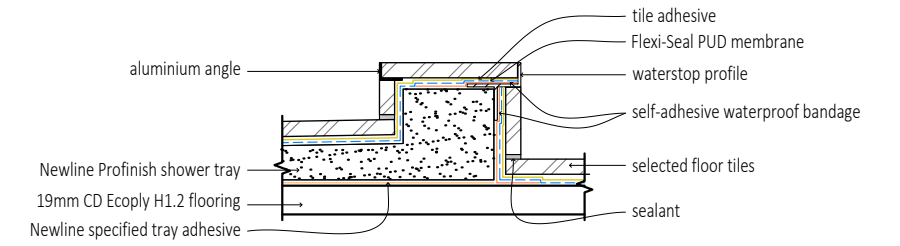
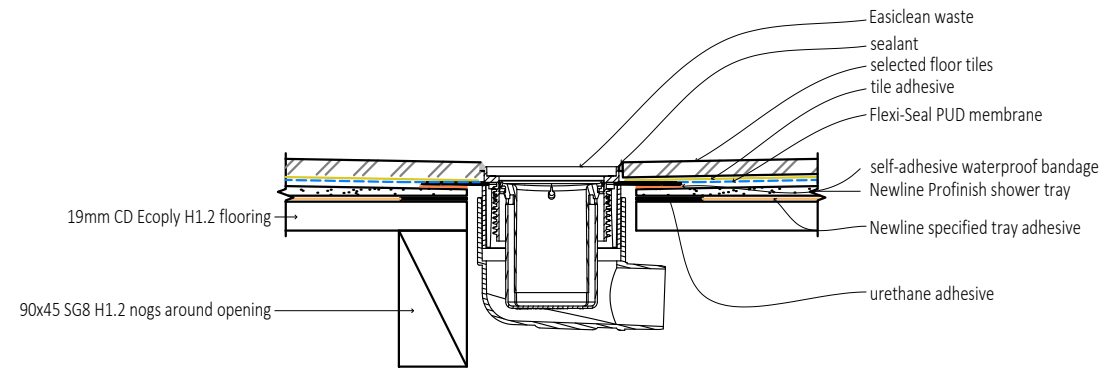
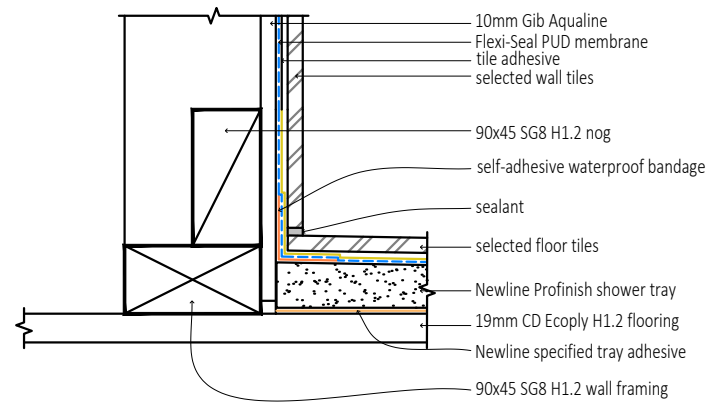
NOTES: ALL CONSTRUCTION SHALL BE TO NZS 3604:2011 AND AMENDMENTS AND OTHER RELATED DOCUMENTS THAT APPLY TO THE WORK SHOWN. ALL DIMENSIONS AND DETAIL IN THIS DRAWING SHALL BE CHECKED BY THE CONTRACTOR AND ANY DISCREPANCIES OR AMBIGUITIES SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF CADPLANZ. TEL. 09-407 9816. FAX. 09 407 9817. MOB. 0274 505 471. DO NOT SCALE DIMENSIONS!. DO NOT GUESS....ASK!

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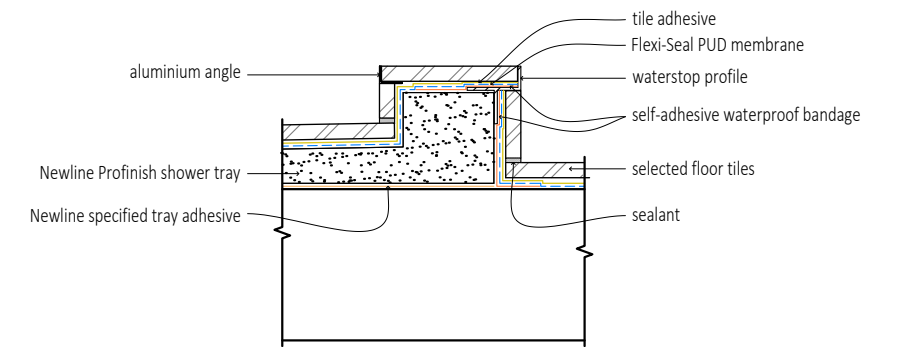
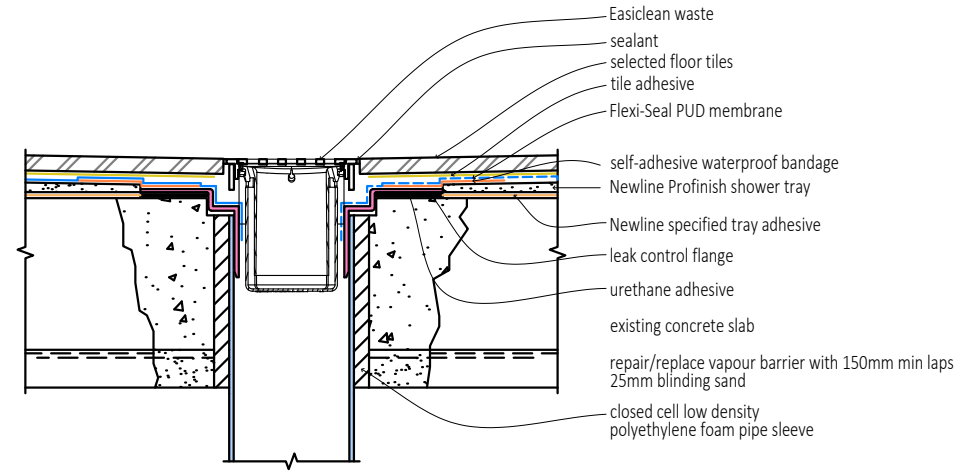
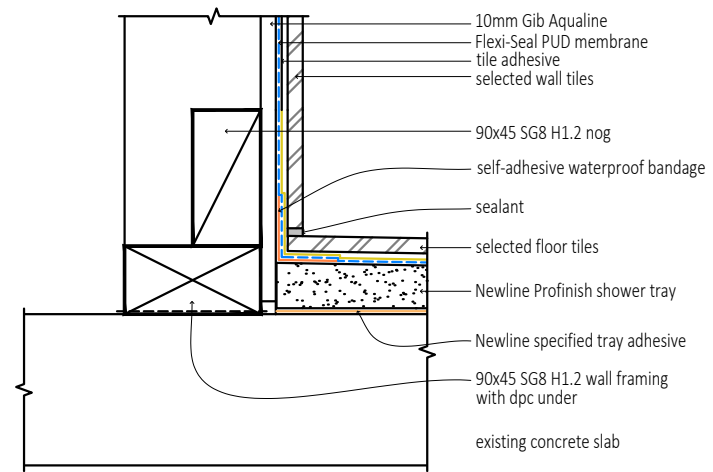
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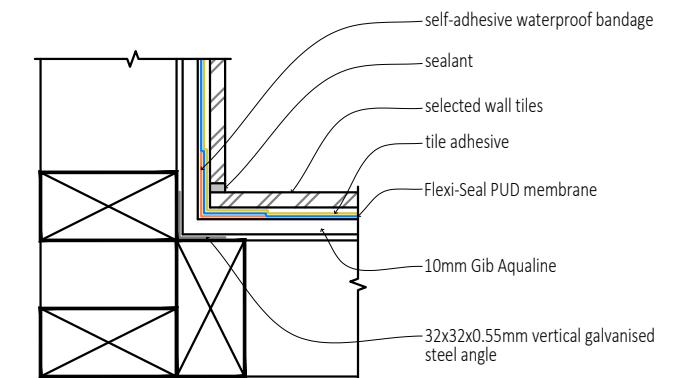




upper floor shower details 1:5



ground floor shower details 1:5



shower corner detail 1:5

shower details 1:5

Proposed alterations for Cornerstone Assets Ltd, 553 Kerikeri Road, Kerikeri



NOTES: ALL CONSTRUCTION SHALL BE TO NZS 3604:2011 AND AMENDMENTS AND OTHER RELATED DOCUMENTS THAT APPLY TO THE WORK SHOWN. ALL DIMENSIONS AND DETAIL IN THIS DRAWING SHALL BE CHECKED BY THE CONTRACTOR AND ANY DISCREPANCIES OR AMBIGUITIES SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF CADPLANZ. TEL. 09-407 9816. FAX. 09 407 9817. MOB. 0274 505 471. DO NOT SCALE DIMENSIONS!. DO NOT GUESS....ASK!

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**Far North  
District Council**

**FAR NORTH DISTRICT COUNCIL**

**FAR NORTH OPERATIVE DISTRICT PLAN  
DECISION ON RESOURCE CONSENT APPLICATION (LANDUSE)**

**Resource Consent Number: 2220607-RMALUC**

**Pursuant to section 104B of the Resource Management Act 1991 (the Act), the Far North District Council hereby grants resource consent to:**

Pasquale Investments Limited

**The activity to which this decision relates:**

Construct a second shed for the storage of motor vehicles in the Rural Production zone breaching the Stormwater Management, Building Coverage, Traffic Intensity and Sign rules.

**Subject Site Details**

Address: 553B Kerikeri Road, Kerikeri 0230  
Legal Description: Pt Lot 1 DP 155861  
Record of Title reference: NA-95B/340

**Pursuant to Section 108 of the Act, this consent is issued subject to the following conditions:**

1. The activity shall be carried out in general accordance with the approved plans attached to this consent with the Council's "Approved Stamp" affixed to them.  
These plans include the following:  
  
Plans prepared by ShedBoss, referenced New Shed Boss Shed for Hansen / Pasquale Investments Ltd and dated 30 August 2021.
  - Site Plan
  - Proposed Elevations  
Plan prepared by GWE Consulting Engineers, referenced Stormwater Design and dated March 2022.
  - Stormwater Site Plan
2. In conjunction with the construction with the building, the consent holder shall ensure that stormwater mitigation is provided in accordance with the recommendations contained within the stormwater mitigation design report prepared by GWE Consulting Engineers dated March 2022, referenced J3211 V2, and submitted with Resource Consent application RC2220607-RMALUC.
3. The consent holder shall upgrade the existing entrance to provide a double width entrance and sealed at least 5m from the kerb. Evidence of completed upgrade shall

be provided to Council's resource consent monitoring officer or designate prior to commercial trading recommencing. (Note - Roadside vegetation clearing may be required to be undertaken to achieve compliant sight distances).

4. The owner shall preserve the existing vegetation/hedging along Kerikeri Road (northern boundary) and shall not without the prior written consent of the Council and then only in strict compliance with any conditions imposed by the Council, cut down, damage or destroy any of the existing vegetation/hedging along the northern boundary. The owner shall be deemed to be not in breach of this prohibition if any of such vegetation shall die from natural causes not attributable to any act or default by or on behalf of the owner or for which the owner is responsible. The vegetation/hedging may be trimmed as required for maintenance purposes.

### **Advice Notes**

1. Evidence will need to be provided that a Traffic Management Plan (TMP) has been approved by Council's Corridor Access Engineer and a Corridor Access Request (CAR) obtained prior to vehicle crossings being constructed or upgraded.
2. The consent holder is advised that in future, should the business operations undertaken in the existing building expand further than 227.5m<sup>2</sup>, or the second shed be used for other than storage purposes, further consent may be required for the additional traffic associated with the activity.
3. Archaeological sites are protected pursuant to the Heritage New Zealand Pouhere Taonga Act 2014. It is an offence, pursuant to the Act, to modify, damage or destroy an archaeological site without an archaeological authority issued pursuant to that Act. Should any site be inadvertently uncovered, the procedure is that work should cease, with the Trust and local iwi consulted immediately. The New Zealand Police should also be consulted if the discovery includes koiwi (human remains). A copy of Heritage New Zealand's Archaeological Discovery Protocol (ADP) is attached for your information. This should be made available to all person(s) working on site.
4. The conditions of this consent will be monitored by Council's Resource Consents Monitoring Officers. Any documentation relating to compliance with the above conditions of consent should be sent to [rcmonitoring@fndc.govt.nz](mailto:rcmonitoring@fndc.govt.nz).

### **Reasons for the Decision**

1. The Council has determined (by way of an earlier report and resolution) that the adverse environmental effects associated with the proposed activity are no more than minor and that there are no affected persons or affected customary rights group or customary marine title group.
2. The District Plan Rules Breached:
  - 8.6.5.1.3 – Stormwater Management
  - 8.6.5.1.10 – Building Coverage
  - 16.6.1.2 & 16.6.1.3 – Signs
  - 15.1.6A.2.1 – Traffic Intensity

3. District Plan Rules Affected:

Adverse effects will be less than minor:

It is considered the relevant and potential effects have been addressed within the assessment of effects, and it has been concluded that the adverse effects will be less than minor.

Objectives and policies of the District Plan:

The following objectives and policies of the District Plan have been considered:

- The objectives and policies of the Rural Environment (Chapter 10 sections 8.3 and 8.4)
- The objectives and policies of the Rural Production Zone (Chapter 10 section 8.6.3, and 8.6.4)
- The objectives and policies of Signs and Lighting (Chapter 16 sections 16.3 and 16.4)
- The objectives and policies of Transportation (Chapter 15.1 sections 15.1.3 and 15.1.4)

The objectives and policies of the rural environment promotes the sustainable management of natural and physical resources while enabling the efficient use and development of the Rural Production zone, in a way that enables people and their communities to provide for their social, economic and cultural wellbeing and for their health and safety, along with promoting the maintenance and enhancement of the amenity values to a level that is consistent with the productive intent of the Rural Productive zone. The activity is an efficient use of this zone and maintains amenity values and is not incompatible with the intent of the Rural Production zone.

Objectives and policies of Signs and Lighting seek to maintain and enhance amenity and heritage values whilst providing for a wide range of sign and lighting activities in a number of locations, whilst mitigating adverse effects of signs in the district by limiting size, type, duration and numbers. It is considered the activity is not incompatible with the intent of these objectives and policies.

Objectives and policies of Transportation seek to minimise adverse effects of traffic while ensuring appropriate provisions are made for on-site car parking for all activities, that existing parking spaces are retained or replaced with equal or better capacity, so as to ensure the orderly movement and control of traffic. It is considered, the activity is consistent with these objectives and policies.

As such, it is my determination that the activity is not contrary to the objectives and policies of the Far North District Plan.

4. In accordance with an assessment under s104(1)(b) of the RMA the proposal is consistent with the relevant statutory documents.
- The Northland Regional Policy Statement 2018
  - Northland Regional Plan 2019
5. No non – statutory documents were considered relevant in making this decision.
6. No other matters were considered relevant in making this decision

7. Part 2 Matters:

The Council has taken into account the purpose & principles outlined in sections 5, 6, 7 & 8 of the Act. It is considered that granting this resource consent application achieves the purpose of the Act. In summary it is considered that the activity is consistent with the sustainable management purpose of the Act.

8. In summary it is considered that the activity is consistent with the sustainable management purpose of the RMA.

**Approval**

This resource consent has been prepared by Jolene Graham, Resource Planner and is granted under delegated authority (pursuant to section 34A of the Resource Management Act 1991) from the Far North District Council by:



**Pat Killalea, Principal Planner**

**Date: 26<sup>th</sup> July 2022**

**Right of Objection**

If you are dissatisfied with the decision or any part of it, you have the right (pursuant to section 357A of the Act) to object to the decision. The objection must be in writing, stating reasons for the objection and must be received by Council within 15 working days of the receipt of this decision.

**Lapsing of Consent**

Pursuant to section 125 of the Act, this resource consent will lapse 5 years after the date of commencement of consent unless, before the consent lapses.

The consent is given effect to; or

An application is made to the Council to extend the period of consent, and the council decides to grant an extension after taking into account the statutory considerations, set out in section 125(1)(b) of the Act.

**Project Information:**

Lot 1  
 DP158861  
 Area: 5250 m<sup>2</sup>  
 Val'n No. 00219-71500

Wind Zone: HIGH  
 Region A/Open/Exposed/T1

Earthquake Zone: 1  
 Exposure Zone: C

**District Plan Zone:**  
 Rural Production

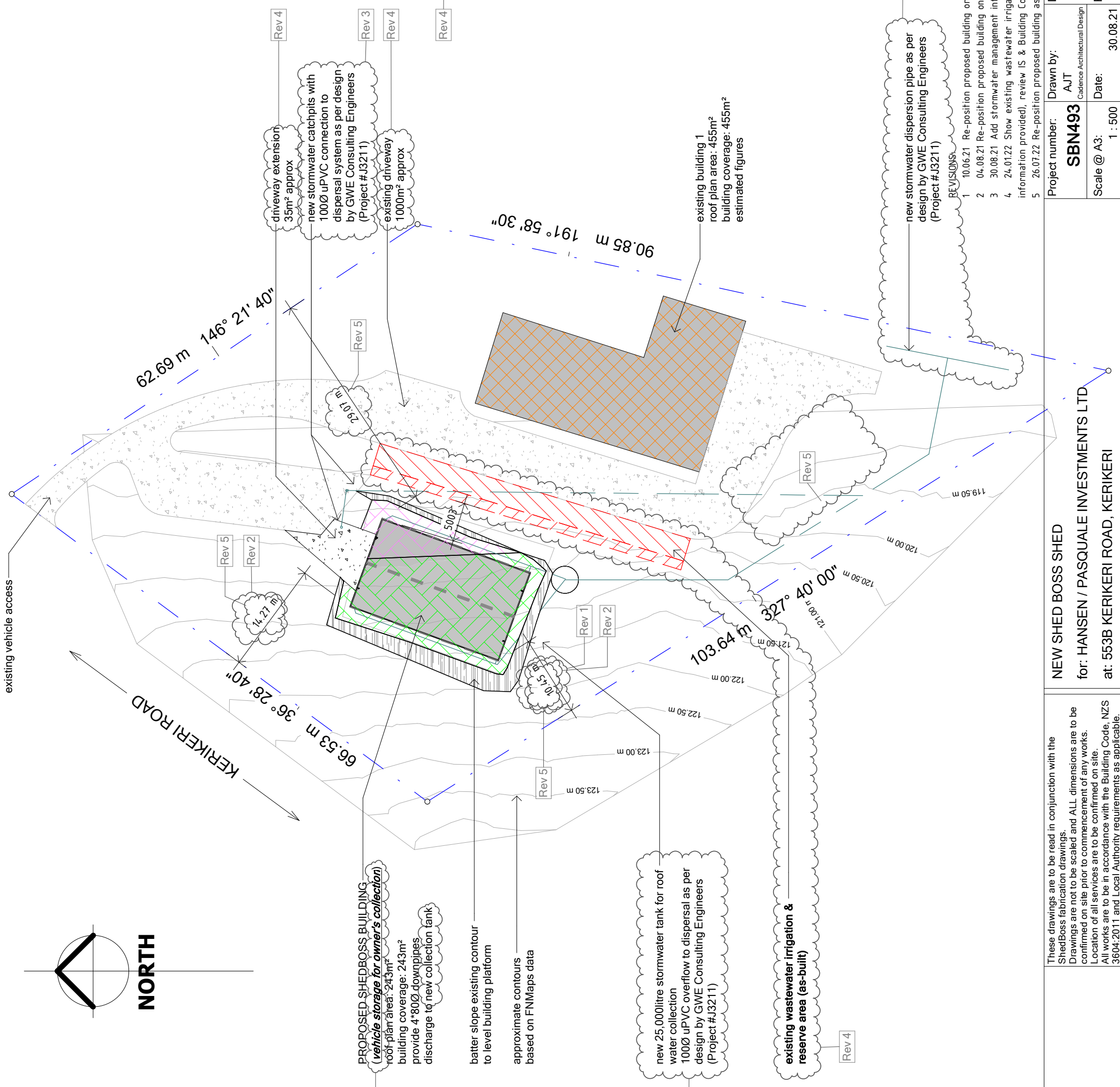
**STORMWATER MANAGEMENT:**  
 Impermeable Surfaces:  
 Existing buildings (roof plan area): 455m<sup>2</sup>  
 Existing driveway: 1000m<sup>2</sup>  
 Proposed Building: 243m<sup>2</sup>  
 Driveway extension: 35m<sup>2</sup>  
 Total: 1733m<sup>2</sup> (33%)  
 Permitted Activity maximum: 15% (787.5m<sup>2</sup>)

**BUILDING COVERAGE:**  
 Existing buildings: 455m<sup>2</sup>  
 Proposed building: 243m<sup>2</sup>  
 Total: 698m<sup>2</sup> (13.3%)  
 Permitted Activity maximum: 12.5% (656.25m<sup>2</sup>)

**EARTHWORKS:**  
 Cut & Fill level building platform

- approx 75m<sup>3</sup> cut over an area of 220m<sup>2</sup> cut height not to exceed 1.5m
- approx 75m<sup>3</sup> fill over an area of 220m<sup>2</sup> fill height not to exceed 1.5m
- total cut & fill 150m<sup>3</sup> approx

**All fill to building platform to Engineer's requirements refer sheet 03 of ISD drawing set**



**REVISIONS:**

- 10.06.21 Re-position proposed building on site, reduce additional driveway area, add note re building usage, show Cut & Fill.
- 04.08.21 Re-position proposed building on site.
- 30.08.21 Add stormwater management information as per report by GWE Consulting Engineers
- 24.01.22 Show existing wastewater irrigation & reserve, omit "existing" building, reconfigure existing driveway (all as per information provided), review IS & Building Coverage calculations.
- 26.07.22 Re-position proposed building as per survey (Thomson Survey 1034.9)

**APPROVED PLAN**

Planner: jgraham  
 RC: 2220607-RMALUC  
 Date: 26/07/2022

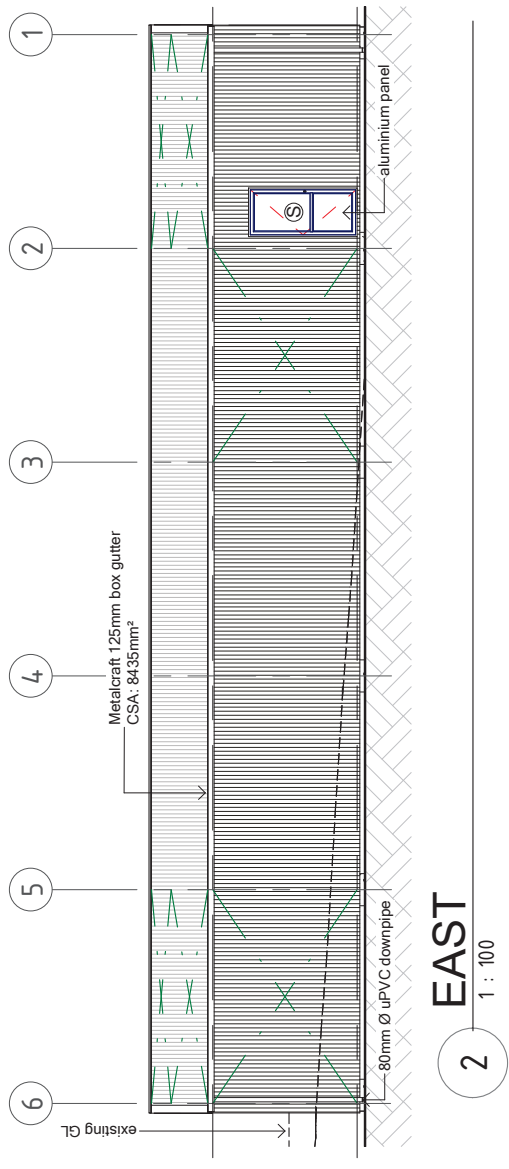
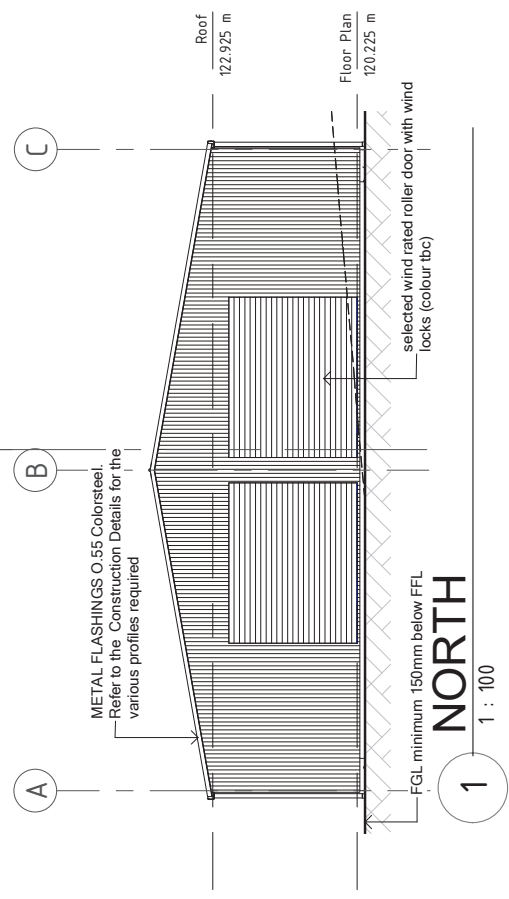
These drawings are to be read in conjunction with the ShedBoss fabrication drawings. Drawings are not to be scaled and ALL dimensions are to be confirmed on site prior to commencement of any works. Location of all services are to be confirmed on site. All works are to be in accordance with the Building Code, NZS 3604:2011 and Local Authority requirements as applicable.

**NEW SHED BOSS SHED**  
 for: HANSEN / PASQUALE INVESTMENTS LTD  
 at: 553B KERIKERI ROAD, KERIKERI

Project number:	SBN493	Drawn by:	AJT	Drawing No.	A_01
Scale @ A3:	1 : 500	Date:	30.08.21	Revision:	5

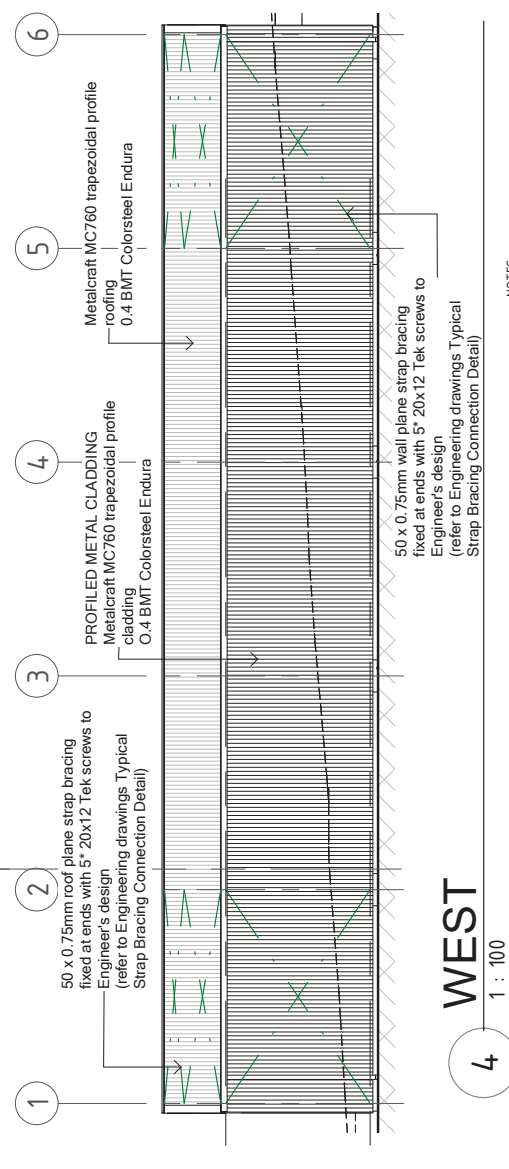
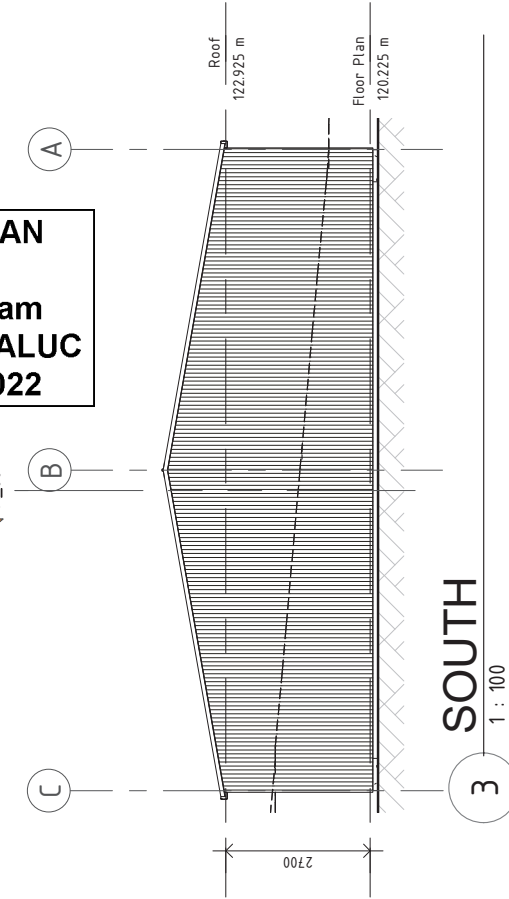
**ShedBoss**  
 BUILT STRONG. BUILT RIGHT.

**Site Plan**



**APPROVED PLAN**

**Planner: jgraham**  
**RC: 2220607-RMALUC**  
**Date: 26/07/2022**



**RISK MATRIX**  
ELEVATIONS: ALL (worst case)

RISK FACTOR	SEVERITY	SCORE
A: Wind Zone	High	1
B: Number of Storeys	Low	0
C: Roof/Wall Junction	Medium	1
D: Eaves Width	Very High	5
E: Envelope Complexity	Low	0
F: Decks	Low	0
<b>TOTAL</b>		<b>7</b>

OK for a non-habitable unlined building

- REVISIONS:**
- 24.05.21 Show personnel door
  - 30.08.21 Issue for Building Consent
- NOTES:**
- Ⓢ indicates safety glass to NZS 4223:32016

**Proposed Elevations**

NEW SHED BOSS SHED  
for: HANSEN / PASQUALE INVESTMENTS LTD  
at: 553B KERIKERI ROAD, KERIKERI

Project number: **SBN493**  
AJT  
Scale @ A3: 1 : 100

Drawn by: **A\_04**  
Revision: 2

Date: 30.08.21

**ShedBoss**  
BUILT STRONG. BUILT RIGHT.

These drawings are to be read in conjunction with the ShedBoss fabrication drawings. Drawings are not to be scaled and ALL dimensions are to be confirmed on site prior to commencement of any works. Location of all services are to be confirmed on site. All works are to be in accordance with the Building Code, NZS 3604:2011 and Local Authority requirements as applicable.

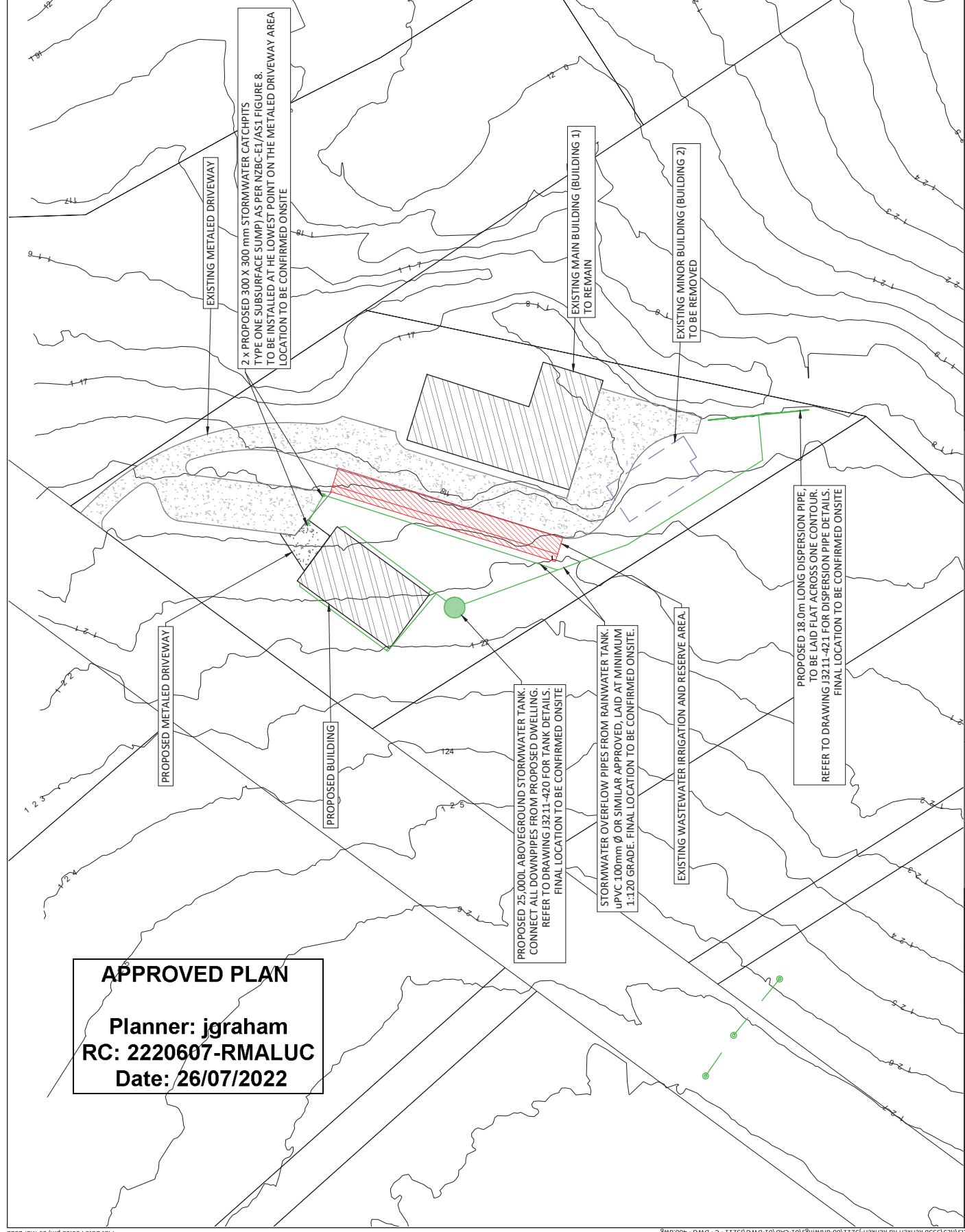
**LEGEND**

- PROPOSED PVT SW PIPE
- PROPOSED PVT WW PIPE
- PROPOSED STORMWATER MH
- EXISTING STORMWATER CP
- PROPOSED STORMWATER CP
- PROPOSED WASTEWATER MH
- PROPOSED WATER PIPE

- 25,000 L DETENTION TANKS - ABOVEGROUND**
- REFER TO DRAWING J3211-420 FOR TANK STANDARD DETAIL
  - LOCATION IS INDICATIVE AND TO BE CONFIRMED AT BUILDING CONSENT STAGE
  - CATCHMENT: COLLECT ALL DOWNPIPES FROM RESPECTIVE DWELLING ROOF
  - 10 YEAR ORIFICE: 69 mm $\phi$  AT 270 mm BELOW OVERFLOW ORIFICE (INVERT TO INVERT)
  - OVERFLOW: 100mm AT TOP OF TANK
  - DISCHARGE: OVERFLOW DISCHARGE TO LAND THROUGH DISPERSION PIPE. TO BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS
  - CONTRACTOR TO ENSURE ADEQUATE FALL PRIOR TO CONSTRUCTION

**NOTES:**

- DRAWING IS BASED ON APPROVED SITE PLAN PREPARED BY SHEDBOSS LTD (PROJECT No.SBN493, REV.4, DATED 30/08/2021). ADDITIONAL DATA FROM FAR NORTH DISTRICT COUNCIL MAPS.
- LOCATIONS ARE INDICATIVE ONLY AND SHALL BE CONFIRMED ON SITE.
- PRIOR TO COMMENCING WORK THE CONTRACTOR IS TO IDENTIFY AND PROTECT ALL EXISTING SERVICES.
- ALL MATERIALS AND WORKMANSHIP SHALL BE IN ACCORDANCE WITH THE RELEVANT AND CURRENT NEW ZEALAND STANDARD.
- RELEVANT SECTIONS OF THE NEW ZEALAND BUILDING CODE (IN PARTICULAR NZBC E1 UNLESS SPECIFIED OTHERWISE).
- DO NOT SCALE FROM THIS DRAWING.
- ALL LEVELS AND POSITIONS (X, Y, AND Z COORDINATES) OF PUBLIC ASSETS ARE TAKEN FROM FAR NORTH DISTRICT COUNCIL MAPS, NO RESPONSIBILITY IS ACCEPTED FOR THE ACCURACY OF THE GIS DATA USED IN FAR NORTH DISTRICT COUNCIL MAPS.



**APPROVED PLAN**

Planner: jgraham  
 RC: 2220607-RMALUC  
 Date: 26/07/2022

<p>PROJECT TITLE: STORMWATER DESIGN</p> <p>PROJECT ADDRESS: 553B KERIKERI ROAD, KERIKERI</p> <p>CLIENT: MW HOLDINGS NORTHLAND LTD T/A SHED BOSS NORTHLAND</p> <p>DRAWING TITLE: STORMWATER SITE PLAN</p>		<p>PROJECT No.: J3211</p> <p>DRAWING No.: 400</p> <p>REV: 1</p> <p>SCALE: 1:650 @ A3</p>																
<p>GWE CONSULTING LIMITED          6 FLOOR OCEANBRIDGE HOUSE          25 ANACAP STREET TAKAPUNA          P.O. BOX 9 048 8338          WWW.GWE.CO.NZ</p>		<p>THIS DRAWING AND DESIGN REMAINS THE PROPERTY OF GWE CONSULTING LIMITED. IT IS TO BE REPRODUCED OR ALTERED WITHOUT THE WRITTEN PERMISSION OF GWE CONSULTING LIMITED. NO LIABILITY FOR CONSULTING SERVICES FOR UNAUTHORISED USE OF THIS DRAWING. DO NOT SCALE FROM THIS DRAWING.</p>																
<p><b>GWE CONSULTING ENGINEERS</b></p>		<p><b>FOR CONSENT</b></p> <table border="1"> <thead> <tr> <th>NO</th> <th>ISSUE</th> <th>DATE</th> <th>APPD</th> </tr> </thead> <tbody> <tr> <td>1</td> <td>UPDATED SITE PLAN</td> <td>AUG/2021</td> <td>JG</td> </tr> <tr> <td>0</td> <td>FIRST ISSUE</td> <td>JUL/2021</td> <td>JG</td> </tr> <tr> <td></td> <td>REV AMENDMENT</td> <td></td> <td></td> </tr> </tbody> </table>	NO	ISSUE	DATE	APPD	1	UPDATED SITE PLAN	AUG/2021	JG	0	FIRST ISSUE	JUL/2021	JG		REV AMENDMENT		
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0	FIRST ISSUE	JUL/2021	JG															
	REV AMENDMENT																	

**DETERMINATION AS TO WHETHER A RESOURCE CONSENT APPLICATION SHOULD BE NOTIFIED OR NON-NOTIFIED UNDER SECTIONS 95A-95G, OF THE RESOURCE MANAGEMENT ACT 1991 (the Act)**

**1. Application details**

Council Reference: 2220607-RMALUC

Reporting Planner: Jo Graham

Applicant: Pasquale Investments Limited

Description of Application: Construct a second shed for the storage of motor vehicles in the Rural Production zone breaching the Stormwater Management, Building Coverage, Traffic Intensity and Sign rules.

Property Address: 553B Kerikeri Road, Kerikeri 0230

Legal Description/ CT: Lot 1 DP 155861

Date Received: 14 March 2022

Site Visit: 08 June 2022

Further Information Requested: No

Suspended pursuant to 88E: No

Extension pursuant to section 37: 20 May 2022 – 20 Days

Is this site HAIL: Yes

Pre lodgement consultation by Applicant: No

Pre-Application meeting: No

**2. Distributions**

<b>Internal:</b>	<b>Date sent:</b>	<b>Comments Received:</b>
RC Engineer:	17/05/2022	30/05/2022
IAM:	17/05/2022	18/05/2022

**3. District Plan and other notations of relevance**

**Zone:** Rural Production      **Notations:** None  
**Other Notations of Relevance:** Kiwi Present

**4. Description of site**

Area: 5,250m<sup>2</sup>  
 Contour: Gentle slope to the east.  
 Vegetative cover: Boundaries are lined with existing trees and the site has existing mature landscaping with palms and trees/hedging.  
 Waterbodies/wetlands: None.  
 Road frontage: The site is accessed off Kerikeri Road, and the north western boundary is adjacent to Kerikeri Road.  
 Existing built development: One large shed which is used as a workshop/dwelling.  
 Relevant historic RCs/BCs: BC 2010-302  
 Existing Consent Notices and encumbrances: None.



**5. Full Description of proposed activity**

The proposed activity is to construct a second shed in the Rural Production zone breaching the Stormwater Management, Building Coverage, Traffic Intensity and Sign rules.

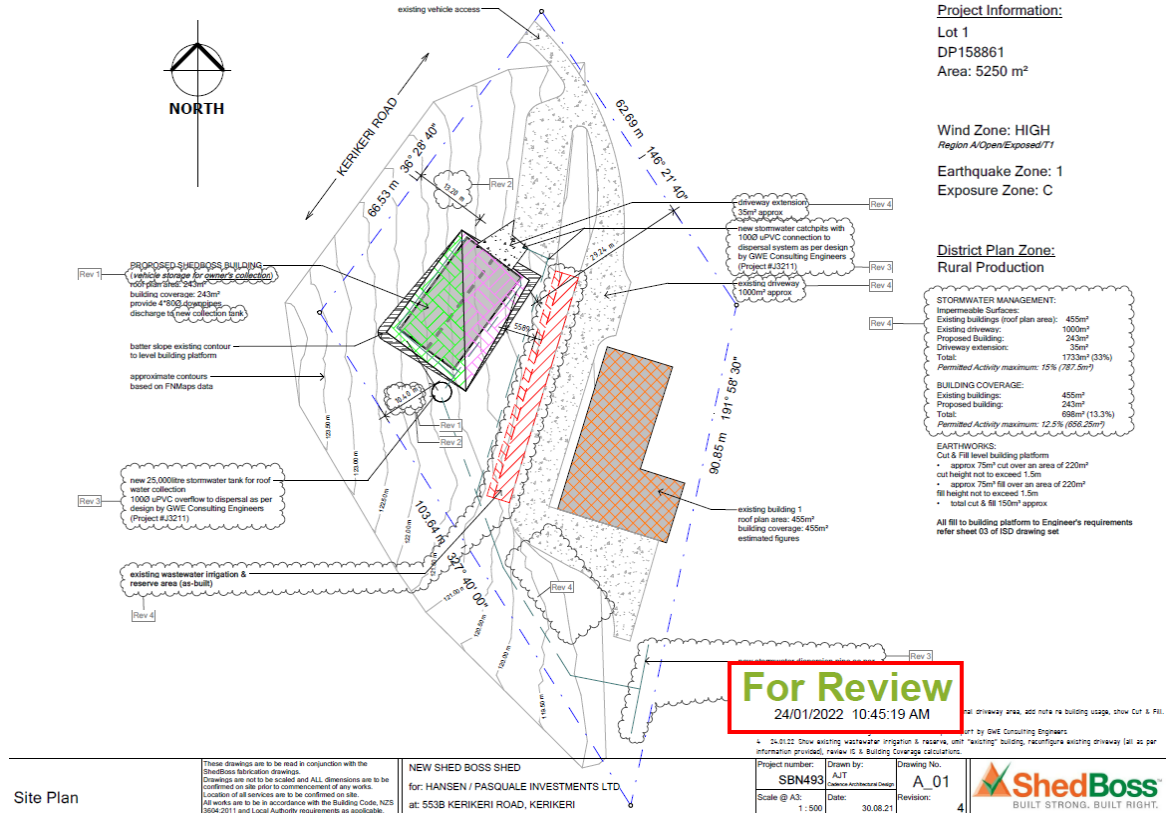


Fig 1: Site Plan for 553B Kerikeri Road, Kerikeri.

**6. Reasons for the application**

Rule # & Name	Non-Compliance Aspect	Activity Status
8.6.5.1.3 – Stormwater Management	Total impermeable surfaces of the site total 33%. The proposal is unable to comply with the controlled provision of 20%.	Discretionary Activity.
8.6.5.1.10 – Building Coverage	The proposal has a total building coverage of 698m² or 13.3% which does not comply with the permitted threshold of 12.5% of the total site area. The proposal can comply with the controlled threshold of 15%.	Controlled Activity.
16.6.1.2 – General Requirements for all Signs 16.6.1.3 – Maximum Sign Area per Site	(b) The maximum sign area for the Rural Production zone is 3m². The size of each sign is 1m wide and 2m high, total area of 2m² each, 4m² in total. (e) There is an allowance of one sign per site frontage. The proposal includes two signs.	Discretionary Activity.
15.1.6A.2.1 – Traffic Intensity	The activity does not comply with 30 movements per 100m² for vehicle	Restricted Discretionary

	repair.	Activity.
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**7. Status of the Application**

The overall application is a Discretionary activity.

**8. National Environmental Standard for Assessing and Managing Contaminants in Soil to Protect Human Health 2011 (NES Contaminated Soils)**

The Resource Management NES Contaminated Soils was gazetted on 13th October 2011 and took effect on 1st January 2012. Council is required by law to implement this NES in accordance with the Resource Management Act 1991 (RMA). The standards are applicable if the land in question is, or has been, or is more likely than not to have been used for a hazardous activity or industry and the applicant proposes to subdivide or change the use of the land, or disturb the soil, or remove or replace a fuel storage system.

The subject site has been identified as Orchard, Vineyard or Other Perennial Crop under the Land Cover Database – 1996 Classification. The applicant has provided aerial photographs dating back to 1981 which shows that the site has not been used for horticulture activities since then, however, the site has been used as a commercial mechanic workshop which does fall under HAIL activities. The proposal is existing and not requiring change of use. The proposed earthworks are 150m<sup>3</sup> which falls within the permitted thresholds of NESCS in this instance for earth disturbance.

**National Environmental Standard for Freshwater Regulations 2020**

The Resource Management NES Freshwater Regulations was gazetted on 5<sup>th</sup> August 2020 and took effect on 3 September 2020. Council is required by law to implement this NES in accordance with the Resource Management Act 1991 (RMA). The standards are applicable if the land in question has Natural Wetlands and Freshwater sources on it, or there is an application for the reclamation or rivers, or the Passage of Fish will be affected by structures as the result of an application.

The proposal does not require any earthworks, vegetation clearance or new stormwater discharges within wetlands. It has no implications in terms of the Resource Management (National Environmental Standards for Freshwater) Regulations 2020 (Freshwater NES).

**9. Request for further information**

Council has not requested further information or a report pursuant to section 92 of the Act. (Section 95C).

**10. Notification: Public Notification**

**Section 95A – Public notification of consent applications**

<b>Step 1</b>	<b><i>Mandatory public notification in certain circumstances</i></b>	
S95A(3)(a)	Has the applicant requested that the application be publicly notified?	No
S95A(3)(b)	Is public notification required under section 95C? (after a request for further information)	No
S95A(3)(c)	Has the application been made jointly with an application to exchange recreation reserve land under section 15AA of the Reserves Act 1977?	No
<b>Step 2</b>	<b><i>if not required by step 1, public notification precluded in certain circumstances</i></b>	
S95A(5)(a)	Is the application for a resource consent for 1 or more activities and each activity is subject to a rule or national environmental standard that precludes public notification?	No
S95A(5)(b)	Is the application for a resource consent for 1 or more of the following, but no other activities?	No

	(i) a controlled activity (iii) a restricted discretionary, discretionary, or non-complying activity, but only if the activity is a boundary activity;	
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## 11. Assessment of Environmental Effects (sections 95A(8)(b) and 95D)

### Effects that must be disregarded

The Council must disregard any effects on the land in, on, or over which the activity will occur, and on persons who own or occupy any adjacent land (s95D(a)). The land adjacent to the subject site is:

Legal Description	Property	Registered Owners
Lot 2 DP 176058	562B Kerikeri Road, Kerikeri	DN Family Trustee Company Limited
Lot 3 DP 176058	556 Kerikeri Road, Kerikeri	David Alistair Donald, Deborah Ruth Donald, L D Family Investments Limited, Richard Geoffrey Warren Austin
Lot 1 DP 149791	545 Kerikeri Road, Kerikeri	Barry Grey, Janet Grey
Lot 1 DP 196231	Lot 1, Kerikeri Road, Kerikeri	Anders Crutchley Bergvall, Margaret Elaine Henry
Lot 2 DP 158861	561A Kerikeri Road, Kerikeri	Brendan John Robinson, Jason Philip King, Raewyn Jean King



Fig 2: Identified adjacent landowners.

Council must disregard any effect on a person who has given written approval to the application. In this instance, no written approvals have been provided.

## **Effects that may be disregarded**

### **Permitted Baseline**

The permitted baseline may be taken into account and the Council has the discretion to disregard those effects (s95D(b)). In this case the permitted baseline is the existing shed/dwelling, 3m<sup>2</sup> of signs and/or 1 freestanding sign, and 30 vehicle movements per 100m<sup>2</sup> of building space used for a vehicle repair activity.

### **Existing Environment**

The receiving environment beyond the subject site includes permitted activities under the relevant plans, lawfully established activities (via existing use rights or resource consent) and any unimplemented resource consents that are likely to be implemented. The effects of any unimplemented consents on the subject site that are likely to be implemented (and which are not being replaced by the current proposal) also form part of this reasonably foreseeable receiving environment. This is the environment within which the adverse effects of the application must be assessed.

In this case the receiving environment is similar sized allotments used for rural-lifestyle purposes, as well as some larger allotments utilised for rural productive use. There are several commercial activities along Kerikeri Road both to the west and east of the subject site.

### **Adverse effects:**

The application has been assessed as a Discretionary activity as such Council can take into account any relevant matter when assessing the environmental effects.

### **Building Coverage**

The proposal is for second shed on the site. The total building coverage of the site is proposed to be 698m<sup>2</sup> (13.3%).

The proposal is consistent with the character and scale of the existing buildings within the surrounding environment.

There is existing planting along all boundaries with thick hedging along the Kerikeri Road boundary. The site is heavily landscaped, and, in this instance, there is no requirement for additional landscaping. The proposed shed will not be seen from any public space or any road users.

The proposal complies with the setback for the Rural Production zone. It is considered that the scale and bulk of the 243m<sup>2</sup> proposed shed is appropriate in relation to the 5,250m<sup>2</sup> site.

This small degree of non-compliance will have minimal, if any, effect on the privacy, outlook or enjoyment of the private open spaces on adjacent sites as what is already in existence.

It is considered, in this instance, that the potential adverse effect on the surrounding environment is less than minor.

### **Stormwater**

The proposal is for a second shed on site.

The total of impermeable surfaces on site includes the following:

Existing shed/dwelling – 455m<sup>2</sup>  
Existing driveway – 1,000m<sup>2</sup>  
Proposed shed – 243m<sup>2</sup>  
Driveway extension – 35m<sup>2</sup>  
Total = 1,733m<sup>2</sup> (33%)

The application is supported by a Stormwater Mitigation Design Report to mitigate the effect of impervious surfaces, prepared by GWE Consulting Engineers, referenced Job No: J3211 V2, dated March 2022. The included assessment of environment effects within application RC2220607-RMALUC includes a full assessment which sufficiently covers all matters to be assessed regarding Stormwater Management criteria matters (a) to (m) inclusive, therefore, this report adopts the whole assessment.

The Stormwater Mitigation Design Report states that stormwater runoff from the roof of the shed will be collected and diverted to a 25,000 litre above ground rainwater tank, which can be utilised for potable and/or non-potable use. Overflow from the tank will be discharged to land through an above ground dispersion pipe located downslope of the building, along the southern side. The dispersion pipe will comprise a 18m long pipe to reduce scour and erosion at the discharge location. Runoff from the metalled driveway extension as well as the western portion of the existing drive will be collected by stormwater catchpits typically with concrete surround and conveyed via sealed pipes directly to the discharge location on site. Stormwater catchpits will be located at the lowest elevations of the driveway area and final locations are to be confirmed onsite. The proposed methods are considered to be of low impact design. Design calculations and design elements of the proposal are included in the report.

Councils Engineer has visited the site and reviewed the Stormwater Mitigation Design Report and commented the proposal will not majorly change the natural contour of the site, all stormwater runoff caused by the proposed impermeable surfaces will be captured and directed via the proposed stormwater system. Due to the stormwater management method to be implemented on site to ensure that the post-development flows are adequately managed within the site boundaries, it is considered that there will be no effects created with the proposed shed being constructed.

The following condition is recommended should consent be granted:

- *The consent holder shall ensure that stormwater is managed generally in accordance with the recommendations contained within the stormwater mitigation design report prepared by GWE Consulting Engineers dated March 2022, referenced J3211 V2, and submitted with Resource Consent application RC2220607-RMALUC.*

The stormwater system has been specifically designed to accommodate the proposal and avoid potential adverse stormwater effects on the surrounding environment, therefore, it is considered that there will be less than minor adverse stormwater and runoff effects on the surrounding environment.

## Signs



Fig 3: Existing signs at 553B Kerikeri Road, Kerikeri.

### Light Spill:

The proposal is for two signs for an existing development. The signs are located each side of the access. The signs do not contain any lighting, therefore, the potential adverse effects in regard to light spill are nil.

### Signs and Visual Effects:

The proposal for two signs in Kerikeri fits within the existing environment as the signs are to provide identification for the business in a manner that is not uncommon in the surrounding area.

The signs do not protrude from the site, and although will be seen from the street and road users, will not be in a way that will be distracting to drivers. The signs are what would be expected of a commercial business and not uncommon of the surrounding environment.

The colours are dark and recessive overall, with some lighter writing which do not overly stand out or distract road users. The signs are compatible with the surrounding environment, where several commercial activities are located along Kerikeri Road both to the west and east.

The signs will not affect vehicle manoeuvring and access. Nor will the signs have intermittent lighting or flashing that will affect neighbouring properties.

The signs are directly related to the activity on the site.

Therefore, the potential adverse effects are considered to be less than minor.

### Traffic:

The proposed activity is 'deemed' to generate 68 daily one-way traffic movements, slightly more than the permitted threshold limit of 60.

The existing building is 455m<sup>2</sup> in area, however, only approximately half of this building is used for the commercial activity of vehicle repair. The other half is used as a dwelling. The proposed new shed will be used for storage of the owner's vehicles and

will be not used as part of the commercial activity, therefore, has not been included in the calculation.

As the commercial activity is a vehicle repair business, the likely traffic movement hours will be morning drop offs with afternoon pickups.

Visibility at access is good in both directions. Council's engineer has commented that the access is adequate in regard to Council's standards. There is a pedestrian walkway on both sides of the vehicle access. Due to the minimal vehicle movements associated with the activity, it is considered that the existing traffic network will easily absorb the additional traffic movements onto Kerikeri Road.

NTA have requested that the existing access be upgraded to a double width crossing sealed at least 5m, and Council's Development Engineer has recommended the crossing be to FNDC/S/2 standard. It is recommended the upgrading of the access be condition of consent, should consent be granted.

The proposal is compliant with all other transportation requirements of the District Plan, including the provision of all required on-site parking and manoeuvring areas.

Council's engineer has reviewed the application and is satisfied with the proposal and has no concerns.

For the reasons outlined above, when considering the receiving environment, the proposal is not considered to further adversely affect the character and amenity values anticipated by the Rural Production Zone. As such, the potential overall adverse effects of the building coverage, signs, stormwater management and traffic intensity non-compliances are considered to be less than minor in the context of the wider environment.

#### **Adverse effects conclusions**

In conclusion, it is considered that the proposal will have no more than minor adverse effects on the wider environment.

#### **Step 4: Public Notification in Special Circumstances**

If an application has not been publicly notified as a result of any of the previous steps, then the Council is required to determine whether special circumstances exist that warrant it being publicly notified (s95A(9)).

In this instance there is nothing exceptional or unusual about the application, and that the proposal has nothing out of the ordinary to suggest that public notification should occur.

#### **Recommendation as to Public Notification or Non-Notification**

It is recommended that, pursuant to s95A of the Act, this application proceeds on a **non-notified** basis for reasons as assessed above and in summary that:

- Under step 1, public notification is not mandatory.
- Under step 2, there is no rule or NES that specifically precludes public notification of the activities, and the application is for an activity other than those specified in s95A(5)(b).
- Under step 3, public notification is not required as the application is for an activity that is not subject to a rule that specifically requires it, and it is considered that the activity will have or is likely to have adverse effects on the environment that are less than minor.

- Under step 4, there are no special circumstances that warrant the application being publicly notified.

## 12. Limited Notification (sections 95B, 95E-95G)

<b>Step 1</b>	<b><i>certain affected groups and affected persons must be notified</i></b>	
S95B(2)(a)	Are there any affected protected customary rights groups?	No
S95B(2)(b)	Are there any affected customary marine title groups (in the case of an application for a resource consent for an accommodated activity)?	No
S95B(3)(a)	Is the proposed activity on or adjacent to, or may affect, land that is the subject of a statutory acknowledgement made in accordance with an Act specified in Schedule 11?	No
S95B(3)(b)	Is the person to whom the statutory acknowledgement is made is an affected person under section 95E?	No
<b>Step 2</b>	<b><i>if not required by step 1, limited notification precluded in certain circumstances</i></b>	
S95B(6)(a)	the application is for a resource consent for 1 or more activities, and each activity is subject to a rule or national environmental standard that precludes limited notification:	No
S95B(6)(b)	the application is for a controlled activity (but no other activities) that requires a resource consent under a district plan (other than a subdivision of land)	No

### **Adversely Affected Persons Assessment (s95B(7) and (8) and s95E)**

The following assessment addresses whether there are any affected persons that the application is required to be limited notified to pursuant to s95B(7) and (8) in accordance with 95E:

The potential adverse effects have been assessed as less than minor, as such it is considered there are no adversely affected person/s.

### **Step 4: Further Notification in Special Circumstances**

In addition to the findings of the previous steps, the Council is also required to determine whether special circumstances exist in relation to the application that warrant it being notified to any other persons not already determined as eligible for limited notification.

In this instance I have turned my mind specifically to the existence of any special circumstances under s95B(10) and conclude that there is other exceptional or unusual about the application, and that the proposal has nothing out of the ordinary to suggest that notification to any other persons should occur.

## 13. Limited Notification Conclusion

It is recommended that, pursuant to s95A-95G of the Act, this application proceeds on a **non-notified** basis for reasons as assessed above and in summary that:

- Under step1, limited notification is not mandatory.
- Under step 2, there is no rule or NES that specifically precludes limited notification of the activities, and the application is for an activity other than those specified in s95B(6)(b).
- Under step 3, limited notification is not required as it is considered that the activity will not result in any adversely affected persons.
- Under step 4, there are no special circumstances that warrant the application being limited notified to any person.



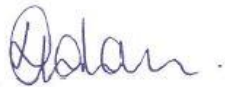
It is therefore recommended that this application be processed without limited notification.

**14. Notification Recommendation:**

For the above reasons under section 95A of the Act, this application may be processed without public notification.

In addition, under section 95B of the Act, limited notification is not required.

Accordingly, I recommend that this application is processed non notified.



**Jo Graham**  
**Resource Planner**

**Date: 21/06/2022**

**15. Notification determination**

Acting under delegated authority, and for the reasons set out in the above assessment and recommendation, under sections 95A and 95C to 95D, and 95B and 95E to 95G of the RMA this application shall be processed as non-notified.



**Pat Killalea**  
**Principal Planner**

**Date: 26/07/2022**

Summary:

*Note: This stormwater management considers that the existing dwelling and shed has already an existing stormwater mitigation system.*

*Provide 1-25,000-liter water tank.*

*This is more than enough for temporary storage of stormwater generated by the new development*

*The water tank will be emptied after the storm. The water will piped towards existing stormwater dispersion pipe.*

Design life: = 50 years up to year 2074

Taking into account the effects of climate change, using RCP 8.5

1. Existing site: grassed/bush land.

1.1 Existing site:

$$A_T = 5250 \text{ m}^2 \quad \text{Total area of the site}$$

$$A_t = 3505 \text{ m}^2 \quad \text{Total area of the site less existing impervious}$$

$$Q = CiA/3600$$

$$i_5 = 9.58 \text{ mm/hr} \quad \text{rainfall intensity, 5\% AEP} \quad \text{source: NIWA}$$

$$C = 0.3 \quad \text{runoff coefficients} \quad \text{pasture and grass cover, medium soakage}$$

$$Q_5 = 2.80 \text{ L/s} \quad \text{total flow}$$

$$= 10.08 \text{ m}^3/\text{hr}$$

$$= 241.84 \text{ m}^3 \quad \text{total volume for 24 hours}$$

$$= 241,841 \text{ L}$$

1.2 Existing impervious surfaces:

$$A_t = 244 \text{ m}^2 \quad \text{roof of existing small shed}$$

$$Q = CiA/3600$$

$$i_5 = 9.58 \text{ mm/hr} \quad \text{rainfall intensity, 5\% AEP} \quad \text{source: NIWA}$$

$$C = 0.9 \quad \text{runoff coefficients (roof surface)}$$

$$Q_5 = 0.58 \text{ L/s} \quad \text{total flow}$$

$$= 2.10 \text{ m}^3/\text{hr}$$

$$= 50.43 \text{ m}^3 \quad \text{total volume for 24 hours}$$

$$= 50,425 \text{ L}$$

1.3 Existing impervious surfaces:

$$A_t = 361 \text{ m}^2 \quad \text{roof of existing large shed}$$

$$Q = CiA/3600$$

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<b>Stormwater management</b>	Date	24/08/2024

$i_5 = 9.58$  mm/hr rainfall intensity, 5% AEP source: NIWA

$C = 0.9$  runoff coefficients (roof surface)

$Q_5 = 0.86$  L/s total flow  
 =  $3.11$  m<sup>3</sup>/hr  
 =  $74.64$  m<sup>3</sup> total volume for 24 hours  
 =  $74,644$  L

1.4 Existing impervious surfaces:

$A_t = 29$  m<sup>2</sup> roof of existing water tanks

$Q = CiA/3600$

$i_5 = 9.58$  mm/hr rainfall intensity, 5% AEP source: NIWA

$C = 0.9$  runoff coefficients (roof surface)

$Q_5 = 0.07$  L/s total flow  
 =  $0.25$  m<sup>3</sup>/hr  
 =  $5.97$  m<sup>3</sup> total volume for 24 hours  
 =  $5,974$  L

1.5 Existing impervious surfaces:

$A_t = 1112$  m<sup>2</sup> driveway

$Q = CiA/3600$

$i_5 = 9.58$  mm/hr rainfall intensity, 5% AEP source: NIWA

$C = 0.5$  runoff coefficients (unsealed roads)

$Q_5 = 1.48$  L/s total flow  
 =  $5.33$  m<sup>3</sup>/hr  
 =  $127.88$  m<sup>3</sup> total volume for 24 hours  
 =  $127,880$  L

1.4 Total stormwater flow, existing:

$Q_5 = 500,764$  L total flow  
 =  $501$  m<sup>3</sup>

2. Developed site: impervious + grassed

2.1 Impervious:

$A_r = 42.9$  m<sup>2</sup> Small shed portico

$Q = CiA/3600$

$i_5 = 9.58$  mm/hr rainfall intensity, 5% AEP source: NIWA

$C = 0.9$  runoff coefficients (roof surface)

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$$\begin{aligned}
 Q_5 &= 0.10 \text{ L/s} && \text{total flow} \\
 &= 0.37 \text{ m}^3/\text{hr} \\
 &= 8.89 \text{ m}^3 && \text{total volume for 24 hours} \\
 &= 8887 \text{ L}
 \end{aligned}$$

2.2 Impervious:

$$\begin{aligned}
 A_f &= 100 \text{ m}^2 && \text{Large shed portico} \\
 Q &= CiA/3600 \\
 i_5 &= 9.58 \text{ mm/hr} && \text{rainfall intensity, 5\% AEP} && \text{source: NIWA} \\
 C &= 0.98 && \text{runoff coefficients (roof)}
 \end{aligned}$$

$$\begin{aligned}
 Q_5 &= 0.26 \text{ L/s} && \text{total flow} \\
 &= 0.94 \text{ m}^3/\text{hr} \\
 &= 22.48 \text{ m}^3 && \text{total volume for 24 hours} \\
 &= 22477 \text{ L}
 \end{aligned}$$

2.3 Pervious:

$$\begin{aligned}
 A_t &= 3362 \text{ m}^2 && \text{Net pervious area after development} \\
 Q &= CiA/3600 \\
 i_5 &= 9.58 \text{ mm/hr} && \text{rainfall intensity, 5\% AEP} && \text{source: NIWA} \\
 C &= 0.3 && \text{runoff coefficients bush \& scrub cover, medium soakage}
 \end{aligned}$$

$$\begin{aligned}
 Q_5 &= 2.69 \text{ L/s} && \text{total flow} \\
 &= 9.67 \text{ m}^3/\text{hr} \\
 &= 232.00 \text{ m}^3 && \text{total volume for 24 hours} \\
 &= 231,998 \text{ L}
 \end{aligned}$$

2.4 Total flow, developed:

$$Q = 522.28 \text{ m}^3 \text{ total volume for 24 hours}$$

2.4 Total flow, needing attenuation (predev - dev):

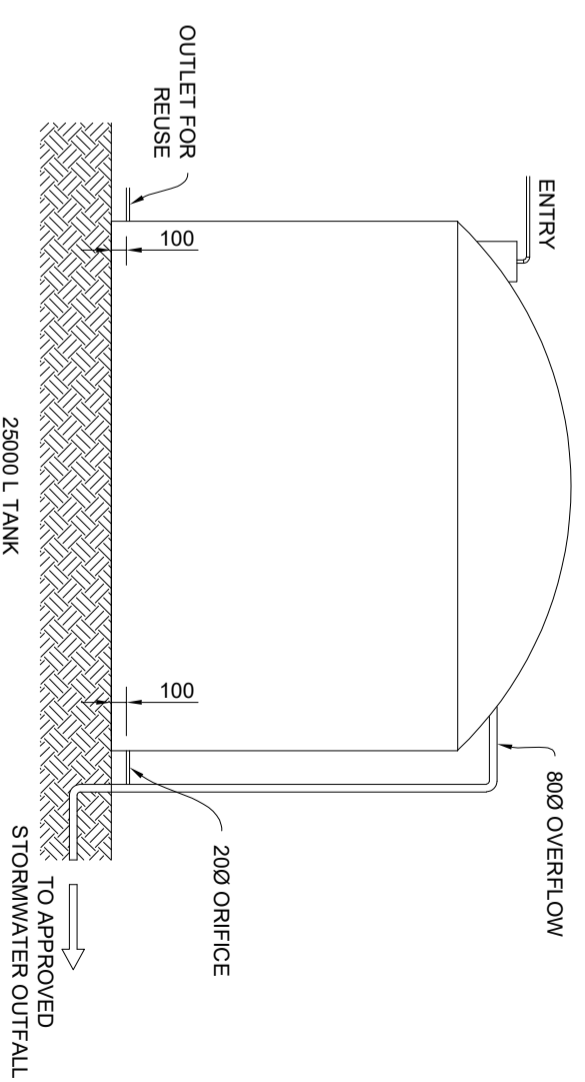
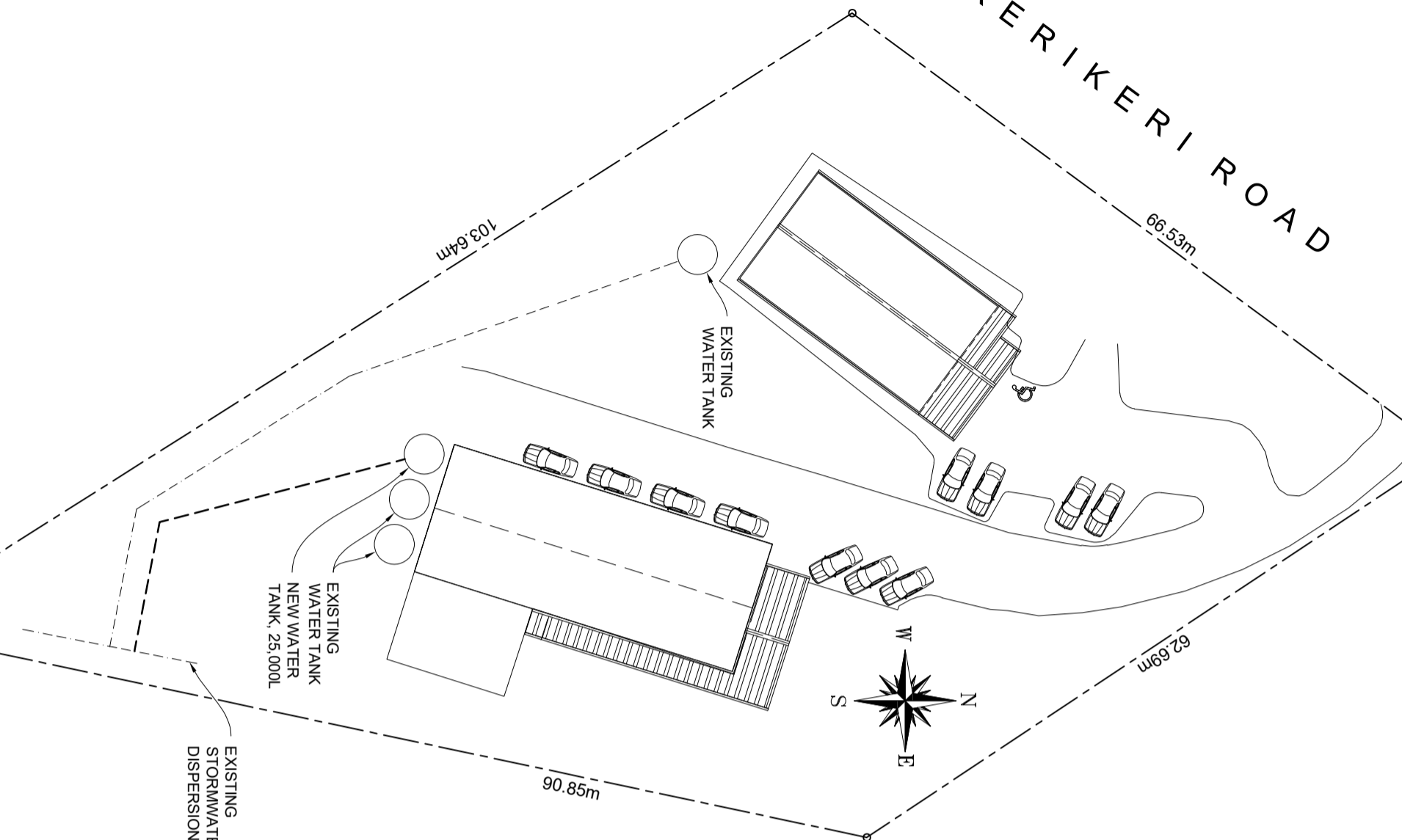
$$\begin{aligned}
 Q_5 &= 21.52 \text{ m}^3 && \text{total volume for 24 hours} \\
 &= 21,521 \text{ L} && \text{This represents an increase of stormwater flow of about } 8.9\%
 \end{aligned}$$

3. Recommended stormwater management approach:

Provide 1-25,000-liter water tank.

This is enough for temporary storage of stormwater.

KERIKERI ROAD



**T&A STRUCTURES LTD**  
 CHARTERED PROFESSIONAL ENGINEERS  
 WWW.TASTRUCTURES.CO.NZ info.taststructures@gmail.com

1	Final Issue	23 Aug 2024	Drawn	Designed	Surveys
No.	Revisions	Date	Reviewed	Approved	

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Project  
**553 KERIKERI ROAD, KERIKERI**  
**PROPOSED HOUSE ALTERATION**

Sheet Title  
**STORMWATER MANAGEMENT**

Drawing Status	CONSENT	Drawing	S01
Project No.:	109-FND-24SD	Revision	1
Scale	1:500 (A3)		



## NOTICE OF WRITTEN APPROVAL

Written Approval of Affected Parties in accordance with Section 95E of the Resource Management Act

PART A – To be completed by Applicant

Applicant/s Name:	<input style="width: 90%;" type="text" value="Cornerstone Assets Ltd"/>
Address of proposed activity:	<input style="width: 90%;" type="text" value="553 Kerikeri Road"/>
Legal description:	<input style="width: 90%;" type="text" value="Lot 1 DP 158861"/>
Description of the proposal (including why you need resource consent):	<div style="border: 1px solid black; padding: 5px;"> <p>8.6.5.1.3 Stormwater Management- Proposed impermeable surfaces area exceeds the 33% threshold approved by Resource Consent 2220607</p> <p>8.6.5.1.4 Setback from Boundaries- Proposed works are demonstrated within 10m of a boundary</p> </div>
Details of the application are given in the attached documents & plans (list what documents & plans have been provided to the party being asked to provide written approval):	<div style="border: 1px solid black; padding: 5px;"> <ol style="list-style-type: none"> <li>1. <u>Site plan 1a</u></li> <li>2. <u>Elevations #1 &amp; #2</u></li> <li>3. <u>Proposed ground floor plan 3a</u></li> <li>4. <u>Proposed upper floor plan 4a</u></li> <li>5. _____</li> <li>6. _____</li> </ol> </div>

**Notes to Applicant:**

1. Written approval must be obtained from all registered owners and occupiers.
2. The **original copy** of this signed form and **signed plans and accompanying documents** must be supplied to the Far North District Council.
3. The amount and type of information provided to the party from whom you seek written approval should be sufficient to give them a full understanding of your proposal, its effects and why resource consent is needed.

PART B – To be completed by Parties giving approval

**Notes to the party giving written approval:**

1. If the owner and the occupier of your property are different people then separate written approvals are required from each.
2. You should only sign in the place provided on this form and accompanying plans and documents if you **fully understand** the proposal and if you **support** or have **no opposition** to the proposal. Council will not accept conditional approvals. If you have conditions on your approval, these should be discussed and resolved with the applicant directly.
3. Please note that when you give your written approval to an application, council cannot take into consideration any actual or potential effects of the proposed activity on you unless you formally withdraw your written approval **before** a decision has been made as to whether the application is to be notified or not. After that time you can no longer withdraw your written approval.
4. Please sign and date all associated plans and documentation as referenced overleaf and return with this form.
5. If you have any concerns about giving your written approval or need help understanding this process, please feel free to contact the duty planner on 0800 920 029 or (09) 401 5200.

Full name/s of party giving approval:

Anders Crutchey Bergvall & Margaret Elaine Henry

Address of affected property including legal description

Kerikeri Road  
Lot 1 DP 196231

Contact Phone Number/s and email address

Daytime: email:

I am/we are the OWNER(S) / ~~OCCUPIER(S)~~ of the property (circle which is applicable)

*Please note: in most instances the approval of **all** the legal owners and the occupiers of the affected property will be necessary.*

1. I/We have been provided with the details concerning the application submitted to Council and understand the proposal and aspects of non-compliance with the Operative District Plan.
2. I/We have signed each page of the plans and documentation in respect of this proposal (these need to accompany this form).
3. I/We understand and accept that once I/we give my/our approval the Consent Authority (Council) cannot take account of any actual or potential effect of the activity and/or proposal upon me/us when considering the application and the fact that any such effect may occur shall not be relevant grounds upon which the Consent Authority may refuse to grant the application.
4. I/We understand that at any time before the notification decision is made on the application, I/we may give notice in writing to Council that this approval is withdrawn.

Signature

Date

Signature

Date

Signature

Date

Signature

Date